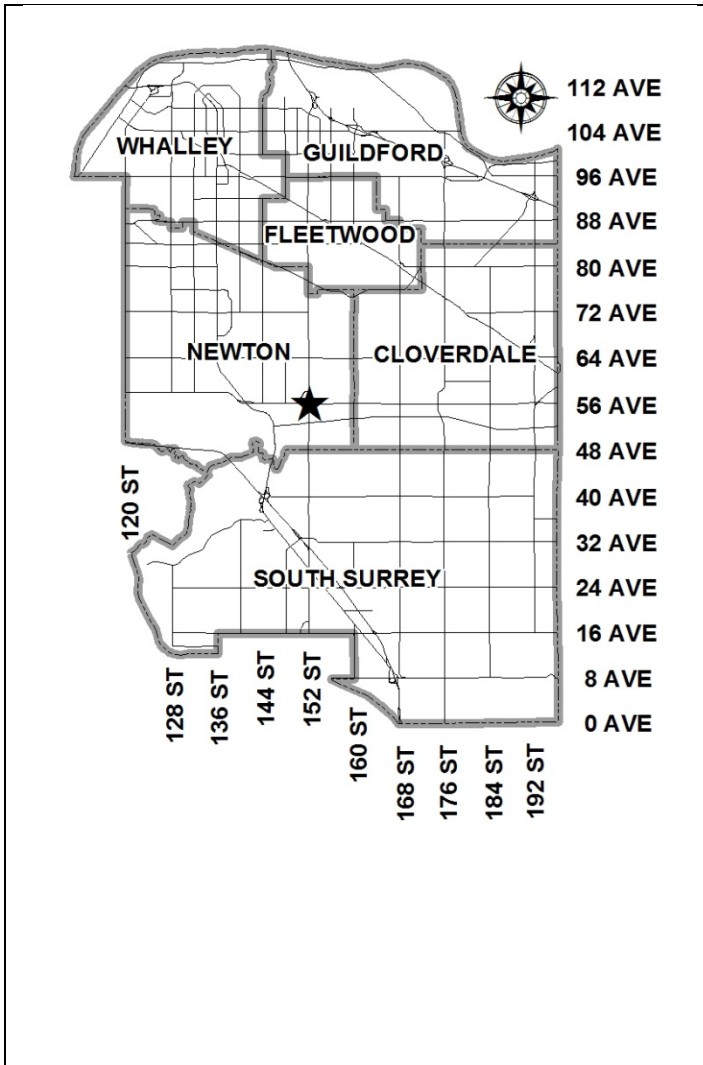


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0238-00

Planning Report Date: February 6, 2012



PROPOSAL:

- Development Permit
- Development Variance Permit

in order to permit the development of a single-storey 747 square metre (8,041 sq. ft.) commercial building and three-storey 5,642 square metre (60,730 sq. ft.) multi-tenant office building. A variance is required to reduce the minimum rear yard setback from 7.5 metres to 6 metres for proposed Building I.

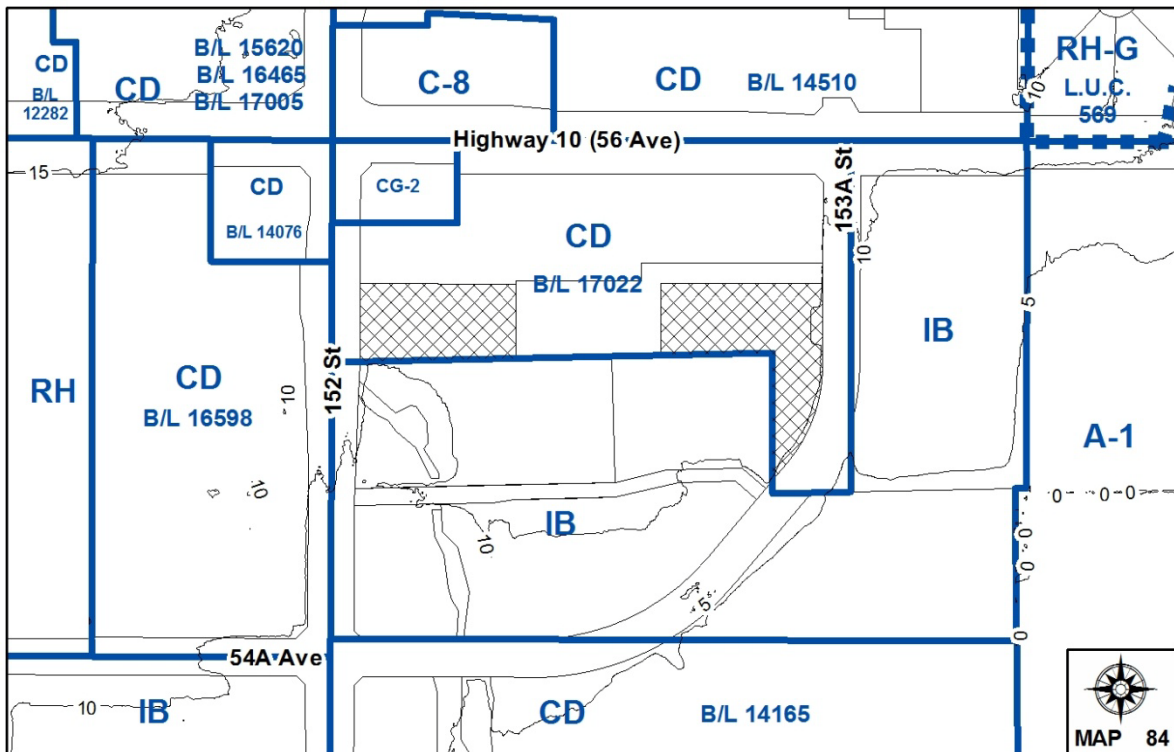
LOCATION: 5570 - 152 Street
 5577 - 153A Street

OWNER: Panorama Park Investments Ltd.

ZONING: CD (By-law No. 17022)

OCP DESIGNATION: Industrial

LAP DESIGNATION: Business Park/Commercial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is requesting a Development Variance Permit (DVP) to reduce the minimum rear yard setback for proposed Building I in order to maximize the achievable floor space given the southern boundary of the subject property is not directly parallel to the north lot line.

RATIONALE OF RECOMMENDATION

- The applicant is proposing to further amend Phase I (Development Permit No. 7907-0013-00) in order to allow a change in proposed tenants for Building G and Building I. The remainder of the site retains the quality of development originally approved under Development Permit No. 7907-0013-00 and 7908-0181-00.
- The overall design and character of proposed Building G and Building I are generally consistent with the approved concept for Phase I (File No. 7907-0013-00) and complement the business park design on adjacent industrial properties.
- The reduced setback will enable the owner to maximize the achievable floor area given the southern boundary of the subject property is not directly parallel to the north lot line. However, the applicant only requires a setback relaxation for a portion of Building I (the southeast corner) given the siting of Building I relative to the existing southern boundary of the property.
- The proposed setback relaxation will have a negligible impact on the general aesthetics of Building I or adjacent industrial properties. Moreover, the applicant proposes to install additional landscaping, located within the rear yard setback, in order to further screen the three-storey office building from existing industrial buildings on adjacent properties as well as 153A Street.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7911-0238-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7911-0238-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard setback of the CD Zone (By-law No. 17022) from 7.5 metres (25 ft.) to 6 metres (20 ft.) for proposed Building I at 5577- 153A Street.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) input and approval from the Ministry of Transportation & Infrastructure;
 - (c) input and approval from the Surrey Fire Department;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the City's Landscape Architect;
 - (e) resolution of all urban design issues including pedestrian connectivity issues raised by the ADP to the satisfaction of the Planning and Development Department; and
 - (f) final approval of Development Variance Permit No. 7911-0238-00.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to completion of the Engineering servicing requirements identified at Building Permit stage as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Industrial business complex.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North (Across No. 10 Highway):	Commercial buildings and single family dwellings	Commercial/Urban Residential	C-8 & CD (B/L 14510)

Direction	Existing Use	OCP/LAP Designation	Existing Zone
East and South:	Industrial Business Park and Greenbelt	Industrial	IB
West:	Industrial Business Park and Gas Station	Industrial/Business Park and Gas Station	CD (B/L 16598 & 14076) and CG-2

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is 0.5 hectare (1.25 acres) in area and located on the south side of 56 Avenue (No. 10 Highway) between 152 Street and 153A Street.
- The property is designated “Industrial” in the Official Community Plan (OCP) and “Business Park” in the East Panorama Ridge Local Area Plan (LAP). The subject property is currently regulated by a “Comprehensive Development (CD)” Zone (By-law No. 17022) which allows a broad range of light impact industrial uses, general service uses and limited commercial uses.
- A Development Permit (No. 7907-0013-00) was previously approved by Council on July 30, 2008 for eight industrial buildings and associated landscaping as part of Phase I. The Development Permit for Building “H” was subsequently approved by Council on November 3, 2008 (No. 7908-0181-00), as part of Phase II, after securing new tenants. The development application also involved several changes to existing on-site buildings in terms of overall design, architectural characteristics and landscaping.
- The applicant is proposing to further amend the previously approved Development Permits (No. 7907-0013-00 and 7908-0181-00) in order to permit changes to Building “G” as well as construct a three-storey multi-tenant building in place of the one-storey building the applicant originally proposed for Building “I”.

Proposed Changes to Building G

- The applicant is proposing several changes to the site layout which include additional on-site parking located along the western boundary of 5570 – 152 Street. The increased on-site parking is achieved by relocating proposed Building G further away from 152 Street and increasing the setbacks from 7.5 metres (25 ft.) to 17.8 metres (58 ft.) which provides another ten surface parking stalls. In addition, the Engineering Department has granted preliminary approval for a right-out vehicle access point directly adjacent to the western façade of Building G provided the applicant install a median which prevents future conflict in terms of on-site vehicle queuing distance off 152 Street.
- The exterior façade of Building G is modified to provide a greater degree of architectural continuity with existing on-site buildings which includes the addition of multi-colour spandrel panels, weather protection canopies, added glazing around the building exterior and stainless steel trellises, located along the southern façade, which support the growth of additional landscaping thereby reducing the building massing along 152 Street.

Proposed Changes to Building I

- The applicant is proposing to construct a three-storey building with underground parking in place of the one-storey building originally approved under File No. 7907-0013-00 and 7908-0181-00. The proposed building includes 28 units which provide a combined total of 4,191 square metres (45,115 sq. ft.) of office space. Nonetheless, the proposed increase in floor area is within the allowed floor area ratio (FAR) currently permitted under the CD Zone (By-law No. 17022).
- The proposed location and parking layout for Building I are generally consistent with Development Permit No. 7907-0013-00 and 7908-0181-00. The applicant proposes to further modify the southern driveway access point off 153A Street in order to provide vehicle access to underground parking stalls for proposed Building I. The Engineering Department is supportive of proposed changes in driveway access off 153A Street in order to provide additional underground parking at 5577 – 153A Street.
- In order to ensure greater architectural conformity, the applicant is proposing an east-west oriented concrete tilt-up building with added glazing along the exterior façade, weather protection canopies, corrugated metal cladding and multi-colour spandrel panels which enhance visual interest as well as encourage architectural co-ordination and provide for unified on-site building design.

On-site Parking

- The applicant is proposing to install another roughly 168 parking stalls for Building G and Building I (131 surface and 37 underground) for a total of about 460 parking spaces on-site including fourteen accessible parking stalls. The amount of parking meets the minimum requirements under Zoning By-law No. 12000 based on a combination of light impact industrial, retail and limited office uses.

Proposed On-site Signage

- The proposed free-standing, under-canopy and fascia signage, as shown on the attached drawings (Appendix II), are conceptual and subject to further detailed review by City staff in order to confirm the proposed signage complies with the Surrey Sign By-law, 1999.
- The on-site tenant fascia and under-canopy signage will comply with the design criteria previously established for Panorama Place under File No. 7907-0013-00 and 7908-0181-00 (Appendix VI) which specifies that signage must consist of individual channel letters attached to mounted raceways that match the existing building façade or proposed tenant signage. In addition, the design criteria also specifies the maximum permitted height, depth and copy area.

Proposed Free-standing Signage

- The Surrey Sign By-law permits a free-standing sign with a maximum height of 6 metres (20 ft.) on 152 Street and 4.5 metres (15 ft.) on 153A Street. The proposed free-standing signs will comply with the maximum height requirements in the Surrey Sign By-law.
- The proposed free-standing sign on 152 Street and 153A Street will respect the minimum 30 metre (98 ft.) separation requirement between free-standing signs, as per the Sign By-law.

- The Sign By-law requires a minimum setback of 2 metres (6 ft.) from the property line. The applicant proposes a 2 metre (6 ft.) setback on 152 Street as well as 153A Street, in keeping with the minimum setback of existing free-standing signs already installed on adjacent industrial properties.
- The proposed free-standing signs at 5570 – 152 Street and 5577 – 153A Street will restrict third-party advertising to thirty percent of the copy area, as per the Surrey Sign By-law.
- The applicant is proposing to introduce additional landscaping around the base of the sign in order to improve the overall appearance. The proposed landscaping will consist of low-lying shrubs as well as additional ground cover around the perimeter of the sign base.

Proposed Under-Canopy Signage

- The proposed fascia signage on Building G and Building I will similarly consist of individual channel letters with background illumination for advertisement purposes. All on-site tenant signage appears generally consistent with existing signage on adjacent commercial/industrial buildings.
- The applicant is proposing upper-storey fascia signage which provides advertising exposure for one major upper-storey tenant which occupies substantial floor area in Building I. The subject property at 5577 – 153A Street is located behind several existing industrial buildings with minimal advertising exposure to passing motorists along 56 Avenue (No. 10 Highway). The applicant therefore proposes two upper-storey fascia signs located on the northern and eastern elevations of Building I in order to improve advertising exposure for a single major upper-floor tenant which occupies substantial floor area in proposed Building I.
- The applicant is required to provide upper-storey signage which should be properly scaled as well as architecturally coordinated in order to complement the proposed multi-storey building. In addition, the fascia signage is required to comply with the design criteria previously established for Panorama Park (Appendix VI) as well as Surrey Sign By-law, 1999.

Proposed Fascia Signage

- The proposed fascia signage on Building G and Building I will consist of individual channel letters with background illumination mounted on raceways painted neutral colours in order to match the existing building façade. On Building G, the fascia signage is located on the southern and northern building elevations on the exterior building façade. In contrast, the fascia signage on Building I is confined largely to first-floor tenants and located directly above the doorway entrance to each unit.
- The proposed fascia signage is generally consistent with existing fascia signage on adjacent buildings and generally conforms to design criteria for on-site signage previously established under Development Permit No. 7907-0013-00 and 7908-0135-00. In addition, the applicant will ensure that tenant fascia signage is limited to one fascia sign per premise frontage, as per the Surrey Sign By-law.

Proposed Landscaping

- The proposed landscaping includes a variety of trees, shrubs and groundcover around Building G and Building I as well as additional landscaping proposed throughout the subject property in order to address landscaping deficiencies from previous development applications (File No. 7907-0013-00 and 7908-0181-00).
- In addition, the applicant has committed to installing trellis features on 56 Avenue (No. 10 Highway) previously required under File no. 7908-0181-00.
- The landscaping plan incorporates several decorative features including stamped concrete located at the driveway entrance off 153A Street, planter boxes, street benches as well as a steel cable trellis feature, located along the southern façade of Building G, which supports the growth of additional landscaping thereby reducing the building massing along 152 Street.
- The parking layout is enhanced by incorporating several pedestrian walkways which connect the buildings to public sidewalks along 152 Street, 153A Street and 56 Avenue (No. 10 Highway). The inclusion of well-connected sidewalks will facilitate better pedestrian movement throughout the subject property with raised crosswalks located at drive aisles.

SUSTAINABILITY FEATURES

- On January 17, 2012 the applicant prepared and submitted a sustainable development checklist.
- The proposed development includes substantial improvements to on-site pedestrian circulation by incorporating several walkways which connect the buildings to public access points along 152 Street, 153A Street and 56 Avenue (No. 10 Highway). In addition, the proposed buildings are well-served by public transit and include several on-site bike racks for employees and customers.
- The applicant is addressing CPTED principles (Crime Prevention Through Environmental Design) by ensuring maximum visibility is provide at building entrances as well as installing a see-through gated entrance to the underground parking facility.
- The proposed development will meet current energy codes, incorporates sunshading features along the southern and western building exposures, incorporates waste management practices throughout construction and utilizes recycled content in building materials.

ADVISORY DESIGN PANEL

- The site plan and building elevation drawings were referred to the Advisory Design Panel (ADP) on December 8, 2011. The ADP requested that the applicant improve the pedestrian entrance to the site from 152 Street in order to strengthen pedestrian connectivity. Staff have identified some optins which would resolve the ADP's concerns, and will continue to work with the applicant to address these. The applicant has satisfactorily addressed the remaining ADP comments and suggestions (Appendix V).

- The proposed amendment to Development Permit No. 7907-0013-00 and 7908-0181-00 was reviewed in detail by City staff and deemed acceptable subject to minor revisions.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum rear yard setback from 7.5 metres (25 ft.) to 6 metres (20 ft.).

Applicant's Reasons:

- The reduced setback will enable the owner to maximize the achievable floor area of proposed Building I given that the southern boundary of the subject property is not directly parallel to the north lot line.

Staff Comments:

- The applicant only requires a setback relaxation for a portion of proposed Building I (i.e. the southeast corner) given the siting of Building I relative to the existing southern boundary of the subject property.
- The proposed setback relaxation will have a negligible impact on the general aesthetics of Building I or adjacent industrial properties. Furthermore, the applicant proposes to install additional landscaping, located within the rear yard setback, in order to further screen the three-storey office building from existing industrial buildings as well as passing motorists travelling along 153A Street.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective Drawings
Appendix III.	Engineering Department Comments
Appendix IV.	Development Variance Permit No. 7911-0238-00
Appendix V.	ADP Comments
Appendix VI.	Signage Criteria for Panorama Place

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Walter Francl Architecture Inc. and Sharp & Diamond Landscape Architecture Inc., respectively, dated January 17, 2012.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

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DEVELOPMENT DATA SHEET

Existing Zoning: CD (B/L 17022)

Required Development Data	Minimum Required / Maximum Allowed		Proposed	
			Building G	Building I
LOT AREA* (in square metres)			Building G	Building I
Gross Total			4035 m ²	5,388 m ²
Road Widening area				
Undevelopable area				
Net Total				
LOT COVERAGE (in % of gross lot area)			Building G	Building I
Buildings & Structures				
Paved & Hard Surfaced Areas				
Total Site Coverage	45%		19%	26.9%
SETBACKS (in metres)	Building G	Building I	Building G	Building I
Front	7.5 m	4 m	~17.6 m	~8 m
Rear	4 m	7.5 m	~31.7 m	~6 m
Side #1 (N/E)	4 m	7.5 m	~15.3 m	~19.1 m
Side #2 (S/W)	7.5 m	4 m	~10.2 m	~19.2 m
BUILDING HEIGHT (in metres/storeys)			Building G	Building I
Principal	12 m		7.3 m	12 m
Accessory	6 m			
NUMBER OF RESIDENTIAL UNITS			N/A	
Bachelor				
One Bed				
Two Bedroom				
Three Bedroom +				
Total				
FLOOR AREA: Residential			N/A	
FLOOR AREA: Commercial				
Retail			747 m ²	
Office				
Total			747 m ²	
FLOOR AREA: Industrial				
Office			4,191 m ²	
FLOOR AREA: Institutional			N/A	
TOTAL BUILDING FLOOR AREA			4,938 m ²	

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed	
		Building G	Building I
DENSITY			
# of units/ha /# units/acre (gross)		N/A	
# of units/ha /# units/acre (net)		N/A	
FAR (gross)	0.75	0.19	1.05
FAR (net)	0.75	0.19	~0.78
AMENITY SPACE (area in square metres)		N/A	
Indoor			
Outdoor			
PARKING (number of stalls)	Buildings A - I	Buildings A - I	
Commercial	~194 stalls	N/A	
Industrial	~210 stalls	N/A	
Residential Bachelor + 1 Bedroom		N/A	
2-Bed			
3-Bed			
Residential Visitors		N/A	
Institutional		N/A	
Total Number of Parking Spaces	~405 stalls	~460 stalls	
Number of disabled stalls	4 stalls	~15 stalls	
Number of small cars	101 stalls	~89 stalls	
Tandem Parking Spaces:		N/A	
Size of Tandem Parking Spaces		N/A	

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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PROJECT DATA:
BUILDING G
 5570 - 152 ST, Surrey, B.C.
 Patonema Park Investments Ltd.

PROJECT CONTACTS:
 ARCHITECTURAL: WALTER FRANCL ARCHITECTURE INC.
 CIVIL: [Firm Name]
 LANDSCAPE: [Firm Name]

DRAWING LIST:
 1. GENERAL LAYOUT PLAN
 2. SITE PLAN
 3. EXISTING AND PROPOSED DRIVEWAY LAYOUT
 4. EXISTING AND PROPOSED DRIVEWAY CONTROL PLAN
 5. EXISTING AND PROPOSED DRIVEWAY CONTROL PLAN

GENERAL CONTRACTOR TO REVIEW SCHEDULE:
ARCHITECTURAL DRAWINGS:
 1. GENERAL LAYOUT PLAN
 2. SITE PLAN
 3. EXISTING AND PROPOSED DRIVEWAY LAYOUT
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Project No.	2101
Client Name	Patonema Park Investments Ltd.
Project Name	Building G
Project Address	5570 - 152 St, Surrey, B.C.
Project Date	2023/07/17
Project Status	Final
Project Scale	1/8" = 1'-0"
Project Sheet	A001

PROJECT CONTACTS:
 ARCHITECTURAL: WALTER FRANCL ARCHITECTURE INC.
 CIVIL: [Firm Name]
 LANDSCAPE: [Firm Name]

DRAWING LIST:
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 2. SITE PLAN
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WALTER FRANCL ARCHITECTURE, INC.
 1500 N. 2ND ST.
 SUITE 200
 WASHINGTON, DC 20002

BUILDING G
 6570 - 152 ST, Surrey, B.C.
 Panorama Park Investments Ltd.

Overall Site Plan

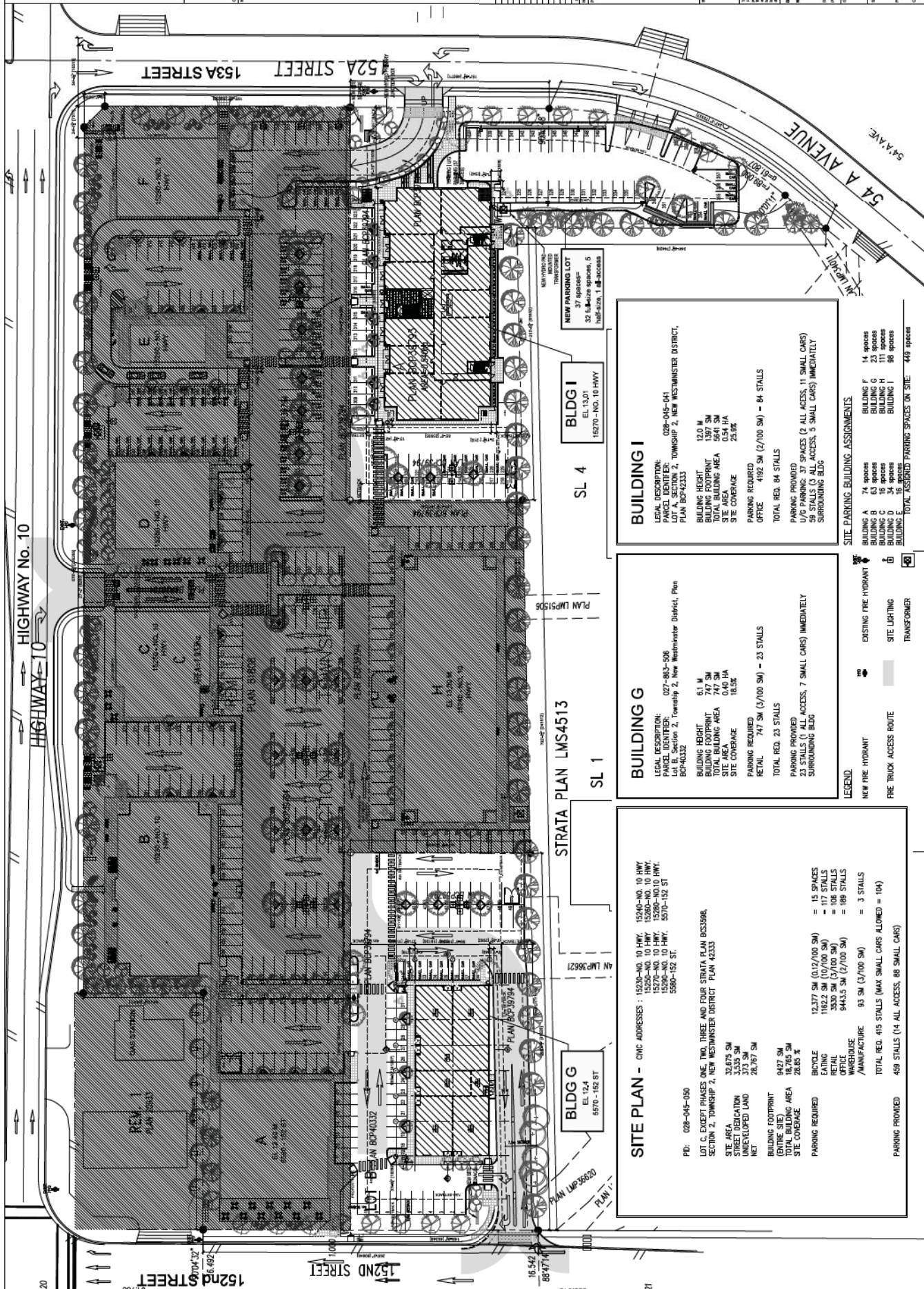
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North Arrow

Project No. 2101

Date: 08/15/12

Sheet: A100



BUILDING I
 LEGAL DESCRIPTION: 028-045-041
 PARCEL IDENTIFIER: LOT A, SECTION 2, TOWNSHIP 2, NEW WESTMINSTER DISTRICT, PLAN BCP42333
 BUILDING HEIGHT: 12.0 M
 BUILDING FOOTPRINT: 1387 SM
 TOTAL BUILDING AREA: 5641 SM
 SITE AREA: 0.54 HA
 SITE COVERAGE: 25.5%
 PARKING REQUIRED: OFFICE 4192 SM (2/100 SM) - 84 STALLS
 TOTAL REQ. 84 STALLS
 PARKING PROVIDED: U/O PARKING: 37 SPACES (2 ALL ACCESS, 11 SMALL CARS) 59 STALLS (3 ALL ACCESS, 5 SMALL CARS) IMMEDIATELY SURROUNDING BLDG

BUILDING G
 LEGAL DESCRIPTION: 027-883-508
 PARCEL IDENTIFIER: Lot B, Section 2, Township 2, New Westminster District, Plan BCP40332
 BUILDING HEIGHT: 6.1 M
 BUILDING FOOTPRINT: 747 SM
 TOTAL BUILDING AREA: 0.40 HA
 SITE COVERAGE: 18.5%
 PARKING REQUIRED: RETAIL 747 SM (3/100 SM) - 23 STALLS
 TOTAL REQ. 23 STALLS
 PARKING PROVIDED: 23 STALLS (1 ALL ACCESS, 7 SMALL CARS) IMMEDIATELY SURROUNDING BLDG

SITE PLAN - CIVIC ADDRESSES: 15230-NO. 10 HWY. 15250-NO. 10 HWY. 15260-NO. 10 HWY. 15280-NO. 10 HWY. 15300-NO. 10 HWY. 15320-NO. 10 HWY. 15340-NO. 10 HWY. 15360-NO. 10 HWY. 15380-152 ST.
 PID: 028-045-050
 LOT C, EXCEPT PHASES ONE, TWO, THREE AND FOUR STRATA PLAN BCS3898, SECTION 2, TOWNSHIP 2, NEW WESTMINSTER DISTRICT PLAN 42333
 SITE AREA: 32,675 SM
 STREET DEDICATION: 3,535 SM
 REDEVELOPED LAND: 2,718 SM
 NET: 26,767 SM
 BUILDING FOOTPRINT (ENTIRE SITE): 9427 SM
 TOTAL BUILDING AREA: 28,885 SM
 SITE COVERAGE: 108%
 PARKING REQUIRED: 15 SPACES
 BICYCLE: 117 STALLS
 CANINE: 106 STALLS
 RETAIL: 106 STALLS
 WAREHOUSE/MANUFACTURE: 93 SM (3/100 SM) = 3 STALLS
 TOTAL REQ. 415 STALLS (MAX SMALL CARS ALLOWED = 104)
 PARKING PROVIDED: 459 STALLS (14 ALL ACCESS, 88 SMALL CARS)

SITE PARKING BUILDING ASSIGNMENTS

BUILDING A	74 spaces
BUILDING B	63 spaces
BUILDING C	16 spaces
BUILDING D	34 spaces
BUILDING E	14 spaces
BUILDING F	23 spaces
BUILDING G	111 spaces
BUILDING H	34 spaces
BUILDING I	98 spaces
TOTAL ASSIGNED PARKING SPACES ON SITE:	448 spaces

LEGEND

- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- SITE LIGHTING TRANSFORMER
- FIRE TRUCK ACCESS ROUTE

BLDG I
 EL. 13.01
 15270 - NO. 10 HWY

SL 4

BLDG G
 EL. 12.4
 5570 - 152 ST

SL 1

BLDG G
 EL. 12.4
 5570 - 152 ST

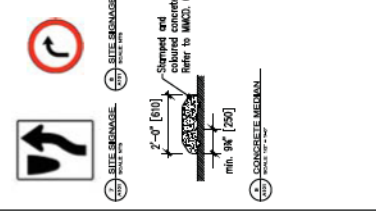
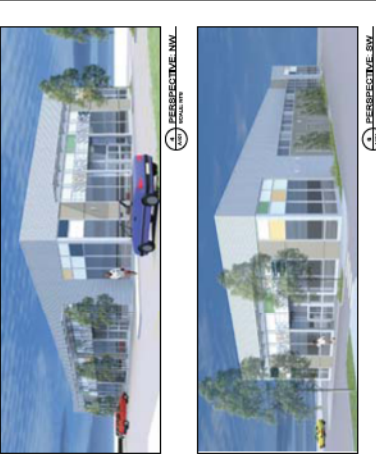
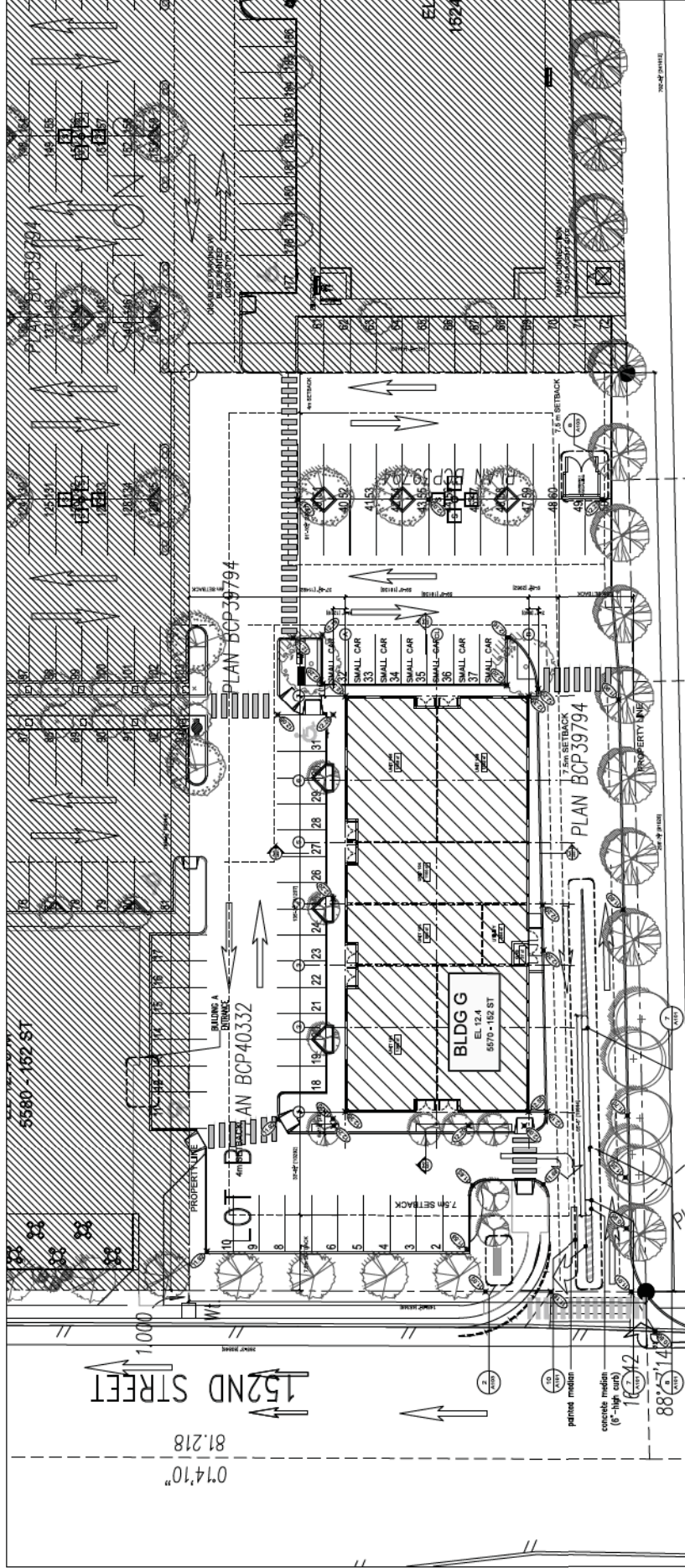
BLDG G
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 5570 - 152 ST

BLDG G
 EL. 12.4
 5570 - 152 ST

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 5570 - 152 ST

BLDG G
 EL. 12.4
 5570 - 152 ST

BLDG G
 EL. 12.4
 5570 - 152 ST



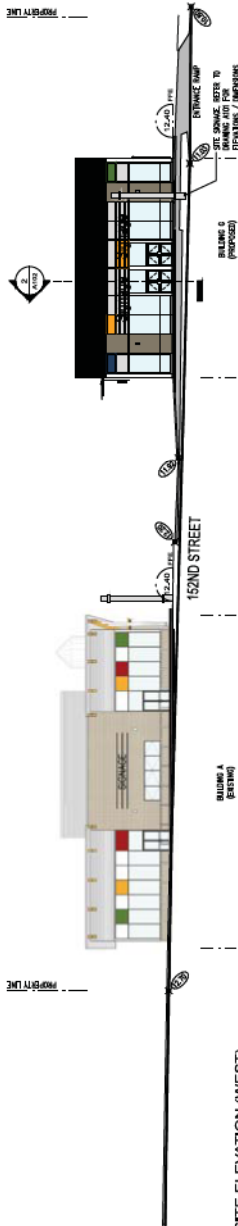
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6	PROVIDE	CONCRETE CURB
7	PROVIDE	CONCRETE CURB
8	PROVIDE	CONCRETE CURB
9	PROVIDE	CONCRETE CURB
10	PROVIDE	CONCRETE CURB

BUILDING G
5570 - 152 St, Surrey, B.C.
Panorama Park
Investments Ltd.

