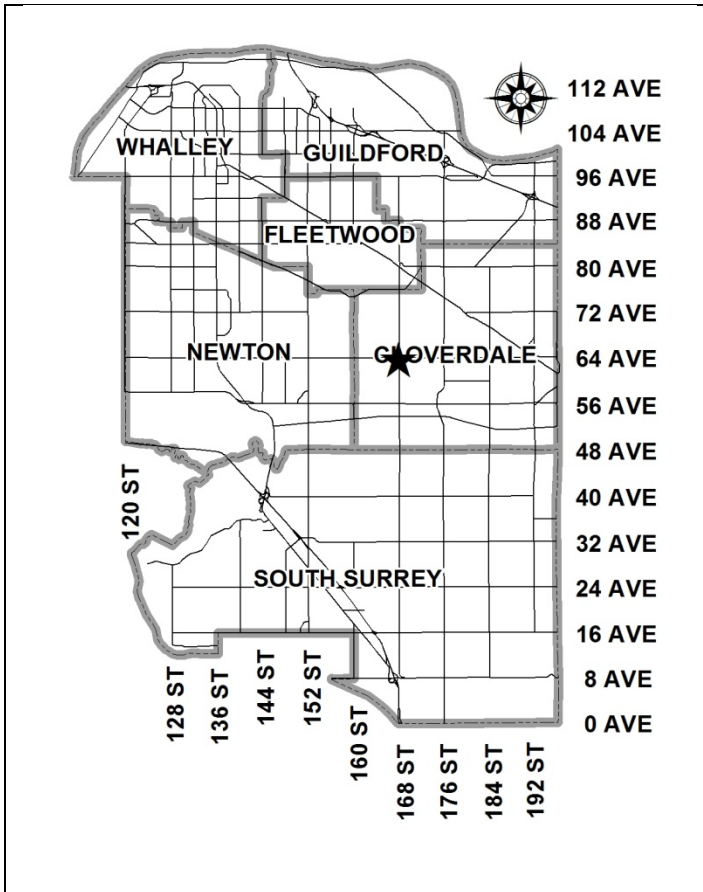


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0092-00

Planning Report Date: May 28, 2012

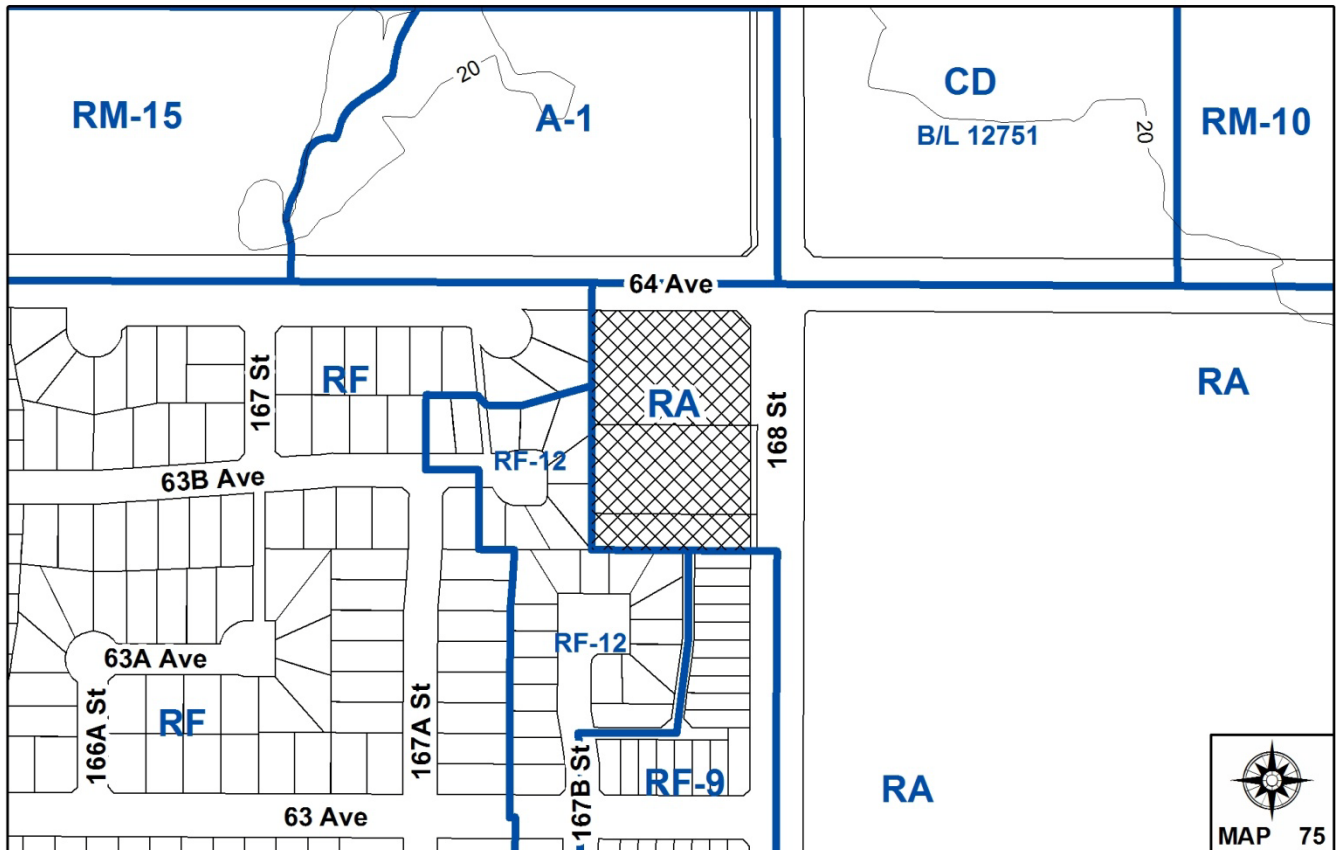


PROPOSAL:

- **NCP Amendment** from Single Family/Duplex Cluster (10 upa) to Commercial
- **Rezoning** from RA to CD (based on C-5)
- **Development Permit**

in order to permit the development of a retail shopping centre.

LOCATION: 6365, 6355 and 6373 - 168 Street
OWNER: 581947 BC Ltd., Inc. No. 581947
ZONING: RA
OCP DESIGNATION: Urban
NCP DESIGNATION: Single Family / Duplex Cluster (10 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- The proposed density and building form are appropriate for this part of Cloverdale.
- The proposal will provide commercial space at the intersection of 64 Avenue and 168 Street, which is a key location, and should provide additional amenity for local residents and users of the adjacent Cloverdale Athletic Park.
- The proposed setbacks achieve a pleasant, pedestrian streetscape that will support commercial uses and pedestrian movement in the area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7911-0092-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.
4. Council pass a resolution to amend the West Cloverdale North Neighbourhood Concept Plan to redesignate the site from Single Family / Duplex Cluster (10 upa) to Commercial when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Vacant lots.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 64 Avenue):	Vacant lot (heavily treed).	Single Family / Duplex Cluster (10 upa) and Townhouses 8-15 upa and Townhouses 15-30 upa	A-1
East (Across 168 Street):	Cloverdale Athletic Park.	Urban in OCP	RA
South:	Single family homes.	Single Family Small Lots	RF-9 and RF-12
West:	Single family homes.	Urban Residential and Single Family Small Lots	RF and RF-12

JUSTIFICATION FOR NCP AMENDMENT

The applicant has provided the following justification in support of the proposed amendment to the West Cloverdale North Neighbourhood Concept Plan:

- The proposed retail village is located at a high traffic intersection on two arterial streets, across from an actively used athletic park and interfaces with a residential neighbourhood to the north, south and west.
- The proposed retail village will provide services to 24,000 potential customers within a 1.5-kilometre (.9 mi) radius which is expected to increase to 29,250 by 2014 and to 32,500 by 2016. Further, there are approximately 6,000 potential customers within a walking distance of approximately 0.75 kilometres (0.47 mi), which is projected to increase to 7,000 by 2014.
- The creation of a neighbourhood shopping village at this location will buffer the adjacent neighbourhood from the traffic noise and activities from the adjacent park (Cloverdale Athletic Park), while providing a pedestrian-oriented neighbourhood environment and attractive streetscape.
- This development will create a wide variety of commercial uses which will offer a varied selection of goods and services to the surrounding neighbourhood. The location encourages a walking distance shopping experience, a place for gathering with outdoor patio areas and evening activities, which brings the neighbourhood toward a more sustainable community, which is supported by the Official Community Plan (OCP).

DEVELOPMENT CONSIDERATIONS

- The subject 0.93-hectare (2.31-acre) site is located in West Cloverdale at the southwest corner of the 64 Avenue and 168 Street intersection. The site is designated Urban in the Official Community Plan (OCP), Single Family / Duplex Cluster (10 upa) in the West Cloverdale North Neighbourhood Concept Plan (NCP), and is zoned One-Acre Residential (RA).

- The most northerly subject lot was formerly a plant nursery which ceased operation in 2006.
- The application proposes an amendment to the West Cloverdale North Neighbourhood Concept Plan from Single Family/Duplex Cluster (10 upa) to Commercial, rezoning from One-Acre Residential Zone (RA) to Comprehensive Development Zone (CD) based on the Neighbourhood Commercial Zone (C-5), a subdivision application to consolidate the 3 existing lots into one new lot, and a Development Permit, in order to permit the development of a neighbourhood scale retail shopping centre containing six free-standing buildings.
- 116 surface parking spaces are proposed, which exceeds the 71 required spaces under the Zoning By-law. The applicant has indicated that the extra parking is a requirement to help attract future tenants which may be considering locating at the site.

Arborist Report and Tree Location/Retention Plan

- The Arborist Report, prepared by M2 Landscape Architects Ltd. and dated April 12, 2012 identifies 7 mature trees on the site, 3 of which are proposed to be removed. The trees are proposed to be removed either because they conflict with the future building envelope, are in poor condition or because of the perceived quality of the tree.
- The table below provides a summary of the proposed tree retention and removal by species:

Tree Species	Number of Trees	Number to be Retained	Number to be Removed
Red Cedar	1	0	1
Purple Leaf Plum	2	0	2
Sierra Redwood	2	2	0
Austrian Pine	2	2	0
Total	7	4	3

- Surrey's Tree Protection By-law requires that all trees be replaced at a 2:1 ratio, excluding Red Alder and Black Cottonwood (to be replaced at a 1:1 ratio). The applicant proposes 63 replacement trees to be provided, which exceeds the number of replacement trees required under the Tree Protection By-law.

Proposed CD Zone

- The proposed CD Zone is based on the Neighbourhood Commercial Zone (C-5) with modifications to the permitted uses and building setbacks.
- While the C-5 Zone requires that the gross floor area of each individual business be a maximum of 370 square metres (4,000 sq. ft.), the proposed CD Zone will allow one business to exceed this, up to a maximum gross floor area of 483 square metres (5,200 sq. ft.). While not all of the tenants are known at this time, Fruiticana is confirmed as the future anchor tenant and will be located in Building 'A' at the rear of the development (see Appendix II). The applicant has advised that the additional floor area is required to provide adequate floor space for a Fruiticana store.

- The proposed CD Zone will also remove neighbourhood pubs as a permitted use. This use is not considered appropriate based on the existing residential nature of the community and the location relative to the Cloverdale Athletic Park. All other uses listed in the C-5 Zone are included in the CD Zone.
- The six proposed buildings will encompass a floor area of 2,369 square metres (25,500 sq. ft.), which represents a net floor area ratio (FAR) of 0.26. The CD Zone will permit an FAR of 0.3, compared to the 0.5 FAR permitted in the C-5 Zone.
- The C-5 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines. To create a more pedestrian environment and to better engage retail units to City streets, the CD Zone proposes reduced setbacks from both 64 Avenue and 168 Street, as shown in the following table:

Yard	Proposed CD By-law	C-5 Zone
Front Yard (north)	2.3 m (7.5 ft.)	7.5 m (25 ft.)
Rear Yard (south)	7.5 m (25 ft.)	7.5 m (25 ft.)
Side Yard (west)	7.5 m (25 ft.)	7.5 m (25 ft.)
Side Yard (on a Flanking Street) (east)	2.2 m (7 ft.)	7.5 m (25 ft.)

- The 7.5-metre (25 ft.) setback has not been reduced for either the rear (south) or side (west) yards which are adjacent to the existing single family homes.

PRE-NOTIFICATION

Pre-notification letters were sent on May 31, 2011 and two development proposal signs were installed on August 26, 2011. In response, correspondence was received from 10 residents and a representative of the Cloverdale Community Association who identified the following concerns (staff comments are noted in italics):

- The Cloverdale Community Association expressed concern that residents may have bought in the area with the understanding that the lands would be developed for residential purposes and thus confirmed their support for a consultation process that would allow residents to review the proposal.

(In addition to the distribution of pre-notification letters noted above, other opportunities for community engagement included the applicant holding a Public Information Meeting in addition to development proposal signs being erected.)

- Five of the residents noted that they did not believe that commercial uses are appropriate in this location, with one of the residents noting that the existing West Cloverdale North Neighbourhood Concept Plan designated the lands for future residential use, which was one of the reasons why they had purchased a home in the area.
- Four of the residents questioned whether the additional commercial space is needed as they believe that there is already sufficient commercial space in Cloverdale, both locally (e.g. at the five corners at 60 Avenue and 168 Street) and within the larger Town Centre area. Further, two of the residents also questioned whether the development would add to the local community and that in fact it may reduce their property values.

- Similarly, a separate resident noted that the additional commercial space could impact the food kiosk on the adjacent Cloverdale Athletic Park, proceeds from which are used to support local sports teams. Should their revenues decrease, and thus their ability to support these teams, then the net effect could be increased costs for families to be involved. This resident also noted they had concern with the possibility that so called 'big box' stores may locate in this location, potentially operating up to 24 hours per day.
- Two residents noted that the scale of the project was too large and will not be in-keeping in a residential context. Similarly because of the scale, one resident felt that existing merchants in the area may be hurt with additional commercial space being added.

(The commercial use is appropriate as the site is located at the corner of two highly visible arterial roads on the edge of a residential community. With it being on the community's edge, commuters will be able to access the site with limited impact from local traffic on existing residents.)

In terms of adding to the fabric of the community, commercial units will be oriented to both 168 Street and 64 Avenue along the exterior of the site which will provide weather protection for pedestrians and transit users. The development will also help to add new amenities for resident use.)

- Two residents noted concern with the plan to utilize the existing residential lane to provide access to the proposed development and would prefer that the lane be closed to traffic. Both of the residents noted that they are concerned for children's safety if the lane is open for traffic as they tend to play in the lane.
- Additionally, one of the residents noted that there is nothing that currently provides separation between the residential lots and the lane and thus people have been loitering there. There have also been times when the resident has observed people doing drugs (or what appears to be drugs) in the lane.

