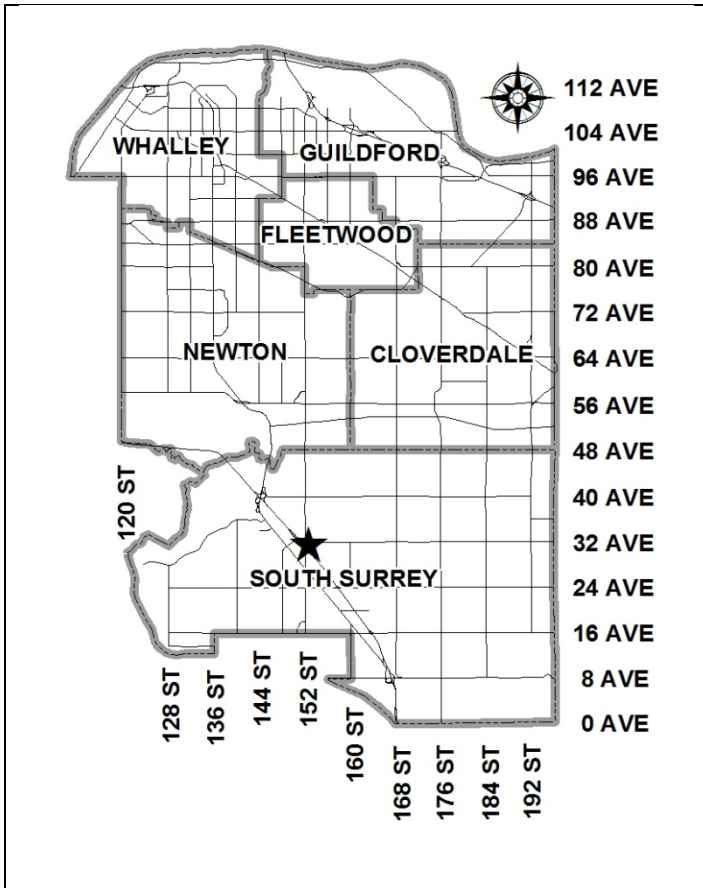


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0187-00

Planning Report Date: November 12, 2013

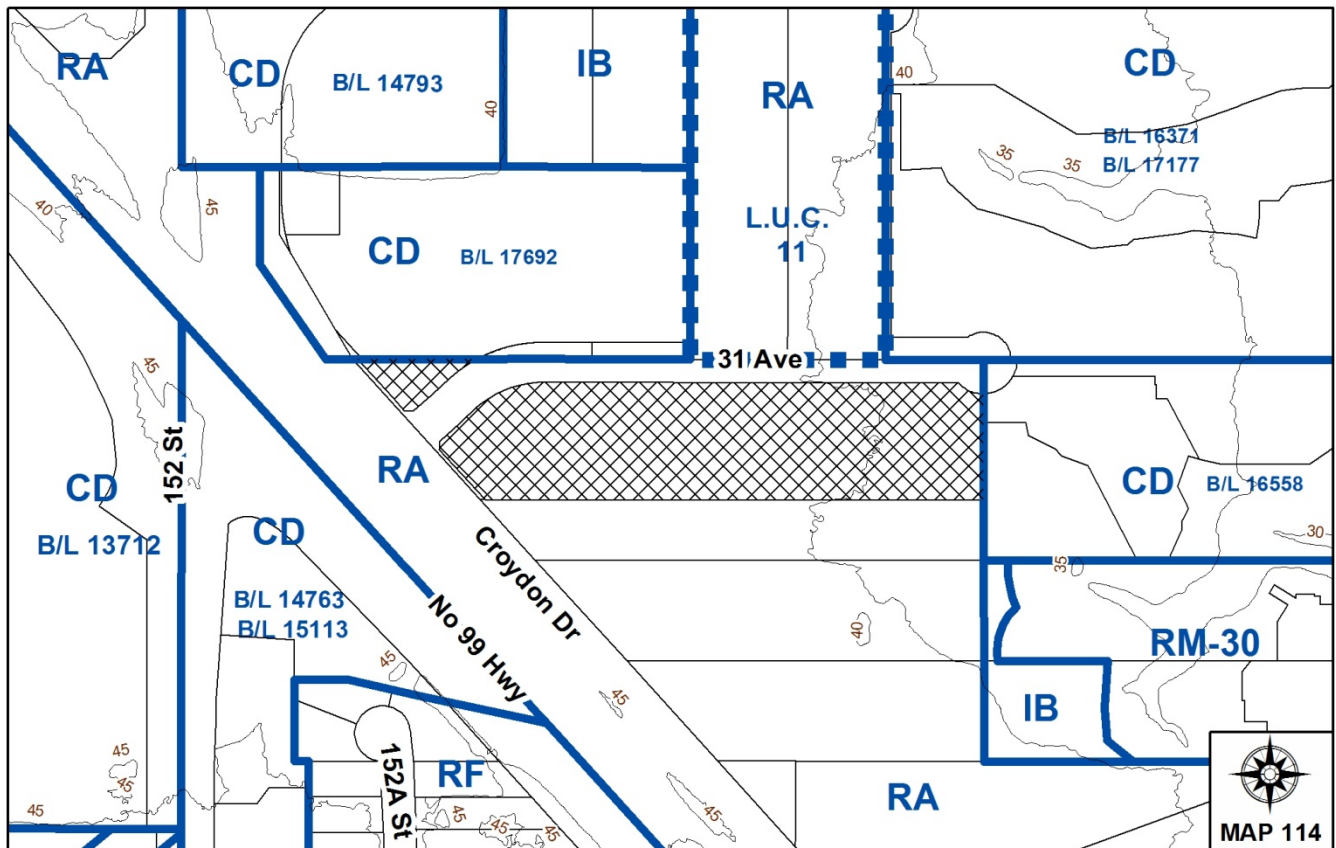


PROPOSAL:

- **Partial NCP amendment** from "Storm Water Detention Pond" and "Buffers" to "Business Park"
- **Rezoning** from RA to CD (based on IB-3)
- **Development Permit**

in order to permit the development of a self-storage building and two (2) office buildings.

LOCATION: 3080 - Croydon Drive
OWNER: 0775517 BC Ltd.
ZONING: RA
OCP DESIGNATION: Industrial
NCP DESIGNATION: Business Park, Stormwater Detention Pond, Buffers and Creek Preservation Areas



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The subject property is a "hooked" lot, meaning that the lot is separated by a road (31 Avenue), but remains one property. The small portion of land on the north side of 31 Avenue is designated "Storm Water Detention Pond" and "Buffers" in the NCP. The lot to the north of the subject site, which was approved for business park development under Development Application No. 7911-0327-00, has already been re-designated to "Business Park". The proposed NCP amendment is a housekeeping amendment as it has already been determined that the storm water facility is not required.
- The applicant proposes a CD Zone based on the IB-3 Zone, taking the site's constraints due to the BC Hydro right-of-way and the yellow-coded watercourse into consideration. The CD Zone allows for reduced setbacks, a higher FAR, and a taller building height than what the IB-3 Zone would permit.

RATIONALE OF RECOMMENDATION

- Complies with the OCP designation.
- The NCP amendment is a housekeeping item only. The proposal complies with the "Business Park" land use designation in the NCP.
- The proposed density and building form and character are appropriate for the Rosemary Heights Business Park NCP area, and consistent with adjacent business park developments and the NCP Design Guidelines.
- The proposal is consistent with the conceptual site design for business park development adjacent to Hydro lines in the Rosemary Heights Business Park NCP (Appendix VIII).

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site in Development Application No. 7911-0187-00 from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7911-0187-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) final approval from BC Hydro;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (h) registration of a P-15 license agreement for riparian enhancement works and monitoring and maintenance within the future parkland;
 - (i) registration of a Section 219 Restrictive Covenant requiring fire sprinklers to NFPA standards and to release and indemnify the City from liability; and
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.
4. Council pass a resolution to amend Rosemary Heights Business Park NCP to redesignate the portion of land north of 31 Avenue, as shown on Appendix VI, from "Storm Water Detention Pond" and "Buffers" to "Business Park" when the project is considered for final adoption.

REFERRALS

- Engineering:** The Engineering Department has no objection to the project [subject to the completion of Engineering servicing requirements] as outlined in Appendix III.
- Parks, Recreation & Culture:** Parks requires that the multi-use pathway on this property connect to the portion that has been constructed to the north. Proportions of concrete and asphalt paving should match the existing.
- Department of Fisheries and Oceans (DFO):** The Department of Fisheries and Oceans (DFO) has agreed to riparian setbacks averaging 20 metres (66 ft.) from the top-of-bank of the unnamed Class B tributary of Morgan Creek that runs through the southeast corner of the site. The riparian area will be dedicated to the City without compensation.
- Ministry of Transportation & Infrastructure (MOTI):** Preliminary approval is granted for the rezoning for one year pursuant to section 2(3)(a) of the *Transportation Act*, subject to two conditions: (1) no direct access to Highway 99 and (2) all storm water shall be directed to a municipally maintained storm drainage system.
- BC Hydro:** The applicant is working with BC Hydro in order to ensure sufficient setback requirements are adhered to in order to address electric field impacts. Final approval from BC Hydro will be required prior to rezoning approval.
- Surrey Fire Department:** Sprinkler protection for the mini-storage building is required. The applicant must also comply with the Electronic Communication Radio Amplification By-law 15740.

SITE CHARACTERISTICS

Existing Land Use: Vacant land

Adjacent Area:

| Direction | Existing Use | OCP/NCP Designation | Existing Zone |
|---------------------------|--|----------------------------|--------------------------------------|
| North (Across 31 Avenue): | Vacant land and single family homes, with applications completed (7911-0327-00) and in process (7912-0217-00) for business park development. | Industrial/Business Park | CD (By-law No. 17692) and LUC No. 11 |

| Direction | Existing Use | OCP/NCP Designation | Existing Zone |
|------------------------------|--|---|----------------------------------|
| East: | Creek preservation area and live/work condominiums (Headwaters project) | Industrial/Live and Work | CD (By-law No. 16558) |
| South: | Single family home on acreage lot. | Industrial/Business Park & Creek Preservation Areas | RA |
| West (Across Croydon Drive): | Intersection of Hwy 99 and 152 Street, beyond which is the SouthPoint Exchange Mall. | Commercial and Urban in the OCP | CD (By-law Nos. 14763 and 15113) |

JUSTIFICATION FOR PLAN AMENDMENT

- The subject property is a "hooked" lot, meaning that the lot is separated by a road (31 Avenue), but remains one property. The small portion of land on the north side of 31 Avenue is designated "Storm Water Detention Pond" and "Buffers". The lot to the north of the subject site, which was approved for business park development under Development Application No. 7911-0327-00, has already been re-designated to a "Business Park" land use. The proposed NCP amendment is a housekeeping amendment as it has already been determined that the storm water facility is not required.

DEVELOPMENT CONSIDERATIONS

Context

- The subject site is located on Croydon Drive. The majority of the site is located on the south side of 31 Avenue, with a small piece on the north side of 31 Avenue. The southerly portion of the site is designated "Business Park" in the NCP, and the northerly portion of the site is designated "Storm Water Detention Pond" and "Buffers". The entire site is designated "Industrial" in the OCP.
- The portion of the site on the north side of 31 Avenue is proposed to be re-designated from "Storm Water Detention Pond" and "Buffers" to "Business Park" when the project proceeds to Final Adoption. This land use re-designation is a housekeeping item; the storm water detention pond is no longer required.
- There is a BC Hydro corridor running through the centre of the site, which significantly limits the development potential of the property, and affects approximately 7,315.7 square metres (78,745 sq. ft.) (46 percent) of the total site area.

- Business park development on the north side of 31 Avenue includes:
 - "Southpointe 99", a CD Zoned (based on IB-3) office park development consisting of two (2) business park buildings (Development Application No. 7911-0327-00), which is currently under construction. This development is a joint-venture between the Surrey City Development Corporation (SCDC) and KNV Chartered Accountants LLP; and
 - An office park development consisting of two (2) business park buildings (Development Application No. 7912-0217-00), for which the rezoning by-law is currently at third reading. The application involves rezoning the site to the "Industrial Business Park 3 Zone (IB-3)", which is a new zone to be included in Surrey Zoning By-law No. 12000 and applied to the subject site when the project is finalized.

Proposal

- The applicant proposes a rezoning from "One-Acre Residential Zone (RA)" to a "Comprehensive Development Zone (CD)" based on the IB-3 Zone. The application also includes a development permit for a 4-storey mini-storage building and two (2) 2-storey office buildings.
- The mini-storage building is proposed to be located on the eastern side of the lot, fronting 31 Avenue. The two office buildings are proposed to be located on the western side of the lot, with one building on each side of 31 Avenue, fronting Croydon Drive.
- A subdivision is also proposed, to subdivide the lot into 2, with the two office buildings on proposed Lot 1 and the mini-storage building on proposed Lot 2 (Appendix II). The subdivision is proposed for operational reasons associated with the business model.

CD Zone

- The proposed CD Zone is based on the IB-3 Zone. The differences between the IB-3 Zone and the proposed CD Zone (Appendix VII) with respect to density, height, lot coverage and setbacks are noted in the table below:

| | IB-3 Zone | Proposed CD Zone |
|---------------------------|--|---|
| Density | 1.0 | 1.33 |
| Principal Building Height | 14m (45 ft.) (3 storeys) | Blk 1: 17.7m (58 ft.) (4 storeys) Blks 2 & 3: 10m (32 ft.) (2 storeys) |
| Lot Coverage | 60% | 67% |
| Setbacks | 7.5 m (25 ft) on all sides. One side yard setback may be reduced to 3.6m (12 ft) if that side yard abuts commercial or industrial property | Setbacks specified for each building (Block 1, 2 and 3). |

- The proposed floor area ratio (FAR) of 1.33 is higher than the 0.75 FAR permitted in the IB-3 Zone. In this case, however, the lands encumbered by the BC Hydro right-of-way are considered undevelopable and are therefore excluded from the FAR calculation. Furthermore, the riparian area which is proposed to be dedicated to the City for conservation purposes is also excluded from the calculation. If these lands were included in the calculation, the FAR would be 0.6 over the entire site, or 0.24 for Lot 1 and 0.85 for Lot 2. Considering the site as a whole, including encumbered lands, the FAR is lower than what is permitted in IB-3 and consistent with CD By-law 17692 for the site to the north.
- The proposed maximum building height for the mini-storage building of 17.7 metres (58 ft.) is greater than the IB-3 Zone would permit. However, the proposed height is considered appropriate for the area given the neighbourhood context, which includes:
 - The "Southpointe 99" site, for which the maximum building height in the CD Zone (By-law No. 17692) is 17 metres (55 ft.), allowing two (2) 4-storey office buildings;
 - The two (2) 4-storey office buildings proposed under Development Application No. 7912-0217-00, which includes a Development Variance Permit to vary the building height in the IB-3 Zone from 14 metres (46 ft) to 17.8 metres (58 ft.); and
 - The 4-storey live/work condominium building ("Headwaters") to the east of the subject site.
- Both the increased density and height reflect the impact of the BC Hydro corridor on the site. The lands within the corridor are considered undevelopable, but can be used for parking. As such, the increased FAR and building height allow for more efficient use of the employment lands outside of the right-of-way.
- The proposed lot coverage is higher than what is permitted in the IB-3 Zone. The lot coverage calculation, like the FAR calculation, excludes undevelopable land. The reason the maximum lot coverage is 67% in the CD Zone is because the lot coverage must be calculated on a per lot basis, and the majority of proposed Lot 1 is encumbered by the BC Hydro right-of-way. When calculating lot coverage based on the entire site, the coverage is 40%, which is consistent with CD By-law No. 17692.
- The setback requirements in the CD Zone account for the site constraints due to the BC Hydro right-of-way and the riparian setback requirements. The two (2) office buildings on Croydon Drive have small setbacks to Croydon Drive, 31 Avenue and the neighbouring lots to the north and south. This allows for a reasonably sized building envelope to allow for business park development along Croydon Drive, and is consistent with the Rosemary Heights Business Park NCP conceptual site design for lands affected by the Hydro right-of-way (Appendix VIII) and the NCP Design Guidelines.
- The permitted uses in the CD Zone are consistent with the IB-3 Zone.

Trees

- The applicant retained Michael Mills of PMG Landscape Architects to prepare the arboricultural review report for the site. There are five (5) by-law trees on the subject site, all of which are proposed for removal.

- Two (2) of the five (5) existing trees are Alder and Cottonwood trees, with little retentive value due to their species. There are also two (2) Douglas Fir trees and one (1) Sitka Spruce tree. These trees are in good condition, but cannot be retained because they are located within the building envelope and/or the internal drive aisle.

PRE-NOTIFICATION

Pre-notification letters were sent on July 9, 2013 and staff received four (4) e-mails and one (1) telephone call in response. The telephone call received was from a neighbourhood resident who asked for more information on the proposal, but did not provide any comments on concerns. The e-mails received were from neighbouring residents in the live/work "NUVO2" development to the east of the subject site, who expressed the following concerns:

- Concern that the proposed mini-storage building will be noisy and attract a lot of traffic that would have a negative impact on the neighbourhood.

(The proposed self-storage use is permitted as a warehousing use in all of the City's business park zones (IB, IB-1, IB-2, and IB-3), and is therefore consistent with the "Business Park" land use designation in the NCP. The proposed CD Zone specifies noise regulations. The permitted uses must not emit noise in excess of 60 dB.)

- Concern about having a 24 hour mini-storage facility, and preference for office instead, with office hours.

(The mini-storage building will contain a rental office that will be open during normal business hours. Most activity on the site will take place during office hours after which time the building will be locked and access to the parking area will be limited to clients only. Clients who require after-hours access will be provided with a gate pass and key to enable them to gain access to individual lockers. The applicant expects that very few clients will access the building outside of normal business hours and as a consequence there will be very limited traffic outside of regular business hours.)

- Concern regarding possible short-cutting from 31 Avenue to 32 Avenue through the adjacent live/work projects to the east.

(Public vehicular access to the site is provided via Croydon Drive and 31 Avenue. Directional signage will be installed to ensure that clients of the mini-storage facility know how to access it. Short-cutting through the existing live/work projects to the east would necessitate travelling along two private Strata roads.)

- Concern regarding units with direct access from the exterior of the building, with regards to theft and all-hours access to the facility.

(A 24 hours a day, 7 days a week security surveillance system will be installed as part of the mini-storage building. In addition, access to the building outside of normal business hours will be restricted. Gates will be installed at the entrance and rear of the building to ensure that no unauthorized access occurs.)

- Request for the protection and maintenance of the riparian area.

(The project has been reviewed by the Environmental Review Committee (ERC). The riparian area at the southeast corner of the site is proposed to be conveyed to the City as a condition of approval, and a P-15 license agreement for riparian enhancement works and monitoring and maintenance is also required.)

- Request for a significant buffer between the existing residential developments and the proposed development to retain the quality and value of the residential developments.

(The riparian area to be conveyed to the City will assist in the creation of a buffer, and there will also be ample landscaping along 31 Avenue including tree and shrub planting. The proposed business park development is consistent with the NCP land use designation, and the adjacent residential developments are "live/work" developments designated "Industrial" in the OCP.)

- Request to ensure the retention of existing large trees on the site.

(The trees and vegetation within the riparian area is to be retained and enhanced as a green space and habitat area, and protected as part of the Rosemary-Morgan Terrestrial Hub. On the developable portion of the site, there are five (5) existing mature (Tree Protection By-law sized) trees. These trees are all proposed for removal. Of them, two (2) are alder and cottonwood trees with little retentive value. The other three (3) trees conflict with the proposed mini-storage building and internal road network.)

- Concern regarding the siting of buildings. The respondents requested that the mini-storage building be sited at the west end of the site.

(The siting of buildings on the site is restrictive because the site is heavily encumbered by the BC Hydro right-of-way, as well as the riparian setback area for the Class B watercourse which runs through the southeast end of the site.)

DESIGN PROPOSAL AND REVIEW

- The two proposed office buildings and the mini-storage building have a total combined floor area of 9,853 square metres (106,054 sq. ft.).

Access/Parking

- Vehicular access to the site is available from 31 Avenue.
- The applicant proposes approximately 151 parking spaces, which exceeds the minimum 139 spaces required under the Zoning By-law. The parking supply is consistent with other recent developments on Croydon Drive, where parking in excess of the minimum requirements has been justified.

- Although the site is adjacent to a future public transit route, the area is not yet well-served by transit and users of the proposed buildings will be primarily auto-dependant. Bicycle facilities have been incorporated into the development to encourage alternate forms of travel while transit is unavailable, and because the site is located adjacent to the Pioneer Greenway on Croydon Drive. End-of-trip shower and change room facilities have also been incorporated.
- Additionally, the applicant will reserve five (5) parking stalls for staff carpools. These spaces are conveniently located close to the building entrances.
- Pedestrian pathways are proposed to connect the buildings to 31 Avenue and to the multi-use pathway on Croydon Drive.

Architectural Design

- The project architect has designed three buildings that relate to each other in form and character.
- The buildings are proposed to be constructed of tilt-up concrete, with decorative aluminum composite panel canopy, spandrel glazing, and a glass curtain wall system.
- Signage is required to comply with the Sign By-law.
- The proposed colour scheme for the building includes a mixture of brown brick tones playing off against a background of grey and silver tones of composite metal panels and coloured tinted glass. On the mini-storage building, a palette of colours with an emphasis on green has been selected to liven up the building.
- The building orientation and window locations consider CPTED principles to provide maximum surveillance of the site.