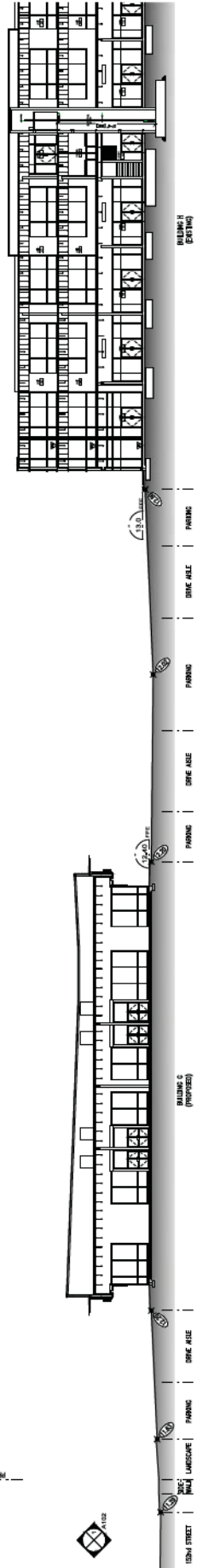
BUILDING G
Context Plan

Scale: 1/8" = 1'-0"
Date: 2019/07/17
Revision: 2019/07/17
Author: [Name]
Check: [Name]

A101
Project No. 2119
2119 - 152nd St. Surrey, B.C.



1 BLDG. G SITE ELEVATION (WEST)
A102 / SCALE: 1/8" = 1'-0"



2 BUILDING G SITE SECTION (WEST-EAST)
A102 / SCALE: 1/8" = 1'-0"

1	REVISIONS	REVISIONS	DATE
2	REVISIONS	REVISIONS	DATE
3	REVISIONS	REVISIONS	DATE
4	REVISIONS	REVISIONS	DATE
5	REVISIONS	REVISIONS	DATE
6	REVISIONS	REVISIONS	DATE
7	REVISIONS	REVISIONS	DATE
8	REVISIONS	REVISIONS	DATE
9	REVISIONS	REVISIONS	DATE
10	REVISIONS	REVISIONS	DATE

Project No. _____
 Client: _____
 Architect: _____
 Designer: _____
 Date: _____

BUILDING G
 5570 + 152 St, Surrey, B.C.,
 Panorama Park
 Investments Ltd.

Sheet No. _____
 Title: **BUILDING G**
 Sub Title: **Site Elevation / Section**

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Drawn By: J.L.
 Checked By: J.F.
 Date: 2018/01/17
 Project: 2018/01/18

Scale: 1/8" = 1'-0"
 Project No. 21110
 Job Name: _____
 Title: _____

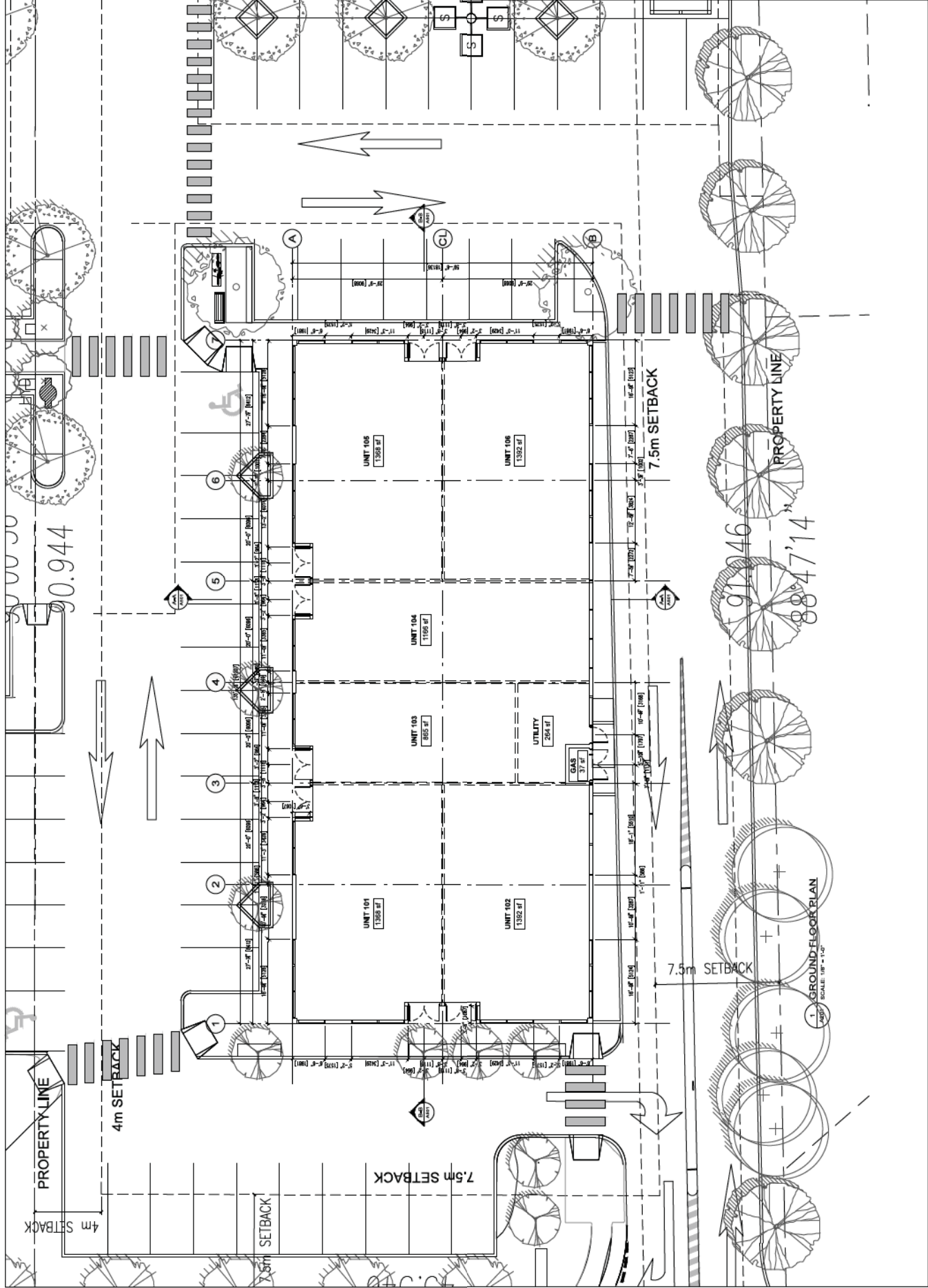
1. SITE PLAN	2. FLOOR PLAN	3. SECTION	4. ELEVATION
5. EXTERIOR FINISH	6. INTERIOR FINISH	7. MECHANICAL	8. ELECTRICAL
9. SANITARY	10. PLUMBING	11. GAS	12. TELEPHONE
13. FIRE ALARMS	14. SECURITY	15. SCHEDULE FOR FINISHES	16. NOTES

Project No.
5570 152 Street, Surrey, B.C.
Panorama Park
Investments Ltd.

Project No.
BUILDING G
Ground Floor Plan

Author: J.L.	Checked: J.L.
Designer: J.L.	Reviewed: J.L.
Date: 2018/01/17	Scale: 3/8"=1'-0"
Revision: 2018/01/18	Sheet No.:

Block: 108 - 1-4
Complex No.
A201
Project No. 21110
CAD File Name: 21110A01 Ground Floor Plan.dwg



1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

Conditions
 Notes

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	2018/01/17	WFR	WFR
2	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR
3	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR
4	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR
5	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR
6	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR
7	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR
8	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR
9	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR
10	ISSUED FOR CONSTRUCTION	2018/04/18	WFR	WFR

Project Name
 Building G
 5570 152 Street, Surrey, B.C.
 Panorama Park
 Investments Ltd.

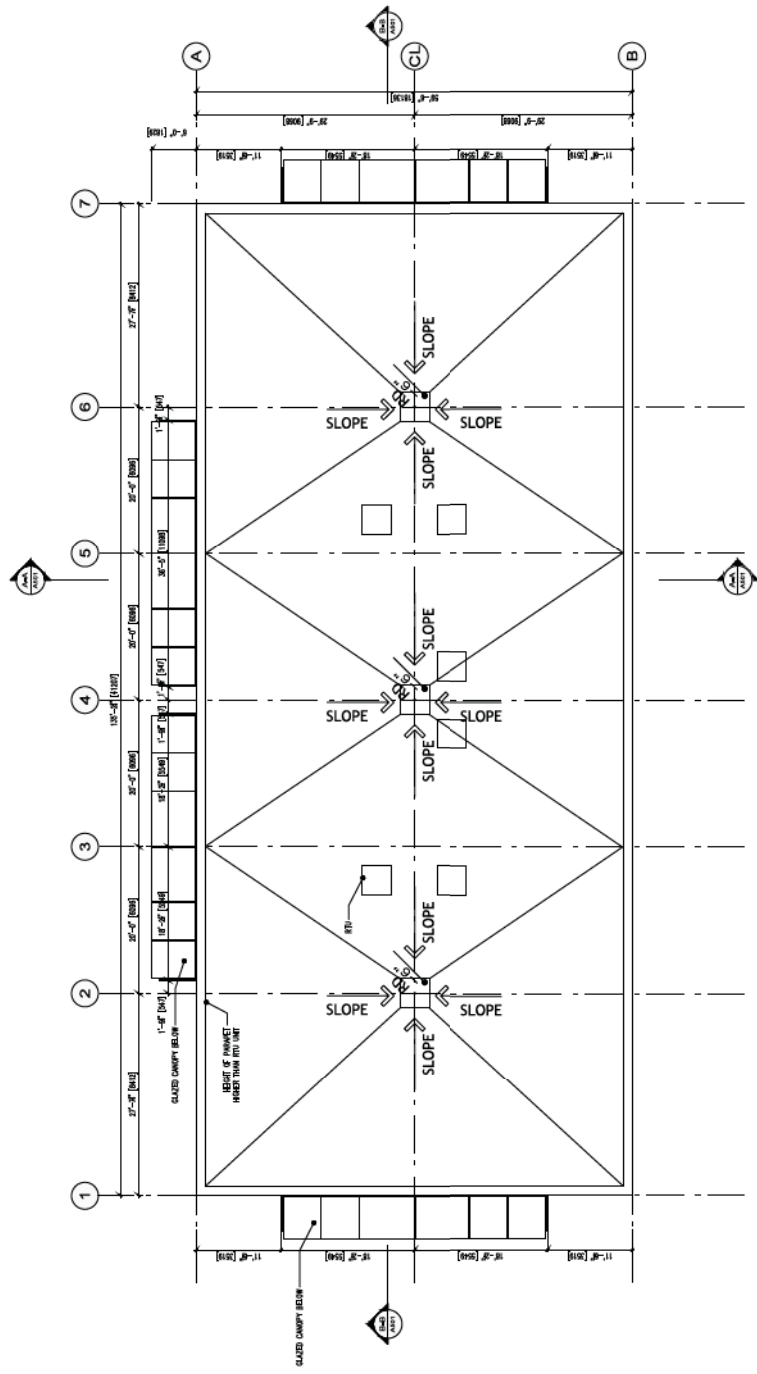
Project No.
BUILDING G
 Roof Plan

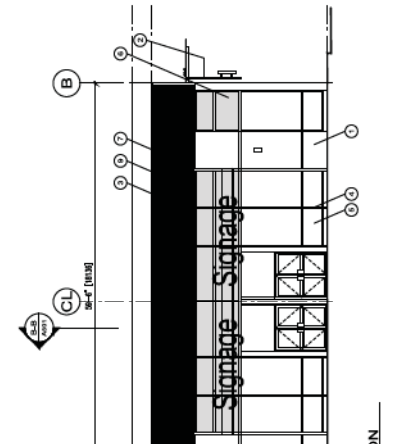
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Drawn By: J.L.
 Checked By: J.F.
 Date: 2018/01/17
 File No: 2018/01/17

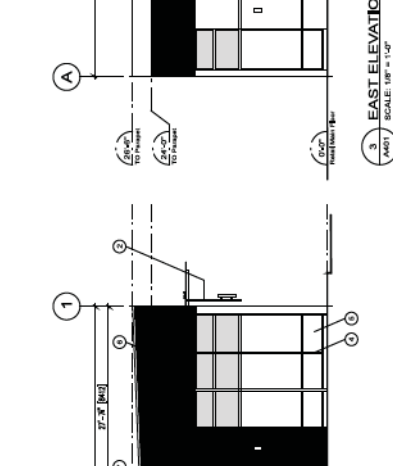
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 Drawing No. A202

Project No. 21110
 CAD File Name:

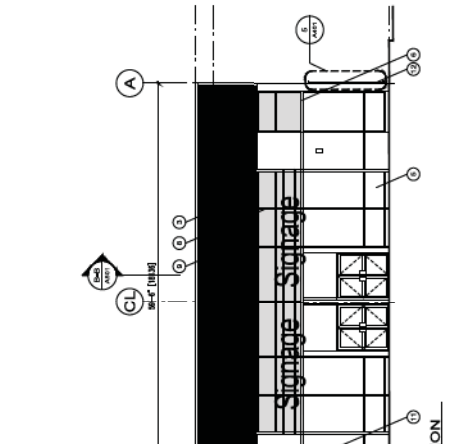




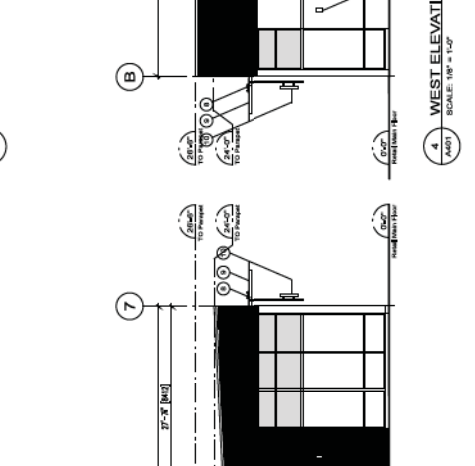
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
A401



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"
A401



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
A401



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"
A401

- MATERIALS LEGEND AND NOTES**
- 1 PATTERNED CONCRETE - MOORE HC-103
 - 2 SIGNAGE MOUNT - GALVALUME
 - 3 COPPER PLATE MOUNT - GALVALUME
 - 4 COLOUR CLEAR ANODIZED
 - 5 COLOUR CLEAR ANODIZED
 - 6 COLOUR CLEAR ANODIZED
 - 7 ARGONILLED SEALED LOWE DOUBLE GLAZING
 - 8 COLOUR CLEAN (TYPICAL GROUND LEVEL)
 - 9 SPANDEK PANEL - RED, GREEN OR YELLOW (TO MATCH ON COLOURED ELEVATIONS)
 - 10 PRE-FINISHED ALUMINUM GLASS - COLOUR CLEAR ANODIZED
 - 11 GALVANNEED CHASSET OUTRIDERS
 - 12 3/4" x 3/4" x 1/2" LAMINATED GLASS CANOPY
 - 13 SENGAGE-INDIVIDUAL ILLUMINATED CHANNEL LETTERS - GLASS TO CONFORM TO CITY OF BURNABY SIGN PLAN AND SIGNAGE REGULATIONS (SEE SIGNAGE SIGNAGE DESIGN CRITERIA - PROVIDE CONDOR HAND PULLS)
 - 14 EXTERIOR LIGHTING
 - 15 STAINLESS STEEL CABLE TIE-BOLT TO SUPPORT (NIC GROMMET REFER TO LANDSCAPE)
 - 16 STEEL COLOUR MATCH SIGNAGE PANEL - MOORE DARK (MFX 200410)
 - 17 MOORE DARK (MFX 200410)

BUILDING G - Elevations

Project No: 1811
Address: 1811
Date: 2018/01/17
Revision: 2018/01/16
Drawing Title: Building G

Client: Building G
5570 152 Street, Surrey, B.C.
Parramatta Park
Parramatta, VIC
Project No: 1811

Sheet No: 1811



5 STAINLESS STEEL VINE CABLING SYSTEM
SCALE: 3" = 1'-0"
A401

NOTE:
BLUE SPANDEK GLASS TO MATCH BENJAMIN MOORE
YELLOW SPANDEK GLASS TO MATCH BENJAMIN
MOORE
GREEN SPANDEK GLASS TO MATCH BENJAMIN
MOORE DARK (MFX 200410)

1	2	3	4	5	6	7
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Consultant
Notes

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/20/17
2	ISSUED FOR PERMIT	08/20/17
3	ISSUED FOR PERMIT	08/20/17
4	ISSUED FOR PERMIT	08/20/17
5	ISSUED FOR PERMIT	08/20/17
6	ISSUED FOR PERMIT	08/20/17
7	ISSUED FOR PERMIT	08/20/17
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19	ISSUED FOR PERMIT	08/20/17
20	ISSUED FOR PERMIT	08/20/17

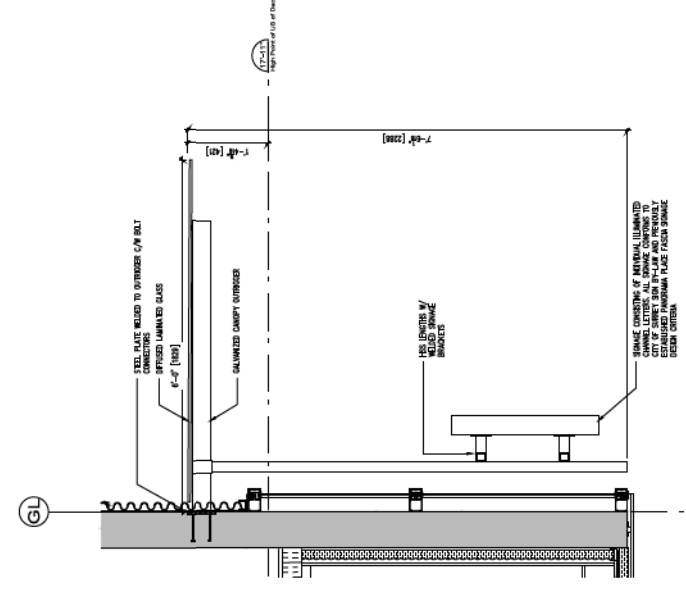
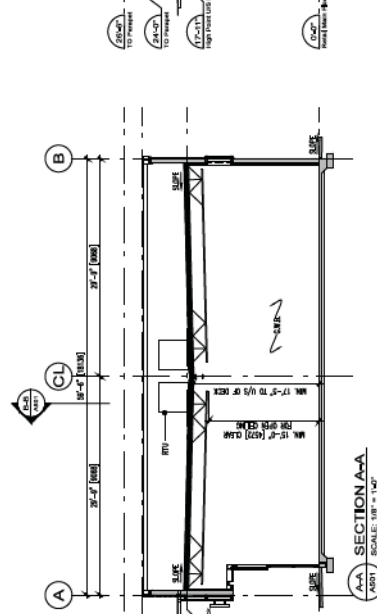
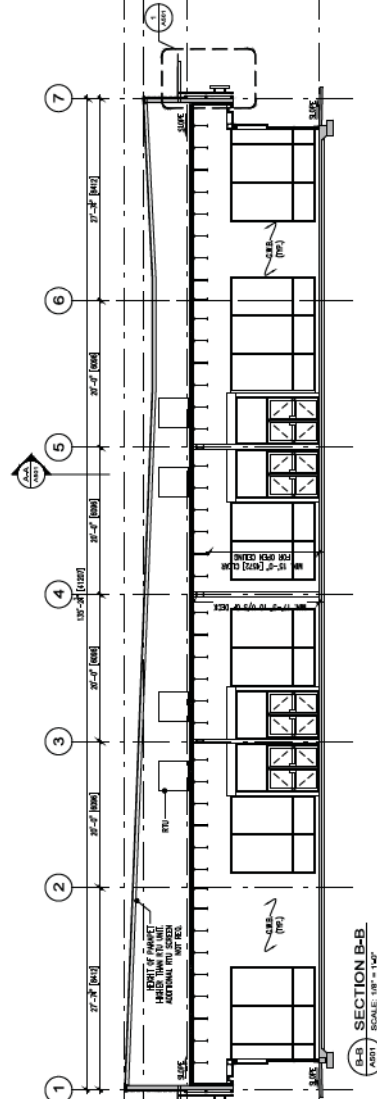
Project No.
BUILDING G
5570 • 152 St. Surrey, S.C.
Panorama Park
Investments Ltd.

Sheet No.
BUILDING G
Building Sections

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Drawn By: J.L.
Checked By: J.F.
Date: 07/20/17
Title: BUILDING G
Project No.:

Scale: 1/8" = 1'-0"
Drawing No. **A501**
Project No. 21110
CAD File Name: A501.dwg
File



1 TYP. SIGNAGE & CANOPY DETAIL
SCALE: 1/8" = 1'-0"

ENGINEERING NOTES

A. GENERAL NOTES

- 1) THESE DRAWINGS MUST NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK, STARTING WORK UPON ACCEPTANCE.
- 2) IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SURVEY DATA OR CALCULATIONS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER/ENGINEER AND THE CITY IN WRITING OF SUCH ERRORS AND OMISSIONS; FAILING TO GIVE SUCH NOTICE, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS OR OMISSIONS AND THE COST OF RECTIFYING SAME.
- 3) THE CONTRACTOR SHALL FAMILIARIZE HIMSELF THOROUGHLY WITH ALL DRAWINGS, SOIL REPORTS, SPECIFICATIONS AND NOTES RELATING TO THIS PROJECT. THIS INCLUDES ALL SUB-CONSULTANTS WORK.
- 4) SUBMIT FOR THE DESIGNER/ENGINEER REVIEW MINIMUM 5 COPIES OF EACH SHOP DRAWING. THE DESIGNER/ENGINEER'S REVIEW PERTAINS TO GENERAL DESIGN ONLY. ERRORS IN DIMENSION AND QUANTITY WILL BE NOTED, IF NOTICED, BUT THIS WILL NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO COMPLETE THE WORK.
- 5) SLOPE FINISH GRADE AWAY FROM BUILDINGS MINIMUM TO PROVIDE ADEQUATE DRAINAGE AWAY FROM BUILDINGS.
- 6) REFER TO CIVIL ENGINEERING DRAWINGS FOR FLOOR ELEVATIONS.
- 7) REFER TO ARCHITECT DRAWINGS FOR BUILDING AND ROAD LOCATIONS.
- 8) SURVEY LAYOUT OF ALL ROADWORKS AND UTILITIES TO BE CO-ORINATED WITH THE BUILDING LAYOUT PRIOR TO ANY CONSTRUCTION TO ENSURE THAT THERE ARE NO CONFLICTS.
- 9) ON-SITE CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE MASTER MUNICIPAL SPECIFICATIONS AND STD. DWG'S AND APPLICABLE BUILDING INSPECTION DEPARTMENT STANDARDS AND THE BRITISH COLUMBIA PLUMBING CODE, LATEST EDITION.
- 10) RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT SHALL BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. IF CONSTRUCTION ENTERS ONTO PRIVATE PROPERTY, THE CONTRACTOR OR DEVELOPER'S WRITTEN AUTHORIZATION FROM THE PRIVATE PROPERTY OWNER(S).
- 11) THE LOCATION AND ELEVATION OF ALL EXISTING SERVICES ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY DIGGING OR BY THE USE OF PIPE LOCATOR AND ANY CONFLICT SHOULD BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 12) ALL WORK SHALL PASS INSPECTION BY THE CITY AND THE DEVELOPER'S CONSULTING ENGINEERS.

B. ROADWORK NOTES

- 1) CONTRACTOR TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUB-GRADE AND CONSTRUCTION OF THE PAVEMENT STRUCTURE TO VERIFY THE ADEQUACY OF THE PROPOSED AND EXISTING PAVEMENT STRUCTURE AND SUB-GRADE. REFER TO RECOMMENDATIONS.
- 2) CHANGES OF GRADE SHALL BE FORMED BY SMOOTH CURVES.
- 3) ALL SUB-GRADES AND GRANULAR BASE MATERIALS TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY, AT OPTIMUM MOISTURE CONTENT.
- 4) ALL LOOSE OR ORGANIC MATERIAL TO BE EXCAVATED FROM PROPOSED PAVEMENT AREAS.
- 5) THE CONDITIONS FOR PLACING ASPHALT PAVEMENT AND P.C. CONCRETE SHALL CONFORM WITH THE MASTER MUNICIPAL SPECIFICATIONS AND STD. DWG'S AND APPLICABLE STANDARDS APPLICABLE AT THE TIME OF CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY OF SUCH CHANGES.
- 6) THE BOULEVARD AREAS TO BE PREPARED IN APPROPRIATE FASHION FOR DRIVEWAY AND PARKING AREA SURFACING WHERE DESIGNATED OR FOR LANDSCAPING (INCLUDING TRAFFIC ISLANDS) WHERE REQUIRED.

C. WATERWORKS NOTES

- 1) DURING CONSTRUCTION AND AT ANY TIME PRIOR TO ACCEPTANCE AND PRESSURIZING OF WATERMANS BY THE CITY, THE CONTRACTOR SHALL INSTALL A 300mmx300mm SQUARE 18mm SHEET OF PLYWOOD OVER THE PUMPER NOZZLE OF EACH WATERMAN. THESE MARKERS ARE TO BE LEFT IN PLACE UNTIL INSTRUCTIONS ARE RECEIVED FROM THE CITY FOR THE REMOVAL OF SUCH MARKERS.
 - 2) MINIMUM COVER ON WATERMAN TO BE 1.0m UNLESS CONCRETE SURROUND USED.
 - 3) ALL WATERMAN MATERIAL TO BE AS PER MASTER MUNICIPAL SPECIFICATIONS & THE B.C. PLUMBING CODE.
 - 4) CURB STOPS TO BE FITTED WITH MUELLER TELESCOPING SERVICE BOXES OR APPROVED EQUAL.
 - 5) ALL FITTINGS SHALL BE CAST IRON TYTON JOINT WITH CLOSED LUGS.
 - 6) TESTING AND CHLORINATION OF WATERMANS WITHIN SITE, AND PRIOR TO CONNECTION TO EXISTING MAINS TO BE DONE BY THE CONTRACTOR. THE CITY WILL CONDUCT INSPECTION. ALL THIS WORK AT THE DEVELOPER'S COST.
 - 7) ALL SERVICE CONNECTIONS TO BE TERMINATED 1.0m FROM BUILDING LINE.
 - 8) ALL SERVICE CONNECTIONS TO BE AS NOTED ON THE DESIGN DRAWINGS.
- ### D. SANITARY AND STORM SEWER NOTES
- 1) ALL STORM AND SANITARY CONNECTIONS TO BE TERMINATED 1.0m FROM BUILDING LINE, UNLESS OTHERWISE NOTED.
 - 2) ALL SERVICE CONNECTIONS SHALL BE MADE TO THE MAIN WHEREVER POSSIBLE. SHOULD A CONNECTION HAVE TO BE MADE TO A MANHOLE, IT SHALL BE AT AN ELEVATION TO MEET THE CROWN OF THE HIGHEST SEWER MAIN.
 - 3) ALL SANITARY SEWER SERVICE CONNECTIONS TO BE 150 mm MINIMUM DIAMETER UNLESS OTHERWISE NOTED.
 - 4) ALL SANITARY SEWER SERVICE CONNECTIONS TO BE PRE-PLUGGED BY MANUFACTURER.
 - 5) ALL MANHOLES TO BE SIZED IN ACCORDANCE WITH MASTER MUNICIPAL SPECIFICATIONS.
 - 6) ALL SANITARY SEWER PIPE SHALL BE PVC SDR 35 CONFORMING TO CSA - B182.1 AND ASTM - D3034.
 - 7) SANITARY AND STORM SEWER PIPE TO CONFORM WITH MASTER MUNICIPAL SPECIFICATIONS & THE B.C. PLUMBING CODE.
 - 8) ALL STORM SEWER SERVICE CONNECTIONS TO BE 200 mm MINIMUM DIAMETER UNLESS OTHERWISE NOTED.
 - 9) FLOOD PATHS TO BE GRADED AT ONSET OF CONSTRUCTION AND MAINTAINED IN OPERATING CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. FLOOD PATHS SHALL NOT BE USED FOR STORAGE OF MATERIAL OR EQUIPMENT DURING CONSTRUCTION, WHICH MAY INTERFERE WITH OR REDIRECT FLOWS.
 - 10) DURING CONSTRUCTION, POSITIVE SITE DRAINAGE TO MAJOR FLOOD PATH SHALL BE MAINTAINED WHEREVER POSSIBLE TO ENSURE CONTAINMENT OF MAJOR STORM RUNOFF.
 - 11) CATCH BASIN TO BE 600mm DIAMETER WITH 450mm SUMP AND 150mm DEPTH. ALL CATCH BASIN RIMS TO BE SET 30mm BELOW FINISHED GRADE ELEVATION, OR AS SHOWN ON THE PLANS.
 - 12) ALL CLEAN OUTS LOCATED IN TRAVELLED AREAS SHALL BE PRE-CAST IRON FRAMES AND LOCKING LIDS DESIGNED FOR 4200 LADING.
 - 13) DRAIN TILE AND ROOF DRAINS TO BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGNER'S AND CONSULTANT'S DRAWINGS. REFER TO MECHANICAL CONSULTANTS DRAWINGS FOR ALL BUILDING SERVICE LOCATIONS.
 - 14) FINISHED GRADE OF LAWN DRAINS AND MANHOLE LIDS IN LANDSCAPED AREAS TO BE AS NOTED ON THE ARCHITECT PLANS. REFER TO LANDSCAPE ARCHITECT PLANS FOR WALKWAY, WALL DETAILS AND GRADING. LAWN BASIN ELEVATIONS MAY BE ADJUSTED TO SUIT. REVISIONS PROPOSED TO ACCOMMODATE LANDSCAPING, AND WHICH AFFECT SITE GRADING ARE TO BE RE-CONFIRMED AT TIME OF CONSTRUCTION. WHERE RETAINING WALLS/TERRACES ARE REQUIRED, DETAILS ARE TO BE CONFIRMED AT TIME OF LANDSCAPING (BY OTHERS TYPICAL).

- 15) ALL WYES ARE TO BE MANUFACTURED.
- 16) ALL CATCH BASIN LEADS SHALL BE MINIMUM 150mm DIAMETER UNLESS OTHERWISE NOTED.
- 17) CONTRACTOR SHALL ENSURE MINIMUM 1% GRADE ON CHANNELIZATION THROUGH MANHOLE.
- 18) STORM SEWER PIPE TO CONFORM WITH SPECIFICATIONS FROM THE MUNICIPAL CONTRACT DOCUMENTS APPLICABLE AT THE TIME OF CONSTRUCTION EXCEPT AS NOTED ABOVE.



Notes: ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY DATUM LOCATED AT THE INTERSECTION OF 152 STREET & COLEBROOK ROAD, SURREY ELEVATION: 1.088m

Project Description:
LOT B, PLAN B07-00332, SECTION 2, TOWNSHIP 2, NEW WESTMINSTER DISTRICT

SP	Date	By	Rev	Description
1	17.01.2012	AMS	MEP	SECOND RE-ISSUE FOR ADP

SP	Date	By	Rev	Description



Coastland
engineering & surveying ltd.
1400-10th Street, Surrey, B.C. V4A 3T1
Tel: (604) 532-2722 Fax: (604) 532-2721

PANORAMA PARK INVESTMENTS LTD
c/o RICHARD COLETER TELEPHONE: (604) 542-6400
SUITE 300, 1959 - 152 STREET, SURREY, B.C. V4A 8J3

GENERAL NOTES AND SITE PLAN
BUILDING G - 5570 152 STREET

Scale	1:5000
Discipline	MEH
Author	RSH
Checked	FRY
Drawn	FRY
Project Number	2083.5
Survey Training Number	
Project Name	
Issue	AUGUST, 2011
Revision No.	# 5
Sheet No.	1





LEGEND

	FIRST FLOOR ELEVATION OF BUILDING
	SWALE AT MIN. 1.0%
	OVERLAND FLOW DIRECTION
	FINISHED SURFACE ELEVATION
	450# LAWN DRAIN (RM ELEV)
	CATCH BASIN (RM ELEV)
	EXISTING GROUND CONTOUR
	EXISTING GROUND ELEVATION
	ASPHALT PAVING
	CONCRETE SIDEWALK
	CONCRETE CURB
	ROSE LINE

REFERS TO ARCHITECT'S PLANS AND GEOTECHNICAL REPORT FOR DETAILS

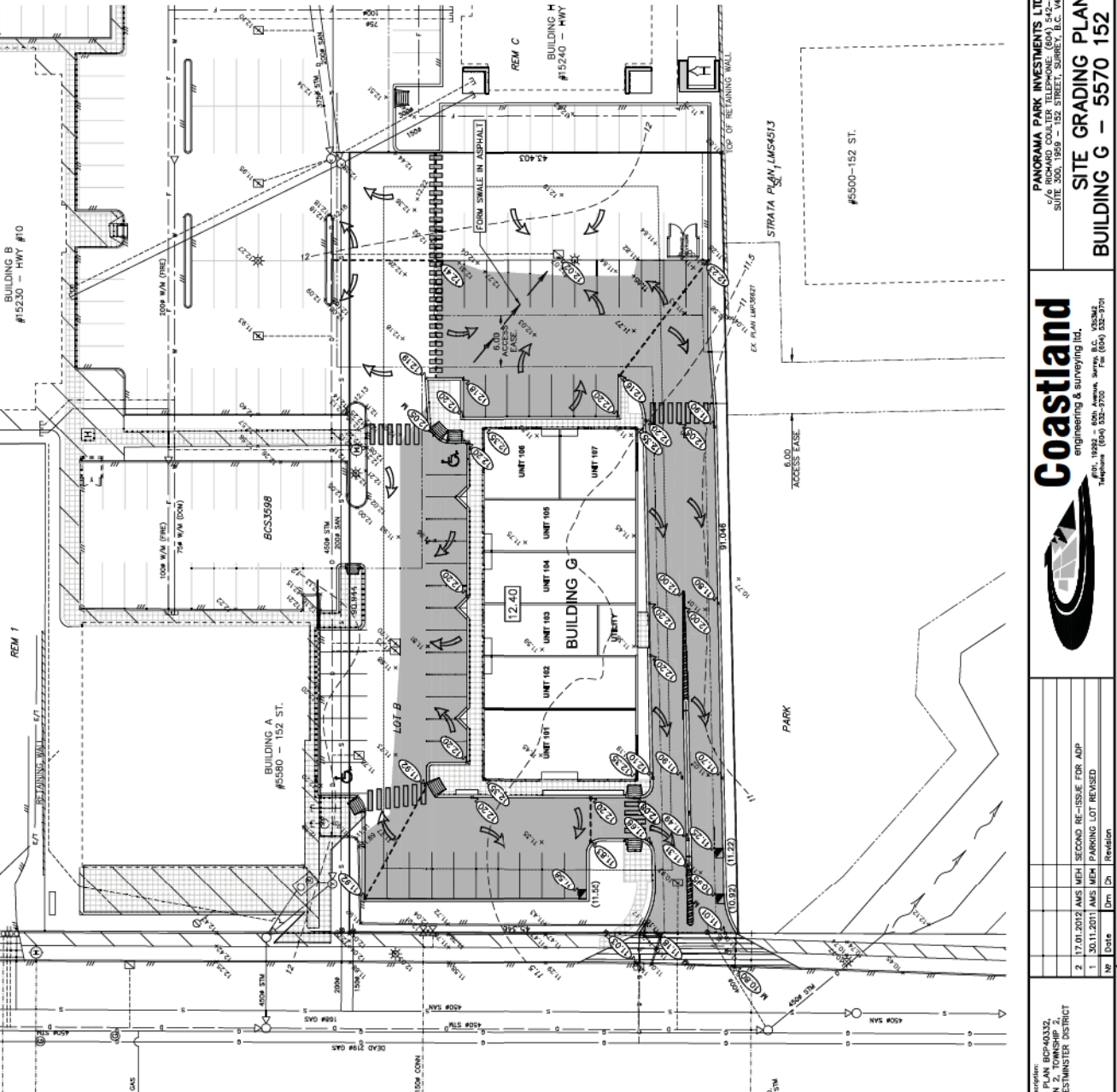
ALL ELEVATIONS AND DIMENSIONS ARE METRIC

VARIES
REFERS TO ARCHITECT'S DRAWINGS

VARIES
REFERS TO GEOTECHNICAL REPORT FOR DETAILS

TYPICAL ROAD AND PARKING SECTION

N.T.S.