(The City's Transportation Division has identified that the existing lane is approximately 180 metres (591 ft.) long and unfinished at the north end. When finished it was to include a turn around and provide access for properties fronting 168 Street, south of 64 Avenue. Extension of the lane to provide access to and through the commercial development will benefit residents as it will allow access to 64 Avenue and to avoid the intersection (and thus having to circulate the block to their properties).

An open and connected lane may also encourage people to bike or walk to the development which will provide eyes on the lane and increased safety.

It should also be noted that primary access to the site will be from 64 Avenue and 168 Street. In this regard the lane will not be an attractive option or convenient route for the wider neighbourhood since the site is more easily accessed from the public road system (64 Avenue and 168 Street). This network provides more options to connect in each direction to the signalized intersection at 64 Avenue and 168 Street.

The vibrancy resulting from the commercial uses should discourage much of the negative activities that are occurring as there will be more natural surveillance over

the area. It is also noted that City lanes are intended for the movement of vehicles and not as a children's play area due to the potential for conflicts.)

- Two residents expressed concern with the level of traffic in the area, which will likely increase as a result of the development including increasing the potential for accidents. One of these residents further noted that illegal u-turns presently occur at a break in the boulevard along 64 Avenue (approximately 2-3 blocks east of the proposal) and with a similar break proposed adjacent the subject site for left in access from 168 Street, u-turns may also be expected.
- One resident also noted that with the level of traffic and activity resulting from the project that the intersection of 64 Avenue and 168 Street will become unsafe for pedestrians trying to cross these streets.

(64 Avenue and 168 Street are both identified as arterial roads and are expected to carry heavy loads of traffic within the City's transportation network. Buildings will be oriented to the streets to encourage walking along both frontages in addition to providing breaks between them that will encourage pedestrian movement to the intersection, thus promoting safe pedestrian crossings.

U-turns are not expected to be an issue at this location as turning can be facilitated within the commercial development's parking area.)

- One resident noted the potential for offsite impacts resulting from the commercial uses on the site. In particular they noted the impact that the development's garbage would have on the adjacent residents and in particular from Building 'A' (Fruiticana) resulting from spoiled food. They also noted their preference that the height of the solid fence be increased from 1.8 metres (6 ft.) to 2.4 metres (8 ft.) high so that there is little chance of people climbing over.

(As with the loading area, the garbage for Building 'A' will be enclosed so there should be no off site impacts (e.g. smell) resulting from its location. A 1.8-metre (6 ft.) high solid fence (pressure treated wood) is considered an appropriate scale to provide separation between the uses.)

Public Information Meeting (PIM)

The applicant conducted a Public Information Meeting (PIM) on Tuesday April 3, 2012. Approximately 298 invitations were sent out advising of this meeting which was attended by approximately 30 persons. Officially 18 people signed in and 20 response forms were received, however; these were received from 27 different residents as in some cases two people living in the same household filled out the forms. The issues and concerns raised at the PIM mirrored those identified through the pre-notification letter process. More specifically the comments were as follows:

- There is concern for the amount of traffic that will result from the development; the amount of parking that is proposed; the potential for 'youth congestion'; noise; the current large amount of commercial vacancy in Cloverdale and the lack of need for more commercial space.

- The use should remain residential in nature.
- Concern that property values will be impacted.
- There is enough retail space in the area, in addition to a significant amount of traffic at the intersection of 64 Avenue and 168 Street.
 - The development will add to the traffic which is a problem given there is a large park with a playground across the street.
- The lane should be closed for both cars and pedestrians as this could lead to unwanted people in the neighbourhood, and could result in vandalism or theft.
 - The development could also result in additional rodents or vermin that are not desirable.
- Development should follow the NCP and remain residential in nature as there is enough commercial space in the area (e.g. 64 Avenue and 176 Street or Highway No. 10 and 176 Street).
 - It is also felt that the tax collected from commercial versus residential development may be a factor influencing the development.
- There are concerns with the amount of noise that will emanate from the development.
- There is concern that the development may be a hangout for teenagers.

The following reflects the positive comments that were received:

- The development is well planned and attractive.
 - The building design is nice and matches the existing townhouses to the north-east (the 'Lexington').
 - The development is a good idea that will encourage walking.
 - This development will give local residents a destination to visit.
 - The concept and design look very good.
- In summary, of the twenty households responding to the applicant's survey: 6 indicated their support for the NCP Amendment and rezoning (30%); 8 identified that they did not support the application (40%); and 6 indicated that they were unsure or did not know (30%).

DESIGN PROPOSAL AND REVIEW

- The development proposes six, single-storey commercial buildings, five of which are oriented towards 64 Avenue and 168 Street. The remaining building is located at the rear of the site (southwest corner). All of the buildings are located along the exterior of the site with parking located internally, which will help to screen the parking from the public realm.

- The individual buildings range in size from 318 square metres (3,418 sq. ft.) to 480 square metres (5,169 sq. ft.).
- Building materials include the extensive use of fibre cement siding (e.g. hardie siding in a cedar colour finish), laminated architectural shingles for roofing material (brown colour) and extensive glazing in the form of an aluminum storefront window system (bronze colour). Additional detail is provided with the inclusion of a lattice feature below the roof gables.
- The development provides a series of roof lines in differing forms (e.g. gables) which together create an interesting roof form which is pronounced at the unit ends. A tower feature is provided over these ends that is reminiscent of a heritage barn feature. Additional heritage features include the provision of knee brackets to support the roof.
- Individual unit entries are oriented externally towards City streets and internally towards the parking area. Orienting units towards the streets should help foster walking in the local area, particularly as the development is located adjacent the Cloverdale Athletic Park which is heavily used.
- Buildings B, C & D are located along the site's eastern frontage (168 Street) while Building F is located along the northern frontage (64 Avenue) at the northwest corner of the site. Building E will be located adjacent the intersection of 64 Avenue and 168 Street. Building A (Fruiticana) is to be located at the rear of the site (southwest corner).
- Access to the site will be provided from 64 Avenue (right in/out only) and 168 Street (left in and right in/out). Both accesses will be located away from the intersection of 64 Avenue and 168 Street to minimize the potential for conflict at the intersection. Secondary access will be provided at the southern boundary of the site, by way of the existing residential lane. It is expected that only local traffic and pedestrians would utilize the lane to access the development and that this will provide increased connectivity in the local area.
- The proposed development provides 116 surface parking spaces, which exceeds the 71 spaces required under the Zoning By-law.

Signage

- Fascia signage over unit entries will be in the form of channel letters for the majority of buildings, with the exception of Building A (Fruiticana) which proposes to utilize a sign box. A free-standing sign is not proposed.

Landscaping

- A series of 3.0-metre (10 ft.) high hemlocks and cedars with dogwoods interspersed are proposed along the west and south frontages that interface with the existing residential area. This buffer will provide visual separation for the residents from the commercial use. This buffering will be further enhanced with the provision of a 1.8-metre (6 ft.) high solid wood fence along these property lines.
- The setback area between the two streets and the buildings will be hard surfaced to the property line to enhance the pedestrian experience and to support the commercial uses along

City streets. The building overhang will provide continuous weather protection along these frontages, including providing cover for transit users at the existing bus stop on 168 Street.

- Stormwater will be partially collected from bio-swales (3) that are proposed in the boulevard between parking spaces. This should have an added benefit of enlivening the parking area which is supported with the planting (trees and shrubs) of the landscape strips within the parking area.

ADVISORY DESIGN PANEL

ADP Date: April 19 2012

This project was generally supported by the ADP. The applicant has resolved the majority of the issues to the satisfaction of the Planning and Development Department.

A detailed list of issues has been provided to the applicant, who has agreed to resolve these prior to consideration of final approval of this application.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV	Summary of Tree Survey and Tree Preservation
Appendix V	ADP Comments & Applicant's Responses
Appendix VI	NCP Amendment Map
Appendix VII	Public Information Meeting Map of Responses
Appendix VIII	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Architectural Drawings prepared by Urban Design Group Architects Ltd. and dated May 18, 2012 and Landscape Architectural Drawings prepared by C. Kavolinas & Associates Inc. and dated May 2012 (Revision 5).
- Traffic Impact Study prepared by Bunt & Associates Dated February 15, 2011.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

SML/kms

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. 5/24/12 10:26 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Rick Jones
 Urban Design Group Architects Ltd.
 Address: Unit 600 - 1140 Pender Street West
 Vancouver BC
 V6E 4G1

 Tel: 604-687-2334

2. Properties involved in the Application

(a) Civic Addresses: 6365, 6355 and 6373 - 168 Street

(b) Civic Address: 6365 - 168 Street
 Owner: 581947 BC Ltd., Inc. No. 581947
 Director Information:
 Amrik Singh
 Sukhwinder Singh

Officer Information as at March 19, 2011
 Amrik Singh (President)
 Sukhwinder Singh (Secretary)

PID: 007-431-261
Lot 4, Except: Part on Plan BCP 18311, Section 12, Township 2, New Westminister District
Plan 14713

(c) Civic Address: 6355 - 168 Street
 Owner: 581947 BC Ltd., Inc. No. 581947
 Director Information:
 Amrik Singh
 Sukhwinder Singh

Officer Information as at March 19, 2011
 Amrik Singh (President)
 Sukhwinder Singh (Secretary)

PID: 009-997-105
Lot 5, Except: Part Dedicated Road on Plan BCP 18029, Section 12, Township 2, New
Westminister District Plan 14713

(d) Civic Address: 6373 - 168 Street
Owner: 581947 BC Ltd., Inc. No. 581947

Director Information:

Amrik Singh
Sukhwinder Singh

Officer Information as at March 19, 2011

Amrik Singh (President)
Sukhwinder Singh (Secretary)

PID: 002-809-494

Lot "A" Except: Firstly: Parcel One (By-law Plan NWP87783); Secondly: Part Dedicated by Plan BCP 4604; Section 12, Township 2, New Westminster District Plan 14713

3. Summary of Actions for City Clerk's Office

(a) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on C-5)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		9,330 m ²
Road Widening area		268 m ²
Undevelopable area		
Net Total		9,062 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	50%	26.1%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (north)	2.3m	2.42m
Rear (south)	7.5m	7.63m
Side (east)	2.2m	2.33m
Side (west)	7.5m	7.62m
BUILDING HEIGHT (in metres/storeys)		
Principal	9m	7.92 m
Accessory		
FLOOR AREA: Commercial		
Retail		2,369 m ²
Office		
Total		2,369 m ²
TOTAL BUILDING FLOOR AREA		2,369 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.30	0.26
PARKING (number of stalls)		
Commercial	71	116
Total Number of Parking Spaces	71	116
Number of disabled stalls	1	2
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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COMMERCIAL DEVELOPMENT
 6355, 6365 & 6373 168th Street,
 SURREY , B.C.

ADP MEETING, APRIL 19, 2012
 FILE # 7811-0092-00

SITE KEY PLAN



CONTACT LIST

CONSULTANTS

ARCHITECT ADP CONSULTING GROUP ARCHITECTS LTD.
 Paula Sparrow, Architect, P.Eng.
 5450-161 Street, Surrey, BC
 Phone: 604-581-1234
 Fax: 604-581-1234

ELECTRICAL M&E/C CONSULTING LTD.
 Steve Nelson, P.Eng.
 1050 West 8th Ave.
 Vancouver, BC V6C 3C1
 Phone: 604-754-1850
 Fax: 604-754-1850

LANDSCAPE ARCHITECT G. HAVILAND-HED ASSOCIATES INC.
 Clark Kellock, BCLA
 1260 - 126th Street
 Abbotsford, BC V3G 1B6
 Phone: 604-854-0330

CIVIL WATSON LAND ENGINEERING LTD.
 Richard Hayward, P.Eng.
 8800 Burnaby Road
 Burnaby, BC V5C 2G5
 Phone: 604-436-8831

SURVEYOR C.S. Brown
 B.C. Land Surveyor
 1887 West 56th Avenue
 Langley, BC V3V 2B5
 Phone: 604-488-6648

DRAWING LIST

ARCHITECTURAL

- A-0.0 COVER SHEET
- A-1.0 CONTEXT PLAN
- A-1.1 SITE PLAN
- A-1.2 SITE PLAN DETAILS
- A-2.6 ROOF PLAN
- A-3.0 EXTERIOR ELEVATIONS
- A-3.1 BUILDINGS A&B ELEVATIONS
- A-3.2 BUILDINGS C&D ELEVATIONS
- A-3.3 BUILDINGS E&F ELEVATIONS
- A-3.4 COLOUR ELEVATIONS
- A-3.5 BUILDINGS A&B SIGNAGE
- A-3.6 BUILDINGS C&D SIGNAGE
- A-3.7 BUILDINGS E&F SIGNAGE
- A-4.0 TYPICAL SECTIONS

ELECTRICAL

- E-1 of 2 SITE PLAN
- E-2 of 2 SPECIFICATIONS

LANDSCAPE

- L-1.1 PLAN VIEW
- L-1.1 COLOUR LANDSCAPE

CIVIL

- C1 PRELIMINARY GRADING PLAN

SURVEYOR

- TOPOGRAPHIC PLAN

PROJECT INFORMATION

PROJECT OWNER :

581947 B.C. LTD.
 9101 - 12758 80th AVENUE
 SURREY, B.C. V3W 3A7
 PHONE: 604-901-9282

CONTACT: TONY SINGH
 OREG LEA

CIVIC ADDRESS

6355, 6365 AND 6373 168TH STREET, SURREY B.C.

LEGAL DESCRIPTION

PLAN OF LOT 'A' EXCEPT, FIRSTLY PCL ONE (BL PLAN NH 87783) SECONDLY PART DEDICATED BY PLAN BCP 4804 AND LOT 4 AND LOT 5 PART ON PLAN BCP18311 BOTH OF SECTION 12 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 14713

ZONING

EXISTING ZONING:
 RA (RESIDENTIAL ZONE)

PROPOSED ZONING:
 C-5 (GENERAL COMMERCIAL ZONE)

DEVELOPMENT PERMIT APPLICATIONS FOR:
 SINGLE-STORY COMMERCIAL BUILDINGS:
 A, B, C, D, E, F & SITEWORKS

The drawings are the property of the Client. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect.