Landscape Design

- The applicant's landscape architect proposes a combination of trees and shrubs in a variety of species.
- In accordance with the proposed CD Zone, a 3 metre (10 ft.) wide landscaped area is provided along 31 Avenue, except at driveways and adjacent to buildings. This landscaping will consist of a mixture of trees, shrubs and grasses. Street trees will also be planted along 31 Avenue, with the intent of creating a double row of alternating trees to achieve a canopy effect over sidewalks in accordance with the NCP Design Guidelines.
- The landscaping within the BC Hydro right-of-way must comply with the requirements of BC Hydro. Gravel and fencing is required around the Hydro towers. Japanese Maple, Twist Redbud and False Cypress trees are proposed within the Hydro right-of-way, which are low-growing but will help to visually break up the parking area.
- A landscaped amenity area for the use of the office employees is proposed.
- Permeable pavers are proposed in some of the parking stalls on the site.

- Bioswales have been incorporated into the landscape design.
- All fencing proposed is permeable and of high quality. The fencing around the riparian area is consistent with the riparian fencing provided on the site to the east (the "Headwaters" site).

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 21, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

| Sustainability Criteria | Sustainable Development Features Summary |
|--|--|
| 1. Site Context & Location (A1-A2) | <ul style="list-style-type: none"> • The site is located in the Rosemary Heights Business Park NCP area. The proposal complies with the "Business Park" land use designation in the NCP. |
| 2. Density & Diversity (B1-B7) | <ul style="list-style-type: none"> • The development includes a mix of uses. |
| 3. Ecology & Stewardship (C1-C4) | <ul style="list-style-type: none"> • Sustainable stormwater management features include bioswales, natural landscaping, and permeable pavers. • Approximately 1,130 m² (12,163 sq. ft.) of land is proposed to be conveyed to the City for riparian protection. |
| 4. Sustainable Transport & Mobility (D1-D2) | <ul style="list-style-type: none"> • Bike racks, end of trip facilities, carpool designated parking spaces are proposed. • The applicant is required to construct a portion of the Pioneer Greenway. |
| 5. Accessibility & Safety (E1-E3) | <ul style="list-style-type: none"> • The buildings have been sited in consideration of CPTED principles. • The parking lot is proposed to be gated after business hours. |
| 6. Green Certification (F1) | <ul style="list-style-type: none"> • N/A |
| 7. Education & Awareness (G1-G4) | <ul style="list-style-type: none"> • The development application review process included the typical public review requirements of pre-notification letters and a development proposal sign. |

ADVISORY DESIGN PANEL

ADP meeting date: June 27, 2013

The recommendations of the Advisory Design Panel have been satisfactorily addressed. The applicant's response to the ADP comments is attached as Appendix V.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|----------------|---|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets and Survey Plan |
| Appendix II. | Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III. | Engineering Summary |
| Appendix IV. | Summary of Tree Survey and Tree Preservation |
| Appendix V. | ADP Comments |
| Appendix VI. | NCP Plan |
| Appendix VII. | Proposed CD By-law |
| Appendix VIII. | Rosemary Heights Business Park NCP Design Guidelines, Figure #3 – Potential Site Design for Business Park Development Adjacent to Hydro Lines |

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

HK/da

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

- 1. (a) Agent: Name: James Evans
 Treegroup Management Corp.
 Address: Unit 170, 6660 - Graybar Road
 Richmond, BC V6W 1H9

 Tel: 604-288-9770

2. Properties involved in the Application

(a) Civic Address: 3080 - Croydon Drive

(b) Civic Address: 3080 - Croydon Drive
 Owner: 0775517 B.C. Ltd.
 Director Information:
 Hugh John Porter
 Norman Porter
 Rod Sopko

Officer Information as at November 24, 2011

Hugh John Porter (Secretary)
Norman Porter (President)

PID: 011-419-890

Lot 1 Section 23 Township 1 New Westminster District Plan 9266 Except: Plans 25810 and BCP39264

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the property.

- (b) Application is under the jurisdiction of MOTI. **YES**

 MOTI File No. 2013-03207

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on IB-3)

| Required Development Data | Min. Required / Max. Allowed | Proposed | | |
|--|---------------------------------|-----------------------|------------|-------|
| LOT AREA* (in square metres) | | | | |
| Gross Total | | 16,033 m ² | | |
| Road Widening area | | | | |
| Undevelopable area | | 8,445 m ² | | |
| Net Total | | 7,588 m ² | | |
| | | | | |
| LOT COVERAGE (in % of net lot area) | | | | |
| Buildings & Structures | | 41% | | |
| Paved & Hard Surfaced Areas | | 49% | | |
| Total Site Coverage | | 90% | | |
| | | | | |
| SETBACKS (in metres) | | Blk 1 | Blk 2 | Blk 3 |
| West | | 17.7m | 3m | 3m |
| East | | 2.6m | 43.6m | 2.1m |
| North | | 17m | 3m | 1.4m |
| South | | 15.8m | 2.6m | 3m |
| | | | | |
| BUILDING HEIGHT (in metres/storeys) | | Blk 1 | Blks 2 & 3 | |
| Principal | | 17.7 m | 10 m | |
| Accessory | | 6 m | 6 m | |
| | | | | |
| NUMBER OF RESIDENTIAL UNITS | | N/A | | |
| Bachelor | | | | |
| One Bed | | | | |
| Two Bedroom | | | | |
| Three Bedroom + | | | | |
| Total | | | | |
| | | | | |
| FLOOR AREA: Residential | | N/A | | |
| | | | | |
| FLOOR AREA: Commercial | | | | |
| Retail | | | | |
| Office | | 1,542 m ² | | |
| Total | | | | |
| | | | | |
| FLOOR AREA: Industrial | | 8,310 m ² | | |
| | | | | |
| FLOOR AREA: Institutional | | N/A | | |
| | | | | |
| TOTAL BUILDING FLOOR AREA | | 9852 m ² | | |

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

| Required Development Data | Min. Required / Max. Allowed | Proposed |
|---|---------------------------------|----------|
| DENSITY | | |
| # of units/ha /# units/acre (gross) | | |
| # of units/ha /# units/acre (net) | | |
| FAR (gross) | | 0.61 |
| FAR (net) | | 1.33 |
| | | |
| AMENITY SPACE (area in square metres) | | N/A |
| Indoor | | |
| Outdoor | | |
| | | |
| PARKING (number of stalls) | | |
| Office | 40 | |
| Self-storage | 99 | |
| | | |
| Residential Bachelor + 1 Bedroom | | |
| 2-Bed | | |
| 3-Bed | | |
| Residential Visitors | | |
| | | |
| Institutional | | |
| | | |
| Total Number of Parking Spaces | 139 | 151 |
| | | |
| Number of disabled stalls | | 3 |
| Number of small cars | | |
| Tandem Parking Spaces: Number / % of Total Number of Units | | |
| Size of Tandem Parking Spaces width/length | | |

| | | | |
|---------------|----|---------------------------------|-----|
| Heritage Site | NO | Tree Survey/Assessment Provided | YES |
|---------------|----|---------------------------------|-----|

MULTIPLE BUILDINGS DATA SHEET

Proposed Zoning: CD (based on IB-3)

| Required Development Data | Building #1 | Building #2 | Building #3 |
|--|-----------------------|----------------------|----------------------|
| SETBACK (in metres) | | | |
| West | 17.7 m | 3 m | 3 m |
| East | 2.6 m | 43.6 m | 2.1 m |
| North | 17 m | 3 m | 1.4 m |
| South | 15.8 m | 2.6 m | 3 m |
| | | | |
| Building Height (in metres/storeys) | 17.7 m (4 storeys) | 9.7 m (2 storeys) | 9.7 m (2 storeys) |
| | | | |
| NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE | | | |
| Bachelor | | | |
| | | | |
| One Bedroom | | | |
| | | | |
| Two Bedroom | | | |
| | | | |
| Three Bedroom + | | | |
| | | | |
| TOTAL FLOOR AREA | 8,310 m ² | 984.8 m ² | 557.4 m ² |
| | | | |

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
BYLAW No: _____ OVER**

SCHEDULE _____

**LOT 1 SECTION 23 TOWNSHIP 1
NEW WESTMINSTER DISTRICT PLAN 9266
EXCEPT: PLANS 25810 AND BCP39264**

BCGS 92G.007

BOOK OF REFERENCE

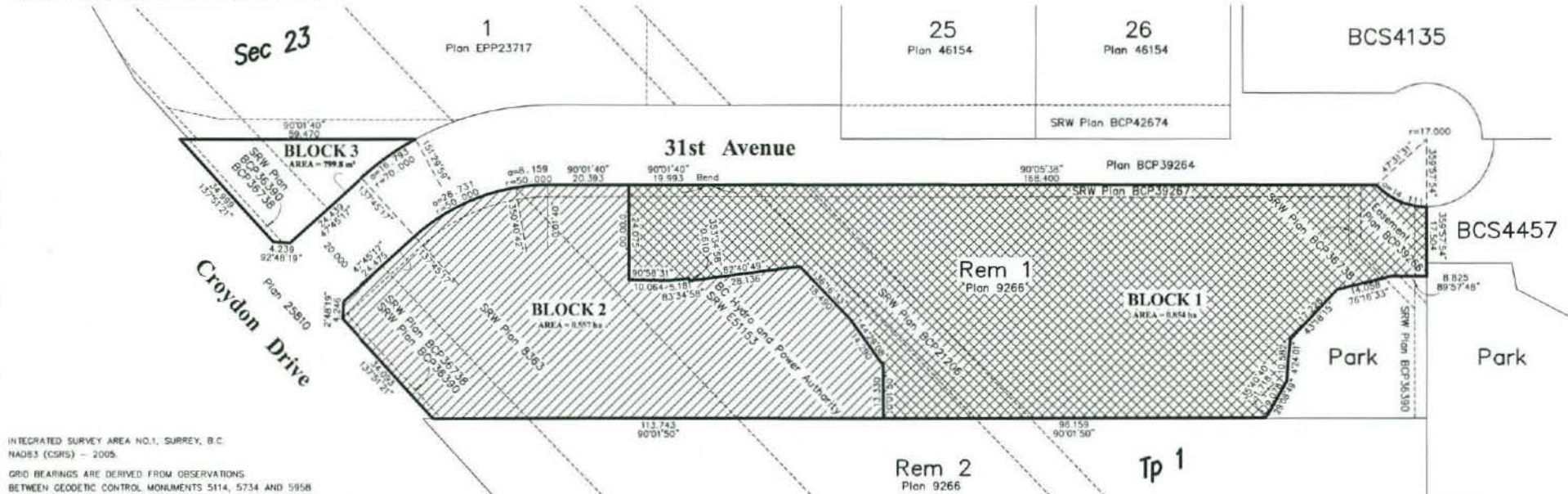
| ZONE | LEGAL DESCRIPTION | AREAS |
|---------|---|----------------------|
| BLOCK 1 | PART OF LOT 1 SECTION 23 TOWNSHIP 1 NWD PLAN 9266 EXCEPT: PLANS 25810 AND BCP39264 | 0.854 ha |
| BLOCK 2 | PART OF LOT 1 SECTION 23 TOWNSHIP 1 NWD PLAN 9266 EXCEPT: PLANS 25810 AND BCP39264 | 0.557 ha |
| BLOCK 3 | PART OF LOT 1 SECTION 23 TOWNSHIP 1 NWD PLAN 9266 EXCEPT: PLANS 25810 AND BCP39264 | 799.8 m ² |



SCALE 1:750

0 10 20 30
ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560 mm IN WIDTH BY
432 mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:750



INTEGRATED SURVEY AREA NO.1, SURREY, B.C.
NA83 (CSRS) - 2005.

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS
BETWEEN GEODETIC CONTROL MONUMENTS 5114, 5734 AND 5958

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL
DISTANCES UNLESS OTHERWISE SPECIFIED.

TO COMPUTE GRID DISTANCES,
MULTIPLY GROUND-LEVEL DISTANCES BY THE
AVERAGE COMBINED FACTOR 0.9995990 WHICH
HAS BEEN DERIVED FROM MONUMENTS 5114, 5734 AND 5958

**H.Y. AND ASSOCIATES
LAND SURVEYING LTD.**

200, 9128 - 152nd Street
Surrey, B.C.
V3R 4E7
(PH) 583-1618
(FX) 583-1737



**SUBDIVISION PLAN OF LOT 1
SECTION 23 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 9266
EXCEPT: PLANS 25810 AND BCP39264**

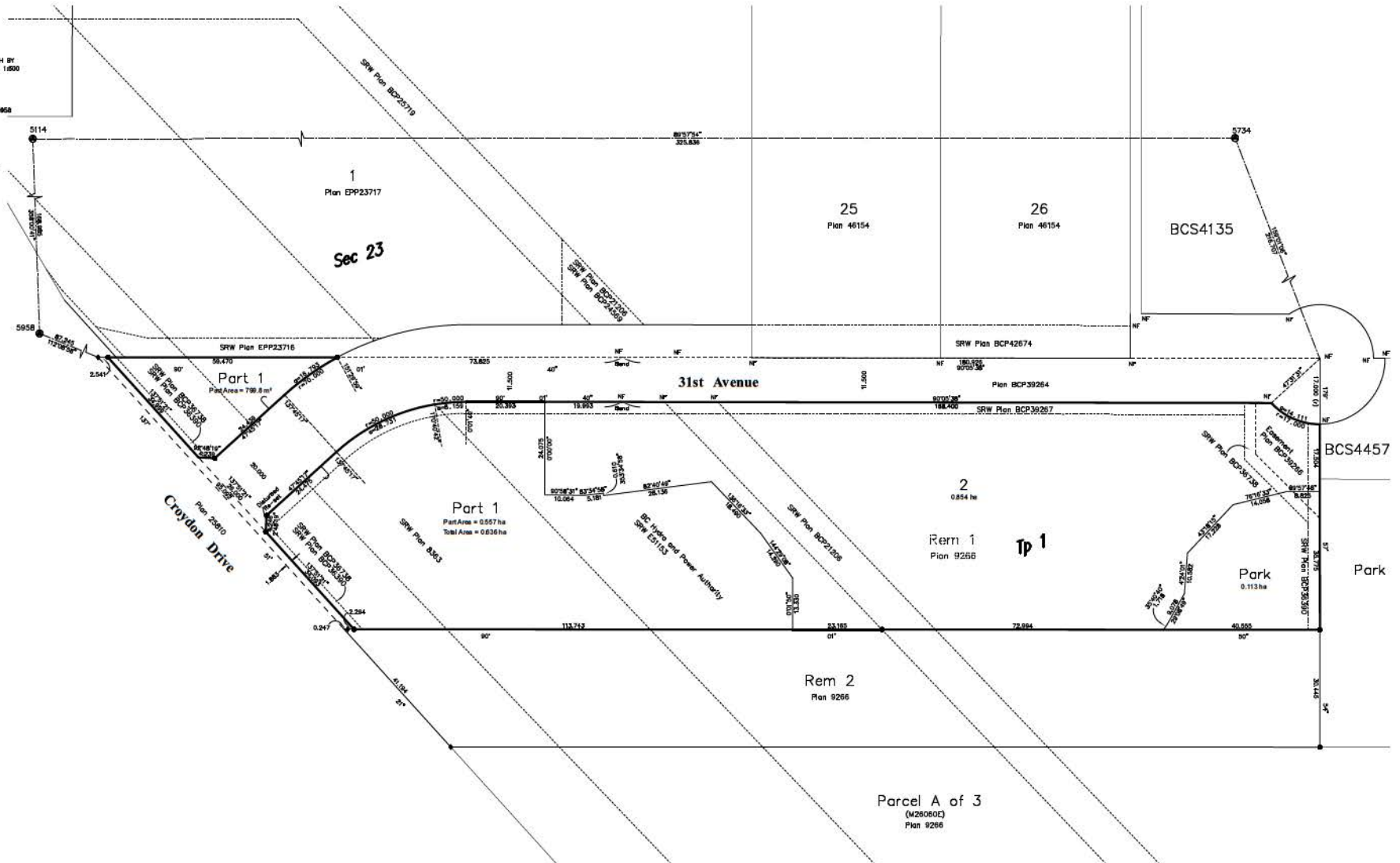
PLAN EPP*****
Preliminary

PURSUANT TO SECTION 67, LAND TITLE ACT
BCGS 926.007

SCALE 1:500
0 10 20 30
ALL DISTANCES ARE IN METRES
THE INTENDED PLOT SIZE OF THIS PLAN IS 864 mm IN WIDTH BY
560 mm IN HEIGHT (D SIZE) WHEN PLOTTED AT A SCALE OF 1:500
INTERPOLATED SURVEY AREA NO.1, SURREY, B.C.
INDEXED (GSR) - 2006.

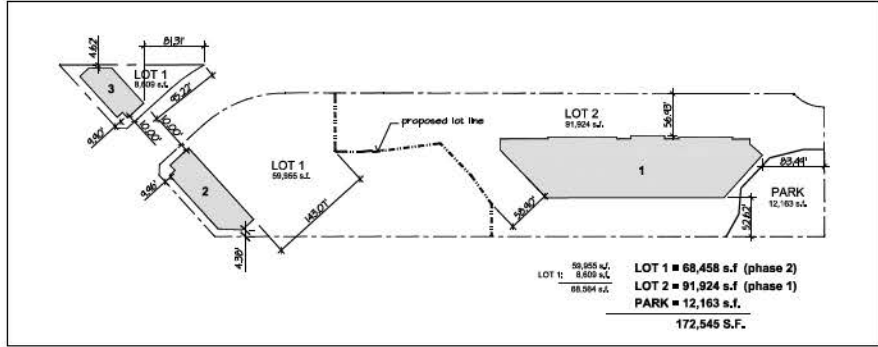
GRID BEARINGS ARE DERIVED FROM OBSERVATIONS
BETWEEN GEODETIC CONTROL MONUMENTS 5114, 5734 AND 5958
THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL
DISTANCES UNLESS OTHERWISE SPECIFIED.
TO COMPUTE GRID DISTANCES,
MULTIPLY GROUND-LEVEL DISTANCES BY THE
AVERAGE CORRECTION FACTOR 0.999990 WHICH
HAS BEEN DERIVED FROM MONUMENTS 5114, 5734 AND 5958
THIS PLAN SHOWS ONE OR MORE WITNESS POINTS
WHICH ARE NOT SET ON THE TRUE CORNERS

LEGEND
⊙ INDICATES CONTROL MONUMENT FOUND
● INDICATES STANDARD IRON POST FOUND
◊ INDICATES STANDARD IRON POST PLACED
◆ INDICATES ALUMINUM POST FOUND

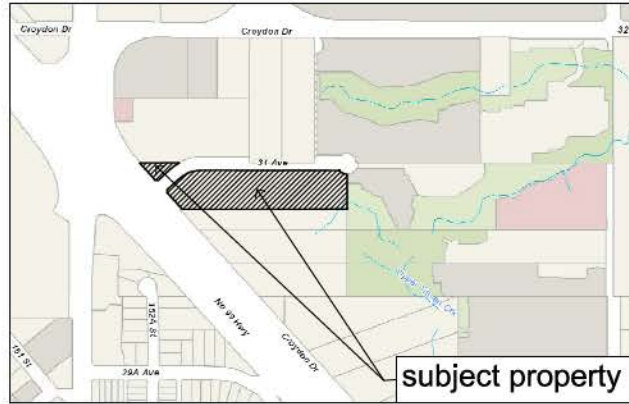


H.Y. AND ASSOCIATES
LAND SURVEYING LTD.
200, 9128 - 152nd STREET
SURREY, B.C.
V3R 4C7
(p) 283-1818
(f) 283-1737
Lic: 133810.5
File: 133810_58.dwg

THE FIELD SURVEY REPRESENTED BY THIS PLAN
WAS COMPLETED ON THE 4th DAY OF JULY, 2013
CU GORDON V.L. BCLD #808
THIS PLAN LIES WITHIN THE GREATER VANCOUVER
REGIONAL DISTRICT - CITY OF SURREY



NET AREA CALCULATION



LOCATION PLAN



DRAWING INDEX :

- A100 SITE DATA
- A101 MASTER SITE PLAN
- A102 DETAIL SITE PLAN - PART #1
- A103 DETAIL SITE PLAN - PART #2
- A200 Bldg. 1 - GARAGE, GROUND FLOOR PLAN & SECOND FLOOR PLAN
- A201 Bldg. 1 - THIRD & FOURTH FLOOR PLAN
- A202 Bldg. 1 - ELEVATIONS & SECTIONS
- A300 Bldg. 2 - GROUND & SECOND FLOOR PLAN
- A301 Bldg. 2 - ELEVATIONS & SECTIONS
- A400 Bldg. 3 - GROUND & SECOND FLOOR PLAN
- A401 Bldg. 3 - ELEVATIONS & SECTIONS
- A500 SITE DETAILS
- A501 SITE DETAILS

LEGAL DESCRIPTION :

Lot 1 except plans 25810 & BCP39264
 Sec. 23 TP. 1 Plan 9266 N.W.D.

site data & notes :

ADDRESS : 3080 / 3120 CROYDON DRIVE, SURREY, B.C.