Scale:	1:250	Survey Project Number:	2083.5
Client:	MEH	Survey Training Number:	
Contract:	RSB	Company File Number:	
Date:	12/08/2011	Job Number:	2083.5
Drawn By:	FRY	Date:	AUGUST, 2011
Checked By:		Revision:	# 5

Project No.: 2
Revision No.: 2

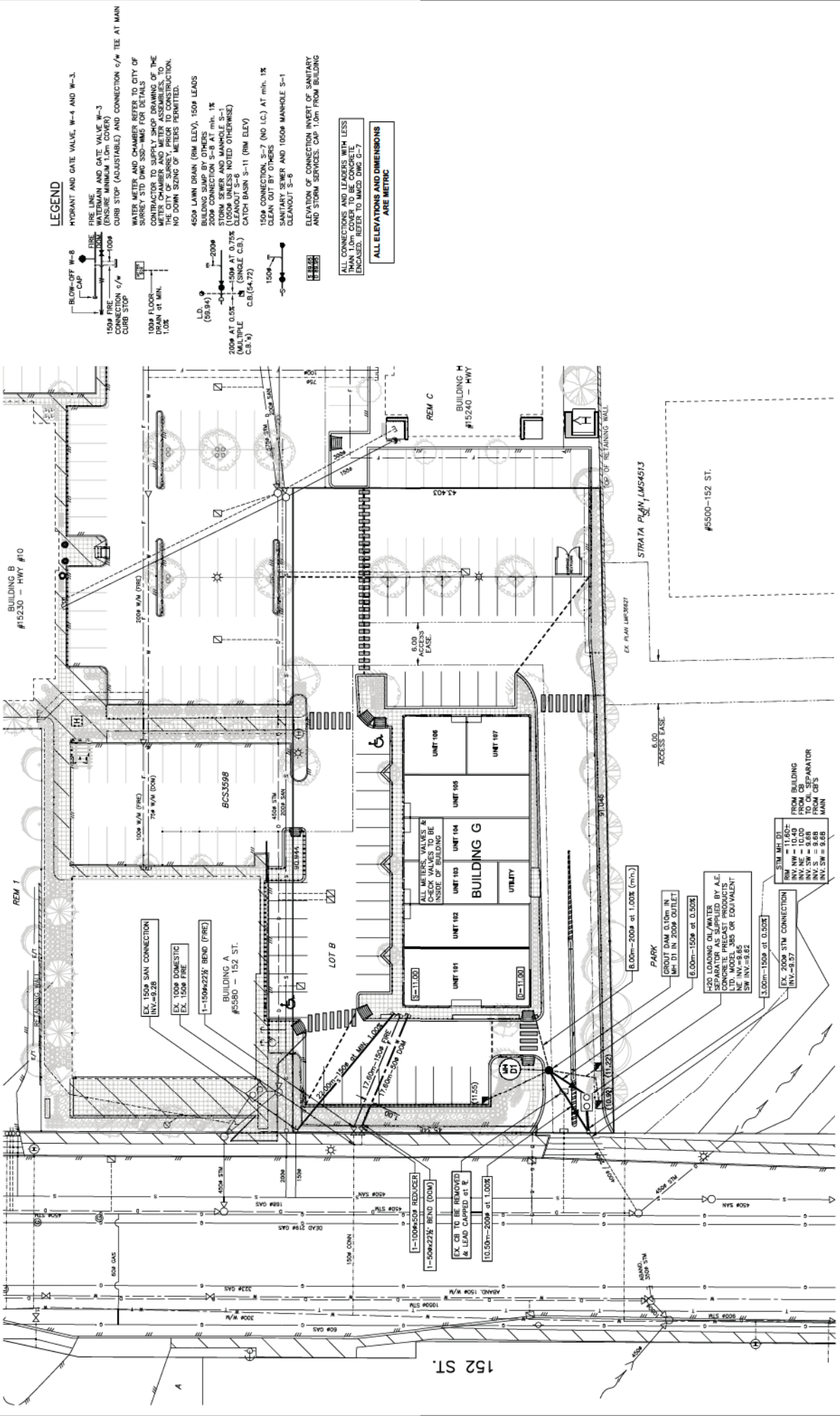
PANORAMA PARK INVESTMENTS LTD
 6/6 RICHARD COLLETER TELEPHONE: (804) 542-1490
 SUITE 300, 1959 - 152 STREET, SURREY, B.C. V4A 6J3

SITE GRADING PLAN
BUILDING G - 5570 152 STREET

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 10/10/11
 444-4684 • (604) 432-2722 • Fax: (604) 432-2721

Rev	Date	Description
2	17.01.2012	AS 152 MPH SECOND RE-ISSUE FOR ADP
1	13.11.2011	AS 152 MPH PARKING LOT REVISED

Notes:
 ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY ELEVATIONS LOCATED AT THE INTERSECTION OF 152 STREET & COLEROCK ROAD, SURREY BRITISH COLUMBIA ELEVATION: 1.088m



LEGEND

- HYDRAULIC AND GATE VALVE, W-4 AND W-3.
- FIRE LINE WATERMAIN AND GATE VALVE W-3 (ENSURE MINIMUM 1.0m COVER)
- CURB STOP (ADJUSTABLE) AND CONNECTION c/w TEE AT MAIN WATER METER AND CHAMBER REFER TO CITY OF SURREY STD DWG S30-WMS FOR DETAILS
- CONTRACTOR TO SUPPLY SHOP DRAWING OF THE WATER METER AND CHAMBER TO THE CITY OF SURREY, PRIOR TO CONSTRUCTION. NO DOWN SIZING OF METERS PERMITTED.
- 4500 LMMI BRAN (RM ELEV. 1500 LEADS BUILDING SUMP BY OTHERS)
- 2000 CONNECTION S-8 AT MIN. 1% STORM SEWER AND MANHOLE S-1 (MIN. 1% SLOPE)
- 2000 AT 0.0% - 1500 AT 0.75% (MIN. 1% SLOPE) (C.B. 54-72)
- 1500 CONNECTION S-7 (NO L.C.) AT MIN. 1% CLEAN OUT BY OTHERS
- SANITARY SEWER AND 10000 MANHOLE S-1 CLEANOUT S-6
- ELEVATION OF CONNECTION INVERT OF SANITARY AND STORM SERVICES, CAP 1.0m FROM BUILDING

ALL CONNECTIONS AND LEADERS WITH LESS THAN 1.0m COVER SHALL BE ENCASED. REFER TO MACHO DWG G-7.

ALL ELEVATIONS AND DIMENSIONS ARE METRIC

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 SUITE 300, 1959 - 152 STREET, SURREY, B.C. V4A 8J3

SITE SERVICING PLAN
BUILDING G - 5570 152 STREET

Scale:	1:250	Project Number:	2083.5
Client:	MEH	Survey Station Number:	
Drawn:	KSH	Contract Number:	2083.5
Checked:		Issue Date:	AUGUST, 2011
Revised:		Revision:	# 5

DATE: 17.01.2012
 TIME: 10:00 AM
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

REVISIONS:

No.	Date	Description
1	17.01.2012	AS IS MHP SECOND RE-ISSUE FOR ADP

NOTES:
 ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY SECTION 2, TOWNSHIP 2, NEW WESTMINSTER DISTRICT LOCATED AT THE INTERSECTION OF 152 STREET & COLEBROOK ROAD, SURREY ELEVATION: 1.088m



FINAL GRADING NOTES

- 1) CONSULT WITH ESC SUPERVISOR TO RELOCATE TEMPORARY ESC MEASURES AS REQUIRED.

INSTALL PROTECTION MEASURES ON ALL LAWN AND CATCH BASINS (TYP-B)

ALL SITE TRAFFIC TO BE RESTRICTED TO PAVED AREAS ONLY. REFER TO NOTES ON SHEET # 4 OF 5 FOR ROAD CLEANING.



ALL PAVED AREAS SHALL BE PROTECTED WITH CRUSHED ROCK TO PROHIBIT SILT BEING TRACKED ONTO PAVEMENT.

ALL SITE TRAFFIC TO BE RESTRICTED TO PAVED OR GRAVELLED SURFACE AREAS ONLY.

INSTALL / MAINTAIN PROTECTION MEASURES ON ALL LAWN AND CATCH BASINS (TYP-B)

GRAVEL ACCESS PAD ON COMPACTED SUBGRADE AND ADD ROCK AS NECESSARY

MAINTAIN GRANULAR ROAD FILL ADDING MORE IF NECESSARY

MAINTAIN CLEAN CRUSHED GRAVEL AROUND BUILDING

COVER ALL TEMPORARY PILES WITH POLY AND SURROUND WITH SILT CONTROL FENCE (TYP)



INSTALL 1.0m WIDE BRUSH BRUSHES OR ROAD FILLS INSTALLED PRIOR TO SITE WORKING ON ALL ON-SITE ROADWORKS.

INSTALL CATCH BASIN FILTER SOCK PRIOR TO COMMENCEMENT OF WORKS (TYP-B)

150mm THICK CRUSHED GRAVEL WITH 150mm WIDTH INSTALLED AROUND THE BUILDING PERIMETER PRIOR TO SITE DECONTAMINATION.

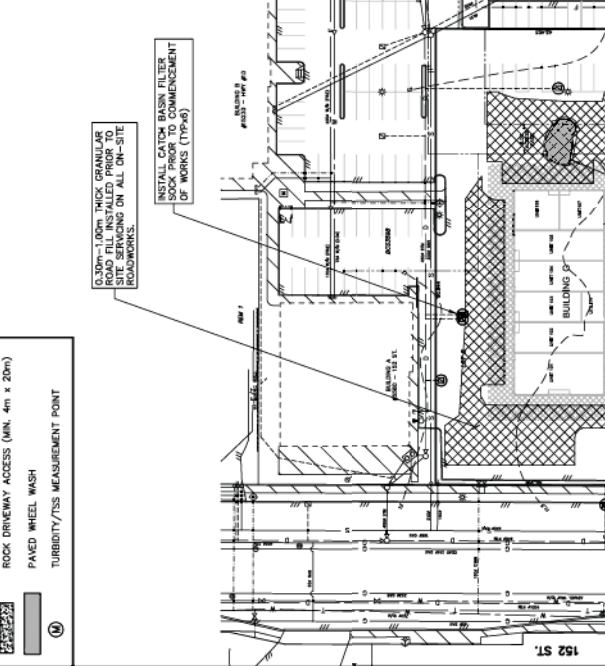
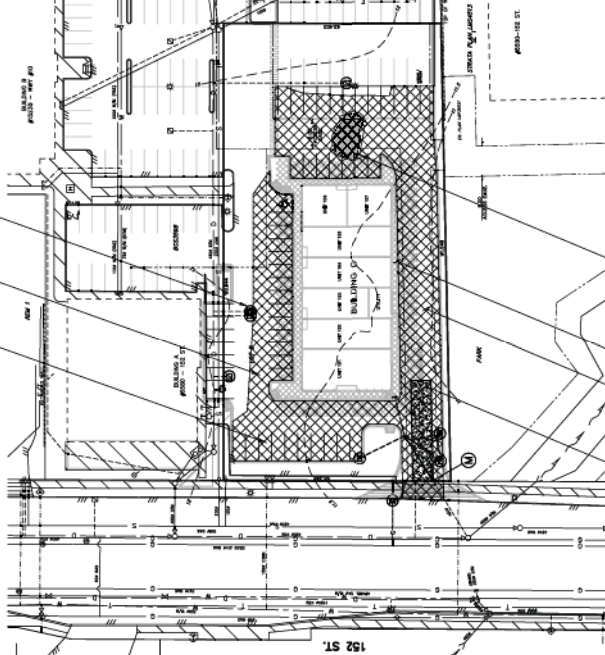
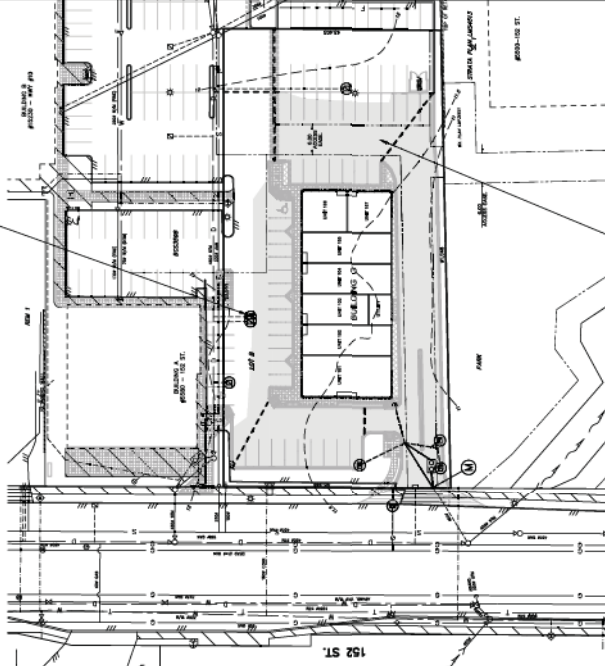
COVER ALL TEMPORARY PILES WITH POLY AND SURROUND WITH SILT CONTROL FENCE (TYP)

ALL SITE TRAFFIC TO BE RESTRICTED TO PAVED OR GRAVELLED SURFACE AREAS ONLY.

GRAVEL ACCESS PAD ON COMPACTED SUBGRADE AND ADD ROCK AS NECESSARY

LEGEND

- TEMPORARY GRASS SWALE
- CUT-OFF DITCH c/w ROCK BERM
- STORM SEWER & SERVICE CONN. L.C.
- CATCH BASIN - TOP & SIDE INLET
- EX. / PROP. CATCH BASIN c/w FILTER SOCK
- EX. / PROP. LAWN DRAIN c/w FILTER SOCK
- SILT CONTROL FENCE
- DIRECTION OF OVERLAND FLOW
- COVER ALL TEMPORARY PILES WITH POLY AND SURROUND WITH SILT CONTROL FENCE
- CATCHMENT AREA
- POND SIZE FOR CATCHMENT
- CATCHMENT BOUNDARY TO EACH SEDIMENT CONTAINMENT POND
- TEMPORARY SILT CONTROL POND
- TEMPORARY PIPE (MIN. 150mm)
- ROCK DRIVEWAY ACCESS (MIN. 4m x 20m)
- PAVED WHEEL WASH
- TURBIDITY/TSS MEASUREMENT POINT



UTILITY AND ROADWORKS INSTALLATION STAGE

ROAD STRIPPING AND GRAVELLING STAGE

FINAL GRADING STAGE THROUGH TO SUBSTANTIAL COMPLETION

Project Description:
 ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY POINT LOCATED AT THE INTERSECTION OF 152 STREET & COLEBROOK ROAD, SURREY
 ELEVATION: 1.088m

SP	Date	By	Rev	Description
1	17.01.2012	AMS	1	SECOND RE-ISSUE FOR ADP

Scale:	1:500
Client:	MEH
Author:	AMS
Check:	FRY
Project No.:	2083.5
Issue:	AUGUST, 2011
Revision:	# 5

Coastland
 engineering & surveying ltd.
 10th Floor, 198-200, Market Street, Leeds, LS1 9TA
 Tel: 0113 2752727 Fax: 0113 2752721

PANORAMA PARK INVESTMENTS LTD
 c/o RICHARD COLETT TELEPHONE: (0161) 5424606
 SUITE 300, 1959 - 192 STREET, SURREY, B.C. V4A 8J3

TEMPORARY EROSION AND SILTATION CONTROL PLAN
BUILDING G - 5570 152 STREET

Sheet No.:	5
Project No.:	2083.5
Issue:	AUGUST, 2011
Revision:	# 5

1. SITE PLAN	2. SITE PLAN	3. SITE PLAN	4. SITE PLAN	5. SITE PLAN	6. SITE PLAN	7. SITE PLAN	8. SITE PLAN	9. SITE PLAN	10. SITE PLAN
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BUILDING I
15270 - Hwy. # 10, Surry, B.C.
Paranema Park
Investments Ltd.

Overall Site Plan

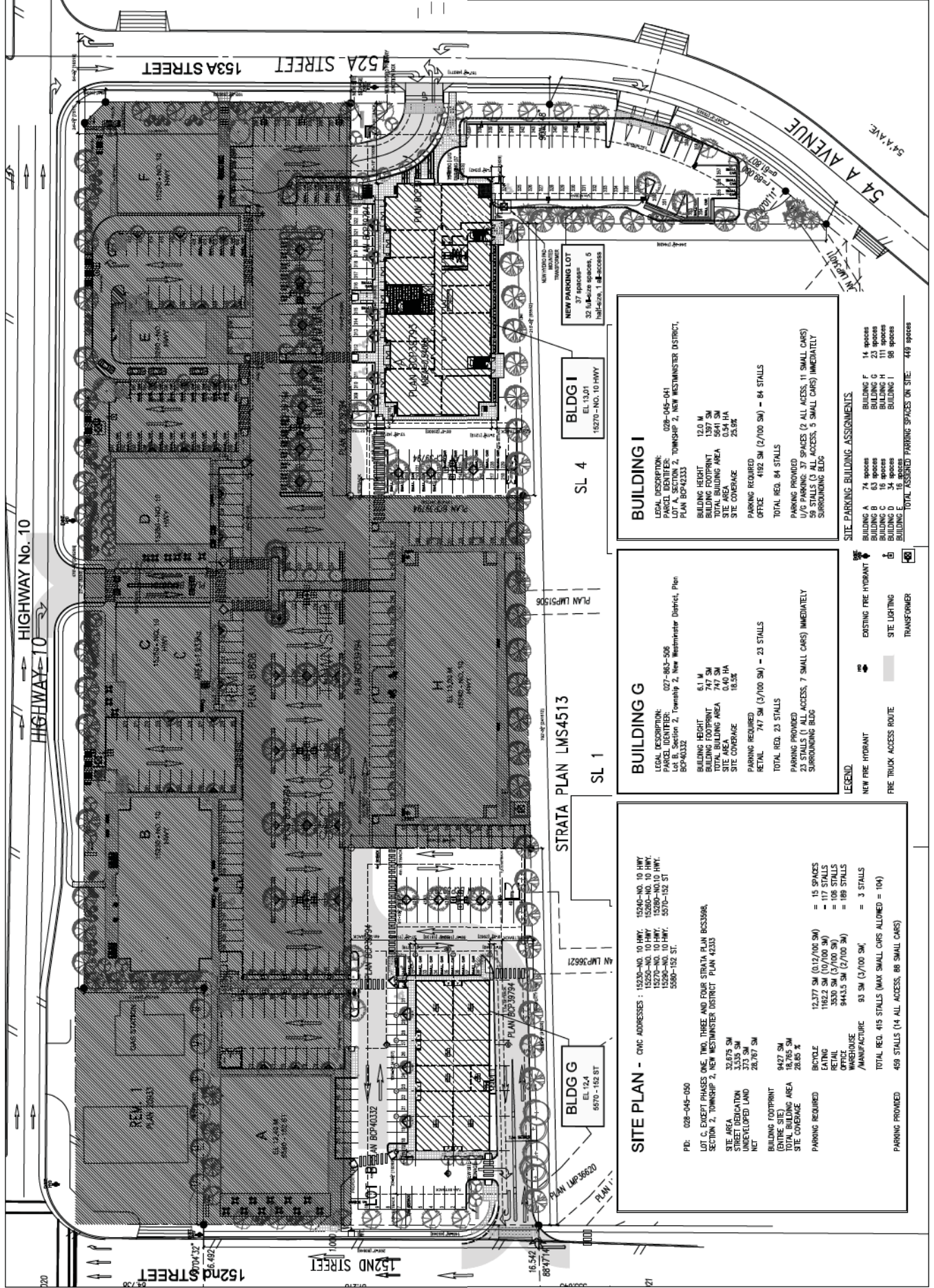
North Arrow

Scale: 1" = 100'

North Arrow

Scale: 1" = 100'

A100



SL 4
BLDG I
EL. 13.01
19270 - NO. 10 HWY

BUILDING I

LEGAL DESCRIPTION: 028-045-041
LOT 1 SECTION 2, TOWNSHIP 2, NEW WESTMINSTER DISTRICT,
PLAN BCP42333

BUILDING HEIGHT: 13.0 M
BUILDING FOOTPRINT: 1327 SM
TOTAL BUILDING AREA: 5541 SM
SITE AREA: 0.34 HA
SITE COVERAGE: 23.9%

PARKING REQUIRED OFFICE: 4192 SM (2/100 SM) = 84 STALLS
TOTAL REQ. 84 STALLS

PARKING PROVIDED U/G PARKING: 37 SPACES (2 ALL ACCESS, 11 SMALL CARS)
59 STALLS (3 ALL ACCESS, 5 SMALL CARS) IMMEDIATELY SURROUNDING BLDG

SITE PARKING BUILDING ASSIGNMENTS

BUILDING A	74 spaces	BUILDING F	14 spaces
BUILDING B	63 spaces	BUILDING G	23 spaces
BUILDING C	54 spaces	BUILDING H	111 spaces
BUILDING D	34 spaces	BUILDING I	86 spaces
BUILDING E	16 spaces		
TOTAL ASSIGNED PARKING SPACES ON SITE:	448 spaces		

SL 1
STRATA PLAN LMS4513

BUILDING G

LEGAL DESCRIPTION: 027-983-506
LOT 18 SECTION 4, TOWNSHIP 2, NEW WESTMINSTER DISTRICT, PLAN
BSP40332

BUILDING HEIGHT: 6.1 M
BUILDING FOOTPRINT: 747 SM
TOTAL BUILDING AREA: 0.40 HA
SITE COVERAGE: 18.5%

PARKING REQUIRED RETAIL: 747 SM (3/100 SM) = 23 STALLS
TOTAL REQ. 23 STALLS

PARKING PROVIDED 23 STALLS (1 ALL ACCESS, 7 SMALL CARS) IMMEDIATELY SURROUNDING BLDG

LEGEND:

NEW FIRE HYDRANT

EXISTING FIRE HYDRANT

NEW TRUCK ACCESS ROUTE

EXISTING TRUCK ACCESS ROUTE

SITE LIGHTING

TRANSFORMER

BLDG G
EL. 12.4
5570 - 152 ST

SITE PLAN - CIVIC ADDRESSES: 15230-NO. 10 HWY. 15240-NO. 10 HWY. 15250-NO. 10 HWY. 15260-NO. 10 HWY. 15270-NO. 10 HWY. 15280-NO. 10 HWY. 5570-152 ST. 5580-152 ST.

PD: 028-045-080

LOT G, EXCEPT PHASES ONE, TWO, THREE AND FOUR STRATA PLAN BCS3588,
SECTION 2, TOWNSHIP 2, NEW WESTMINSTER DISTRICT PLAN 42333

SITE AREA: 32,875 SM
STREET DEDICATION: 3,538 SM
UNDEVELOPED LAND: 373 SM
NET: 29,767 SM

BUILDING FOOTPRINT (ENTIRE SITE): 9427 SM
TOTAL BUILDING AREA: 30,705 SM
SITE COVERAGE: 28.80 %

PARKING REQUIRED: 12,377 SM (3/12/100 SM) = 15 SPACES
1162.2 SM (10/100 SM) = 117 STALLS
3530 SM (2/100 SM) = 108 STALLS
9413.5 SM (2/100 SM) = 186 STALLS
83 SM (3/100 SM) = 3 STALLS

TOTAL REQ. 415 STALLS (MAX SMALL CARS ALLOWED = 104)

PARKING PROVIDED 459 STALLS (14 ALL ACCESS, 88 SMALL CARS)

LEGEND:

NEW FIRE HYDRANT

EXISTING FIRE HYDRANT

NEW TRUCK ACCESS ROUTE

EXISTING TRUCK ACCESS ROUTE

SITE LIGHTING

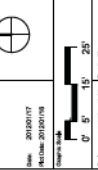
TRANSFORMER

1	PROPOSED BUILDING I	15270 HWY 10, SUITE 100
2	PROPOSED BUILDING I	15270 HWY 10, SUITE 100
3	PROPOSED BUILDING I	15270 HWY 10, SUITE 100
4	PROPOSED BUILDING I	15270 HWY 10, SUITE 100
5	PROPOSED BUILDING I	15270 HWY 10, SUITE 100
6	PROPOSED BUILDING I	15270 HWY 10, SUITE 100
7	PROPOSED BUILDING I	15270 HWY 10, SUITE 100
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9	PROPOSED BUILDING I	15270 HWY 10, SUITE 100
10	PROPOSED BUILDING I	15270 HWY 10, SUITE 100

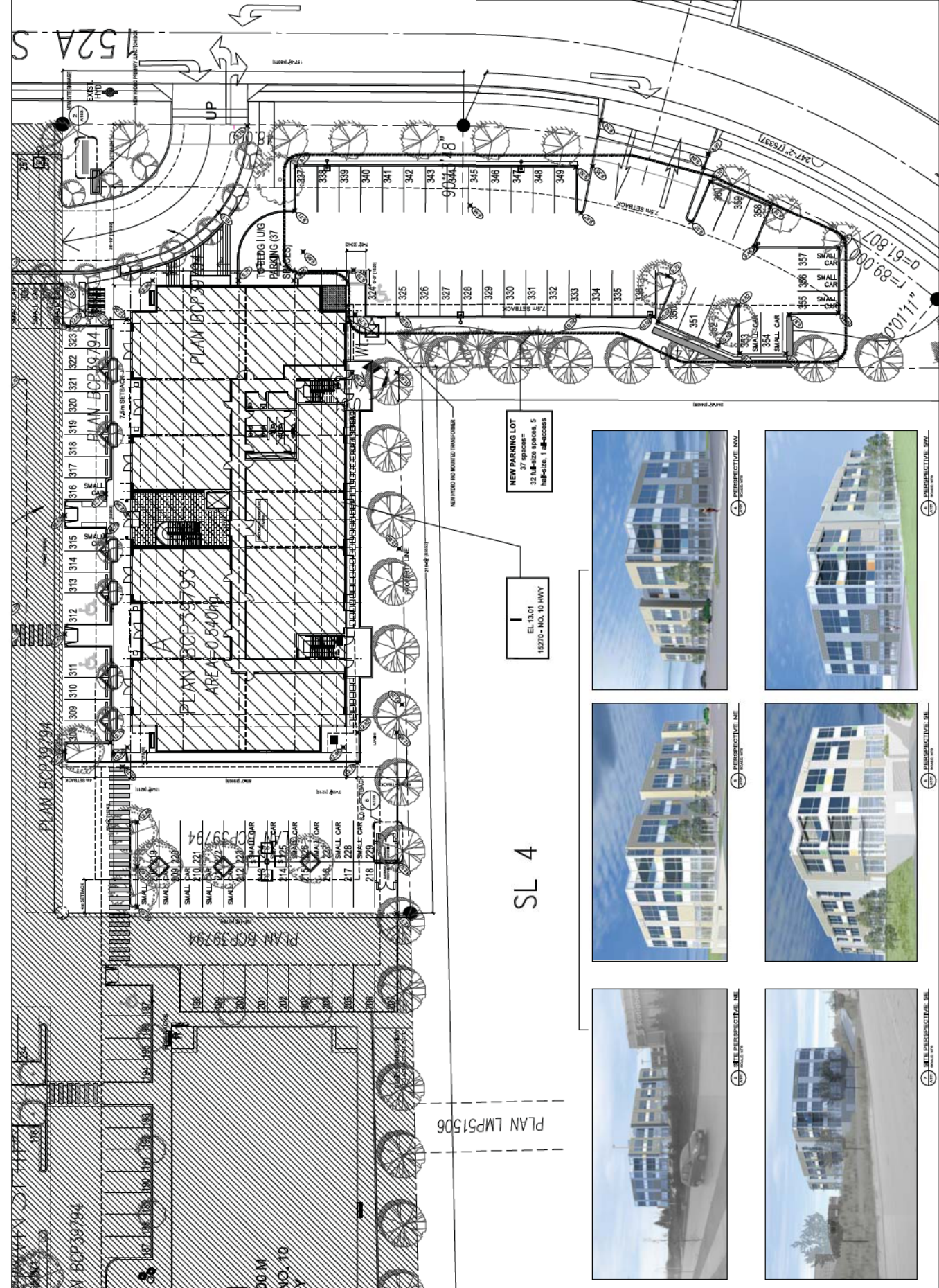
BUILDING I
15270-Hwy, # 10, Surrey, B.C.
Panorama Park
Investments Ltd.

BUILDING I
Context Plan

Scale: 1:100
Date: 2023/07/17
Project: 21011



A101



NEW PARKING LOT
37 spaces
32 full-size spaces, 5 half-size, 1 accessible

EL. 13.01
15270-NO. 10 HWY

SL 4



Client Name
Address

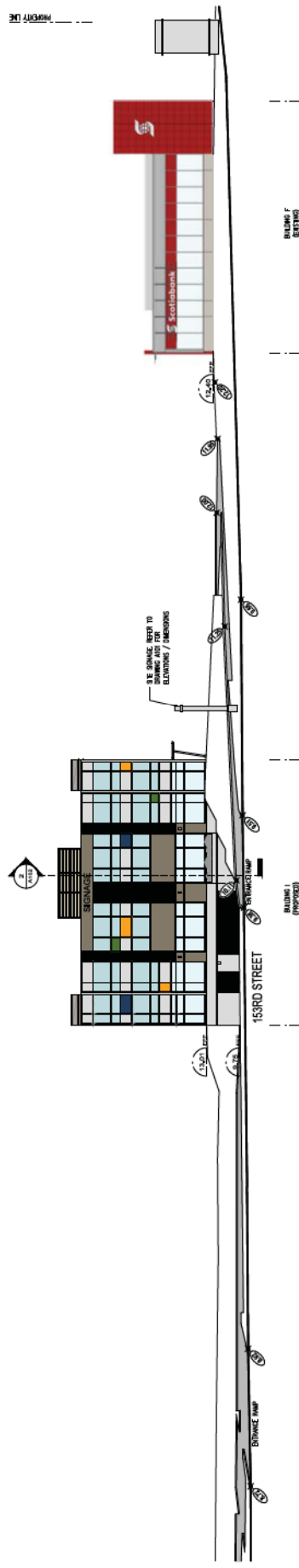
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97. EXISTING	98. EXISTING	99. EXISTING	100. EXISTING

Project No.
15270 - Hwy 110, Surrey, B.C.
Patonema Park
Investments Ltd.