Commercial Development
 6355, 6365 & 6373 168th Street, Surrey BC
581974 B.C. LTD.

architects ltd
 600-1140 WEST ENDER
 VANCOUVER, BC V6E 4C3
 TELEPHONE 604-687-2304
 FACSIMILE 604-688-7981

Appendix II



KEYPLAN

SITE STATISTICS :	
LEGAL DESCRIPTION :	
PLAN OF LOT "A" EXCEPT: FIRSTLY PCL ONE (BL PLAN NW87783); SECONDLY: PART DEDICATED BY PLAN BCP4604 AND LOT 4 AND LOT 5: PART ON PLAN BCP18311 BOTH OF SECTION 12 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 14713.	
CIVIC ADDRESS :	
6355, 6365 & 6373 168th Street, SURREY BC	
SITE AREA: 100,430 SF. (9,330.25 SM) (2.31 ACRES)	
ROAD DEDICATION: 2,887 SF (268.3 SM)	
SITE AREA AFTER ROAD DEDICATION: 97,542 SF (9,062 SM)	
ZONING:	
EXISTING ZONING : RA	
PROPOSED ZONING : C-5	
BUILDING AREA:	
BUILDING 'A'	5,169 SF. (480.22M ²)
BUILDING 'B'	3,418 SF. (317.54M ²)
BUILDING 'C'	3,901 SF. (362.41M ²)
BUILDING 'D'	4,046 SF. (375.88M ²)
BUILDING 'E'	4,155 SF. (386.01M ²)
BUILDING 'F'	4,811 SF. (446.96M ²)
TOTAL BLDG. AREA = 25,500 SF. (2,369.02M²)	
SITE COVERAGE:	
25,500 SF.	= 26.1 %
97,542 SF.	
FAR : 0.261	
PARKING REQUIRED:	
25,500 SF.	= 23.7X 3 = 71 STALLS REQUIRED
1,075 SF.	
PARKING PROVIDED:	
= 82 REGULAR STALLS	
= 2 H/C STALLS	
= 32 SMALL CARS (28.9%)	
TOTAL PARKING = 116 STALLS PROVIDED	
PARKING RATIO:	
116 STALLS	= 4.55 /1000 SF.
25,500 SF.	
BICYCLE PARKING REQUIRED:	
25,500 SF.	= 23.7X 0.1 = 2 REQUIRED
1,075 SF.	
TOTAL PROVIDED : 2	
BUILDING SETBACKS:	
168TH STREET - 2.33 M OR 7'-8"	
64TH AVENUE - 2.42 M OR 7'-11"	
FROM RESIDENTIAL (SOUTH) - 7.62M OR 25'	
FROM RESIDENTIAL (WEST) - 11.68M OR 38'-4"	



SITE PLAN
SCALE: 1" = 10'-0"

1	PROJECT LOCATION
2	PROJECT LOCATION
3	PROJECT LOCATION
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94	PROJECT LOCATION
95	PROJECT LOCATION
96	PROJECT LOCATION
97	PROJECT LOCATION
98	PROJECT LOCATION
99	PROJECT LOCATION
100	PROJECT LOCATION

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VANCOUVER, BC V6E 4G3
TELEPHONE 604-687-2204
FACSIMILE 604-688-7968

Project Number: 3188

DATE: 2018/05/08

SCALE: AS NOTED

SITE PLAN
A-1.1



BUILDING F WEST ELEVATION

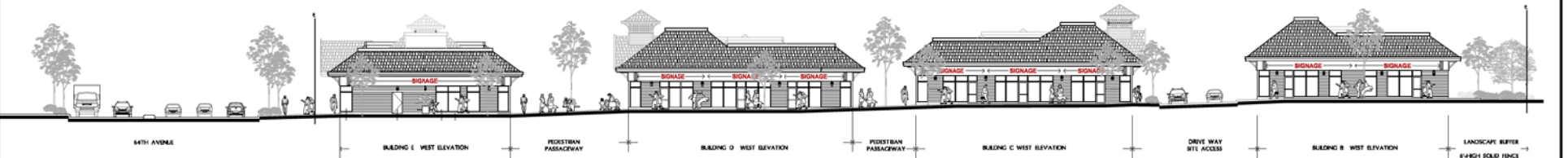
BUILDING D WEST ELEVATION

BUILDING C WEST ELEVATION

BUILDING A WEST ELEVATION

A VIEW FROM RESIDENTIAL TOWARDS DEVELOPMENT

SCALE: N.T.S.



64TH AVENUE

BUILDING E WEST ELEVATION

RESIDENTIAL PASSAGEWAY

BUILDING D WEST ELEVATION

RESIDENTIAL PASSAGEWAY

BUILDING C WEST ELEVATION

DRIVE WAY SITE ACCESS

BUILDING B WEST ELEVATION

LANDSCAPE BUFFER
4' HIGH SOLID FENCE
ALONG PROPERTY LINE

B INTERIOR WEST ELEVATIONS

SCALE: N.T.S.

NO.	DATE	DESCRIPTION
1	10/21/2010	REVISED FOR PERMITS
2	11/24/2010	REVISED FOR PERMITS
3	01/22/2011	REVISED FOR PERMITS
4	03/16/2011	REVISED FOR PERMITS
5	04/05/2011	REVISED FOR PERMITS
6	05/12/2011	REVISED FOR PERMITS
7	06/09/2011	REVISED FOR PERMITS
8	07/07/2011	REVISED FOR PERMITS
9	08/04/2011	REVISED FOR PERMITS
10	09/01/2011	REVISED FOR PERMITS
11	10/01/2011	REVISED FOR PERMITS
12	11/01/2011	REVISED FOR PERMITS
13	12/01/2011	REVISED FOR PERMITS
14	01/01/2012	REVISED FOR PERMITS
15	02/01/2012	REVISED FOR PERMITS
16	03/01/2012	REVISED FOR PERMITS
17	04/01/2012	REVISED FOR PERMITS
18	05/01/2012	REVISED FOR PERMITS
19	06/01/2012	REVISED FOR PERMITS
20	07/01/2012	REVISED FOR PERMITS

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VANCOUVER, BC V6E 4G4
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FACSIMILE: 604-688-7965

Project Number: 3188

COLOR ELEVATIONS

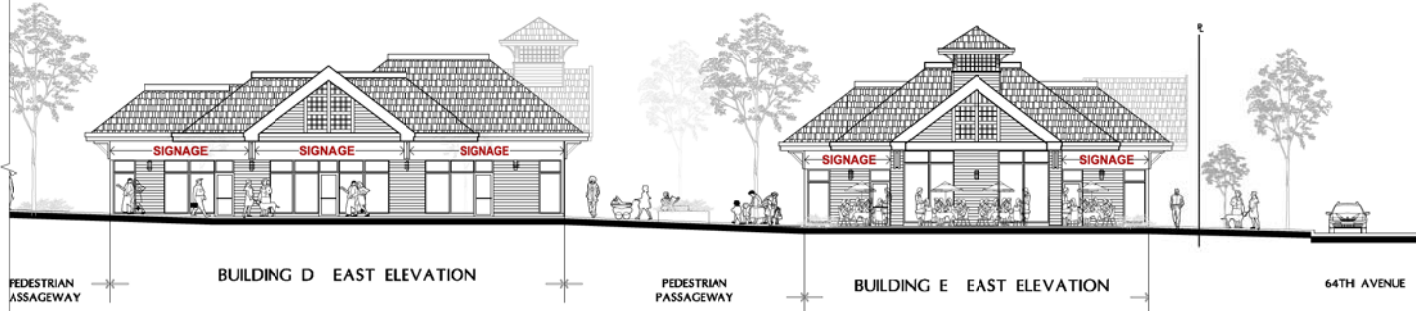
DATE: 06/15/12
DRAWN BY: J.S. MOSEY
CHECKED BY: J.S. MOSEY
SCALE: 1/8"=1'-0"
A-34



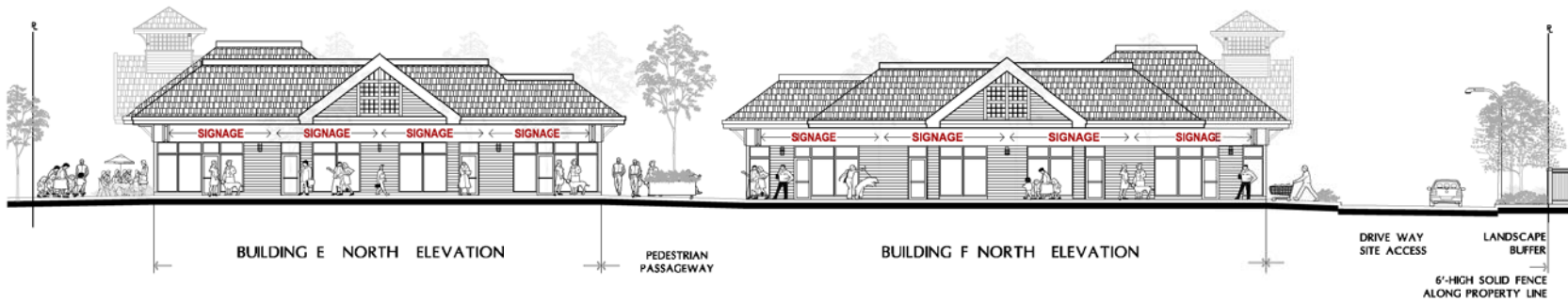
1 ELEVATION ALONG 168TH STREET
SCALE: 1/8" = 1'-0"



2 ELEVATION ALONG 168TH STREET
SCALE: 1/8" = 1'-0"



3 ELEVATION ALONG 168TH STREET
SCALE: 1/8" = 1'-0"



4 ELEVATION ALONG 64TH AVENUE
SCALE: 1/8" = 1'-0"

NO. 1	DATE	BY
NO. 2	DATE	BY
NO. 3	DATE	BY
NO. 4	DATE	BY
NO. 5	DATE	BY
NO. 6	DATE	BY
NO. 7	DATE	BY
NO. 8	DATE	BY
NO. 9	DATE	BY
NO. 10	DATE	BY
NO. 11	DATE	BY
NO. 12	DATE	BY
NO. 13	DATE	BY
NO. 14	DATE	BY
NO. 15	DATE	BY
NO. 16	DATE	BY
NO. 17	DATE	BY
NO. 18	DATE	BY
NO. 19	DATE	BY
NO. 20	DATE	BY

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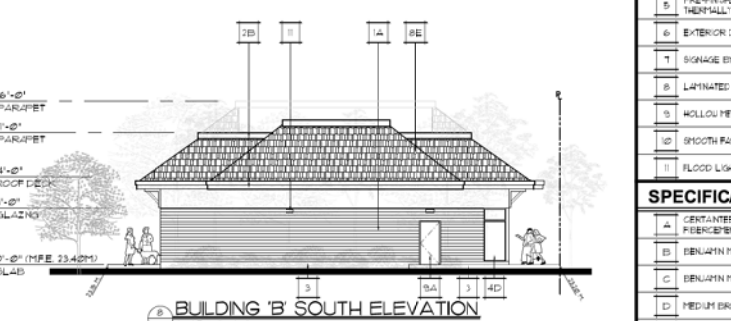
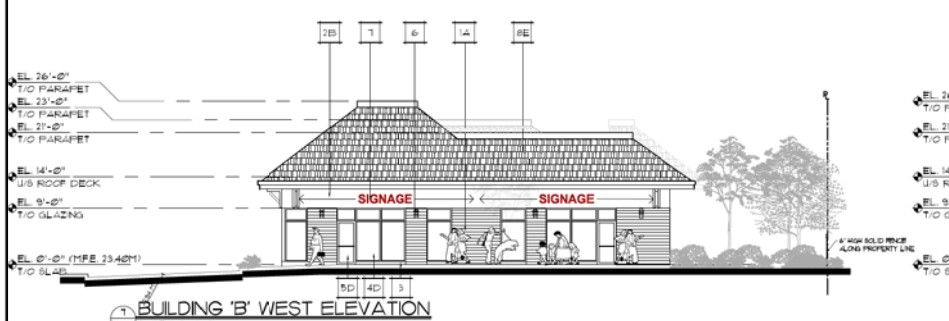
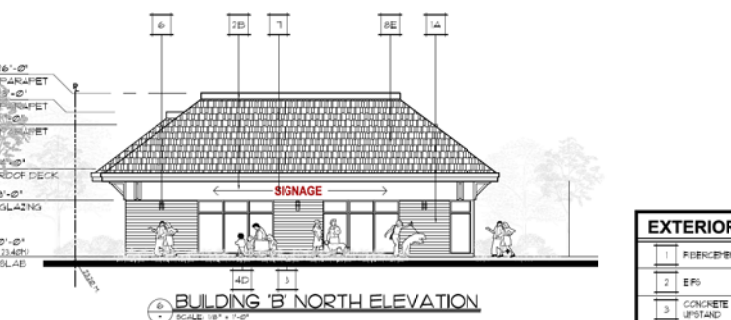
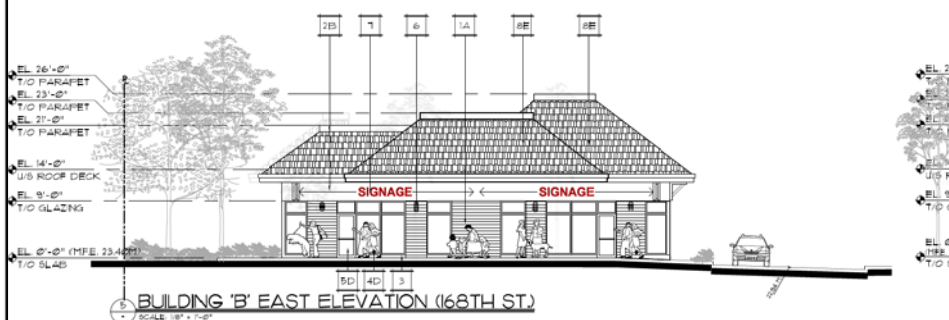
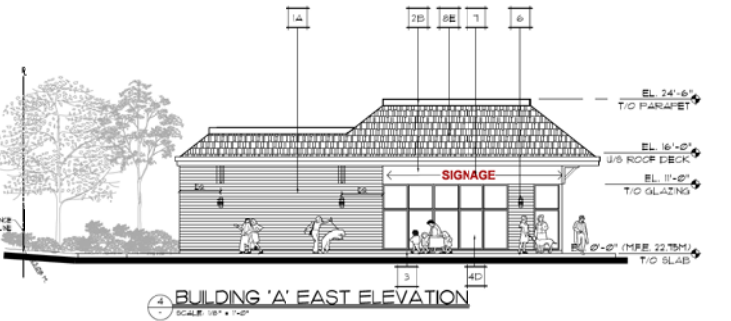
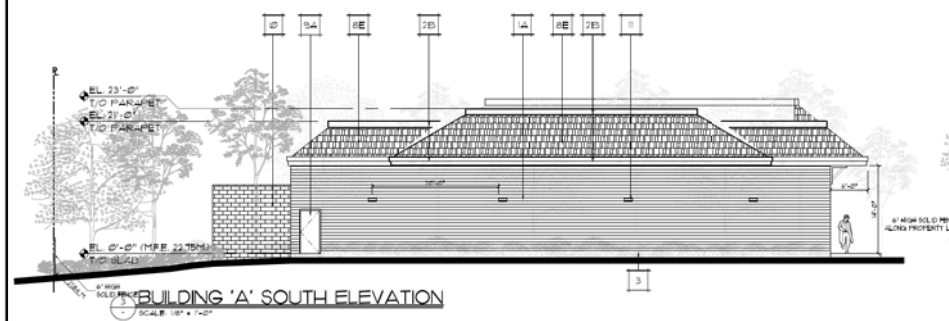
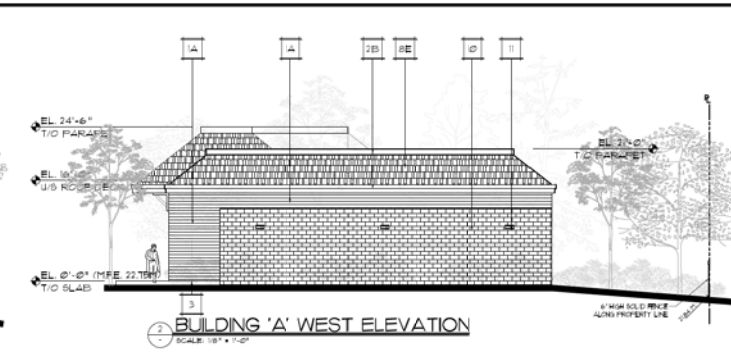
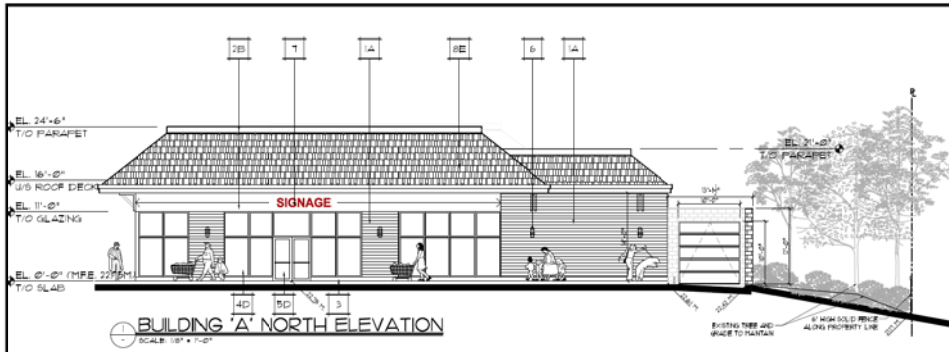
PROJECT NO. 3188