EXISTING ZONING : RA
 PROPOSED ZONING : CD BASED ON IB-3

- * height variance req'd - (40' - 50.0')
- * west setback variance req'd - (.25' - 9.86')

site statistics :

| | | | |
|--|--|-----------------------|--------------|
| GROSS SITE AREA | 162,938 SQ.M | (1.6 ha = 3.96 acre) | 172,504 S.F. |
| HYDRO R/O/H | (7,915.1 SQ.M) | (0.79 ha = 1.81 acre) | 78,746 S.F. |
| RIPARIAN AREA | (1,030 SQ.M) | (0.11 ha = 0.27 acre) | 12,163 S.F. |
| NET SITE AREA | 173,984 SQ.M | (1.76 ha = 4.58 acre) | 216,656 S.F. |
| DENSITY ALLOWED - | 0.15 (per IB standard) | | |
| LOT 2 | DENSITY PROVIDED - F.A.R. $\frac{68,454}{4,524} = 0.15$ based on gross site area. | | |
| | F.A.R. $\frac{68,454}{68,356} = 1.0$ based on net site area. | | |
| PROPOSED FLOOR AREA | BUILDING 1 (WITH STORAGE) (WITH UNDERGROUND PARKING) | | |
| | GROUND FLOOR | 23,281 S.F. | |
| | SECOND FLOOR | 24,891 S.F. | |
| | THIRD FLOOR | 20,640 S.F. | |
| | SECOND FLOOR | 22,858 S.F. | |
| | TOTAL | 84,454 S.F. | |
| LOT 1: | DENSITY PROVIDED - F.A.R. $\frac{16,600}{68,458} = 0.24$ based on gross site area. | | |
| | F.A.R. $\frac{16,600}{13,311} = 1.25$ based on net site area. | | |
| PROPOSED FLOOR AREA | BUILDING 2 (OFFICE BUILDING) 2 STOREYS | | |
| | 2 X 5,300 = | 10,600 S.F. | |
| BUILDING 3 (OFFICE BUILDING) 2 STOREYS | 2 X 5,250 = | 6,000 S.F. | |
| | TOTAL | 16,600 S.F. | |
| COVERAGE ALLOWED - | based on net site area. | | |
| LOT 1: | $\frac{16,600}{13,311} = 0.64$ | | |
| LOT 2: | $\frac{24,891}{68,356} = 0.36$ | | |

| | |
|------------------------|-------------------------------------|
| PARKING REQUIRED: | |
| BUILDING 1 (4 STOREYS) | $\frac{106,054}{1,075} = 99$ |
| BUILDING 2 (2 STOREYS) | $2 \times \frac{5,300}{1,075} = 15$ |
| BUILDING 3 (2 STOREYS) | $2 \times \frac{5,250}{1,075} = 10$ |
| TOTAL PARKING REQUIRED | 124 PARKING SPACES |
| TOTAL PARKING PROVIDED | 151 PARKING SPACES |

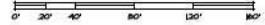
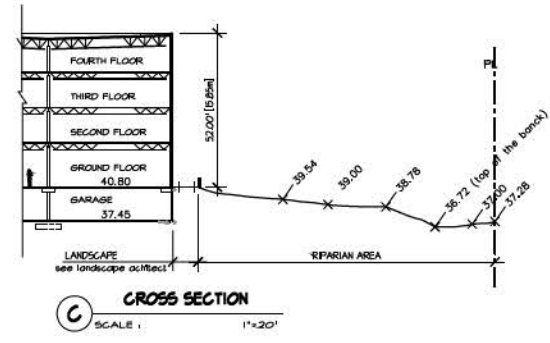
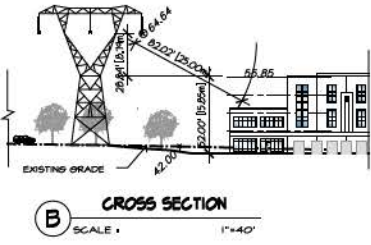
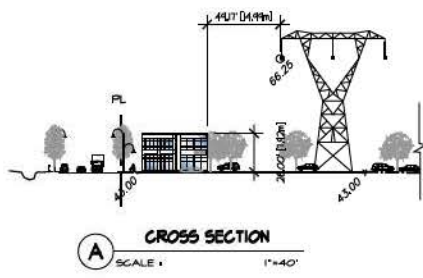
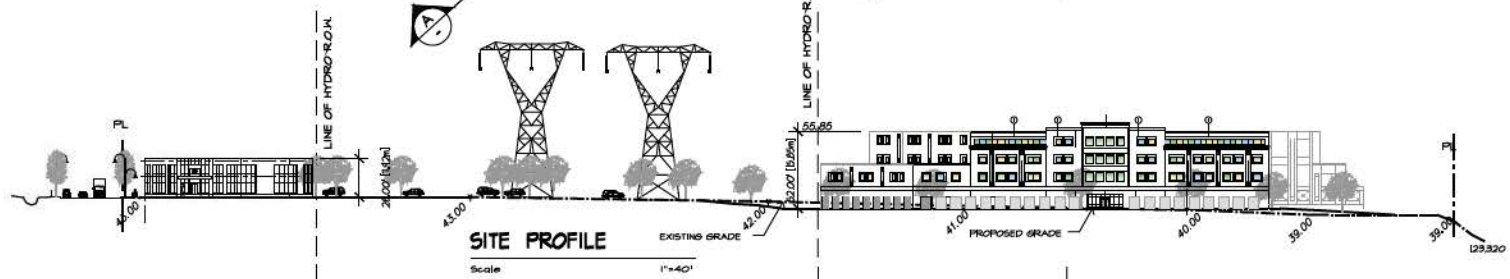
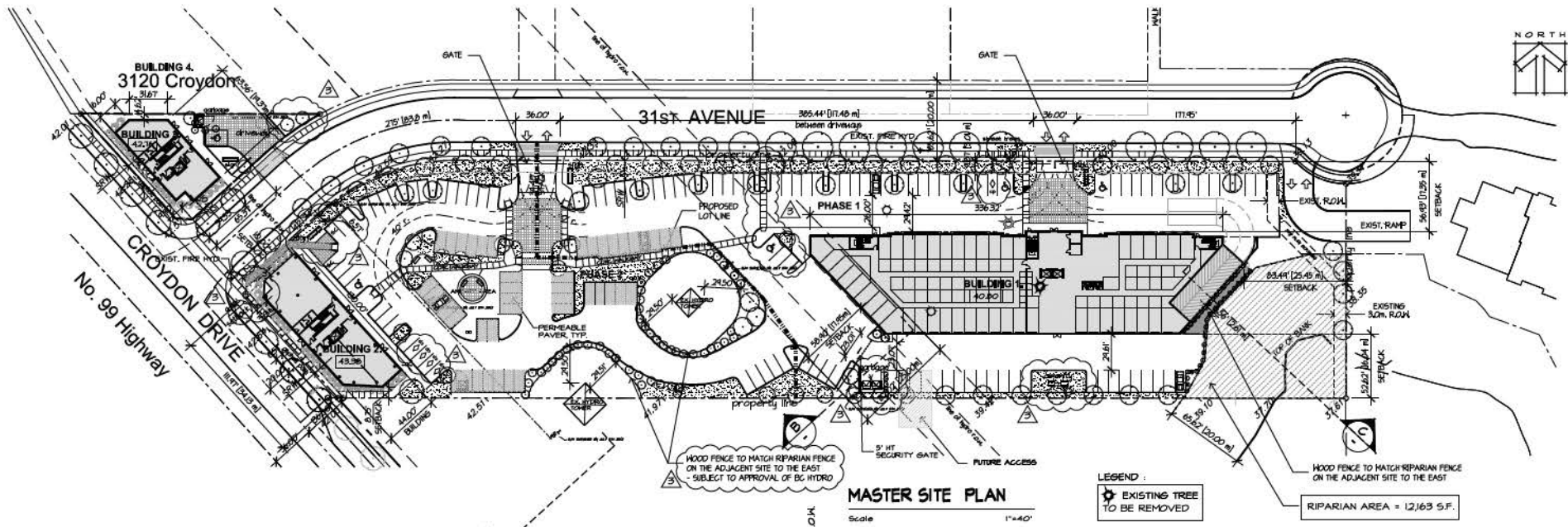
CONSULTANTS :

| | |
|----------------------------|--|
| OWNER | Southpointe Mtl Storage Ltd. TEL: 804-288-4710 FAX: 804-288-4715 E-mail: sp@spcorporateosiliving.ca |
| LANDSCAPE ARCHITECT | FM3 Landscape Architects TEL: 804-244-0201 FAX: 804-244-0222 E-mail: info@fm3landscape.com |
| ARBORIST | MICHAEL J. MILLS - FM3 Landscape Arch. TEL: 804-244-0201 FAX: 804-244-0222 |
| SURVEYOR | MURRAY & ASSOCIATES TEL: 804-591-8841 FAX: 804-591-8091 E-mail: htdsde@murrayjs.com |

| | | | |
|-------------|------|-----------------|--|
| 03 11-01-13 | | DP RESUBMISSION | |
| 02 10-02-13 | | DP RESUBMISSION | |
| 01 09-19-13 | | ADP SUBMISSION | |
| Rev. | Date | Description | |

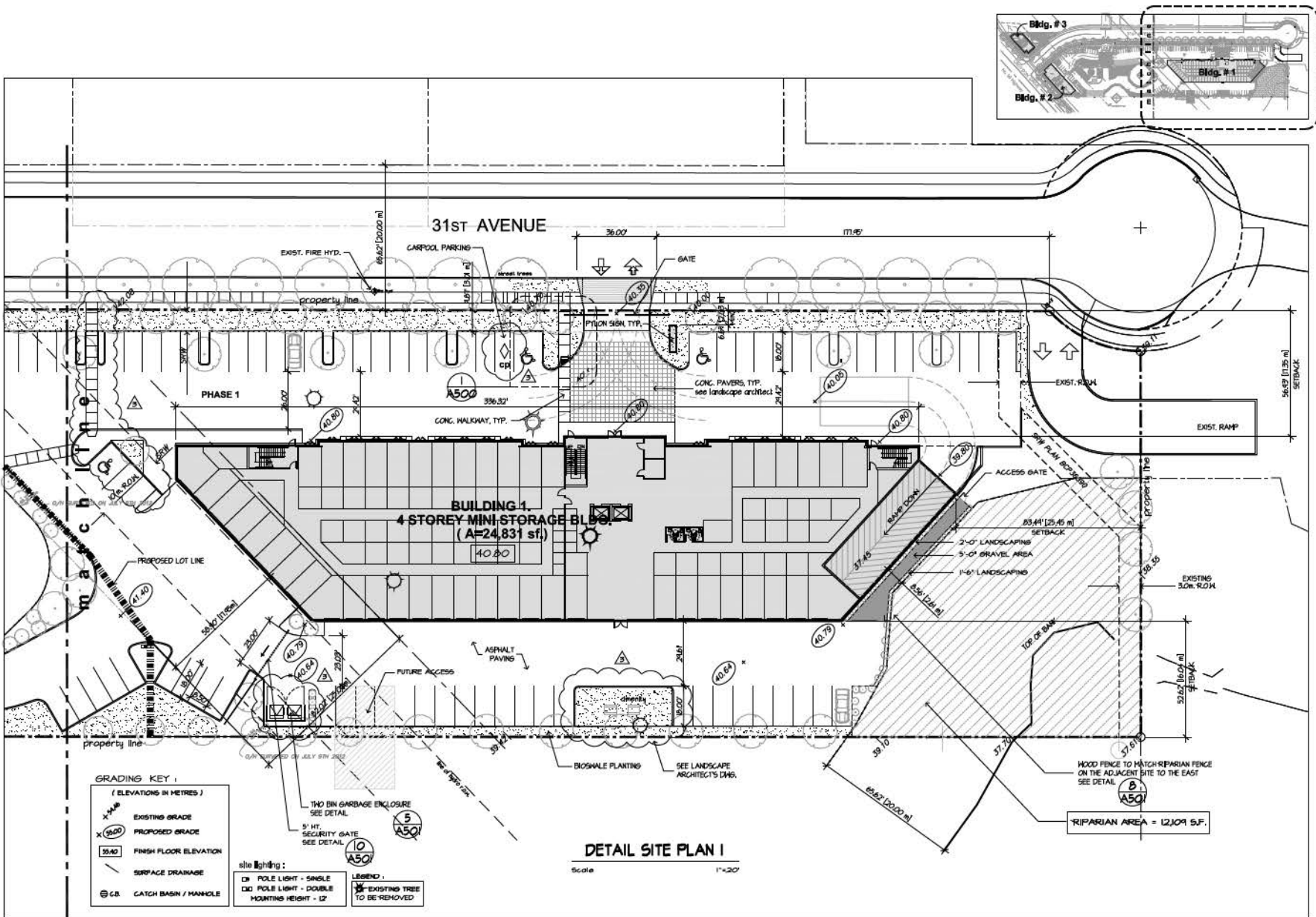
Ionic Architecture Inc.
 architect-member a.i.b.c.
 204-880 West Street
 Surrey B.C. V8V 6P8
 Tel: 778-871-0888
 Fax: 778-871-0889
 ionic@ionic-architecture.com

| | | |
|----------|---------------|-------------------------------|
| Sheet | Drawing Title | SITE DATA |
| of | PROJECT NO. | PROPOSED COMMERCIAL BUILDINGS |
| | PROJECT NO. | 31st AVE. & CROYDON DRIVE |
| | PROJECT NO. | Surrey, BC |
| Scale | As Noted | |
| Date | JAN 2011 | |
| Revision | | |
| 01 | 11-1102 | A100 |



proposed office / Industrial development / tree group
 3080 Croydon Drive
 Surrey, B.C.

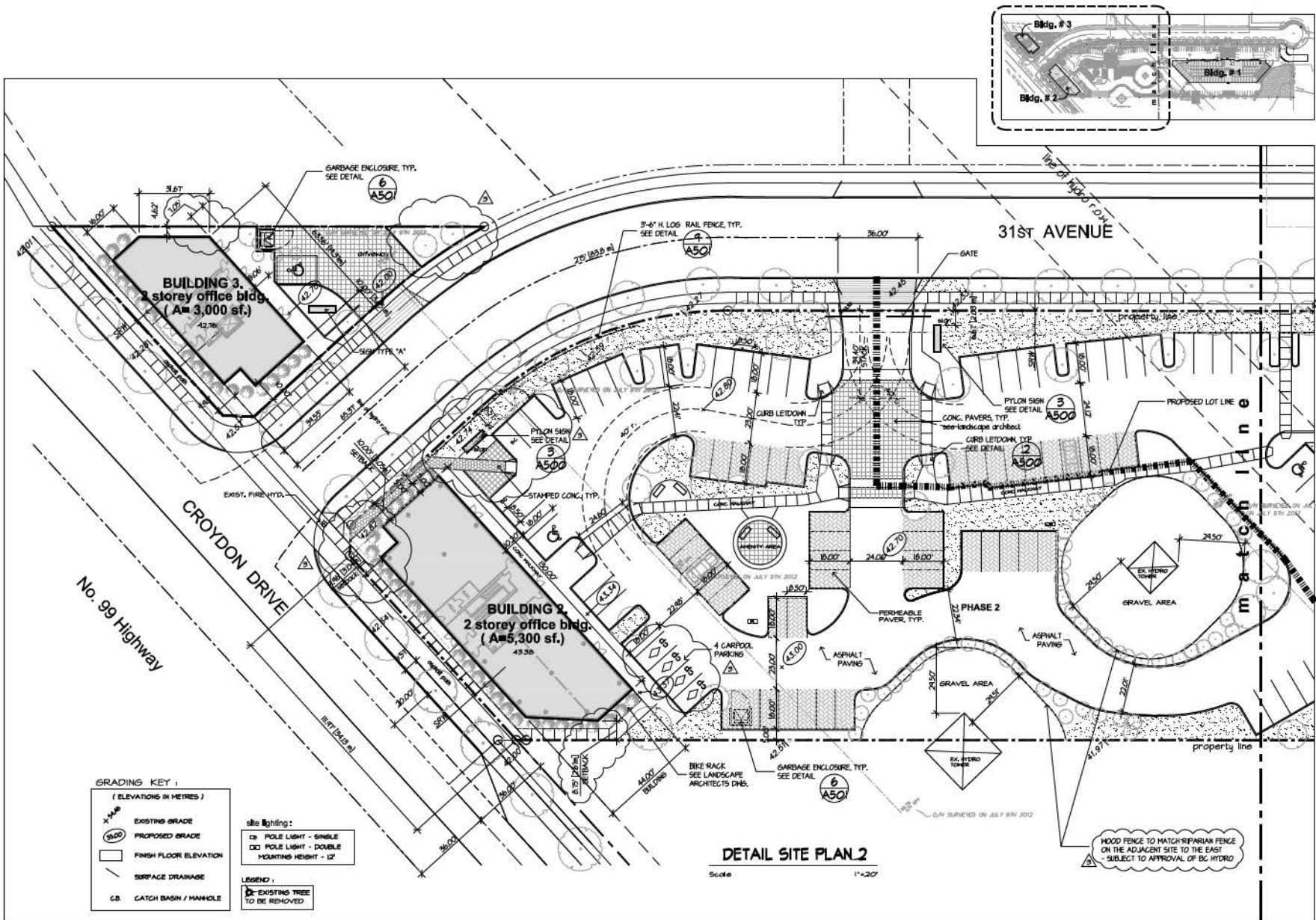
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|--|----------|-----------------|----|-------------|----------|------|-------------|
| Scale | As Noted | Sheet | of | Project No. | Revision | Date | Description |
| | | | | 11-1102 | A101 | | |
| Group Title: MASTER SITE PLAN Project Title: PROPOSED COMMERCIAL BUILDINGS 31st AVE. & CROYDON DRIVE Surrey, BC | | | | | | | |
| Ionic Architecture Inc. architect - member a.i.b.c. 295-665-4666 (Phone) 295-665-4666 (Fax) Survey Inc. www.ionic-architecture.com | | | | | | | |
| 03 | 11-01-13 | DP RESUBMISSION | | | | | |
| 02 | 10-02-13 | DP RESUBMISSION | | | | | |
| 01 | 08-19-13 | APP SUBMISSION | | | | | |



| Rev. | Date | Description |
|------|----------|-----------------|
| 01 | 12-21-12 | RIP SUBMISSION |
| 02 | 06-19-13 | DP RESUBMISSION |
| 03 | 11-01-13 | DP RESUBMISSION |

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 architect-member a.i.b.c.
 30-8000 Wood Street
 Surrey B.C. V3B 4A8
 Tel: 778-871-0888
 Fax: 778-871-0888
 ionic@ionic-architecture.com

| Scale | As Noted | Sheet | Drawing Title |
|---|----------|-------|--------------------|
| 01 | JAN 2011 | A102 | DETAIL SITE PLAN 1 |
| PROPOSED COMMERCIAL BUILDINGS 31st Ave. & Crofton Drive Surrey, BC | | | |



GRADING KEY 1
(ELEVATIONS IN METRES)

| | |
|--|------------------------|
| | EXISTING GRADE |
| | PROPOSED GRADE |
| | FINISH FLOOR ELEVATION |
| | SURFACE DRAINAGE |
| | CATCH BASIN / MANHOLE |

Site Lighting:

| | |
|--|-----------------------|
| | POLE LIGHT - SINGLE |
| | POLE LIGHT - DOUBLE |
| | MOUNTING HEIGHT - 12' |

LEGEND:

| | |
|--|-----------------------------|
| | EXISTING TREE TO BE REMOVED |
|--|-----------------------------|

DETAIL SITE PLAN 2

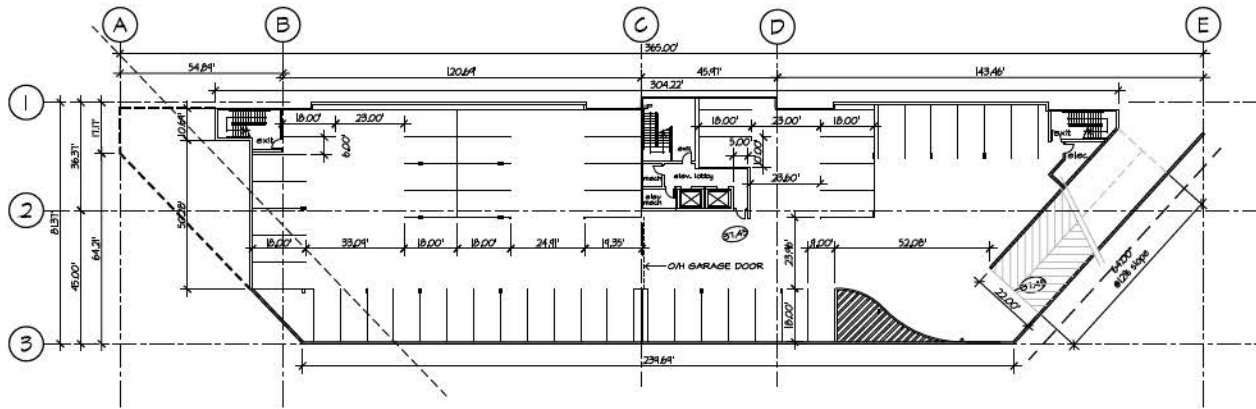
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| 01 | 11-11-02 | A103 | Sheet | 01 |
| 02 | JAN 2011 | | of | |
| 03 | JAN 2011 | | Project No. | |
| 04 | JAN 2011 | | Project No. | |
| 05 | JAN 2011 | | Project No. | |
| 06 | JAN 2011 | | Project No. | |
| 07 | JAN 2011 | | Project No. | |
| 08 | JAN 2011 | | Project No. | |
| 09 | JAN 2011 | | Project No. | |
| 10 | JAN 2011 | | Project No. | |
| 11 | JAN 2011 | | Project No. | |
| 12 | JAN 2011 | | Project No. | |
| 13 | JAN 2011 | | Project No. | |
| 14 | JAN 2011 | | Project No. | |
| 15 | JAN 2011 | | Project No. | |
| 16 | JAN 2011 | | Project No. | |
| 17 | JAN 2011 | | Project No. | |
| 18 | JAN 2011 | | Project No. | |
| 19 | JAN 2011 | | Project No. | |
| 20 | JAN 2011 | | Project No. | |
| 21 | JAN 2011 | | Project No. | |
| 22 | JAN 2011 | | Project No. | |
| 23 | JAN 2011 | | Project No. | |
| 24 | JAN 2011 | | Project No. | |
| 25 | JAN 2011 | | Project No. | |
| 26 | JAN 2011 | | Project No. | |
| 27 | JAN 2011 | | Project No. | |
| 28 | JAN 2011 | | Project No. | |
| 29 | JAN 2011 | | Project No. | |
| 30 | JAN 2011 | | Project No. | |
| 31 | JAN 2011 | | Project No. | |
| 32 | JAN 2011 | | Project No. | |
| 33 | JAN 2011 | | Project No. | |
| 34 | JAN 2011 | | Project No. | |
| 35 | JAN 2011 | | Project No. | |
| 36 | JAN 2011 | | Project No. | |
| 37 | JAN 2011 | | Project No. | |
| 38 | JAN 2011 | | Project No. | |
| 39 | JAN 2011 | | Project No. | |
| 40 | JAN 2011 | | Project No. | |
| 41 | JAN 2011 | | Project No. | |
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| 43 | JAN 2011 | | Project No. | |
| 44 | JAN 2011 | | Project No. | |
| 45 | JAN 2011 | | Project No. | |
| 46 | JAN 2011 | | Project No. | |
| 47 | JAN 2011 | | Project No. | |
| 48 | JAN 2011 | | Project No. | |
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| 52 | JAN 2011 | | Project No. | |
| 53 | JAN 2011 | | Project No. | |
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| 56 | JAN 2011 | | Project No. | |
| 57 | JAN 2011 | | Project No. | |
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| 95 | JAN 2011 | | Project No. | |
| 96 | JAN 2011 | | Project No. | |
| 97 | JAN 2011 | | Project No. | |
| 98 | JAN 2011 | | Project No. | |
| 99 | JAN 2011 | | Project No. | |
| 100 | JAN 2011 | | Project No. | |

Ionic Architecture Inc.
architect-member a.i.b.c.
30-8800 Wood Street
Surrey, BC V3R 4V8
Tel: 778-871-0888
Fax: 778-871-0888
www.ionic-architecture.com

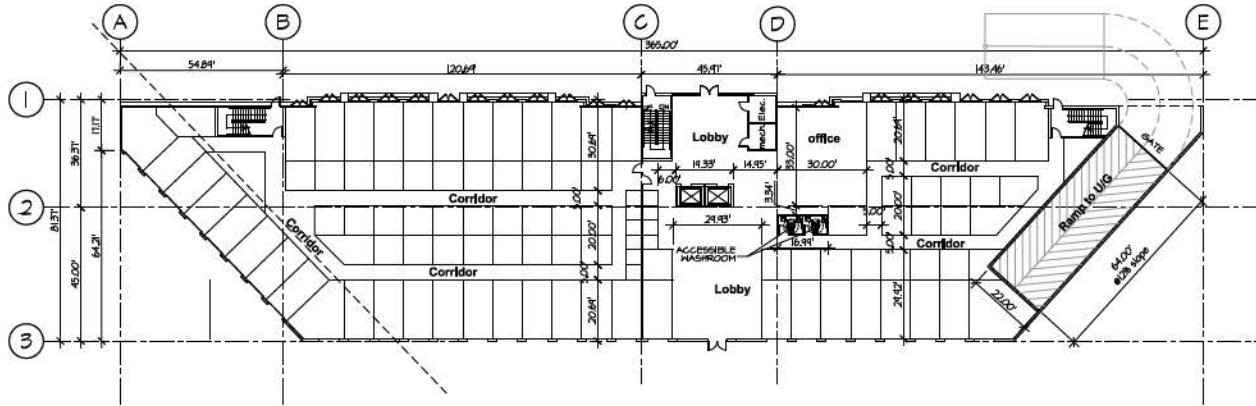
DETAIL SITE PLAN 2
PROPOSED COMMERCIAL BUILDINGS
31st Ave. & Croydon Drive
Surrey, BC

WOOD FENCE TO MATCH RIFARIAN FENCE ON THE ADJACENT SITE TO THE EAST - SUBJECT TO APPROVAL OF BC HYDRO



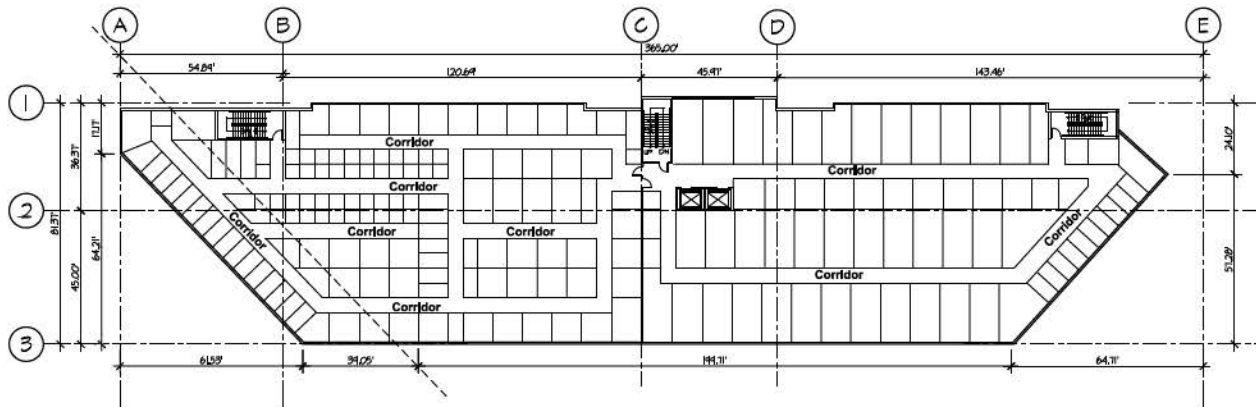
GARAGE FLOOR PLAN

Scale 1"=20' 23,261 SQ. FT.



GROUND FLOOR PLAN

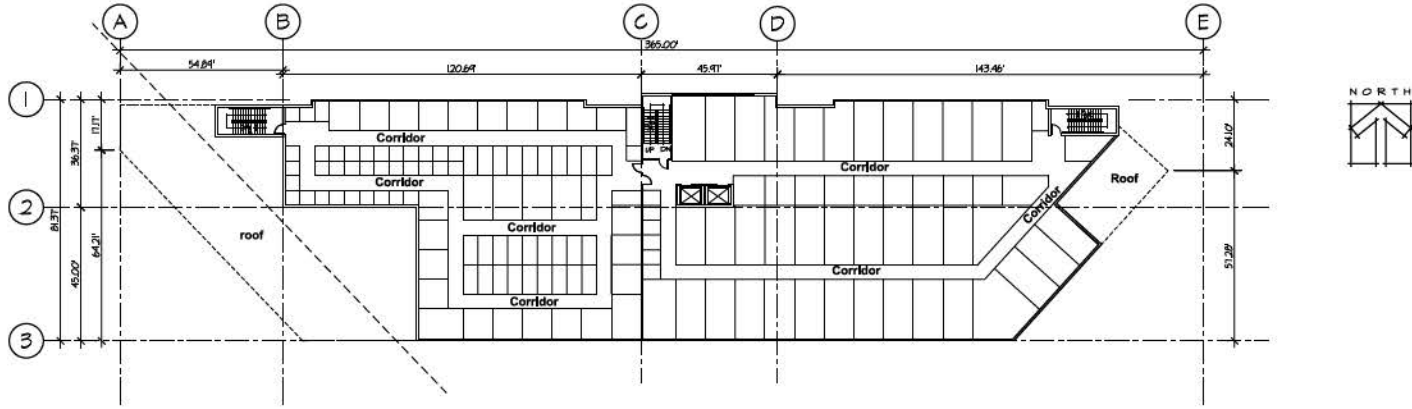
Scale 1"=20' 24,691 SQ. FT.



SECOND FLOOR PLAN

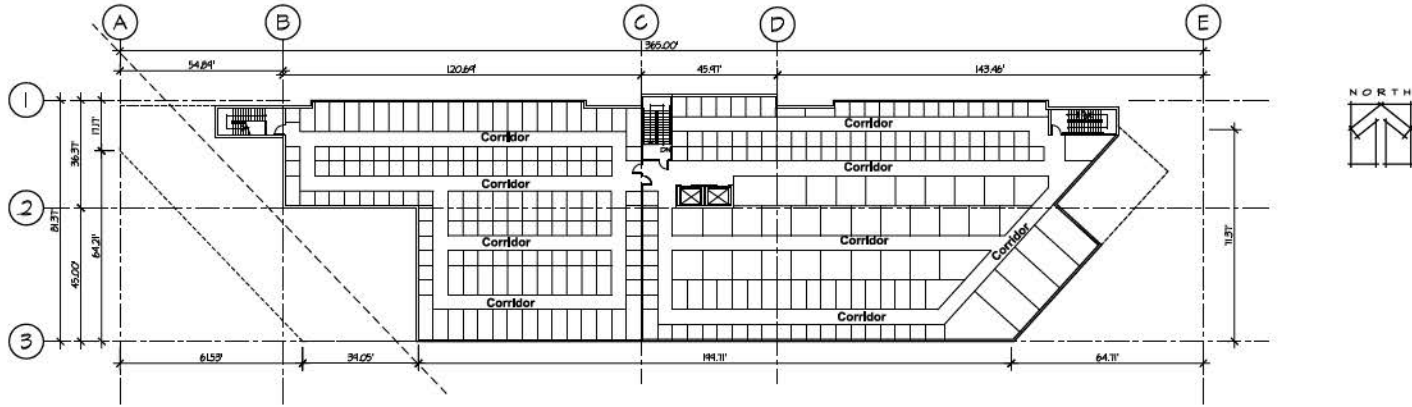
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| | | | |
|-----------|--------------|------------------------------|-----------------------------------|
| Scale: | As Noted | Sheet: | A200 |
| Date: | JANUARY 2011 | Project Title: | BLDG. 1_GARAGE, 1st, 2nd FL. PLAN |
| Revision: | 11-1102 | Project No.: | PROPOSED COMMERCIAL BUILDINGS |
| | | Client: | 31st AVE. & CRODEN DRIVE |
| | | Location: | Surrey, BC |
| | | Architect: | Ionic Architecture Inc. |
| | | Architect - member a.i.b.c.: | |
| | | 30-8000 Wood Street | V4L 1Y8 B1-088 |
| | | 31st AVE. & CRODEN DRIVE | V4L 1Y8 B1-088 |
| | | Surrey BC | info@ionic-architect.com |
| | | DP RESUBMISSION | Date: |
| | | ADP SUBMISSION | Date: |
| | | | Date: |



THIRD FLOOR PLAN

Scale 1"=20' 20,666 SQ. FT.



FOURTH FLOOR PLAN

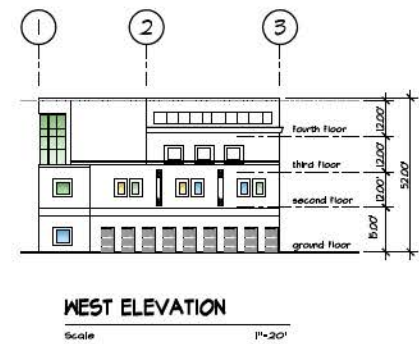
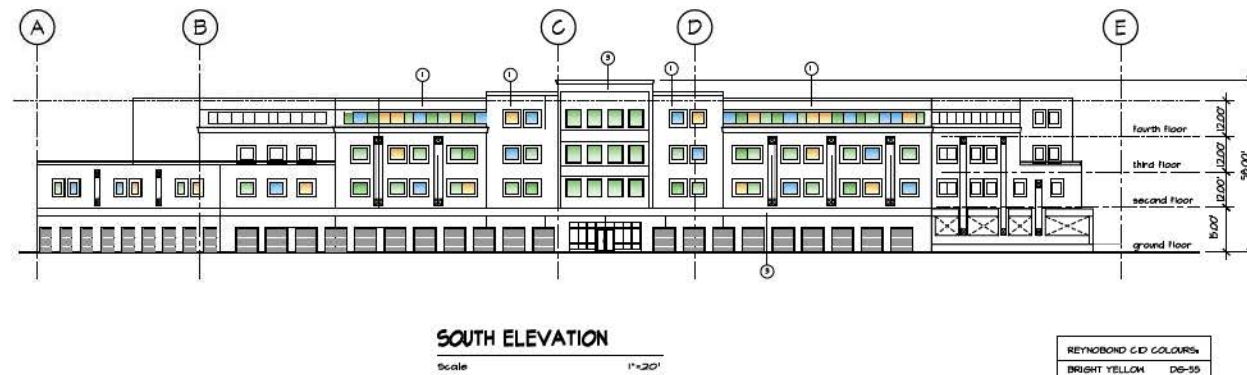
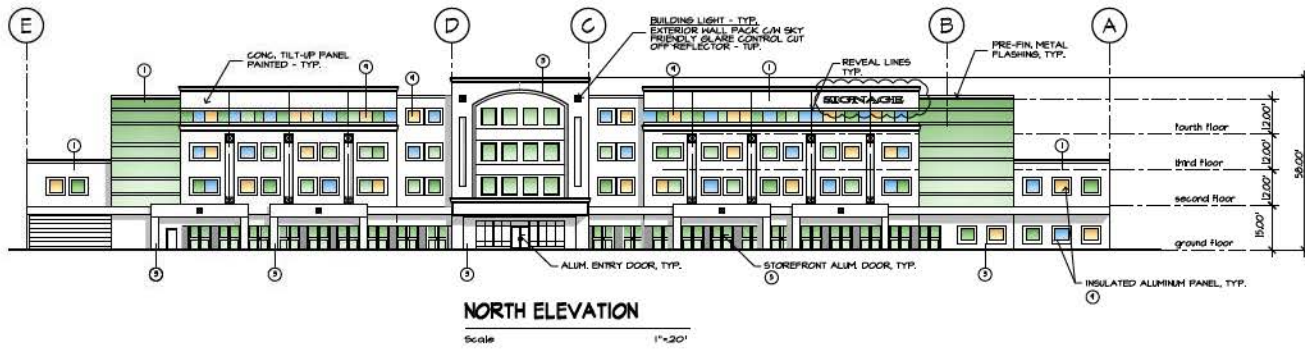
Scale 1"=20' 20,666 SQ. FT.

| Rev. | Date | Description |
|------|----------|-----------------|
| 01 | 05-19-13 | APP SUBMISSION |
| 02 | 10-02-13 | DP RESUBMISSION |

Ionic Architecture Inc.
 architect-member a.i.b.c.
 30-8000 Wood Street
 Surrey, BC V3B 6A9
 Tel: 778-871-0888
 Fax: 778-871-0889
 info@ionic-architect.com

Drawing Title: **BLDG. 1 - 3RD & 4TH FLOOR PLAN**
 Project Title: **PROPOSED COMMERCIAL BUILDINGS**
 31st AVE. & CROYDEN DRIVE
 Surrey, BC

| | |
|----------|--------------|
| Sheet | A201 |
| Scale | As Noted |
| Date | JANUARY 2011 |
| Revision | 11-1102 |



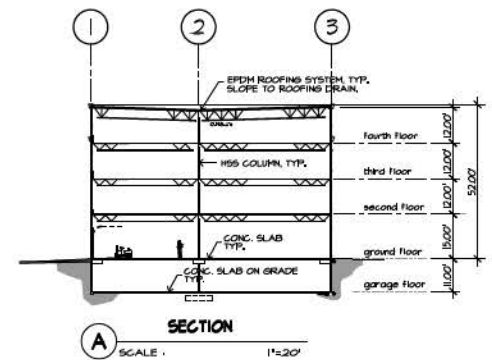
| REYNOLDBOND C.D. COLOURS | |
|--------------------------|-------|
| BRIGHT YELLOW | DB-55 |
| EASTMAN BLUE | LF-25 |
| BRIGHT GREEN | DB-50 |

NOTES:
 - 2 COATS OF ELASTOMERIC PAINT TO BE APPLIED TO EXTERIOR WALLS
 - TILT-UP PANEL JOINT TO HAVE 2 LINES OF GASKING (EXT. & INT.), KEEP HOLES AT BOTTOM.

REFER TO THE COLOUR BOARD SUBMITTED

| EXTERIOR MATERIALS & FINISHES : | | |
|--|--|-------------------|
| MATERIAL / FINISH | | COLOR |
| ① CONCRETE PANEL | | CLAY BEIGE OG-11 |
| ② CONCRETE PANEL (ENTRANCE) | | ALEXANDRIA HG-T1 |
| ③ CONCRETE PANEL ACCENT | | BISCOTTI CG-48B |
| ④ METAL CANOPIES, METAL DOOR & FLASHING | | CLEAR ANODIZED |
| ⑤ ALUM. WINDOWS & DOOR FRAMES (CLEAR ANODIZED ALUM.) | | VERSALUX BLUE |
| ⑥ STAMPED CONCRETE | | see colour scheme |
| ⑦ PERMEABLE CONCRETE PAVERS | | see colour scheme |
| ⑧ SUN SHADE SYSTEM | | CLEAR ANODIZED |
| ⑨ INSULATED ALUMINUM PANEL | | REYNOLDBOND CID |

* PAINT COLOURS ARE BENJAMIN MOORE



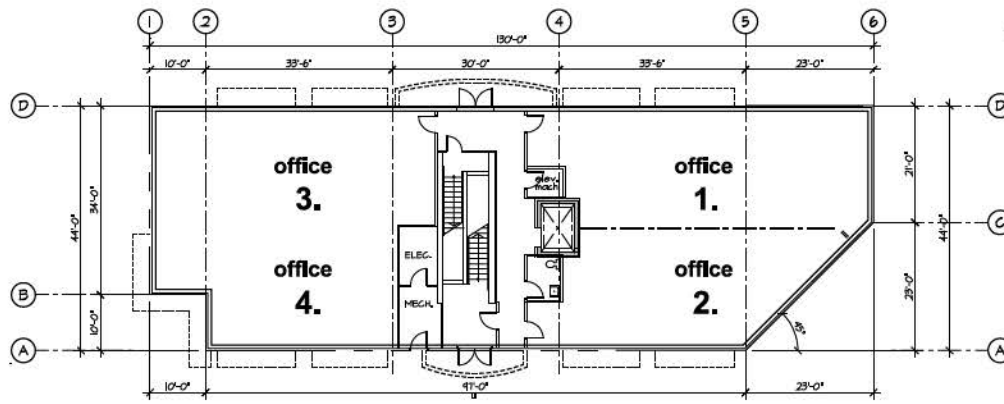
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|------|----------|-----------------|
| 01 | 05-19-13 | APP SUBMISSION |
| 02 | 10-02-13 | DP RESUBMISSION |

| | |
|-----------|--------------|
| Scale: | As Noted |
| Date: | JANUARY 2011 |
| Revision: | |

| | |
|----------------|--------------------------------|
| Drawing Title: | BLDG. 1 - ELEVATIONS & SECTION |
| Project Title: | PROPOSED COMMERCIAL BUILDINGS |
| Project No.: | 31st AVE. & CROFTEN DRIVE |
| Location: | Surrey, BC |

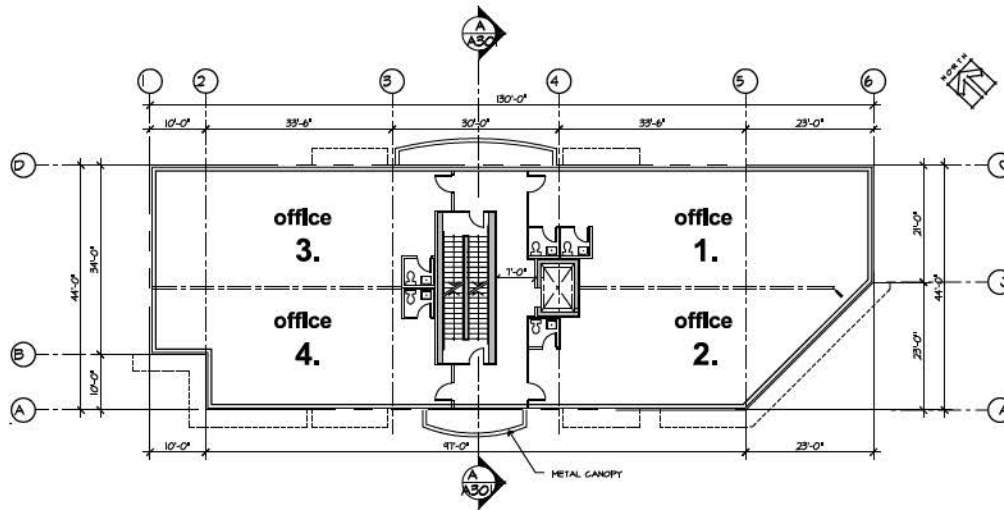
| | |
|--------------|---------|
| Sheet: | A202 |
| Project No.: | 11-1102 |

| | |
|----------|---|
| Company: | Ionic Architecture Inc. |
| Address: | 30-8000 Wood Street, Surrey BC, V3W 4S8 |
| Phone: | 604-591-0888 |
| Website: | www.ionic-arch.com |



GROUND FLOOR PLAN

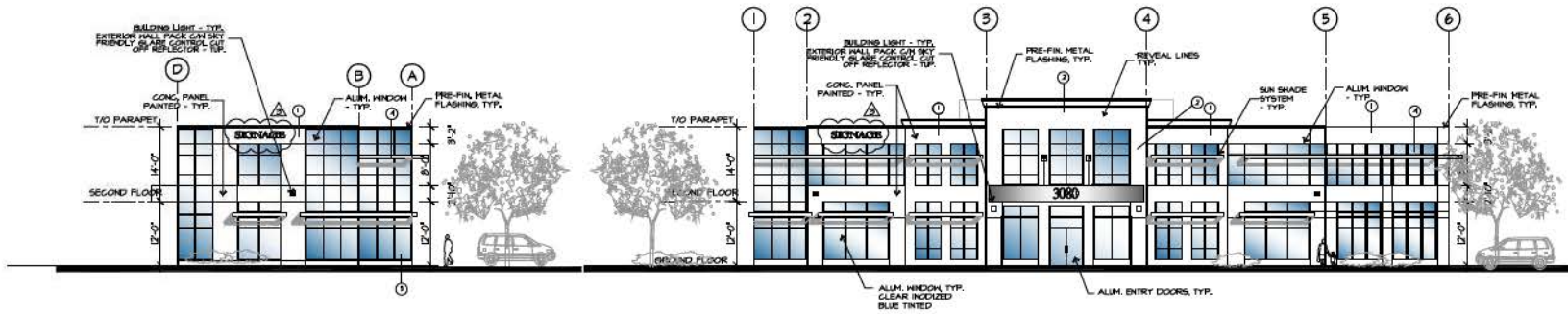
Scale 3/32"=1'-0" 5,300 SQ. FT.



SECOND FLOOR PLAN

Scale 3/32"=1'-0" 5,300 SQ. FT.

| | | | | |
|----------|----------|---------|------|--|
| Scale | As Noted | Sheet | of | Drawing Title |
| Date | JUN 2011 | | | BLDG. 2 - FLOOR PLANS |
| Revision | 01 | 11-1102 | A300 | PROJECT TITLE PROPOSED COMMERCIAL BUILDINGS 31st AVE. & CROYDON DRIVE Surrey, BC |
| 01 | 11-1102 | | A300 | |
| 02 | 10-02-13 | | | IONIC ARCHITECTURE INC. architect-member a.i.b.c. 30-8000 Wood Street Surrey BC, V3R 5J8 tel: 778-871-0808 fax: 778-871-0888 info@ionic-architecture.com |
| 01 | 05-19-13 | | | DP RESUBMISSION ADP SUBMISSION |
| Rev. | Date | | | Description |

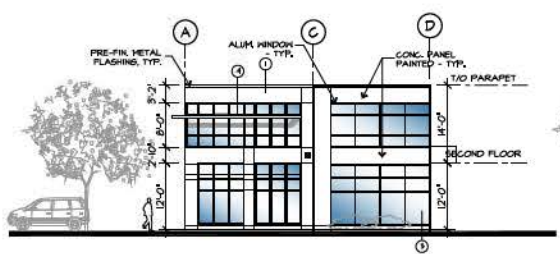


NORTH WEST ELEVATION

Scale 3/32"=1'-0"

SOUTH WEST ELEVATION

Scale 3/32"=1'-0"



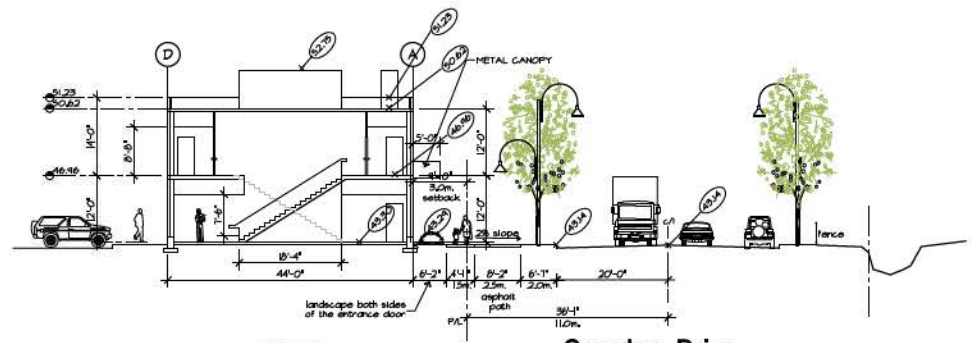
SOUTH EAST ELEVATION

Scale 3/32"=1'-0"



NORTH EAST ELEVATION

Scale 3/32"=1'-0"



SECTION
Scale 3/32"=1'-0"

Croydon Drive

REFER TO THE COLOR BOARD SUBMITTED

| EXTERIOR MATERIALS & FINISHES | | |
|--|-------------------|--------|
| MATERIAL / FINISH | COLOUR | |
| 1 CONCRETE PANEL | CLAY BEIGE | CG-11 |
| 2 CONCRETE PANEL (ENTRANCE) | ALEXANDRIA | HC-T1 |
| 3 CONCRETE PANEL ACCENT | BISCOTTI | CC-488 |
| 4 METAL CANOPIES, METAL DOOR & FLASHING (CLEAR ANODIZED ALUM.) | CLEAR ANODIZED | |
| 5 ALUM. WINDOWS & DOOR FRAMES (CLEAR ANODIZED ALUM.) | VERSALUX BLUE | |
| 6 STAMPED CONCRETE | see colour scheme | |
| 7 PERMEABLE CONCRETE PAVERS | see colour scheme | |
| 8 SUN SHADE SYSTEM | CLEAR ANODIZED | |

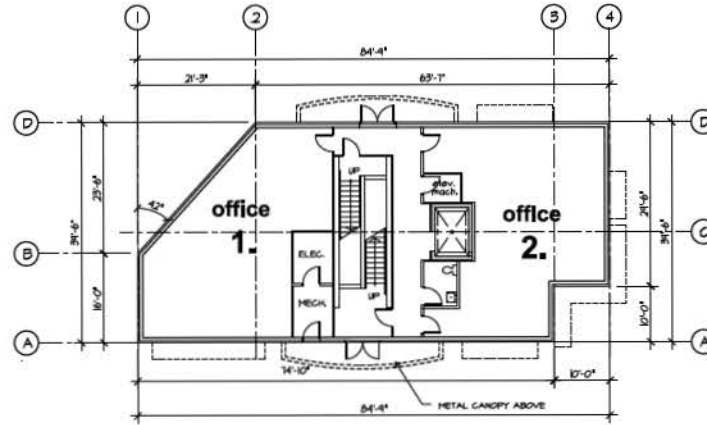
* PAINT COLOURS ARE BENJAMIN MOORE

NOTES:
 - 2 COATS OF ELASTOMERIC PAINT TO BE APPLIED TO EXTERIOR WALLS.
 - TILT-UP PANEL JOINT TO HAVE 2 LINES OF CALLINGS (EXT. & INT.), KEEP HOLES AT BOTTOM.

Ionic Architecture Inc.
 architect - member a.i.b.c.
 304-890-4444
 31st Ave. & Croydon Drive
 Surrey, BC V3R 3J8
 www.ionic-architecture.com

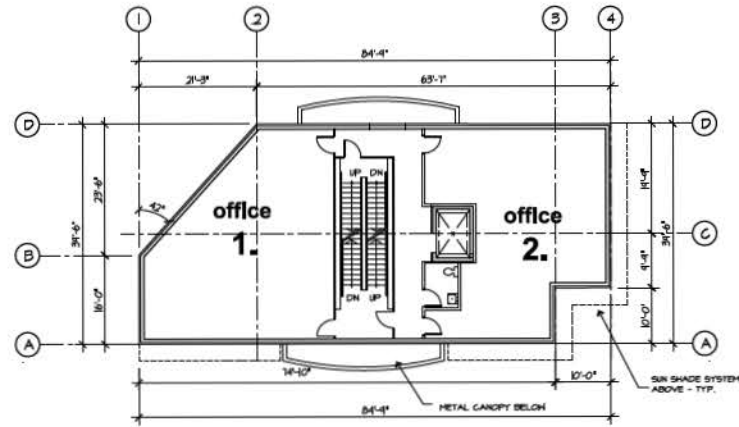
| Rev. | Date | Description |
|------|----------|-----------------|
| 03 | 11-01-13 | DP RESUBMISSION |
| 02 | 10-02-13 | DP RESUBMISSION |
| 01 | 06-19-13 | ADP SUBMISSION |

Drawing Title: BLDG. 2 - ELEVATIONS & SECTION
 Project No.: 31st Ave. & Croydon Drive
 Sheet: A.301
 Date: JAN 2011
 Scale: 11-1102



GROUND FLOOR PLAN

Scale 3/32"=1'-0" 3,000 SQ. FT.

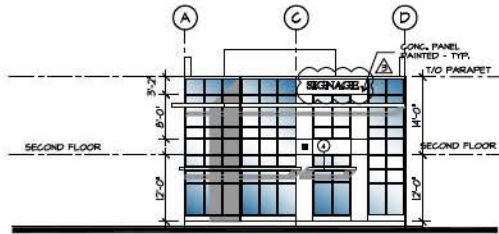


SECOND FLOOR PLAN

Scale 3/32"=1'-0" 3,000 SQ. FT.

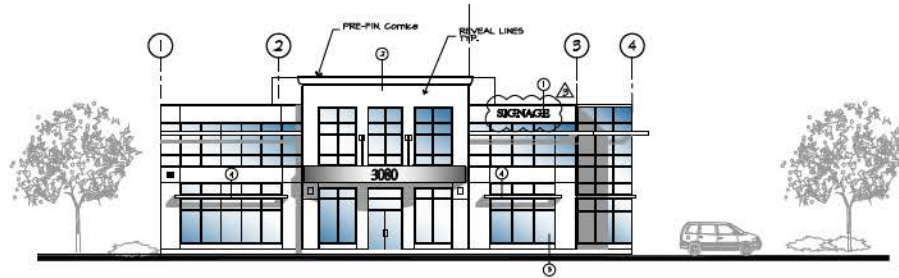


| | | | | | | | | | |
|------|--|----------|--|-------|--|--|--|--|--|
| 01 | | 11-1102 | | A400 | | BLDG. 3- FLOOR PLANS | | Ionic Architecture Inc. | |
| Date | | Revision | | Sheet | | Project Title | | architect - member a.i.b.c. | |
| 01 | | 01 | | 01 | | PROPOSED COMMERCIAL BUILDINGS 31st AVE. & GROYDON DRIVE Surrey, BC | | 14-2222 162nd Street Surrey, B.C. V3W 3Z8 Tel: 778 811-8888 Fax: 778 811-8888 www.ionic-architecture.com | |
| 01 | | 01 | | 01 | | 01 | | Description | |
| 01 | | 01 | | 01 | | 01 | | Date | |
| 01 | | 01 | | 01 | | 01 | | Date | |



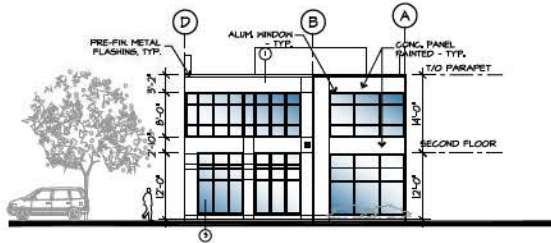
SOUTH EAST ELEVATION

Scale 3/32"=1'-0"



SOUTH WEST ELEVATION

Scale 3/32"=1'-0"



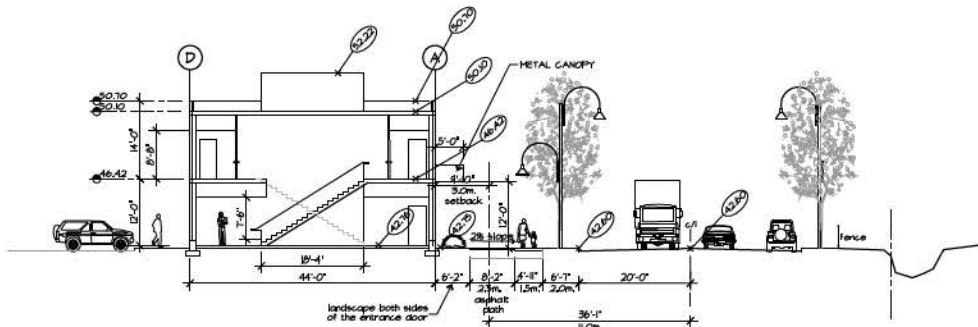
NORTH WEST ELEVATION

Scale 3/32"=1'-0"



NORTH EAST ELEVATION

Scale 3/32"=1'-0"



SECTION

Scale 3/32"=1'-0"

Croydon Drive

REFER TO THE COLOUR BOARD SUBMITTED

| EXTERIOR MATERIALS & FINISHES | | COLOUR |
|--|--|-------------------|
| MATERIAL / FINISH | | |
| ① CONCRETE PANEL | | CLAY BEIGE OC-11 |
| ② CONCRETE PANEL (ENTRANCE) | | ALEXANDRIA HC-71 |
| ③ CONCRETE PANEL ACCENT | | BISGOTTI CC-488 |
| ④ METAL CANOPIES, METAL DOOR & FLASHING | | CLEAR ANODIZED |
| ⑤ ALUM WINDOW & DOOR FRAMES (CLEAR ANODIZED ALUM.) | | VERSALUX BLUE |
| ⑥ STAMPED CONCRETE | | see colour scheme |
| ⑦ PERMEABLE CONCRETE PAVERS | | see colour scheme |
| ⑧ SUN SHADE SYSTEM | | CLEAR ANODIZED |

* PAINT COLOURS ARE BENJAMIN MOORE

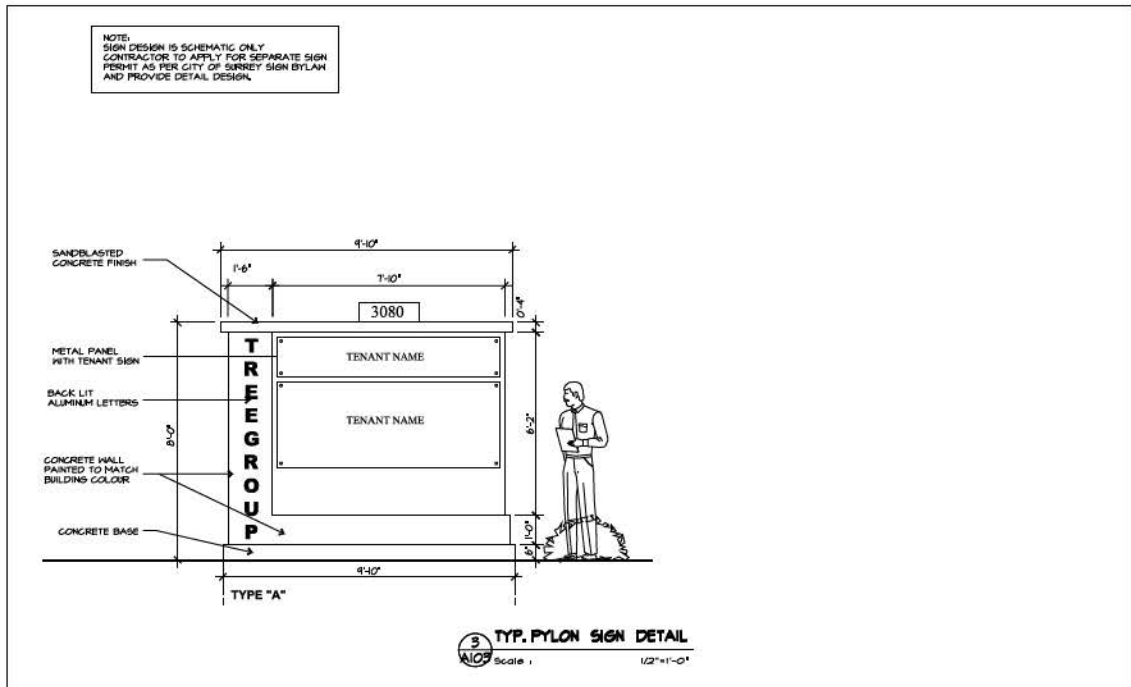
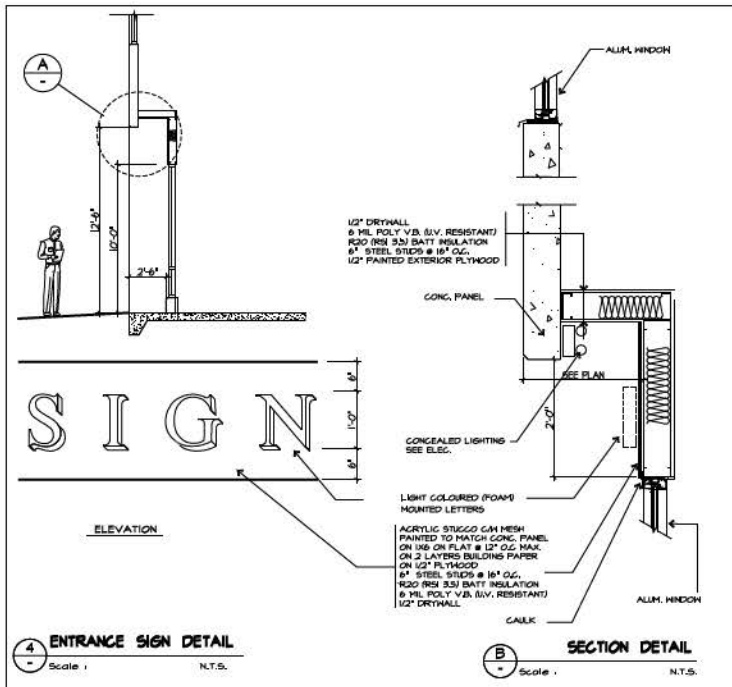
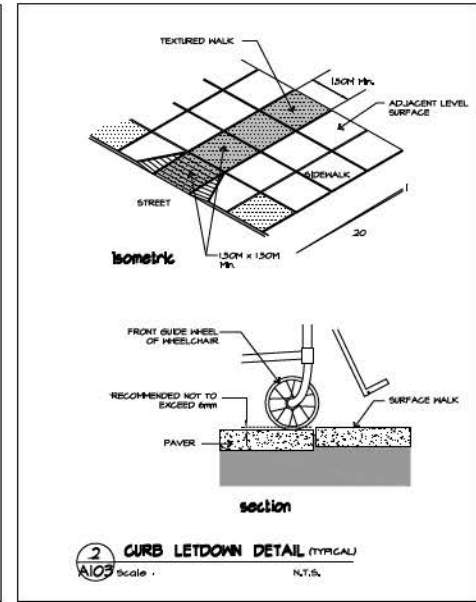
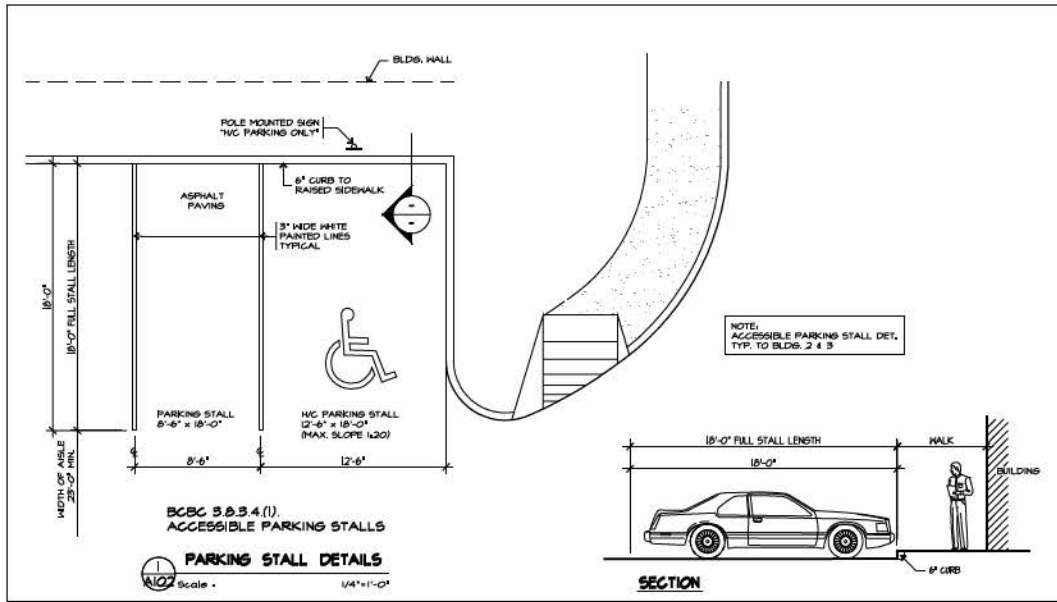
NOTES:
 - 2 COATS OF ELASTO-ERIC PAINT TO BE APPLIED TO EXTERIOR WALLS.
 - TILT-UP PANEL JOINT TO HAVE 2 LINES OF CALKING (EXT. & INT.), KEEP HOLES AT BOTTOM.

| Rev. | Date | Description |
|------|----------|-----------------|
| 01 | 06-19-13 | ADP SUBMISSION |
| 02 | 10-02-13 | DP RESUBMISSION |
| 03 | 11-01-13 | DP RESUBMISSION |

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Drawing Title: **BLDG. 3- ELEVATIONS & SECTION**
 Project Name: **PROPOSED COMMERCIAL BUILDINGS**
 Project No.: **31st AVE. & CROYDON DRIVE**
 Location: **Surrey, BC**

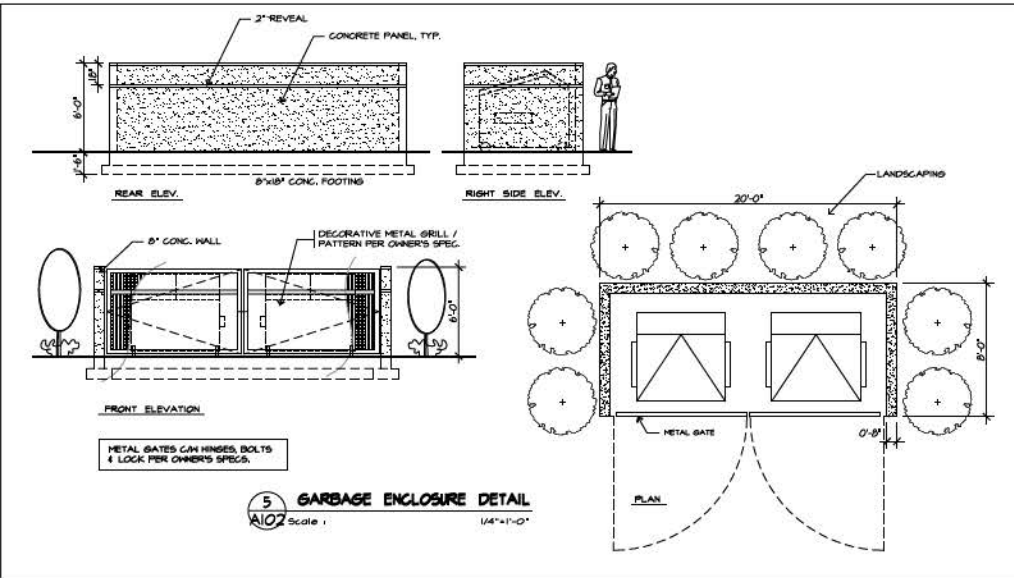
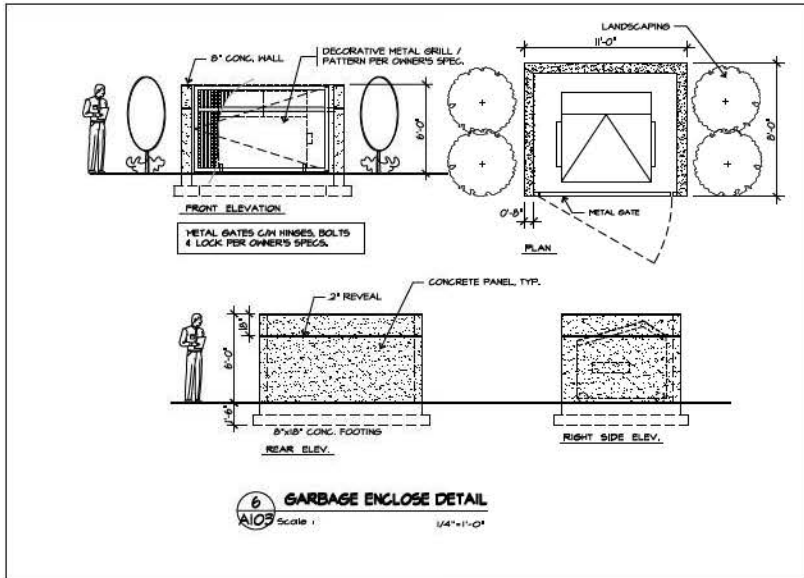
| Sheet | of | Revision |
|-------|----|----------|
| A401 | | 11-1102 |



| Rev. | Date | Description |
|------|----------|-----------------|
| 03 | 10-10-13 | DP RESUBMISSION |
| 02 | 10-10-13 | ADP SUBMISSION |
| 01 | 08-19-13 | |

| | | | | | |
|-----------|----------|----------------|---------------------------|-------------------------------|------|
| Scale: | As Noted | Sheet: | of | Project No.: | A500 |
| Date: | JAN 2011 | Drawing Title: | DETAILS | Proposed Commercial Buildings | |
| Revision: | | Project No.: | 31st AVE. & CROYDON DRIVE | Surrey BC | |
| | | Scale: | 11-1102 | | |

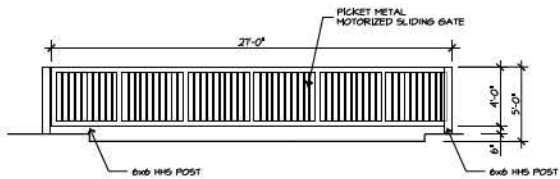
Ionic Architecture Inc.
architect-member a.i.b.c.
30-8000 Wood Street
Surrey BC V3B 4J8
Tel: 778-871-0888
Fax: 778-871-0888
info@ionic-architecture.com



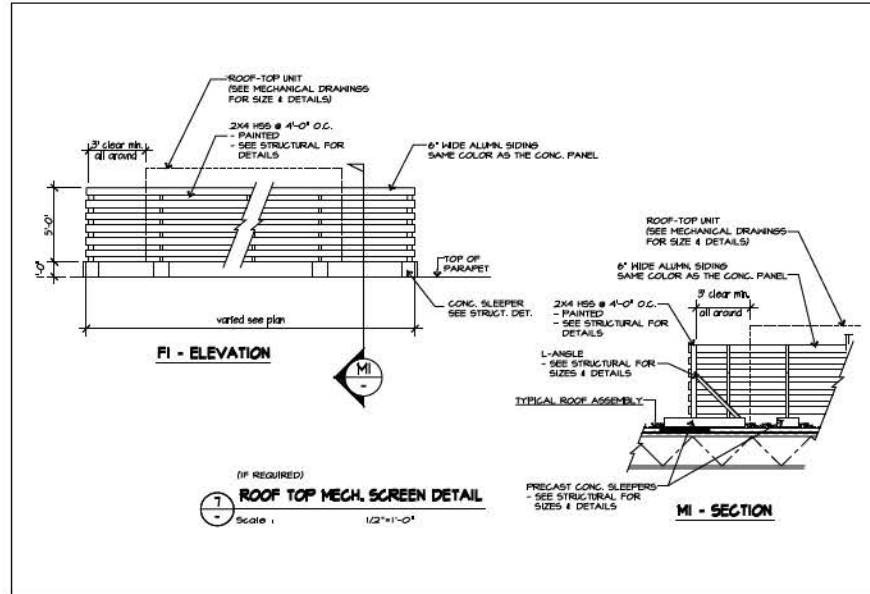
4 TYP. 5'-6" H. LOG RAIL FENCE
 Scale: N.T.S.



8 TYP. 5'-0" H. WOOD FENCE
 Scale: N.T.S.



10 SECURITY GATE
 Scale: N.T.S.



| Rev. | Date | Description |
|------|----------|-----------------|
| 03 | 10-02-13 | DP RESUBMISSION |
| 02 | 10-02-13 | ADP SUBMISSION |
| 01 | 05-19-13 | |

Ionic Architecture Inc.
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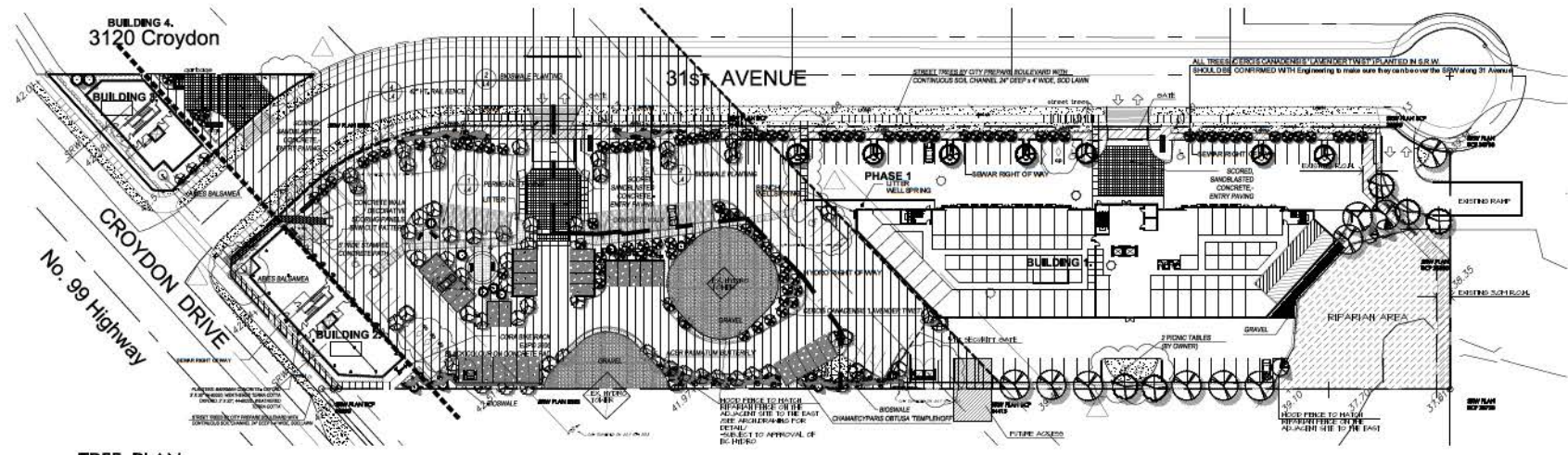
| Scale: | As Noted | Sheet | Drawing Title | DETAILS |
|-----------|----------|--------------|---------------------------|-------------------------------|
| Date: | JUN 2011 | of | Project Title: | PROPOSED COMMERCIAL BUILDINGS |
| Revision: | | Project No.: | 31st AVE. & CROYDON DRIVE | A501 |
| | | 11-1102 | | |



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LANDSCAPE ARCHITECTS
Suite C100 - 4885 201st Ave
Burnaby, B.C. Columbia, V5C 6G6
P: 604-284-0011 • F: 604-284-0022

SCALE:



TREE PLAN
SCALE: 1/4"=1'-0"

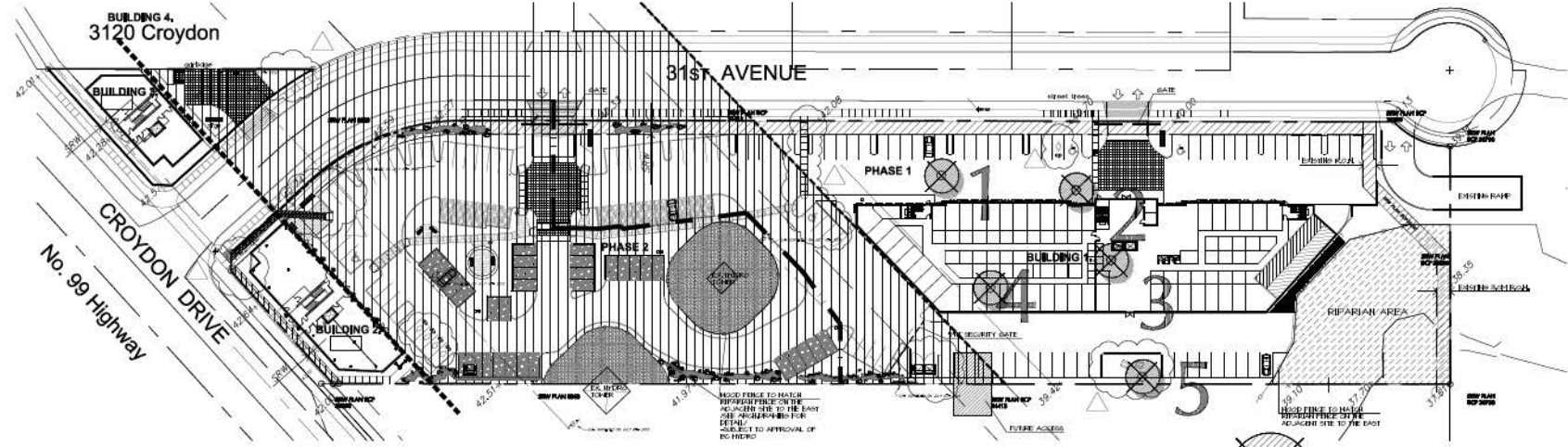
| PLANT SCHEDULE - TREES UNDER THE LINE OF HYDRO R.O.W. | | | | PMG JOB NUMBER: 12-209 |
|---|-----|------------------------------------|--------------------------|------------------------|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE / REMARKS |
| 00 | | ACER PALMUTUM 'BUTTERFLY' | BUTTERFLY JAPANESE MAPLE | 60CM CAL, B&B |
| 02 | | CERCIS CANADENSIS 'LAVENDER TWIST' | LAVENDER TWIST REDBUD | 90CM CAL |
| 13 | | CHAMAECYPARIS OBTUSA 'TEMPLESPY' | TEMPLESPY FALSE CYPRESS | 1.8M HT, B&B |

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER OTHER STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARDS. * DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

| PLANT SCHEDULE - Over all | | | | PMG JOB NUMBER: 12-209 |
|---------------------------|-----|------------------------------------|--------------------------|------------------------|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE / REMARKS |
| 01 | | ABIES BALANCEA | BALAM FIR | 3 M HT, B&B |
| 02 | | ACER PALMUTUM 'BUTTERFLY' | BUTTERFLY JAPANESE MAPLE | 60CM CAL, B&B |
| 03 | | ACER RUBRUM 'KARPOC' | RED MAPLE | 60CM CAL; 2M STD B&B |
| 04 | | ACER FRIEMANII 'AUTUMN GLAZ' | AUTUMN GLAZE MAPLE | 70CM CAL; 1.8M STD B&B |
| 05 | | CERCIS CANADENSIS 'LAVENDER TWIST' | LAVENDER TWIST REDBUD | 60CM CAL |
| 06 | | CHAMAECYPARIS OBTUSA 'TEMPLESPY' | TEMPLESPY FALSE CYPRESS | 3 M HT, B&B |
| 07 | | FRAXINUS AMERICANA 'AUTUMN PURPLE' | AUTUMN PURPLE ASH | 1.8M HT, B&B |
| 08 | | | | 80CM CAL; 1.8M STD B&B |

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER OTHER STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARDS. * DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NOTES: NO DECIDUOUS TREE PLANTING WITHIN 3M OF BUILDINGS OR OVERHANGS.



TREE MANAGEMENT PLAN
SCALE: 1/4"=1'-0"

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|----------|----------------------|-----|
| 1 | 12/01/22 | NEW TREE PLAN | DR |
| 2 | 12/01/22 | NEW TREE PLAN | DR |
| 3 | 12/01/22 | NEW TREE PLAN | DR |
| 4 | 12/01/22 | NEW TREE PLAN | DR |
| 5 | 12/01/22 | NEW TREE PLAN | DR |
| 6 | 12/01/22 | NEW TREE PLAN | DR |
| 7 | 12/01/22 | NEW TREE PLAN | DR |

CLIENT:

PROJECT:

PROPOSED DEV.
3080 CROYDON AVE.
SURREY, B.C.
SURREY PROJECT NO. 7911-0187-00

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 12/01/22 DRAWING NUMBER:
SCALE: 1/4"=1'-0"
DRAWN: HY L1
DESIGN:
CHECKED: OF 5

SCALE:

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|----------|------------------------|-----|
| 1 | 12/01/22 | NEW DEVELOPER COMMENTS | CD |
| 2 | 12/01/22 | NEW DEVELOPER COMMENTS | CD |
| 3 | 12/01/22 | NEW DEVELOPER COMMENTS | CD |
| 4 | 12/01/22 | REVISION COMMENTS | CD |
| 5 | 12/01/22 | REVISION COMMENTS | CD |
| 6 | 12/01/22 | REVISION COMMENTS | CD |
| 7 | 12/01/22 | REVISION COMMENTS | CD |

CLIENT:

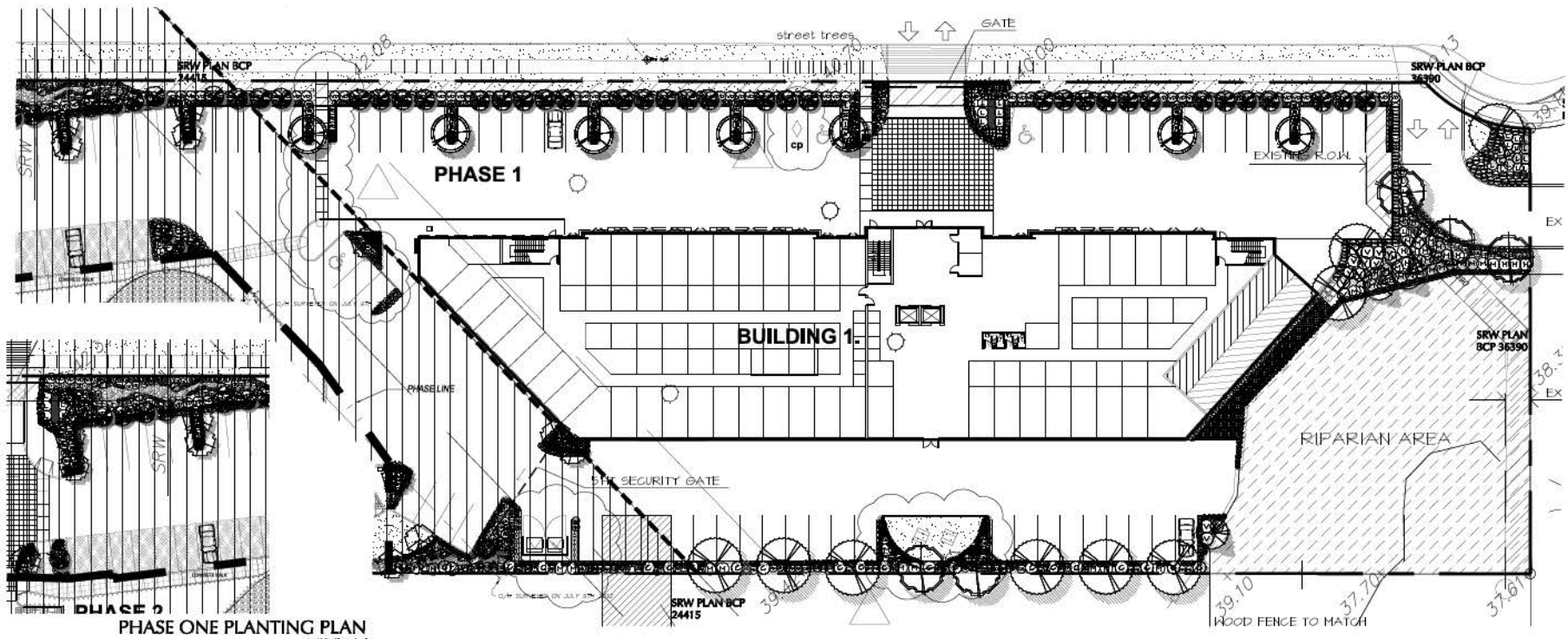
PROJECT:
PROPOSED DEV.
3080 CROYDON AVE.
SURREY, B.C.
SURREY PROJECT NO. 7911-0187-00

DRAWING TITLE:
**PHASE 1
LANDSCAPE PLAN**

DATE: 12/01/22 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: **L2**
DESIGN:
CHECKED: **OF 5**

| PLANT SCHEDULE | | PHASE 1 | PMG JOB NUMBER: 12-209 |
|----------------|-----|---------------------------------------|------------------------------|
| SYD | QTY | BOTANICAL NAME | COMMON NAME |
| | | | PLANTED SIZE / REMARKS |
| TREE | 15 | ACER PLATANUM 'BUTTERFLY' | BUTTERFLY JAPANESE MAPLE |
| | 8 | ACER RUBRUM 'KORFIC' | RED MAPLE |
| | 7 | ACER X FRIEDRIANI 'AUTUMN RUZE' | AUTUMN RED MAPLE |
| | 47 | CERIS CANDIDENS 'LAVENDER TWIST' | LAVENDER TWIST REBUD |
| | 3 | CHAMAECYPARIS NOOTNATENSIS 'PENDULA' | WEeping NOOTHA CYPRESS |
| | 1 | CHAMAECYPARIS BELTSEA 'TEMERLODOPF' | TEMPERLODOPF PALE CYPRESS |
| | 10 | FRAXINUS AMERICANA 'AUTUMN PURPLE' | AUTUMN PURPLE ASH |
| SHRUB | 22 | CORNUS BERGEA | RED OSIER DOGWOOD |
| | 20 | CORNUS BERGEA 'KELSEY' | KELSEY DOGWOOD |
| | 13 | HYDRANGEA MACROPHYLLA 'OTYLUME VENCE' | HYDRANGEA FUSCHIA |
| | 51 | MAYHWA AUCUPULM | CRIMSON GRAPE |
| | 6 | PRUNUS MUGO 'SUMILO' | DWARF MUGO RNE |
| | 86 | ROSA 'NO ABNHEE' | CARPET ROSE, WHITE |
| | 82 | ROSA 'EXL ORIS' 'SIMON FRASER' | SIMON FRASER ROSE, MED. PINK |
| | 23 | SALIX PURPUREA 'NAAM' | PURPLE OSIER WILLOW |
| | 10 | TAXUS X MEDIA 'HICKSI' | HICKS YEW |
| | 24 | TILLIA OCCIDENTALIS 'SMIRAGD' | EMERALD GREEN CEDAR |
| | 14 | VIORNIUM DAVIDI | EVERGREEN HICKLESBERRY |
| | 138 | VIORNIUM DAVIDI | DAVIDS VIORNIUM |
| GRASS | 69 | CALAMAGROSTIS ACUT. 'OVERDAM' | VARIATED FEATHER REED GRASS |
| | 15 | CALAMAGROSTIS CANDENSIS | BLUE JOINT GRASS |
| | 65 | HELICTIDRICHON SEMPER VIRENS | BLUE OAT GRASS |
| | 229 | IMPATIENS COLUMBICA 'RED BARKO' | BLOOD GRASS |
| | 53 | JUNCUS EFFUSUS | COMMON RUSH |
| | 28 | PANICUM VIRGATUM 'ROSTRALBUSCH' | SWITCH GRASS |
| PERENNIAL | 7 | ECHINACEA PURPUREA | PURPLE CONEFLOWER |
| | 206 | HEMEROCALLIS 'RED MAGIC' | DAYLILY |
| | 17 | PEROVSKIA ATROPURPUREA | RUSSIAN SAGE |
| GC | 422 | ARCTOSTAPHYLOS UVAURSI 'MASCAGUSETT' | KINNERRICK |
| | 50 | ELAEAGNUS JAPONICA 'EMERALD GEMET' | ELAEAGNUS SILVER VARIATED |
| | 274 | GAULTHERIA SHALON | SALAL |
| | 44 | LONICERA PILEATA | PRIVET HONEYSUCKLE |

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER DATA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE BASIS. ** REFER TO SPECIFICATIONS FOR CORNER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO LANDSCAPE STANDARDS. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND NON-MATERIAL MUST MEET OR EXCEED LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



PHASE ONE PLANTING PLAN
SCALE: 1/8" = 1'-0"

SCALE:

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|----------------------|-----|
| 7 | 15 NOV 21 | NEW HYDRO COMMENTS | GD |
| 6 | 12 OCT 21 | NEW'S MARK | GD |
| 5 | 12 SEP 20 | NEW STEEL | GD |
| 4 | 12 SEP 20 | HYDRO COMMENTS | GD |
| 3 | 23 JUL 20 | HYDRO FIELD NOTES | MM |
| 2 | 15 JUL 20 | NEW'S MARK | MM |
| 1 | 15 MAR 20 | NEW'S MARK | MM |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

PROPOSED DEV.
3080 CROYDON AVE.
SURREY, B.C.
SURREY PROJECT NO. 7911-0187-00

DRAWING TITLE:

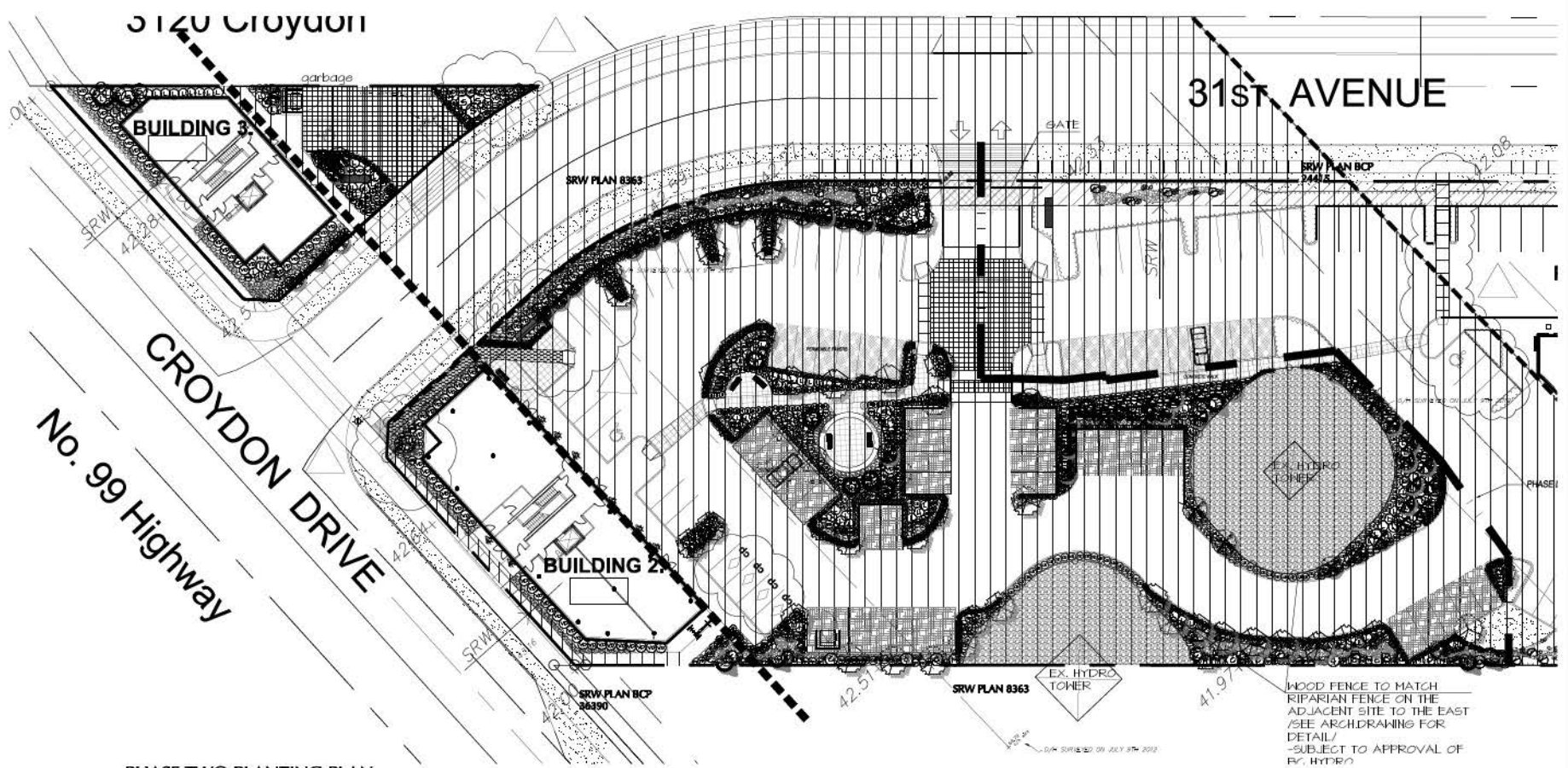
**PHASE 2
LANDSCAPE PLAN**

DATE: 12/01/22 DRAWING NUMBER:
SCALE: 1"=20'-0" **L3**
DRAWN:
CHECKED: OF 5

| PLANT SCHEDULE | | | PMG JOB NUMBER: 12-209 | |
|----------------|---------|--|------------------------------------|---------------------|
| SYT | SYT QTY | BOTANICAL NAME | COMMON NAME | PLANTED SEE / EQUIS |
| 2 | 2 | ABIES BALSAMEA | SALAM FR | 3 M HT, BAB |
| 46 | 1 | ACTINOPALMUM BUTTERFLY | BUTTERFLY JAPANESE MAPLE | 6 CM CL, BAB |
| 60 | 15 | CERCIS CANADENSIS 'LAVENDER TWIST' | LAVENDER TWIST RED BUD | 6 CM CL, BAB |
| 15 | 1 | CHAMAEDORHAEA OSTENSIAE 'TEMPLEHOFF' | TEMPLEHOFF FALSE CYPRISS | 1.5 M HT, BAB |
| 14 | 1 | CORNUS SERICEA | RED OSIER DOGWOOD | #2 POT, 50CM |
| 56 | 1 | CORNUS SERICEA 'HELIXBY' | KELLEY DOGWOOD | #2 POT, 50CM |
| 1 | 1 | HAMAMELIS VITIFOLIA 'DIANE' | RED WITCH HAZEL | #2 POT, 50CM |
| 31 | 1 | HYDRANGEA MACROPHYLLA 'OTYLINE VENICE' | HYDRANGEA FLUSHIA | #2 POT, 50CM |
| 10 | 1 | NYCTAGINIA AGRIUM | ORISON GRAPE | #2 POT, 40CM |
| 9 | 1 | NYCTAGINIA AGRIUM | PALM WINKER | #2 POT, 50CM |
| 37 | 1 | PRUNUS MEXICO 'YUMILO' | DWARF MEXICO PINE | #2 POT, 50CM |
| 21 | 1 | ROSA 'NOBLESSE' | CARPET ROSE, WHITE | #2 POT, 40CM |
| 48 | 1 | ROSA 'EXPLORER ALEXANDER MACKENZIE' | ALEXANDER MACKENZIE ROSE, DEEP RED | #2 POT, 40CM |
| 98 | 1 | ROSA 'EXPLORER SIMON FRASER' | SIMON FRASER ROSE, MED. PINK | #3 POT, 60CM |
| 30 | 1 | SALIX PURPUREA 'NANA' | PURPLE ROSE WILLOW | #2 POT, 40CM |
| 223 | 1 | SPIRAEA JAPONICA 'FIRE LIGHT' | SPIRAEA | #2 POT, 30CM |
| 8 | 1 | SMPHORNOCARPUS ALBUS | SNOWBERRY | #2 POT, 30CM |
| 10 | 1 | TAXUS MEDIA 'HECKST' | HOCKS VIEW | #5 POT, 80CM BAB |
| 6 | 1 | THALIA OCCIDENTALIS 'SMARRAGD' | SMERALD GREEN CEDAR | 1.5 M HT, BAB |
| 148 | 1 | VIBURNUM OVATIFOLIUM | DAVID'S VIBURNUM | #2 POT, 30CM |

| PLANT SCHEDULE | | | PMG JOB NUMBER: 12-209 | |
|----------------|---------|---|-------------------------------|---------------------|
| SYT | SYT QTY | BOTANICAL NAME | COMMON NAME | PLANTED SEE / EQUIS |
| 176 | 1 | CALAMAGROSTIS AGUT 'OVERDOW' | VARIEGATED FEATHER REED GRASS | #1 POT |
| 10 | 1 | CALAMAGROSTIS CANADENSIS | BLUEFOXT GRASS | #1 POT |
| 131 | 1 | HELICTOTRICHON SEMPERVIRENS | BLUE OAT GRASS | #1 POT |
| 389 | 1 | IMPATIENS CLIVIA 'RED BARON' | BLOOD GRASS | #1 POT |
| 103 | 1 | JUNCUS EFFUSUS | COMMON RUSH | #1 POT, HEAVY |
| 24 | 1 | PANICUM VIRGATUM 'VICTORIALBUSH' | SWITCH GRASS | #1 POT |
| 57 | 1 | PENNESETUM ALOPECUROIDES 'VIRESCENS' | BLACK-LOWERING FOUNTAIN GRASS | #1 POT, HEAVY |
| 4 | 1 | BERGENIA CORDIFOLIA | WINTER BERGENIA, ROSE PINK | #1 POT |
| 13 | 1 | ECHINOGA PURPUREA | PURPLE CORNFLOWER | #1 POT |
| 103 | 1 | HEMERICALLIS 'RED NAKO' | ONKULY | #1 POT, 1-2 FAN |
| 45 | 1 | PEROVSKIA ATRIPLEXIFOLIA | RUBIAN SAGE | 100 M POT |
| 8 | 1 | RUDIBECHIA FLUGIDA VAR SULLIVANTII 'GLOSTURNRUDEOGCA' | RUBIAN SAGE | #1 POT |
| 403 | 1 | ARCTOPHYLLOS UVA-URSI 'MASSACHUSETTS' | KINKY KNOCK | #1 POT, 20CM |
| 87 | 1 | EUCHYNMUS JAPONICA 'EMERALD GUESTY' | EUCHYNMUS SILVER VARIEGATED | #2 POT, 40CM |
| 168 | 1 | GALLIHERIA SHALLOH | SALAL | #1 POT, 18 CM D.C. |
| 139 | 1 | LONGICRA PILEATA | PRIVET HONEYBUCKLE | #1 POT, 25CM |

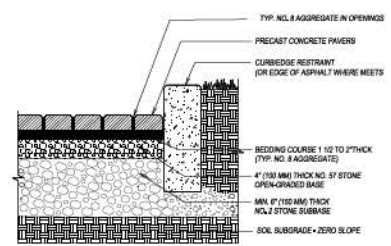
NOTES: *PLANT SIZES IN THE LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS, LATEST EDITION. CONTAINER SIZES ARE SPECIFIED AS PER ONTARIO STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. *REFER TO SPECIFICATIONS FOR ORDERED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *SEARCH HAND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASERVALLEYS. *SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF 72 HOURS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARDS, DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



PHASE TWO PLANTING PLAN
SCALE: 1"=20'-0"

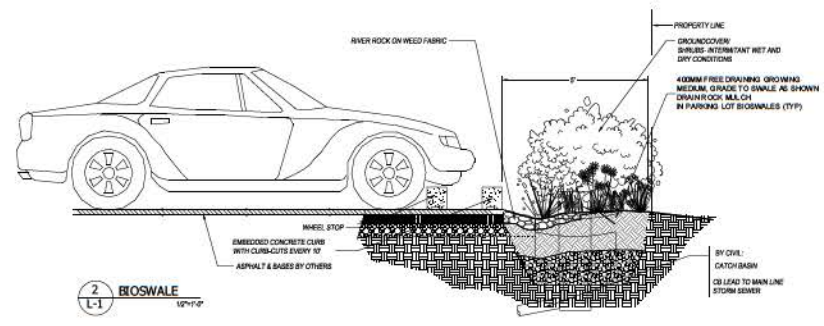
WOOD FENCE TO MATCH
RIPARIAN FENCE ON THE
ADJACENT SITE TO THE EAST
/SEE ARCHDRAWING FOR
DETAIL/
-SUBJECT TO APPROVAL OF
BC HYDRO

SEAL:

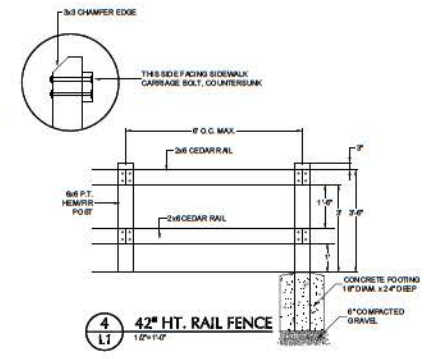


- NOTES:**
1. MAINTENANCE INFORMATION TO BE PROVIDED TO THE MANAGEMENT.
 2. NO. 2 STONE SUBGRADE THICKNESS VARIES WITH DESIGN. CONSULT CITY'S ROADWAY INTERLOCKING CONCRETE PAVEMENT MANUAL.
 3. INSTALLATION TO MANUFACTURER'S SPECIFICATION.
 4. THE CONCRETE PAVERS SHALL BE LAID IN LINEAR PATTERN. FULL UNITS SHALL BE LAID FIRST. EDGE PIECES SHALL BE SAW-CUT AND FITTED. SUBSEQUENTLY FRAGMENTED OR BROKEN PAVERS WILL NOT BE ACCEPTED.
 5. THE SURFACE OF THE PAVERS SHALL BE TRUE TO ELEVATION AND SHALL NOT VARY BY MORE THAN 1/4\"/>

1 SF RIMA, POROUS PAVERS
12'-0\"/>



2 BIOSWALE
10'-0\"/>



4 42\"/>



BENCH (UNDER HYDRO ROW):
LANDSCAPE FORMS - WELLSRING



BENCH:
LANDSCAPE FORMS - HYDE PARK



LITTER (NEAR HYDRO ROW):
LANDSCAPE FORMS - WELLSRING



LITTER:
LANDSCAPE FORMS - PRESIDIO

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| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|------------------------|-----|
| 7 | 11/NOV/13 | NEW WELLSRING COMMENTS | DR |
| 6 | 12/OCT/14 | NEW WELLSRING | DR |
| 5 | 12/SEP/10 | NEW WELLSRING | DR |
| 4 | 12/SEP/10 | PRELIMINARY COMMENTS | DR |
| 3 | 23/AUG/10 | HYDRO ROW REVISIONS | MM |
| 2 | 15/JUN/10 | NEW WELLSRING | MM |
| 1 | 11/MAR/10 | NEW WELLSRING | MM |

CLIENT:

PROJECT:

PROPOSED DEV.
3080 CROYDON AVE.
SURREY, B.C.
SURREY PROJECT NO. 7911-0187-00

DRAWING TITLE:
LANDSCAPE SITE FURNISHINGS

DATE: 12/NOV/13
SCALE:
DRAWN: HY
DESIGN:
CHK'D:
DRAWING NUMBER: **L4**
OF 5

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 4, 2013** PROJECT FILE: **7811-0187-00**

RE: **Engineering Requirements
Location: 3080 Croydon Drive**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate approximately 56.30 square metres for Croydon Drive road widening (ultimate 22.00 metre collector road allowance).
- Provide minimum 1.60 metre wide Statutory Right of Way (SRW) for the Pioneer Greenway on Croydon Drive.
- Provide additional SRW for the Sanitary Interceptor, if required.

Works and Services

- Construct east half of Croydon Drive to the Collector standard.
- Construct the Pioneer Greenway/Multi-use Pathway (MUP) on Croydon Drive.
- Construct Bus Bay on Croydon Drive, north of 31 Avenue.
- Provide road drainage for 31 Avenue as required.
- Provide onsite storm water detention facility and Best Management Practices.
- Provide adequately sized storm drainage, water and sanitary service connections, to service each of the proposed lots.
- Pay 100% of Sanitary DCC cash for DCCFEA 8205-0126-00-1.
- Pay Sanitary Latecomers charge relative to project 5811-0327-00.
- Pay MoTI By-law charge for improvements to the Highway 99 & 32 Avenue Interchange.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

IK1

TREE PRESERVATION SUMMARY (revised November 4th 2013)

Surrey Project #

Project Location: 3080 Croydon, Surrey (Croydon and 31st Ave)

Register Landscape Architect / Arborist / Michael Mills PMG Landscape Architects

Detailed Assessment of the existing trees was prepared for this proposal in August of 2011. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site

- a. The subject site is located close to the corner of Croydon and 31st Ave in the Morgan Creek area of South Surrey.
- b. The site contain only five trees with the majority of the site cleared of vegetation due to the overhead high power transmission lines.
- c. No tree preservation has been proposed due to the density of the form of development proposed. All of the existing trees are located within proposed buildings or roadways.

2. Summary of Proposed Tree Removal and Replacement

| | | | |
|---|--|-----|------|
| ○ | Number of Protected Trees Identified | 5 | (A) |
| ○ | Number of Protected Trees declared to be hazardous due to natural causes | 0 | (B) |
| ○ | Number of Protected Trees to be Removed | 5 | (C) |
| ○ | Number of Trees to be Retained (A-B-C) | 0 | (D) |
| ○ | Number of Replacement Trees Required @ 2:1 | 6 | (E1) |
| ○ | Number of Replacement Trees Required @ 1:1 | 2 | (E2) |
| ○ | Total Number of Replacement Trees Required | 8 | (E3) |
| ○ | Number of Replacement Trees Proposed | 185 | (F) |
| ○ | Number of Replacement Trees in Deficit (E – F) | 0 | (G) |
| ○ | Total Number of Protected and Replacement Trees (D+F) | 185 | (H) |
| ○ | Number of Lots Proposed in Project | N/A | (I) |
| ○ | Average Number of Trees / Lot (H/I) | N/A | |

3. Tree Survey and Preservation Plan

Tree Survey and Replacement Plan is attached.

This plan will be available before final adoption.

Summary and plan prepared and submitted by: **Michael J Mills**
ISA Certified Arborist #PN0392
PMG Landscape Architects
November 4th 2013

Present:

Chair - L. Mickelson
Panel Members:
T. Wolf
N. Baldwin
B. Shigetomi
S. Vincent
G. McGarva
B. Heaslip
J. Makepeace
Sgt. M. Searle

Guests:

Sameh Guindi, Ionic Architecture
Marlene Messer, PMG Landscape Architects
Fariba Gharaei, Urban Design Group
Architects Ltd.
Stephen Vincent, Durante Kreuk Ltd.
Steve Acres, Integra Architecture Inc.

Staff Present:

M. Rondeau, Acting City Architect -
Planning & Development
H. Bello, Senior Planner - Planning &
Development
H. Dmytriw, Legislative Services

A. RECEIPT OF MINUTES

1. It was Moved by T. Wolf
Seconded by M. Searle
That the minutes of the Advisory Design Panel
meeting May 9, 2013, be received.

Carried

2. It was Moved by B. Heaslip
Seconded by J. Makepeace
That the notes of the Advisory Design Panel
Electronic Review of June 18, 2013 of File No. 7912-0335-00, to be received.

Carried

B. NEW SUBMISSION

1. **4:00 PM**
File No.: **7911-0187-00**
New
Last Submission Date: N/A
Description: Rezoning and DP for mini-storage building and two
office buildings
Address: **3080 Croydon Drive, Rosemary Heights Business
Park**
Developer: James Evans, Treegroup Management Corp.
Architect: Sameh Guindi, Ionic Architecture Inc.
Landscape Architect: Marlene Messer, PMG Landscape Architects
Planner: Heather Kamitakahara
Urban Design Planner: Hernan Bello

The **Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- When the Rosemary Heights NCP was conceived it was anticipated that buildings would be built between the Hydro right-of-way and Croydon Drive; hence the City facilitated setbacks variance for the buildings.
- The north façade of the proposed storage building is to not be a blank wall.

The **Project Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The site is stepped down from near the Hydro towers and has restrictions.
- Site development will be in two phases: the first phase will be the storage building with secured underground storage for cars; the second phase is the office buildings that are to be on each side of the 31 Avenue drive.
- The storage building is tilt-up with spandrel and glazing.
- Colour pallet will be earth tone grey with green curtain walls, and metal canopies in front; the theme will be carried through to the two office buildings.
- The target is for LEED Design.

The **Landscape Architect** reviewed the landscape plans and highlighted the following:

- The power lines provide restrictions and the Hydro right-of-way is to remain fenced and gravelled under the towers.
- Permeable paving is proposed in some of the parking spots.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

3080 Croydon Drive

Rosemary Heights Business Park

File No. 7911-0187-00

It was

Moved by N. Baldwin

Seconded by B. Heaslip

That the Advisory Design Panel (ADP)

recommends that the applicant address the following recommendations and revise and resubmit to the ADP, at discretion of planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Site

- It seems to be a good use of the site given the limitations around the Hydro corridor but the project will be improved with the two office buildings in Phase 2 since the storage use alone will do little to enhance the neighbourhood.
- One idea would be to re-site the storage building to enhance future infill.
- The site signage location/orientation is awkward and has low visibility; way finding signage would help.

Building Form and Character

- For the storage building, give consideration to:
 - The upper three floors of the storage building as a solid, colourful, geometric box.

- Can be expressed as an industrial shed.
- The colour and texture should be fairly rich and dark and blend into the tree-scape.
- Glazing should be introduced in the box at major circulation areas such as the elevators.
- More real glass, too much spandrel.
- West façade could be angled and not stepped.
- To respond to the adjacent residential, a step or slope might be added to the east side.
- Office component on west end of storage building should be treated in contrast and expressed as a different use.
- Place office to the east side for a better view and for better form to the adjacent roadway.
- For the two office buildings, give consideration to:
 - Reflect the "portal" function to the residential area with wood from entrance to access points, and asymmetric treatment accentuating the street between them.
 - Should not be similar to the storage building and could be real 'jewels' because of their small size but can tie the vocabulary somewhat in detail and colour to the storage building as the site is one development.
 - A more contemporary architectural expression.
 - Could be simple volumes with emphasis on the points of entry and both addressing their location as gate posts.

Landscaping

- Landscaping responds well to the site and purpose.
- Well identified pedestrian routes.
- Ground floor planting at exterior access works well. Appropriate planting.
- Add more trees, even at the expense of parking spaces.
- Consider more permeable paving and/or rain water swales.

CPTED

- Security issue at south side of Building 1.
 - Main suggestion is south facing and garage door access to storage areas.
 - Look at south west corner and run another key fob gate for those tenants who have those doors.
 - Programmed key fob for main gate and back gate.
 - Adding a barrier at the back of the building would be good.
 - Underground parking is similar to compound parking. Is height restrictive.
 - Split the inside garage for security.

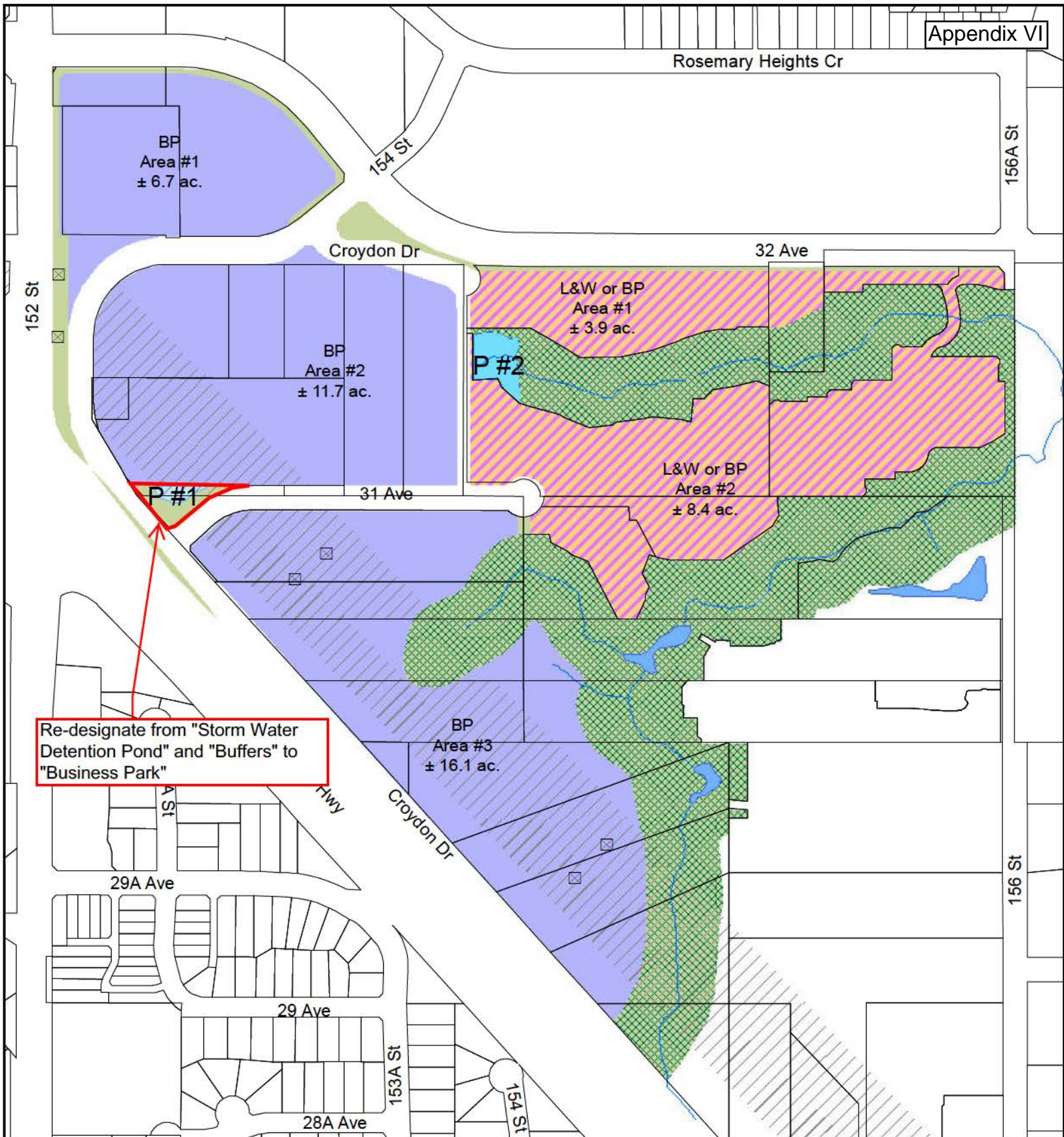
Accessibility

- Add barrier free stalls at parking garage level.
- Power doors at office entrances.
- Disabled parking space to be a minimum of 12 feet.
- Elevator button (4 storey) panels be placed horizontally.
- Pathways to be wheelchair accessible.
- Amenity benches to be wheelchair accessible.

Sustainability

- More permeable paving.
- Bioswales is a good initiative.
- Heat recovery ventilation should be considered particularly for the storage building since the system runs full time 24/7.
- Use high efficiency gas-fired rooftop equipment for heating and cooling.
- Provide more shading for the office than at present to further reduce solar load.
- Dedicated stalls for hybrid cars should be more than 3%, consider electric.

Stephen Vincent excused himself from Panel at 4:45 pm as he is presenting on the next project. Quorum is retained.



Re-designate from "Storm Water Detention Pond" and "Buffers" to "Business Park"

- Business Park
- Live & Work or Business Park Areas
- Buffers
- Storm Water Detention Pond (amenity feature City-owned)
- Storm Water Detention Pond (amenity feature privately-owned)
- Creek Preservation Areas
- 15m & 30m Riparian Set Backs
- Hydro Towers
- Creeks
- Hydro Right of Way

ROSEMARY HEIGHTS BUSINESS PARK LAND USE PLAN
CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT

Approved by Council: July 21, 1999 Amended 22 March 2013

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 011-419-890
Lot 1 Section 23 Township 1 New Westminster District Plan 9266 Except: Plans 25810 and BCP39264

Portion of 3080 - Croydon Drive

As shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Gu Gordon Yu, B.C.L.S. on the 18th day of October, 2013, containing 0.854 hectares, called Block 1, 0.557 hectares, called Block 2, and 799.8 square metres, called Block 3.

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate a business park consisting of *warehouse* and office uses in a *comprehensive design* where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. Office uses excluding *social escort services* and *methadone clinics*.

2. *Warehouse uses.*
3. *Light impact industry.*
4. *Distribution centres.*
5. *Accessory uses* including the following:
 - (a) *Personal service uses* limited to the following:
 - i. Barbershops;
 - ii. Beauty parlours;
 - iii. Cleaning and repair of clothing; and
 - iv. Shoe repair shops;
 - (b) *Eating establishments, excluding drive-through restaurants,* provided that:
 - i. The *eating establishment* does not exceed a total floor area of 200 square metres [2,150 sq.ft.];
 - ii. The *eating establishment* accommodates a maximum of 100 seats; and
 - iii. A maximum of one *eating establishment* with a gross floor area greater than 150 square metres [1,600 sq. ft.] on the *lot* and where a *lot* has been subdivided by a strata plan then there shall only be one *eating establishment* with a gross floor area greater than 150 square metres [1,600 sq. ft.] within the strata plan;
 - (c) *Community services;*
 - (d) *Assembly halls* limited to *churches*, provided that:
 - i. The *church* does not exceed a total floor area of 700 square metres [7,500 sq. ft.];
 - ii. The *church* accommodates a maximum of 300 seats; and
 - iii. There is not more than one *church* on a *lot*, and where a *lot* has been subdivided by a strata plan, then there shall be only one *church* within the strata plan;
 - (e) *Child care centres;* and
 - (f) *Dwelling unit(s)* provided that the *dwelling unit(s)* is (are):
 - i. Contained within a *principal building*;

- ii. Occupied by the owner or a caretaker, for the protection of the businesses permitted;
- iii. Restricted to a maximum number of:
 - a. One *dwelling unit* in each *principal building* less than 2,800 square metres [30,000 sq. ft.] in floor area;
 - b. Two *dwelling units* in each *principal building* of 2,800 square metres [30,000 sq. ft.] or greater in floor area; and
 - c. Notwithstanding Sub-sections B.5 (g) iii.a. and iii.b., the maximum number of *dwelling units* shall be two on a *lot* and where a *lot* has been subdivided by a strata plan, then there shall be a maximum of two *dwelling units* within the strata plan; and
- iv. Restricted to a maximum floor area of:
 - a. 140 square metres [1,500 sq. ft.] for one (first) *dwelling unit* on a *lot* and where a *lot* has been subdivided by a strata plan then there shall only be one 140-square metre [1,500-sq. ft.] *dwelling unit* within the strata plan;
 - b. 90 square metres [970 sq. ft.] for an additional *dwelling unit*; and
 - c. Notwithstanding Sub-sections B.5 (g) iv.a. and iv.b., the maximum floor area shall not exceed 33% of the total floor area of the *principal building* within which the *dwelling unit* are contained.

C. Lot Area

Not applicable to this Zone.

D. Density

The *floor area ratio* shall not exceed 0.10 but may be increased to 1.33 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.

E. Lot Coverage

The *lot coverage* shall not exceed 67%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

1. Block 1:

| Setback | North <i>Yard</i> | South <i>Yard</i> | East <i>Yard</i> | West <i>Yard</i> |
|---|----------------------|----------------------|---------------------|---------------------|
| Use | | | | |
| <i>Principal Buildings and Accessory Buildings and Structures</i> | 17.0 m. [56 ft.] | 15.8 m. [52 ft.] | 2.6 m. [9 ft.] | 17.7 m. [58 ft.] |

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Block 2:

| Setback | North <i>Yard</i> | South <i>Yard</i> | East <i>Yard</i> | West <i>Yard</i> |
|---|----------------------|----------------------|----------------------|---------------------|
| Use | | | | |
| <i>Principal Buildings and Accessory Buildings and Structures</i> | 3.0 m. [10 ft.] | 2.6 m. [8 ft.] | 40.0 m. [131 ft.] | 3.0 m. [10 ft.] |

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

3. Block 3:

| Setback | North <i>Yard</i> | South <i>Yard</i> | East <i>Yard</i> | West <i>Yard</i> |
|---|----------------------|----------------------|---------------------|---------------------|
| Use | | | | |
| <i>Principal Buildings and Accessory Buildings and Structures</i> | 1.4 m. [5 ft.] | 3.0 m. [10 ft.] | 2.1 m. [7 ft.] | 3.0 m. [10 ft.] |

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Block 1:
 - (a) Principal buildings: The *building height* shall not exceed 17.7 metres [58 ft.].
 - (b) Accessory buildings and structures: The *building height* shall not exceed 6 metres [20 ft.].
2. Blocks 2 and 3:
 - (a) Principal buildings: The *building height* shall not exceed 10 metres [32 ft.].
 - (b) Accessory buildings and structures: The *building height* shall not exceed 6 metres [20 ft.].

H. Off-Street Parking

1. Refer to Table C.2 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Tandem parking* may be permitted for company fleet *vehicles*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed side of the *lot* which abuts the southerly side of 31 Avenue, a continuous *landscaping* strip of not less than 3 metres [10 ft.] in width shall be provided from back of curb or projected future curb location, except at *driveways* and adjacent to *buildings*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

J. Special Regulations

1. *Land* and *structures* shall be used for the uses permitted in this Zone only if such uses:
 - (a) Constitute no unusual fire, explosion or safety hazard;
 - (b) Do not emit noise in excess of 60 dB measured at any point on any boundary of the *lot* on which the use is located; and

- (c) Do not produce heat or glare perceptible from any boundary of the *lot* on which the use is located.
2. Outdoor storage of any goods, materials or supplies is specifically prohibited.
3. Garbage containers and *passive recycling containers* shall not be located within any *front yard setback* or *flanking street setback*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to a minimum lot size of 0.6 hectares [1.5 acres].

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the IB Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2013, No. 17856, as may be amended or replaced from time to time, and the development cost charges shall be based on the IB Zone.

- 9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
- 10. Development permits may be required in accordance with the Surrey *Official Community Plan, 1996*, By-law No. 12900, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

READ A THIRD TIME ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 BYLAW No: _____ OVER

SCHEDULE _____

LOT 1 SECTION 23 TOWNSHIP 1
 NEW WESTMINSTER DISTRICT PLAN 9266
 EXCEPT: PLANS 25810 AND BCP39264

BCGS 92G.007

BOOK OF REFERENCE

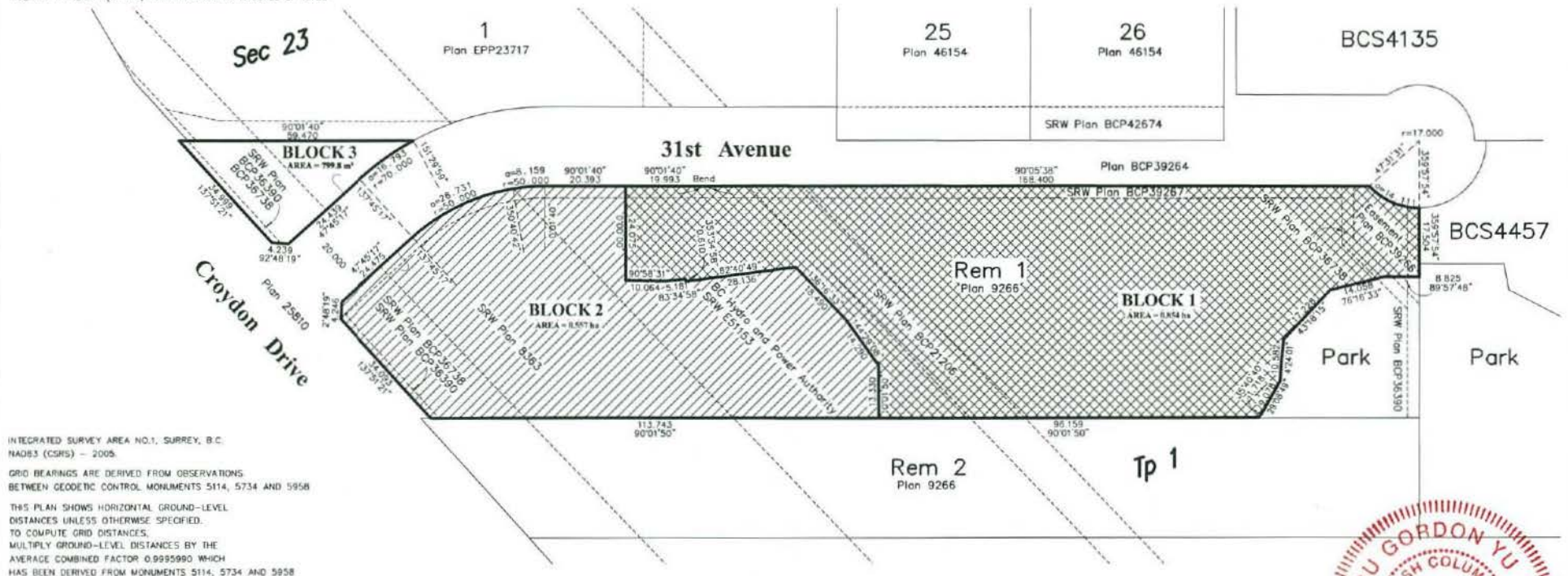
| ZONE | LEGAL DESCRIPTION | AREAS |
|---------|---|----------------------|
| BLOCK 1 | PART OF LOT 1 SECTION 23 TOWNSHIP 1 NWD PLAN 9266 EXCEPT: PLANS 25810 AND BCP39264 | 0.854 ha |
| BLOCK 2 | PART OF LOT 1 SECTION 23 TOWNSHIP 1 NWD PLAN 9266 EXCEPT: PLANS 25810 AND BCP39264 | 0.557 ha |
| BLOCK 3 | PART OF LOT 1 SECTION 23 TOWNSHIP 1 NWD PLAN 9266 EXCEPT: PLANS 25810 AND BCP39264 | 799.8 m ² |



SCALE 1:750

0 10 20 30
 ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560 mm IN WIDTH BY
 432 mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:750



INTEGRATED SURVEY AREA NO.1, SURREY, B.C.
 NAD83 (CSRS) - 2005.

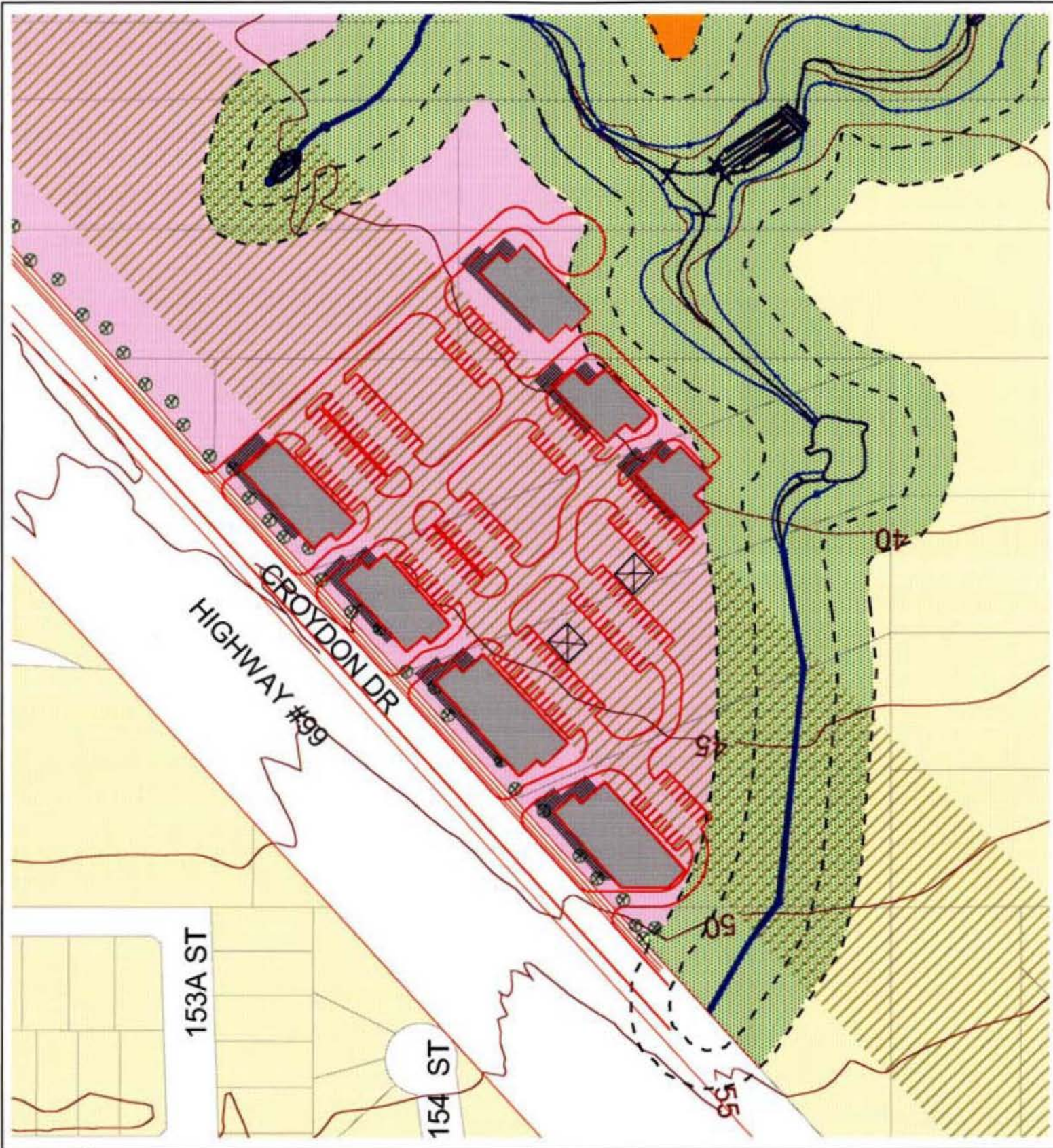
GRID BEARINGS ARE DERIVED FROM OBSERVATIONS
 BETWEEN GEODETIC CONTROL MONUMENTS 5114, 5734 AND 5958

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL
 DISTANCES UNLESS OTHERWISE SPECIFIED.
 TO COMPUTE GRID DISTANCES,
 MULTIPLY GROUND-LEVEL DISTANCES BY THE
 AVERAGE COMBINED FACTOR 0.9995990 WHICH
 HAS BEEN DERIVED FROM MONUMENTS 5114, 5734 AND 5958

H.Y. AND ASSOCIATES
 LAND SURVEYING LTD.
 200, 9128 - 152nd Street
 Surrey, B.C.
 V3R 4E7
 (PH): 583-1618
 (FX): 583-1737
 Job: 133810LS
 File: 133810_BK2.DWG



Schedule A



Rosemary Heights Business Park Proposed Land Use Plan

City of Surrey Planning & Development Department

NOTE: This plan is conceptual in nature and is only intended to reflect a general pattern of land use.

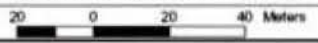


Figure #3 DATE Feb 4, 2000

LEGEND

Potential Site Design for
Business Park Development
Adjacent to Hydro Lines