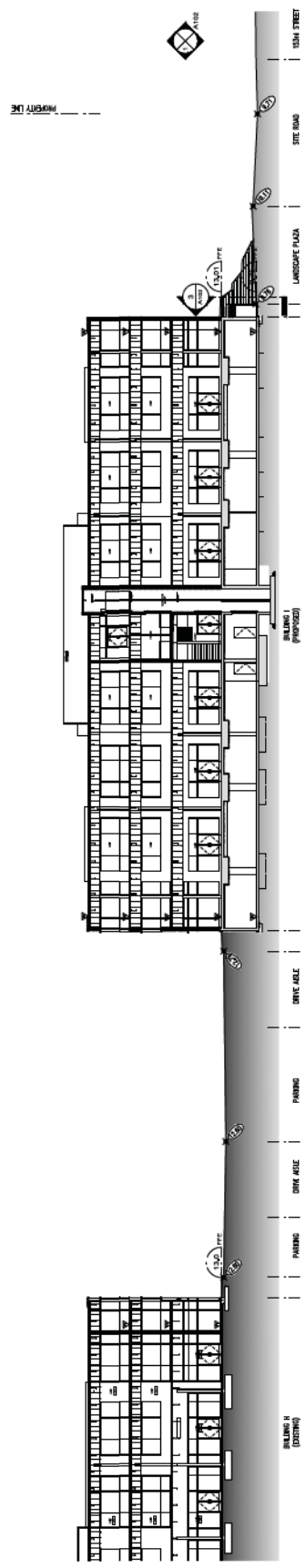
Project No.
Site Elevation and Sections

Client Name
Address
City
Province
Country

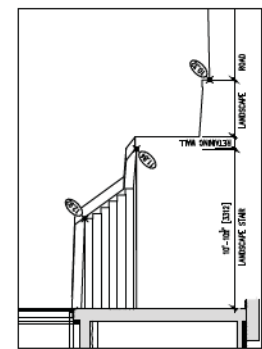
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Drawing No.: A102



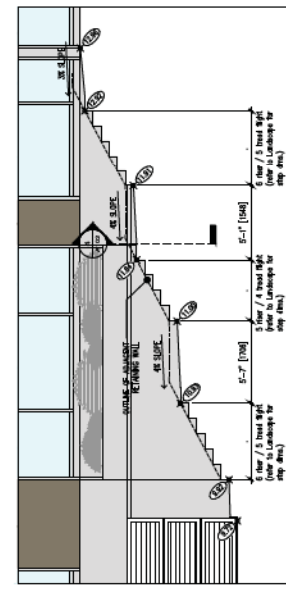
1 BLDG. 1 SITE ELEVATION
SCALE: 1/8" = 1'-0"




2 BLDG. 1 SITE SECTION
SCALE: 1/8" = 1'-0"



4 LANDSCAPE STAIR SECTION
SCALE: 1/8" = 1'-0"



3 LANDSCAPE STAIR SECTION
SCALE: 1/8" = 1'-0"

CONYTE  **WELL LOCATIONS LIMITED**

ULC Approved, Well Locations Limited
 Available up to 400 Watt Metal Halide, High Pressure Sodium, Pulse Start Metal Halide & ESHV GL Installation

SPECIFICATIONS:

- One piece die-cast aluminum housing with fully protected, die-cast aluminum end cap and lens. The lens is made of clear polycarbonate for maximum light transmission. Standard lens is Double-Lite 1/2" Polycarbonate. Other lens options are available.
- High intensity discharge ballast, Class B ballast, high power factor. All ballasts are UL listed and meet or exceed all applicable codes and standards.
- Pre-wired, 1/2" galv. steel (Mg) based metal with optional alloy table. All ballasts are UL listed and meet or exceed all applicable codes and standards.
- 5" x 5" die-cast aluminum base with integral wiring compartment. Designed to meet UL 984 requirements. Also designed to meet UL 984 requirements for use in wet locations. The base is made of clear polycarbonate for maximum light transmission. The base is made of clear polycarbonate for maximum light transmission.
- IP65, Effective Protection Area = 180° (S, 180°)

ORDERING GUIDE:

Example: SR2-B-40-3-MA-L-T-OS

SR	B	40	3	MA	L	T	OS
SR	B	40	3	MA	L	T	OS

Notes: OS = OS (Optional) OS = OS (Optional) OS = OS (Optional) OS = OS (Optional) OS = OS (Optional) OS = OS (Optional) OS = OS (Optional) OS = OS (Optional)

3" Square Strapped Poles

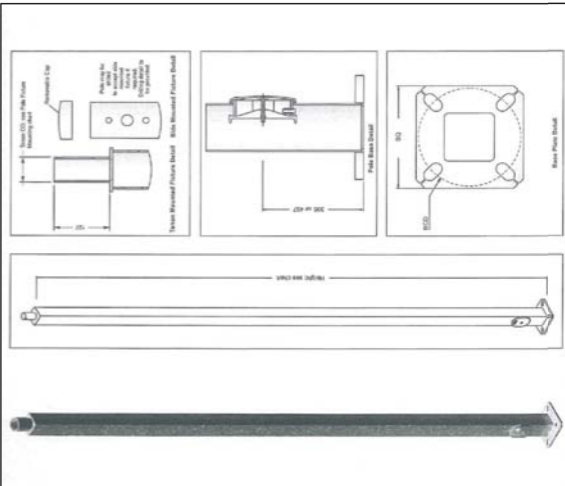
Material: 6061-T6 Aluminum
 Finish: Anodized or Powder Coat
 Height: 10' to 20' (Customizable)

Height (ft)	Weight (lb)	Wind Load (psf)	Max. Span (ft)
10	100	15	10
12	120	18	12
14	140	21	14
16	160	24	16
18	180	27	18
20	200	30	20

Notes: Max. Span is based on 10' spacing between poles. Wind load is based on ASCE 7-10. Pole weight is based on 1" diameter pole.

3" Square Strapped Poles - Specifications

Material: 6061-T6 Aluminum
 Finish: Anodized or Powder Coat
 Height: 10' to 20' (Customizable)



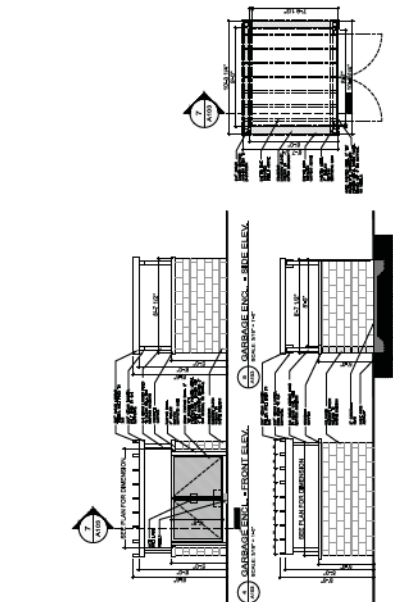
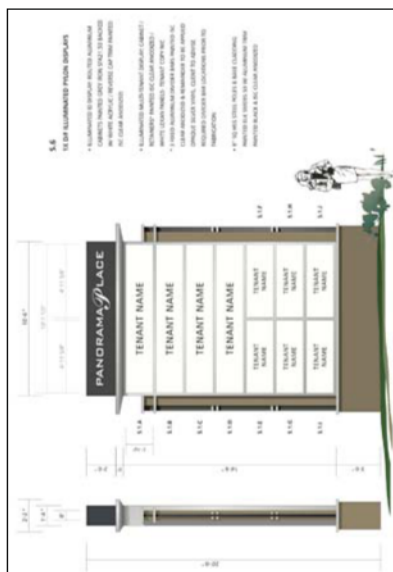
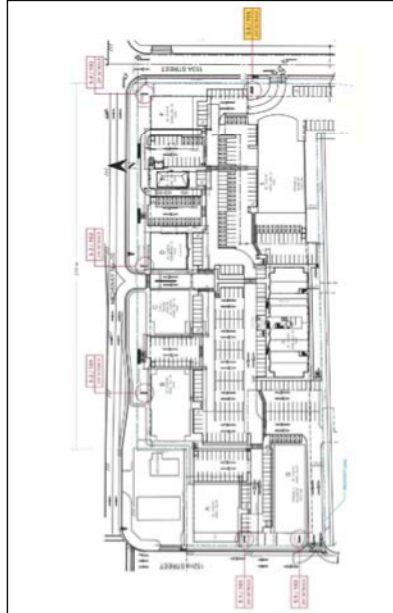
Notes: Pole diameter is 3". Pole length is 10' to 20'. Pole weight is 100 lb to 200 lb. Pole wind load is 15 psf to 30 psf. Pole max span is 10' to 20'.

LAMP STANDARDS - SPECIFICATIONS

LAMP STANDARDS - SPECIFICATIONS

LAMP STANDARDS - SPECIFICATIONS

1	3" SQUARE STRAPPED POLES	10' TO 20'
2	3" SQUARE STRAPPED POLES	10' TO 20'
3	3" SQUARE STRAPPED POLES	10' TO 20'
4	3" SQUARE STRAPPED POLES	10' TO 20'
5	3" SQUARE STRAPPED POLES	10' TO 20'
6	3" SQUARE STRAPPED POLES	10' TO 20'
7	3" SQUARE STRAPPED POLES	10' TO 20'
8	3" SQUARE STRAPPED POLES	10' TO 20'
9	3" SQUARE STRAPPED POLES	10' TO 20'
10	3" SQUARE STRAPPED POLES	10' TO 20'
11	3" SQUARE STRAPPED POLES	10' TO 20'
12	3" SQUARE STRAPPED POLES	10' TO 20'
13	3" SQUARE STRAPPED POLES	10' TO 20'
14	3" SQUARE STRAPPED POLES	10' TO 20'
15	3" SQUARE STRAPPED POLES	10' TO 20'
16	3" SQUARE STRAPPED POLES	10' TO 20'
17	3" SQUARE STRAPPED POLES	10' TO 20'
18	3" SQUARE STRAPPED POLES	10' TO 20'
19	3" SQUARE STRAPPED POLES	10' TO 20'
20	3" SQUARE STRAPPED POLES	10' TO 20'



SITE ILLUMINATED PYLON DISPLAY LOCATIONS

SITE ILLUMINATED PYLON DISPLAY LOCATIONS

SITE ILLUMINATED PYLON DISPLAY LOCATIONS

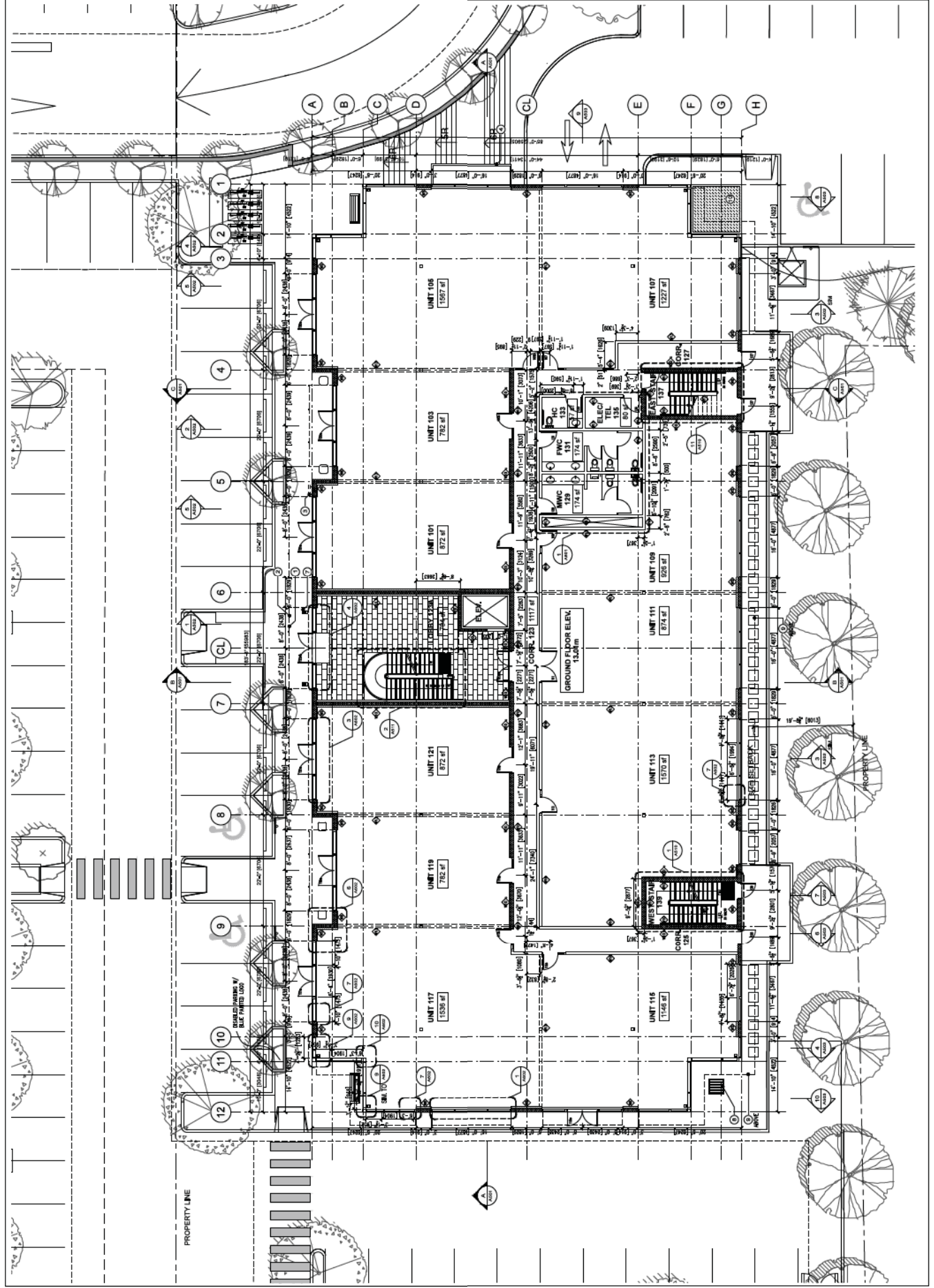
- WALL LEGEND**
- 1. CONCRETE
 - 2. CONCRETE
 - 3. CONCRETE
 - 4. CONCRETE
 - 5. CONCRETE
 - 6. CONCRETE
 - 7. CONCRETE
 - 8. CONCRETE
 - 9. CONCRETE
 - 10. CONCRETE
- LEGEND**
- 1. GROUND FLOOR FINISH
 - 2. GROUND FLOOR FINISH
 - 3. GROUND FLOOR FINISH
 - 4. GROUND FLOOR FINISH
 - 5. GROUND FLOOR FINISH
 - 6. GROUND FLOOR FINISH
 - 7. GROUND FLOOR FINISH
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 - 9. GROUND FLOOR FINISH
 - 10. GROUND FLOOR FINISH

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	2018.05.15	WFR	WFR
2	ISSUED FOR CONSTRUCTION	2018.06.15	WFR	WFR
3	ISSUED FOR CONSTRUCTION	2018.07.15	WFR	WFR
4	ISSUED FOR CONSTRUCTION	2018.08.15	WFR	WFR
5	ISSUED FOR CONSTRUCTION	2018.09.15	WFR	WFR
6	ISSUED FOR CONSTRUCTION	2018.10.15	WFR	WFR
7	ISSUED FOR CONSTRUCTION	2018.11.15	WFR	WFR
8	ISSUED FOR CONSTRUCTION	2018.12.15	WFR	WFR
9	ISSUED FOR CONSTRUCTION	2019.01.15	WFR	WFR
10	ISSUED FOR CONSTRUCTION	2019.02.15	WFR	WFR

Building 1
15270 Hwy. #10, Surrey, B.C.
Panorama Park
Investments Ltd.

BUILDING 1 - Ground Floor Plan

Scale: 1/8" = 1'-0"
North Arrow
Date: 2018.05.15
Project No.: 21101
Sheet No.: A201



Consultants:
None

WALL LEGEND
DASHED LINE: GYM WALL
THICK LINE: BLK-UP CONCRETE
THIN LINE: FINISH WALL

LEGEND
1: CLOSET
2: WORK ACCESS ABOVE
3: CLOSET ABOVE

Notes:
1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
2. WORK ACCESS ABOVE

Project No.:
None

Address:
None

Client:
None

Contract:
None

Phase:
None

Scale:
None

Sheet No.:
None

Project Name:
None

Location:
None

Date:
None

Author:
None

Checker:
None

Approver:
None

Scale:
None

Sheet No.:
None

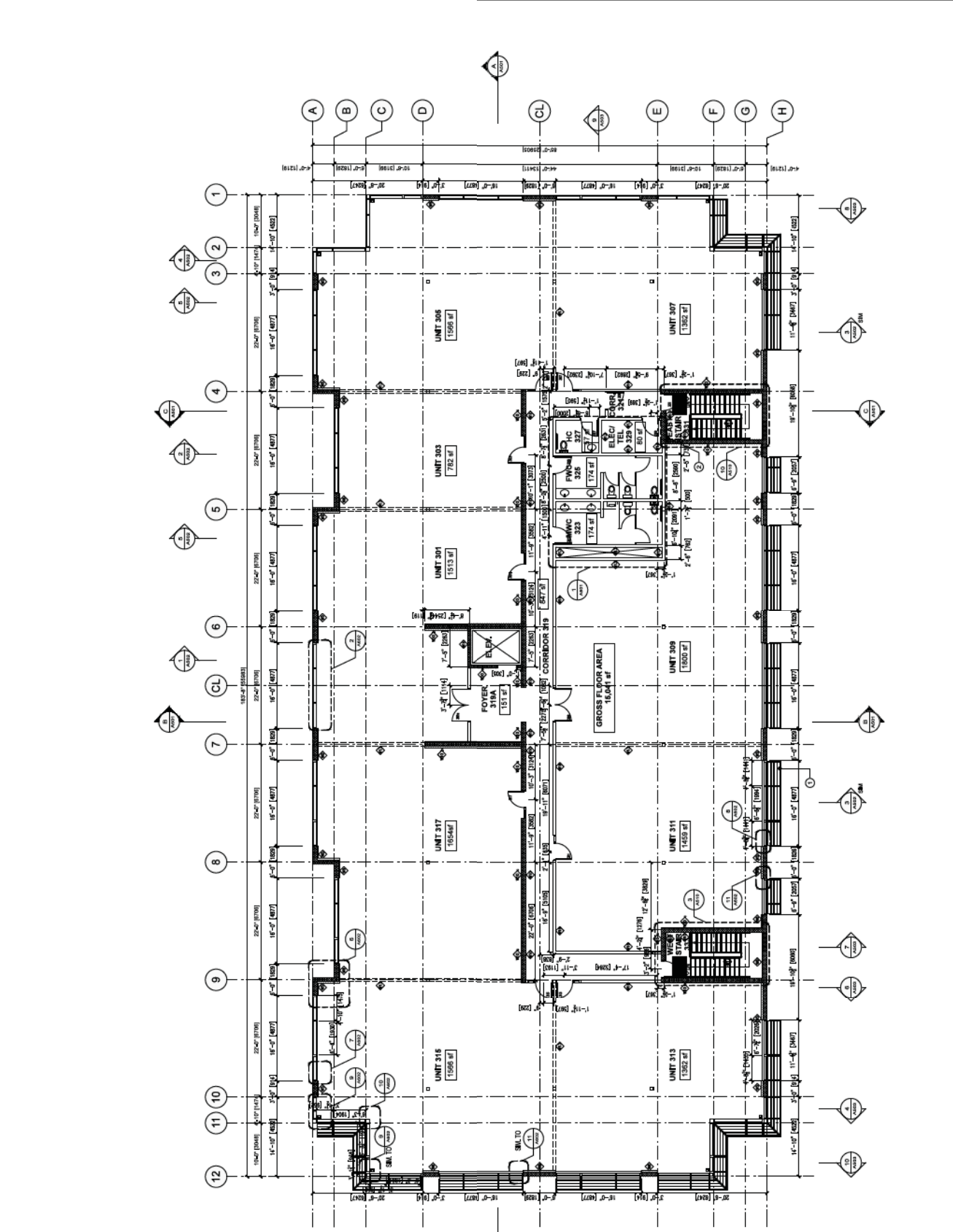
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Author:
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Checker:
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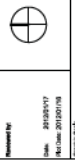
- LEGEND**
- MECHANICAL SCREEN
 - FRAME (SEE REFERS TO MECH.)
 - ROOF PANELS
 - CHIMNEY REFER TO MECH.
 - DOWNSPOUT IN MECH. SCREEN
 - FRAME ALUMINUM CHANNEL
 - CONFORM TO CITY OF SURREY
ELECTRICAL CODE
 - CONFORM TO CITY OF SURREY
ELECTRICAL CODE
 - CONFORM TO CITY OF SURREY
ELECTRICAL CODE
 - CONFORM TO CITY OF SURREY
ELECTRICAL CODE

NO.	DESCRIPTION	DATE
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3	ISSUED FOR PERMIT	2018.03.01
4	ISSUED FOR PERMIT	2018.03.01
5	ISSUED FOR PERMIT	2018.03.01
6	ISSUED FOR PERMIT	2018.03.01
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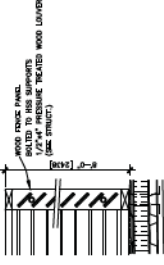
Project No.
15270 - Hwy. #10, Surrey, B.C.
Panorama Park
Investments Ltd.

Sheet No.
BUILDING - Roof Plan

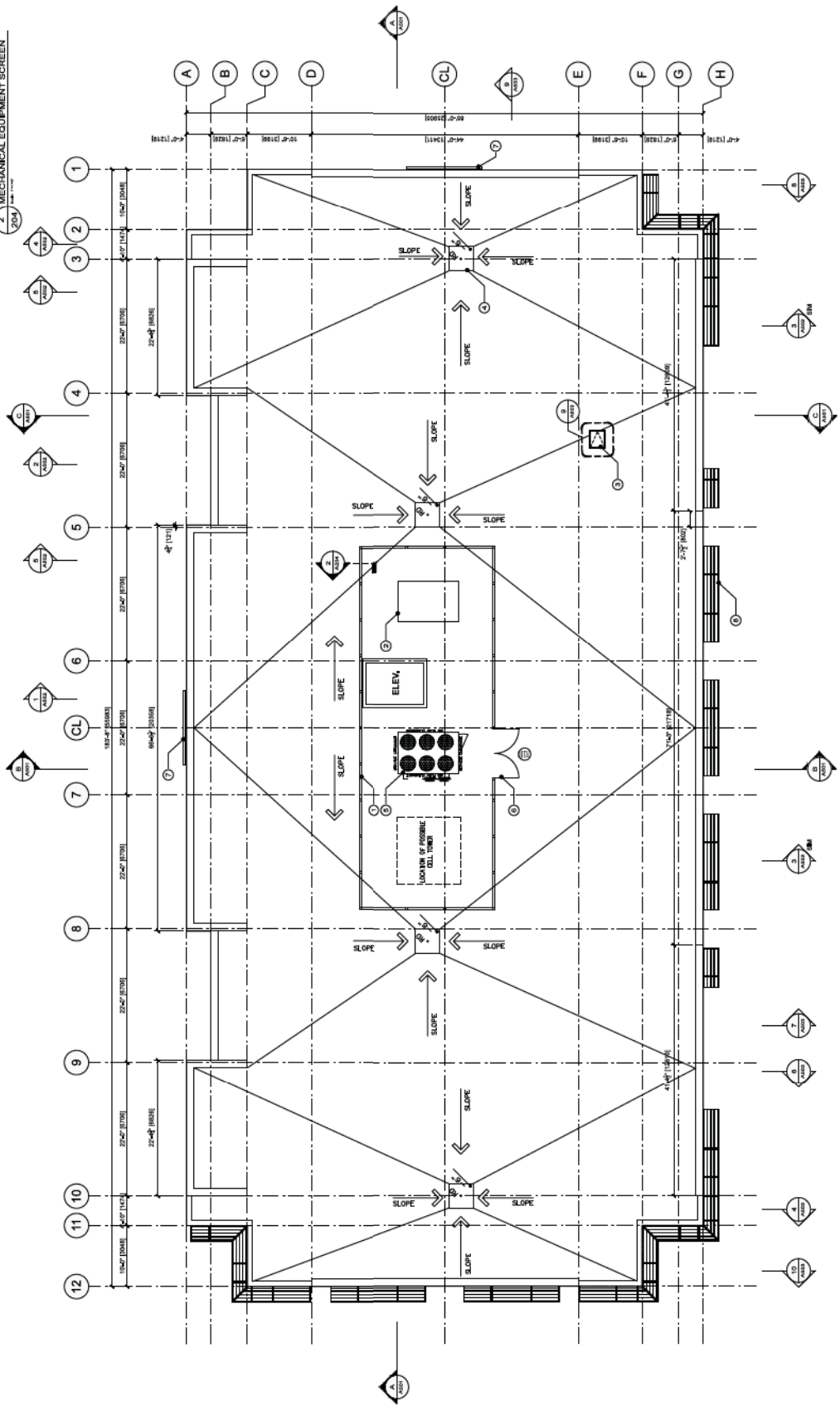
Drawn By:
Checked By:
Date: 2018/03/01
Revision: 2018/03/01



Scale: 1/8" = 1'-0"
Sheet No.: A204
Project No.: 15270
Client Name: Panorama Park Investments Ltd.



2. MECHANICAL EQUIPMENT SCREEN



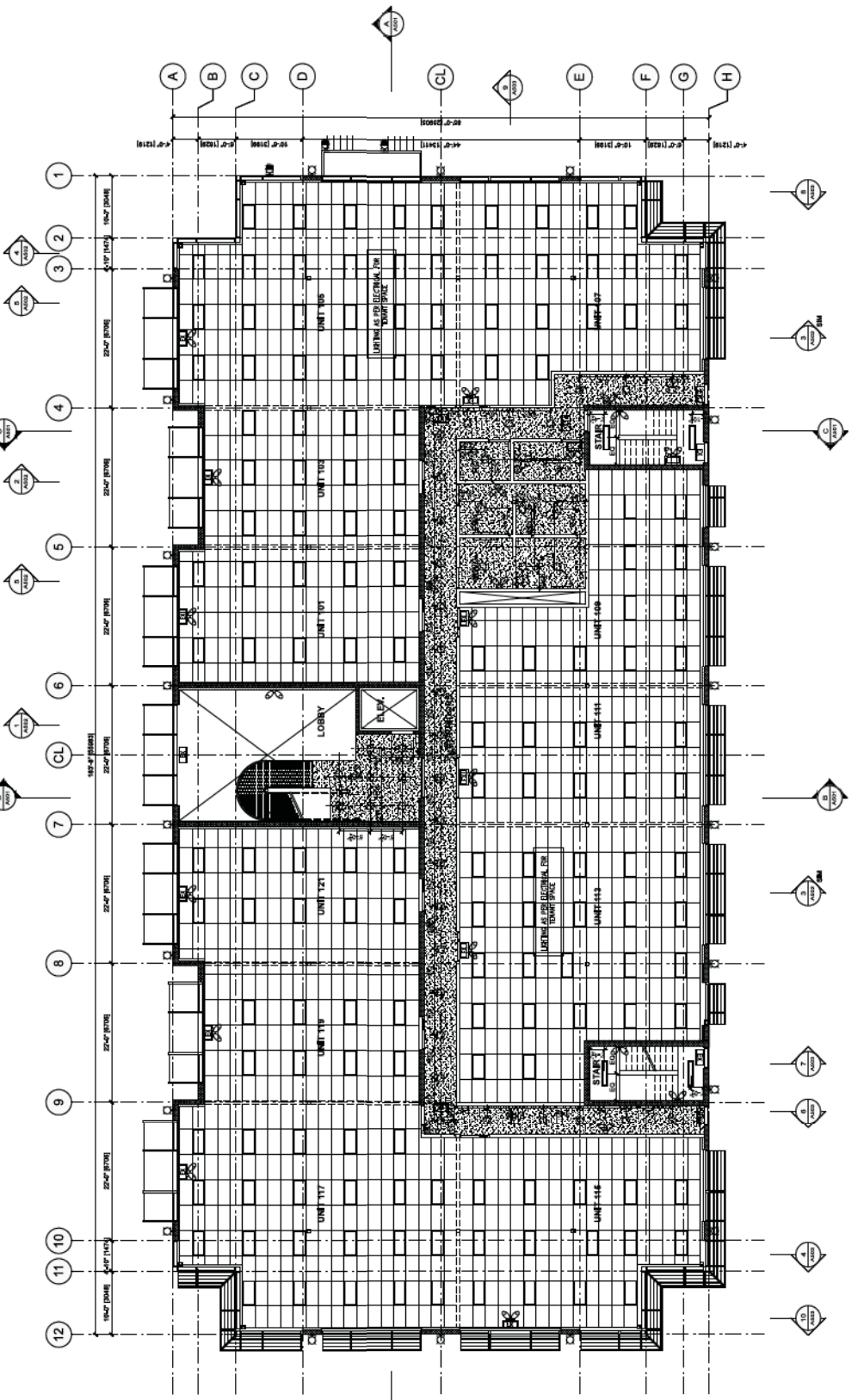
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H

REF. LEGEND

[Symbol]	2x4 ACQUADURCE CEILING 18.75" x 18.75" (SPACING) - SHIM AT 4" O.C.
[Symbol]	OPTIONAL CEILING
[Symbol]	4" x 4" DIM. JEST AT LEVEL 1 (LOBBY)
[Symbol]	4" x 4" DIM. JEST AT LEVEL 2, 3 & 4
[Symbol]	4" x 4" DIM. JEST AT LEVEL 5 & 6
[Symbol]	EMERGENCY LIGHTING (E.L.)
[Symbol]	FLUORESCENT LUMINAIRE (FL)
[Symbol]	FLUORESCENT LUMINAIRE (FD)
[Symbol]	FLUORESCENT LUMINAIRE (FMT)
[Symbol]	FLUORESCENT LUMINAIRE (FMT)
[Symbol]	WALL MOUNTED LIGHT
[Symbol]	CEILING LUMINAIRE
[Symbol]	NO CEILING
[Symbol]	BIRCH PLYWOOD
[Symbol]	METAL DOOR
[Symbol]	METAL GRILL

REFER TO ELECTRICAL FOR LIGHTING TYPES



1570 Hwy. #10, Surrey, B.C.
 Panorama Park
 Investments Ltd.

Building 1
 1570 Hwy. #10, Surrey, B.C.
 Panorama Park
 Investments Ltd.

Sheet No.
 Building 1 - Reflected Ceiling Plan
 Ground Floor

Scale
 1/8" = 1'-0"
 Overall Size: 11' x 45.75'

Project No.
 20110022
 Revision: 20110022

Drawn By:
 Checked By:
 Approved By:

Date:
 20110022
 Revision: 20110022

Scale:
 1/8" = 1'-0"
 Overall Size: 11' x 45.75'

Sheet No.
 A301

WALL LEGEND

[Symbol]	CAST-IN-PLACE CONCRETE
[Symbol]	INSULATED CONCRETE WALL

PROJECT INFO

Project No. 15270-Hwy. #10, Surrey, B.C.
Panorama Park
Improvements Ltd.

Building 1
15270-Hwy. #10, Surrey, B.C.
Panorama Park
Improvements Ltd.

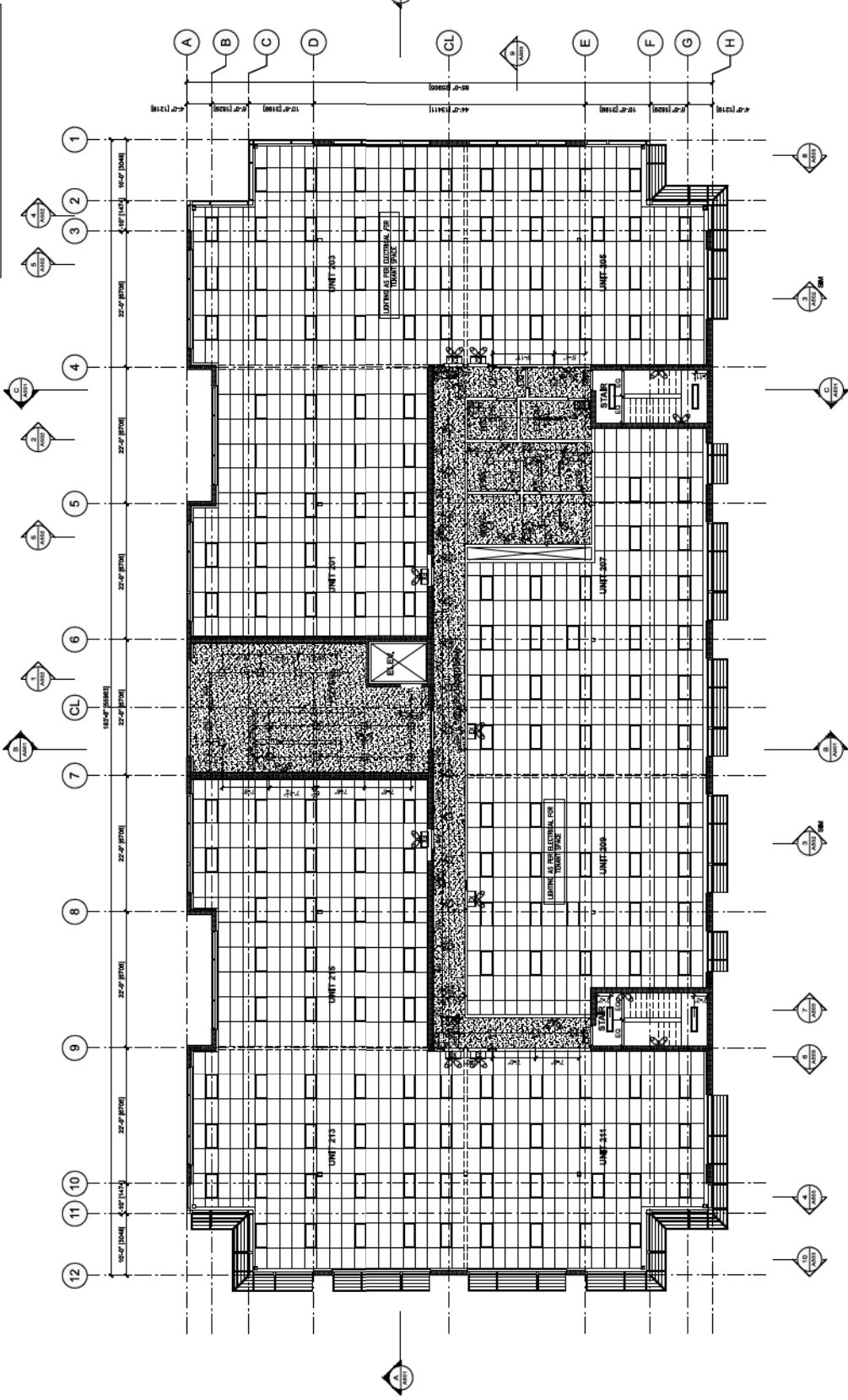
**BUILDING 1 - Reflected Ceiling Plan
Second Floor**

Drawn By: J. BISHOP
Checked By: J. BISHOP
Date: 2013.07.15
Revision: 2013.07.15

Scale: 1/8" = 1'-0"
Drawing No. A302
Project No. 15270
CAD File Name: 15270_2013.rvt

REF LEGEND

[Symbol]	24 HOUR CEILING TILE
[Symbol]	ACoustic CEILING TILE
[Symbol]	DRYWALL CEILING
[Symbol]	CEILING JOIST
[Symbol]	FLUORESCENT LUMINAIRE (F1)
[Symbol]	FLUORESCENT LUMINAIRE (F2)
[Symbol]	FLUORESCENT LUMINAIRE (Z4)
[Symbol]	CEILING LUMINAIRE



WALL LEGEND

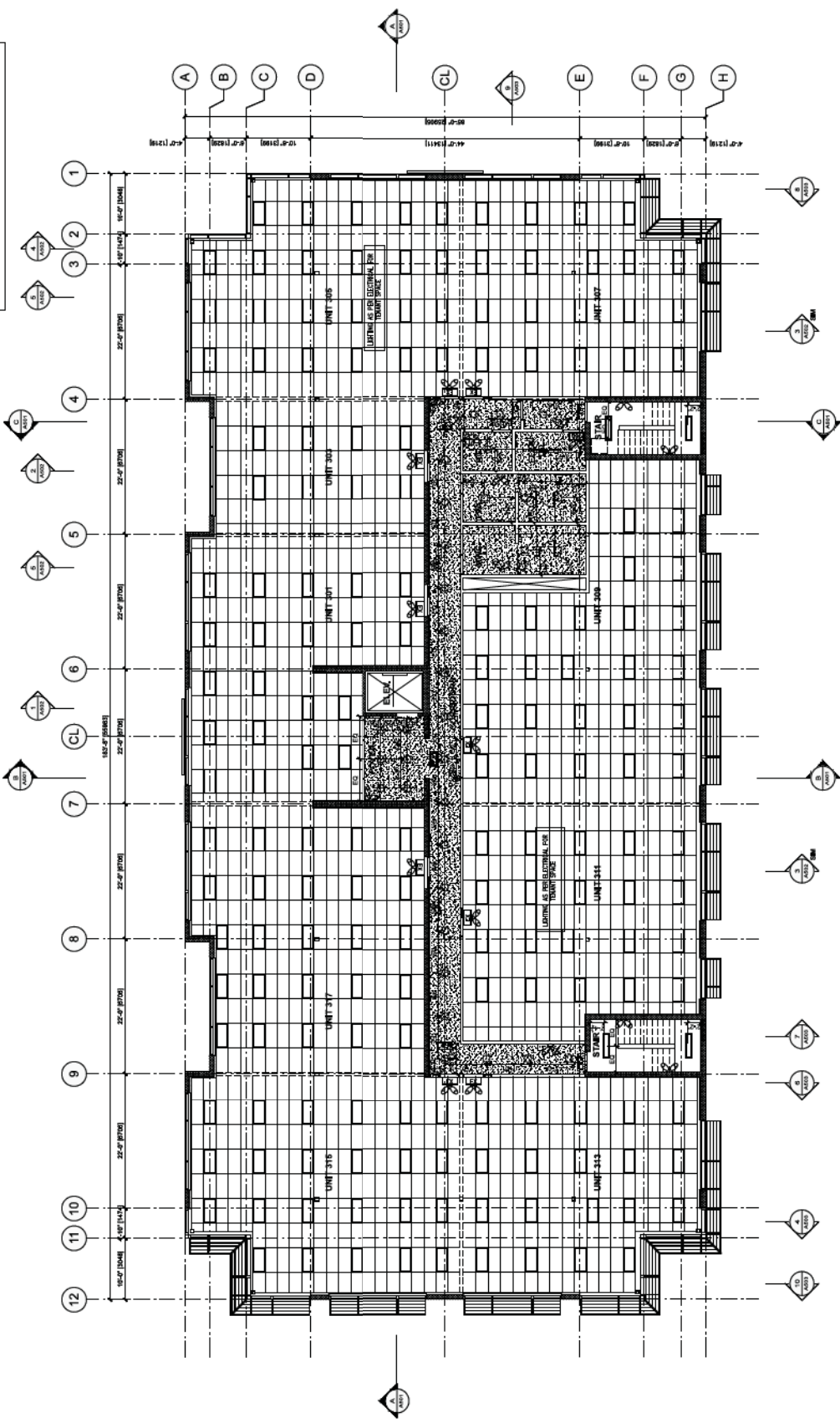
[Symbol]	NO CEILING
[Symbol]	BRICK PLYWOOD
[Symbol]	METAL SCOT
[Symbol]	MESH GRILL

REFER TO ELECTRICAL FOR LIGHTING TYPES

REF LEGEND

- 24 HOUR EMERGENCY LIGHTING (E1)
- FLUORESCENT LUMINAIRE (F1)
- FLUORESCENT LUMINAIRE (F2)
- FLUORESCENT LUMINAIRE (F3)
- FLUORESCENT LUMINAIRE (F4)
- CEILING LUMINAIRE
- NO CEILING
- BRICK PLYWOOD
- METAL SCOFF
- MICHA. GIBL.