DATE: 2015/12/01

SCALE: AS NOTED

PROJECT: EXTERIOR ELEVATIONS

A-30



EXTERIOR MATERIALS & FINISHES:	
1	FIBERCEMENT SIDING
2	EIFS
3	CONCRETE UPSTAND
4	PRE-FINISHED ALUMINUM STOCKFRONT THERMALLY BROKEN DOUBLE GLAZED
5	PRE-FINISHED ALUMINUM STOCKFRONT THERMALLY BROKEN DOUBLE GLAZED
6	EXTERIOR DECORATIVE LIGHT FIXTURE
7	SIGNAGE BY TENANT
8	LAMINATED ARCHITECTURAL SHINGLES
9	HOLLOW METAL DOOR
10	SMOOTH FACE CONCRETE BLOCK
11	FLOOD LIGHT WITH SENSOR

SPECIFICATIONS:	
A	CERTAINTEED LEATHERLOCKS FIBERCEMENT FRESH STANS - CEDAR
B	BENJAMIN MOORE CC-488, NOGARA CREPE
C	BENJAMIN MOORE 209-00, ELEPHANT GRAY
D	MEDIUM BRONZE ANODIZED
E	MALARKEY ROOFING PRODUCTS LAMINATED ARCHITECTURAL SHINGLES LEGACY SHINGLES ANTIQUE BRONZ ASPHALT SHINGLES

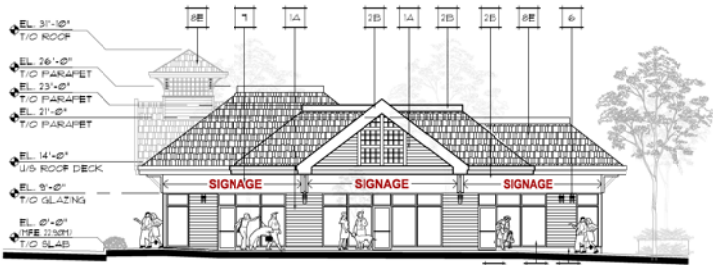
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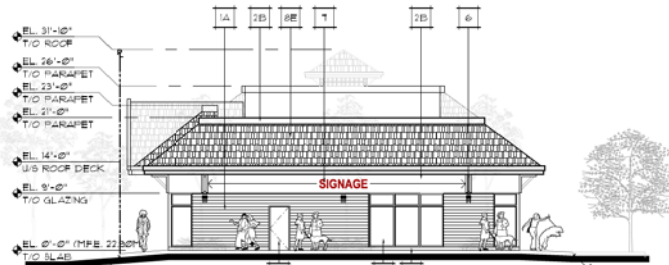
RAM Construction Inc.
Commercial Development
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architects ltd
 600-1140 WEST PENDER
 VANCOUVER, BC V6E 4G3
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 FACSIMILE: 604-687-9661

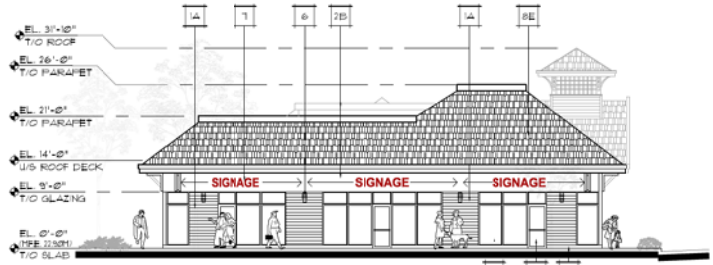
Project No: **3168**
 Name: **BUILDINGS A&B ELEVATIONS**
 Date: 2018/12/06
 Scale: 1/8" = 1'-0"
 Project: **A-3.1**



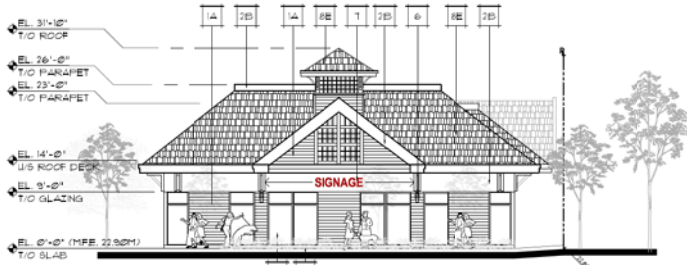
1 BUILDING 'C' EAST ELEVATION (168TH ST.)
SCALE: 1/8" = 1'-0"



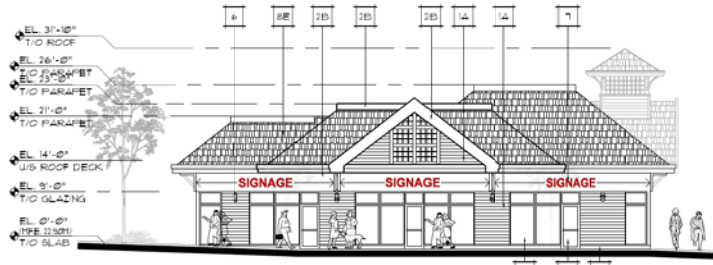
2 BUILDING 'C' NORTH ELEVATION
SCALE: 1/8" = 1'-0"



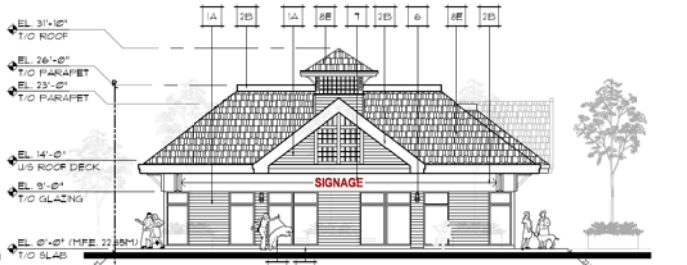
3 BUILDING 'C' WEST ELEVATION
SCALE: 1/8" = 1'-0"



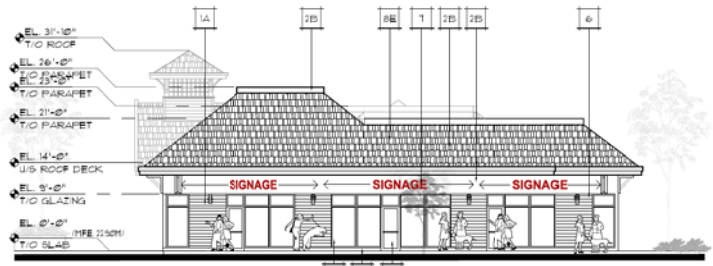
4 BUILDING 'C' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



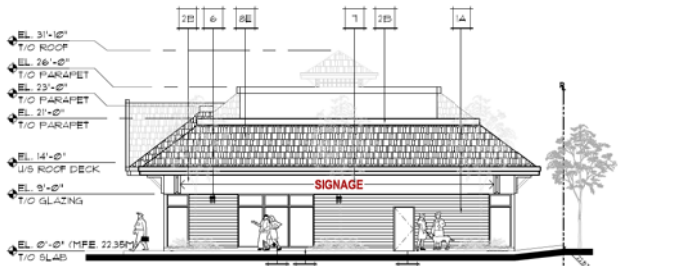
5 BUILDING 'D' EAST ELEVATION (168TH ST.)
SCALE: 1/8" = 1'-0"



6 BUILDING 'D' NORTH ELEVATION
SCALE: 1/8" = 1'-0"



7 BUILDING 'D' WEST ELEVATION
SCALE: 1/8" = 1'-0"



8 BUILDING 'D' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS & FINISHES:

1	PREFINISHED SIDING
2	EPS
3	CONCRETE UPSTAND
4	PREFINISHED ALUMINUM STOREFRONT THERMALLY BROKEN DOUBLE GLAZED
5	PREFINISHED ALUMINUM STOREFRONT THERMALLY BROKEN DOUBLE GLAZED
6	EXTERIOR DECORATIVE LIGHT FIXTURE
7	SIGNAGE BY TENART
8	LAMINATED ARCHITECTURAL SHINGLES
9	HOLLOW METAL DOOR
10	SMOOTH FACE CONCRETE BLOCK
11	FLOOD LIGHT WITH SENSOR

SPECIFICATIONS:

A	CERTAINTED LEATHERBOARDS
B	PREFINISHED PREMIUM STAINS - CEDAR
C	BENJAMIN MOORE CC-88, ROCKAWAY CRIBE
D	BENJAMIN MOORE 109-30, ELEPHANT GRAY
E	MEDIUM BRONZE ANODIZED
F	MALANKAY ROOFING PRODUCTS, LAMINATED ARCHITECTURAL SHINGLES, LEGACY SHINGLES, ANTIQUE BRONZ ALPHAT SHINGLES

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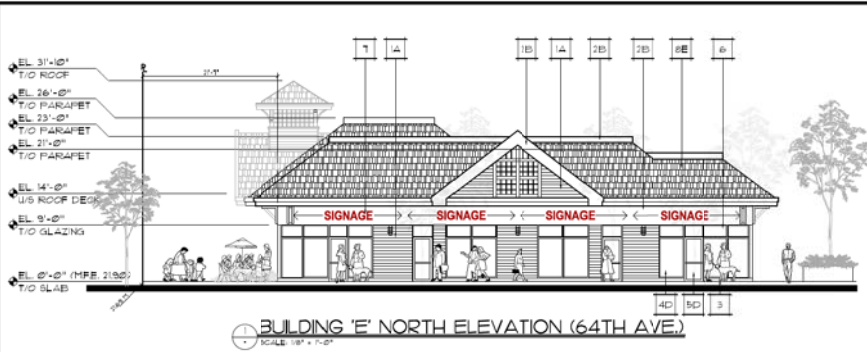


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FACSIMILE 604-687-7461

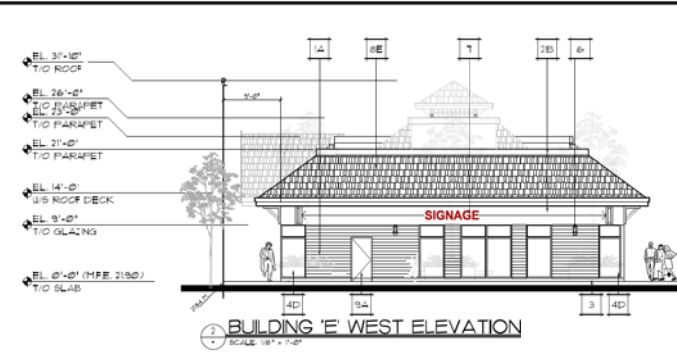
Project Number: **3168**

Drawn by: **BUILDINGS C&D ELEVATIONS**

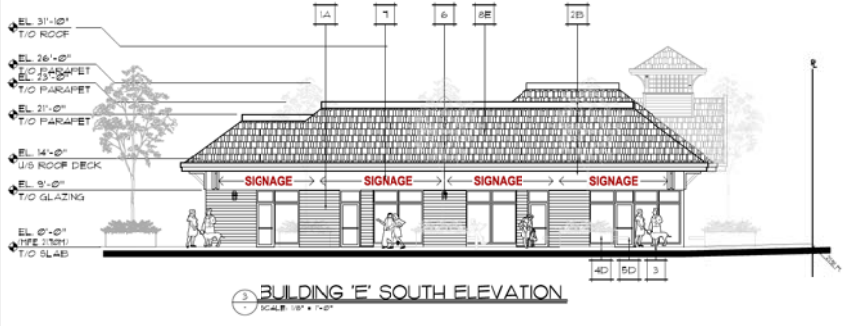
Scale: **A=32**



1 BUILDING 'E' NORTH ELEVATION (64TH AVE.)
SCALE 1/8" = 1'-0"



2 BUILDING 'E' WEST ELEVATION
SCALE 1/8" = 1'-0"



3 BUILDING 'E' SOUTH ELEVATION
SCALE 1/8" = 1'-0"



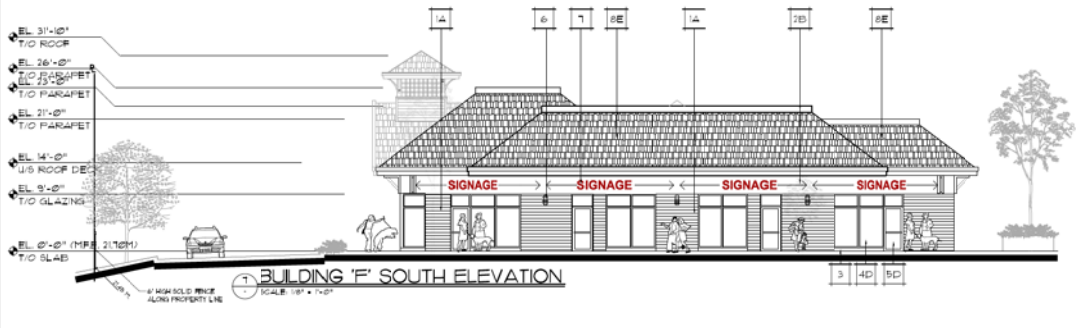
4 BUILDING 'E' EAST ELEVATION (168TH ST.)
SCALE 1/8" = 1'-0"



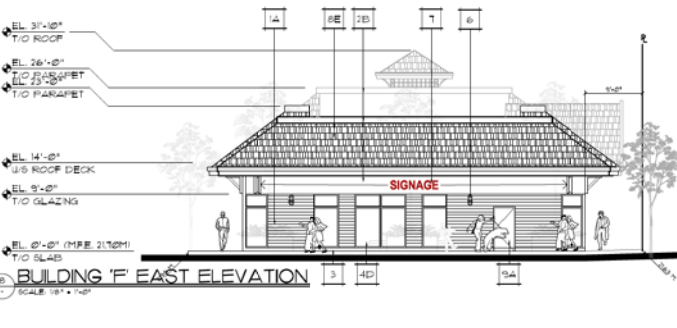
5 BUILDING 'F' NORTH ELEVATION (64TH AVE.)
SCALE 1/8" = 1'-0"



6 BUILDING 'F' WEST ELEVATION
SCALE 1/8" = 1'-0"



7 BUILDING 'F' SOUTH ELEVATION
SCALE 1/8" = 1'-0"



8 BUILDING 'F' EAST ELEVATION
SCALE 1/8" = 1'-0"

EXTERIOR MATERIALS & FINISHES:

1	PERCIPENT SIDING
2	EPS
3	CONCRETE
4	PRE-FINISHED ALUMINUM STOREFRONT
5	PRE-FINISHED ALUMINUM STOREFRONT DOOR
6	EXTERIOR DECORATIVE LIGHT FIXTURE
7	SIGNAGE BY TENANT
8	LAMINATED ARCHITECTURAL SHINGLES
9	HOLLOW METAL DOOR
10	SMOOTH FACE CONCRETE BLOCK
11	FLOOD LIGHT WITH SENSOR

SPECIFICATIONS:

A	CERTIFIED LEATHERBOARDS
B	BENJAMIN MOORE CC-458, MOCHA CHERRY
C	BENJAMIN MOORE 2105-NC, ELEPHANT GRAY
D	MEDIUM BRONZE ANODIZED
E	MALARKEY ROOFING PRODUCTS LAMINATED ARCHITECTURAL SHINGLES LEGACY SHINGLES, ANTIQUE BRONZ ASPHALT SHINGLES

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TELEPHONE 604-687-2204
FACSIMILE 604-687-7861

Project name: **3188**
DATE: 2023/12/08
DRAWN BY: J.M.
CHECKED BY: J.M.
SCALE: 1/8" = 1'-0"
A-33

1	1/4" = 1'-0"
2	1/2" = 1'-0"
3	3/4" = 1'-0"
4	1" = 1'-0"
5	1 1/4" = 1'-0"
6	1 1/2" = 1'-0"
7	1 3/4" = 1'-0"
8	2" = 1'-0"
9	2 1/4" = 1'-0"
10	2 1/2" = 1'-0"
11	2 3/4" = 1'-0"
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16	4" = 1'-0"
17	4 1/4" = 1'-0"
18	4 1/2" = 1'-0"
19	4 3/4" = 1'-0"
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23	5 3/4" = 1'-0"
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70	17 1/2" = 1'-0"
71	17 3/4" = 1'-0"
72	18" = 1'-0"
73	18 1/4" = 1'-0"
74	18 1/2" = 1'-0"
75	18 3/4" = 1'-0"
76	19" = 1'-0"
77	19 1/4" = 1'-0"
78	19 1/2" = 1'-0"
79	19 3/4" = 1'-0"
80	20" = 1'-0"

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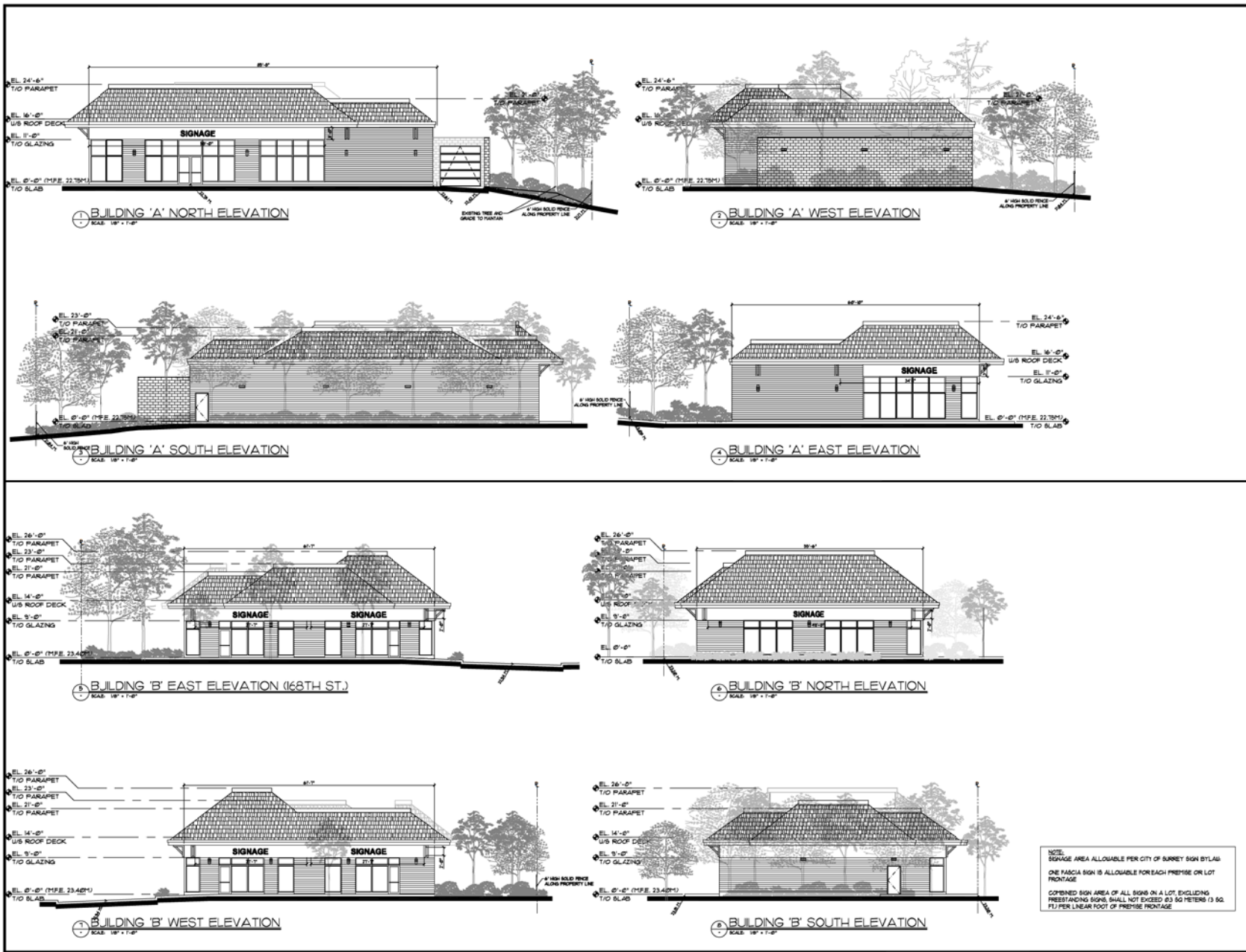


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 400-116 WEST ROYAL
 VANCOUVER, BC V6E 4C3
 TELEPHONE 604-687-0200
 FACSIMILE 604-687-0200

DATE: 05/22/12
 DRAWING NO: S188
 PROJECT: BUILDINGS A&B SIGNAGE
 SHEET NO: A-85



NOTE:
 SIGNAGE AREA ALLOWABLE PER CITY OF SURREY SIGN BYLAW
 ONE FASCIA SIGN IS ALLOWABLE FOR EACH PREMISE OR LOT FRONTAGE
 COMBINED SIGN AREA OF ALL SIGNS ON A LOT, EXCLUDING FREESTANDING SIGNS, SHALL NOT EXCEED 83.50 METERS (3.00 FLU PER LINEAR FOOT OF PREMISE FRONTAGE)

1	1/4" = 1'-0"
2	1/4" = 1'-0"
3	1/4" = 1'-0"
4	1/4" = 1'-0"
5	1/4" = 1'-0"
6	1/4" = 1'-0"
7	1/4" = 1'-0"
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9	1/4" = 1'-0"
10	1/4" = 1'-0"
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18	1/4" = 1'-0"
19	1/4" = 1'-0"
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architects ltd.
 400-116 WEST ROBERT
 VANCOUVER, BC V6E 4C3
 TELEPHONE 604-687-0200
 FACSIMILE 604-687-0201
 WWW.ARLD.CO
 3188
BUILDINGS CAD SIGNAGE
 A-36

1 BUILDING 'C' EAST ELEVATION (168TH ST.)
 SCALE: 1/4" = 1'-0"

2 BUILDING 'C' NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

3 BUILDING 'C' WEST ELEVATION
 SCALE: 1/4" = 1'-0"

4 BUILDING 'C' SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

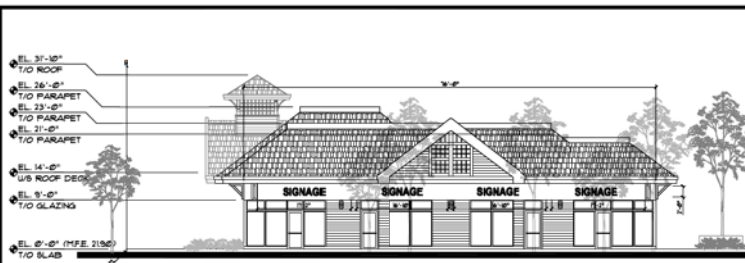
5 BUILDING 'D' EAST ELEVATION (168TH ST.)
 SCALE: 1/4" = 1'-0"

6 BUILDING 'D' NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

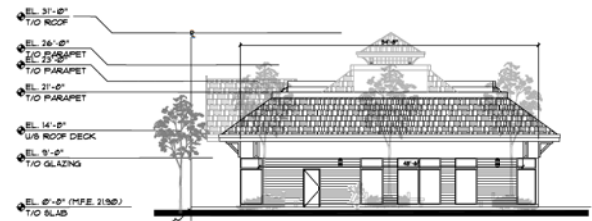
7 BUILDING 'D' WEST ELEVATION
 SCALE: 1/4" = 1'-0"

8 BUILDING 'D' SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

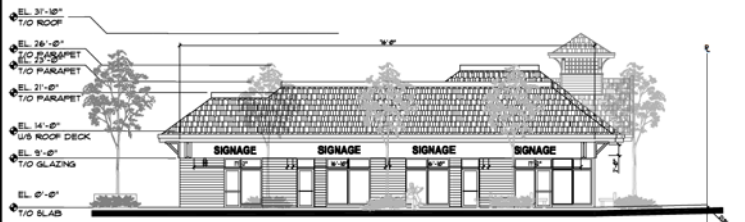
NOTE:
 SIGNAGE AREA ALLOWABLE PER CITY OF SURREY SIGN BYLAW:
 ONE FASCIA SIGN IS ALLOWABLE FOR EACH PREMISE OR LOT FRONTAGE.
 COMBINED SIGN AREA OF ALL SIGNS ON A LOT, EXCLUDING PRESTANCHING SIGNS, SHALL NOT EXCEED 63 SQ FEET PER 13 SQ FT PER LINEAR FOOT OF PREMISE FRONTAGE.



1 BUILDING 'E' NORTH ELEVATION (64TH AVE.)
SCALE: 1/8" = 1'-0"



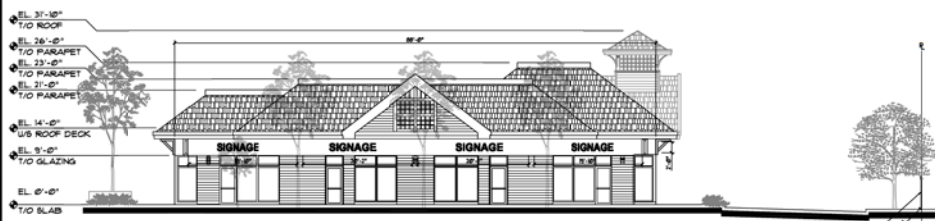
2 BUILDING 'E' WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 'E' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 'E' EAST ELEVATION (168TH ST.)
SCALE: 1/8" = 1'-0"



5 BUILDING 'F' NORTH ELEVATION (64TH AVE.)
SCALE: 1/8" = 1'-0"



6 BUILDING 'F' WEST ELEVATION
SCALE: 1/8" = 1'-0"



7 BUILDING 'F' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



8 BUILDING 'F' EAST ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
SIGNAGE AREA ALLOWABLE PER CITY OF SURREY SIGN BYLAW
ONE PARCEL SIGN IS ALLOWABLE FOR EACH PREMISE OR LOT FRONTAGE
COVERED SIGN AREA OF ALL SIGNS ON A LOT, EXCLUDING FREESTANDING SIGNS,
SHALL NOT EXCEED 0.3 SQ METERS (3 SQ FT.) PER LINEAR FOOT OF PREMISE
FRONTAGE.

1	1/8" = 1'-0"
2	1/8" = 1'-0"
3	1/8" = 1'-0"
4	1/8" = 1'-0"
5	1/8" = 1'-0"
6	1/8" = 1'-0"
7	1/8" = 1'-0"
8	1/8" = 1'-0"

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VANCOUVER, BC V6E 4E3
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3189

BUILDINGS E&F SIGNAGE

DATE: 05/22/12
DRAWN BY: J.P.
CHECKED BY: J.P.
PERMITTED BY: J.P.