REFER TO ELECTRICAL FOR LIGHTING TYPES



Notes

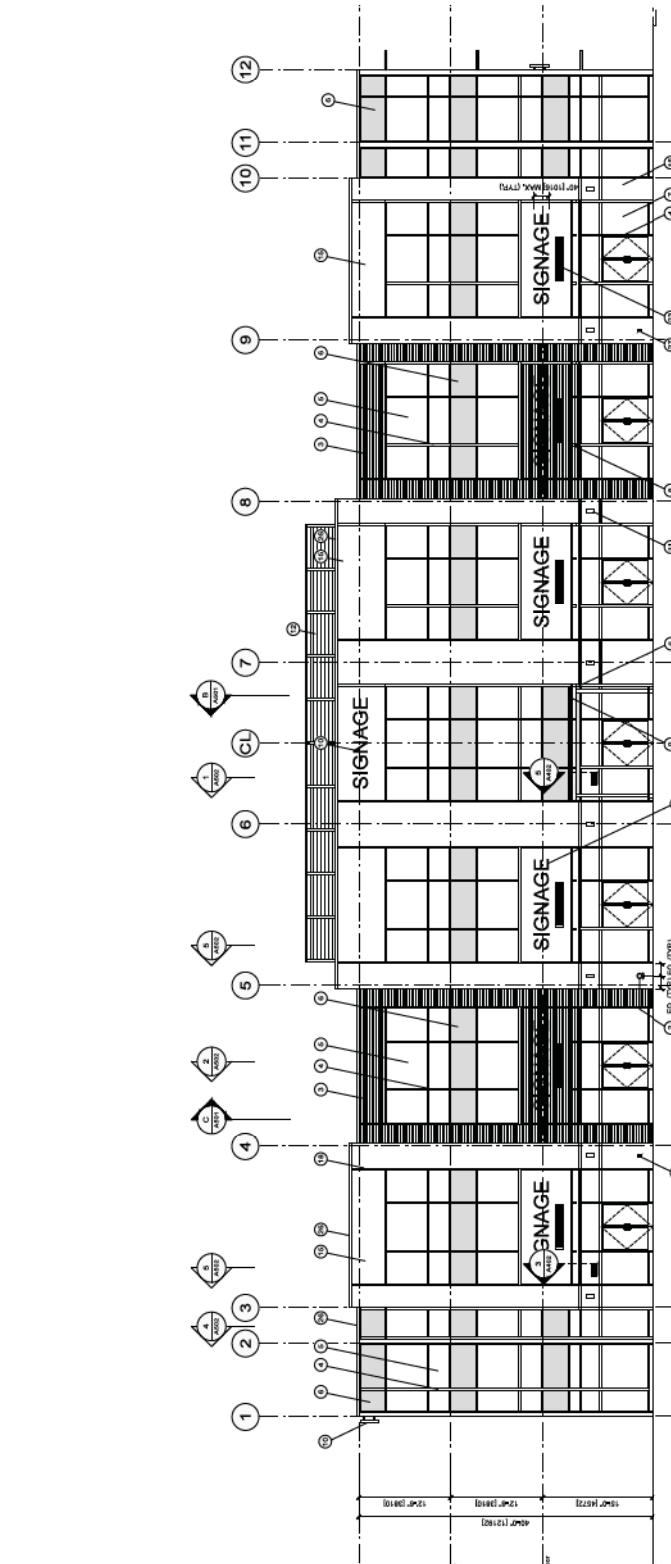
- REFER TO ELECTRICAL FOR LIGHTING FIXTURES AND WIRING.
- REFER TO MECHANICAL FOR VENTILATION AND AIR HANDLING.
- REFER TO ARCHITECTURAL FOR FINISHES AND PARTITIONS.
- REFER TO STRUCTURAL FOR COLUMN AND BEAM LOCATIONS.
- REFER TO CIVIL FOR EXISTING AND PROPOSED GRADES.
- REFER TO LANDSCAPE ARCHITECTURE FOR EXTERIOR PLANTING AND HARDSCAPE.
- REFER TO INTERIOR DESIGN FOR FURNITURE AND FIXTURES.
- REFER TO ENVIRONMENTAL ENGINEERING FOR ENERGY MODELING AND PERFORMANCE.
- REFER TO SOUND ENGINEERING FOR SOUND ATTENUATION AND ACOUSTICS.



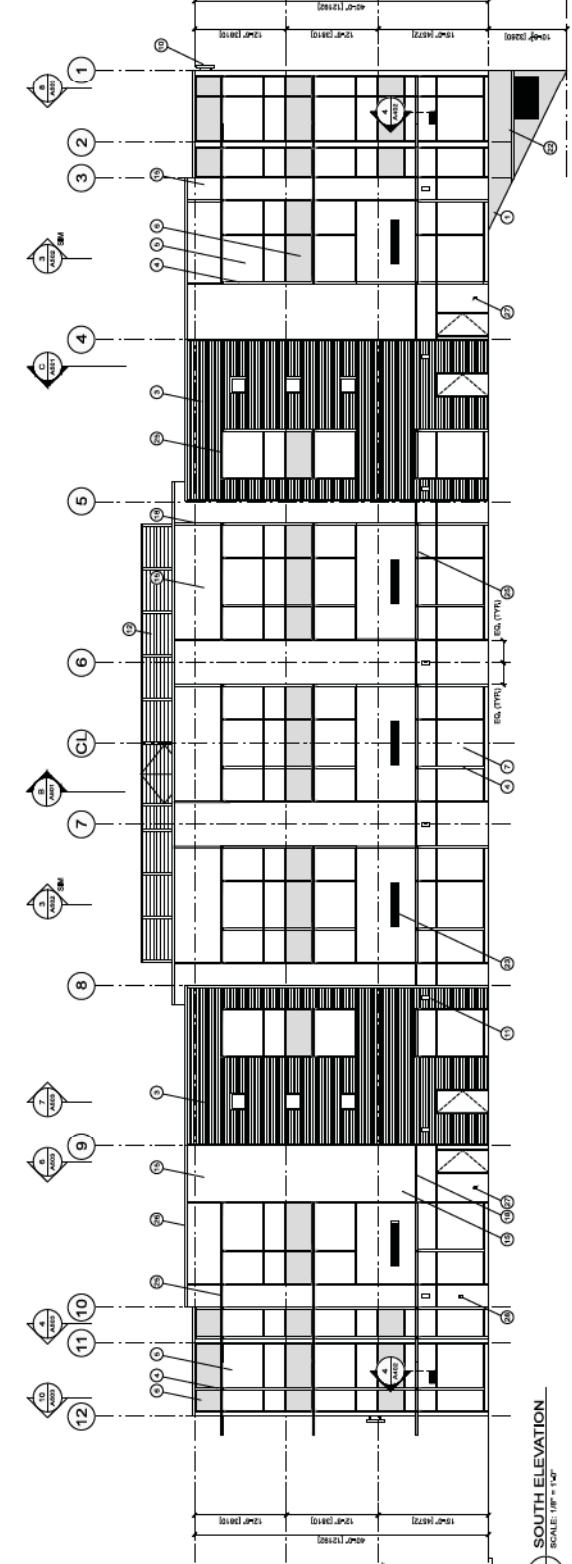
- MATERIALS LEGEND AND NOTES**
- 1 FINISHED CONCRETE
 - 2 COLOUR BENJAMIN MOORE #1549
 - 3 COLOUR INTERIOR PAINT
 - 4 FINISH FINE HOSE CONNECTION
 - 5 COMPOSITE GLAZING - GALVALUME
 - 6 COLOUR CLEAR ANODIZED
 - 7 COLOUR CLEAR ANODIZED
 - 8 COLOUR CLEAR ANODIZED
 - 9 ARCH-CAPPED SEALED LOW-E DOUBLE GLAZING
 - 10 COLOUR CLEAR ANODIZED
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 - 100 COLOUR CLEAR ANODIZED

NOTES:

1. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
2. REFER TO MECHANICAL DRAWINGS FOR SYSTEMS AND EQUIPMENT.
3. REFER TO ELECTRICAL DRAWINGS FOR SYSTEMS AND EQUIPMENT.
4. REFER TO STRUCTURAL DRAWINGS FOR SYSTEMS AND EQUIPMENT.
5. REFER TO CIVIL DRAWINGS FOR SYSTEMS AND EQUIPMENT.
6. REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR SYSTEMS AND EQUIPMENT.
7. REFER TO INTERIOR DESIGN DRAWINGS FOR SYSTEMS AND EQUIPMENT.
8. REFER TO EXTERIOR DESIGN DRAWINGS FOR SYSTEMS AND EQUIPMENT.
9. REFER TO ENVIRONMENTAL CONTROL DRAWINGS FOR SYSTEMS AND EQUIPMENT.
10. REFER TO SAFETY DRAWINGS FOR SYSTEMS AND EQUIPMENT.
11. REFER TO ACCESSIBILITY DRAWINGS FOR SYSTEMS AND EQUIPMENT.
12. REFER TO SUSTAINABILITY DRAWINGS FOR SYSTEMS AND EQUIPMENT.
13. REFER TO ENERGY EFFICIENCY DRAWINGS FOR SYSTEMS AND EQUIPMENT.
14. REFER TO LIGHTING DRAWINGS FOR SYSTEMS AND EQUIPMENT.
15. REFER TO SOUND DRAWINGS FOR SYSTEMS AND EQUIPMENT.
16. REFER TO VIBRATION DRAWINGS FOR SYSTEMS AND EQUIPMENT.
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100. REFER TO INSECT CONTROL CONTROL DRAWINGS FOR SYSTEMS AND EQUIPMENT.



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

Project No. 15270 - HWY #10, Surrey, B.C.
 Panoramic Park
 Environmental Ltd.

CLIENT
 Panoramic Park
 2101
 2101 15th Street, Surrey

DATE
 2023/07/10
 2023/07/10

SCALE
 1/8" = 1'-0"

PROJECT NO.
 A401

- MATERIALS LEGEND AND NOTES**
- PAINTED CONCRETE
 - COLOR BENJAMIN MOORE #15649
 - SPACER PIPE THOSE CONNECTION
 - CONCRETE WITH ALUMINUM ANODIZED
 - CORNER WALL
 - COLOR CLEAR ANODIZED
 - ANODIZED SEALED LOWE DOUBLE GLAZING
 - COLOR GREEN OR YELLOW TO MATCH
 - ANODIZED SEALED LOWE DOUBLE GLAZING
 - COLOR CLEAR (TYPICAL GROUND LEVEL)
 - PAINTED CONCRETE
 - FLUORIDATED GLASS CANOPY
 - BEANER-INDIVIDUAL ILLUMINATED CHANNEL
 - ALL FINISHES TO CONFORM TO
 - CITY OF SURREY SPEC IN LAMINATE AND
 - STORAGE DESIGN CRITERIA
 - PROVIDE CORNER AND TOLLS
 - EXTENSION LIGHTING
 - RTU BEANER-WOOD GRAINE FINISH - FINISHED
 - TO BE MATCHED HEIGHT OF RTU
 - DAMAGE DOOR, OPEN GRILL TO MEET OPTED
 - FLUORID GLAZING
 - PAINTED CONCRETE
 - MOORE #16-108
 - CANOPY-GLASS CONCRETE PLANTER
 - GAS METER
 - 1/2" PANEL REVEAL JOINT
 - SECURITY LIGHT
 - BOLLARDS
 - ISS CANOPY SUPPORT COLUMN
 - MECHANICAL INTAKE GRILL (REFER TO MECH. DRAWINGS)
 - MECHANICAL EXHAUST GRILL (REFER TO MECH. DRAWINGS)
 - PULL TO MEET OPTED INCLUDE POWERED OPERATORS
 - DOOR ACCESS COW BUTTON
 - FRASE SIGNAGE
 - COLOR ANODIZED ALUMINUM
 - PREFINISHED ALUMINUM FLASH
 - COLOR CLEAR ANODIZED
 - MOSE (REFER TO MECH)
 - GAS METER (REFER TO MECH)
 - ISS CANOPY SUPPORT COLUMN
 - SYMPHONY WAVE BEANER
 - YELLOW SIGNAGE
 - MOORE CHANGE BOX STAYS
 - GREEN SPANNING GLASS TO MATCH BENJAMIN MOORE #15649 (RTU)

NOTES:

- ALL FINISHES TO CONFORM TO CITY OF SURREY SPEC IN LAMINATE AND STORAGE DESIGN CRITERIA.
- PROVIDE CORNER AND TOLLS.
- EXTENSION LIGHTING.
- RTU BEANER-WOOD GRAINE FINISH - FINISHED TO BE MATCHED HEIGHT OF RTU.
- DAMAGE DOOR, OPEN GRILL TO MEET OPTED FLUORID GLAZING.
- PAINTED CONCRETE.
- MOORE #16-108.
- CANOPY-GLASS CONCRETE PLANTER.
- GAS METER.
- 1/2" PANEL REVEAL JOINT.
- SECURITY LIGHT.
- BOLLARDS.
- ISS CANOPY SUPPORT COLUMN.
- MECHANICAL INTAKE GRILL (REFER TO MECH. DRAWINGS).
- MECHANICAL EXHAUST GRILL (REFER TO MECH. DRAWINGS).
- PULL TO MEET OPTED INCLUDE POWERED OPERATORS.
- DOOR ACCESS COW BUTTON.
- FRASE SIGNAGE.
- COLOR ANODIZED ALUMINUM.
- PREFINISHED ALUMINUM FLASH.
- COLOR CLEAR ANODIZED.
- MOSE (REFER TO MECH).
- GAS METER (REFER TO MECH).
- ISS CANOPY SUPPORT COLUMN.
- SYMPHONY WAVE BEANER.
- YELLOW SIGNAGE.
- MOORE CHANGE BOX STAYS.
- GREEN SPANNING GLASS TO MATCH BENJAMIN MOORE #15649 (RTU).

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	2023/01/10	WFR	WFR
2	ISSUED FOR PERMIT	2023/01/10	WFR	WFR
3	ISSUED FOR PERMIT	2023/01/10	WFR	WFR
4	ISSUED FOR PERMIT	2023/01/10	WFR	WFR
5	ISSUED FOR PERMIT	2023/01/10	WFR	WFR
6	ISSUED FOR PERMIT	2023/01/10	WFR	WFR
7	ISSUED FOR PERMIT	2023/01/10	WFR	WFR
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19	ISSUED FOR PERMIT	2023/01/10	WFR	WFR
20	ISSUED FOR PERMIT	2023/01/10	WFR	WFR

PROJECT:
15270 - Hwy. #10, Surrey, B.C.
Panorama Park
Environment Ltd.

Sheet No: BUILDING 1-EW Elevations

Scale: 1/8" = 1'-0"

DATE: 2023/01/10
PROJECT NO.: 21011
CLIENT: ENVIRONMENT LTD.

DESIGNED BY: WALTER FRANCL ARCHITECTURE INC.
DATE: 2023/01/10

PROJECT NO.: 21011
CLIENT: ENVIRONMENT LTD.

DATE: 2023/01/10
PROJECT NO.: 21011
CLIENT: ENVIRONMENT LTD.

DATE: 2023/01/10
PROJECT NO.: 21011
CLIENT: ENVIRONMENT LTD.

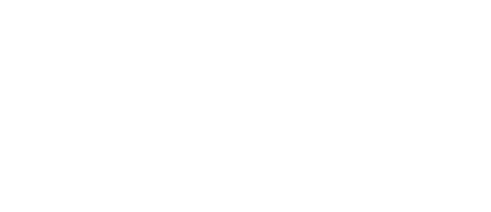
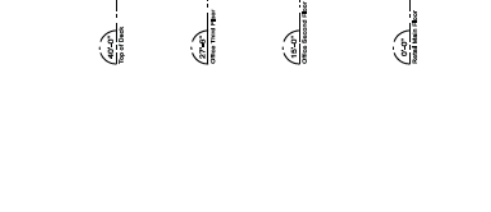
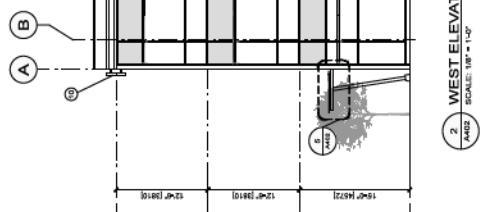
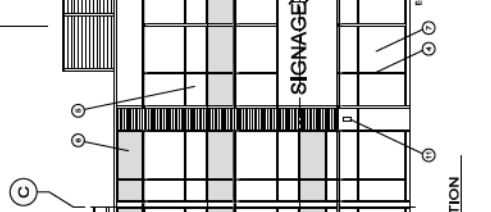
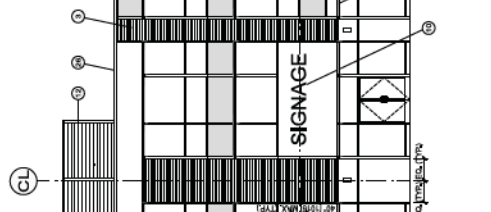
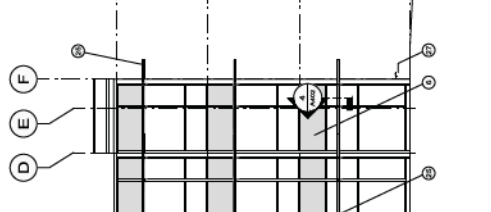
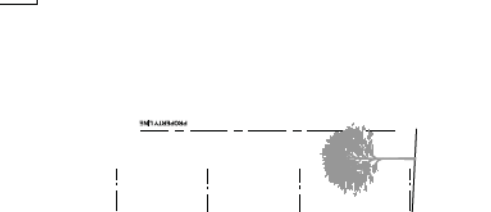
DATE: 2023/01/10
PROJECT NO.: 21011
CLIENT: ENVIRONMENT LTD.

DATE: 2023/01/10
PROJECT NO.: 21011
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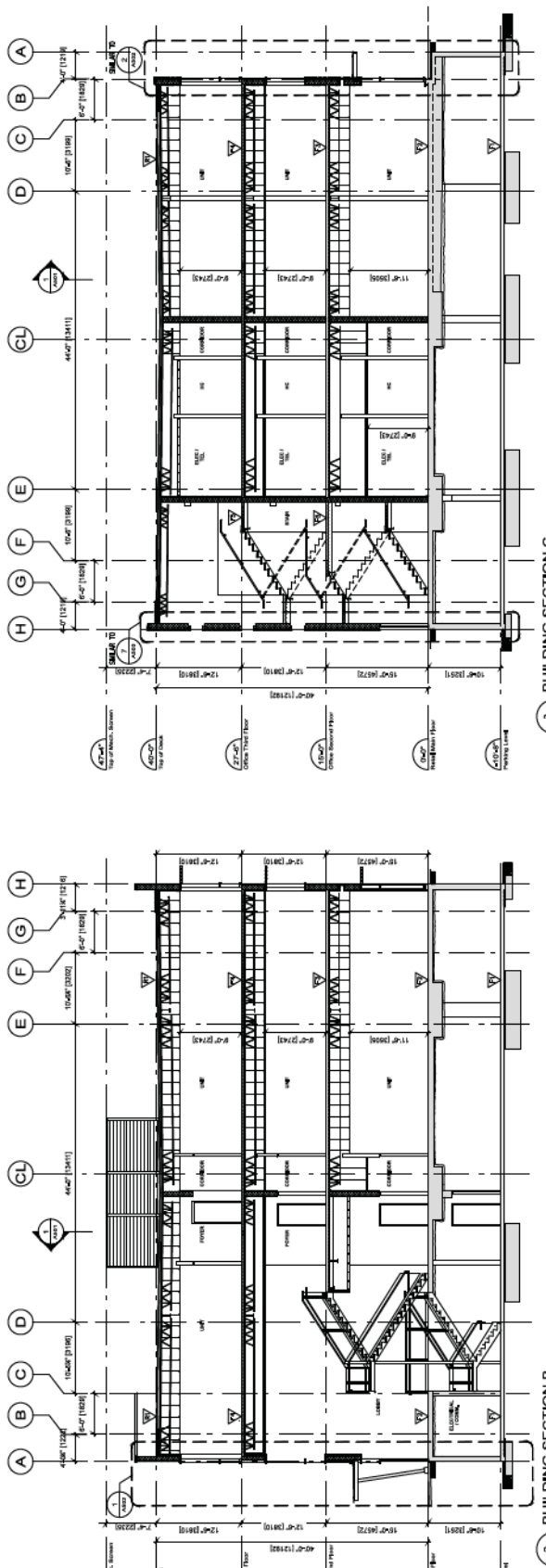
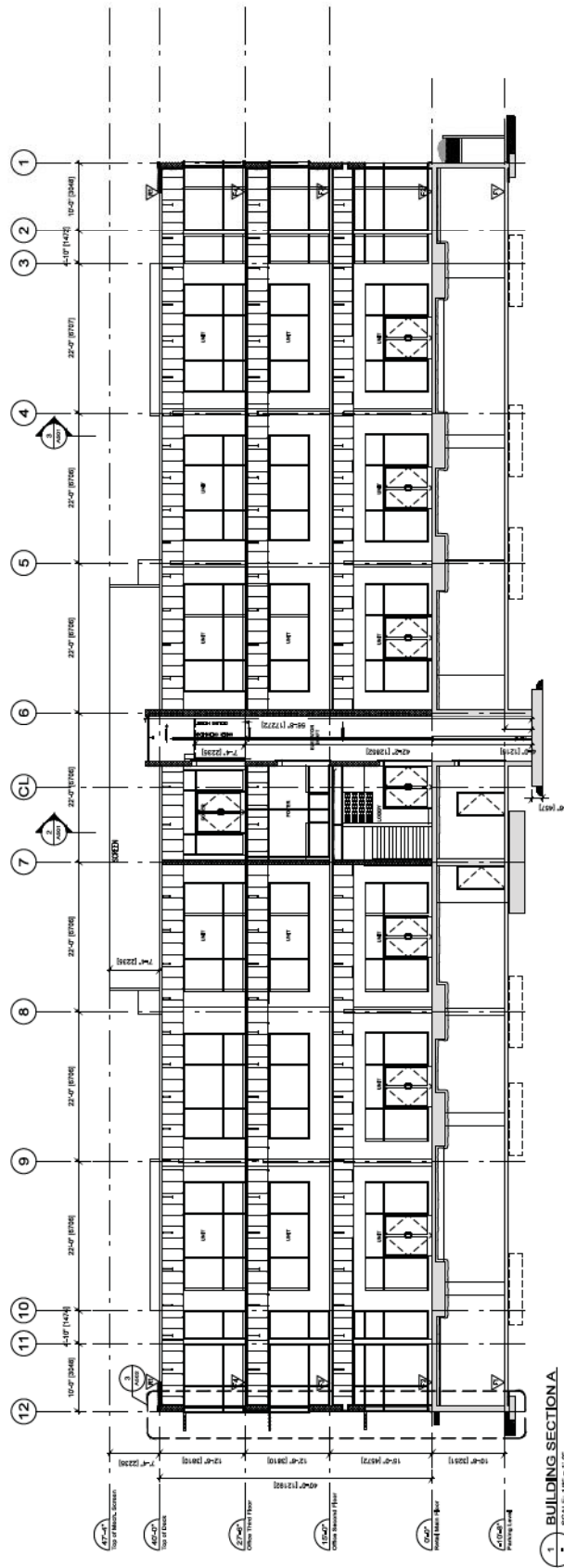
NO.	DESCRIPTION
1	CONCRETE
2	CHALK PLASTER
3	INSULATION
4	GLASS
5	WOOD
6	STEEL
7	MECHANICAL
8	ELECTRICAL
9	PLUMBING
10	MECHANICAL
11	ELECTRICAL
12	PLUMBING

Building 1
 15270 - Hwy. # 10, Surrey, B.C.
 15270 - Hwy. # 10, Surrey, B.C.
 Investments Ltd.

BUILDING 1 - Sections

Scale: 1/8" = 1'-0"
 Drawing No. A501
 Project No. 21191
 Date: 10/15/10

1
 2
 3



Location:
Notes:

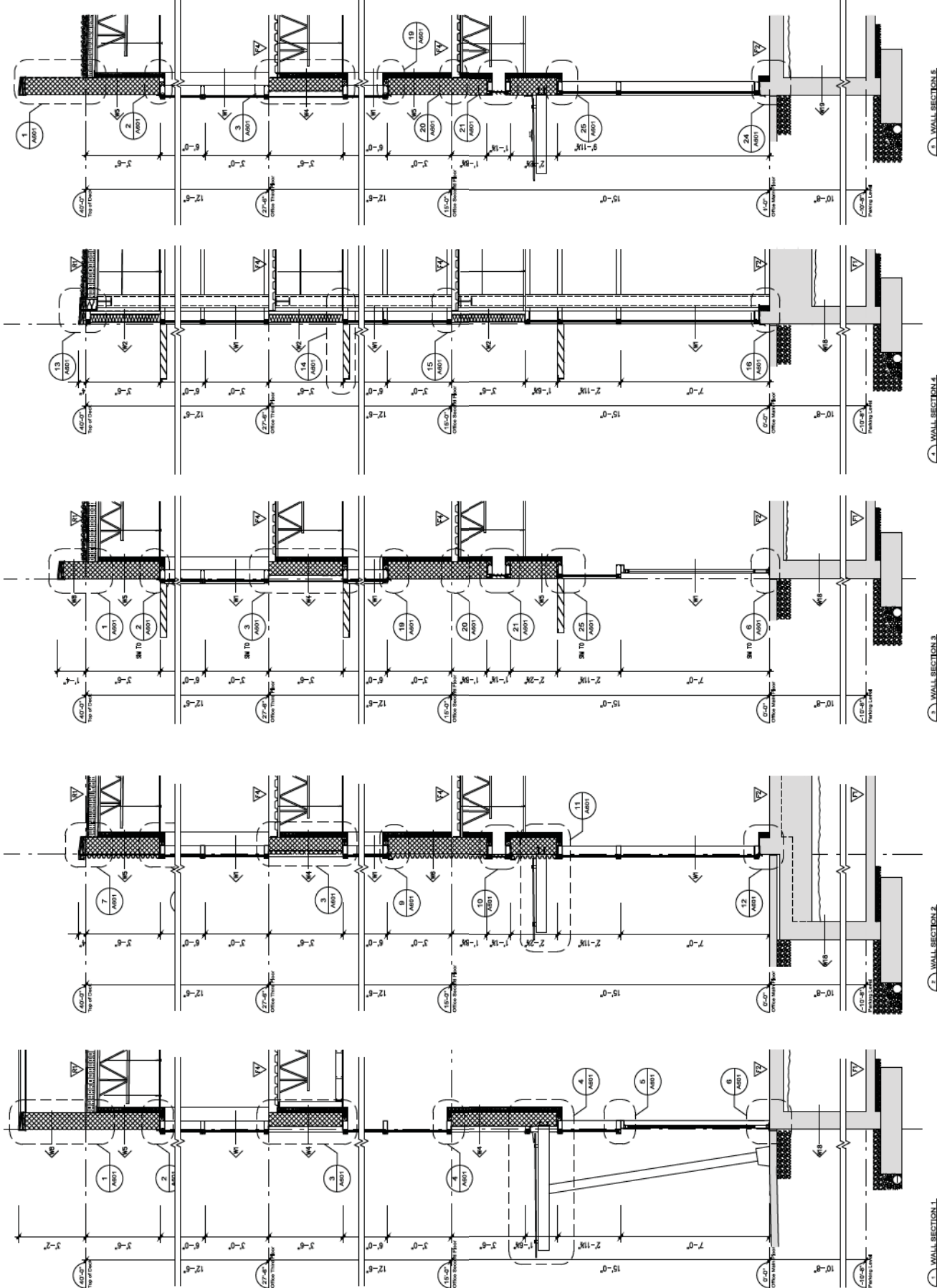
PROJECT NO.	20180117
DATE	2018.01.17
PROJECT NAME	16270 - High #10, Surrey, B.C.
CLIENT	Panorama Park Investments Ltd.
DESIGNER	WALTER FRANCL ARCHITECTURE INC.
DATE	2018.01.17
PROJECT NO.	20180117
DATE	2018.01.17
PROJECT NAME	16270 - High #10, Surrey, B.C.
CLIENT	Panorama Park Investments Ltd.
DESIGNER	WALTER FRANCL ARCHITECTURE INC.
DATE	2018.01.17

16270 - High #10, Surrey, B.C.
Panorama Park Investments Ltd.

BUILDING I - Wall Sections

Drawn by:
Checked by:
Date: 20180117
Project No: 20180117
Sheet No: 01

Scale: 1/2" = 1'-0"
Project No: A502
Sheet No: 21/31
Date: 2018.01.17



1 WALL SECTION 1
SCALE: 1/2" = 1'-0"

2 WALL SECTION 2
SCALE: 1/2" = 1'-0"

3 WALL SECTION 3
SCALE: 1/2" = 1'-0"

4 WALL SECTION 4
SCALE: 1/2" = 1'-0"

5 WALL SECTION 5
SCALE: 1/2" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR RFP	
2	REVISED FOR CONSTRUCTION	

Architect's Name
Project No.

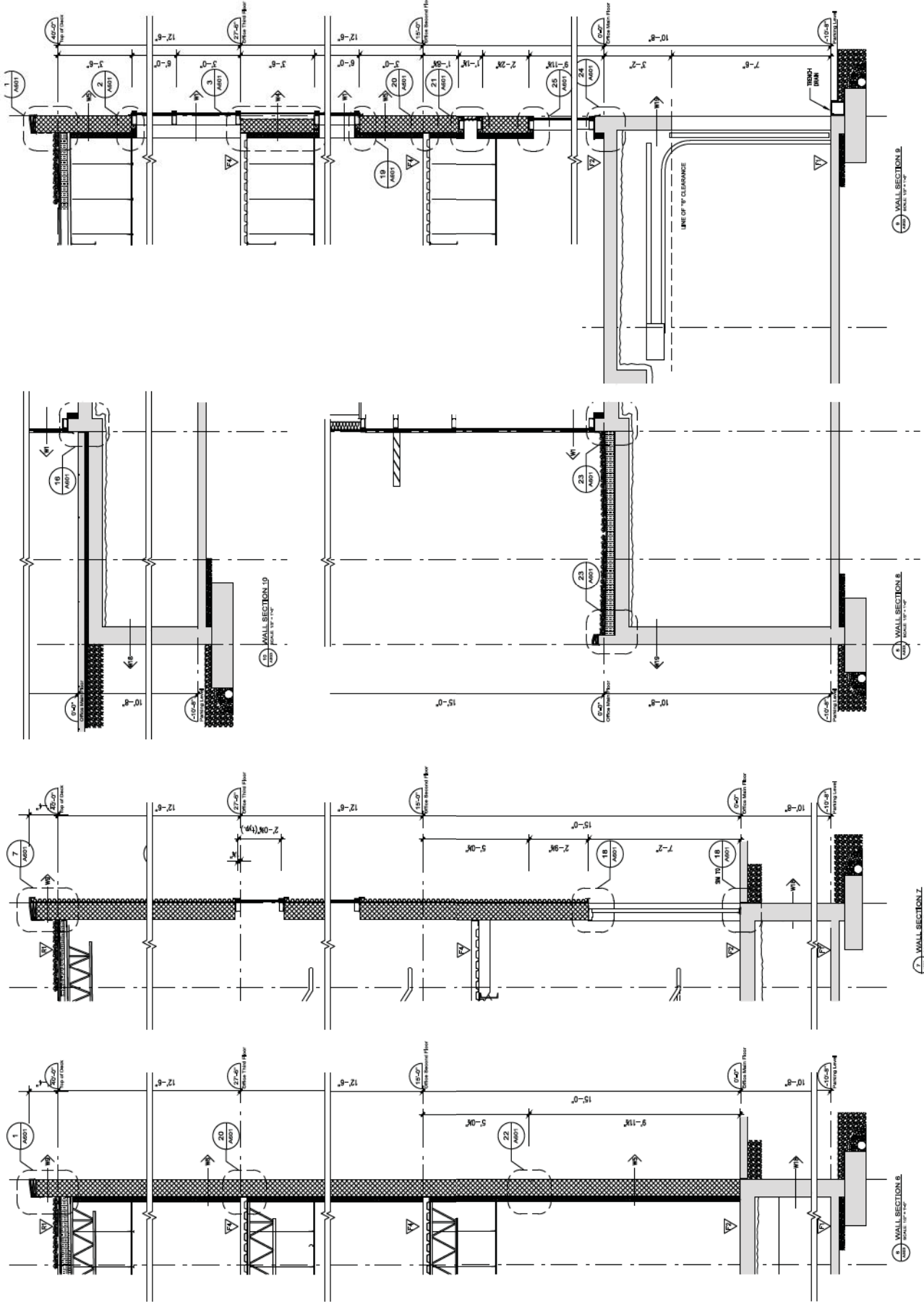
Building 1
15270 - Hwy # 10, Surrey, B.C.
Panorama Park
Investments Ltd.