A-87



ROOF PLAN
SCALE: 1/8" = 1'-0"

1	2025/11/10	REVISED FOR PERMIT
2	2025/11/10	REVISED FOR PERMIT
3	2025/11/10	REVISED FOR PERMIT
4	2025/11/10	REVISED FOR PERMIT
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6	2025/11/10	REVISED FOR PERMIT
7	2025/11/10	REVISED FOR PERMIT
8	2025/11/10	REVISED FOR PERMIT
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50	2025/11/10	REVISED FOR PERMIT



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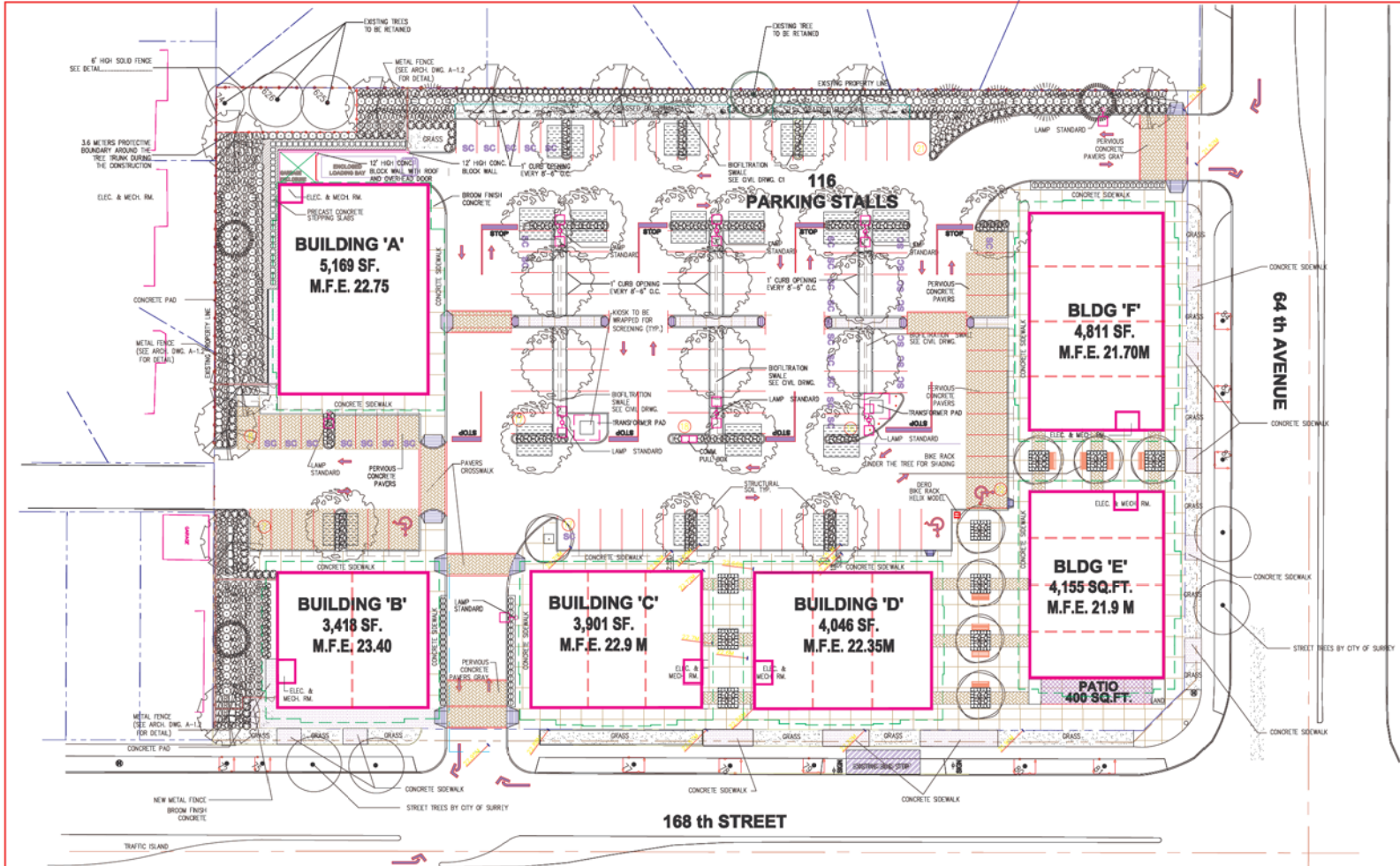
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architects ltd
600-1140 WEST PENDER
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Project Number: **3188**
Drawing Title: **ROOF PLAN**

Scale: **A=26**
Date: **2025/11/10**
Author: **AS, MTD**
Check: **AS, MTD**
Plot: **07/26**



● TREES TO BE RETAINED

□ PROTECTION BARRIER

may/12	revised site plan	6
may/12	revised site plan	5
may/12	revised site plan	4
apr/12	revised site plan	3
may/12	revised site plan	2
may/11	revised site plan	1
DATE	REVISED	NO.

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 2442 JONQUIL COURT
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 V3G 3E8
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 SURREY, B.C.
 V3W 4E7
 PHONE (604) 850-0577

TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 PROPOSED
 COMMERCIAL PROJECT
 8356, 8365 & 8373 - 168 STREET
 SURREY, B.C.

SCALE	1:250	DATE	JULY/11
DRAWN	DW/3		
CHECKED	DW/3		
APPROVED	AS BUILT		

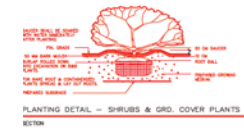
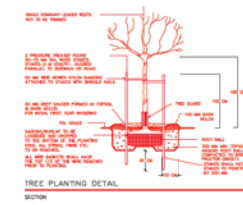
PRINTED	JOB NO.
	DRAWING NO.
	L-1

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
○	CORNUS NATALIA TEDDY'S WHITE WONDER	PACIFIC DOGWOOD	9	5 CAL. CAL.	45 SHOWN	S.B.L.
○	ACER RUBRUM TED'S SUNSET	RED SUNSET MAPLE	22	5 CAL. CAL.	45 SHOWN	S.B.L.
○	ACER PLATANUM BLOODGOOD	BLOODGOOD JAP. MAPLE	8	5 CAL. CAL.	45 SHOWN	S.B.L.
○	TSEGA HETEROPHYLLA	WESTERN RED CEDAR	3	1.8M METERS	45 SHOWN	S.B.L.
○	TSEGA PLUCATA	WESTERN RED CEDAR	9	1.8M METERS	45 SHOWN	S.B.L.
○	AZALEA JAPONICA LOUISE GABLE	PINK AZALEA	81	#2 POT	95 CAL. G.C.	
○	AZALEA JAPONICA YUKO CHIKOSH	ORANGE AZALEA	54	#2 POT	95 CAL. G.C.	
○	AMELIA EDWARDS COUCHER AMELIA	EDWARD COUCHER AMELIA	7	#2 POT	95 CAL. G.C.	
○	LAMBIRUS HORTICOLA'S PALMETO	HIGGINS PALMETO	10	#2 POT	95 CAL. G.C.	
○	BIODOCOBONIA YUKAGHAMANA CRETIC	YAK. BIODOCOBONIA	140	#3 POT	95 CAL. G.C.	
○	BIODOCOBONIA FRENCH ELVIR	FRENCH BIODOCOBONIA	79	#3 POT	95 CAL. G.C.	
○	SPRING HIPPURIA TOSKANDI	COUS FLAME SPRUCE	57	#3 POT	95 CAL. G.C.	
○	ROSA REGINA SWAMP PARVEMENT	SWAMP PARVEMENT ROSE	180	#3 POT	95 CAL. G.C.	
○	YUQUINIA THUIS SWAMP	SPRING DOCKLET YUQUINIA	39	#3 POT	95 CAL. G.C.	
○	BIODOCOBONIA YUKAGHAMANA TEDDY BEAR	YAK. BIODOCOBONIA	88	#3 POT	95 CAL. G.C.	
○	PERNS JAPONICA FOREST FLAME	LAKE-OF-THE-VALLEY	77	#3 POT	95 CAL. G.C.	
○	BUNIA HADICOMELLA WHITBY GATE	JOSHUA BUSHWOOD	218	#3 POT	45 CAL. G.C.	
○	TSEGA HETEROPHYLLA	WESTERN RED CEDAR	18	1.8M METERS	75 CAL. G.C.	
○	TSEGA OCCIDENTALIS BRANDON	PYRAMID CEDAR	75	1.8M METERS	45 CAL. G.C.	
○	ACTOSTAPHYLOS LINA URIS	SEABERRY	120	#1 POT	45 CAL. G.C.	
○	GRASS		30m ²			

NOTES / GENERAL

1. All plants listed are to be installed as specified in the list.
2. All plants listed are to be installed as specified in the list.
3. Quantity and size of plants and material specified as shown in the Schedule for Landscaping shall be installed as specified in the Schedule for Landscaping.
4. Plants to be installed shall be installed as specified in the Schedule for Landscaping.
5. Plants to be installed shall be installed as specified in the Schedule for Landscaping.
6. Plants to be installed shall be installed as specified in the Schedule for Landscaping.
7. Plants to be installed shall be installed as specified in the Schedule for Landscaping.
8. Plants to be installed shall be installed as specified in the Schedule for Landscaping.
9. Plants to be installed shall be installed as specified in the Schedule for Landscaping.
10. Plants to be installed shall be installed as specified in the Schedule for Landscaping.



Victor Stanley, Inc. P.O. DRAWER 330 - DUNWICH, MD 20754 USA
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 WEB SITE: http://www.victorstanley.com

DR# 2000_75 PG 1 OF 1
 CAD Department VIEWS 6
 DRAWN S.P.R. REV. 3/23/00

**CLASSIC SERIES
 C-138**
 Standard 6' Length

For your convenience and economy this bench is shipped partially unassembled

All fabricated components are steel shot-blasted, etched, phosphatized, primed and electrostatically powder-coated with 100% polyester powder coatings.

Each C-138 bench is pre-drilled with the appropriate hole pattern to mount the (1) 2" x 3" (nominal) woodslats

All dimensions are in inches

(4) 3/8" I.D. anchor bolt holes

HEX-HEAD CAP-ROD DETAIL
 1-5/16" O.D. cross bar is bolted using (2) 1-1/2" long x 7/16" zinc plated hex-head bolts

3/8" x 3" solid steel center brace for additional support

All specifications are subject to change. Please contact factory for details.

Ductile iron castings come with a 10 year warranty against breakage

Welder resistant lag screws fasten woodslats to steel supports from beneath

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It is not recommended to locate anchor bolts and bench in a plain

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PG 1 OF 1
 CAD Department VIEWS 5
 DRAWN R.D.L. REV. 12/5/97

**PRO-TONE™ SERIES
 PSO-24** 24 Gallon Capacity
 All Steel Litter Receptacle
 Complete with PST-1 Steel Formed Dome Lid
 T.O.L. Standard = Black Castings

All fabricated steel components are steel shot-blasted, etched, phosphatized and electrostatically powder-coated with 100% polyester powder coatings.

Fully welded joints throughout

Steel cable is looped around attachment brackets and crimped in place

Vinyl coated steel aircraft cable

Inner sleeve made of 24-gauge galvanized steel sheet

24 gallon capacity high density plastic liner sits on 1/4" x 2" support bars

(8) 3/8" x 1" formed arches of solid steel bars

(4) Outside rings made of 1" square tubular steel

(4) 7/16" I.D. holes provided for anchoring

(4) Adjustable Glides with 3/8" diameter threaded steel shaft

Finished Grade

All specifications are subject to change. Please contact factory for details.

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DATE	REVISION	BY
may/12	revised site plan	6
may/12	revised site plan	5
may/12	revised site plan	4
apr/12	revised site plan	3
mar/12	revised site plan	2
aug/11	revised site plan	1

C.KAVOLINAS & ASSOCIATES INC.
 BCSLA CSLA
 2142 JONQUIL COURT
 ARBOSTORNS, B.C.
 V3G 3E8
 PHONE (604) 857-2376

CLIENT
 RHM CONSTRUCTION
 7881 - 128 STREET
 SURREY, B.C.
 V3W 4E7
 PHONE (604) 850-0577

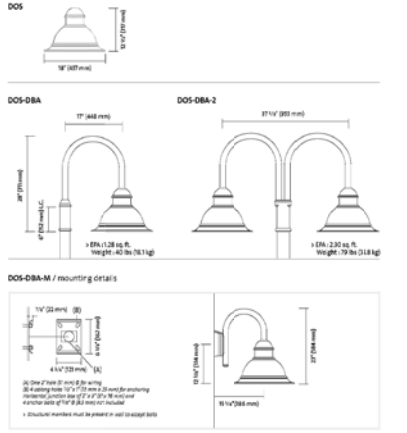
TITLE
 PLAN VIEW
 LANDSCAPE DETAILS
 PROPOSED
 COMMERCIAL PROJECT
 6356, 6355 & 6373 - 168 STREET
 SURREY, B.C.

SCALE	DATE
1:250	JULY/11
DRAWN	DHW
ENG.	DHW
APPROV	AS BUILT

PRINTED
 JOB No.
 DRAWING No.
 L-2

DOS-DBA

LUMINAIRES



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SPECIFICATIONS

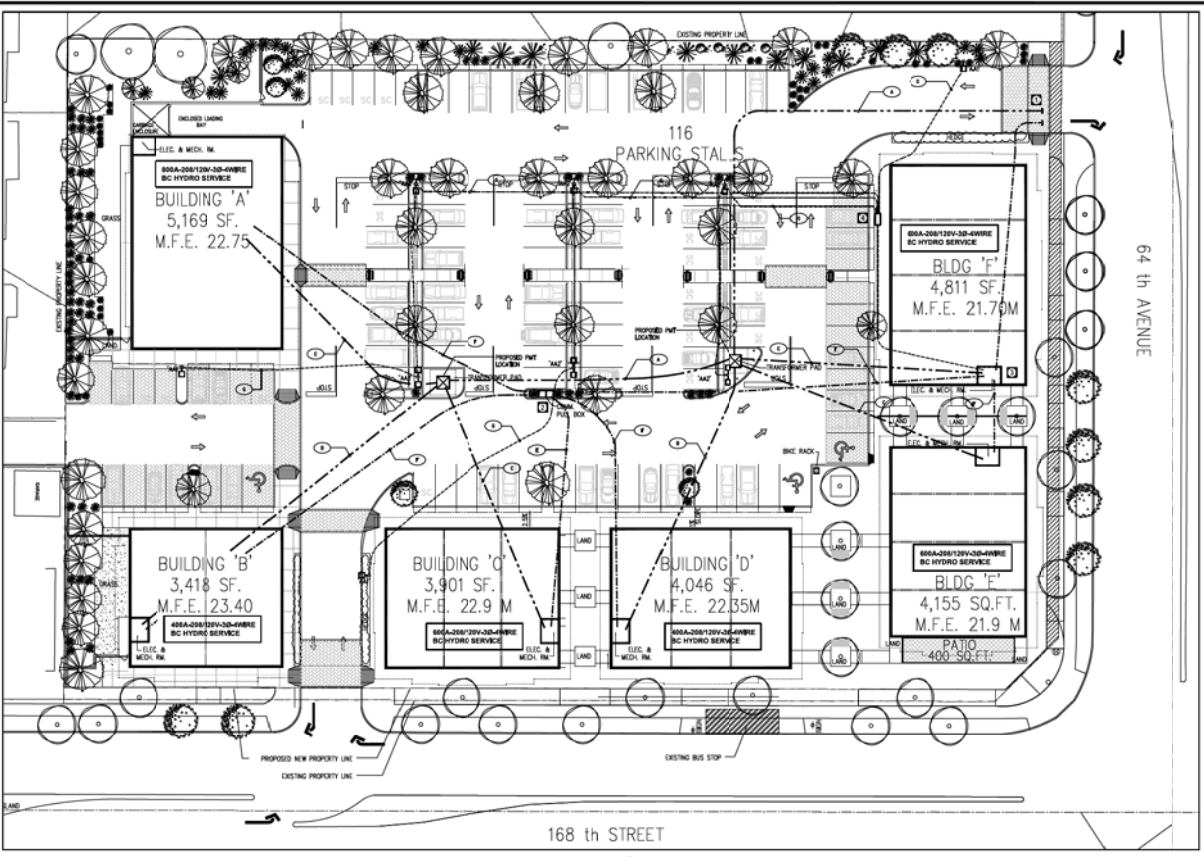
Mounting: In a round shade, this housing is made of die cast A380 aluminum, c/wva weather/grommet, mechanically assembled to the bracket with four bolts 1/8" ID. This suspension system permits for a full rotation of the luminaire in 90 degree increments.
Bulb: High power factor of 90% lamp starting capacity -40°F (-40°C) degrees assembled on a unitized removable tray with quick disconnect plug.
Arm: Features one or two 1/4"-16x1-1/2" oval aluminum tubes optional for a cast pole adaptor (or wall mounting base) and one or two cast suspension rings. (Slip-fits over 1/2" OD pole by 6")
Finish: "Text-CO" chemical etching preparation. LuminaireSM polyester powder coat finish. Excellent color retention as per #4570 D2344, and outstanding salt spray resistance according to #A570 B111 testing procedures.