Sheet No.
BUILDING 1 - Wall Sections

This drawing is an integral part of the contract documents for the project. It is to be read in conjunction with the other contract documents. The contractor shall be responsible for verifying the accuracy of the information shown on this drawing. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary materials and labor. The contractor shall be responsible for the quality of the workmanship and materials used. The contractor shall be responsible for the safety of the construction site. The contractor shall be responsible for the completion of the project on time and within budget.

Drawn by
Checked by
Date
Scale

Scale: 1/2" = 1'-0"
Project No. 21101
Sheet No. A503



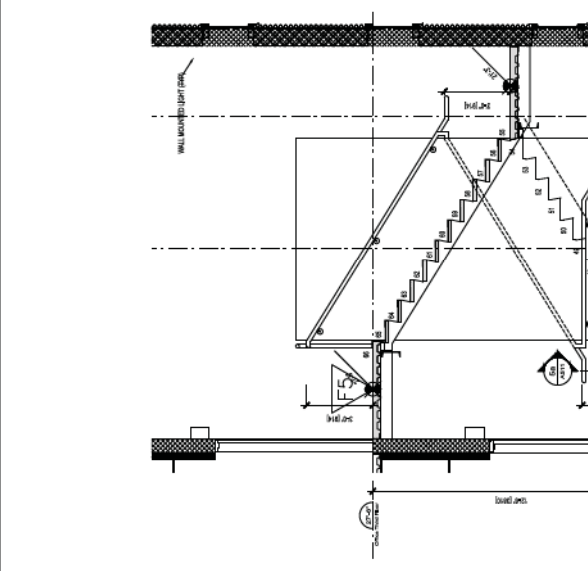
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2	FOUNDATION	CONCRETE
3	FOUNDATION	CONCRETE
4	FOUNDATION	CONCRETE
5	FOUNDATION	CONCRETE
6	FOUNDATION	CONCRETE
7	FOUNDATION	CONCRETE
8	FOUNDATION	CONCRETE
9	FOUNDATION	CONCRETE
10	FOUNDATION	CONCRETE
11	FOUNDATION	CONCRETE
12	FOUNDATION	CONCRETE
13	FOUNDATION	CONCRETE
14	FOUNDATION	CONCRETE
15	FOUNDATION	CONCRETE
16	FOUNDATION	CONCRETE
17	FOUNDATION	CONCRETE
18	FOUNDATION	CONCRETE
19	FOUNDATION	CONCRETE
20	FOUNDATION	CONCRETE

Project No. 15270-Hwy. #10, Surrey, B.C.
 Panorama Park
 Investments Ltd.

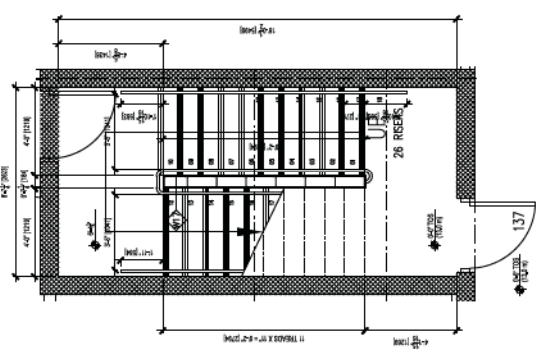
Sheet No. East and West Stair Plans / Sections

Drawn By: ML
 Checked By: MT
 Date: 2019/07/17
 Revision: 2019/07/17

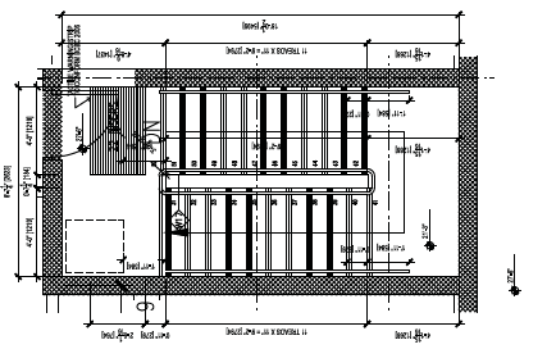
Scale: 3/8" = 1'-0"
 Project No. A510
 Date: 2019/07/17
 2119 - Milliken & Associates



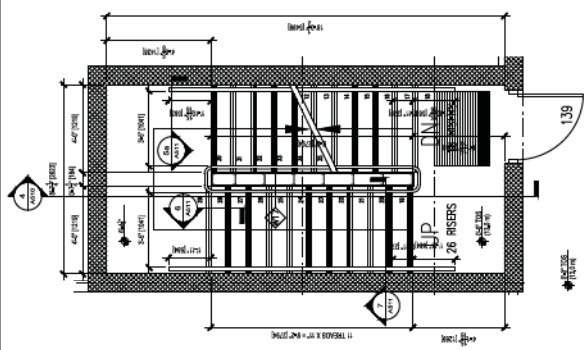
4 STAIR SECTION
 A510 SCALE: 3/8" = 1'-0"



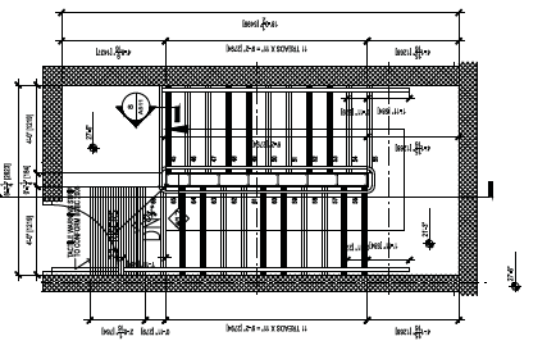
11 EAST STAIR PLAN-GROUND LEVEL
 A510 SCALE: 3/8" = 1'-0"



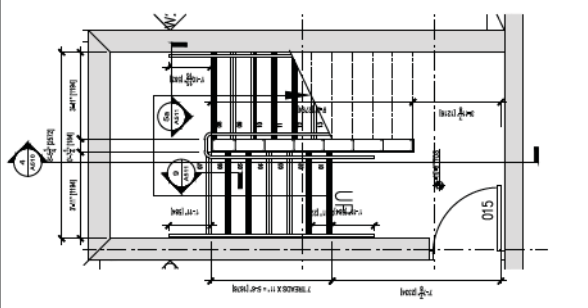
10 EAST STAIR PLAN-LEVEL 3
 A510 SCALE: 3/8" = 1'-0"



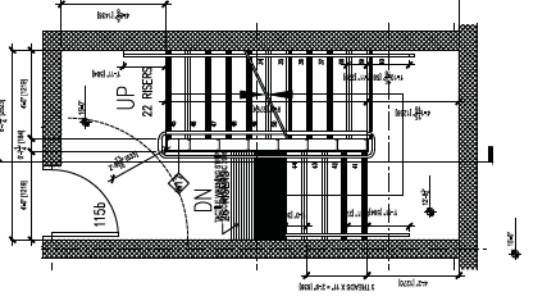
8 WEST STAIR PLAN-GROUND LEVEL
 A510 SCALE: 3/8" = 1'-0"



3 WEST STAIR PLAN-LEVEL 3
 A510 SCALE: 3/8" = 1'-0"

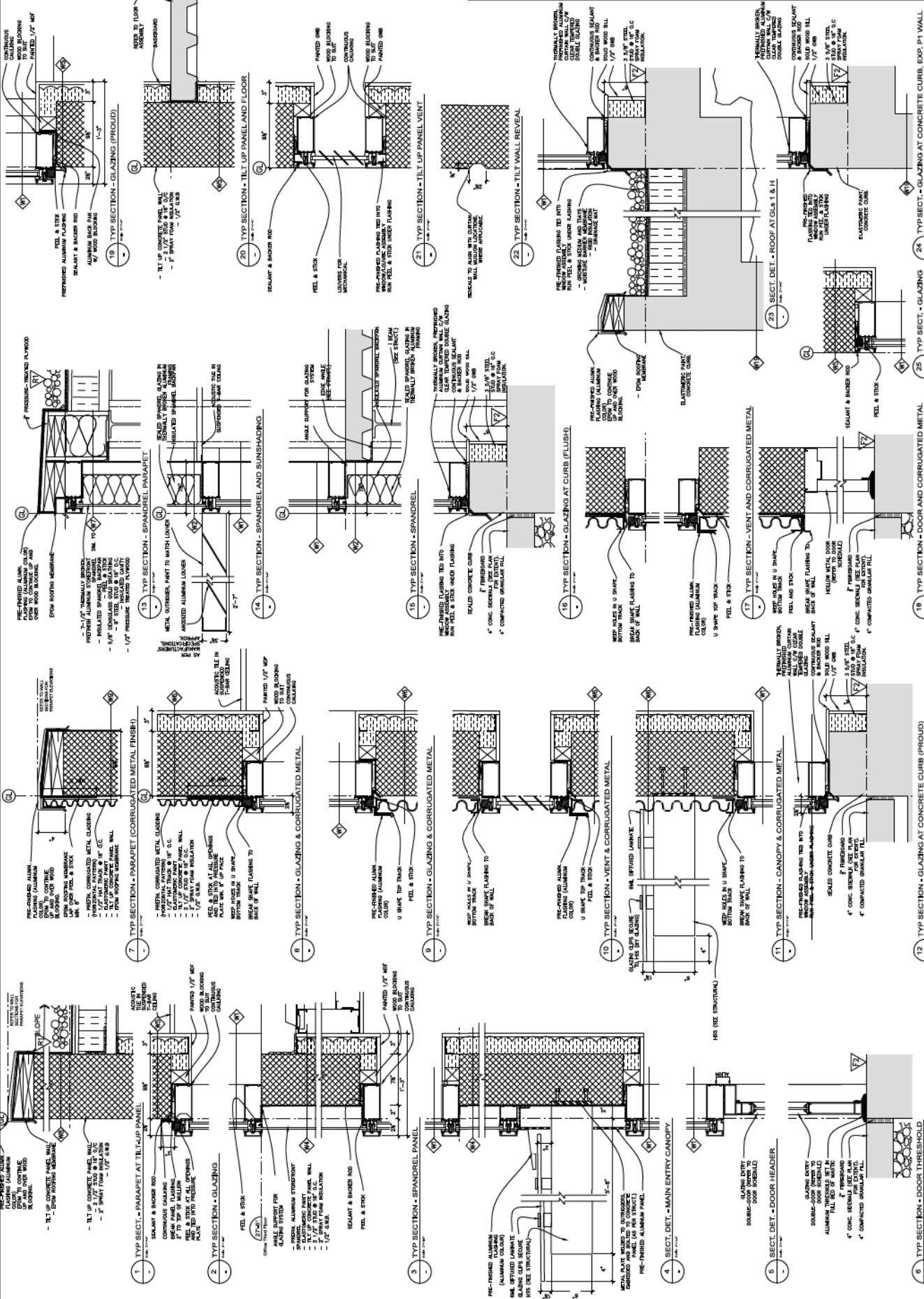


9 WEST STAIR PLAN-P1
 A510 SCALE: 3/8" = 1'-0"



2 WEST STAIR PLAN-LEVEL 2
 A510 SCALE: 3/8" = 1'-0"

PROJECT NO.	A601
DATE	2010
DESIGNED BY	WALTER FRANCL
DRAWN BY	WALTER FRANCL
CHECKED BY	WALTER FRANCL
APPROVED BY	WALTER FRANCL
PROJECT NAME	15270 - HWY #10, SUITE 101, SURREY, B.C.
CLIENT	PANORAMA PARK INVESTMENTS LTD.
DESCRIPTION	DETAILS
SCALE	1/2" = 1'-0"
SHEET NO.	10
TOTAL SHEETS	10



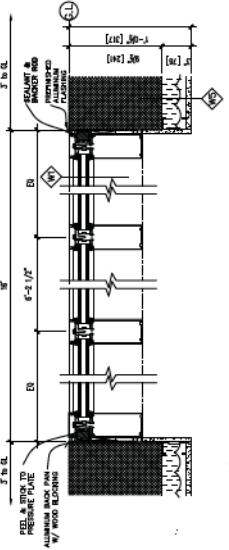
Contract No. _____
Sheet No. _____

PROJECT NO.	123345
CLIENT	PARSONS PARK INVESTMENTS LTD.
DATE	2023.05.15
SCALE	AS NOTED

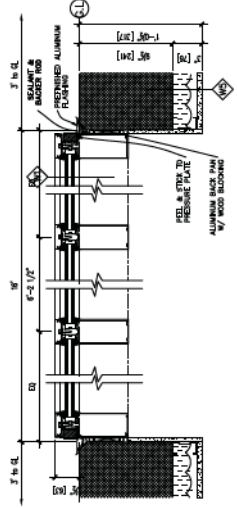
Building 1
15270 - Hwy. #10, Surrey, B.C.
Parsons Park
Investments Ltd.

DATE	2023.05.15
BY	WALTER FRANCL
CHECKED BY	WALTER FRANCL
PROJECT NO.	123345
SCALE	AS NOTED

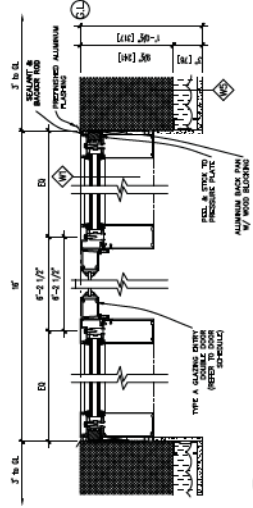
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Title: A602
Date: 2023.05.15



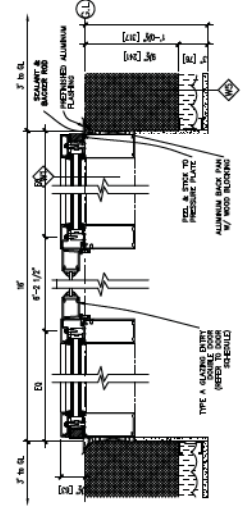
1 TYP CURTAINWALL ASSEMBLY - GROUND



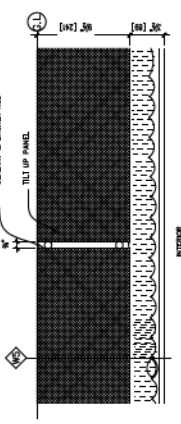
2 MAIN DOOR (12345) ASSEMBLY



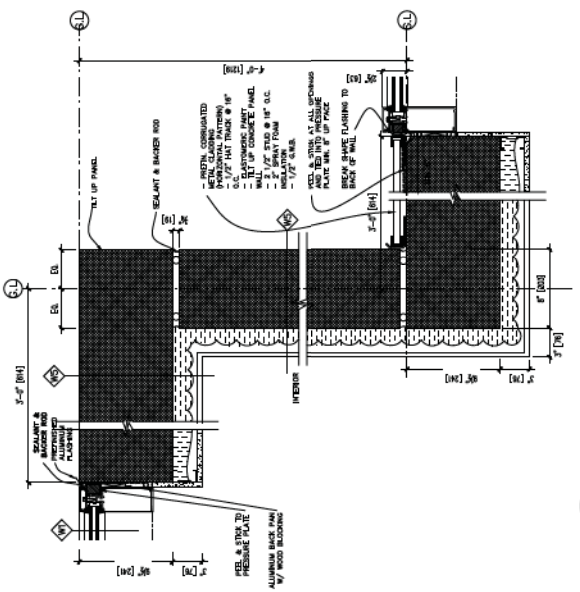
3 TYP DOOR ASSEMBLY



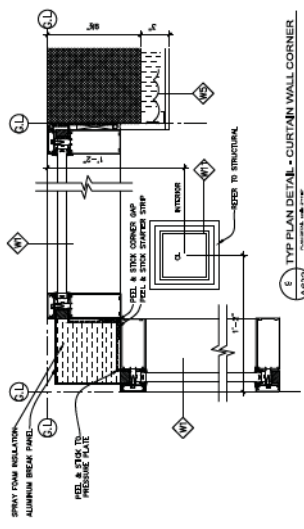
4 MAIN DOOR (12345) ASSEMBLY



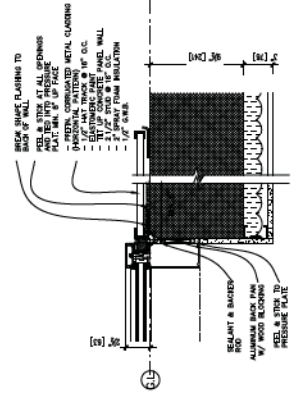
5 TYP PLAN DETAIL - TILT UP PANEL JOINTS



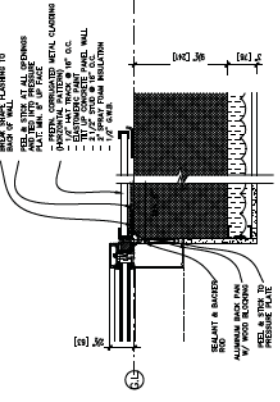
6 TYP PLAN DETAIL - TILT PANEL CORNER



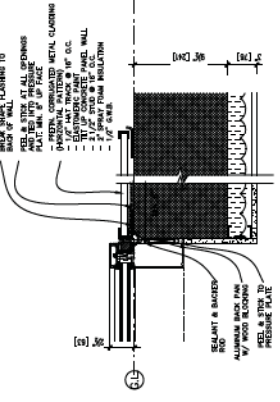
7 TYP PLAN DETAIL - CURTAIN WALL CORNER



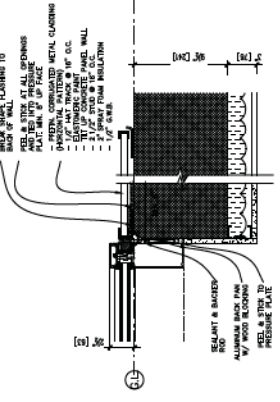
8 TYP PLAN DETAIL



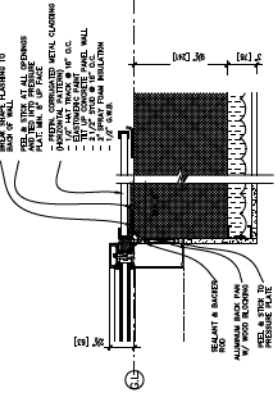
9 TYP PLAN DETAIL



10 TYP PLAN DETAIL - CURTAIN WALL CORNER



11 TYP PLAN DETAIL



12 TYP PLAN DETAIL

Contract No.
 15270

No.	Issue	Description
1	Initial Release	
2	Revised	
3	Final	

Project No.
 15270 - Hwy. #10, Surrey, B.C.
 Panorama Park
 Investments Ltd.

Sheet No.
Details

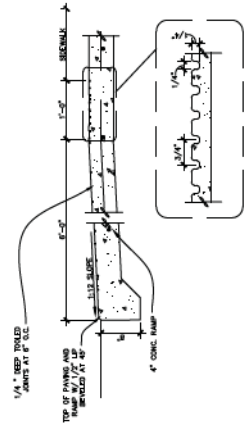
Drawn by J. B. [Name]	Checked by [Name]
Date 2019/07/11	Project No. 15270
Scale 1/2" = 1'-0"	Client PANORAMA PARK INVESTMENTS LTD.

Scale
 AS NOTED

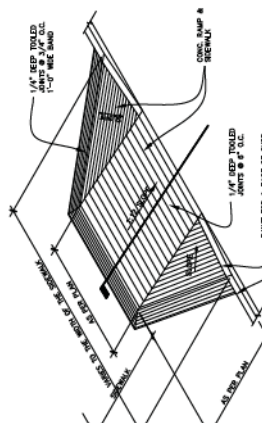
Project No.
 15270

Client
 PANORAMA PARK INVESTMENTS LTD.

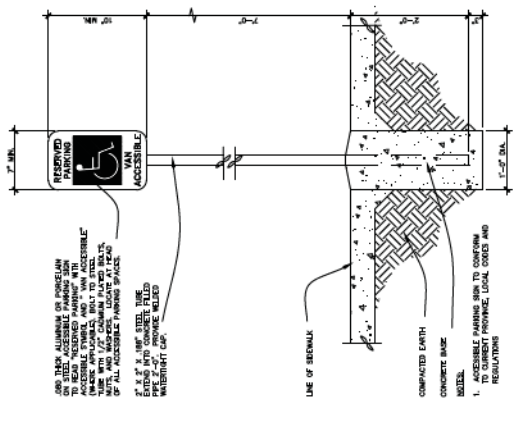
Sheet No.
A603



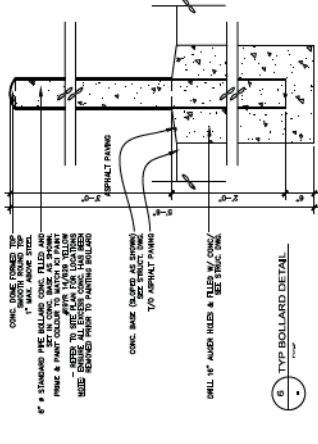
4 SECTION DETAIL AT H/C LETDOWN



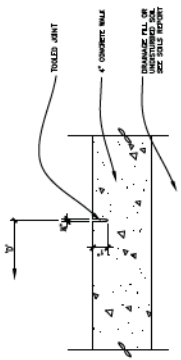
3 ISOMETRIC DETAIL AT H/C LETDOWN



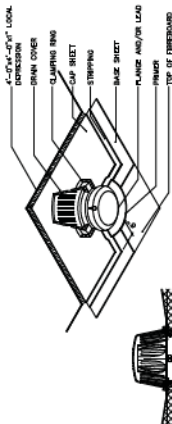
7 TYP ACCESSIBLE PARKING SIGN DETAIL



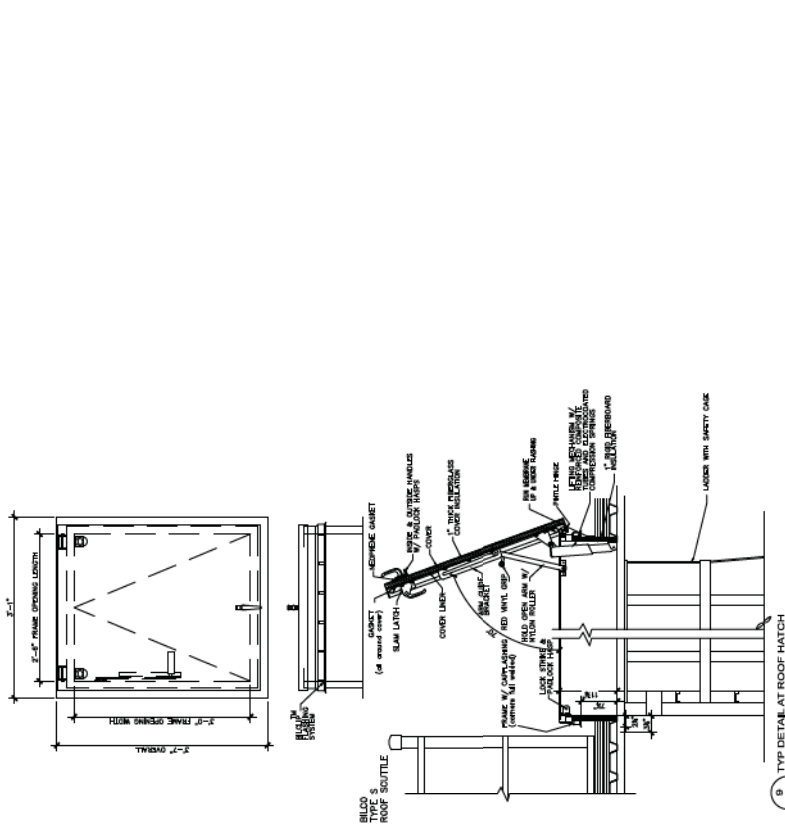
6 TYP BOLLARD DETAIL



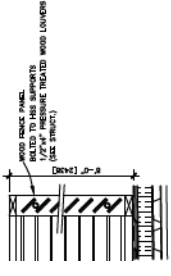
5 TYP CONTROL JOINT AT SIDEWALK



8 TYP ROOF DRAIN DETAIL



9 TYP DETAIL AT ROOF HATCH



10 MECHANICAL EQUIPMENT SCREEN

1/4" DEEP TYPED JOINTS AT 6' O.C.

TYPED EXPANSION JOINTS AT 12' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

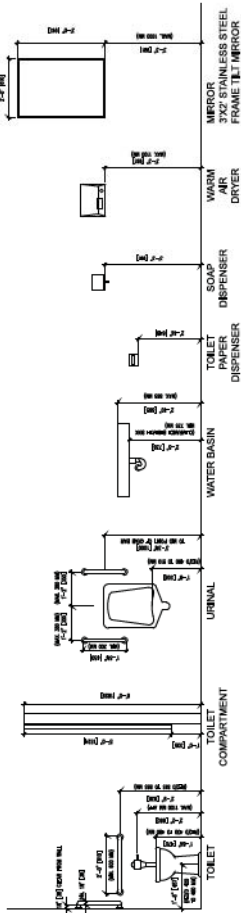
1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

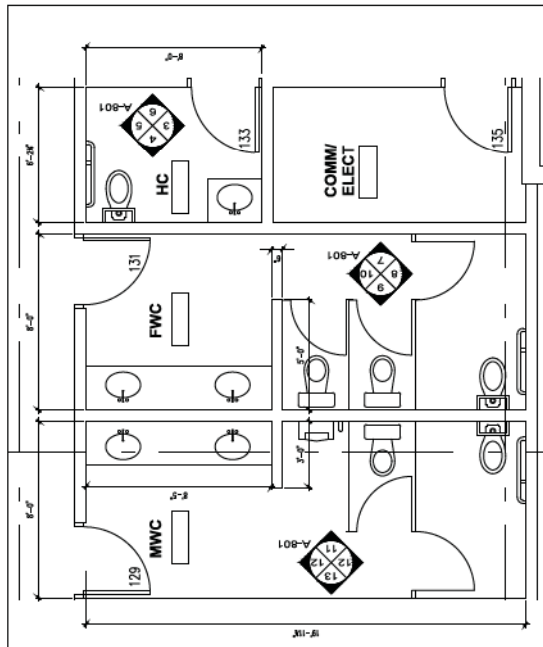
1/4" DEEP TYPED JOINTS AT 6' O.C.

1/2" DEEP EXPANSION JOINTS AT 12' O.C.

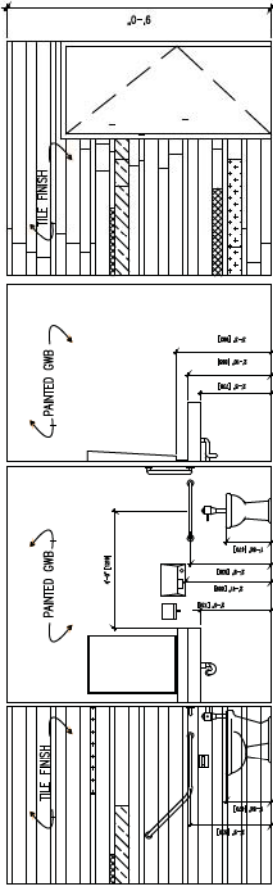
FIXTURE HEIGHTS ACCORDING TO 3.7, 3.7A, 10 BCBC 2005



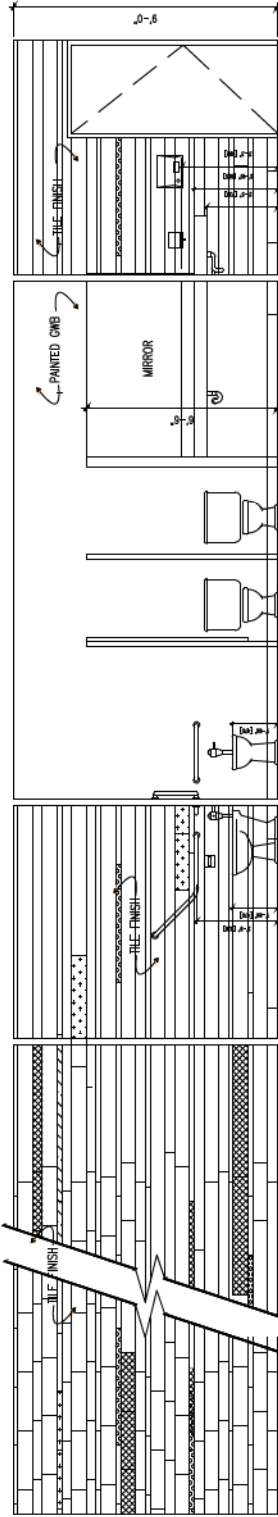
2 TYPICAL FIXTURE HEIGHTS
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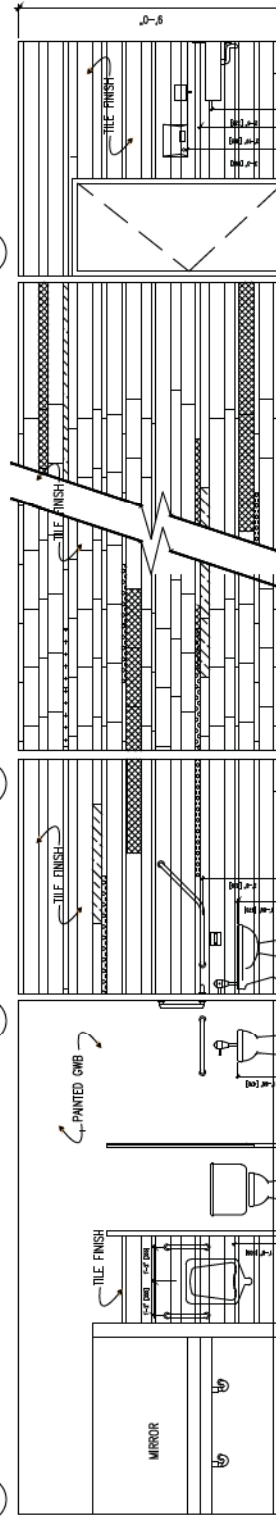
1 FLOOR PLAN - WASHROOMS @ L1, 2 & 3
 SCALE: 3/8" = 1'-0"



3 ELEVATION HC. SCALE: 1/2" = 1'-0"
 4 ELEVATION HC. SCALE: 1/2" = 1'-0"
 5 ELEVATION HC. SCALE: 1/2" = 1'-0"
 6 ELEVATION HC. SCALE: 1/2" = 1'-0"



7 ELEVATION FWC. SCALE: 1/2" = 1'-0"
 8 ELEVATION FWC. SCALE: 1/2" = 1'-0"
 9 ELEVATION FWC. SCALE: 1/2" = 1'-0"
 10 ELEVATION FWC. SCALE: 1/2" = 1'-0"



11 ELEVATION MWC. SCALE: 1/2" = 1'-0"
 12 ELEVATION MWC. SCALE: 1/2" = 1'-0"
 13 ELEVATION MWC. SCALE: 1/2" = 1'-0"
 14 ELEVATION MWC. SCALE: 1/2" = 1'-0"

LEGEND

FINISHES TO BE USED IN THIS PROJECT

1. TILE FINISH: 3x6x6 Ceramic Tile

2. PAINTED GMB: Painted Gypsum Board

3. ...

... (Additional legend items and notes)

ENGINEERING NOTES

A. GENERAL NOTES

- THESE DRAWINGS MUST NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. STARTING WORK IMPLIES ACCEPTANCE.
- IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER/ENGINEER AND THE CITY IN WRITING OF SUCH ERRORS AND OMISSIONS. FALLING TO GIVE WRITING OF SUCH ERRORS AND OMISSIONS SHALL BE THE RESPONSIBILITY FOR THE RESULTS OF ANY ERRORS OR OMISSIONS AND THE COST OF RECTIFYING SAME.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF THOROUGHLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES AND NOTES RELATING TO THIS PROJECT. THIS INCLUDES ALL SUB-CONSULTANT'S WORK.
- SUBMIT FOR THE DESIGNER/ENGINEER REVIEW MINIMUM 5 COPIES OF EVERY DRAWING TO THE DESIGNER/ENGINEER. THE DESIGNER/ENGINEER'S REVIEW COMMENTS TO GENERAL DESIGN ONLY ERRORS IN DIMENSION AND QUANTITY WILL BE NOTED, IF NOTICED, BUT THIS WILL NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO COMPLETE THE WORK.
- SLOPE FINISH GRADE AWAY FROM BUILDINGS MINIMUM 1% TO PROVIDE ADEQUATE DRAINAGE AWAY FROM BUILDINGS.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR FLOOR ELEVATIONS.
- REFER TO ARCHITECT DRAWINGS FOR BUILDING AND ROAD LOCATIONS.
- SURVEY LAYOUT OF ALL ROADS/DRY'S AND UTILITIES TO BE CONDOMINATED WITH THE BUILDING LAYOUT PRIOR TO ANY CONSTRUCTION TO ENSURE THAT THERE ARE NO CONFLICTS.
- ON-SITE CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE MASTER MUNICIPAL SPECIFICATIONS AND STANDARDS, THE BRITISH COLUMBIA DEPARTMENT STANDARDS AND THE APPLICABLE BUILDING INSPECTION PLUMBING CODE, LATEST EDITION.
- RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT SHALL BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. IF THE CONTRACTOR ENTERS ONTO PRIVATE PROPERTY, THE CONTRACTOR OR DEVELOPER'S AGENT WILL REQUIRE AUTHORIZATION FROM THE PRIVATE PROPERTY OWNERS(S).
- THE LOCATION AND ELEVATION OF ALL EXISTING SERVICES ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO THE START OF THE LOCATION. ANY CONFLICT SHOULD BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL WORK SHALL PASS INSPECTION BY THE CITY AND THE DEVELOPER'S CONSULTING ENGINEERS.

B. ROADWORK NOTES

- CONTRACTOR TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF THE FACE TESTING DURING THE CONSTRUCTION OF THE STRUCTURE TO VERIFY THE ADEQUACY OF THE PAVED STRUCTURE AND EXISTING PAVEMENT STRUCTURE AND SUB-GRADE. REFER TO GEOTECHNICAL CONSULTANTS PAVEMENT DESIGN RECOMMENDATIONS.
- CHANGES OF GRADE SHALL BE FORMED BY SMOOTH CURVES.
- ALL SUB-GRADES AND GRANULAR BASE MATERIALS TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY, AT OPTIMUM MOISTURE CONTENT.
- ALL LOOSE OR ORGANIC MATERIAL TO BE EXCAVATED FROM PROPOSED PAVEMENT AREAS.
- THE CONDITIONS FOR PLACING ASPHALT PAVEMENT AND P.C. CONCRETE SHALL CONFORM WITH THE MASTER MUNICIPAL SPECIFICATIONS AND THE MUNICIPAL CONTRACT DOCUMENTS APPLICABLE AT THE TIME OF CONSTRUCTION. SHOULD DEVIATIONS BE ALLOWED FROM THESE SPECIFICATIONS, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY OF SUCH CHANGES.
- THE BOULEVARD AREAS TO BE PREPARED IN APPROPRIATE FASHION FOR DRIVEWAY AND PARKING AREA SURFACING WHERE DESIGNATED OR FOR LANDSCAPING (INCLUDING TRAFFIC ISLANDS) WHERE REQUIRED.

C. STORM SEWER NOTES

- FLOOD PATHS TO BE GRADED AT ONSET OF CONSTRUCTION AND MAINTAINED IN OPERATING CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. FLOOD PATHS SHOULD NOT BE USED FOR STORAGE OF MATERIAL OR EQUIPMENT DURING CONSTRUCTION, WHICH MAY INTERFERE WITH OR REDIRECT FLOWS.
- DURING CONSTRUCTION, POSITIVE SITE DRAINAGE TO MAJOR FLOOD PATH SHALL BE MAINTAINED WHEREVER POSSIBLE TO ENSURE CONTAINMENT OF MAJOR STORM RUNOFF.
- CATCH BASIN TO BE 600mm DIAMETER WITH 450mm SUMP SPECIFIED. ALL CATCH BASIN RIMS TO BE SET 30mm BELOW FINISHED GRADE ELEVATION, OR AS SHOWN ON THE PLANS.
- FINISHED GRADE OF LAWN DRAINS AND MANHOLE LIDS IN LANDSCAPED AREAS TO BE IN ACCORDANCE WITH LOT GRADING PLANS. REFER TO LANDSCAPE ARCHITECT PLANS FOR WALKWAY, WALL DETAILS AND GRADING. LAWN BASIN DETAILS TO BE AS SHOWN ON THE PLANS. FINISHED GRADE PROPOSED TO ACCOMMODATE LANDSCAPING AND WHICH AFFECT SITE GRADING ARE TO BE RE-VIEWED BY COASTLAND ENGINEERING PRIOR TO CONSTRUCTION. WHERE RETAINING WALLS/TERRACES ARE REQUIRED, DETAILS ARE TO BE CONFIRMED AT TIME OF LANDSCAPING (BY OTHERS TYPICAL).
- ALL CATCH BASIN LEADS SHALL BE MINIMUM 150mm DIAMETER UNLESS OTHERWISE NOTED.



SHEET NO. 1 OF 5 PROJECT NO. 2083.4 DATE: JUNE 2010 DRAWN BY: JAY CHECKED BY: JAY APPROVED BY: JAY		SCALE: 1:5000 DRAWN BY: MEH CHECKED BY: JAY APPROVED BY: JAY		SHEET NO. 1 OF 5 PROJECT NO. 2083.4 DATE: JUNE 2010 DRAWN BY: JAY CHECKED BY: JAY APPROVED BY: JAY	
PANORAMA PARK INVESTMENTS LTD. 6/6 RICHMOND COLLEGE TELEPHONE: (604) 542-6808 SUITE 300, 1959 - 152 STREET, SURREY, B.C. V4A 6J3					
GENERAL NOTES AND SITE PLAN BUILDING I - 15270-HWY #10					
Coastland engineering & surveying ltd. 117-01-2012-AMS-MPH SECOND RE-ISSUE FOR ADP 117-01-2012-AMS-MPH SECOND RE-ISSUE FOR ADP 1 Date 12m 12m 12m 12m 12m 12m					

DATE: 1-10-2012
 DRAWN BY: JAY
 CHECKED BY: JAY
 APPROVED BY: JAY
 SHEET NO. 1 OF 5
 PROJECT NO. 2083.4
 DATE: JUNE 2010
 DRAWN BY: JAY
 CHECKED BY: JAY
 APPROVED BY: JAY



Hwy #10

153'A ST.

54'A AVE.

Scale	1:250
Client	MEH
Project	AMES
Drawn	FRY
Checked	FRY
Approved	FRY
Date	JUNE, 2010
Sheet No.	2
Project No.	2083.4
Revision	# 5

Site Address For Survey
 S.W.C. 15523
 Highway #10

PANORAMA PARK INVESTMENTS LTD
 6/6 RICHMOND COLLEGE TELEPHONE (604) 542-6808
 SUITE 300, 1959 - 152 STREET, SURREY, B.C. V4A 8J3

SITE GRADING PLAN
BUILDING I - 15270-HWY #10

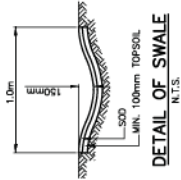
Coastland
 engineering & surveying ltd.
 1010 - 198 STREET, SURREY, B.C. V4A 2Y5
 TEL: (604) 532-2725 FAX: (604) 532-2721



Rev	Date	By	Description
2	17.01.2012	AMS	SECOND RE-ISSUE FOR ADP
1	13.11.2011	AMS	NORTH SIDE PARKING LOT RE-REVISED

Lot Description:
 LOT A,
 PLAN SFP 49333,
 TOWNSHIP 2,
 NEW WESTMINSTER DISTRICT

ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY POINT LOCATED AT THE INTERSECTION OF 152 STREET & COLEBROOK ROAD, SURREY
 ELEVATION: 1.088m.



DETAIL OF SWALE
N.T.S.

VARIES
 REFER TO ARCHITECT'S DRAWINGS
 MIN. 1% (TYP)
 VARIATION
 REFER TO REPORT BY GEOTECHNICAL CONSULTANT FOR PROPOSED ROAD AND PARKING PAVEMENT STRUCTURES.

- LEGEND**
- MAIN FLOOR ELEVATION OF BUILDING
 - SWALE AT MIN. 1.0%
 - OVERLAND FLOW DIRECTION
 - FINISHED SURFACE ELEVATION
 - 450M LAWN BASKIN (RM ELEV)
 - CATCH BASIN (RM ELEV)
 - EXISTING GROUND CONTOUR
 - EXISTING GROUND ELEVATION
 - ASPHALT PAVING
 - CONCRETE SIDEWALK
 - RAISED WALKWAY
 - CONCRETE CURB (0.15m IN HEIGHT)
 - BUILDING NUMBER
 - RODLINE

REFER TO ARCHITECT'S PLANS AND GEOTECHNICAL REPORT FOR DETAILS

TYPICAL ROAD AND PARKING SECTION
N.T.S.

ALL ELEVATIONS AND DIMENSIONS ARE METRIC

MAX. 1.20m HIGH RETAINING WALL C/W HANDRAIL FROM 8' TO TOP OF WALL AT 2:1(H):1(V)

MAX. 1.84m HIGH RETAINING WALL C/W HANDRAIL (BY OTHERS) ABOVE AREA ABOVE WALL AT 2:1(H):1(V)

GRADES AT MAX 3%(H):1(V) (TYP.)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

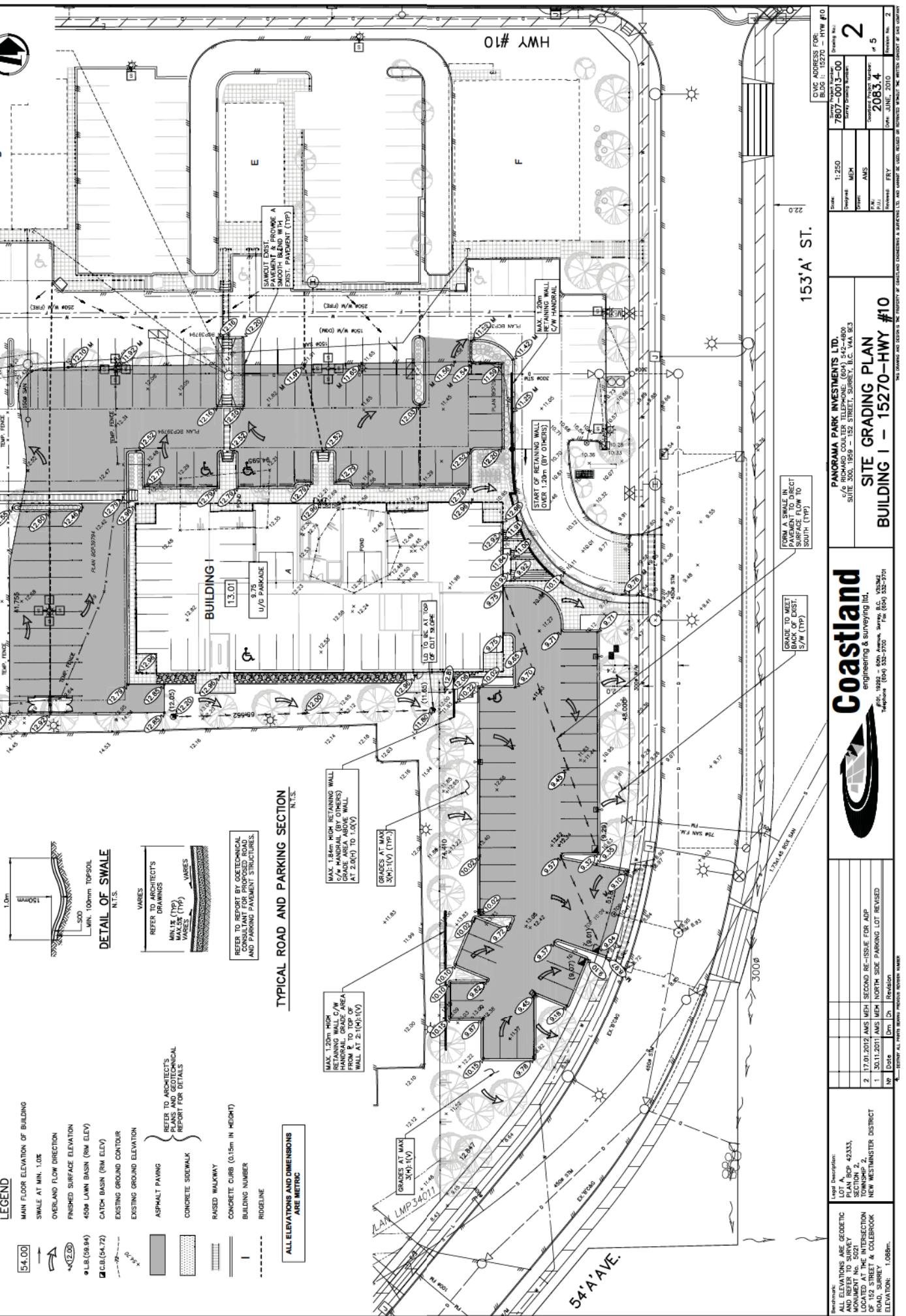
GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)

GRADES AT MAX 3%(H):1(V)



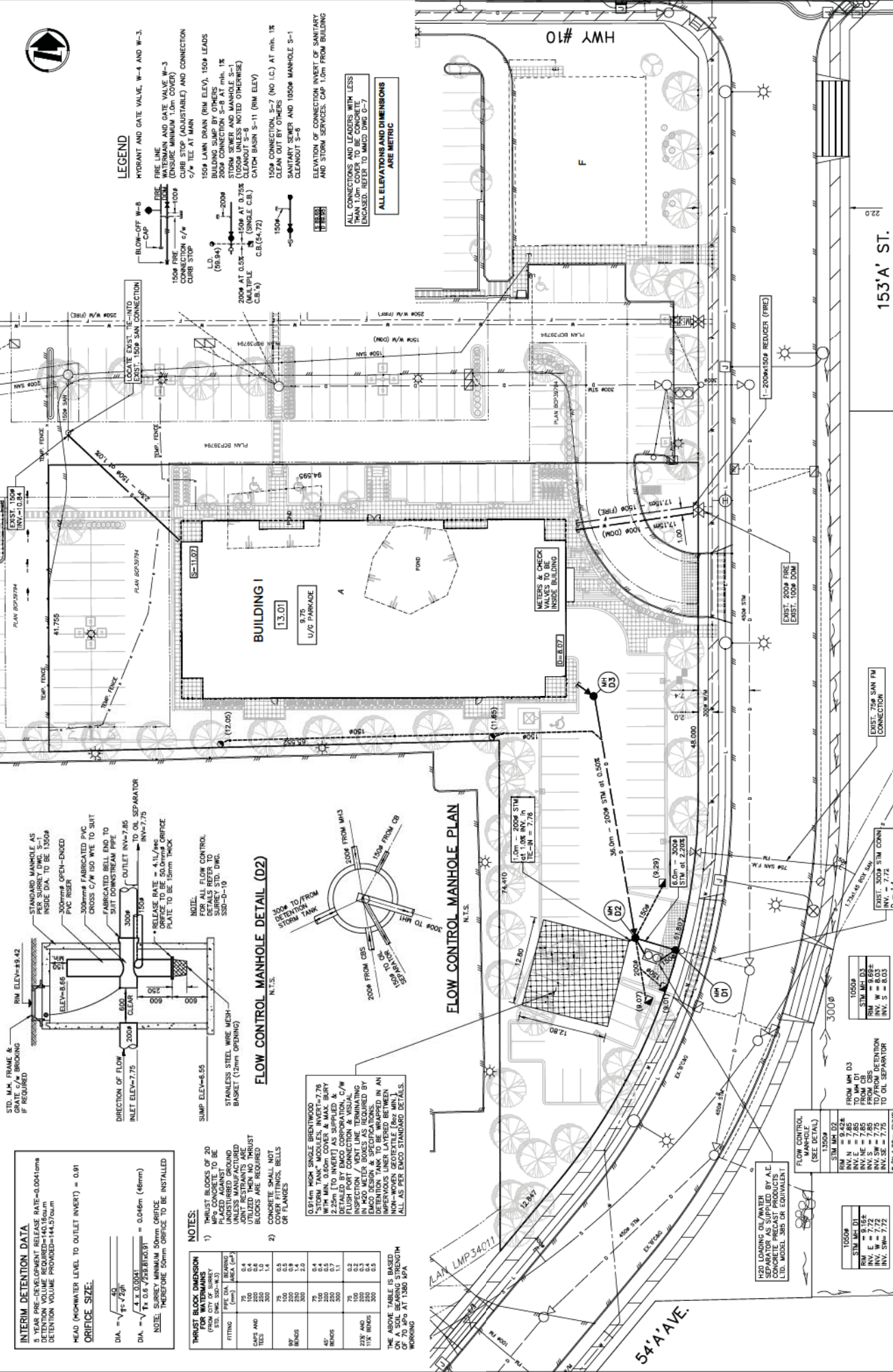


LEGEND

- HYDRANT AND GATE VALVE, W-4 AND W-3.
- FIRE LINE
- WATERMAIN AND GATE VALVE W-3 (ENSURE MINIMUM 1.0m COVER)
- CURB STOP (ADJUSTABLE) AND CONNECTION C/W TELE AT MAIN
- 150# LAIN DRAIN (RM ELEV), 150# LEADS TO SANITARY
- 200# CONNECTION S-1 AT m.h. 1X
- 200# CONNECTION S-1 AT m.h. 1X (MULTIPLE C.B.'S)
- CATCH BASIN S-11 (RM ELEV)
- 150# CONNECTION S-7 (NO I.C.) AT m.h. 1X CLEAN OUT BY OTHERS
- 150# CONNECTION S-7 AND 1050# MANHOLE S-1 CLEANOUT S-4
- ELEVATION OF CONNECTION INVERT OF SANITARY AND STORM SERVICES. CAP 1.0m FROM BUILDING

ALL CONNECTIONS AND LEADERS WITH LESS THAN 1.0m COVER TO BE COVERED BY DISCREETLY TO MATCH DING 0-1.7

ALL ELEVATIONS AND DIMENSIONS ARE METRIC



INTERIM DETENTION DATA

5 YEAR PRE-DEVELOPMENT RELEASE RATE=0.00410ms
 DETENTION VOLUME REQUIRED=140.16cu m
 DETENTION VOLUME PROVIDED=144.57cu m

HEAD (HIGH WATER LEVEL TO OUTLET INVERT) = 0.91

ORIFICE SIZE:

$DI.A. = \sqrt{\frac{4Q}{\pi \cdot V}} = 720$

$DI.A. = \sqrt{\frac{4 \cdot 140.16}{\pi \cdot 0.91}} = 0.046m (46mm)$

NOTE: SURVEY MINIMUM 50mm ORIFICE. THEREFORE 50mm ORIFICE TO BE INSTALLED

NOTES:

- THRUST BLOCKS OF 20 FROM CITY OF SURREY TO BE PLACED AGAINST UNINSURED GROUND RESTRAINED JOINT RESTRAINTS ARE REQUIRED IF JOINT RESTRAINTS ARE REQUIRED
- CONCRETE SMALL, NOT CR FLANGES
- 0.914m HIGH SINGLE BRIGHTWOOD "STORM TANK" MODULES, INVERT=7.76 WITH MIN. 0.60m COVER & MAX. BURY DETAIL TO BE PROVIDED BY E/MO. FLUSH PORT CONNECTION & VISUAL INSPECTION ACCESS AS REQUIRED BY E/MO DESIGN & SPECIFICATIONS. IMPERVIOUS USER LAYERED BETWEEN ALL AS PER E/MO STANDARD DETAILS.

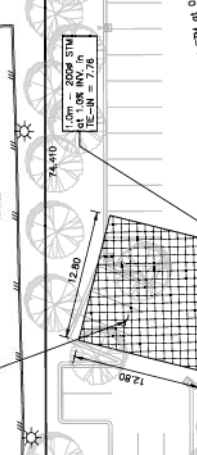
WE ABOVE TABLE IS BASED ON TH OF 70.9% AT 1380 kPa WORKING

THRUST BLOCK DIMENSION FROM CITY OF SURREY	FRITTING	CATCH AND TRAYS	SPACERS	BRACKETS	45° BRACKETS	228 AND 114" BRACKETS
75	0.4	0.4	0.4	0.4	0.4	0.4
100	0.5	0.5	0.5	0.5	0.5	0.5
150	0.7	0.7	0.7	0.7	0.7	0.7
200	1.0	1.0	1.0	1.0	1.0	1.0
300	1.4	1.4	1.4	1.4	1.4	1.4
450	2.0	2.0	2.0	2.0	2.0	2.0
600	2.7	2.7	2.7	2.7	2.7	2.7
750	3.4	3.4	3.4	3.4	3.4	3.4
900	4.1	4.1	4.1	4.1	4.1	4.1
1050	4.8	4.8	4.8	4.8	4.8	4.8
1200	5.5	5.5	5.5	5.5	5.5	5.5

FLOW CONTROL MANHOLE DETAIL (D2)



FLOW CONTROL MANHOLE PLAN



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 engineering & surveying ltd.
 144-150-155 (604) 532-2722

PANORAMA PARK INVESTMENTS LTD
 6/5 RICHMOND COLLEGE TELEPHONE: (604) 542-1400
 SUITE 300, 1959 - 152 STREET, SURREY, B.C. V4A 8J3

SITE SERVICING PLAN
BUILDING I - 15270-HWY #10

Scale: 1:250
 Date: 17.01.2012
 Project No: 7807-0013-00
 Drawing No: 3
 Revision: 5

1 17.01.2012 AMS MEP SECOND RE-ISSUE FOR ADP
 sp Date 0m 1m Revision

ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY POINT LOCATED AT THE INTERSECTION OF 152 STREET & COLEBROOK ROAD, SURREY
 ELEVATION: 1.088m

GENERAL NOTES

- UNDER THIS PLAN, ALL PERSONS INCLUDING BUT NOT LIMITED TO THE DEVELOPER, OWNER OF THE LAND, THE ENGINEER OF RECORD, THE ESC SUPERVISOR AND THE ESC CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE PRIOR TO THE START OF CLEARING AND GRUBBING. DEVELOPER TO PROVIDE THE CLEARING AND GRUBBING CONTRACTOR WITH A COPY OF THE ESC PERMIT AND TREE CUTTING PERMIT, INCLUDING DRAWINGS PERTAINING TO CLEARING AND GRUBBING.
- SITE CLEARING AND GRUBBING CONTRACTOR TO OBTAIN ESC PERMIT AS REQUIRED. THERE IS A COPY ON SITE, AND THE PERMIT SIGNAGE IS ERECTED AT THE SITE ENTRANCE.
- SHOULD THE SITE CONTAIN OR BE ADJACENT TO A PARK, THE CLEARING AND GRUBBING CONTRACTOR SHALL CONTACT CHRIS VEIN, AT (604) 991-5086 TO DISCUSS THE REMOVAL OF PROTECTED TREE SPECIES.
- PERFECTIVE MEASURES TO BE INSTALLED AFTER MEETING WITH PARKS AS APPLICABLE AND PRIOR TO INITIATING ON SITE CLEARING AND GRUBBING.
- APPLICABLE.
- INSTALL SPECIFIED ESC ACCESS FACILITIES / MEASURES AT ENTRY / EXIT POINTS. ALL MEASURES TO BE MAINTAINED THROUGHOUT THE PROJECT AND TO BE RESTRICTED TO CONTROLLED ENTRY / EXIT POINTS.
- PRIOR TO LEAVING THE SITE, ON SITE CLEARING AND GRUBBING CONTRACTOR TO OBTAIN SIGN OFF BY THE ESC SUPERVISOR.
- DEVELOPER WILL BE RESPONSIBLE TO PROVIDE A COPY OF THE ESC PLAN AND PERMIT TO THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO HAVE A COPY OF THE ESC PLAN AND PERMIT ON SITE AT ALL TIMES, AND ENSURE ESC SIGNAGE IS IN PLACE.
- ON SITE STORM WATER CONTROL FACILITIES COMPLETE WITH VELOCITY CONTROL MEASURES TO BE INSTALLED AS ROADWAYS ARE STRIPPED.
- ANY STOCKPILED MATERIAL TO BE COVERED AND ENCLOSED BY SEDIMENT FENCE AS SPECIFIED.
- THE ENGINEER OF RECORD / ESC SUPERVISOR WILL BE RESPONSIBLE TO ENSURE THAT THE EXISTING ROADS ARE REVERSED DAILY AND SWEEP REGULARLY. FLUSHING OF ROADWAYS IS PROHIBITED.
- AFTER ROUGH LOT GRADING IS COMPLETED ALL DISTURBED AREAS ARE TO BE PROTECTED AS PER THE ESC PLAN.
- UPON THE COMMENCEMENT OF WORKS, ESC SUPERVISOR TO CONDUCT MONITORING AS PER THE CITY OF SURREY MONITORING AND REPORTING REQUIREMENTS.

MAINTENANCE AND ALL STAGES (AS APPLICABLE)

- ALL INSPECTIONS / MONITORING TO BE CARRIED OUT BY ENGINEER OF RECORD OR ESC SUPERVISOR UP TO THE EXPIRY OF THE PERMIT, ON LOTS UNDER 2000sqm UPON THE ISSUANCE OF A BUILDING PERMIT / PERMIT HOLDER (THE PERMIT) WILL BE HELD RESPONSIBLE FOR MAINTAINING INDIVIDUAL LOT ESC MEASURES; NOT NEGATING ESC SUPERVISOR'S RESPONSIBILITIES UNDER THE ACTIVE PERMIT.
- UPON INSTRUCTION / NOTIFICATION BY THE ENGINEER OF RECORD OR ESC SUPERVISOR, THE DEVELOPER / OWNER IS TO BE RESPONSIBLE TO MAINTAIN ESC ACTIVITIES AS DEMAND SPECIFIED TO MODIFY OR MAINTAIN ESC FACILITIES.
- ALL CATCH BASIN FILTER SOCKS ARE TO BE INSPECTED WEEKLY OR FOLLOWING STORM EVENTS, IN LINE FILTERS ARE TO BE REMOVED AND CLEANED AT 40% CAPACITY.
- ACCUMULATED SEDIMENT DEPOSITS IN PONDS AND BEHIND CHECK DAMS ARE TO BE REMOVED AT 50% CAPACITY.
- ALL SITE ACCESS SHALL HAVE A MINIMUM 300mm* RIGID DRIVEWAY 200mm THICK AND A MIN. OF 10.0m IN LENGTH. ENSURE ROCK IS EXPOSED DURING ALL TRUCKING OPERATIONS. ALL DRIVEWAYS TO BE INSPECTED DAILY TO ENSURE FUNCTIONALITY, AND ADDITIONAL ROCK AS REQUIRED.
- THE DEVELOPER OR BUILDER MUST REGULARLY CLEAN PAVED ROAD SURFACES OF ACCUMULATED SEDIMENTS AT THE END OF EACH DAY OR AS REQUIRED. NO SOIL, SAND, GRAVEL OR OTHER MATERIALS TO BE DEPOSITED ON PAVED ROAD SURFACES. MINIMIZE SOIL TRANSPORTED ONTO THE ROAD FROM SITE.
- ENSURE NO MATERIAL IS PLACED OR DEPOSITED THAT WOULD INTERFERE WITH THE FLOW OF WATER ALONG THE CURBS OR ENTERING CATCH BASINS.
- SEDIMENT FENCES / BARRIERS TO BE INSPECTED AND REPAIRED PRIOR TO EXPECTED RAIN EVENTS AND FOLLOWING ALL SIGNIFICANT STORM EVENTS OR PERIODS OF PROLONGED WINDY WEATHER. ALL SIGNIFICANT STORM EVENTS OR PERIODS OF PROLONGED WINDY WEATHER SHOULD BE DEALT WITH ACCORDINGLY. THE FENCE CAPACITY OR DEFICIENCIES SHOULD BE DEALT WITH ACCORDINGLY.
- ALL SEDIMENT REMOVED FROM ESC CONTROL FACILITIES TO BE DISPOSED OF IN A MANNER AS TO NOT COMPROMISE OR COMPROMISE THE SEDIMENT LOADING OF OTHER CONTROL MEASURES.
- LOCATION OF CITY RAIN GAUGE: SURREY MUNICIPAL HALL.
- SITE SOIL COMPOSITION: TOPSOIL/SAND/CLAY
- THE ESC SUPERVISOR HEREBY CERTIFY THAT I HAVE REVIEWED THIS ESC PLAN DRAWINGS 4 AND 5 OF 5.

CLEARING, ROAD STRIPPING, GRAVELLING, AND ROUGH GRADING STAGE

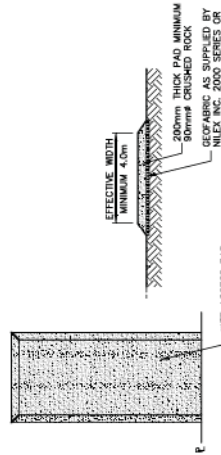
- DEVELOPER TO NOTIFY BOTH THE ENGINEER OF RECORD AND THE ESC SUPERVISOR PRIOR TO THE START OF CLEARING AND GRUBBING. DEVELOPER TO PROVIDE THE CLEARING AND GRUBBING CONTRACTOR WITH A COPY OF THE ESC PERMIT AND TREE CUTTING PERMIT, INCLUDING DRAWINGS PERTAINING TO CLEARING AND GRUBBING.
- SITE CLEARING AND GRUBBING CONTRACTOR TO OBTAIN ESC PERMIT AS REQUIRED. THERE IS A COPY ON SITE, AND THE PERMIT SIGNAGE IS ERECTED AT THE SITE ENTRANCE.
- SHOULD THE SITE CONTAIN OR BE ADJACENT TO A PARK, THE CLEARING AND GRUBBING CONTRACTOR SHALL CONTACT CHRIS VEIN, AT (604) 991-5086 TO DISCUSS THE REMOVAL OF PROTECTED TREE SPECIES.
- PERFECTIVE MEASURES TO BE INSTALLED AFTER MEETING WITH PARKS AS APPLICABLE AND PRIOR TO INITIATING ON SITE CLEARING AND GRUBBING.
- APPLICABLE.
- INSTALL SPECIFIED ESC ACCESS FACILITIES / MEASURES AT ENTRY / EXIT POINTS. ALL MEASURES TO BE MAINTAINED THROUGHOUT THE PROJECT AND TO BE RESTRICTED TO CONTROLLED ENTRY / EXIT POINTS.
- PRIOR TO LEAVING THE SITE, ON SITE CLEARING AND GRUBBING CONTRACTOR TO OBTAIN SIGN OFF BY THE ESC SUPERVISOR.
- DEVELOPER WILL BE RESPONSIBLE TO PROVIDE A COPY OF THE ESC PLAN AND PERMIT TO THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO HAVE A COPY OF THE ESC PLAN AND PERMIT ON SITE AT ALL TIMES, AND ENSURE ESC SIGNAGE IS IN PLACE.
- ON SITE STORM WATER CONTROL FACILITIES COMPLETE WITH VELOCITY CONTROL MEASURES TO BE INSTALLED AS ROADWAYS ARE STRIPPED.
- ANY STOCKPILED MATERIAL TO BE COVERED AND ENCLOSED BY SEDIMENT FENCE AS SPECIFIED.
- THE ENGINEER OF RECORD / ESC SUPERVISOR WILL BE RESPONSIBLE TO ENSURE THAT THE EXISTING ROADS ARE REVERSED DAILY AND SWEEP REGULARLY. FLUSHING OF ROADWAYS IS PROHIBITED.
- AFTER ROUGH LOT GRADING IS COMPLETED ALL DISTURBED AREAS ARE TO BE PROTECTED AS PER THE ESC PLAN.
- UPON THE COMMENCEMENT OF WORKS, ESC SUPERVISOR TO CONDUCT MONITORING AS PER THE CITY OF SURREY MONITORING AND REPORTING REQUIREMENTS.

UTILITY AND ROADWORKS INSTALLATION STAGE

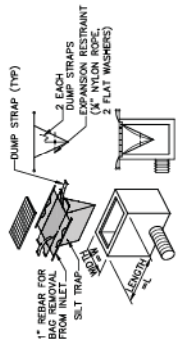
- CONTRACTOR TO INSTALL TEMPORARY SEDIMENT CONTAINMENT AND CONTROL MEASURES AS SPECIFIED IN THE APPROVED ESC PLAN AND AS DIRECTED BY THE ESC SUPERVISOR.
- CONTRACTOR TO INSTALL ADDITIONAL SILT FENCING AS INDICATED ON THE ESC PLAN AND AS DIRECTED BY THE ESC SUPERVISOR OR ENGINEER OF RECORD.
- ALL ACCESS TO AND FROM SITE TO BE FROM THE RESTRICTED ENTRY / EXIT POINTS.
- ESC SUPERVISOR TO CONDUCT MONITORING AS PER THE CITY OF SURREY MONITORING AND REPORTING REQUIREMENTS.
- CONTRACTOR TO ENSURE THAT ESC MEASURES ARE WELL MAINTAINED, CLEANED, REPAIRED, OR REPLACED AS REQUIRED.
- CATCH / LAWN BASINS COMPLETE WITH PROTECTIVE MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AT THE FIRST OPPORTUNITY.
- CONTRACTOR TO CO-ORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES IF DISCHARGE POINTS TO ADJACENT STREAMS, DITCHES OR ENTRY POINTS TO PAVED NETWORKS ARE ADEQUATELY PROTECTED.
- CONTRACTOR TO ENSURE THAT ESC FACILITIES SPECIFIED IN THE ESC PLAN OR ANY ADDENDUMS ARE IMPLEMENTED ACCORDINGLY.
- AFTER FINAL LOT GRADING IS COMPLETED ALL DISTURBED AREAS ARE TO BE PROTECTED AS PER THE ESC PLAN.
- CONTRACTOR TO CO-ORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES WHEN DISCHARGE POINTS TO ADJACENT STREAMS, DITCHES OR ENTRY POINTS TO PAVED NETWORKS ARE ADEQUATELY PROTECTED.
- AT THE FINAL SITE INSPECTION THE ESC SUPERVISOR IN ASSOCIATION WITH DRAINAGE AND ENVIRONMENT STAFF TO INSPECT AND SIGN OFF ON ESC MEASURES PRIOR TO THE SITE GOING ON-MAINTENANCE.
- DEVELOPER TO ENSURE THAT THE LOT OWNER AND/OR HOUSE BUILDER(S) ARE ADVISED OF THE ESC MEASURES AND THAT THE ESC MEASURES ARE MAINTAINED THROUGHOUT THE PROJECT AND TO BE RESTRICTED TO CONTROLLED ENTRY / EXIT POINTS.
- DEVELOPER TO OBTAIN SIGN OFF BY THE ESC SUPERVISOR THAT INDIVIDUAL PRIVATE ON SITE SEDIMENT CONTROL MEASURES ARE PUT IN PLACE AND PERFORM TO THE STANDARD OF THE ESC BYLAW.
- DEVELOPER TO RETAIN THE SERVICES OF THE ESC SUPERVISOR UNTIL BOX OF HOUSE CONSTRUCTION INCLUDING LANDSCAPING OF THE LOTS HAS BEEN COMPLETED. THE ESC PERMIT WILL BE IN FULL FORCE AND EFFECT DURING THIS TIME PERIOD.

FINAL GRADING STAGE THROUGH TO SUBSTANTIAL COMPLETION

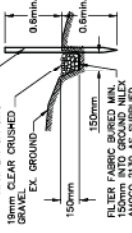
- GENERAL CONTRACTOR TO ENSURE THAT STORMWATER CONVEYANCE CHANNELS AND DISCHARGE POINTS TO ADJACENT STREAMS, DITCHES OR ENTRY POINTS TO PAVED NETWORKS ARE ADEQUATELY PROTECTED.
- CONTRACTOR TO ENSURE THAT ESC FACILITIES SPECIFIED IN THE ESC PLAN OR ANY ADDENDUMS ARE IMPLEMENTED ACCORDINGLY.
- AFTER FINAL LOT GRADING IS COMPLETED ALL DISTURBED AREAS ARE TO BE PROTECTED AS PER THE ESC PLAN.
- CONTRACTOR TO CO-ORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES WHEN DISCHARGE POINTS TO ADJACENT STREAMS, DITCHES OR ENTRY POINTS TO PAVED NETWORKS ARE ADEQUATELY PROTECTED.
- AT THE FINAL SITE INSPECTION THE ESC SUPERVISOR IN ASSOCIATION WITH DRAINAGE AND ENVIRONMENT STAFF TO INSPECT AND SIGN OFF ON ESC MEASURES PRIOR TO THE SITE GOING ON-MAINTENANCE.
- DEVELOPER TO ENSURE THAT THE LOT OWNER AND/OR HOUSE BUILDER(S) ARE ADVISED OF THE ESC MEASURES AND THAT THE ESC MEASURES ARE MAINTAINED THROUGHOUT THE PROJECT AND TO BE RESTRICTED TO CONTROLLED ENTRY / EXIT POINTS.
- DEVELOPER TO OBTAIN SIGN OFF BY THE ESC SUPERVISOR THAT INDIVIDUAL PRIVATE ON SITE SEDIMENT CONTROL MEASURES ARE PUT IN PLACE AND PERFORM TO THE STANDARD OF THE ESC BYLAW.
- DEVELOPER TO RETAIN THE SERVICES OF THE ESC SUPERVISOR UNTIL BOX OF HOUSE CONSTRUCTION INCLUDING LANDSCAPING OF THE LOTS HAS BEEN COMPLETED. THE ESC PERMIT WILL BE IN FULL FORCE AND EFFECT DURING THIS TIME PERIOD.



ACCESS ROAD SECTION DETAIL



DETAIL OF CATCH BASIN FILTER SOCK (TYP)



SECTION OF PERIMETER SILT FENCE POST

INSTALLATION OF TEMPORARY ESC MEASURES SHALL BE IN ACCORDANCE WITH THE ESC SUPERVISOR'S INSTRUCTIONS. WEATHER CONDITIONS ARE EXPECTED TO AFFECT ESC MEASURES. ESC MEASURES ARE NOT TO BE MAINTAINED IF MEASURES ARE NOT INSTALLED OR MAINTAINED. NO CONSTRUCTION SHALL BE PERMITTED UNTIL ESC MEASURES ARE SUITABLY OPERATIONAL.

CITY ADDRESS FOR: HWY #10	
SURVEY NUMBER:	7807-0013-00
PROJECT NUMBER:	2083.4
DATE:	JUNE, 2010
SCALE:	N.T.S.
DESIGNED BY:	MEH
CHECKED BY:	AMS
APPROVED BY:	FRY
DATE:	JUNE, 2010
REVISION NO.:	1

PANORAMA PARK INVESTMENTS LTD
 6/6 RICHMOND COLLEGE TELEPHONE: (604) 542-6808
 SUITE 300, 1959 - 152 STREET, SURREY, B.C. V4A 6J3

TEMPORARY EROSION AND SILTATION CONTROL DETAILS
BUILDING 1 - 15270-HWY #10

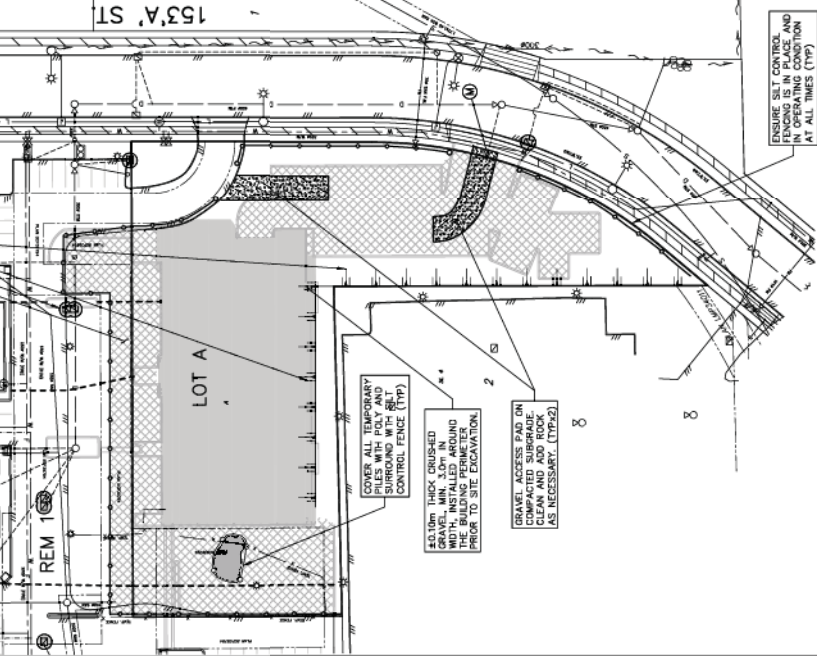
Coastland
 engineering & surveying ltd.
 117-01212 AMS MIP
 152 STREET & COLEBROOK ROAD, SURREY
 TEL: (604) 532-2722 FAX: (604) 532-2721

NO	DATE	BY	DESCRIPTION
1	17.01.2012	AMS MIP	SECOND RE-ISSUE FOR ADP

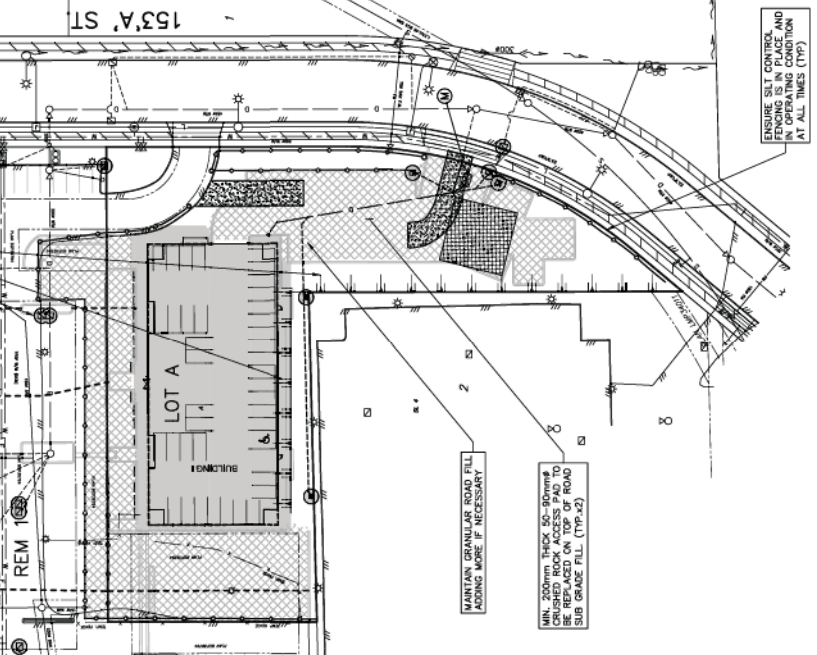
DATE: 1.08.10
 ALL ELEVATIONS ARE GEODETIC
 AND REFER TO SURVEY
 LOCATED AT THE INTERSECTION
 OF 152 STREET & COLEBROOK
 ROAD, SURREY
 ELEVATION: 1.08m



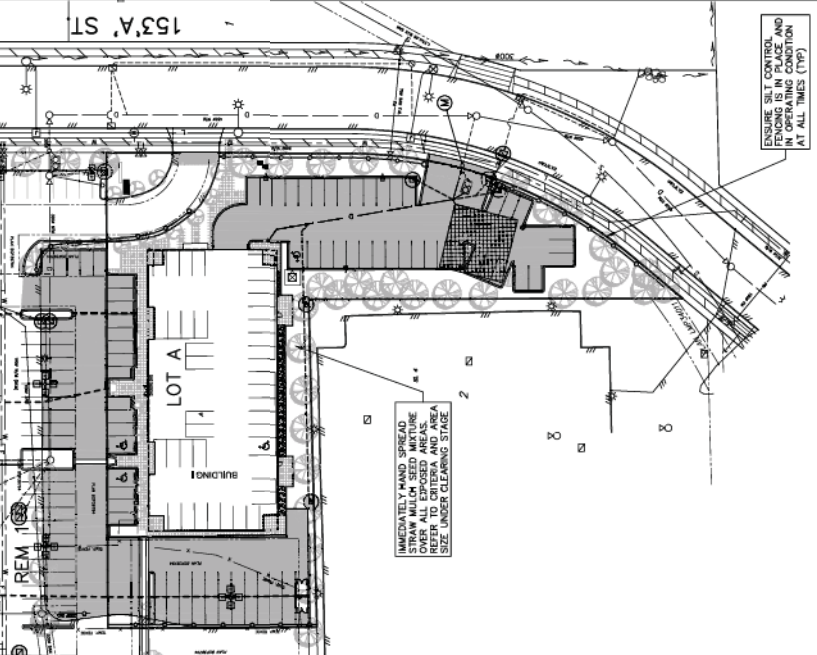
- LEGEND**
- TEMPORARY GRASS SWALE
 - CUT-OFF DITCH c/w ROCK BERM
 - STORM SEWER & SERVICE CONN. L.C.
 - CATCH BASIN - TOP & SIDE INLET
 - EX. / PROP. CATCH BASIN c/w FILTER SOCK
 - EX. / PROP. LAWN DRAIN c/w FILTER SOCK
 - SILT CONTROL FENCE
 - DIRECTION OF OVERLAND FLOW
 - COVER ALL TEMPORARY PILES WITH SILT CONTROL FENCE
 - CATCHMENT AREA
 - POND SIZE FOR CATCHMENT
 - CATCHMENT BOUNDARY TO EACH SEDIMENTATION POND
 - TEMPORARY SILT CONTROL POND
 - TEMPORARY PIPE (MIN. 150mm)
 - ROCK DRIVEWAY ACCESS (MIN. 4m x 20m)
 - PAVED WHEEL WASH
 - TURBIDITY/TSS MEASUREMENT POINT



ROAD STRIPPING AND GRAVELLING STAGE



UTILITY AND ROADWORKS INSTALLATION STAGE



FINAL GRADING STAGE THROUGH TO SUBSTANTIAL COMPLETION

Notes:

- ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY POINTS LOCATED AT THE INTERSECTION OF 152 STREET & COLEBROOK ROAD, SURREY
- ELEVATION: 1.088m.

Rev	Date	By	Check	Description
1	13.09.2011	AMS	MEH	GENERAL
2	17.01.2012	AMS	MEH	SECOND RE-ISSUE FOR ADP

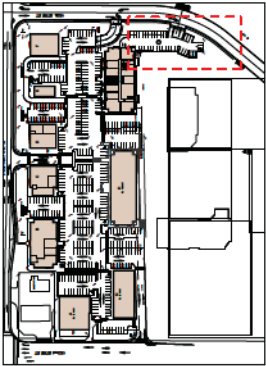
Coastland engineering & surveying ltd. 144-146 High Street, Bournemouth, Dorset, BH1 1AA Tel: 01202 373333 Fax: 01202 373371	

PANORAMA PARK INVESTMENTS LTD
 6/6 RICHARD COULTER TELEPHONE: (014) 5-42-6400
 SUITE 300, 1959 - 192 STREET, SURREY, B.C. V4A 8J3

TEMPORARY EROSION AND SILTATION CONTROL PLAN
BUILDING 1 - 15270-HWY #10

SILENT ADDRESS FOR: HWY #10 SUC: 15270	SHEET NUMBER: 5
SCALE: 1:250 U.O.N. DRAWN BY: MEH CHECKED BY: AMS DATE: 13.09.2011	PROJECT NUMBER: 2083.4
PROJECT NAME: PANORAMA PARK INVESTMENTS LTD	SHEET TITLE: TEMPORARY EROSION AND SILTATION CONTROL PLAN
PROJECT LOCATION: 15270 HWY #10	PROJECT DATE: 13.09.2011

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KEY PLAN

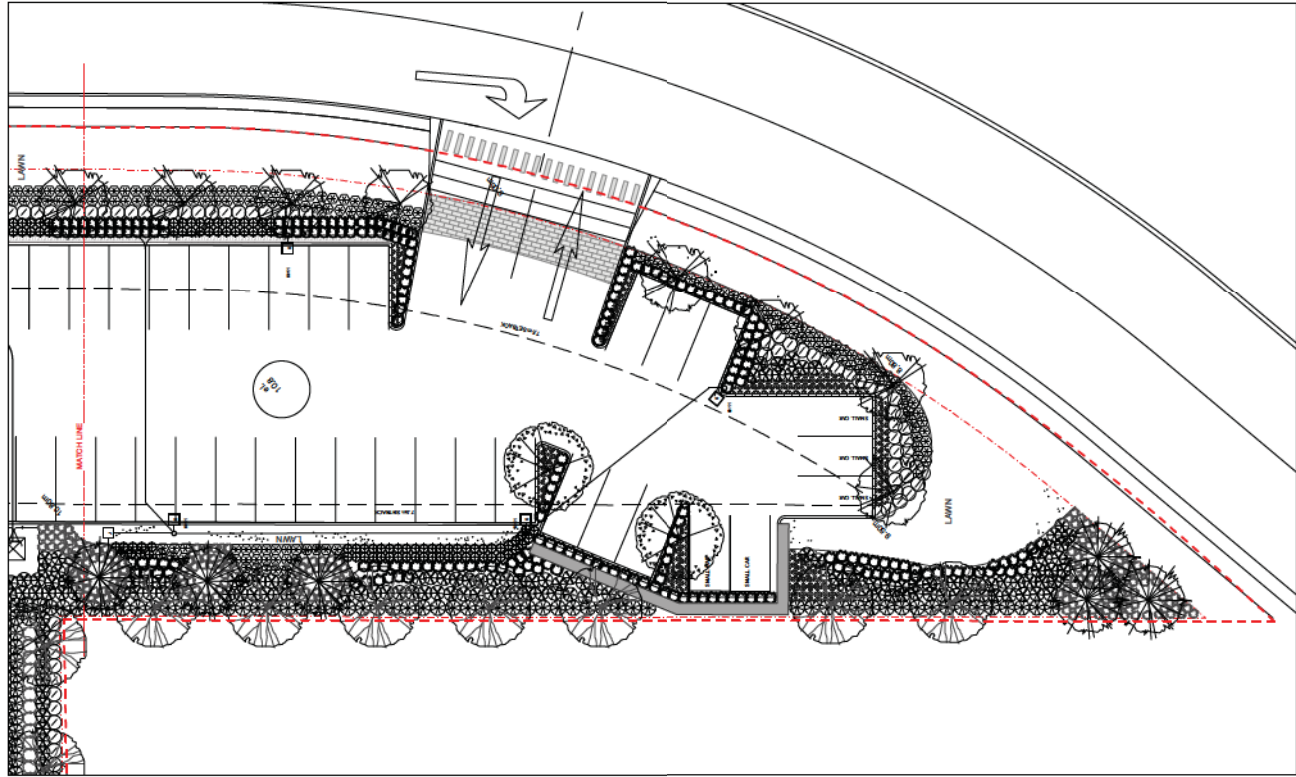
BUILDING I PLANT LIST

TIRES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	0	Adiantum	Sweet Fern	2.0m high	as shown
	10	Fagus sylvatica 'Dawyford'	Pedigree English Oak	Terminal, 100	as shown
	15	Castanopsis leucocarpa	California Chestnut	Terminal, 100	as shown
	13	Fraxinus ornus	Flowering Ash	Terminal, 100	as shown
	14	Quercus ilex 'Laurel' var. 'Shakespeare'	Thornless Hollyleaf Oak	Terminal, 100	as shown
	1	Pyrus calleryana 'Chantrelle'	Flowering Pear	Terminal, 100	as shown
SPACINGS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	100	Buxus sempervirens 'Winter Beauty'	Korean Boxwood	100	10' x 10'
	100	Conium maculatum	Red Columbine	100	10' x 10'
	200	Stachys recta	Wormwood	100	2' x 2'
	150	Stachys recta	Wormwood	100	2' x 2'
	150	Stachys recta	Wormwood	100	2' x 2'
	2100	Physalis peruviana 'Blackberry'	Blackberry	100	2' x 2'
	140	Physalis peruviana 'Blackberry'	Blackberry	100	2' x 2'
	30	Physalis peruviana 'Blackberry'	Blackberry	100	2' x 2'
	30	Physalis peruviana 'Blackberry'	Blackberry	100	2' x 2'
PERENNIALS, GRASSES, & GROUNDCOVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	427	Helianthus scaberrimus	Black Oilseed Rape	100	2' x 2'
	254	Phlox subulata	Woolly Phlox	4" to 6" high	10' x 10'
	100	Phlox subulata	Woolly Phlox	4" to 6" high	10' x 10'

NOTES:
 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
 2) All drawings shall be in accordance with the specifications of the manufacturer.
 3) All drawings shall be in accordance with the specifications of the manufacturer.

PLANTING NOTES

THE QUANTITIES ON THE PLANT SCHEDULE REFER TO BIDDING ONLY.
 ALL PLANTING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE SYMBOLS LATEST EDITION.
 ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS AND SPECIFICATIONS.
 IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
 ALL PLANTING BEDS ARE TO BE FINISHED WITH 30MM OF ANGIOSPERM GROUND PRODUCTS FINISHED TO AN APPROVED SQUARE.
 ALL UTILITIES ARE TO BE IDENTIFIED AND STAKED OUT BY CONTRACTOR BEFORE CONSTRUCTION.
 ALL PLANT MATERIAL TO HAVE AUTOMATIC IRRIGATION.



BUILDING I PLANTING PLAN - SOUTH

SCALE 1:1000

ESKAR & ASSOCIATES
 LANDSCAPE ARCHITECTS
 1000 SHEPPARD AVENUE EAST
 SUITE 100
 SCARBOROUGH, ONTARIO M1B 2P4
 TEL: (416) 291-1111
 FAX: (416) 291-1112

1.1	REVISED	REVISION TO BIDDING PLAN
1.2	REVISED	REVISION TO BIDDING PLAN
1.3	REVISED	REVISION TO BIDDING PLAN
1.4	REVISED	REVISION TO BIDDING PLAN
1.5	REVISED	REVISION TO BIDDING PLAN
1.6	REVISED	REVISION TO BIDDING PLAN
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3.0	REVISED	REVISION TO BIDDING PLAN

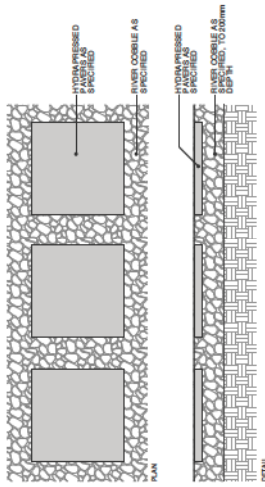
BUILDING I
 15720 BULLDOG BL.
 PANORAMA PARK INVESTMENTS LTD.

BUILDING I
 LANDSCAPE DETAIL PLAN
 SOUTH

Drawn By: JT
 Checked By: RL
 Date: May 3, 2007
 Project No.:
 Drawing No.:

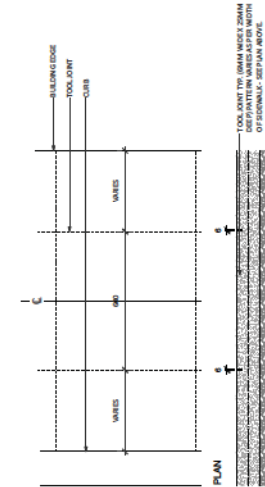
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 Date: May 3, 2007
 Drawing No.:

Sheet No.: L1.1.2
 Total Sheets: 1



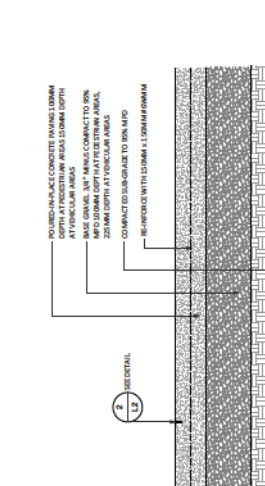
1 CIP CONCRETE PAVING, BROOM FINISHED
Scale: 1:10

NOTE:
1. FINISH SHALL BE IN ACCORDANCE WITH THE PRODUCT LITERATURE.
2. USE OF FINISH SHALL BE IN ACCORDANCE WITH THE PRODUCT LITERATURE.
3. USE OF FINISH SHALL BE IN ACCORDANCE WITH THE PRODUCT LITERATURE.
4. ALL WALLS OVER 2' MUST HAVE A GUARDRAIL OR REINFORCEMENT.



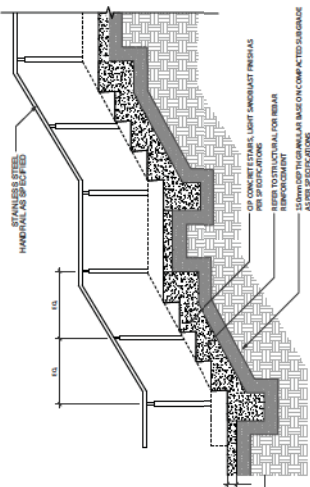
2 CONCRETE JOINT DETAIL
Scale: 1:10

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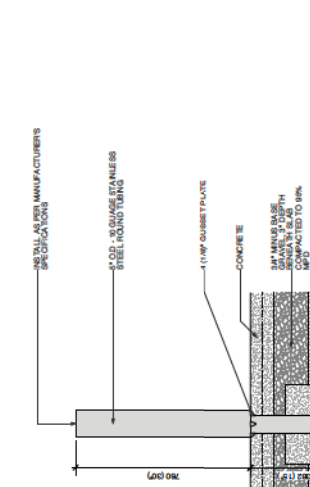
3 HYDRAPRESS PAVERS, TYP.
Scale: 1:15

NOTE:
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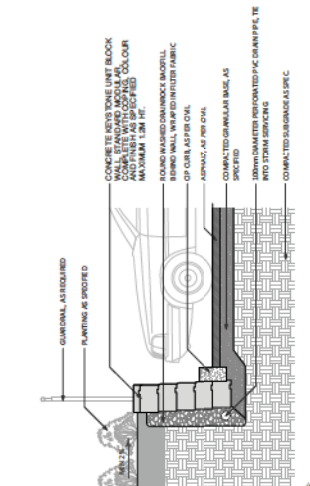
4 CONCRETE UNIT BLOCK RETAINING WALL
Scale: 1:25

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5 CUSTOM BOLLARD BY IRON AGE MANUFACTURING LTD.
Scale: 1:10

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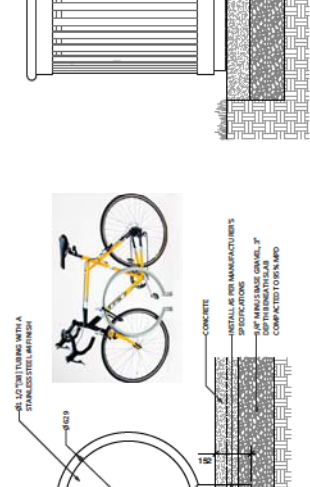
6 CIP CONCRETE STAIRS
Scale: 1:25

NOTE:
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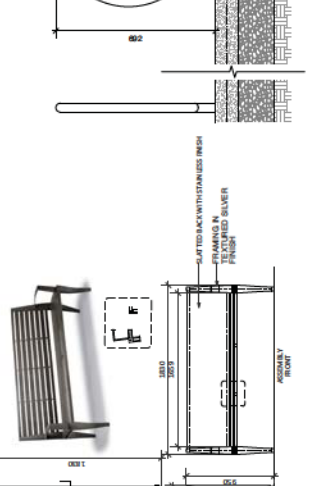
7 DEWART BENCH BY URBANSCAPE
Scale: 1:25

NOTE:
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8 RING BIKE RACK BY LANDSCAPE FORMS
Scale: 1:10

NOTE:
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9 TRASH RECEPTACLE BY MAGLIN
Scale: 1:10

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10 PLANTER BOX BY GAINEY
Scale: 1:10

NOTE:
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INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: January 31, 2012 PROJECT FILE: **7811-0238-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 5570 152 Street**

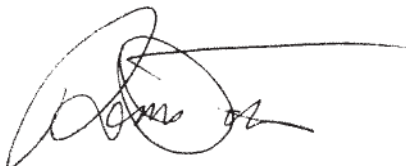
DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit:

- Provide confirmation of parking provisions as many incremental changes have taken place from original 07-0013 site plan.
- Provide revisions to the access to 152 Street; construct curb returns as per original 7807-0013-00.
- Provide an on-site median (minimum width of 0.6 metres) preventing access to the first drive aisle to the north complete with stamped and colourized concrete and appropriate signage.
- The applicant is advised the MBE for the area is 12.4 m and that a Sanitary Pumped Restrictive Covenant maybe required.
- The applicant is advised to provide details on how Lot C is to be serviced with sanitary as it does not currently front a sanitary sewer.
- The applicant is advised that a water connection is to be obtained from the 300mm main on 153A St. No service connection is allowed from water main on 152 St.



Rémi Dubé, P.Eng.
Development Services Manager

LR

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7911-0238-00

Issued To: PANORAMA PARK INVESTMENTS LTD.

("the Owner")

Address: #300, 1959 – 152 Street
Surrey, BC V4A 9E3

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-045-041
Lot A Section 2 Township 2 New Westminster District Plan BCP42333
5577 – 153A Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F of Part 52 Comprehensive Development Zone (CD) (By-law No. 17022), the minimum rear yard setback is reduced from 7.5 metres (25 ft.) to 6 metres (20 ft.).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

Present:

Chair – L. Mickelson

Panel Members:

R. Ciccozzi

S. Lyon

N. Baldwin

R. Myers

K. Newbert

Absent: Cpl. Marc Searle

Guests:

Walter Francl, Walter Francl

Architecture Inc.

Richard Coulter, Panorama Park

Investments Ltd.

Staff Present:T. Ainscough, City Architect - Planning &
DevelopmentH. Bello, Senior Planner - Planning &
Development

Misty Jorgensen, Planning & Development

H. Dmytriw, Legislative Services

A. RESUBMISSION**1. 4:00 PM**

File No.:	7911-0238-00
New or Resubmit:	New
Description:	DP for 2 commercial buildings
Address:	5570 – 152 Street & 5577 – 153A Street
Developer:	Richard Coulter, Panorama Park Investments Ltd.
Architect:	Manny Trinca, Walter Francl Architecture Inc.
Landscape Architect:	Ken Larson, Sharp & Diamond
Planner:	Misty Jorgensen
Urban Design Planner:	Hernan Bello

The **Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- To focus on interconnectivity and accessibility along public and semiprivate right-of-ways and at entrances to Highway 10 and 152 Street. There are several gaps in the linkages.
- Narrow access between buildings at the Shell gas station.
- Access to building restricted from underground parking and stairs at south east corner of project at 152 Street and Highway 10.
- Back of building has significant grade difference.
- Concrete bulges prevent wheelchair parking.
- Front of main entrance to bank inhibited by parking curb bulges.
- Narrow pedestrian walk along pub and wheelchair sidewalk ramp.
- A&W experienced no drive-thru customers in the two hours the planners visited the site.
- Highway 10 has a sidewalk.
- New building will have entrance from 153A Street.
- Building architecture to facilitate properly designed sidewalks with parameters to 22 m at entrance at south west corner of complex.

The **City Architect** noted that the main access through the site is an opportunity to provide a significant entrance way for the pub and proposed building. There is plenty of pedestrian activity within the site. This is an opportunity to make improvements to the complex and create a significant entrance to the site and adjacent buildings

- The space could be enhanced to make it more visible and significant.
- The site is laid out on two axis that run north and south. The new connections could reinforce that and make the parking area between the buildings more pleasant plus enhance the neighbourhood.
- The buildings to the east and west would then all be part of the applications and indicated on the development permit drawings.

The **Developer** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- There is a lot of unfinished business in the site and have deliberately delayed tie in to the central feature. An internal decision was made that everything through the middle will be completed to satisfaction.
- This is an opportunity to push the linkage all the way through to the south west entry and improve access for all.
- Mechanical system is a high quality hot water central system to be located on roof.
- Underground parking will be gated and secure by tenants.
- 416 parking stalls. 12 designated disabled parking stalls.

The **Architect and Landscape Architect** noted that the buildings complete the suite of buildings. This proposal is for two different buildings: the building on the south-east corner will have an underground parkade, and Building G will be a retail building for more than one user and will be set similar to the other buildings on the site.

- The building is animated, colourful and has good weather protection; louvers on south west corner for solar control.
- Offers an opportunity for more than one building.
- Building I will be located on east edge of the site.
- Front door to open onto courtyard. Entrance to street.
- Parkade underneath.

The **Landscape Architect** reviewed the landscape plans and highlighted the following:

- Curb let downs are in wrong places.
- Site phased in such a way that Buildings H and I will be oriented north south.
- Building I is the largest site.
- Tree quantities in the frontages to be doubled to 90 canopy trees.
- There are challenges to the parking lot: curb bump outs and bulges form a zigzag pattern in the drive through and slope up to the sidewalks.
- Tighten the entrances to Building G to make the sidewalks bigger.
- Consolidate disabled parking.
- Put elevator inside building.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

5570 – 152 Street & 5577 – 153A Street

File No. 7911-0238-00

It was

Moved by N. Baldwin
Seconded by S. Lyon

That the Advisory Design Panel (ADP) recommends that the applicant address the following issues, and revise and resubmit to the Planning & Development Department.

Carried

STATEMENT OF REVIEW COMMENTS

Form and Character

- **Colour panels**
 - Tone down the spandrel glass colour
 - Conflict in colour between the building and signage
 - Tone down colours of central building.
 - Building I -
 - Reconsider coloured glass.
 - Use different colour and lots of articulation where metal cladding outside of concrete walls.
 - Sun control is good thing.
 - Ensure sun screen on south and west side.
 - Constricted stairs at 152A Street – Building looks squished. Increase width by moving Building I over and capture that space for the other side of the building.
 - Use calmer colour pallet for Building I. Don't need so much colour and articulation on the buildings.
 - Indented corners need something to make them look like they belong like on Building G.
 - There is a conflict of signage and weather protection. Canopies are too high. Bring them down to protect the people.
- **Main Entrance**
 - Set back the main entrance
 - Door treatments: higher doors, different hardware, canopy treatment, make front central piece flush
 - Change in material details at rear facade of Building I will be awkward – make it flush. There is lots of articulation, materials, and colour; it would benefit from a calmer expression.
 - Back of Building H – no plane change of materials a challenging detail.
 - Consider providing opening windows in offices
 - Signage is a critical factor – consider a signage control package – size and type.
 - Entry off 152 Street needs improving. Move building closer to 152 Street and this would create two book ends to the street and add definition to the street.

Vehicle Circulation

- Parking layout is very disorganized and inefficient with dead end lanes, etc.
- Recommend "no disabled access" in lower parking lot.
- Rearrange the central parking to create some green space.
- There is excess of parking stalls, but parking is tight and layout is inefficient. Rearrange parking from cross aisles to lengthwise in front of Building H, and add an island with a pedestrian walk in the middle. Have an entry and an exit. No dead ends.
- Building I has an isolated parking lot that would be confusing for public to access the site.

- Need accessible access to office building and the rest of site.
- Concern regarding lower parking lot. Unclear for customers parking accidentally in this area. No access from wheelchairs or those with strollers. Appears to be no opportunity for entrance from south east parking lot to building/elevator from the underground parking lot. Signage may help.

Pedestrian Circulation

- Entire site is not pedestrian friendly. Pedestrians forced to walk on roads.
- Wheelchair access is poor.
- Poor pedestrian access to Building I, especially from lower parking lot.
- Important to give consideration to repair access between buildings, parking, access and walk ability. Take great care of sidewalk widths and crossings to improve the pedestrian experience. Lose a few parking stalls if necessary.
- Lower canopies to provide better rain protection to pedestrians.
- Increase sidewalks for pedestrian crossing
- Widen sidewalks
- Stop sign currently on the wrong side of the sidewalk.

Entries

- Poor sense of entry and visibility from outside of site.
- Parking is tight.
- Open up pedestrian entry to site – create visual clues.
- Rearrange entries on east
- Combine two entries to one to the south

Accessibility

- Elevator/call buttons be accessible
- Power doors to entrance
- Recommend redesign Building I to allow access to south east lower level.
- Accessibility difficult. Have an entrance on east side and entrance to come up and around to simplify things, depending on the grade.
- Pedestrian circulation is poor at that corner. Remove the parking on the south east side. Make it a drive right through as there is currently no access to the building from that location.
- Recommend a large "no access" sign for disabled in that area.
- Have elevators call buttons accessible and on the sideways. Emergency call buttons and power doors at entrances.
- Challenge to all: come up a sidewalk design where there is not an expansion groove every 4'. Make the sidewalk less bumpy, which is very uncomfortable for the disabled.

Landscaping

- Landscaping appropriate to the types of buildings.

Sustainability

- Consider more sunscreen of the west façade of Building I.
- Consider making screens at exterior corner to feel more designed and intentional.
- LEED checklist to make certified equivalent is also a good thing.
- System description sounds appropriate for both use and energy use/sustainability. There is no greenery that is not a tree.
- Turn parking and adjust to run down centre and put a landscape strip in there and make it into a bio swale.

The Developer made the following comments:

- Parking at south east corner is fundamentally employee parking. The earlier plan had an access between.

SIGN CRITERIA – PANORAMA PLACE

All sign layouts to be approved by the Landlord prior to commencement. Approval will be based on the following criteria:

- Signs may consist of illuminated or non-illuminated components as individual letters or channel shapes or combinations thereof.
- All signage will be raceway mounted on the building or in front of glazing.
- The face of raceways can be full height or partial height. The length is to be determined by the copy. All raceways are to be painted out the same colour and finish as the building or colour to compliment the sign.
- Maximum height of copy is to be 40". Maximum depth of copy is to be 5 ¼".
- Sign area not to exceed 3' square/lineal foot of elevation frontage.
- Copy area is not to exceed 50% of the sign area.
- Sign area will be determined by the width of the storefront from each end/demising wall. A minimum 12" space required at each end of the sign between the end of the sign and the demising wall.
- All wiring is to be the most current electrical code. All wiring and connections are to be contained within the raceway – *absolutely no visible wires or connections allowed.*
- No visible fasteners or manufacturers labels are allowed, with the exception of CSA as required.
- All materials and workmanship are to be of the highest level to ensure that quality is maintained.
- No contractor should commence manufacture before receiving written approval of their shop drawings from the Landlord.
- No contractor will be allowed to install any signage until they have secured any and all necessary municipal permits.