ORDERING INFORMATION

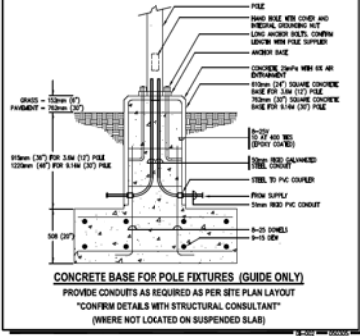
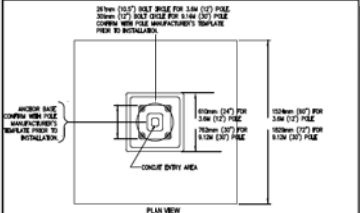
PRODUCT	SHAPE	OPTICAL SYSTEM	VOLTAGE	LUMINAIRE OPTION	MOUNTING	CONNECTION	FINISH
1000W	1000	1000	1000	1000	1000	1000	1000
1500W	1500	1500	1500	1500	1500	1500	1500
2000W	2000	2000	2000	2000	2000	2000	2000
2500W	2500	2500	2500	2500	2500	2500	2500
3000W	3000	3000	3000	3000	3000	3000	3000
3500W	3500	3500	3500	3500	3500	3500	3500
4000W	4000	4000	4000	4000	4000	4000	4000
4500W	4500	4500	4500	4500	4500	4500	4500
5000W	5000	5000	5000	5000	5000	5000	5000

ORDERING SAMPLE

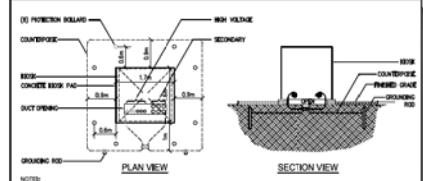
PRODUCT	SHAPE	OPTICAL SYSTEM	VOLTAGE	LUMINAIRE OPTION	MOUNTING	CONNECTION	FINISH
1000W	1000	1000	1000	1000	1000	1000	1000
1500W	1500	1500	1500	1500	1500	1500	1500
2000W	2000	2000	2000	2000	2000	2000	2000
2500W	2500	2500	2500	2500	2500	2500	2500



SITE PLAN SCALE: 1"=20'-0"



CONCRETE BASE FOR POLE FIXTURES (GUIDE ONLY) PROVIDE CONDUITS AS REQUIRED AS PER SITE PLAN LAYOUT "CONFORM DETAILS WITH STRUCTURAL CONSULTANT" (WHERE NOT LOCATED ON SUSPENDED SLAB)



KICSK PAD SYSTEM DETAIL NOT TO SCALE

- 1. SIDE PAD MUST BE 1/2" FROM ANY POLE, PROPERTY LINE OR NON-CONCRETE BUILDING WITH NO OPENINGS (IE: NO WINDOWS OR DOORS).
- 2. SIDE PAD MUST BE 1/2" FROM ANY CONCRETE BUILDING WITH NO OPENINGS.
- 3. CONCRETE MUST BE 1/2" FROM ANY SURFACE CONCRETE MATERIALS SUCH AS BRICK LINED OR IMPROVED CONCRETE WALLS (DO NOT COVER THEM IN IMPROVED WALLS IS THE EXCEPTION) AND AN FROM ANY OTHER OBSTRUCTION.
- 4. SIDE PAD MUST BE 1/2" FROM ANY BUILDING WITH OPENING.
- 5. THE COUNTERTOP MUST BE PLACED INSIDE THE PROPERTY.
- 6. CONTROL PAD CONTING TO LOCAL POWER AUTHORITY'S SCHEDULES.
- 7. BUILDING MUST BE TO U.S. BRING REQUIREMENTS (CAN P.C. CODE).
- 8. ALL REBAR WITHIN 2.0m MUST BE EPOXY COATED.

TYPE	DESCRIPTION	LOCATION	LAMP	WARNING
AA1	LUMINE 1000-1000-1000-1000-1000-1000-1000-1000	PARKING	MR	POLE
AA2	LUMINE 1500-1500-1500-1500-1500-1500-1500-1500	PARKING	MR	POLE
AA3	(DISCONTINUED) 2000-2000-2000-2000-2000-2000-2000-2000	BUILDING LIGHT	OFL	SURFACE/WALL
AA4	(WALL PACK) 3000-3000-3000-3000-3000-3000-3000-3000	BUILDING LIGHT	LED	SURFACE/WALL

- 1. WARNING IS REQUIRED TO COMPLY WITH ENERGY CODE. THE CONTRACTOR SHALL NOT CHANGE LAMPING WITHOUT OWNER'S APPROVAL.
- 2. PARKING LAMPING LOCATED IN FRONT OR REAR OF PAD SHALL BE SET BACK TO CLEAR THE BUILDING.
- 3. INSTALLATION OF ALL PARKING LIGHTING SHALL BE IN ORDER TO MAINTAIN PROPER LIGHT LEVELS. LIGHT FIXTURES MUST BE SET BACK FROM THE BUILDING 1'-0" CLEARANCE. WHERE THIS IS NOT FEASIBLE, THE CLEARANCE MUST BE MAINTAINED.
- 4. LAMPING IN MECHANICAL ROOMS TO BE SUPPENDED AS NECESSARY TO CLEAR MECHANICAL LINES AND DUCTS.
- 5. LAMPING IN CHANGING MECHANICAL ROOMS AND ELECTRICAL ROOMS SHALL BE ON EXPOSED.
- 6. SURFACE MOUNTED WALL LAMPING SHALL NOT BE SET LOWER THAN 8'-0" (2400mm) TO CENTER OF BUCKET FOR VEHICULAR TRAFFIC.
- 7. ALL RECEIVED LIGHTS LOCATED IN BUILDING AREAS MUST BE SUPPLIED C/W G. RATED WEIGHTING.
- 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VANCOUVER AS SPECIFIED IN THE CITY OF VANCOUVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

- CIVIC ADDRESS:**
6355, 6365 & 6373 166th Street, SURREY BC
- LEGAL DESCRIPTION:**
TOPOGRAFC PLAN OF LOT "A" EXCEPT PART OF LOT 18 PLAN 446/0087. BENCH MARK LOCATED BY PLAN. BENCH AND LOT 4 EXCEPT PART ON PLAN BENCH BOTH OF SECTION 18 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 446/0087.
- RACEWAY LEGEND:**
A (2) 12" RC BENCH PRIMARY RACEWAY
B (2) 12" RC BENCH SECONDARY RACEWAY
C (2) 12" RC BENCH SECONDARY RACEWAY
D (2) 12" RC BENCH SECONDARY RACEWAY
E (2) 12" RC BENCH
F (2) 12" RC COMMERCIAL RACEWAY
G (2) 12" PVC SEE LAMPING CONDUIT C/W MIPING
- DRAWING NOTES:**
1. COMMON VENT EXHAUST
2. SIRE COMMUNICATIONS/ALARM
3. RELAY SIGNAL
4. EXISTING LIGHTING ARCHITECT DESIGN

Scale bar and North arrow pointing towards the top of the drawing.

Professional engineer seal for Robert S. Koenig, License No. 12727, dated July 11, 2011, for the Province of British Columbia.

RAM Construction Inc. logo and name.

COMMERCIAL DEVELOPMENT
6355, 6365 & 6373 166TH STREET, SURREY BC
581947 B.C. LTD.

WEST CLOVERDALE DEVELOPMENT

Project name: 11938
Date: JUL 23, 2011
Title: ELECTRICAL SITE PLAN
Scale: AS NOTED
Sheet: 01 of 02
E-1 of 2

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 18, 2012** PROJECT FILE: **7811-0092-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 6355/65/73 168 Street**

NCP AMENDMENT

The following issues are to be addressed as a condition of the NCP Amendment:

The applicant is to confirm that all original NCP servicing targets and criteria are met.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 1.442 metres along 64 Avenue for a 30.0-metre arterial road standard;
- dedicate 1.442 metres along 168 Street for a 30.0-metre arterial road standard;
- dedicate a 5.0 x 5.0-metre corner cut at the 64 Avenue and 168 Street intersection; and
- provide public right-of-way through site for pedestrian and vehicular circulation.

Works and Services

- upgrade storm and sanitary system if required to meet NCP criteria.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

ssa

APPENDIX _____

TREE PRESERVATION SUMMARY

Surrey Project #

Project Location: 6373, 6365 & 6355 168th Street, Surrey

Register Landscape Architect / Arborist Meredith Mitchell M2 Landscape Architects

Detailed Assessment of the existing trees was prepared for this proposal in September 7, 2011. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site

- a. The subject site is located close to Cloverdale Athletic Park.
- b. The site has been previously cleared with exception of perimeter trees.
- c. The site has poor drainage at perimeter.
- d. The majority of the existing tree resources are mature conifers at perimeter.
- e. A total of 2 Western Red Cedar and 2 Sequoia were noted. No individual specimens of unique character or heritage significance were identified.

2. Summary of Proposed Tree Removal and Replacement

○	Number of Protected Trees Identified	19	(A)
○	Number of Protected Trees declared to be hazardous due to natural causes	0	(B)
○	Number of Protected Trees to be Removed	4	(C)
○	Number of Trees to be Retained (A-B-C)	15	(D)
○	Number of Replacement Trees Required @ 2:1 (4)	8	(E1)
○	Number of Replacement Trees Required @ 1:1	0	(E2)
○	Total Number of Replacement Trees Required	8	(E3)
○	Number of Replacement Trees Proposed		(F)
○	Number of Replacement Trees in Deficit (E – F)		(G)
○	Total Number of Protected and Replacement Trees (D+F)		(H)
○	Number of Lots Proposed in Project	N/A	(I)
○	Average Number of Trees / Lot (H/I)	N/A	

3. Tree Survey and Preservation Plan

Tree Survey is attached.

This plan will be available before final adoption.

Summary and plan prepared and submitted by: **Meredith Mitchell**
ISA Certified Arborist #PN-6089A
M2 Landscape Architects
17 May 2012





Advisory Design Panel Minutes

PRC₁
City Hall
14245 - 56 Avenue
Surrey, B.C.
THURSDAY, APRIL 19, 2012
Time: 4:15 pm

Present:

Chair - L. Mickelson

Panel Members:

R. Ciccozzi
T. Wolf
B. Shigetomi
D. Lee
S. Vincent
M. Searle
J. Makepeace

Guests:

Lance Barnett, Barnett Dembek Architects
Clark Kavolinas, C. Kavolinas & Associates Ltd.
Paul Takhar, Takhar Enterprises Ltd.
Fariba Gharaei, Urban Design Group
Gerry Blonski, Gerry Blonski Architect
Xuedong Zhao, Zhao XD Architect
Rebecca Colter, PMG Landscape Architects

Staff Present:

T. Ainscough, City Architect - Planning & Development
H. Bello, Senior Planner - Planning & Development
M. Rondeau, Senior Planner - Planning & Development
H. Dmytriw, Legislative Services

B. SUBMISSION

2. 5:00 PM –

File No.:

7911-0092-00

New

Description:

NCP Amendment, Rezoning, and Development Permit to facilitate the development of a neighborhood scale retail shopping centre.

Address:

6365 / 6355 / 6373 – 168 Street, Surrey

Developer:

Tony Singh, 581947 BC Ltd.

Architect:

Rick Jones, Urban Design Group Architects

Landscape Architect:

Clark Kavolinas, C. Kavolinas & Associations Inc.

Planner:

Shawn Low

Urban Design Planner:

Mary Beth Rondeau

The **Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- Location is in Cloverdale, currently zoned low density residential and a retail centre is proposed.
- Commercial use creates walkability.
- Small amount of commercial so as not to compete with 5 Corners and Cloverdale Town centre, which struggles to keep its market.
- Meets all we are looking for in site planning and keeping building close to the streets for a sense of enclosure.
- Worked with applicant to get full roof expression. Ended up with cut off roofs so made heights more variable.
- Encouraged a distinctive “Cloverdale” character.

The **Project Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- Site planning calls for small commercial units with each unit being 900 – 1,000 sq. ft. to a total maximum of 4,000 sq. ft for the Fruiticana retail in the rear of the site.
- One storey units but have feel of two storey due to roof heights.
- To create a street presence, front of building to be emphasized with gable and sloped roof, cedar siding and contrast of brown roof and cap with flashing. Access point from side.
- Study done by Bunt Engineering. Traffic will be insignificant. Lots of feedback from public. Feasible to have access. Looking for a more pedestrian oriented traffic.
- Was big cedar tree there, but with buffer and 6' fence at west and south can create screening for privacy for residential.
- 4' high garbage enclosure.
- Created an open space between buildings.
- Corner of 64 Avenue and 168 Street is an opportunity for seating and plaza.
- Streetscape from 168 Street. Access to residential unit from this end.
- Storm water management with a strip of bio swale.
- 20 parking stalls to help with permeability and storm water.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Pedestrian oriented. Has benches with planters and provides green area with bio swales around property to control storm water.
- Retained existing street trees and large cedars at corner.
- Residential – west and south property lines created a buffer and planted evergreens to create a buffer.
- Elevations provided to show what residents will look at. Trees proposed for site. Interior streetscape for where there are low roofs.

In response to questions the following information was provided by the project architect:

- Fence is along property line on west and south side with existing landscape established by residents on residential side.
- Towers at middle have no function but can provide the potential for natural ventilation.
- Turning radius for truck access is enough and will work.
- Bylaw is for signage at corner of open space. Fruiticana will have a sign box (shown on drawings).
- Will design cedar slat benches with planters. Can also do free standing benches (design on page 12).
- Surface is permeable with crushed gravel and drainage with filters through drain tiles. Existing conditions will allow for percolation.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
6365 / 6355 / 6373 – 168 Street, Surrey
File No. 7911-0092-00

It was Moved by T. Wolf
Seconded by J. Makepeace
That the Advisory Design Panel (ADP)
recommends that the applicant address the following recommendations and
revise and resubmit to the Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Site and Context

- Generally a good layout with buildings close to corner.
- Building E could better address corner patio. Wrap patio around corner or open up end to acknowledge restaurant and outdoor seating.

(We increased the glazing height on the underside of the roof overhang and increased the roof overhang at dormer to 7' to provide more weather protection.)

- Would be better if garbage was located away from adjacent single family.

(All possible locations for the garbage enclosure have been reviewed and this location has been established as the least disruptive to the neighbourhood. We have screened the enclosure with 12' high concrete walls and roof with an overhead door that minimizes exposure and unwanted access.

Form and Character

- Address ends of buildings visible to street. (e.g., SE/NE corners of Building B, SE corner of Buildings C, etc.) Use additional glazing.

(The mechanical room has been moved more to the center of the buildings and glazing has been increased to wrap around the corner of the buildings.)

- South elevation Building A and B – add detailing, trim, articulation, visual interest as these face S.F light fixtures.

(Additional articulation has been provided to the roof lines on these elevations and light fixtures have been added that wash the wall without impacting into the neighbourhood.)

- Windows should have realistic transparency with functionality of interior of unit. Encourage transparent windows in areas between buildings.

(All windows are transparent and no spandrel glazing is designated for this development.)

Landscaping

- Like the landscape; the planting is appropriate although seems to be a bit stark at the ground plane, i.e., could be more planting around the base of the trees rather than tree grate, which makes it feel very urban.

(Tree grates are revised and shrubs have been added at the base of the trees.)

- Add variety of seats and planters along edges and buildings to soften. Take out tree grates and put in plantings to create a semi private condition and separation from street.

(Seating layout has been revised to address the above comments.)

- More articulation of ground plane patterning, consideration of lighting style and type, banners, greater variety of seating/furnishing elements.

(Patterns added to the finish of the concrete in the plaza and a seating arrangement that separates the area from the circulation pattern creates a semi private seating arrangement.)

- Consideration of more contained planting that would separate patio from the street, and create a better outdoor room condition.

(As tenants are unknown at this time, we will review the patio areas design with the tenant improvements; however, we have framed the patio corners with landscape to better address the separation.)

- Bio swales, permeable pavers, put in stepping stones to control crossing of parking lot at bio swales.

(We have relocated some of the trees into the bioswale and created cross access within the parking lot.)

- Avoid light spread to adjacent residential (full cut off fixtures) with proposed motion activated lighting.

(Cut sheets of the light fixtures have been provided for more information.)

- At back entrances have more space and landscaping along edge.

CPTED

- Motion activated lighting can be problematic.
- Gaps between buildings – need to draw people through with good lighting and visibility.
- Pedestrian routes through the site – need to define and provide traffic calming.
- Seating in the narrow gaps between buildings may be a problem.

Accessibility

- Consider power doors at entrances.

(CRU A will have a power door, the remaining CRUs are smaller and will not require power doors.)

- Consider adding two disabled parking stalls close to retail entrances.

(An additional disabled parking space is provided close to Building E.)

- Benches provide space for wheelchair or buggies.

(The site plan has been revised to allow additional seating area as well as additional space for wheelchair and buggies.)

- Sidewalks adjacent to buildings should be minimum of 6 ft. with proper letdowns for wheelchair access.

(All sidewalks are a minimum 6' deep and have various let downs for barrier free accessibility.)

- Pavers to be level (solid base).

(Pavers will be levelled to ensure accessibility.)

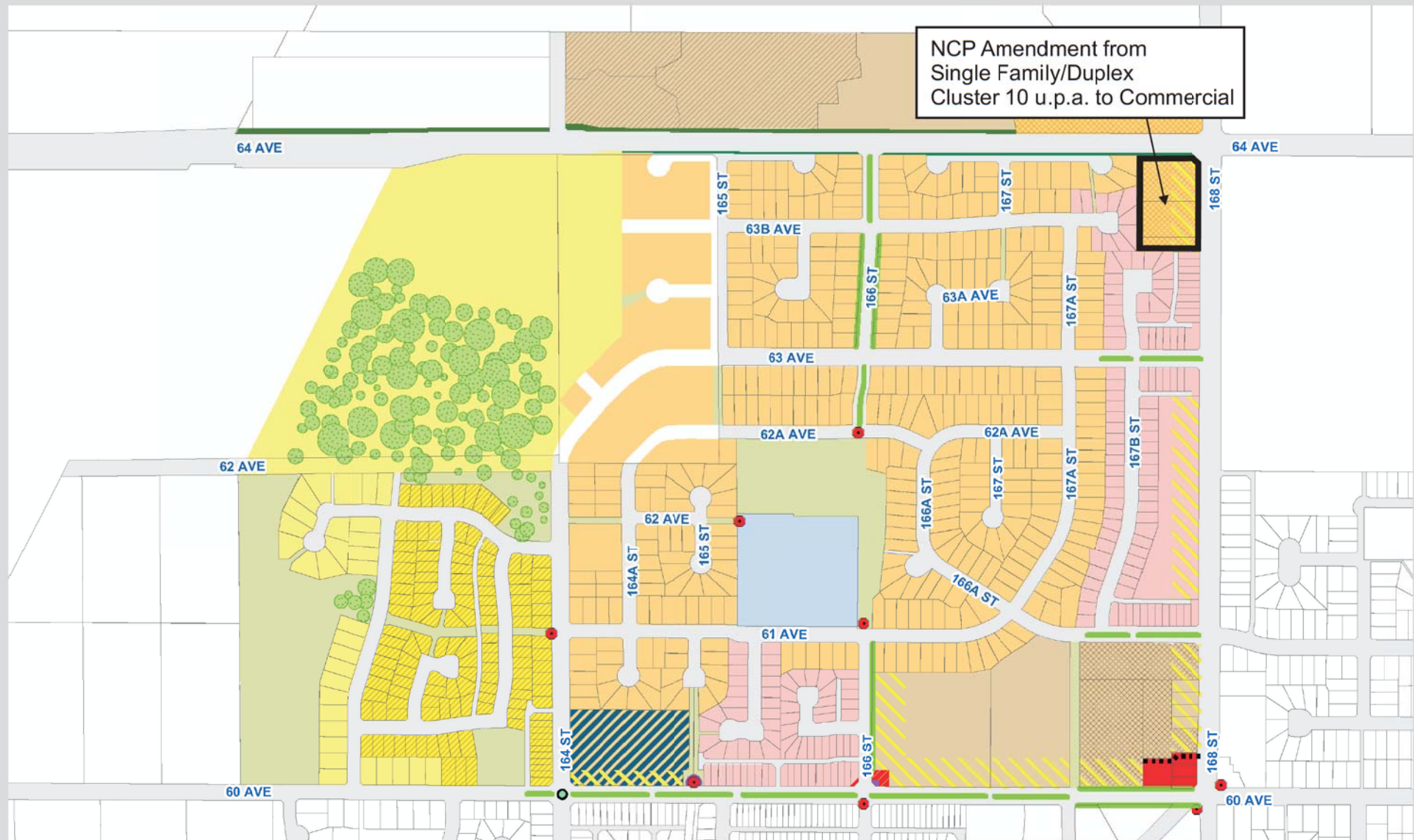
Sustainability

- Good passive design with lots of shading of glass on all sides.
- Would hope that the tower elements shown could be incorporated into the function of each space to allow a source of natural light and have powered openings for improved natural ventilation using low level windows for incoming air and allowing the tower to exhaust warm air out.

(We will use the tower for the ventilation where required for restaurant uses and may be utilized to ventilate the roof cavity above the soffit.)

- Patio on east side will receive morning sun. Patio heaters will be needed in the afternoon/evening – not good for sustainability.
- Good attention paid to site water and vegetation.

NCP Amendment from
Single Family/Duplex
Cluster 10 u.p.a. to Commercial



- Townhouse 15-30 upa
- Townhouse / Apartments 15-25 upa
- Townhouse 8-15 upa
- Institutional / Townhouse
- Single Family Small Lots

- Single Family/Duplex Cluster 10 upa
- Urban Residential
- Single Family Cluster 7.5 upa
- Suburban Residential Cluster 2 upa
- Commercial

- Limited Commercial Plaza
- School
- Park / Open Space
- Buffer
- Greenway
- Plaza
- Traffic Circle

- Street Oriented
- Boulevards
- Access_lane_aug2005
- View Points



WEST CLOVERDALE NORTH LAND USE PLAN
CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT

Approved by Council: December 2, 1997 Amended July 2007



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

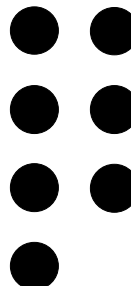


PUBLIC INFORMATION MEETING RESPONSES

**PROPOSED DEVELOPMENT AT
6355/6365/6373 168 STREET**

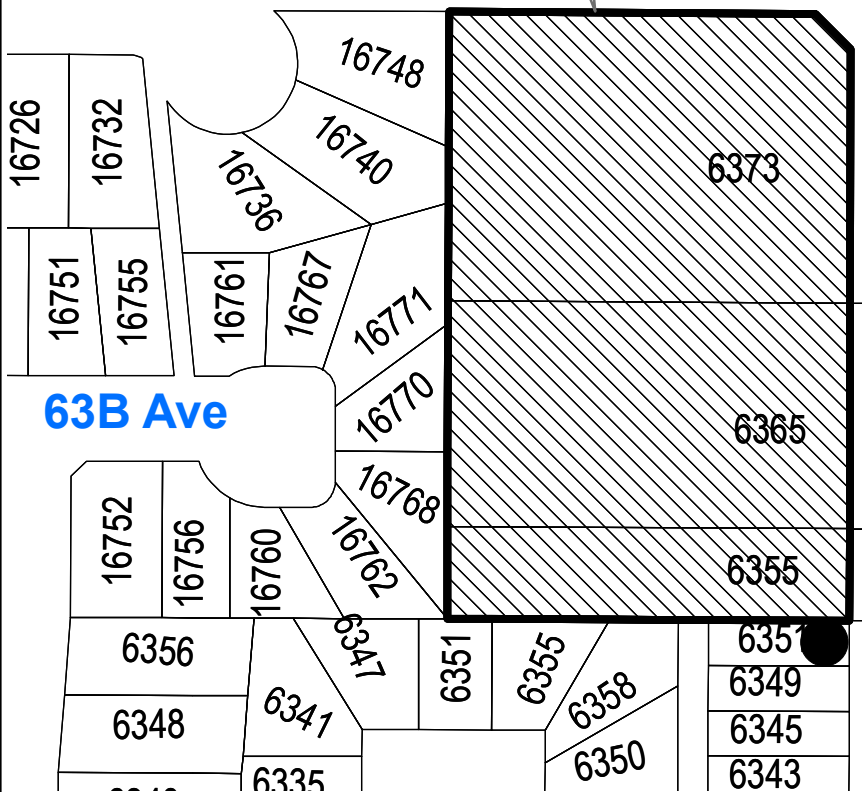
6488

168 St




6435

64 Ave

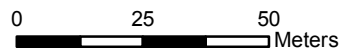


Legend

 SUBJECT SITE

 RESPONSES RECEIVED IN OPPOSITION TO PROPOSED DEVELOPMENT

Note: 6 Respondents indicated their support and 6 respondents indicated that they were unsure or didn't know if they supported the proposal.



CITY OF SURREYBY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 007-431-261

Lot 4, Except: Part on Plan BCP18311 Section 12 Township 2 New Westminster District Plan 14713

6365 - 168 Street

Parcel Identifier: 009-997-105

Lot 5, Except Part Dedicated Road on Plan BCP18029 Section 12 Township 2 New Westminster District Plan 14713

6355 - 168 Street

Parcel Identifier: 002-809-494

Lot "A" Except: Firstly: Parcel One (Bylaw Plan NWP87783); Secondly: Part Dedicated By Plan BCP4604; Section 12 Township 2 New Westminster District Plan 14713

6373 - 168 Street

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a neighbourhood scale shopping centre, where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. The following uses are permitted provided that the gross *floor area* of each individual business does not exceed 370 square metres [4,000 sq.ft.]:
 - (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *secondhand stores* and *pawnshops*;
 - (b) *Personal service uses* limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops;
 - (c) *Eating establishments* excluding *drive-through restaurants*;
 - (d) Office uses excluding *social escort services* and *methadone clinics*;
 - (e) *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
 - (f) *Indoor recreational facilities*;
 - (g) *Community services*; and
 - (h) *Child care centres*.
2. Notwithstanding Section B.1 above, one *retail store* on the *Lands* may have a maximum *gross floor area* of 483 square metres [5,200 sq. ft.].
3. One *dwelling unit* per *lot* provided that the *dwelling unit* is:
 - (a) Contained within the *principal building*; and
 - (b) Occupied by the owner or the owner's employee, for the protection of the businesses permitted on the *lot*.

C. Lot Area

Not applicable to this Zone.

D. Density

The *density* shall not exceed a *floor area ratio* of 0.1. The maximum *density* may be increased to a *floor area ratio* of 0.3 if *amenities* are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.

E. Lot Coverage

The lot coverage shall not exceed 50%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback	<i>Front Yard</i> (North)	<i>Rear Yard</i> (South)	<i>Side Yard</i> (West)	<i>Side Yard on Flanking Street</i> (East)
<i>Principal Buildings and Accessory Buildings and Structures</i>		2.3 m [7.5 ft.]	7.5 m [25 ft.]	7.5 m [25 ft.]	2.2 m [7 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The building height shall not exceed 9 metres [30 ft].
2. *Accessory buildings and structures*: The building height shall not exceed 4 metres [13 ft].

H. Off-Street Parking

1. Refer to Table C.2 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Tandem parking* for fleet vehicles is permitted.

I. Landscaping

1. All developed portions of the lot not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a lot shall be seeded or sodded with grass on the side of the *highway* abutting the lot, except at *driveways*.

3. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. Garbage containers and passive recycling containers shall not be located within any required *setback* adjacent any *residential lot*.
2. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this Zone.
3. *Child care centres* shall be located on the *lot* such that these centres have direct access to an open space and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
9,000 sq. m. [2.22 acres]	75 metres [246 ft.]	115 metres [377 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-5 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2012, No. 17539, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-5 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

READ A THIRD TIME ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK