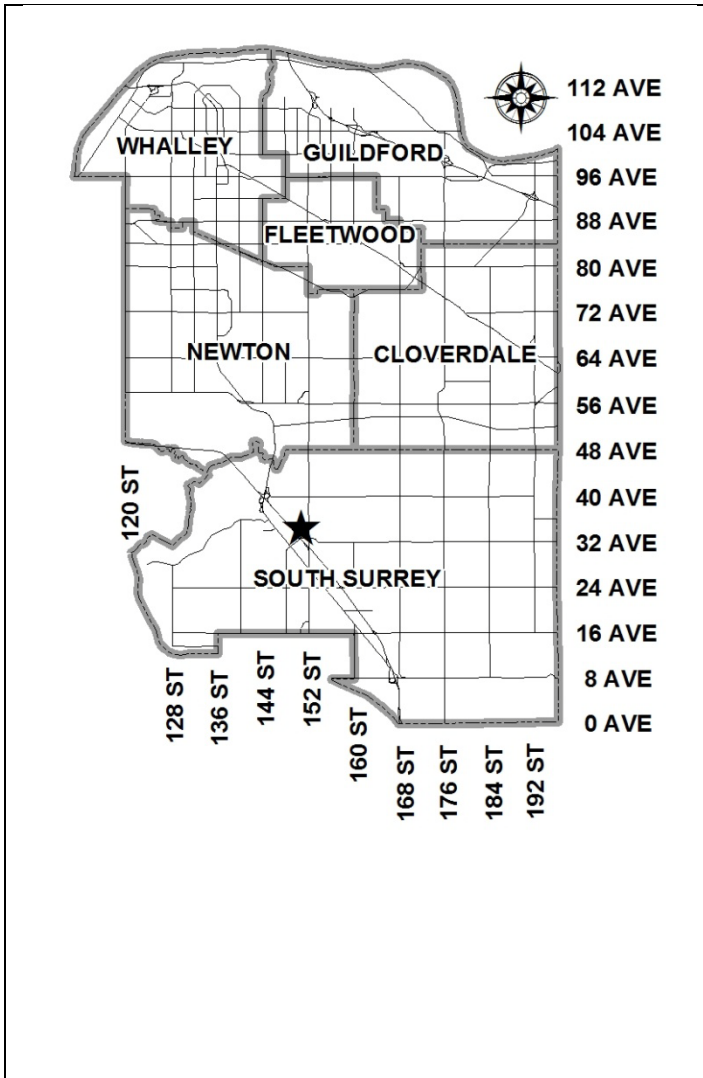


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7911-0241-00  
 7911-0242-00

Planning Report Date: January 23, 2012



**PROPOSAL:**

- **NCP Amendment** from Apartments 8 – 12 storey, Garden Apartment, Cluster Housing, Commercial and Preservation Area/Open Space to Townhouses (30 upa max), Apartments (4-storey max.), Apartments (6-storey max.), Indoor/Outdoor Amenity Space, and Preservation Area/Open Space.
- **Rezoning** from RA to CD (based on RM-45 and RM-30)
- **Generalized Development Permit**
- **Detailed Development Permit for Phase 1**

in order to permit the development of a phased comprehensive development consisting of 510 apartment units, 40 townhouse units, and 743 square metres (8,000 sq.ft.) of indoor amenity space, in multiple buildings. The Phase 1 detailed Development Permit consists of an 86-unit, 4-storey apartment building and 40 townhouse units.

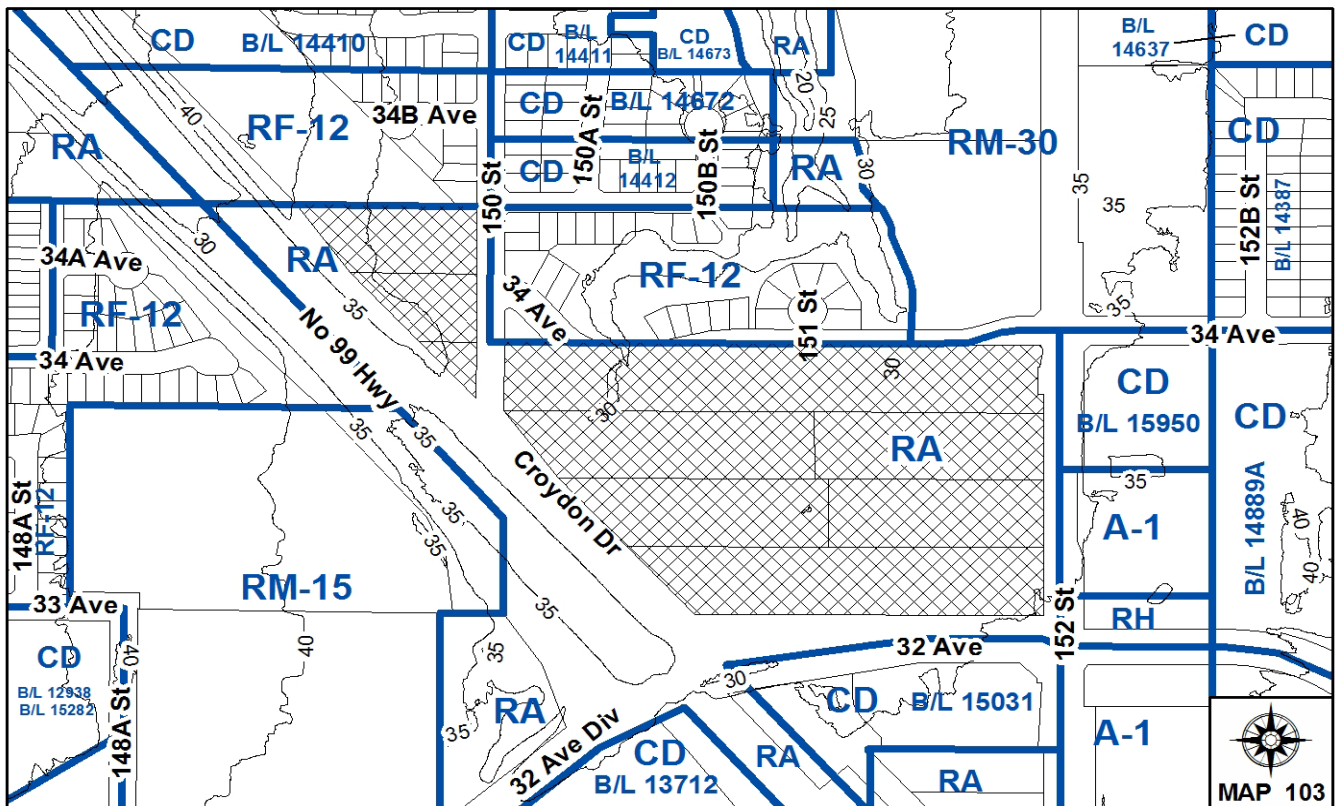
**LOCATION:** 3300 Block – 152 Street and  
 3400 Block – 150 Street

**OWNER:** Polygon Development 272 Ltd.

**ZONING:** RA

**OCP DESIGNATION:** Multiple Residential and Urban

**NCP DESIGNATION:** Apartments 8-12 storey, Garden Apartments, Cluster Housing, Commercial and Preservation Area/Open Space



### RECOMMENDATION SUMMARY

- File By-law No. 17167.
- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft a generalized Development Permit No. 7911-0241-00 for the site.
- Approval to draft a detailed Development Permit No. 7911-0242-00 for Phase 1

### DEVIATION FROM PLANS, POLICIES, OR REGULATIONS

- Partially complies with the Rosemary Heights West NCP designation. Needs a partial amendment to reduce the overall height limit of residential uses and eliminate the commercial component.

### RATIONALE OF RECOMMENDATION

- Complies with OCP designation.
- The proposal is consistent with the general land use intent for the subject site under the NCP by providing an amenity node and surrounding it with a variety of housing types and densities. The proposed combination of townhouses, and 4 and 6-storey apartment buildings provide a better interface with the existing neighbouring land uses than the higher density land uses, which include an 8-12 storey apartment building, that are designated for this site in the NCP.
- The elimination of the commercial space on this site has merits due to the close proximity of commercial services in the Southpoint Shopping Centre and the Rosemary Heights commercial centre. It also responds to the concerns previously expressed by shopping centre owners in the nearby area about additional retail space being provided on this site due to the existing problems they were having securing leases.
- As part of the subject proposal approximately 22,000 square metres (5.4 acres) of land under the BC Hydro corridor will be dedicated to the City as parkland.
- The applicant has provided a detailed traffic analysis which addresses potential traffic impacts from the development on the adjacent arterial roads and Highway 99. The analysis indicates that trips generated by this development will be modest in relation to background traffic and that planned improvements to the local road network will maintain acceptable levels of service for local roads and intersections.
- The proposal is designed to function as a comprehensive development with well located indoor and outdoor amenity spaces complementing residential uses. It has been designed with a strong sense of place and community with a well developed pedestrian network. The arrangement of architectural elements and the landscape design is directed toward a strong 'Village' concept. Building designs incorporate high quality materials, a substantial amount of articulation, and quality landscape treatments.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file By-law No. 17167.
2. a By-law be introduced to rezone the portion of the subject site shown as Block 2 on the survey plan attached in Appendix I from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
3. Council approve the applicant's request to reduce the amount of required indoor amenity space from 1,650 square metres (17,760 square feet) to 743 square metres (8,000 square feet).
4. Council authorize staff to draft generalized Development Permit No. 7911-0241-00 generally in accordance with the attached drawings (Appendix II).
5. Council authorize staff to draft detailed Development Permit No. 7911-0242-00 for Phase 1 generally in accordance with the attached drawings (Appendix III).
6. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) final approval from the Ministry of Transportation & Infrastructure;
  - (d) final endorsement from Senior Government Environmental Agencies;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (g) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (h) final approval from BC Hydro;
  - (i) the applicant enters into a P-15 license agreement and submit financial securities to ensure habitat compensation on dedicated environmental areas;
  - (j) registration of a Section 219 Restrictive Covenant over future phases of the development prohibiting any construction until the applicant adequately addresses the indoor amenity requirements under the zoning by-law either

- through the provision of additional indoor amenity space, or through a cash-in-lieu contribution in accordance with City policy;
- (k) the applicant addresses the shortfall in tree replacement as necessary;
  - (l) registration of shared access easements to provide all phases of the development with access to the common amenity facilities;
  - (m) registration of statutory right-of-ways as necessary to provide public access to the various pedestrian connections through the site;
  - (n) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
  - (o) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
  - (p) submission of financial securities to ensure the amenity building is constructed.
7. Council pass a resolution to amend the Rosemary Heights West NCP to redesignate the land from "Apartments 8 -12 storey", "Garden Apartments", "Cluster Housing", "Commercial" and "Preservation Area/Open Space" to "Apartments (4-storey max.)", "Apartments (6-storey max.)", "Townhouses (30 upa max.)", "Indoor/Outdoor Amenity Space", and "Preservation Area/Open Space" in accordance with Appendix VIII when the project is considered for final adoption.

### REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

School District: Projected number of students from this development:

32 Elementary students at Morgan Elementary School  
19 Secondary students at Earl Marriott Secondary School

The applicant has advised that the dwelling units in Phase 1 of this project are expected to be constructed and ready for occupancy by Fall 2012.

(Appendix V)

Parks, Recreation & Culture:

The Parks, Recreation & Culture Department supports the proposed conveyance of riparian areas under the BC Hydro Corridor as well as the three properties at 3391, 3409 and 3435 – 150 Street to the City as parkland. A P-15 agreement is required for monitoring and maintenance of replanting in the dedicated riparian areas. The Parks, Recreation & Culture Department will review and approve the final landscaping and pedestrian walkway plans prior to final adoption of the rezoning by-law.

Department of Fisheries and Oceans (DFO):

Barbara Creek, a Class A (red coded) fish bearing watercourse, extends along the western portion of the property under the BC Hydro corridor. There are also unnamed Class C (green coded) roadside and property line ditches along 34 Avenue.

DFO has agreed to the elimination of the green coded roadside and property line ditches along 34 Avenue and full protection of a 30 metre (100 ft.) setback along both sides of the top of bank of Barbara Creek. Habitat compensation will be provided through various enhancement works within the Barbara Creek riparian protection area including replanting, removal of existing crossings, and drainage enhancements.

The applicant will be required to enter into a P-15 license agreement and submit financial securities to facilitate habitat compensation on dedicated environmental areas.

Ministry of Transportation & Infrastructure (MOTI):

Preliminary approval granted

**SITE CHARACTERISTICS**

Existing Land Use: Vacant land and BC Hydro Transmission Lines

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 34 Avenue):	Single family dwellings and townhouses	Urban & Multiple Residential/ Single family small lots & Garden apartments	RF-12 and RM-30
East (Across 152 Street):	Seniors care facility and vacant land	Multiple Residential/Institutional & Garden Apartments (3-storeys)	CD, A-1 and RH

Direction	Existing Use	OCP/NCP Designation	Existing Zone
South (Across 32 Avenue Diversion):	Restaurant and automotive services	Commercial	CD
West (Across Highway 99):	Single family dwellings and townhouses	Urban	RF-12 and RM-15

JUSTIFICATION FOR PLAN AMENDMENT

- An NCP Amendment is proposed to redesignate portions of the subject site from "Apartments 8-12 storey", "Garden Apartments", "Cluster Housing", "Commercial", and "Preservation Area/Open Space" in the Rosemary Heights West Neighbourhood Concept Plan (NCP), to "Townhouses (30 upa max)", "Apartments (4 -storey max)", "Apartments (6 -storey max)", "Indoor/Outdoor Amenity Space", and "Preservation Area/Open Space" in accordance with the plan attached in Appendix VIII.
- The following is a comparison of the proposed development concept and the existing NCP.

	Residential Floor Area (square metres)	Residential No. of Units	Commercial Floor Area (square metres)
Rosemary Heights West NCP	41,694	374	809
Current Proposal	56,253	550	0

- Overall, the proposal is consistent with the general land use intent for the subject site under the NCP by providing an amenity node and surrounding it with a variety of housing types and densities. The proposal also sets aside the majority of the lands under the Hydro corridor for open space and recreational uses.
- The commercial node contemplated in the NCP has been eliminated and replaced with a central indoor/outdoor amenity space that will be accessible to all future residents of the development.
- The elimination of the commercial space on this site has merits due to the close proximity of commercial services in the Southpoint Shopping Centre and the Rosemary Heights commercial centre. It also responds to the concerns previously expressed by shopping centre owners in the nearby area about additional retail space being provided on this site due to the existing problems they were having securing leases.
- The increased residential density is supportable at this location, which is at the intersection of two major arterial roads (152 Street & 32 Avenue Diversion) and in close proximity to amenities within the Southpoint shopping centre.
- The proposed development responds to existing interface conditions by locating the lower density elements, including townhouses and 4-storey apartment buildings, along the northern edges of the site, adjacent existing single family dwellings and townhouses. The higher density, 6- storey apartment buildings, are located along the south and eastern

portions of the site adjacent existing and future apartment buildings. The proposed building massing provides a better interface with the existing adjacent land uses than the 8-12 storey apartment building identified for this site in the NCP.

## DEVELOPMENT CONSIDERATIONS

### Background and Site Context

- The subject site consists of nine (9) properties located at the northwest corner of 152 Street and 32 Avenue in the Rosemary Heights neighbourhood. The combined site area is approximately 8.0 hectares (20 acres). The site is currently zoned "One-Acre Residential (RA) Zone" and all of the properties are vacant. The western portion of the site is encumbered by the BC Hydro corridor. Barbara Creek, which is a protected watercourse, extends through a portion of the BC Hydro corridor area.
- The site is designated a combination of "Multiple Residential" and "Urban" in the Official Community Plan (OCP).
- The site is designated a combination of "Apartments 8-12 storey", "Garden Apartment", "Cluster Housing", "Commercial", and "Preservation Area/Open Space" in the Rosemary Heights West Neighbourhood Concept Plan (NCP), which was initially approved by Council in 1997 and later amended in 1998 in conjunction with the development of the 32 Avenue interchange.
- The Rosemary Heights West NCP envisions a limited commercial node at the centre of the subject site on either side of a proposed north-south road (151 Street) connecting 33 Avenue and 34 Avenue. This commercial area would terminate with a landmark feature at the intersection of 33 Avenue and the new north-south road. The commercial area is intended to accommodate a small scale shopping area serving needs of the area residents. Surrounding this limited commercial node, the NCP envisioned a variety of housing types and densities including mid-rise apartments (8-12 storey) at the corner of 34 Avenue and 152 Street, garden apartments (3-4 storey) at the corner of 32 Avenue and 152 Street, and cluster housing on the western portion of the site adjacent the Hydro corridor to ensure preservation of the natural features around Barbara Creek. The NCP identified the portions of the subject site that are under the Hydro corridor as open space with public walkways and bike trails.

### Original Proposal (2007)

- In 2010, Council considered a development application on the subject site from Grosvenor Canada. That application proposed an NCP amendment, rezoning, and development permit to permit development of a mixed-use project including 445 residential units (420 apartments and 25 townhouses) and 3,066 square metres (33,000 sq.ft.) of commercial space (The Village). That application received 3<sup>rd</sup> Reading from Council on May 17, 2010. However, prior to completing the project, the site was sold to Polygon Homes. Polygon Homes is seeking a similar "village" style mixed-use development, but the elements of the proposal deviate from the original Grosvenor proposal significantly enough to require a new NCP Amendment, rezoning, and development permit application. As part of the subject application, Council is being requested to file the rezoning by-law that was drafted for the Grosvenor application.

Current Proposal

- The applicant still proposes a comprehensive project including a mix of multiple-residential building types; however, the commercial component has been eliminated. The proposed development now comprises 550 multiple residential units (510 apartments units and 40 townhouses). Residential building forms include townhouses, 4-storey and 6-storey apartment buildings. The proposed residential buildings surround a centrally located amenity space with indoor and outdoor amenity opportunities accessible to all future residents of the project.
- It is noted that the subject proposal is proceeding under two project numbers. File No. 7911-0241-00 includes the proposed NCP Amendment, Rezoning, and Generalized Development Permit for the entire site. File No. 7911-0242-00 includes the detailed Development Permit for Phase 1 (40 townhouse units and an 86-unit, 4-storey apartment building).

Proposed CD Zone

- A new Comprehensive Development (CD) Zone (based on a combination of the RM-45 and RM-30 Zones) is proposed to accommodate the proposed development. The proposed CD Zone has been divided into 6 Blocks based on the land uses proposed for each area of the site. It is noted that the site will be subdivided into a series of separate lots. The proposed Blocks are derived largely from the anticipated future lot pattern.

Block A

- Block A encompasses the townhouse component of the project located in the northwest portion of the site. Block A of the CD Zone is based on the "Multiple Residential 30 Zone (RM-30)" as illustrated below:

	<b>Proposed CD (Block A)</b>	<b>RM-30 Zone</b>
Permitted Uses	Ground oriented multiple unit residential buildings Child care centres	Multiple unit residential buildings or ground oriented multiple unit residential buildings Child care centres
Density (FAR)	0.91	0.90
Density (UPA)	30 upa	30 upa
Lot Coverage	45%	45%
Building Height	13 metres (43 ft.)	13 metres (43 ft.)
Setbacks	3.0 metres (6 ft.) to 7.5 metres (25 ft.) from all lot lines	7.5 metres (25 ft.) from all lot lines

- The proposed uses under Block A of the proposed CD Zone are similar to the RM-30 Zone with the exception that only ground-oriented multiple unit residential buildings are permitted under the CD Zone. This will ensure that the buildings constructed in this Block are in a townhouse built form to interface well with the single family lots across the street (34 Avenue). Child care centres are permitted as an accessory use as per the RM-30 Zone.
- The proposed floor area ratio (0.91) and unit per acre density (30 upa) under the proposed CD Zone are similar to the RM-30 Zone. The proposed FAR is slightly higher (0.91 vs. 0.90) due to a portion of the lot being encumbered by the B.C. Hydro corridor. The



proposed lot coverage of 45% is identical to the RM-30 Zone.

### Block B

- Block B encompasses the 4-storey residential component located in the west-central portion of the site and is based on the Multiple Residential 45 (RM-45) Zone as illustrated below:

	<b>Proposed CD (Block B)</b>	<b>RM-45 Zone</b>
Permitted Uses	Multiple unit residential buildings Child care centres	Multiple unit residential buildings Child care centres
Density (FAR)	1.50	1.30
Density (UPA)	67 upa	45 upa
Lot Coverage	45%	45%
Building Height	15 metres (50 ft.)	15 metres (50 ft.)
Setbacks	4.0 metres (13 ft.) to 7.5 metres (25 ft.) from all lot lines	7.5 metres (25 ft.) from all lot lines

- The proposed uses under Block B of the proposed CD Zone are identical to the RM-45 Zone and include multiple unit residential buildings, and child care centres as an accessory use.
- The floor area ratio and unit per acre density are higher than the RM-45 Zone due to the relative small size of this proposed block, however, the building form and massing will be that of a typical 4-storey apartment building.

### Block C

- Block C encompasses the indoor/outdoor amenity component located in the southwest portion of the site and is based on the "Neighbourhood Commercial (C-5) Zone" as illustrated below:

	<b>Proposed CD (Block C)</b>	<b>C-5 Zone</b>
Permitted Uses	Indoor and Outdoor Amenity uses One dwelling unit	Retail stores Personal service uses Eating establishments Neighbourhood pub Office uses General service uses Community services Child care centres One dwelling unit
Density (FAR)	0.60	0.50
Lot Coverage	50%	50%
Building Height	11 metres (36 ft.)	9 metres (30 ft.)
Setbacks	4.0 metres (13 ft.) to 7.5 metres (25 ft.) from all lot lines	7.5 metres (25 ft.) from all lot lines

- The proposed uses under Block C of the proposed CD Zone include indoor and outdoor amenity uses and a caretaker dwelling unit.

- The 0.60 maximum floor area ratio proposed under Block C of the CD Zone is higher than the 0.50 floor area ratio permitted under the C-5 Zone. The proposed FAR is higher due to a portion of the lot being encumbered by the B.C. Hydro corridor. The proposed lot coverage of 50% is identical to the C-5 Zone.
- The proposed maximum building height has been increased from 9.0 metres (30 ft.) to 11.0 metres (36 ft.) to allow for higher floor to ceiling heights in the building and to allow for a more impressive building form.

#### Block D

- Block D encompasses the 6-storey residential component in the southeast portion of the site and is generally based on the Multiple Residential 45 (RM-45) Zone as illustrated below:

	<b>Proposed CD (Block D)</b>	<b>RM-45 Zone</b>
Permitted Uses	Multiple unit residential buildings Child care centres	Multiple unit residential buildings Child care centres
Density (FAR)	2.02	1.30
Density (UPA)	86 upa	45 upa
Lot Coverage	45%	45%
Building Height	22 metres (72 ft.)	15 metres (50 ft.)
Setbacks	4.0 metres (13 ft.) to 7.5 metres (25 ft.) from all lot lines	7.5 metres (25 ft.) from all lot lines

- The proposed uses under Block D of the proposed CD Zone are identical to the RM-45 Zone and included multiple unit residential buildings, with child care centres as an accessory use.
- Since the 6-storey wood frame building typology is relatively new, the City does not have a standard zone in place for this development type. As a result, the density (unit and FAR) is substantially higher than the RM-45 Zone. However, this typology is considered appropriate at this location as it is replacing the previous high-rise designation and will complement the village concept.
- The proposed maximum building height is 22 metres (72 ft.), which is higher than the 15 metre (50 ft.) maximum building height permitted in the RM-45 Zone to accommodate the proposed 6 - storey buildings.

#### Blocks E and F

- Blocks E and F encompass the 4 and 6-storey residential components in the northeast portion of the site and are generally based on the Multiple Residential 45 (RM-45) Zone as illustrated below:

	<b>Proposed CD (Blocks E and F)</b>	<b>RM-45 Zone</b>
Permitted Uses	Multiple unit residential buildings Child care centres	Multiple unit residential buildings Child care centres
Density (FAR)	2.00	1.30
Density (UPA)	80 upa	45 upa

Lot Coverage	45%	45%
Building Height	15 metres (50 ft.) in Block F and 22 metres (72 ft.) in Block E.	15 metres (50 ft.)
Setbacks	4.0 metres (13 ft.) to 7.5 metres (25 ft.) from all lot lines	7.5 metres (25 ft.) from all lot lines

- The proposed uses under Blocks E and F of the proposed CD Zone are identical to the RM-45 Zone and included multiple unit residential buildings, with child care centres as an accessory use.
- It is noted that Block E and F will encompass one lot. As such, similar to Block D of the CD Zone, the density (unit and FAR) is higher in Blocks E and F to accommodate a combination of 4 and 6-storey buildings which will occupy this lot. The 6-storey building type will be limited to the southern portion of this lot. Buildings fronting 34 Avenue, which interface with townhouses and single family lots, will be limited to a maximum of 4-storeys.
- The proposed maximum building height is 22 metres (72 ft.) in Block E, which is higher than the 15 metre (50 ft.) maximum building height permitted in the RM-45 Zone to accommodate the proposed 6 - storey buildings. The proposed maximum building height in Block F is 15 metres (50 ft.) which is identical to the RM-45 Zone and reflects the limitation to 4-storeys in this Block.

### Zoning Rationale

- Overall, the expected residential density complies with the OCP, but is higher than that envisioned in the NCP. The Rosemary Heights West NCP anticipated 374 residential units with a combined residential floor area of 41,694 square metres (449,000 sq.ft.) on the subject site. The subject proposal includes 550 residential units with a combined residential floor area of 56,253 square metres (605,522 sq.ft.). The increased residential density is supportable at this location which is at the intersection of two major arterial roads (152 Street & 32 Avenue Diversion) and in close proximity to amenities within the Southpoint shopping centre.
- The proposed development responds to existing interface conditions by locating the lower density elements, including townhouses and 4-storey apartment buildings, along the northern edges of the site, adjacent existing single family dwellings and townhouses across 34 Avenue. The higher density, 6- storey apartment buildings, are located along the south and eastern portions of the site adjacent existing and future apartment buildings across 152 Street.
- While the Block by Block setbacks may appear to be inconsistent with the typical zoning parameters, they are largely the result of the configuration of the future lot pattern on the subject site. The majority of the reduced setbacks are adjacent future internal lot lines, with the exception of some reductions along main street frontages to create a more urban, pedestrian oriented environment throughout the development. The setbacks for the apartment buildings fronting 34 Avenue have not been reduced.

### PRE-NOTIFICATION

- Pre-notification letters for the proposal were sent on October 14, 2011. Staff received 1 letter and 5 phone calls in opposition to the proposal. Opponents are primarily concerned about the overall scale of the development, interface with existing single family homes and townhouses, and the amount of additional traffic and parking problems that could be generated.
- The applicant held a public information meeting on November 23, 2011, which was attended by approximately 40 persons. Concerns expressed at the public information meeting included: building height, traffic, parking, and emergency access. Traffic congestion on 32 Avenue, 34 Avenue and 152 Street was the most commonly raised concern.

*(The applicant has provided a detailed traffic analysis which addresses the relationship of this site to the surrounding area and to adjacent arterial roads and Highway 99. The analysis indicates that trips generated by this development will be modest in relation to background traffic and that planned improvements to the local road network will maintain acceptable levels of service for local roads and intersections.)*

*(The proposed development responds to existing interface conditions by locating the lower density elements, including townhouses and 4-storey apartment buildings, along the northern edges of the site, adjacent existing single family dwellings and townhouses across 34 Avenue. The higher density, 6-storey apartment buildings, are located along the south and eastern portions of the site adjacent existing and future apartment buildings across 152 Street.)*

*(The 4-storey apartment buildings fronting 34 Avenue across from existing single family residential lots and townhouses has the same 7.5 metres (25 ft.) setback as the 4-storey apartment buildings fronting 34 Avenue that were proposed under the previous Grosvenor application on the subject site which received 3<sup>rd</sup> Reading from Council in 2010).*

*(The overall parking supply meets the Zoning By-law based on the combination of residential uses proposed.)*

*(Multiple well-distributed points of access to the site will allow vehicles to move efficiently within the site and provide good emergency access).*

#### DESIGN PROPOSAL AND REVIEW

- A generalized Development Permit is proposed for the entire site to establish the overall site plan, form and character, design guidelines and landscaping for this project.
- A detailed Development Permit is proposed for Phase 1 of the project which consists of a 4-storey, 86 unit apartment building and 40 townhouse units.
- Subsequent detailed Development Permits will be required for all of the other individual buildings and each of these Development Permits will be required to be submitted for approval by Council. These subsequent Development Permits will stipulate detailed

building architecture, design, landscaping, and signage .

### Generalized Development Permit

#### Site Plan

- The proposed site plan divides the site into two (2) distinct precincts; an amenity precinct, and a residential precinct. The amenity precinct consists of a central amenity building which will house a variety of indoor amenity uses that will be shared among all residents of the development. To the west of this building is a large private outdoor amenity area under the BC Hydro corridor which will include outdoor amenity uses such as tennis courts and community garden plots also for use by all residents of the development. The combination of indoor and outdoor amenity areas is intended to form a community "core". Surrounding the amenity centre precinct, to the north and east, is the residential precinct which consists of 550 homes in various apartment and townhouse forms. The residential precinct and amenity precinct are connected by main streets and a series of pedestrian linkages.

#### Environmental Requirements

- The applicant retained Enkon Environmental Limited to complete a field assessment and prepare an environmental report for the subject site. It is noted that Enkon Environmental Limited was also retained to address environmental requirements on the previous Grosvenor Canada application on the subject site. The report confirms the presence of Barbara Creek, a Class A (red coded) fish bearing watercourse along the western portion of the property under the BC Hydro corridor, as well as unnamed Class C (green coded) roadside and property line ditches along 34 Avenue.
- The environmental report recommends the elimination of green coded roadside and property line ditches along 34 Avenue but full protection of a 30 metre (100 ft.) setback along both sides of the top of bank of Barbara Creek. The consultant proposes habitat compensation in the form of various enhancement works within the Barbara Creek riparian protection area including replanting, removal of existing crossings, and drainage enhancements.
- The environmental report was reviewed by the Department of Fisheries and Oceans (DFO) at the September 21, 2011 Environmental Review Committee (ERC) meeting. DFO has accepted the proposal in principle but finalized details on the habitat compensation and storm water management will be completed prior to final adoption of the rezoning by-law.
- The applicant will be required to enter into a P-15 license agreement with the City and submit financial securities to facilitate habitat compensation on dedicated environmental areas.

### Park Dedication, Pathways and Greenways

- As part of the subject proposal approximately 22,000 square metres (5.4 acres) of land under the BC Hydro corridor, outside of the proposed private outdoor amenity space, will be conveyed to the City as parkland. A portion of this dedicated area around Barbara Creek will be remediated by the developer as part of their environmental habitat compensation requirements. The dedicated parkland will form part of a major linear open space corridor as identified in the Rosemary Heights West NCP.
- An existing link to Croydon Drive through the BC Hydro corridor will be maintained for emergency vehicle access to Rosemary Heights West, and otherwise preserved as a pedestrian walkway connecting the site to the dedicated park areas at the north end of the site, on the west side of Barbara Creek.
- A series of pedestrian pathways are proposed throughout the site which will be designed to allow movement of project residents and the general public through the site with links to the main road system. The pathway system connects internal elements including the amenity and residential precinct, and it also connects the site to other significant external pathways including those in Rosemary Heights West and the existing and future multi-use trail systems along 152nd Street and adjacent Highway 99 under the Hydro corridor. A series of statutory rights-of-way to provide public access to the various pedestrian connections through the site will be secured prior to final adoption of the rezoning by-law.
- Along the 152nd Street frontage, an 8.0 metre (26 ft.) wide statutory right-of-way, outside of private yards, will be protected for extension of the multi-use trail system identified in the Rosemary Heights West NCP and already constructed along 152 Street north of the site as part of earlier development projects.

### Traffic Analysis, Access, and Parking

- The applicant has provided a detailed traffic analysis which addresses the relationship of this site to the surrounding area and to adjacent arterial roads and Highway 99. The analysis indicates that trips generated by this development will be modest in relation to background traffic and that planned improvements to the local road network will maintain acceptable levels of service for local roads and intersections.
- The developer proposes to construct all onsite and offsite road work as part of the first phase of development. The scope of work includes the following elements:
  - new internal east-west road (33 Avenue);
  - new internal north-south road (151 Street);
  - right-in entrance to the site from 32 Avenue Diversion;
  - road works (including widening) and sidewalks on 34 Avenue frontage; and
  - Upgrade to 34 Avenue intersection.
- The proposal has been reviewed by the City's Transportation Division and the BC Ministry of Transportation and Infrastructure and found to be acceptable in principle.
- There are two (2) principal vehicular entries from major arterial roads: one is a right-

in/right-out access approximately midway along the site to/from 152nd Street at 33 Avenue; the other is a right in from the 32nd Avenue Diversion. A third access is provided on 34th Avenue which will allow full movements to and from 152nd Street. These distributed points of access will allow vehicles to move efficiently within the site.

- A total of 10 surface parking stalls are proposed to serve the proposed indoor amenity building. These stalls are located west of the amenity building under the portion of the Hydro corridor not to be conveyed to the City as parkland.
- All residential parking will be provided as underground parking with the exception of the townhouse portions of the site which will feature tandem garages for resident parking and surface parking stalls for visitors.
- The overall parking supply meets the Zoning By-law based on the combination of residential uses proposed.

### Design Character

- The generalized Development Permit not only establishes the overall site plan, but also the form and character, design guidelines and landscaping concepts for this project. The following, provided by the project architect, outlines the main design character elements which will make up the generalized development permit.
- The arrangement of architectural elements, and the landscape design, is directed towards a strong "village" concept. It is intended that there will be a harmony throughout the development through the use of colours, details, articulation, materials and landscape elements, drawing from compatible design vocabularies.
- The design theme intended for the residential components is a modern interpretation of a traditional "Boston Brownstone", which has been adapted to suit our West Coast climate. It is noted that this design theme includes flat-roof buildings, which is contrary to the Rosemary Heights West Design Guidelines, which suggests that flat roof should not be permitted and that roof slopes should range between 8/12 to 12/12. This issue was reviewed specifically by the City's Advisory Design Panel (ADP). The panel recommended that the flat roof be supported to provide some variation in architectural character within the Rosemary Heights West neighbourhood and given the high quality architectural design approach to the project.
- The amenity building located in the centre of the site at the intersection of the two internal main streets will be in the form of a "signature" building.
- Residential buildings have been organized to create substantial open courtyards which provide green-space, amenity and sun access.
- Residential units fronting 34 Avenue, and the two new internal streets (33 Avenue & 151 Street) will be street oriented with individual entries to the street at grade. The design of these units will promote a friendly "eyes on the street" approach to natural security and surveillance. Other elements will be incorporated to further animate the main streets including overlooking terraces, canopies, planters, street furnishings, and interesting articulation of facades.

- Grades along 34th Avenue have been arranged such that the residential ground floor units have their floor and yard elevation slightly above the street level. This enhances the distinction between the public realm and semi-private and private spaces.
- The massing of the proposed buildings have been carefully adjusted to respect the context of adjacent residential uses. In particular, buildings along the northern portion of the site adjacent single family homes and townhouses will include three-storey townhouses and 4-storey apartment buildings. The higher density 6-storey elements are located further south on the site.
- Building materials will be high-quality, attractive, sustainable and durable.
- Roof top equipment, where necessary, will generally be limited to low profile make-up air units which are normally not visible from the ground.

### Signage

- The overall approach to signage is to provide a coherent program to address different objectives for signage ranging from major community identification signs to localized way-finding signs.
- Major project gateway and identification monument signage will be located at the northwest corner of 32 Avenue and 152 Street. Secondary signage will be located at the southwest corner of 34 Avenue and 152 Street as well as the southwest corner of 34 Avenue and 151 Street.
- In addition to identifying street signage, a second level of way-finding signage is proposed to assist visitors in understanding the overall traffic pattern, as well as to help them locate the various parking areas and the entries to the amenity and residential buildings. In addition, other signage will clearly demarcate links to the various pedestrian walkways and greenways.
- All signage will be constructed of high quality materials and will comply with the City's Sign By-law. Design details for individual signs will be finalized through subsequent detailed Development Permits.

### Tree Assessment

- The applicant retained Mike Fadum and Associates Ltd. to prepare a tree survey and an arborist report for the project. The report indicated that the trees on the site are primarily native deciduous species including red alder, black cottonwood, and paper birch, of poor quality due to structural defects and declining health. Native conifers, including western red cedar and Douglas fir are of moderate quality, but many have dead tops. Only a few trees are of adequate structure and health to warrant preservation efforts.
- In total 347 trees were identified on the site. Of these 347 trees, 294 are birch, alder, or cottonwood with no retentive value. The remaining 53 trees consist of 27 Douglas Fir, 22 Western Red Cedar, 1 English Oak, 1 Cherry, and 2 Western Hemlock. Of the 53 trees worthy of retention efforts, 14 are proposed to be retained. The remaining 39 trees are



located within proposed roads or building footprints.

- The following table summarizes the proposed tree retention and removal on the subject site:

Tree Species	No. of Trees on Site	No. to be Retained	No. to be Removed
Paper Birch	50	0	50
Cherry	1	0	1
Black Cottonwood, Red Alder	244	0	244
Douglas Fir	27	11	16
Western Hemlock	2	0	2
English Oak	1	1	0
Western Red Cedar	22	2	20
<b>TOTAL</b>	<b>347</b>	<b>14</b>	<b>333</b>

- The Tree By-law requires 411 replacement trees and it is anticipated that this will be accommodated through landscaping on the site. The applicant will be required to contribute funds to the City Green Fund to offset any tree replacement deficiency.

### Indoor Amenity Space

- The indoor amenity space building will be approximately 743 square meters in total floor area. The programming for the indoor amenity space will be confirmed as part of a future detailed Development Permit for the building, however, the types of uses being contemplated include the following:
  - Concierge Suite
  - Guest suites
  - Laundry room for guest suites
  - Dog grooming/wash area
  - Workshop/bicycle repair
  - Full Height Gymnasium
  - Fitness room including fitness equipment
  - Lounge
  - Foyer and reception area
  - Kitchen and meeting area
  - Games rooms
  - Media room
  - Meeting rooms
  - Pool and hot tub with corresponding change rooms
  - Outdoor deck/seating areas.
- The proposed 743 square metres (8,000 sq.ft.) of indoor amenity space is less than the 1,650 square metres (17,760 sq.ft.) required under the Zoning By-law based on the 550 total residential units proposed in the development.
- The applicant is contemplating whether to incorporate small indoor amenity rooms within future phases of the project in order to offset the indoor amenity space deficiency. The concept of combining the indoor amenity space into one centralized building is

intended to promote a sense of community within the development. Adding smaller indoor amenity areas within individual buildings would contradict this intent. However, as the project builds-out, and more marketing and sales information is received, the addition of smaller indoor amenity areas within some of the individual apartment buildings may prove to be beneficial. For these reasons, the applicant is requesting more time to make this decision. To resolve this issue and provide some flexibility to the applicant, a no-build restrictive covenant will be registered over future phases of the project prohibiting construction until such time as the indoor amenity requirements under the zoning by-law are addressed either through the provision of additional indoor amenity space or through a cash-in-lieu contribution in accordance with City policy.

- As part of this application, Council is being requested to authorize a reduction to the required indoor amenity space from 1,650 square metres (17,760 sq.ft.) to 743 square metres (8,000 sq.ft.) assuming that no additional indoor amenity space is provided. Even if ultimately no additional indoor amenity space is provided, the proposed 743 square metre (8,000 sq.ft.) centralized amenity building is a significant common amenity feature, promoting a sense of place and community for future residents of the project and as such there are merits to collecting a cash-in-lieu of indoor amenity space to offset the remaining deficiency.

#### Landscaping Treatments and Outdoor Amenity Areas

- The generalized landscaping plan prepared for the site features a generous combination of trees and shrubs in a variety of species and colours to add visual interest and enhance the architectural character of the development. Substantial landscape treatment is proposed along the site edges.
- A large outdoor amenity area is proposed adjacent the indoor amenity building. The programming for this large outdoor amenity area will be confirmed through a future detailed Development Permit application but both active and passive forms of recreational opportunities are being contemplated including tennis courts, garden plots and a series of walkway connections. A series of smaller courtyards and outdoor amenity areas are proposed on the south side of the indoor amenity building as well as throughout the site adjacent the residential apartment buildings. These open spaces will provide additional opportunity for both passive and active recreation.
- The total combined outdoor amenity space greatly exceeds the amount of outdoor amenity space required under the Zoning By-law based on the number of units proposed.
- The applicant's landscape architect has undertaken a comprehensive public realm analysis to develop a comprehensive hierarchy of pedestrian linkages throughout the site to connect the residential and indoor and outdoor amenity areas on the site, as well as provide connections from the site to the adjacent park and public trail network.

#### Place Making

- The subject proposal is designed as a comprehensive mix of multiple residential and amenity uses in a village concept with a strong sense of place and community. The development of strong pedestrian networks, provides convenient access to amenities. The amenity areas, and adjacent parks and trail network, provide spaces for socialization, an

important element of community life.

### Public Art

- The applicant has been working with the City's Arts Services Section to explore opportunities to incorporate public art features within the development. Public Art for this site is anticipated to work in conjunction with gateway signage features or will comprise a series of themed elements located along linear pedestrian systems.
- The applicant is required to provide a public art contribution in accordance with the City Public Art policy equal to 0.25% of the construction value. This contribution will be fully or partially offset by any agreed upon public art features provided on site.

### Sustainability

- Sustainable features of this proposal include the following:
  - Dedication of approximately 5.4 acres of land for parks and green space;
  - Preservation and enhancement of Barbara Creek;
  - Use of oil/water separators and bio-swales to clean storm water and return it to the ecosystem rather than burdening storm sewer infrastructure;
  - Provision of varying forms of housing to provide first time buyers and empty nesters with affordable housing choices within the community;
  - Place-making and creation of a vibrant urban environment through the careful combination and linkage of amenity and residential spaces;
  - Provision of substantial indoor and outdoor amenity spaces;
  - Encouraging pedestrian walk-ability by building amenity spaces in close proximity to residential uses;
  - Commitment to sustainable building features including high efficiency lighting, dual flush toilets, and electrical equipments selected to reduce energy loads. The developer is also committed to the use of construction materials with recycled content, low off-gassing materials including carpet and paint, and other materials with lower environmental impacts.

### Detailed Development Permit Phase 1

- A detailed Development Permit is proposed for Phase 1 of the project which consists of a 4-storey, 86 unit apartment building and 40 townhouse units.

#### 4-Storey Apartment building

- The proposed 4-storey, 86-unit apartment building is located on the west-central portion of the site adjacent the BC Hydro corridor. The proposed apartment building will be located on proposed Lot 2 of the future plan of subdivision for the site, which is within Block B of the proposed CD Zone.
- The building is wood frame construction and has a total floor area of 7,800 square metres (84,000 sq.ft.)
- The proposed apartment is L-shaped, opening up to a large southwest facing outdoor

courtyard. The building is comprised of a combination of 1, 2 and 3 bedroom unit types.

- The building is designed to be street-oriented along the future main street (151 Street). The building is sited with a reduced 4.0 metre (13 ft.) setback along the street frontage and ground floor units are designed as "City Home" style residences with private front yards and direct access to the street at grade.
- The ramp to the underground parkade is located on the south side of the building. The underground parkade provides a total of 127 resident parking spaces and 11 visitor parking spaces. An additional 6 visitor parking stalls are provided as surface parking on the south side of the building. The proposed number of parking stalls meets the Zoning By-law requirement for the number of units proposed.
- Bicycle parking and storage lockers are provided in the underground parkade.
- The apartment building is designed in accordance with the generalized Development Permit with a clearly identifiable "Boston Brownstone" character. The building features a flat roof and cladding materials include brick and Hardie siding. The richness of the red brick colour is contrasted by the sharp black and crisp white colours of the siding and trim details.
- Rooftop mechanical equipment is limited to low profile make up air units which will be positioned and screened so as not to be visible.
- The landscaping plan for the apartment building features a generous combination of trees and shrubs. The outdoor courtyard area on the southwest side of the building is complemented by adjacent decorative trellises and bench seating. Walkway connections are decoratively paved in brick.

### Townhouse Units

- The proposed 40 townhouse units are located on the northwest portion of the site across the street from existing single family dwellings. The proposed townhouses will be located on proposed Lot 1 of the future plan of subdivision for the site, which is within Block A of the proposed CD Zone.
- The 40 townhouse units are 3-storey, on grade, wood frame 4-plex, 5-plex, and 6-plex buildings. The combined residential floor area of all 40 units is of 5,424 square metres (58,000 sq.ft.)
- All of the townhouse units feature tandem garages which are accessed via a single drive-aisle running east-west from the future 151 Street.
- The townhouse buildings are designed to be street-oriented along 34 Avenue and the future main street (151 Street). The buildings are sited with a reduced 4.0 metre (13 ft.) setback along the street frontages, and street fronting units will have private gated accesses from the street.
- A total of 8 visitor parking stalls are provided as surface parking scattered throughout the townhouse site. The proposed number of parking stalls meets the Zoning By-law

requirements for the number of units proposed.

- The townhouse buildings are designed in accordance with the generalized Development Permit with a clearly identifiable "Boston Brownstone" character. The buildings feature flat roofs and cladding materials include brick and Hardie siding. The richness of the red brick colour is contrasted by the sharp black and crisp white colours of the siding and trim details.
- The landscaping plan for the townhouse site features a generous combination of trees and shrubs. A grassed outdoor courtyard area is located on the west side of the site. Walkway connections are decoratively paved in brick.

#### ADVISORY DESIGN PANEL

- The subject development proposal was presented to the Advisory Design Panel (ADP) on November 24, 2011. The majority of the comments from the panel have been addressed. The remaining minor issues and details will be addressed prior to final adoption of the rezoning by-law.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II.	Proposed Subdivision Layout, and Generalized Development Permit drawings
Appendix III	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective for Phase 1 Detailed Development Permit
Appendix IV.	Engineering Summary
Appendix V	School District Comments
Appendix VI	Summary of Tree Survey and Tree Preservation
Appendix VII	ADP Comments
Appendix VIII	Proposed NCP Amendment
Appendix IX	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Environmental Report Prepared by Enkon Environmental Ltd. Dated September 7, 2011.
- Traffic Study prepared by McElhanney Consulting Services Ltd. Dated September 12, 2011.
- Complete Set of Architectural and Landscape Plans prepared by Rositch Hemphill and Associates Architects and Perry and Associates Landscape Architecture, respectively, dated January 31, 2012.

*original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

RG/kms

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. 2/2/12 11:28 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                    Kevin Shoemaker  
   Polygon Development 272 Ltd.  
   Address:                    1333 West Broadway Suite 900  
   Vancouver BC V6H 4C2  
  
   Tel:                                    604-871-4283
  
2.      Properties involved in the Application
  - (a)      Civic Address:                    3435 and 3409 - 150 Street; 3303 and 3333 152 Street; 3386  
   150 Street; 3361 - 152 Street; 3352 and 3332 Croydon Drive;  
   3391 - 150 Street
  
  - (b)      Civic Address:                    3435 - 150 Street  
   Owner:                    Polygon Development 272 Ltd., Inc. No. 877466  
   PID:                                    011-356-472  
   Parcel "B" (S116921E) Lot 7 Section 27 Township 1 New Westminster District Plan 8895
  
  - (c)      Civic Address:                    3409 - 150 Street  
   Owner:                    Polygon Development 272 Ltd., Inc. No. 877466  
   PID:                                    008-818-339  
   Lot C Section 27 Township 1 New Westminster District Plan 25810
  
  - (d)      Civic Address:                    3303 - 152 Street  
   Owner:                    Polygon Development 272 Ltd., Inc. No. 877466  
   PID:                                    007-062-729  
   Lot 31 Except Firstly: Part Shown Red and Green on Highway Plan 25810 Secondly: Parcel  
   "M" (Bylaw Plan 62662) Section 27 Township 1 New Westminster District Plan 8895
  
  - (e)      Civic Address:                    3333 - 152 Street  
   Owner:                    Polygon Development 272 Ltd., Inc. No. 877466  
   PID:                                    011-356-901  
   Lot 32 Except: Firstly: Parcel "A" (Reference Plan 27509) Secondly: Parcel "L" (Bylaw Plan  
   62662); Thirdly: Part on Highway Plan 25810 Section 27 Township 1 New Westminster  
   District Plan 8895
  
  - (f)      Civic Address:                    3386 - 150 Street  
   Owner:                    Polygon Development 272 Ltd., Inc. No. 877466  
   PID:                                    011-356-944  
   Lot 34 Except: Firstly, Parcel "H" (Bylaw Plan 62662); Secondly, Part on Plan BCP6711  
   Section 27 Township 1 New Westminster District Plan 8895
  
  - (g)      Civic Address:                    3361 - 152 Street  
   Owner:                    Polygon Development 272 Ltd., Inc. No. 877466  
   PID:                                    000-495-883  
   Lot 57 Section 27 Township 1 New Westminster District Plan 49745

- (h) Civic Address: 3352 Croydon Drive  
Owner: Polygon Development 272 Ltd., Inc. No. 877466  
PID: 006-466-681  
Lot 58 Section 27 Township 1 New Westminster District Plan 49745
  
- (i) Civic Address: 3332 Croydon Drive  
Owner: Polygon Development 272 Ltd., Inc. No. 877466  
PID: 007-789-777  
Parcel "A" (Reference Plan 27509) Lot 32 Section 27 Township 1 New Westminster District Plan 8895
  
- (j) Civic Address: 3391 - 150 Street  
Owner: Polygon Development 272 Ltd., Inc. No. 877466  
PID: 008-818-398  
Lot D Section 27 Township 1 New Westminster District Plan 25810

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone a portion of the property.
- (b) Application is under the jurisdiction of MOTI.

MOTI File No. 2011-05338



## DEVELOPMENT DATA SHEET

Proposed Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total	79,807 m <sup>2</sup>	
Road Widening area		
Undevelopable area		
Net Total	35,551 m <sup>2</sup>	
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	50%	
<b>SETBACKS</b> ( in metres)	Range from 4.0 metres to 7.5 metres from all lot lines.	Range from 4.0 metres to 7.5 metres from all lot lines.
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	Up to 22 metres (6 storeys)	Up to 22 metres (6 storeys)
Accessory		
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total	550	550
<b>FLOOR AREA: Residential</b>	56,253 m <sup>2</sup>	56,253 m <sup>2</sup>
<b>FLOOR AREA: Commercial</b>		
Retail		
Office		
Total		
<b>FLOOR AREA: Industrial</b>		
<b>FLOOR AREA: Institutional</b>		
<b>TOTAL BUILDING FLOOR AREA</b>	56,253 m <sup>2</sup>	57,253 m <sup>2</sup>

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	64 uph/26 upa	64 uph/26 upa
# of units/ha /# units/acre (net)	152 uph/62 upa	152 uph/62 upa
FAR (gross)	0.70	0.70
FAR (net)	1.58	1.58
AMENITY SPACE (area in square metres)		
Indoor	1,650 m <sup>2</sup>	743 m <sup>2</sup>
Outdoor	1,650 m <sup>2</sup>	>1,650 m <sup>2</sup>
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	957	957
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW**

**OF ALL OR A PORTION OF:**

- 1) LOT 57 PLAN 6876
- 2) LOT 58 PLAN 6876
- 3) PARCEL X (RESIDENCE PLAN 17359) LOT 32 PLAN 8891
- 4) LOT 32 EXCISE FIRSTLY, PART SHOWN RED AND GREEN ON HEIGHT PLAN 29410
- SECONDLY, PARCEL Y (REFERENCE PLAN 27509)
- THIRD PART ON HIGHWAY PLAN 28910

- 5) LOT 24 EXCISE FIRSTLY, PARCEL Y (BYLAW PLAN 62852) SECONDLY, PART ON PLAN EXCEPT PLAN 8895
- 6) LOT 31 EXCISE FIRSTLY, PART SHOWN RED AND GREEN ON HEIGHT PLAN 29410
- SECONDLY, PARCEL W (BYLAW PLAN 62862) PLAN 8895
- ALL OF SECTION 27 TOWNSHIP 1 NEW WESTMINSTER DISTRICT



0 10 20 40 60

ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.

The intended grid size of this plan is 425mm in width by 175mm in height (B Size) when plotted at a scale of 1:2500

OWN DIMENSIONS ARE GIVEN FROM OLD CONTIGUOUS POINTS SITE AND SHOWN

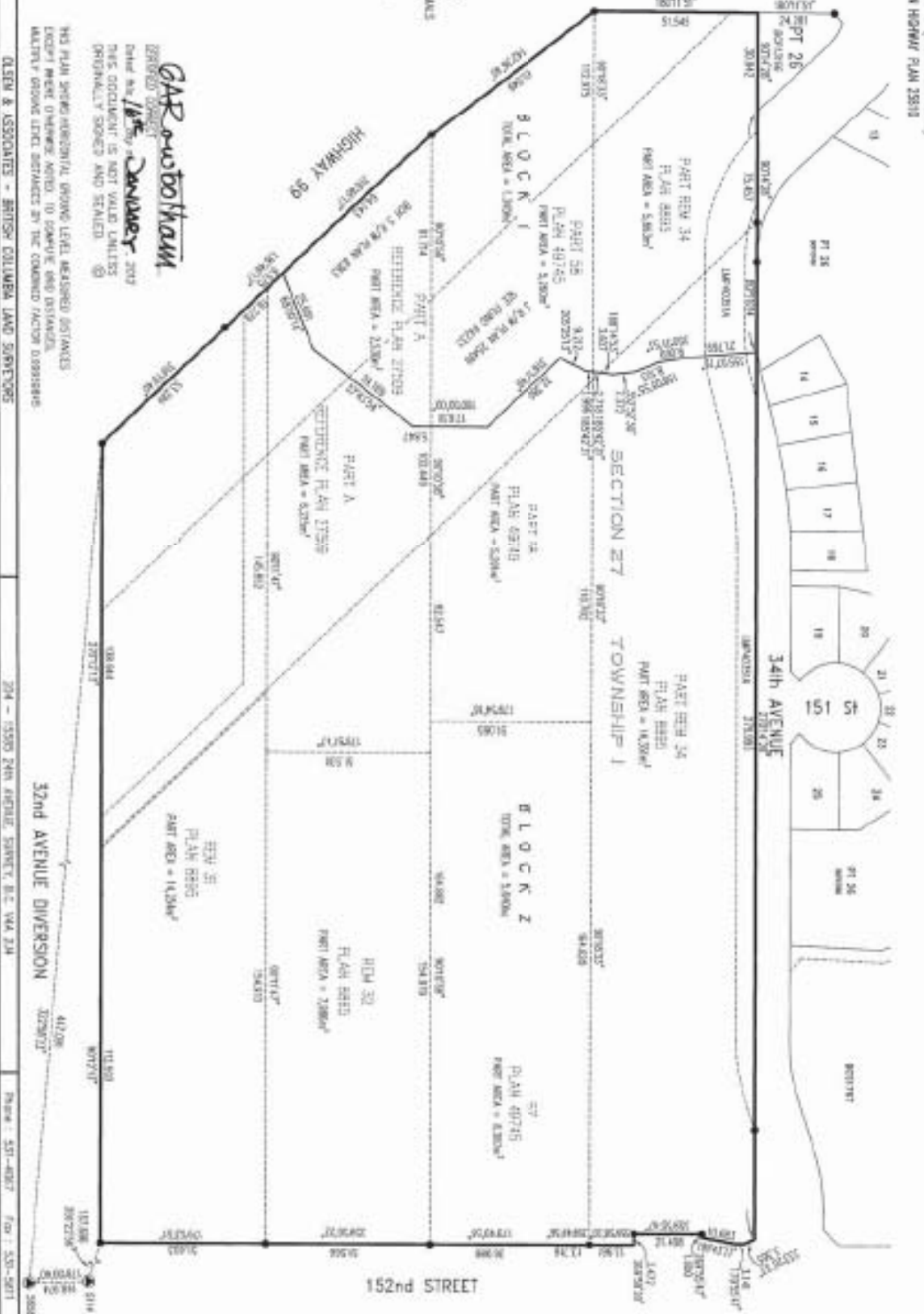
LEGEND

- PROPOSED OLD ROAD PORT ROAD
- OLD CENTER MARKING ROAD
- SETBACKS

**GARWOOD/BOYKIN**  
 ENGINEER  
 1450 145th Street, Surrey, BC V4W 2M4  
 2012

THIS PLAN SHOWS MEASURED GROUND LEVEL MEASURED DISTANCES EXCEPT WHERE OTHERWISE NOTED TO SHOW THE DISTANCES MEASURED FROM THE CORNER POINTS OF THE ORIGINAL SURVEY AND SCALED

FILE NO. 17300 BLOCK PLAN 1 | 274 - 15500 24th Avenue, Surrey, B.C. V4A 2J4 | Phone: 591-4887 Fax: 521-5811



# APPENDIX II

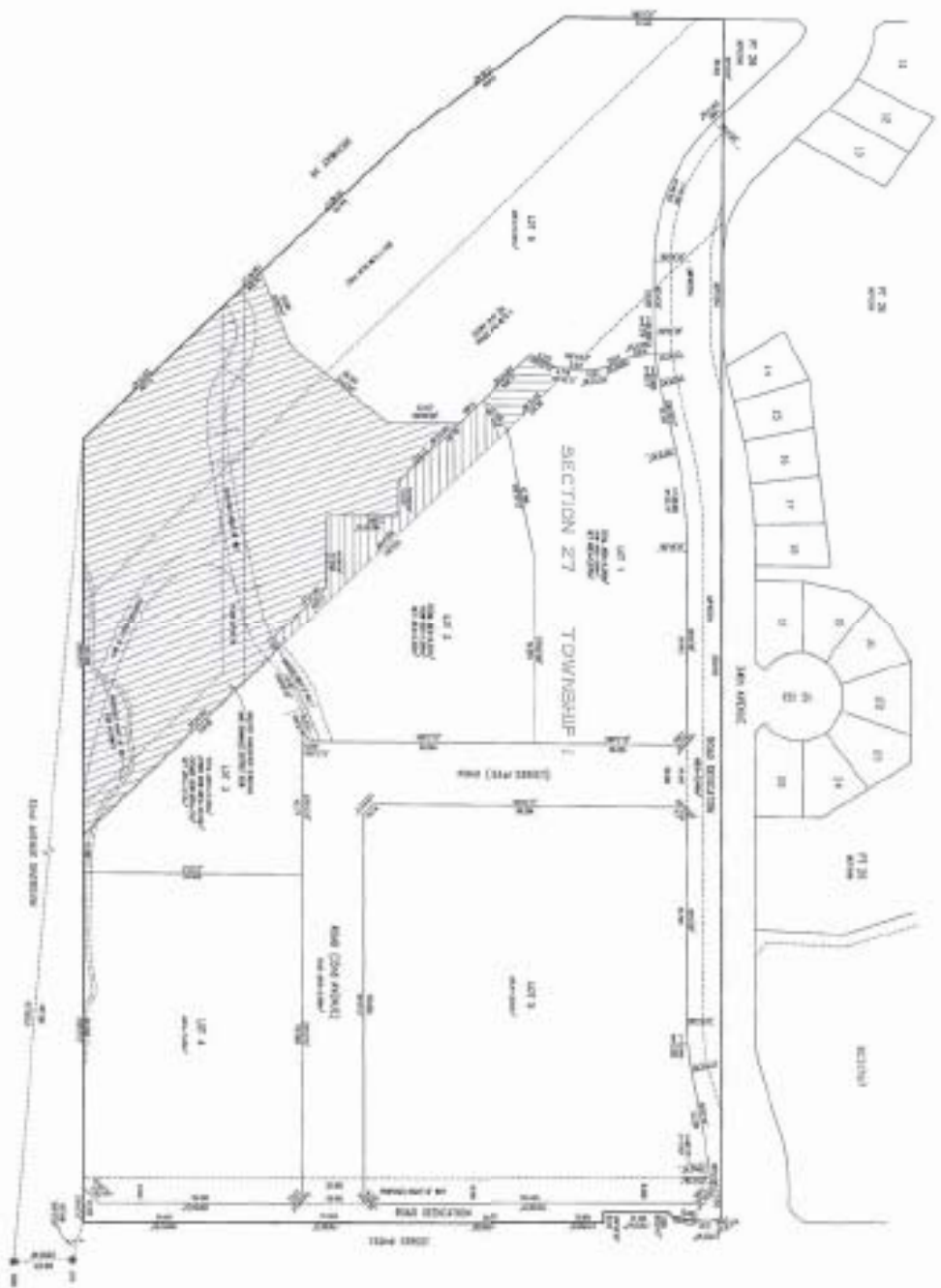
**PROPOSED SUBDIVISION PLAN (P):**

- 1) LOT 27 PLAN 4936
- 2) LOT 28 PLAN 4936
- 3) PART "Y" DISTRICT PLAN 25391 LOT 27 PLAN 4935
- 4) LOT 28 DISTRICT PLAN 25391 "Y" DISTRICT PLAN 25391

- 5) LOT 24 DISTRICT PLAN "X" SUBDIVISION PLAN 25391 PART OF PLAN 49351 PLAN 4935
- 6) LOT 25 DISTRICT PLAN PART SHOWN AND NOT SHOWN IN DISTRICT PLAN 25391
- 7) DISTRICT PLAN "X" (PLAN PLAN 49351) PLAN 4935
- 8) LOT 27 SECTION 27 TOWNSHIP 1 NORTH RANGELAND DISTRICT



NOT TO SCALE  
 DISTRICT PLAN 25391  
 PLAN 49351  
 PLAN 4936



- 1) LOT 27 PLAN 4936
- 2) LOT 28 PLAN 4936
- 3) PART "Y" DISTRICT PLAN 25391 LOT 27 PLAN 4935
- 4) LOT 28 DISTRICT PLAN 25391 "Y" DISTRICT PLAN 25391

NOT TO SCALE  
 DISTRICT PLAN 25391  
 PLAN 49351  
 PLAN 4936

**PLAN SCP**

PROPOSED SUBDIVISION PLAN (P)  
 LOT 27 PLAN 4936  
 LOT 28 PLAN 4936  
 PART "Y" DISTRICT PLAN 25391 LOT 27 PLAN 4935  
 LOT 28 DISTRICT PLAN 25391 "Y" DISTRICT PLAN 25391

NOT TO SCALE  
 DISTRICT PLAN 25391  
 PLAN 49351  
 PLAN 4936

# Seaside Village

152nd Street and 32 Avenue Diversion, South Surrey, B.C.

## Rezoning Application Submission

20 SEPTEMBER 2011

## Public Realm Amendment

17 NOVEMBER 2011

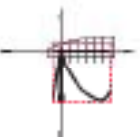
## Revised

31 JANUARY 2012



**POLYGON**

Suite 600 - 133 West Broadway, Vancouver, B.C.  
Canada V6H1C1 T580K07-4276 F500K071-4120



**ROSITCH HEMPHILL + ASSOCIATES ARCHITECTS**

10-120 POWELL STREET, VANCOUVER, B.C. CANADA V6A 1G1 FAX (604) 629-1091 TEL (604) 629-0202

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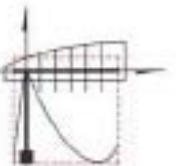
# Seaside Village

For  
**Polygon Homes**  
152<sup>nd</sup> Street and 32<sup>nd</sup> Avenue Diversion, South Surrey, BC

Rezoning Application Submission : September 20, 2011  
Public Realm Amendment : November 17, 2011  
Revised : January 17, 2012

## RE-ZONING RE-SUBMISSION:

	Text Pages 1 - 13
Design Rationale	
Context Plan	1
Site Photos	2
Project Statistics	3
Site Area Allocation Concept, Subdivision Plan	4 - 5
Site Plan, Site Plan with Townhomes and Bldg 2 Level 1	6 - 7
Amenity Allocation Plan, Building Setbacks	8 - 9
Phasing Plan,	10
Landscape Plan, Pedestrian Circulation Plan	11 - 12
U/G Parking Plans,	13 - 14
Cross Sections	15 - 17
Shadow Diagram	18
Aerial Views 3D Massing	19 - 23
Proposed Block Plans	24 - 25
Existing Survey and Topo	26
Public Realm Plan	



**DESIGN RATIONALE**

for  
**Polygon Homes**  
**152<sup>nd</sup> Street and 32<sup>nd</sup> Avenue Diversion, South Surrey, BC**

Rezoning Application Submission : September 20, 2011  
 Revised : January 31, 2012

**Overview:**

In 2007 Grosvenor Canada submitted a rezoning application for a mixed-use neighbourhood centre called "The Village". The proposal sought to amend the 1991 "Neighbourhood Concept Plan" (NCP) to allow 10,233 m<sup>2</sup> (110,000 sq. ft.) of commercial uses and 469 apartment homes on a 26-acre site at the N. W. corner of 152<sup>nd</sup> Avenue and 32<sup>nd</sup> Avenue Diversion. Grosvenor's team prepared a revised 2009 rezoning re-submission in response to community feedback, taking into particular consideration the area and extent of proposed commercial uses.

The revised rezoning application removed the area of retail space proposed from roughly 9,000m<sup>2</sup> to approximately 3,000m<sup>2</sup> while retaining the residential uses, park dedication, and the village-like character advanced in their earlier applications. Urban design changes also helped to move the application much closer to the intent of the 1991 NCP but maintained a strong retail presence. A detailed Development Permit application for the first phase (CRU 1 and CRU 2 in the commercial precinct) was included and reviewed. The application was reviewed by Design Panel and Planning and essentially approved pending completion of the Site Service Agreement.

However, prior to completing the Service Agreement, this property was purchased by Polygon Homes. In the process of Polygon's evaluation of the project, they have deleted retail component and provided substantial amenities. Polygon's analysis also concludes that the deletion of retail, and the resulting reduction in traffic impact, supports an increase in the total residential proposed.

This current plan was presented at a Public Information Meetings in June and November of last year, and received very strong support from the local residents who attended.

FIGURE 1 OF 12



Rosemary Heights West Land Use Plan: NCP

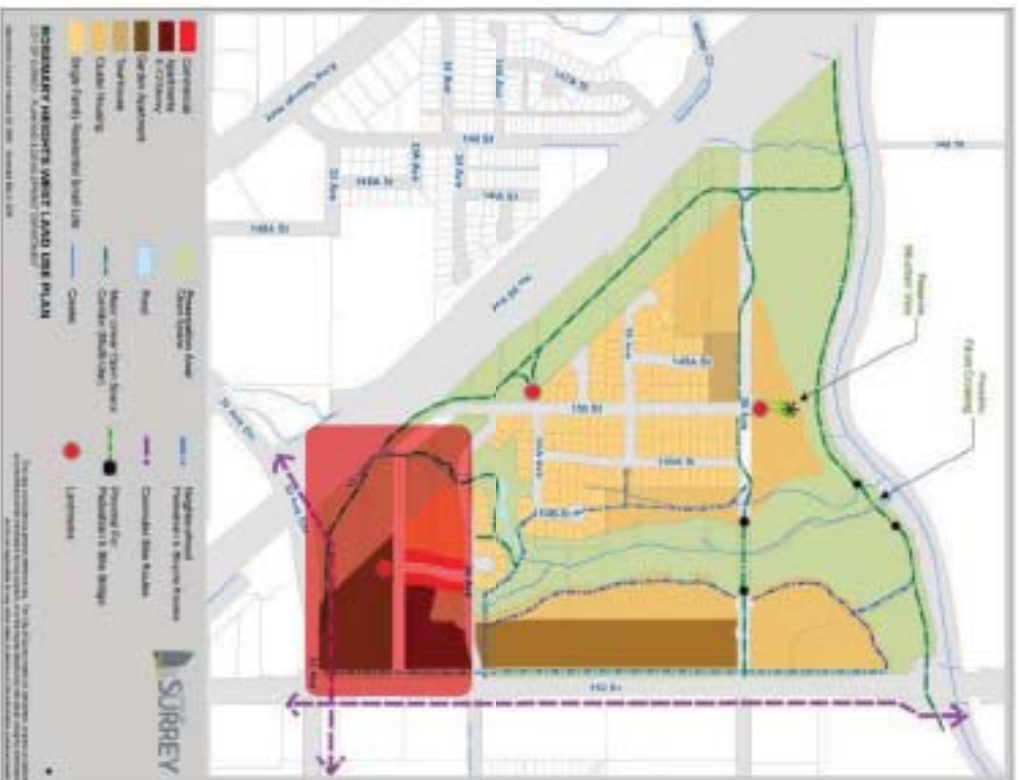


FIGURE 2 OF 12

**Current Overall Site Plan:**



**Proposed Use and Density:**

	Residential Gross Floor Area m <sup>2</sup>	Residential Units	Residential Parking	Commercial Gross Floor Area m <sup>2</sup>	Commercial Parking
NCP	41,694	374	660	809	24
2007 Re-zoning Proposal	40,515	489	786	10,233	551
2010 Re-zoning Proposal	39,909	415	718	3,066	208
<b>CURRENT Re-zoning Proposal</b>	<b>46,311</b>	<b>550</b>	<b>935</b>		

FIGURE 3 OF 12

**Key changes include:**

- Deletion of retail component.
- Private amenity building at a central location on the site.
- The reduced traffic impact allows the program to increase the residential component without increasing the traffic impact.
- Residential density has been re-assessed to better integrate with neighbouring properties, especially to the north. The new plan maintains a townhouse precinct across from the single family homes north of 34<sup>th</sup> Avenue. On the north eastern portion of the site we have 4 storey apartment buildings facing the existing 3 storey townhouse complex across 34<sup>th</sup> Avenue.
- Reduced surface parking and
- Outdoor community amenity on the Hydro Right-of-Way.

**Response to Context:**

Like the previous application, this rezoning submission proposes a slightly different response to the context than that articulated in the 1991 NCP. It remains our opinion that amenity uses should anchor and animate the southern, central portion of the site, creating a heart for the neighbourhood. The site is adjacent to major vehicular routes including 152<sup>nd</sup> St. to the east, Highway 99 to the west, and Translink's Frequent Transit Network with major bus connections on 32<sup>nd</sup> Avenue Diversion to the south, and 152<sup>nd</sup> Street to the east.

**Site Access:**

Our proposed site access and egress have been reviewed extensively over the past years by Sunery Engineering, TransLink and the BC Ministry of Transportation and Highways. Previous traffic impact analyses have indicated that trips generated by the existing commercial component will be modest in relation to background traffic and that planned improvements to the local road network will maintain acceptable levels of service for local roads and intersections. Approximately 10,600 m<sup>2</sup> (2.65 acres) of the site will be dedicated to the City for public street and sidewalks which will be constructed by Polygon.

**Streets as Organizing Feature:**

Similar to previous applications, this proposal continues to respond to specific patterns of access which we have been used to organize the site on a "neo-traditional" grid of streets with a cross-axis "Main-Street" concept. It is intended that easy access to all uses will be provided, including parking and access for the disabled.

The new east-west Main Street, coming in from 152<sup>nd</sup>, is flanked on both the north and south by higher density five to six storey residential buildings. The new north/south street, coming in from 34<sup>th</sup>, is flanked to the east, at the entry, by 4 storey apartments and to the west by residential townhouses. As part of our scope of work we will complete the construction of 34th Avenue improvements and have proposed traffic calming measures.

FIGURE 4 OF 12



## ***Parking:***

Crossing over a large area of the site is a hydro transmission line right-of-way, under which no buildings are permitted. A total of only 10 parking stalls are proposed, the majority of which are located on the hydro right of way. This new proposal has substantially reduced the amount of parking on the right-of-way from that originally proposed by the previous applicant. This much smaller parking lot is oriented toward the front doors of the Amenity Building and is located generally in an already disturbed part of the site, originally used for many years as parking. This area is integrated with landscaping, path-ways, pedestrian routes, outdoor amenities, connections to the Surrey Green-Way park system and other landscape features.

## ***Site Perimeters:***

A critical element of the site planning is the provision of a detailed architectural and landscape treatment for the site perimeters which are most visible to the general public.

- On the north west corner of the intersection of 152<sup>nd</sup> Street and 32<sup>nd</sup> Avenue, we propose an articulated landscape treatment at the junction of two major multi-purpose trails. This area will be enhanced by a significant site monument to anchor the corner and provide orientation. Polygon is currently in discussion with the City to provide a significant public art piece in this location. Residential use at this corner will also provide "eyes on the street" which will increase real and perceived public safety.
- On the south west corner of the intersection of 34<sup>th</sup> Avenue and 152<sup>nd</sup> we have proposed to locate a 4 story residential building along with another significant site monument which will "complete the square" with the existing buildings on the other three corners.
- Landscape detail will encourage pedestrian interest and integrate the pedestrian system with the overall Surrey pedestrian and multi-use trail system.

## ***Park Dedication & New Community Connections:***

This rezoning proposal includes dedication of 10,021 m<sup>2</sup> of land for park uses, as well as a 12,093 m<sup>2</sup> parcel of land under the hydro right-of-way for creek protection. The dedicated open green-space will be a valuable community asset and the RCOW dedication will protect Barkan Creek which Polygon will remediate as part of the proposed development. The lands will form an essential link in a pedestrian system that will ultimately connect to the new pedestrian overpass that will enable people to cross Highway 99 immediately to the north of the proposed park.

## ***Village Centre (Private Amenity Precinct):***

The Central Banking in the core of the community establishes the identity of the place and creates its heart. With a total of approximately 743 square meters of indoor private community amenity space, the design approach is intended to be warm, interesting and delightful. Materials will be durable and of high quality. Attention is paid to the experience of residential pedestrians, amenity users patrons to provide a pedestrian-oriented focal point adjacent to a central plaza.

Landscape elements help to define the street-scape and provide opportunities for indoor/outdoor uses. Street furniture, lighting, trees, pavement patterns, and crossings will all contribute to the success of this amenity environment.

As much as possible, the design of the ground floor amenity will connect indoor and outdoor spaces. Articulated building facades, patios, canopies, and planters will animate this central area to create gathering places.

## ***Residential Precinct:***

Turning to the residential, this community is principally a residential precinct which includes approx 2400 550 homes, totaling approximately 55,000 sq. meters of residential floor area in a series of buildings including townhomes and low-rise apartment buildings.

Landscape elements play a key role in defining the street-scape as well as providing opportunity for indoor / outdoor uses. Street furniture, lighting, trees, pavement patterns, and crossings all contribute to the success of the public realm.

As much as possible, the ground floor residential will be encouraged to incorporate a connection between the indoor and outdoor spaces. Every effort will be made to animate the centre streets with overhanging terraces, canopies, planters, street furniture, and interesting articulation of facades.

Maximizing is intended to concentrate the higher densities of the apartment buildings away from the elevated adjacent neighbours.

The residential apartment buildings incorporate "City Home" style residences with private front yards and street oriented entries at grade. Entrances for individual residential homes in residential-only buildings facing roads, will be provided with a separation between the private realm and the public realm through the use of fences, gates and landscaping and where possible, a change in grade of approximately 0.45m. These homes will have clearly identifiable entries and / or gates at the change from public to private space. Addressing CPED interests, these design elements will promote a friendly "eyes-on-the-street" approach to natural security and surveillance.

Residential building entries will present a separate and clearly identifiable character. The massing of the apartment buildings is intended to create three large courtyard areas which provide opportunity for a large area of open outdoor amenity space.

## ***34<sup>th</sup> Avenue Apartments:***

The zone at the north east portion of the site is dedicated to low rise, four to six storey, apartments, limited to 4 storeys against 34<sup>th</sup> Avenue.

## ***34<sup>th</sup> Avenue Town Houses:***

In the north west portion of the community we have reduced the scale of the proposed buildings. Here we have removed the four storey apartment originally proposed in favour of all townhouse forms, again in order to transition down the scale of the development in respect of the existing single family homes to the north across 34<sup>th</sup> Avenue.

## ***Pedestrian Improvements / Pathways:***

Internal pedestrian pathways have been designed to allow movement of residents and the general public through the community generally via sidewalks integrated with the main road system. The pathway system also connects internal elements such as the amenity building and outdoor amenity areas to other significant external links including access to transit and pathways connecting to those in Rosemary Heights West and the existing Surrey multi-use trail system fronting Highway 99 and 152<sup>nd</sup> Street.

An existing link to Croxden Drive will be maintained for emergency vehicle access to West Rosemary Heights, and otherwise preserved as a pedestrian way connecting to the park areas at the north end of the community on the west side of Barbara Creek. Also, the path system connects north across 34<sup>th</sup> Avenue to the community of West Rosemary Heights and beyond to the Nicomekl River.

## ***Reference to the Neighbourhood Community Plan:***

Although the number of residential houses has increased, the proposed community has been designed to be more generally in conformance with the NCP in regard to the overall density, uses, missing and beyond. As noted, the residential uses has been adjusted in response to public feedback and interests brought forward by the City of Surrey.

Deviations from the NCP include the deletion of high-rise tower forms which most neighbours have deemed inappropriate due to overshadowing and loss of pedestrian scale interest. Some changes in vehicular site access have been proposed in response to previous traffic analysis including the introduction of right-in only access to the 12<sup>th</sup> Avenue Livestrom. A right-out at this location was seriously considered but it was rejected by the Ministry of Transportation & Highways due to potential conflicts with Hwy 99 on-ramp access.

## ***Relationship to adjacent Existing Residential / Missing:***

As noted, the massing of the proposed buildings has been carefully adjusted to respect the context of adjacent residential uses. In particular, along the westerly portion of 34<sup>th</sup> Avenue, we have deleted an earlier-proposed 4 storey building in favour of three-storey townhouses which these form a better response to the existing two-storey houses opposite.

Grades along 34<sup>th</sup> Avenue have been arranged such that the residences on the ground floor have their floor and yard elevation slightly above the street level. This enhances the distinction between the public realm and semi-private and private spaces and promotes positive surveillance and "eyes on the street".

Again, addressing the interest which we have heard from residents to the north, we have introduced traffic calming features. Speeding vehicles are currently a problem, largely because the south edge of 34<sup>th</sup> Avenue is unfinished. The build-out of the street edge will introduce a new perceptual barrier for drivers which should go far towards slowing traffic.

Along the 152<sup>nd</sup> Street frontage, setbacks of 7.5m are maintained to allow the continuation of the landscape treatment and multi-use trail system established in earlier adjacent developments.

## ***Design Theme:***

The arrangement of architectural elements and the landscape design is directed toward a strong "Village" concept. While the character of the amenity building will be necessarily different from the residential buildings, it is intended that there will be harmony overall through the use of colours, details, articulation, materials and landscape elements drawn from compatible design vocabularies. Examples of these elements include such things as the design character, use of compatible material, principal residential entries, rooflines, fenestration details, guards, fences, street furniture and landscaping.

The design theme intended for the residential components is a modern interpretation of a traditional "Boscoe Brownstone", which has been adapted to suit our West Coast climate. As the community design will be further developed at subsequent Phases beyond this initial rezoning, there are opportunities with subsequent DR applications to provide variations on a theme in order to create compatible but separate identities for the remainder of the buildings. A conceptual phasing plan is included in this application package.

The main visual access into the community comes from the entries at 34<sup>th</sup> and 152<sup>nd</sup>. At the south end of the 34<sup>th</sup> Avenue access, noted as 151<sup>st</sup> Street, we have taken advantage of the opportunity to provide a strong orienting focal point in the form of a "signature" building and a central "square" at the intersection of the main roads. Residential buildings have been organized to create substantial landscaped open courtyards which provide green-space, amenity and sun access.

Character studies that will implement this application as part of the Development Permit process, will be illustrative of the quality of the neighbourhood that Polygon seeks to create. Building design incorporates a substantial amount of articulation and landscape treatments. In addition, roof top equipment will generally be limited to low profile make-up air units which are normally not visible from the ground.

## ***Sustainability:***

Surrey's Sustainability Charter and the principles of Smart Growth have been utilized as tools in the design development of this proposal.

"Sustainability is the principle of meeting the needs of the present generation in terms of the environment, the economy and social systems while promoting a high quality of life, but without compromising the ability of future generations to meet their own needs."

A summary of sustainability features includes:

### **Environment:**

- Dedication of approx. 5.5 acres of land for parks and green space;
- Preservation and enhancement of Barbara Creek which feeds fresh water to the Nicomekl River and provides fish habitat.
- Creation of a new stream tributary by diverting excess water flows from a nearby

- existing storm water pipe, returning clean water into the ecosystem.
- Use of oil/water separators and bio-swales to clean storm water and return it to the eco-system rather than burdening storm sewer infrastructure;

#### **Excessory:**

- Provision of varying forms of housing to provide first time buyers and empty nesters with affordable housing choices within the community;
- Contribution of approximately \$6,000,000.00 in Development Cost Charges to fund community infrastructure.

#### **Social:**

- Place-making and creation of a vibrant environment through the careful combination of amenity and residential spaces;
- Provisions of both indoor and outdoor public amenity;
- Provision of substantial walking trails, further knitting together the path network with the Rosemary Heights Neighbourhood.

#### **Water Management:**

- Riparian restoration and storm water treker sustainability issues and much work has been done to evaluate and manage water on this site. An environmental study has been provisionally undertaken and reviewed with the City of Surrey and the Department of Fisheries and Oceans (DFO) to determine preservation areas of the existing waterways and management of ground water.
- Enhancement of Barbara Creek (both in-stream and riparian area) through establishment of a 1km setback and land dedication to the City.
- Storm water detention within the BC Hydro right of way.
- Creation of a new tributary by diverting clean storm water from an existing storm pipe on the west side of the property. This controlled release of water will provide Barbara Creek with more consistent water flows and pass clean water back into the eco-system again, while reducing the burden on the Surrey storm water system.

#### **Building Materials and Energy Use:**

- From a corporate perspective, Polygon is committed to building sustainable developments that use less energy and water and produce less waste. Sustainable building features include: high efficiency lighting, dual flush toilets, and electrical equipment selected to reduce energy loads. Polygon will also use construction materials with recycled content, low off-gassing materials including carpet and paint, and other materials with lower environmental impacts.

#### **Trees:**

- We have proposed the retention of existing trees where possible. Much of the site is covered with lower quality stands in poor condition.
- Additional planting will result in a net increase in trees and landscape cover on the site. In particular, the remediation of Barbara Creek will require extensive planting.
- We commit to conforming with the Surrey Tree bylaw requirements with respect to retention and replacement.

#### **Signage:**

The overall approach to signage is to provide a coherent program to address different objectives for signage ranging from major community identification signs to localized way-finding as follows:

##### **Gateway Monuments:**

There are three main vehicular entrances into the community:

- 32<sup>nd</sup> Avenue Diversion (right-in only)
- 152<sup>nd</sup> Street (right-in, right-out)
- 34<sup>th</sup> Avenue.

Major community gateway and identity monument signage will be located at the NW corner of 32<sup>nd</sup> Avenue and 152<sup>nd</sup> Street. Secondary signage will also be located at the SW corner of 34<sup>th</sup> Ave. and 152<sup>nd</sup> Street as well as at the SW of 34<sup>th</sup> Avenue and 151<sup>st</sup> St.

##### **Street Signs:**

We propose that the two main roads, the north / south main access road, and the east / west access road ("Main Street") will be named. This will aid in orientation and way-finding and provide the basis for building addressing. In addition, naming the streets helps build on the identity of the neighbourhood as a core.

##### **Information Signs:**

In addition to identifying street signage, we anticipate a second level of way-finding signs which will assist visitors in understanding traffic flow, access to the surface parking field on the hydro right of way, to the residential underground and visitor parking and to the residential building main entries. In addition, other signage will clearly demarcate links to the pedestrian Green-Way, pedestrian and vehicular access to the residential building parking, to pedestrian connections to the neighbourhood beyond.

#### **Amenity:**

##### **Private Amenity:**

Patios, balconies and terraces will be provided for all residences. These will also be used as design features to help articulate the buildings.

##### **Common Amenity:**

Outdoor common amenity spaces are provided for the multi-family buildings, including the townhomes, which will have a small outdoor common green space in addition to the private yards. In addition a single large amenity facility will accommodate a variety of community needs including such amenities: a swimming pool, decks and/or hot tub, fitness equipment room, two story gymnasium, two guest suites, guest room lounge with kitchen, dining area, billiards, card tables, bicycle repair workshop, a five-in concierge, and a theatre room among other things.

Programming for these individual spaces will be taken into consideration in conjunction with a substantial outdoor community flex field which may include such activities as tennis courts, Bocce ball courts and open grass areas.

### Traffic patterns:

Traffic patterns play a significant role in the organization of site access and are of great importance and interest to the surrounding community. McElhinney Engineering has prepared a detailed traffic analysis which addresses the relationship of this site to the surrounding areas and to adjacent arterial roads and highways. The analysis indicates that trips generated by this community will be modest in relation to background traffic and that planned improvements to the local road network will maintain acceptable levels of service for local roads and intersections.

### Proposed Traffic Patterns:

There are two principal vehicular entries from major arterial roads: one is a right-in/right-out approximately mid-way down the site on the east from 152<sup>nd</sup> Street; the other is a right-in from the 32<sup>nd</sup> Avenue Diversion. These two entries will accommodate most of the traffic to the site. A third access is provided on 34<sup>th</sup> Avenue which will allow movements toward from 152<sup>nd</sup> Street. These distributed points of access will allow vehicles to move efficiently within the site.

### Site Specific Road Improvements:

Polygon proposes to construct all on-site and off-site road work as part of the first phase.

The scope of work anticipated is illustrated herein and includes the following:

- the internal east-west road (conceptually 33<sup>rd</sup> Ave.)
- the internal north-south road (conceptually 151<sup>st</sup> St.)
- completion of of roads and sidewalks on 34<sup>th</sup> Avenue frontage
- upgrade of 34<sup>th</sup> Avenue intersection
- upgrade to road & sidewalks along 152<sup>nd</sup> St.
- the right-in entrance from 32<sup>nd</sup> Avenue Diversion.

### Parking:

Parking has been arranged to provide convenient stalls adjacent to the Amenity Building at the point of entry from the 32<sup>nd</sup> Avenue Diversion and is located on the hydro right of way. All residential parking throughout the site will be underground with the exception of the townhouses which incorporate at-grade parking within the unit. Residential visitor parking will be accommodated both underground and along the major surface streets.

### Loading:

Levy's on the two main streets, nearby the principal building entries will facilitate residential loading.

### Project Phasing:

A conceptual overall site Phasing Plan is illustrated in the application package. It is anticipated that construction of Phase 1 would commence in 2012 with the final Phase completing in 2016.

The current application is for a Rezoning of the entire site which we anticipate will generate a General Development Agreement and a Site Servicing Agreement. It is anticipated that a detailed Development Permit for Phase 1 will follow shortly. Separate detailed (full Development) Permit Applications will follow for each subsequent building dependent upon market demand.

Polygon is prepared to commence off-site works in coordination with City works following final adoption of the subject rezoning bylaw and execution of a Site Servicing Agreement.

### The first phase would include:

- Construction of storm water detention
- Construction of Vehicular access points at 32<sup>nd</sup> Ave. Dr., 152<sup>nd</sup> St., 34<sup>th</sup> Ave);
- Internal main streets (final pavement and hard landscaping details to follow once other phases complete, to avoid damage)

All internal phases where construction has not commenced will be boarded off from public view.

Please also make reference to the graphic supporting material attached.

Respectfully submitted:



Keith S. Hemphill, MAIBC  
ROSTICHHEMPHILL + ASSOCIATES ARCHITECTS

7100 - Design Basecode - 2012 06-21.rpd



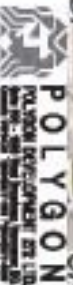
# SEASIDE VILLAGE

3000 - Island Street, City of Surrey, B.C.

ROSITCH HELMILL + ASSOCIATES, ARCHITECTS  
2000 WESTERN AVENUE, SUITE 100, SURREY, B.C. V4L 1C6

## CONTEXT PLAN

REVISED : JANUARY 31, 2012



PROJECT NO. 1102



**SEASIDE VILLAGE**  
 3035 - 152nd Street, City of Surrey, B.C.  
 ROJITCH TEMPHILL + ASSOCIATES ARCHITECTS  
 22107 104th Street, Vancouver, BC, Canada V6N 1C7, Tel: 604.273.1371, Fax: 604.273.1372

**SITE CONTEXT PHOTOS**  
 ZONING RESUBMISSION: SEPT 20, 2011

**POLYGON**  
 POLYON HOLDINGS LIMITED  
 100-10100 104th Street, Vancouver, BC  
 PROJECT NO. 1182

DENSITY:

LOT / BLOCK	GROSS LOT AREA (Sq Meter)	NET LOT AREA ("Excluding Highways ROW)	USE	PROPOSED # OF UNITS	G.F.A. (Sq Meter, Residential)		G.F.A. (Sq Meter, Amenity)		U.P.A. (Based from Vertical Area)		F.A.R. (Based from Net Lot Area)		HEIGHTS		PARKING		SITE COVERAGE (Based on Net Lot Area)		REQUIRED OUTDOOR AMENITY (1.0 Sq.M. per Unit)
					PROPOSED	MAXIMUM	PROPOSED	MAXIMUM	PROPOSED	MAXIMUM	PROPOSED	MAXIMUM	PROPOSED	MAXIMUM	PROPOSED	MAXIMUM	PROPOSED	MAXIMUM	
1/A	6,288	5,870	TH	40	5,424	6,000			27	30	0.91	361.13.00m	361.13.00m	88	88	45%	45%	120	
2/B	4,570	5,335	APT 2	86	7,302	9,000			65	67	1.50	461.15.00m	461.15.00m	144	144	43%	43%	256	
3/C	13,081	3,113	Private Amenity/ Concierge Suite	1	79	100	743	1,788	85	88	2.02	611.72.00 m	611.72.00 m	2	10	43%	50%	3	
4/D		7,400	APT 4	155	14,977	19,000			85	88	2.02	611.72.00 m	611.72.00 m	257	257	45%	45%	465	
5/E			APT 5 b, 5c									611.72.00 m	611.72.00 m						
5/F		13,892	APT 5 a	286	28,696	32,000			79	80	2.00	461.15.00m	461.15.00m	440	440	45%	45%	804	
6	12,091		Land Dedicator																
<b>TOTAL</b>	<b>47,011</b>	<b>35,530</b>		<b>550</b>	<b>55,311</b>		<b>743</b>		<b>63</b>	<b>80</b>	<b>1.56</b>			<b>536</b>	<b>945</b>	<b>45%</b>		<b>1,650</b>	

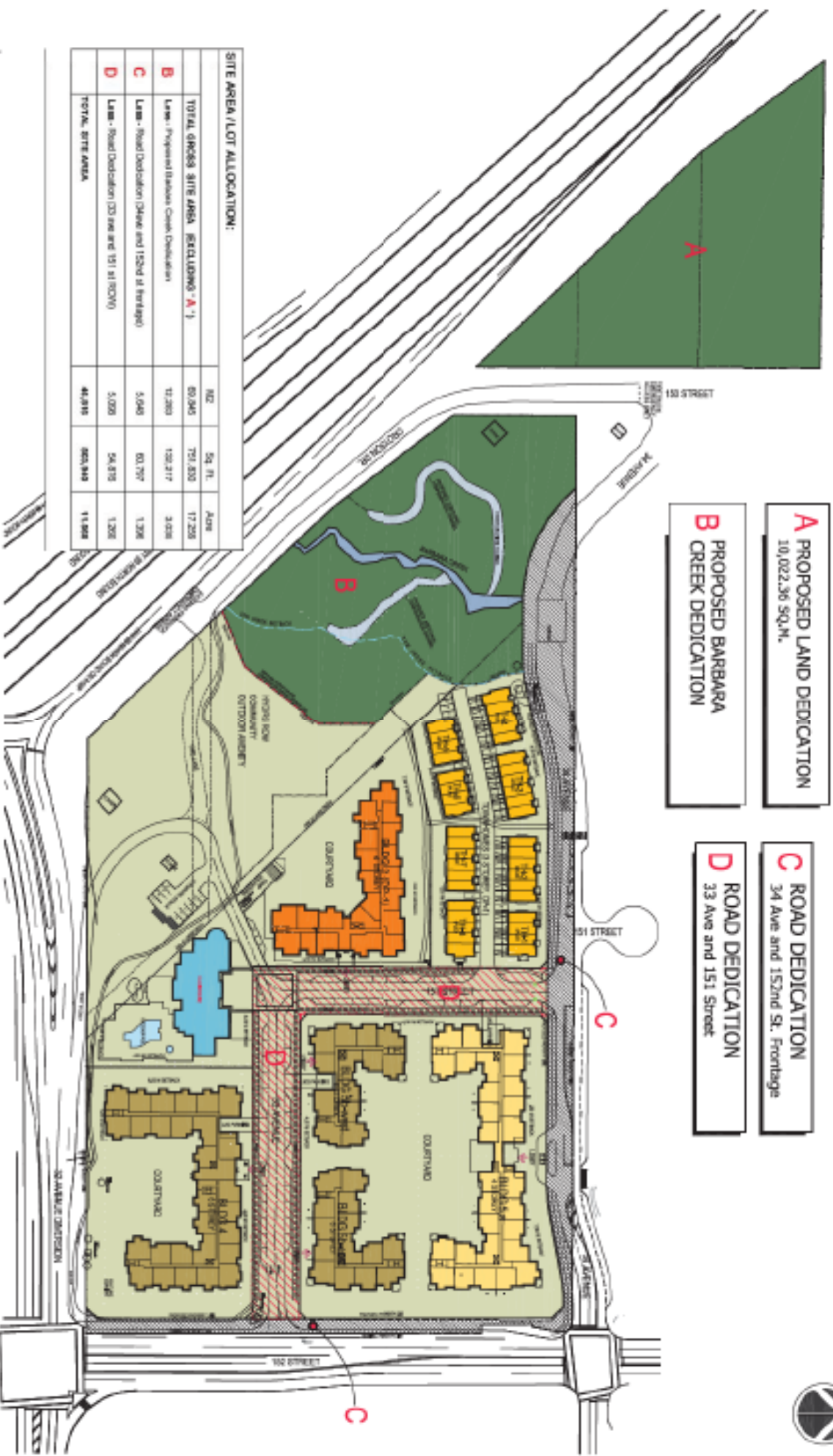
\* Excluding High ROW  
 \*\* Total Gross Lot Area are Gross Lot Area 1, 2, 3 plus Net Lot Area 4 & 5

Lot #	North	East	South	Southeast (Proposed PL)	West
Lot 1	Townhome Side	4.00 M	6.00 M	10.20 M	3.00 M
Lot 2	Building 2	7.50 M	4.00 M	10.24 M	n/a
Lot 3	Club House	4.00 M	4.00 M	n/a	n/a
Lot 4	Building 4	4.00 M	12.90 M	n/a	6.00 M
Lot 5	Building 5a	7.50 M	n/a	n/a	4.00 M
	Building 5b east	n/a	12.90 M	n/a	n/a
Lot 6	Building 6b west	n/a	n/a	n/a	4.00 M

NCP and ZONING PROPOSALS COMPARISON						
	Residential Gross Floor Area (M <sup>2</sup> )	Residential # of Units	Residential Parking Required	Commercial Gross Floor Area (M <sup>2</sup> )	Commercial Parking	
NCP	41,694	374	690	809	24	
PROPOSOR - 2007 Original Rezoning Proposal	40,215	409	796	10,213	971	
PROPOSOR - 2008 Rezoning Proposal	29,509	445	718	3,096	208	
POLYGON - Revised Rezoning Proposal (This Application)	55,311	690	945	79	0	



- A** PROPOSED LAND DEDICATION  
10,022.36 SQ.M.
- B** PROPOSED BARBARA CREEK DEDICATION
- C** ROAD DEDICATION  
34 Ave and 152nd St. Frontage
- D** ROAD DEDICATION  
33 Ave and 151 Street



**SITE AREA / LOT ALLOCATION:**

	NO.	Sq. Ft.	Acres
<b>TOTAL GROSS SITE AREA (EXCLUDING - A - 1)</b>	60,240	751,830	17.205
<b>B</b> Land - Proposed Barbara Creek Dedication	12,280	152,217	3.428
<b>C</b> Land - Road Dedication (34ave and 152nd st frontage)	5,090	63,797	1.326
<b>D</b> Land - Road Dedication (33 ave and 151 st frontage)	5,020	64,875	1.326
<b>TOTAL SITE AREA</b>	44,910	562,949	12.885



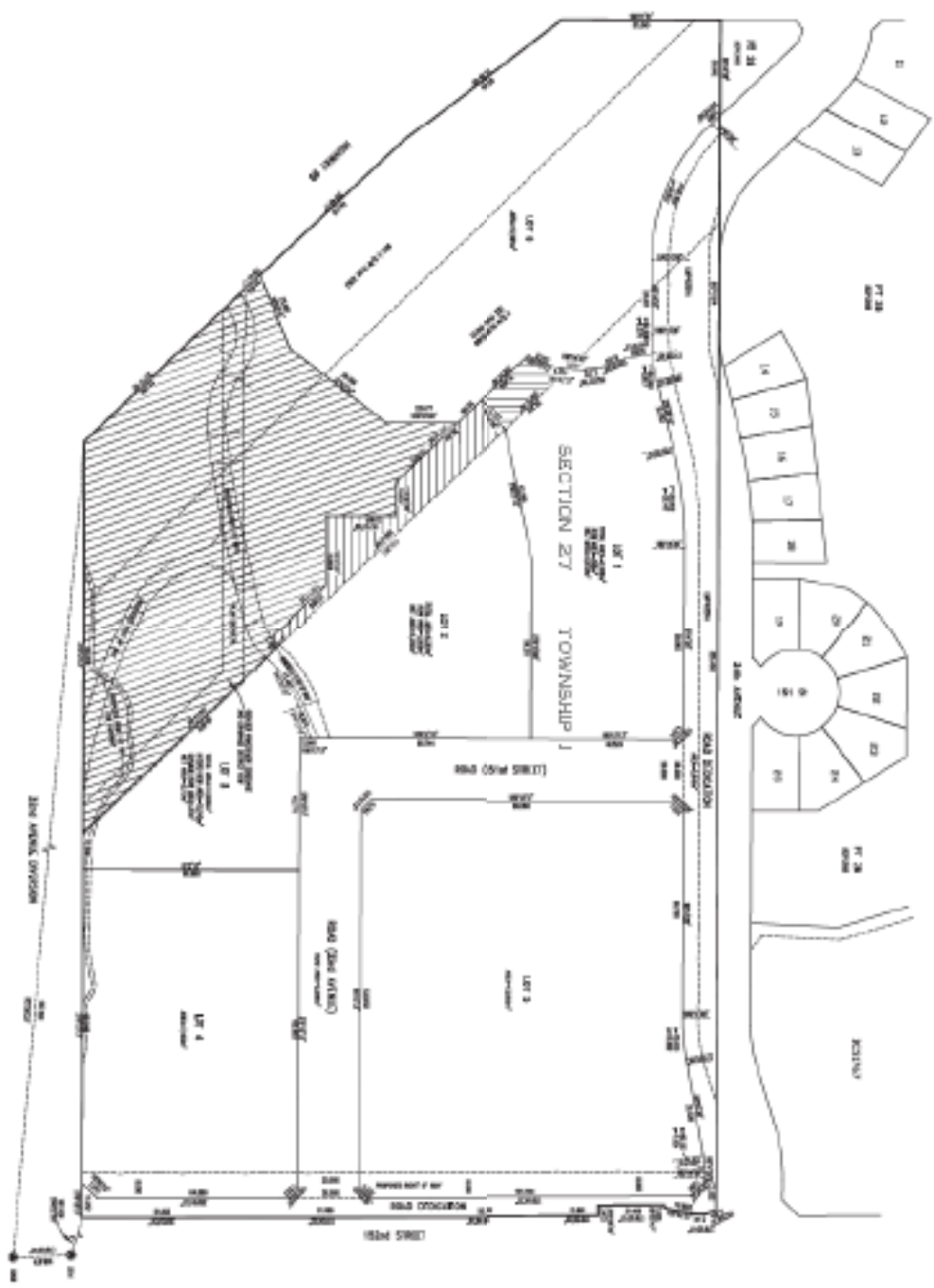
PROPOSED SUBDIVISION PLAN OF:

- 1) LOT 27 PLAN 8894
- 2) LOT 28 PLAN 8894
- 3) PAGES 'A' (RESERVED PLAN 2700) LOT 25 PLAN 8895
- 4) LOT 25 (OCCUPY TOWN) PAGES 'A' (RESERVED PLAN 2700)
- SECTION PAGES 'C' (PLAN PLAN 8894)
- TRACT PLAN ON PREVIOUS PLAN 2700

- 5) LOT 29 (OCCUPY TOWN) PAGES 'A' (PLAN PLAN 8894) SECTION 'C' NOT ON PLAN 8894
- 6) LOT 29 (OCCUPY TOWN) PLAN 8894 AND LOT 29 ON PREVIOUS PLAN 2700
- ALL OF SECTION 27 TOWNSHIP 1, NEW WESTMINSTER DISTRICT



SCALE: AS SHOWN  
 1" = 100'



- NOTES:
- 1. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.
  - 2. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.
  - 3. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.
  - 4. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.
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  - 6. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.
  - 7. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.
  - 8. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.
  - 9. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.
  - 10. THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.

THE PLAN IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS AND BY-LAWS.

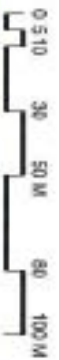
PLAN 8894

SECTION 27, TOWNSHIP 1

DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_



**SEASIDE VILLAGE**  
 3335 - 152nd Street, City of Sunny, S.C.  
 ROBITCH HEMPHILL + ASSOCIATED, ARCHITECTS  
 2107 FORD STREET, WASHINGTON, TX 75781-1010 TEL: 281.232.0322 FAX: 281.232.0322

**SITE PLAN**  
 REVISION : JANUARY 31, 2012

SCALE 1"=30'-0"  
**POLYGON**  
 POLYGON DEVELOPMENT, 227 LEBLANC AVENUE, SUITE 200, HOUSTON, TEXAS 77055  
 PROJECT NO. 1102



PROPOSED DETENTION



# SEASIDE VILLAGE

3335 - 150th Street, City of Sunny, S.C.

ROBITCH HEMPHILL + ASSOCIATED, ARCHITECTS  
 2107 Peach Street, Asheville, NC 28806, USA | TEL: 828.252.0322 | FAX: 828.252.0322

## SITE PLAN TOWNHOUSE & BLDG 2 LEVEL 1

REVISED : JANUARY 31, 2012

SCALE 1"=80'-0"



PROJECT NO. 1102

AMENITY REQUIREMENTS	Indoor Required		Outdoor Required		Indoor Provided		Outdoor Provided	
	Sq Ft	(S/M <sup>2</sup> ) / unit	Sq Ft	(S/M <sup>2</sup> ) / unit	Sq Ft	(S/M <sup>2</sup> ) / unit	Sq Ft	(S/M <sup>2</sup> ) / unit
Apartments (510 units)	16,469	1,530	16,469	1,530	8,000	743	16,471	1,530
Townhomes (40 units)	1,292	120	1,292	120	8,000	743	1,290	120
<b>TOTAL</b>	<b>17,761</b>	<b>1,650</b>	<b>17,761</b>	<b>1,650</b>	<b>8,000</b>	<b>743</b>	<b>17,761</b>	<b>1,650</b>

**INDOOR AMENITY PROVIDED**  
 CLUBHOUSE ( F ) = 743 SQ. M  
 CASH IN LIEU = 883 SQ. M

**OUTDOOR AMENITY PROVIDED**  
 A = 775 SQ. M  
 B = 480 SQ. M  
 C = 275 SQ. M  
 D = 120 SQ. M (THE NUMBERED OUTDOOR AMENITY)  
**TOTAL = 1,650 SQ. M**



# SEASIDE VILLAGE

3303 - 152nd Street, City of Surrey, B.C.  
 ROSITCH FENYHILL + ASSOCIATES ARCHITECTS  
 121-120 Street, Surrey, British Columbia, Canada V4A 1V1 | Tel: 604.582.0200 | Fax: 604.582.0201

## AMENITY ALLOCATION PLAN

REVISED : JANUARY 31, 2012

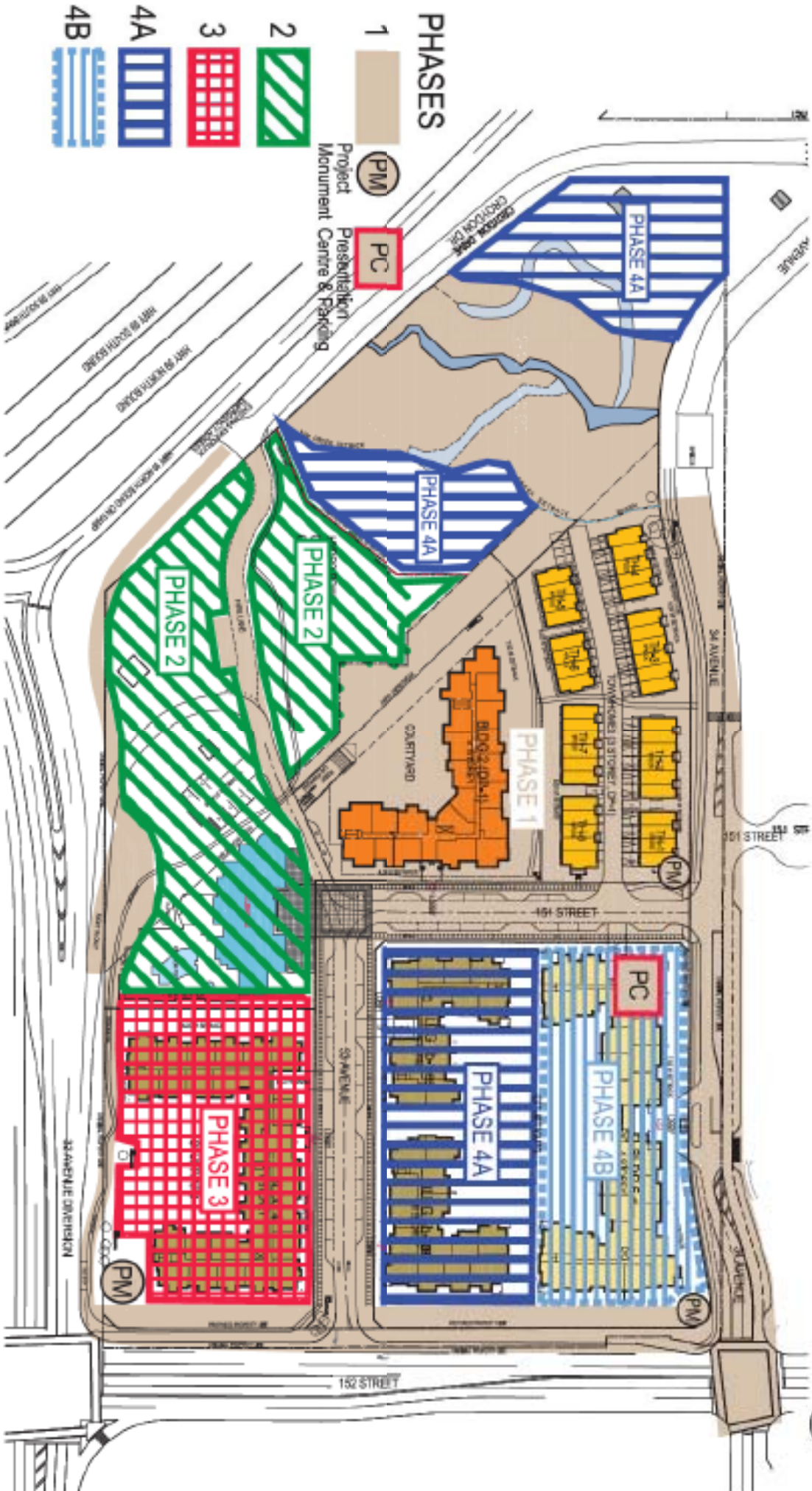


**SEASIDE VILLAGE**  
 3303 - 152nd Street, City of Surrey, B.C.  
 ROSITCH KEMPTHILL + ASSOCIATES ARCHITECTS  
 121-0270 Street, Vancouver, B.C. Canada V6A 1G1 Tel: 604-273-0200 Fax: 604-273-0201

**SETBACKS** SCALE 1:1000 M  
 REVISED : JANUARY 31, 2012

**POLYGON**  
 POLYGON ENGINEERING LTD.  
 1000 WEST 10TH AVENUE, SUITE 200  
 VANCOUVER, BC V6H 1T6  
 PROJECT NO. 1192





# SEASIDE VILLAGE

3303 - 152nd Street, City of Surrey, B.C.

ROSTITCH FEMPHILL + ASSOCIATES ARCHITECTS  
 10-1000 West Street, Vancouver, B.C. Canada V6E 1Y1 | Tel: 604.273.0000 | Fax: 604.273.0001

## Conceptual Phasing Plan (Information only)

REVISED : JANUARY 31, 2012

**POLYGON**  
 POLYGON DEVELOPMENT STUDIOS  
 3800 WEST 10TH AVENUE, SUITE 200  
 VANCOUVER, BC V6V 1W6  
 PROJECT NO. 1102



P+A

Project: Sandale Village  
 Site: 152 Street, 32 Avenue, 33 Avenue, 34 Avenue  
 Date: 10/10/2018



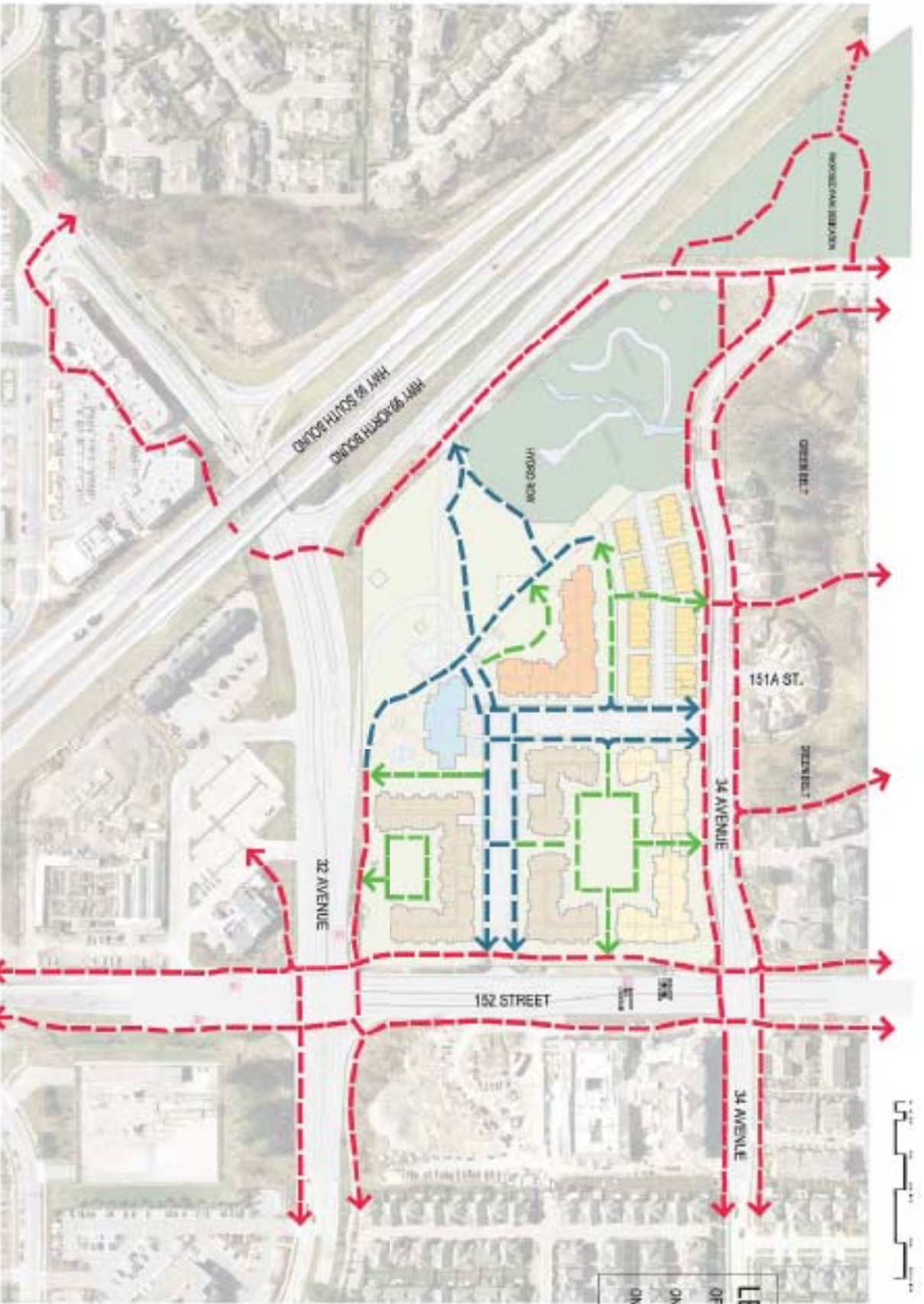
- 1. Site Plan
- 2. Landscape Plan
- 3. Site Plan
- 4. Site Plan
- 5. Site Plan
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- 99. Site Plan
- 100. Site Plan

**Polygon Pacific Homes Limited**

**Sandale Village**

**Landscape Plan**

Project Name	Sandale Village
Client	Polygon Pacific Homes Limited
Site	152 Street, 32 Avenue, 33 Avenue, 34 Avenue
Date	10/10/2018
Scale	1:1000
Author	[Name]
Checker	[Name]
Approver	[Name]



**LEGEND:**

- OFF-SITE PUBLIC →
- ON-SITE PUBLIC →
- ON-SITE SEMI-PRIVATE →





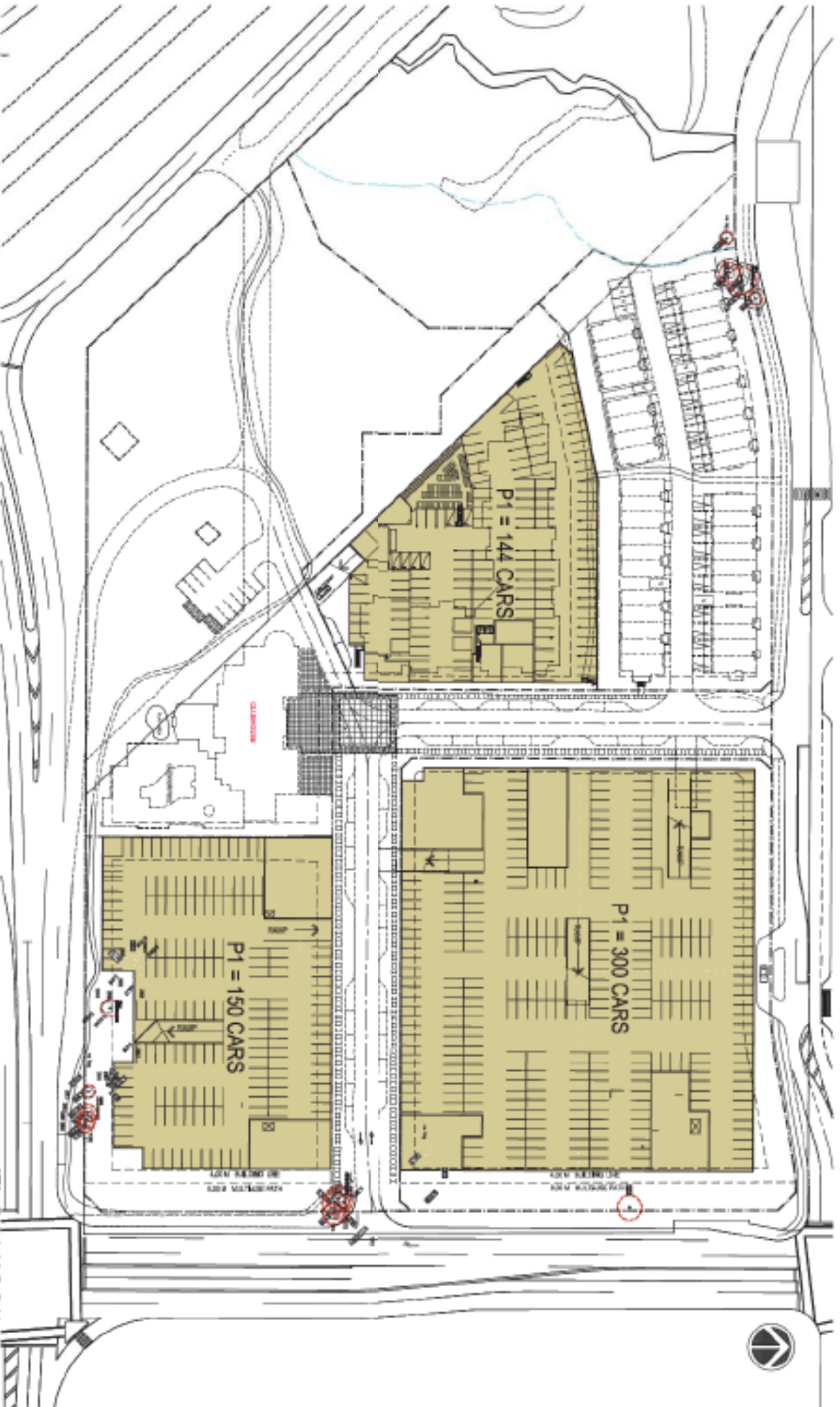
# SEASIDE VILLAGE

3035 - 152nd Street, City of Surrey, B.C.  
ROBITCH FEMPHILL + ASSOCIATES ARCHITECTS  
120-1070 West 41st Street, Vancouver, B.C. Canada V6V 1V7 Tel: 604-273-0000 Fax: 604-273-0001

## U/G PARKING - P1

SCALE 1"=40'-0"

 POLYGON  
POLYGON ENGINEERING STUDIO  
200 WEST BROADWAY, VANCOUVER, BC  
PROJECT NO. 1182





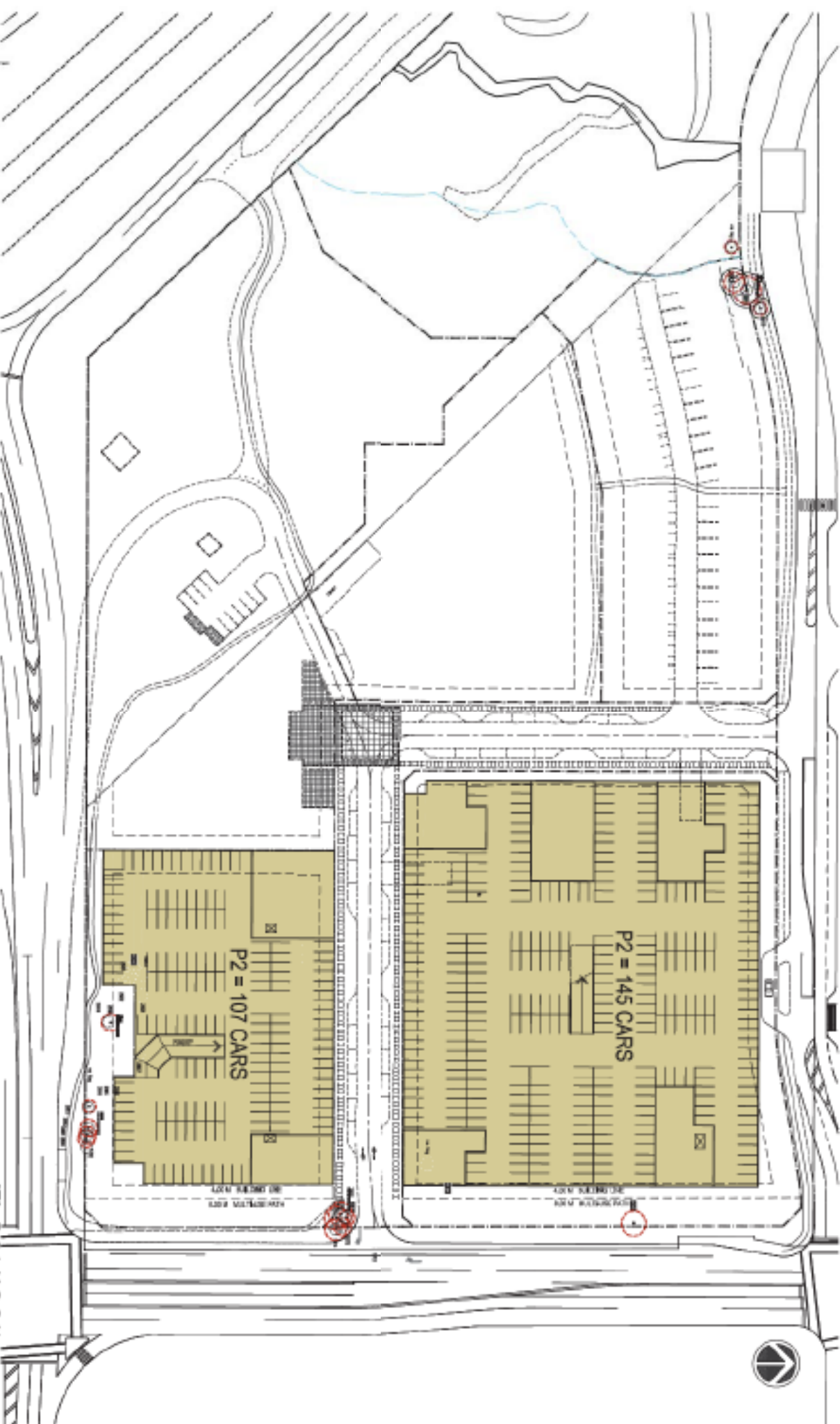
**SEASIDE VILLAGE**  
 3313 - 152nd Street, City of Surrey, B.C.  
 ROSITCH KEMPHILL + ASSOCIATES ARCHITECTS  
 121-127 Street, West Vancouver, B.C. Canada V8V 1G7 Tel: 604.273.4200 Fax: 604.273.4201

**U/G PARKING - P2**

REVISED : JANUARY 31, 2012

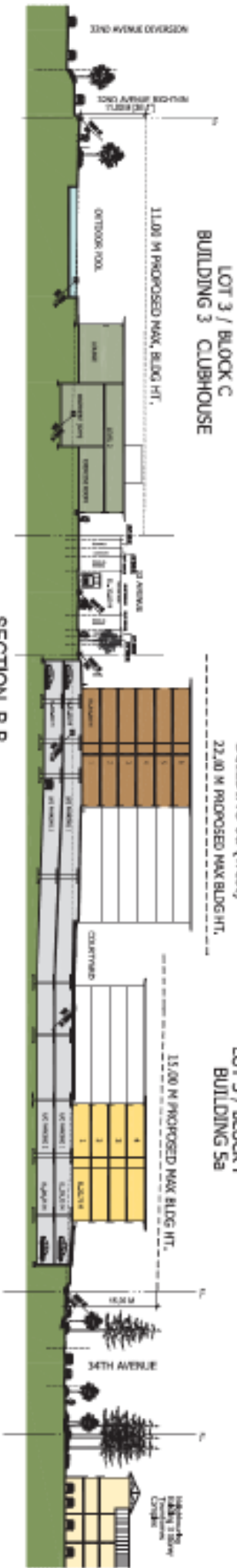
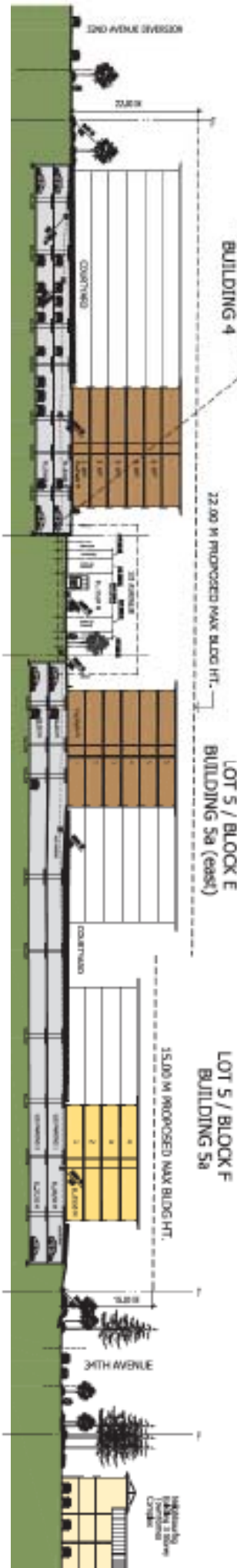
SCALE 1"=40'-0"

**POLYGON**  
 POLYGON ENGINEERING LTD.  
 200-1100 WESTERN AVENUE  
 VANCOUVER, BC V6H 3R7  
 PROJECT NO. 1102





# KEYPLAN



## SEASIDE VILLAGE

3305 - 157th Street, City of Surrey, B.C.

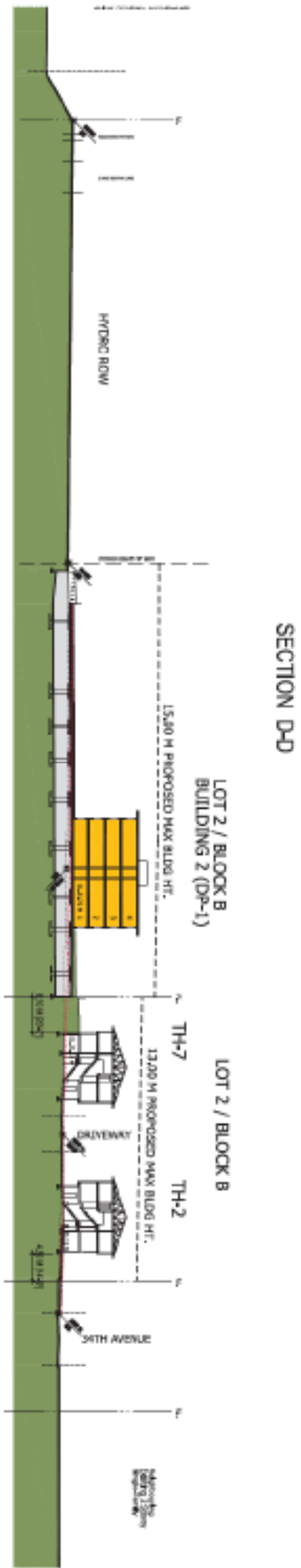
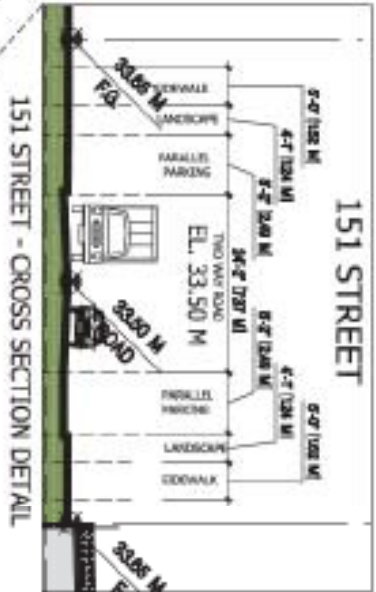
ROBITCH TEMPHILL + ASSOCIATES ARCHITECTS  
 101-102 FRODO STREET, VANCOUVER, B.C. V6Z 2R6  
 TEL: 604-273-8222 FAX: 604-273-8223

## SITE CROSS SECTION

REVISED : JANUARY 31, 2012



PROJECT NO. 1182



**SEASIDE VILLAGE**  
 3035 - 157th Street, City of Surrey, B.C.

ROBITCH TEMPHILL + ASSOCIATES ARCHITECTS  
 101-102 FRODO STREET, VANCOUVER, B.C. CANADA V6J 1G7 TEL: 604-273-8222

**SITE CROSS SECTION**  
 REVISED : JANUARY 31, 2012

**POLYGON**  
 POLYGON DEVELOPMENT 201 LTD  
 1000 WEST 104TH STREET, VANCOUVER, B.C. V6P 6E2  
 PROJECT NO. 1182



# KEYPLAN



## SEASIDE VILLAGE

3305 - 157th Street, City of Surrey, B.C.  
 ROBITCH MEMPHILL + ASSOCIATES ARCHITECTS  
 101-102 FRODO STREET, VANCOUVER, B.C. CANADA V6J 1G7 OR TEL: 604-273-2222 FAX: 604-273-2222

## SITE CROSS SECTION

REVISED : JANUARY 31, 2012

**POLYGON**  
 POLYGON DEVELOPMENT 287 LTD  
 1000-1010 WEST 10TH STREET, VANCOUVER, B.C.  
 PROJECT NO. 1182



MARCH / SEPT 21 9 AM



MARCH / SEPT 21 12 NOON



MARCH / SEPT 21 3 PM



JUNE 21 9 AM



JUNE 21 12 NOON



JUNE 21 3 PM



DECEMBER 21 9 AM



DECEMBER 21 12 NOON



DECEMBER 21 3 PM



NORTHEAST CORNER



SOUTHEAST CORNER





SOUTH P.L.

32nd Avenue Diversion

152nd Street



SOUTHWEST CORNER

# SEASIDE VILLAGE

3935 - 157th Street, City of Surrey, B.C.

RODITCH HEWITT & ASSOCIATES ARCHITECTS  
10-10788A STREET, VANCOUVER, BC, CANADA V6R 1G1 TEL: 604.459.0811 FAX: 604.459.0812

## 3D MASSING AERIAL VIEW

REVISED 1 JANUARY 11, 2012



PROJECT NO. 1102



NORTHWEST CORNER

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW \_\_\_\_\_ OF ALL OR A PORTION OF:

- 1) LOT 57 PLAN 48745
- 2) LOT 58 PLAN 48745
- 3) PARCEL X (REFERENCE PLAN 27099) LOT 32 PLAN 889
- 4) LOT 32 EXCEPT FIRST PARCEL X (REFERENCE PLAN 17049)
- SECONDLY PARCEL X (STULM PLAN 6262)
- THIRD PART ON HIGHWAY PLAN 23511

- 5) LOT 24 EXCEPT FIRST PART SHOWN RED AND GREEN ON HIGHWAY PLAN 23511
- 6) LOT 31 EXCEPT FIRST PART SHOWN RED AND GREEN ON HIGHWAY PLAN 23511
- SECONDLY PARCEL W (STULM PLAN 6262) PLAN 889
- ALL OF SECTION 27 TOWNSHIP 1 NEW NEIGHBORHOOD DISTRICT



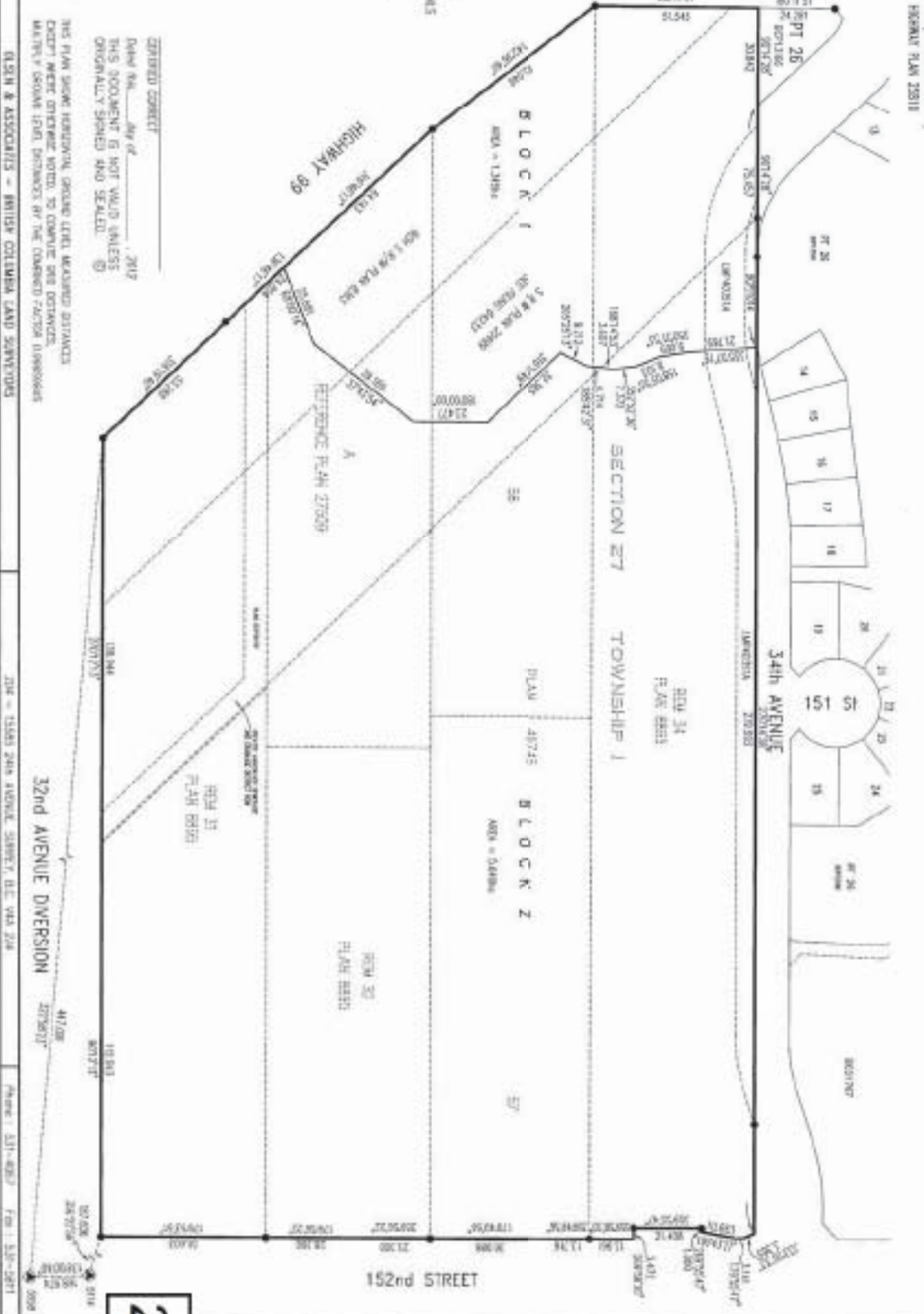
0 10 20 40  
 ALL DISTANCES ARE IN METERS AND DECIMALS THEREUNTO UNLESS OTHERWISE NOTED.

The intended grid size of this plan is 40mm in width by 270mm in height (B 304) when printed at a scale of 1:2500

DO NOT SCALE OR MEASURE FROM THIS DRAWING UNLESS SPECIFICALLY NOTED

LEGEND:  
 ■ BOUNDARY OF EXISTING LOT  
 ○ BOUNDARY OF EXISTING LOT  
 ○ BOUNDARY OF EXISTING LOT

THE 1550' BLOCK PLAN 1



DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

THIS PLAN SHOWS HORIZONTAL CONTROL POINTS, MEASUREMENT DISTANCES, BEARINGS, AND OTHER DATA, TO COMPUTE THE DISTANCES, BEARINGS, AND OTHER DATA OF THE BOUNDARY POINTS OF THE BOUNDARY.

ELGIN & ASSOCIATES - BRITISH COLUMBIA LAND SURVEYORS

254 - 1550' 24th AVENUE, SURREY, B.C. V4A 2J4

Phone: (604) 591-8887 Fax: (604) 591-8881

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW**

**OF ALL OR A PORTION OF:**

- 1) LOT 57 PLAN 48745
- 2) LOT 58 PLAN 48745
- 3) PARCEL X (REFERENCE PLAN 27969) LOT 32 PLAN 8891
- 4) LOT 32 (SECTION FIRSTLY PARCEL X (REFERENCE PLAN 27969) SECONDLY PARCEL T (GRUMP PLAN 6082) THIRDLY PART ON HIGHWAY PLAN 23816
- 5) LOT 24 (SECTION FIRSTLY PARCEL T (GRUMP PLAN 6082) SECONDLY PART ON PLAN 8037(1) PLAN 8815
- 6) LOT 31 (SECTION FIRSTLY PART SECOND RD AND GREY ON HIGHWAY PLAN 23816; SECTION T PARCEL W (GRUMP PLAN 6082) PLAN 8895
- ALL OF SECTION 27 TOWNSHIP 1 NEW WESTMINSTER DISTRICT



ALL DISTANCES ARE IN METERS AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.  
 This plan and site of this plan is shown to scale by 25000:1 height (0.25m) over ground at a scale of 1:1000.

GRID COORDINATES ARE SHOWN FROM THE CORNER MONUMENTS BY 10 AND 5000.  
 LEGEND:  
 \* MONUMENT OR IRON PILE (NAME)  
 + OR CORNER MONUMENT (NAME)  
 . . . . . HEIGHTS

DATE OF CONTACT: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

THIS PLAN SHOWS HEIGHTS, GRADE LEVEL, VERTICAL DISTANCES (EXCEPT WHERE OTHERWISE NOTED) TO CORNER OR DISTANCES TO GRADE LEVEL DISTANCES BY THE CORNER FACTOR 0.9999999944444444

OSCN & ASSOCIATES - BRITISH COLUMBIA LAND SURVEYORS

204 - 1545 34th AVENUE, SURREY, B.C. V4A 3J8  
 Phone: 527-4697 Fax: 527-5811

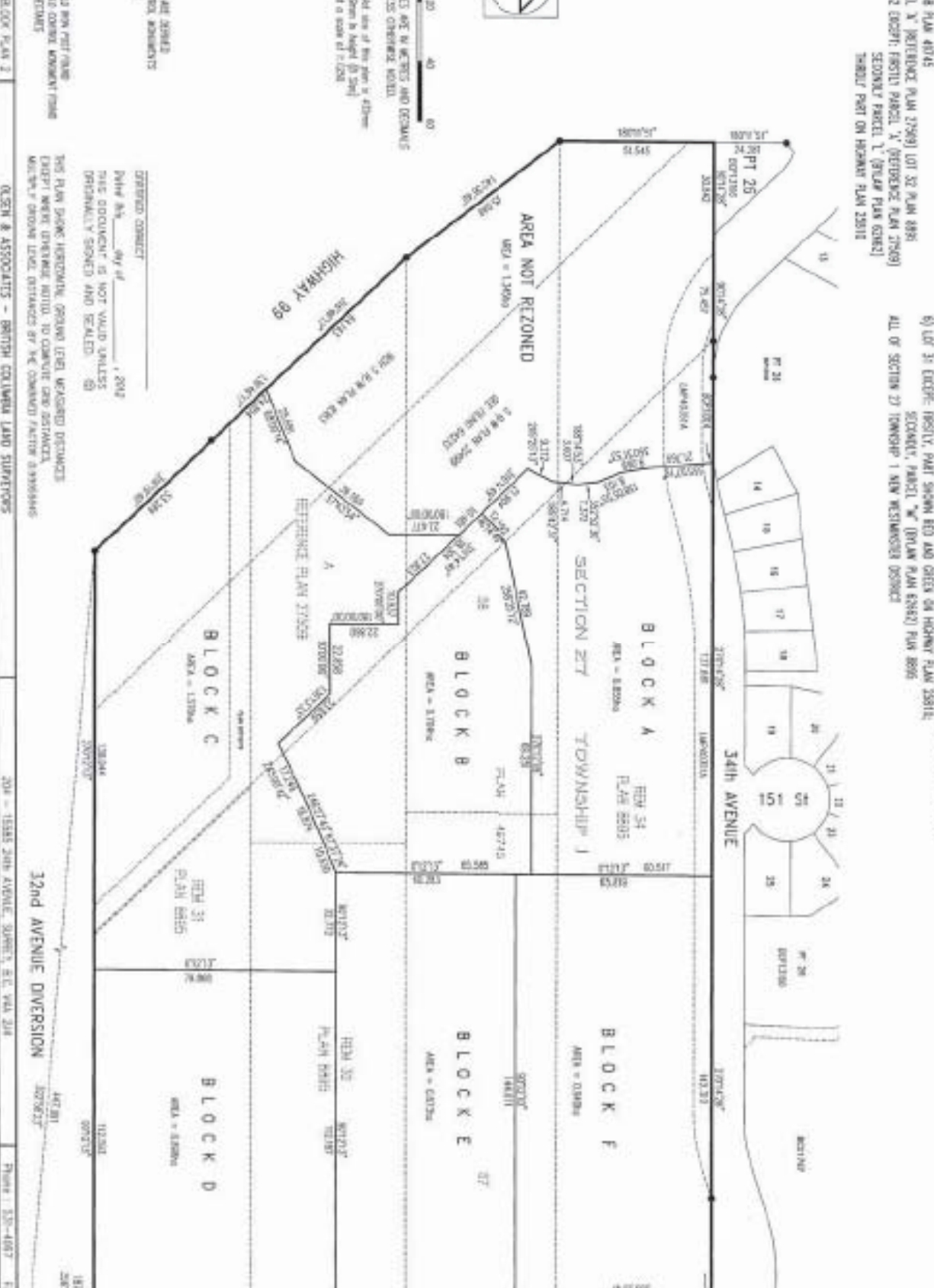
32nd AVENUE DIVERSION

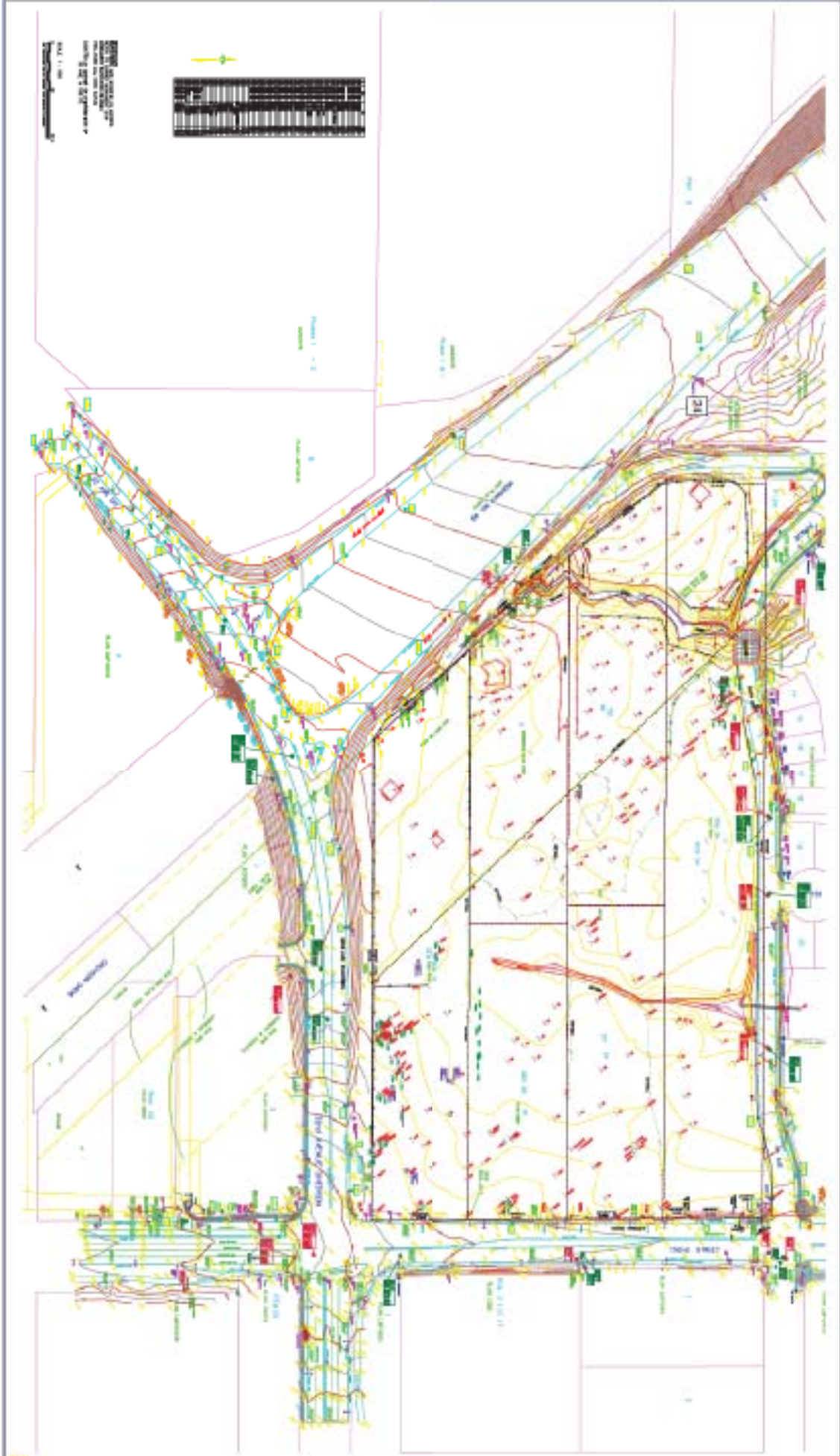
152nd STREET

34th AVENUE

152nd STREET

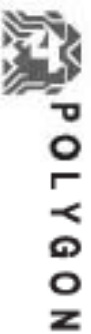
25





**Seaside Village**  
152nd Street and 32nd Avenue Diversion  
South Surrey, BC.

**Public Realm Plan**  
Amendment to Rezoning Document  
Revised January 31, 2012



**P+A**

Perry + Associates  
Landscape Architecture  
and Planning

6,500 Perry + Associates Inc.  
Suite 200 - 1520 River City Avenue  
Surrey, BC V4A 1R2  
1 844 738 4114  
1 604 738 0116  
www.perryassociates.ca

# PUBLIC REALM PLAN

## Overview

The Public Realm Plan reinforces the project vision of a village of “brownstone” apartments and townhouses in a formal landscape, characterized of quality finishes materials, all at an urban scale. The Plan outlines a design framework for the creation of connected trail systems, open spaces and courts, with related and consistent components and finishes.

The Public Realm Plan outlines design objectives and character precedents that inform design and detailing of spaces and components. An illustrative landscape plan provides an overview of the built-out site. A key diagram clearly identifies the arrangements of various landscape typologies and components and an open space and connectivity diagram illustrates site permeability and linkages. Illustrative cross sections and trail standards demonstrate spatial relationships and provide dimensional information. Proposed landscape materials and components are detailed and preliminary ideas for project identification and public art are presented.



## Character Precedents

Character precedents inform design and detailing for both the public and semi-public realms and the inter-pace between. The predominant character is urban “brownstone”. Strong landscape materials that reinforce the proposed architectural character include the use of brick paving and brick walls, stone bases and black metal. Courtyards and nodes are formal in layout and traditional in detail with strongly defined edges. Site furniture, fencing and lighting fixtures emphasize traditional black metal yet have a contemporary feel. Planting is formal and spaces are defined with clipped hedges and boxwood edgers. Formal landscapes are tolerated with colorful and layered accent planting.



- Design objectives for the public realm include the following:
- Support and reinforce the vision and character of a residential brownstone village.
  - Define a hierarchy of linked public spaces.
  - Enhance neighborhood and site connectivity and accessibility.
  - Encourage social interaction and a healthy lifestyle.
  - Provide for pedestrian and cyclist comfort.
  - Enhance the relationship between the public and private realms.
  - Assure design unity across the project site through the use of standardized high quality materials and finishes, but allow for variation and designer creativity.
  - Define project entry points and delineate project edges.
  - Enhance wayfinding through project legibility and visual cues.
  - Incorporate industry “best practices” and sustainable initiatives where possible.
  - Create and enhance natural habitat in the creek corridor.
  - Facilitate connections to alternative transportation including multi-use trails and public transportation.







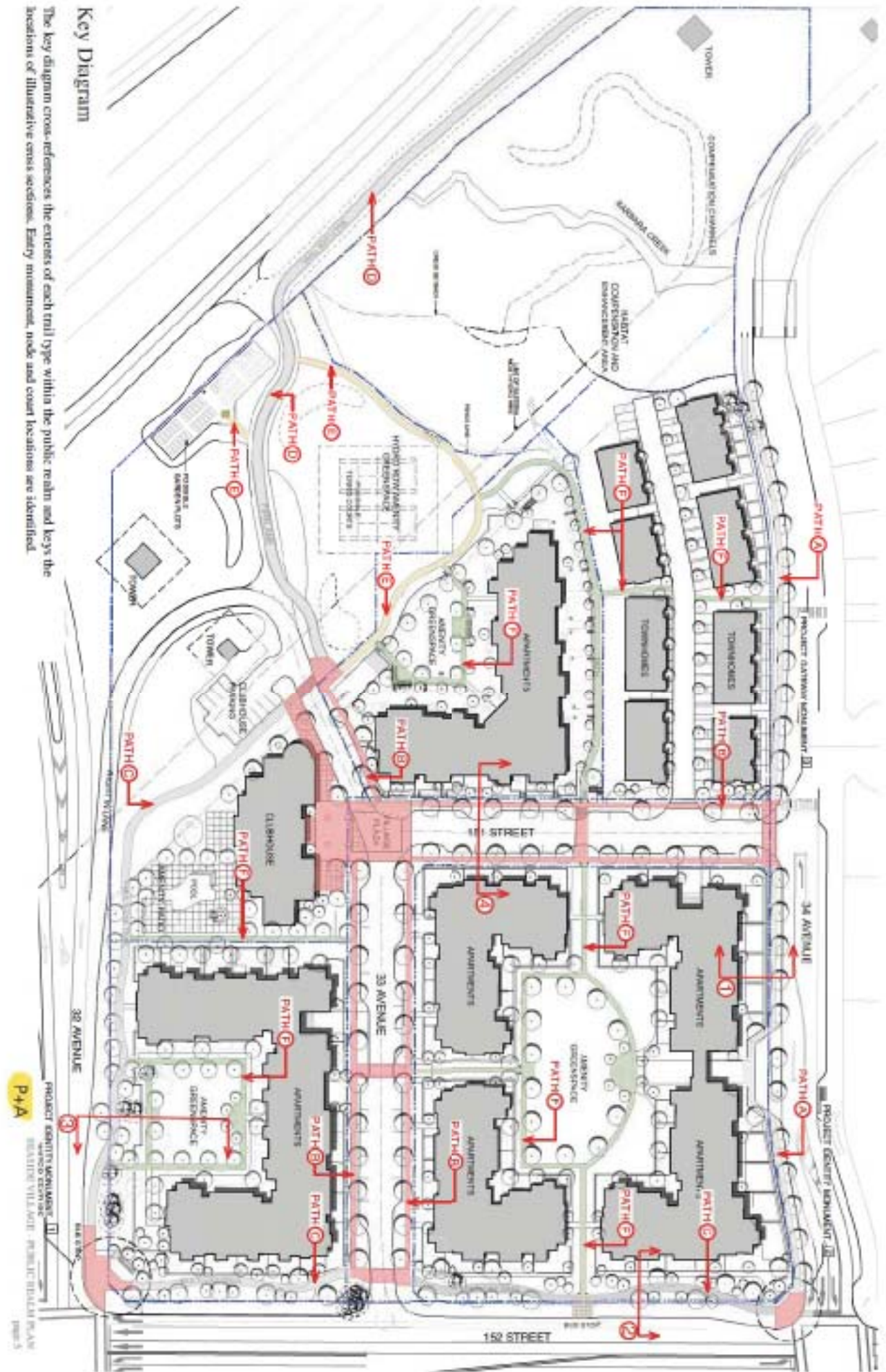
**Illustrative Landscape Plan**

The illustrative landscape plan provides a colourful graphic overview of the site. Primary spaces are labeled and the extents and relationships between hard and soft landscapes are indicated. Defined edges can be observed.



### Open Space and Connectivity Diagram

The open space and connectivity diagram identifies a hierarchy of public and semi-public open spaces within the site. The diagram illustrates pedestrian and bicycle connectivity within and beyond the site and identifies trailhead locations.

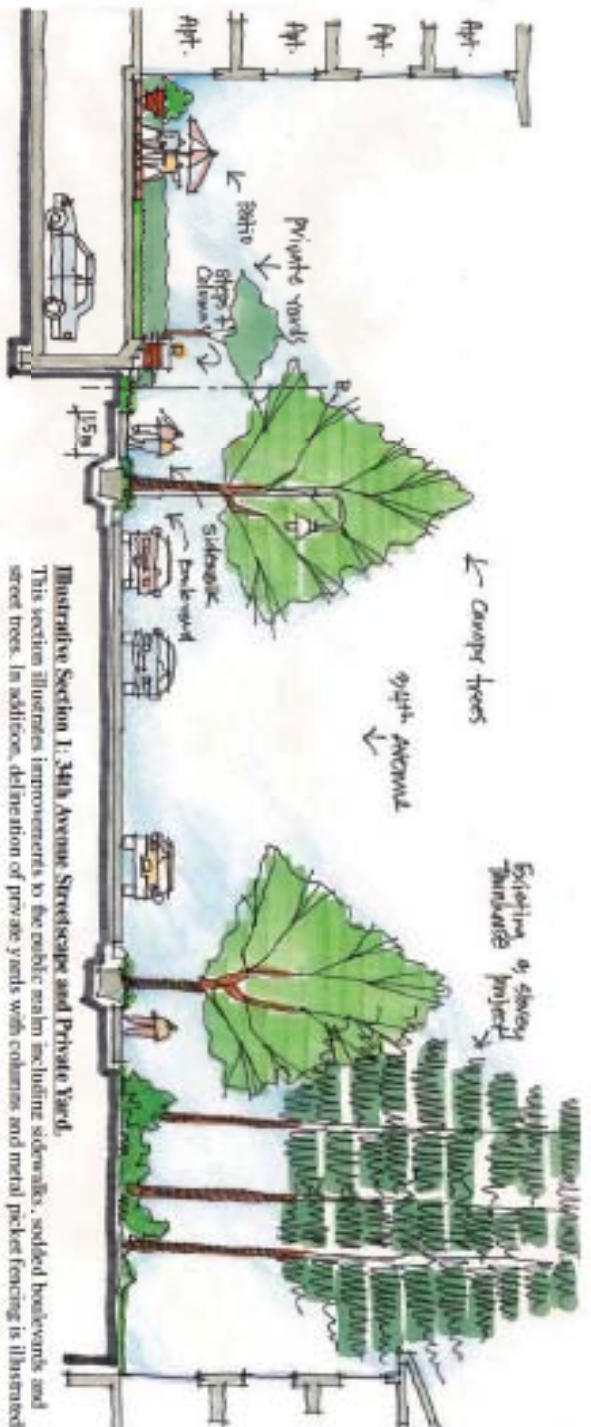


### Key Diagram

The key diagram cross-references the extents of each trail type within the public realm and keys the locations of illustrative cross sections. Entry measurement, node and coast locations are identified.

## Illustrative Cross Sections

Illustrative cross sections are provided in order to demonstrate spatial relationships within the public realm, and between the public and the private realms.

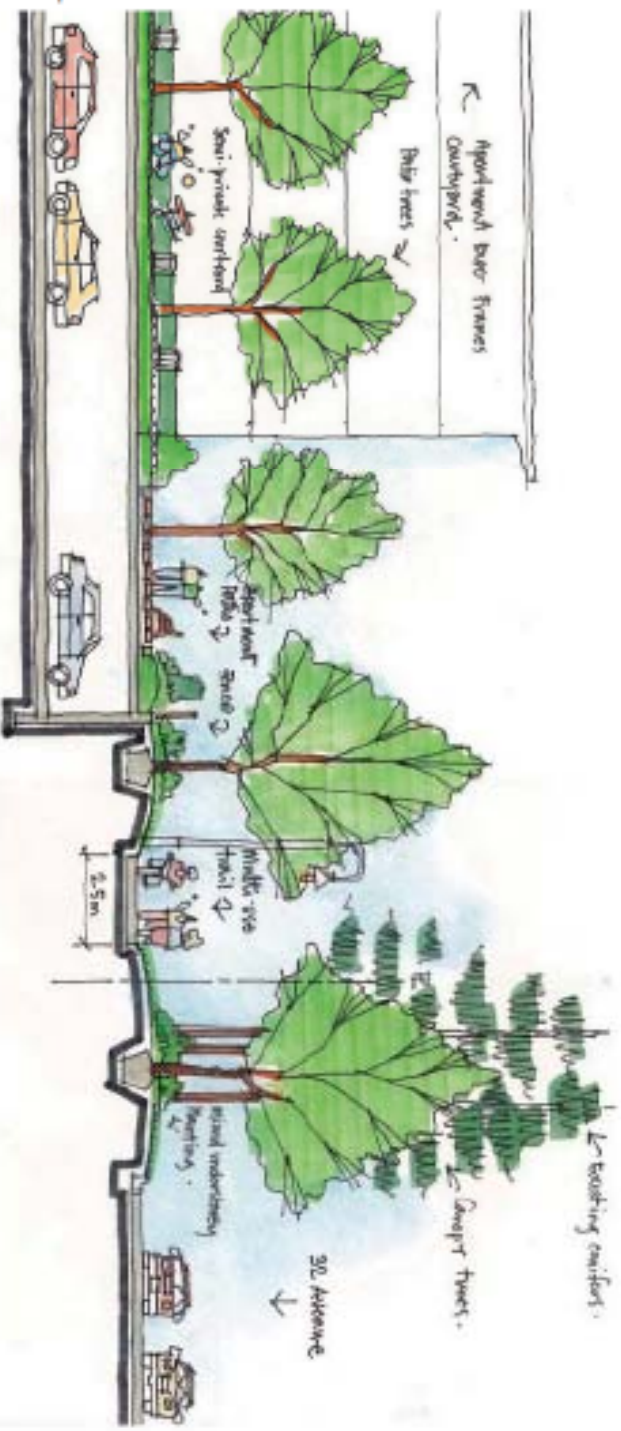


**Illustrative Section 1: 34th Avenue Streetscape and Private Yard.**

This section illustrates improvements to the public realm including sidewalks, sodded boulevards and street trees. In addition, delineation of private yards with columns and metal pocket fencing is illustrated.

**Illustrative Section 2: 152nd Street Streetscape, Multi-use Trail and Private Yard.**  
 This section illustrates improvements to the public realm including a public multi-use trail in a wide landscaped boulevard. In addition, delineation of private terraces with columns and metal pocket fencing is illustrated.

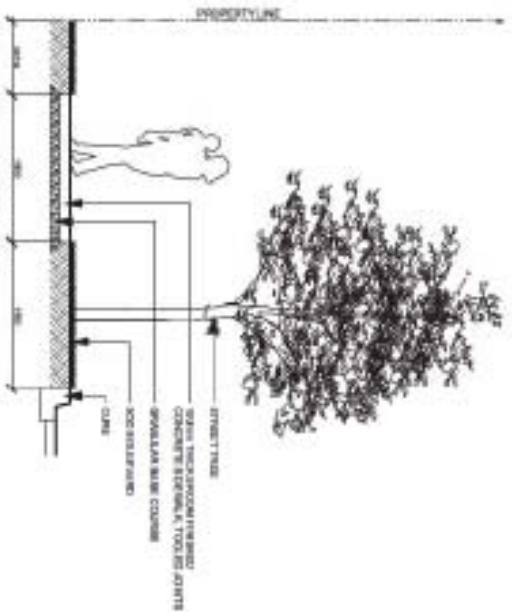




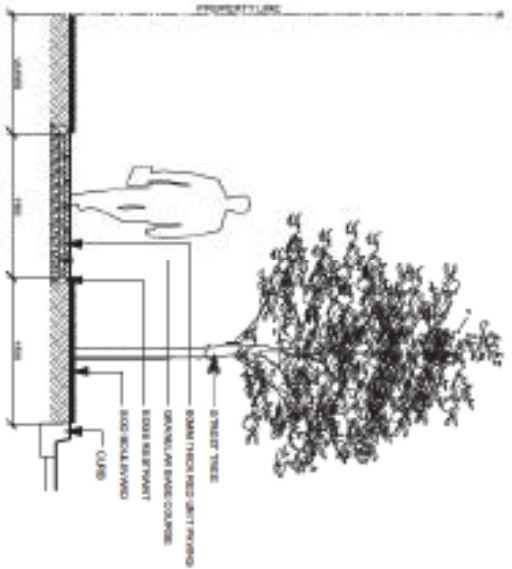
**Illustrative Section 3: 32nd Avenue.**  
**Multi-use Trail Alignment and Semi-private Courtyard.**  
 This section illustrates improvements to the public and private realms including a public multi-use trail in a wide landscaped boulevard. In addition, delineation of a semi-private apartment courtyard is illustrated.



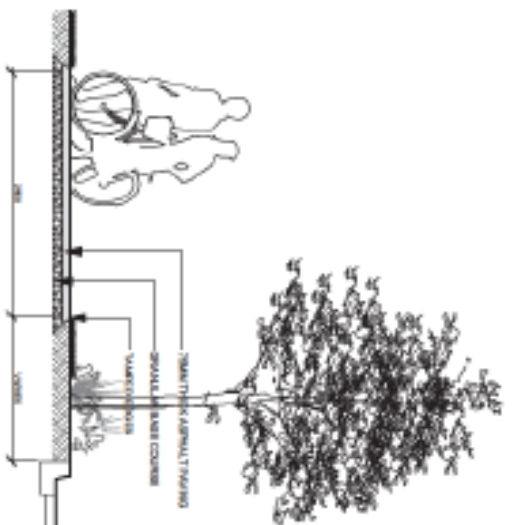
**Illustrative Section 4: 151st Street / 33rd Avenue.**  
**Internal Streetscape and Private Patios.**  
 This section illustrates improvements to the public realm including sidewalks, sodded boulevards and street trees. In addition, delineation of private terraces with columns and metal pocket fencing is illustrated.



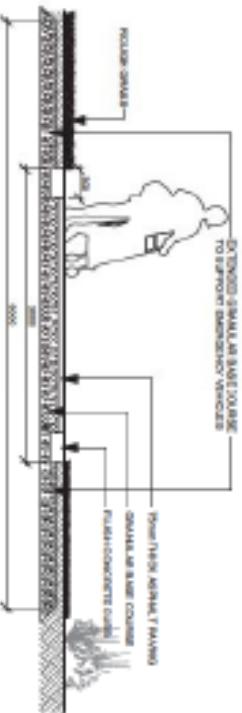
**Type A - Standard Sidewalks**  
 Standard sidewalks are 1.5 m wide broom-finished concrete with saw cut or tooled joints. Standard sidewalks are typically separated from the roadway by a tree grass boulevard.



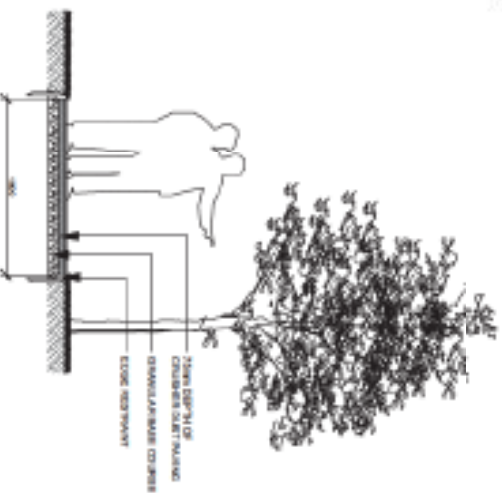
**Type B - Internal Street Sidewalks**  
 Internal street sidewalks: 1.5 m wide unit paving with sand joints. Internal street sidewalks are typically separated from the roadway by a tree grass boulevard.



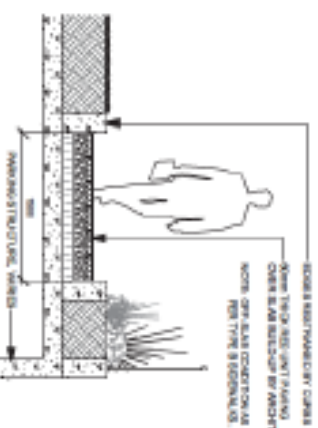
**Type C - Multi-use Trails**  
 Multi-use trails: 2.5 m wide asphalt paving with tamped edges. Multi-use trails meander through informal landscaped corridors.



**Type D - Courtyard Multi-use Trail**  
 Courtyard multi-use trail: 2.5 m wide asphalt with a 300mm wide flush concrete band each side. The base course extends 1.5 m beyond each band to support emergency vehicles.



**Type E - Secondary Public Trails**  
 Secondary public trails: 1.8 m wide crushed granular surfacing with edge restraint.



**Type F - Semi-public Trails**  
 Semi-public trails: 1.5 m wide unit paving with sand joints typically restrained by cast or modular concrete edging.

## PAVING



**Cast Concrete Paving** is utilized for pedestrian sidewalks, handrails, curbs and edgers. Concrete paving is natural colour and becom-finished with brook or saw cut joints.



**Unit Paving** is utilized for special sidewalks, cross-walks, semi-private pedestrian routes and for courts and plazas. Unit pavers may be natural rock or concrete. Unit paving is typically set in a sand base. Colour to complement architectural colour schemes.



**Asphalt Paving** is utilized for barrier-free multi-use trails and roads/ways. Edges are finished at informal trails or contained by concrete edgers.



**Granular Surfacing** is utilized for informal trails. Crusher dust surfacing provides a smooth barrier-free surface.

## LIGHTS



**Yehliu Culture Post-Top Light:** contemporary version of a traditional pendant fixture on a gooseneck pole. Height approximately 6m, colour black. Pedestrian scale foot-top light: contemporary version of a traditional pendant fixture on a gooseneck pole. Height approx. 4m, colour black.



**Reelard Light:** covered metal tube bollard, colour black.

## LANDSCAPE MATERIALS AND COMPONENTS

Landscape materials and components are selected for character, texture, and colour. Standardization of materials and components across the site assures design unity, complements project architecture and reinforces the village theme. The selection of high quality materials and components ensures long-term durability. Furniture is selected for visual unity between the various components. Black is selected as the project colour for all metal as it is elegant and timeless.

### BENCHES BIKE RACK



**Metal Urban Bench:** 1.8m length traditional ribbed-style metal bench, colour black.



**Trail Wooden Bench:** 1.8m length traditional wood bench.



**Metal bike rack:** metal with form to complement site furniture, colour black.

### TRASH RECEPTACLE GRATES



**Metal Trash Receptacle:** ribbed-style metal receptacle, colour black.



**Cast Iron Tree and Drain Grates:** elegant, traditional pattern, natural pattern.



Feature garden walls and columns are used in primary locations and are typically faced with brick to match the project architectural brick. Wall bases and caps may be concrete, brown-stone or faux brownstone.



Modular retaining wall: Allan block modular concrete unit walls, in natural concrete with textured finish, are used in secondary locations where retention is required.



Wood crib wall: pressure treated timber crib walls are used in tertiary or natural locations where minor cribbing is required.



Black metal picket fencing and gates are used for all primary streetscape fencing in combination with feature brick garden walls.



Painted or stained wood fencing is used for secondary locations such as rear yards and for privacy screens. White painted or stain colour to match architectural schemes.

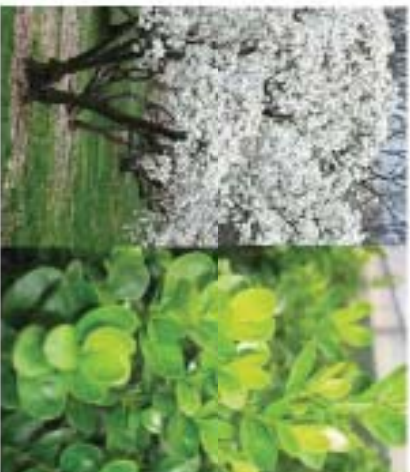
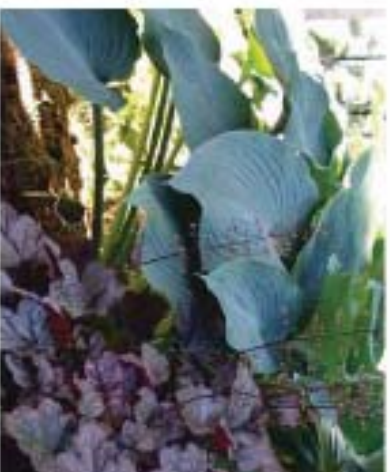


Habitat fencing is used to delineate sensitive fish habitat zones. Habitat fencing is comprised of pressure-treated, or cedar, rail fencing in combination with a black plastic mesh backing. The fencing is to conform to both DFO and BC Hydrol design criteria.



## PLANTING

- All plants and planting to conform to BC/LNA/BCSLA Landscape Standard, latest edition.
- Ornamental street trees: medium canopy deciduous street trees on standards. Minimum 6cm DBH, species per City approval. Planting varieties where horizontal space is limited.
- Ornamental deciduous accent trees: small to medium canopy deciduous trees. Ornamental species with multiple stems or on standards. Minimum 2.5m height.
- Ornamental coniferous accent trees: ornamental coniferous species min. 2.5m height.
- Native trees: deciduous or coniferous Indigenous species min. 2.5m height.
- Planted in informal groups. Ultimate height restricted to 5m within Hydro right of way.
- Ornamental shrubs / groundcovers: evergreen or deciduous species, including ornamental grasses, selected for structure, colour, texture, seasonal interest, hardness, maintenance requirements.
- Native shrubs and groundcovers: evergreen or deciduous species, selected for site parameters, hardness, and habitat value. Planted in natural drifts within hydro right of way and in transition landscapes.



## SIGNS AND WAYFINDING

A system of iconic signs for project identity and project wayfinding should be carefully considered. Sign graphics and colour should complement the site theme and materials should be compatible with project furnishings.

Multi-use trails that form sections of City-wide systems should utilize standard City signs.

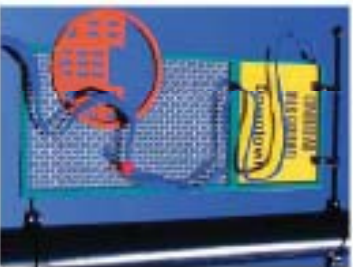
Trailhead markers are used to announce trail beginnings and intersections. A standard project marker should be determined for the site with design variations for urban or naturalized trails.



Wayfinding



Project Identity



Trail Head



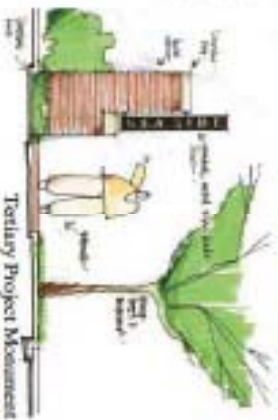
Bicycle City



## ENTRY MONUMENTS

Entry monuments are to be located at prominent project corners and at the primary project entry. Entry monuments announce the project and establish project character. The sketches and precedent images shown this page are illustrative only and intended to stimulate dialogue. These entry monuments are anticipated for this site.

- A **primary monument** is intended for the prominent corner of 152nd Street and 32nd Avenue. This is a high waffle intersection as well as the intersection of two City multi-use trails. This monument is animated by water and lighting. The monument's materiality reflects the site village character. The monument is primarily brick with a stone, or faux stone, base. An overhead trellis in black metal further reinforces project character.
- A **pedestrian forecourt**, paved in unit pavers, is proposed along with a direct relationship with the 32nd Avenue transit stop.
- A **secondary monument** is intended for the corner of 152nd Street and 34th Avenue. This monument is a scaled back version of the primary monument without water but animated by lighting. The monument's materiality reflects the site village character. The monument is primarily brick with a stone, or faux stone, base. Caps are concrete. An overhead trellis in black metal further reinforces project character.
- A **tertiary gateway monument** is intended for the 34th Avenue project entry. This monument is pedestrian-scale but reflects the materiality of the primary and secondary monuments and the overall character of the site. The monument is brick with a stone, or faux stone, base and a concrete cap. A black vertical metal sign component further reinforces project character.



Project Identity



Project Identity



Water



Materials

## PUBLIC ART

- Public art can help create a sense of place, tell a story, engage, delight and possibly challenge the public.
- Public art for this site is anticipated to occur in conjunction with the project entry monuments or will comprise a series of themed elements located along linear pedestrian systems.



# Seaside Village - Townhouses

3303 - 152nd Street, South Surrey, B.C.

**PROJECT'S STATISTICS**

**PROJECT DESCRIPTION:**  
 CONCEPTUAL PLAN FOR THE TOWNHOUSE DEVELOPMENT, APPROXIMATELY 152ND STREET AND 33RD AVENUE, SOUTH SURREY, B.C.  
 LOCAL IDENTIFICATION:  
 PROJECT NAME: "Seaside Village"

**LOT AREA:**  
 152nd Street: 152nd Street  
 33rd Avenue: 33rd Avenue  
 TOTAL AREA: 152nd Street + 33rd Avenue  
 ZONING: RS-1 (Residential Single-Family)  
 DEVELOPER: POLYGON DEVELOPMENT INC.  
 ARCHITECT: POLYGON DEVELOPMENT INC.

**PERMITTED:**

CONCEPTUAL PLAN APPROVED

Lot Area (sq. ft.)	Lot 1	Lot 2	Lot 3	Frontage	Setback	Height	Area (sq. ft.)	Volume (cu. ft.)	Notes
152nd Street	152nd Street	152nd Street	152nd Street	152nd Street	152nd Street	152nd Street	152nd Street	152nd Street	152nd Street
33rd Avenue	33rd Avenue	33rd Avenue	33rd Avenue	33rd Avenue	33rd Avenue	33rd Avenue	33rd Avenue	33rd Avenue	33rd Avenue

**Summary:**  
 Lot Area: 152nd Street, 33rd Avenue  
 Frontage: 152nd Street, 33rd Avenue  
 Setback: 152nd Street, 33rd Avenue  
 Height: 152nd Street, 33rd Avenue  
 Area: 152nd Street, 33rd Avenue  
 Volume: 152nd Street, 33rd Avenue  
 Notes: 152nd Street, 33rd Avenue

**PROJECT DESCRIPTION:**

**GENERAL NOTES:**  
 1. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITY.  
 2. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
 3. THE DEVELOPER SHALL MAINTAIN ALL UTILITIES AND SERVICES AT ALL TIMES.  
 4. THE DEVELOPER SHALL MAINTAIN ALL EXISTING STRUCTURES AND SERVICES AT ALL TIMES.  
 5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.  
 6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.  
 7. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.  
 8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.  
 9. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.  
 10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.

**DRAINAGE LIST:**

- 1. DRAINAGE DITCH
- 2. DRAINAGE DITCH
- 3. DRAINAGE DITCH
- 4. DRAINAGE DITCH
- 5. DRAINAGE DITCH
- 6. DRAINAGE DITCH
- 7. DRAINAGE DITCH
- 8. DRAINAGE DITCH
- 9. DRAINAGE DITCH
- 10. DRAINAGE DITCH
- 11. DRAINAGE DITCH
- 12. DRAINAGE DITCH
- 13. DRAINAGE DITCH
- 14. DRAINAGE DITCH
- 15. DRAINAGE DITCH
- 16. DRAINAGE DITCH
- 17. DRAINAGE DITCH
- 18. DRAINAGE DITCH
- 19. DRAINAGE DITCH
- 20. DRAINAGE DITCH



Character Sketch



**ROSTICH NEARFILL ASSOCIATES**

**PROJECT INFORMATION**  
 PROJECT NAME: Seaside Village  
 PROJECT ADDRESS: 3303 - 152nd Street, South Surrey, B.C.  
 PROJECT TYPE: Townhouse Development  
 PROJECT STATUS: Conceptual Plan Approved

**CLIENT INFORMATION**  
 CLIENT NAME: Polygon Development Inc.  
 CLIENT ADDRESS: 152nd Street, South Surrey, B.C.  
 CLIENT PHONE: (604) 273-1111  
 CLIENT FAX: (604) 273-1112  
 CLIENT EMAIL: info@polygondev.com

**DESIGNER INFORMATION**  
 DESIGNER NAME: Rostich Nearfill Associates  
 DESIGNER ADDRESS: 152nd Street, South Surrey, B.C.  
 DESIGNER PHONE: (604) 273-1111  
 DESIGNER FAX: (604) 273-1112  
 DESIGNER EMAIL: info@rostichnearfill.com

**DATE:** 11/23/17

**SCALE:** 1:100

**PROJECT NUMBER:** A0.0

**PROJECT ADDRESS:** 3303 - 152nd Street, South Surrey, B.C.

**PROJECT TYPE:** Townhouse Development

**PROJECT STATUS:** Conceptual Plan Approved

**CLIENT NAME:** Polygon Development Inc.

**CLIENT ADDRESS:** 152nd Street, South Surrey, B.C.

**CLIENT PHONE:** (604) 273-1111

**CLIENT FAX:** (604) 273-1112

**CLIENT EMAIL:** info@polygondev.com

**DESIGNER NAME:** Rostich Nearfill Associates

**DESIGNER ADDRESS:** 152nd Street, South Surrey, B.C.

**DESIGNER PHONE:** (604) 273-1111

**DESIGNER FAX:** (604) 273-1112

**DESIGNER EMAIL:** info@rostichnearfill.com



34 AVE & 151 ST CORNER VIEW



MIDDLE TOWNHOUSE - 34 AVE ENTRY PERSPECTIVE



**ROSTICH  
HEARFILL  
ASSOCIATES**

PROJECT: 151ST  
34 AVE TOWNHOMES  
VANCOUVER, B.C.  
C.A.R.E.A.  
151ST AVE  
VANCOUVER, B.C.  
V6A 1S1

DATE: 11/23/21

PROJ. NO. 151ST  
D.P.A.

POLYGON  
TOWNHOMES  
34 AVE & 151ST  
VANCOUVER, B.C.

DATE: 11/23/21  
SCALE: 1/8" = 1'-0"

PROJECT: 151ST  
34 AVE TOWNHOMES  
VANCOUVER, B.C.  
C.A.R.E.A.  
151ST AVE  
VANCOUVER, B.C.  
V6A 1S1

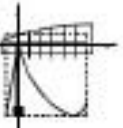
DATE: 11/23/21



34 AVE VIEW LOOKING SOUTHEAST



STREETSCAPE ( 34th AVENUE )



**ROSLICH  
HEARFILL  
ASSOCIATES**

PROJECT NAME:  
30 - BROWNELL STREET  
VANCOUVER, B.C.  
C.A.R.S.E.A.  
1.9.1  
TEL: 604-281-1006  
WWW.ROSLICH.COM

DATE: 2011  
SCALE: 1/8" = 1'-0"

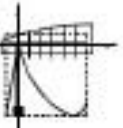
PREPARED BY:  
D.P.A.



**POLYGON**  
CONSTRUCTION

**THORNHURST  
SPARKS VILLAGE**

SCALE: 1/8" = 1'-0"  
**A0.2**



**ROSEBUSH**  
**HEMPHILL**  
 ASSOCIATES

PROJECT NAME:  
 151 - BOWEN, 2ND  
 VANCOUVER, B.C.  
 C.A.R.E.A.  
 151 - BOWEN  
 TEL: 604-273-1000  
 WWW.ROSEBUSH-ASSOCIATES.COM

DATE: 2014  
 DRAWING NO: 100

PREPARED BY:  
 D.P.A.

DESIGNED BY:  
 D.P.A.



**POLYGON**  
 CONSULTING INC.

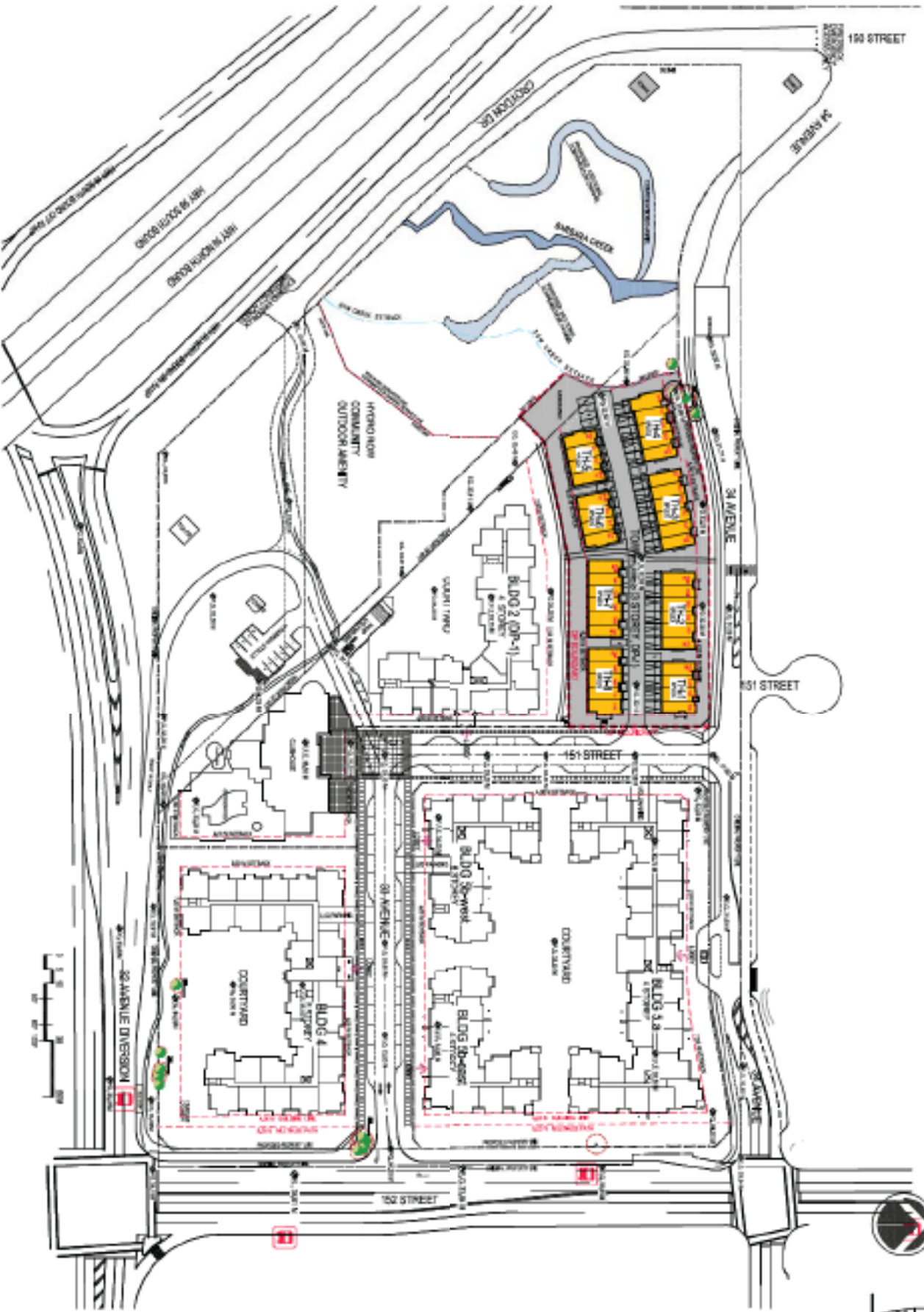
PROJECT: 151 BOWEN  
 DRAWING NO: 100  
 DATE: 2014

SCALE: 1/8" = 1'-0"  
**A0.3**



151 AVE VIEW LOOKING SOUTH





**ROSTON  
HEMPHILL  
&  
ASSOCIATES**  
ARCHITECTS

THURGOOD BOGGS  
C/O ROSTON HEMPHILL &  
ASSOCIATES  
2000 WEST 10TH AVE  
SUITE 100  
VANCOUVER, BC V6P 3G3  
TEL: 604-681-7000  
FAX: 604-681-0711

NO. SHEETS	NO.
1	1
TOTAL SHEETS	1

DATE	NO.
1/1/2025	1/1/2025
DATE	NO.
1/1/2025	1/1/2025

**POLYGON**  
LANDSCAPE ARCHITECTURE  
1000 WEST 10TH AVE  
SUITE 100  
VANCOUVER, BC V6P 3G3  
TEL: 604-681-7000  
FAX: 604-681-0711

**POLYGON**  
LANDSCAPE ARCHITECTURE  
1000 WEST 10TH AVE  
SUITE 100  
VANCOUVER, BC V6P 3G3  
TEL: 604-681-7000  
FAX: 604-681-0711

DESIGNED BY: POLYGON  
DRAWN BY: POLYGON  
CHECKED BY: POLYGON  
DATE: 1/1/2025

SCALE: AS SHOWN  
DATE: 1/1/2025  
BY: POLYGON  
A2.0





34 AVENUE

151 STREET



**ROBITCH  
HEMPHILL  
ASSOCIATES**

TOWNHOMES  
34 AVENUE  
151 STREET  
VANCOUVER  
VANCOUVER BC V6N 1Y1

DATE: 11/21/24  
SCALE: 1:200

**Planning**  
PLAN NO. A2.1

**POLYGON**  
LANDSCAPE ARCHITECTS  
1000 WEST 10TH AVENUE  
VANCOUVER BC V6H 1T5  
TEL: 604-681-1111  
WWW.POLYGONLANDSCAPE.COM

**A2.1**



**ROSTICH  
HEARFILL  
ASSOCIATES**

PROJECT NAME:  
O - BONDILL, 2ND  
VANCOUVER, B.C.  
C.A.S.E. #  
V.C.A. 1.9.1  
TEL: 604-681-1008  
FAX: 604-681-1011

DATE: 11/23/11

PROJECT:  
O.P.A.

DATE: 11/23/11

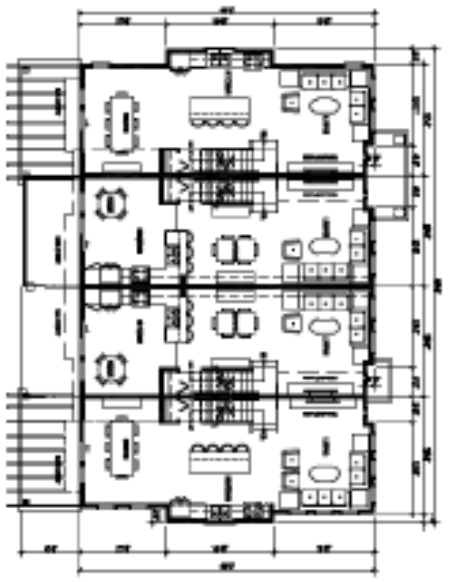


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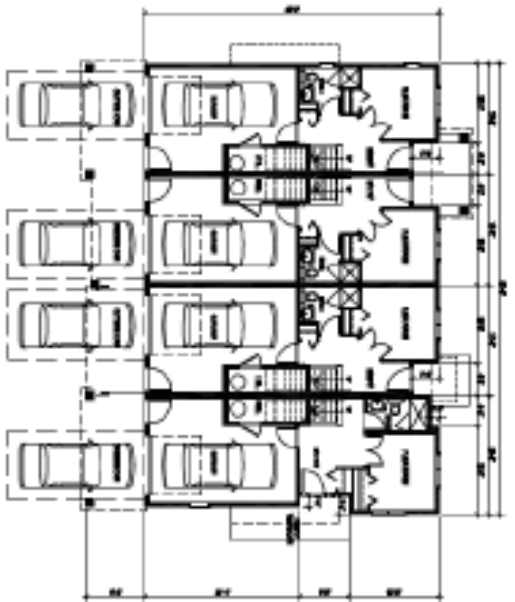
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SHARON VILLAGE  
VANCOUVER, B.C.

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T.M.  
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CHECKED: T.M.  
DATE: 11/23/11

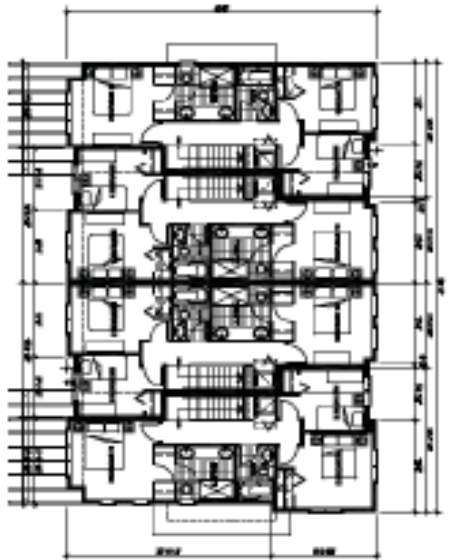
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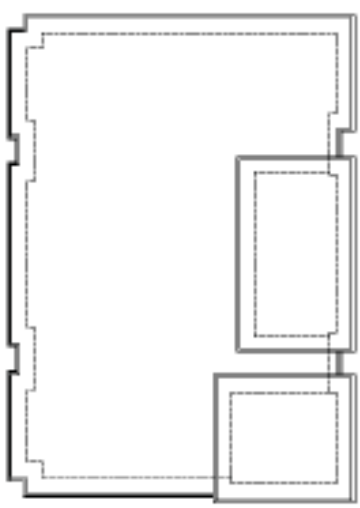
2ND FLOOR PLAN



1ST FLOOR PLAN



3RD FLOOR PLAN



ROOF PLAN





**ROSTICH  
HEARFILL  
ASSOCIATES**

PROJECT NAME:  
O - BROWN, 2ND  
VANOVER, S.C.  
C.A.S.E. # 1  
T.E. GOOD (201-308-1071)  
P.E. GOOD (201-308-1071)

DATE: 11/23/11

PROJECT:  
O.P.A.

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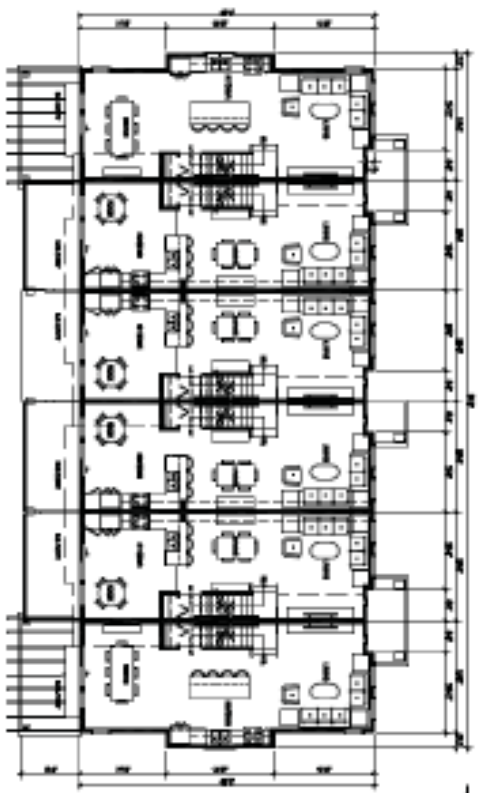
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CONSTRUCTION

**THORNTON  
SHARPS VILLAGE**  
CONDOMINIUM DEVELOPMENT

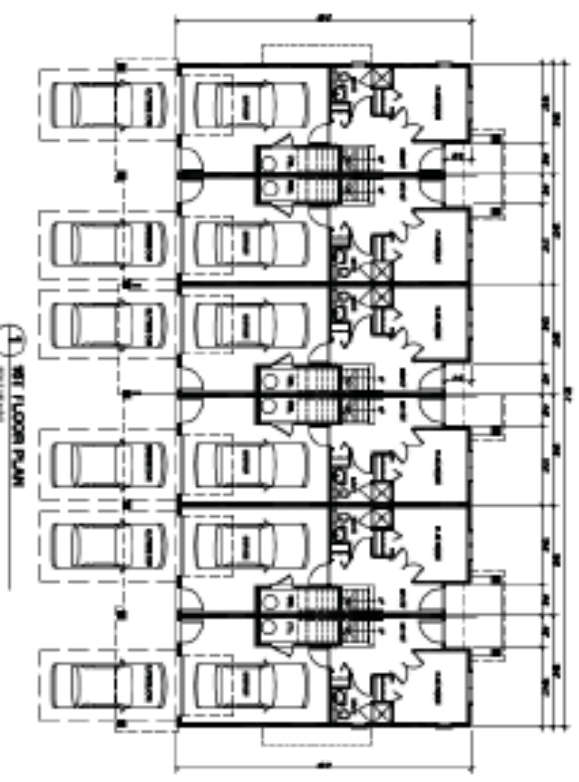
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T.M.C. 104

DATE: 11/23/11

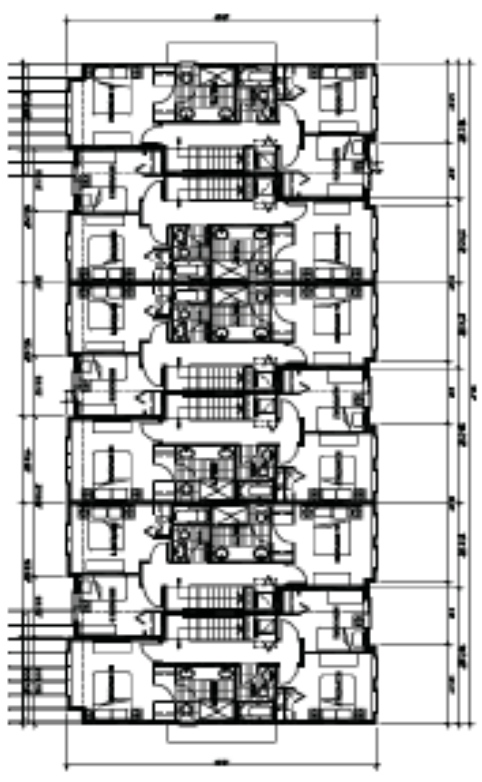
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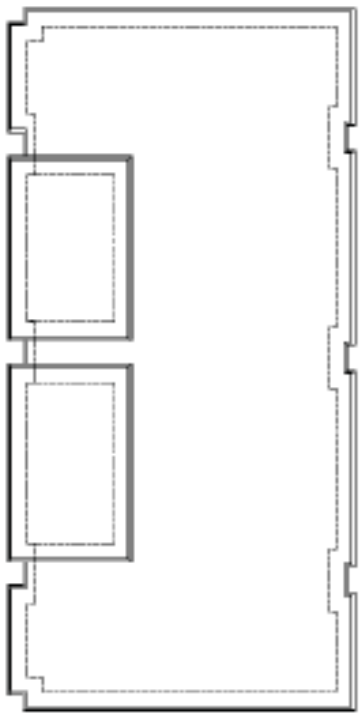
② 2ND FLOOR PLAN



① 1ST FLOOR PLAN



③ 3RD FLOOR PLAN



④ ROOF PLAN

SCALE: AS SHOWN

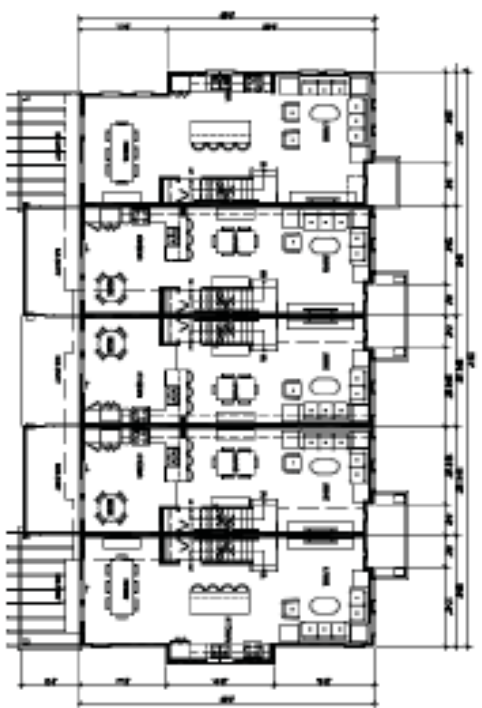
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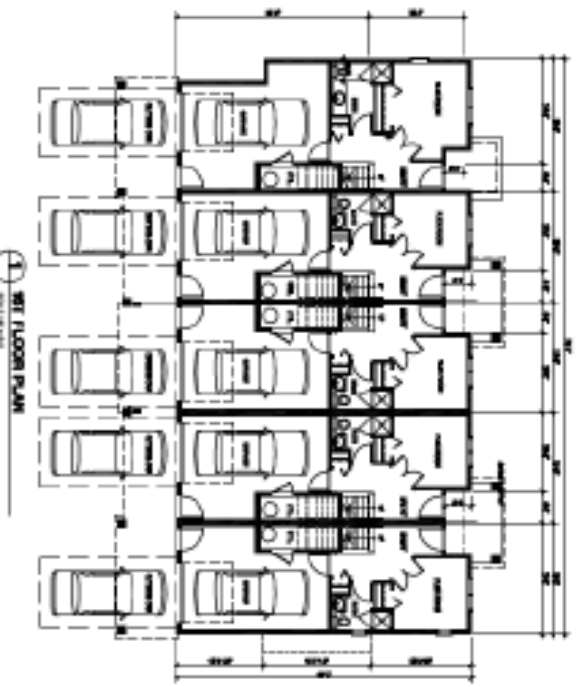


**RO-SITCH**  
**HEARFILL**  
 ASSOCIATES

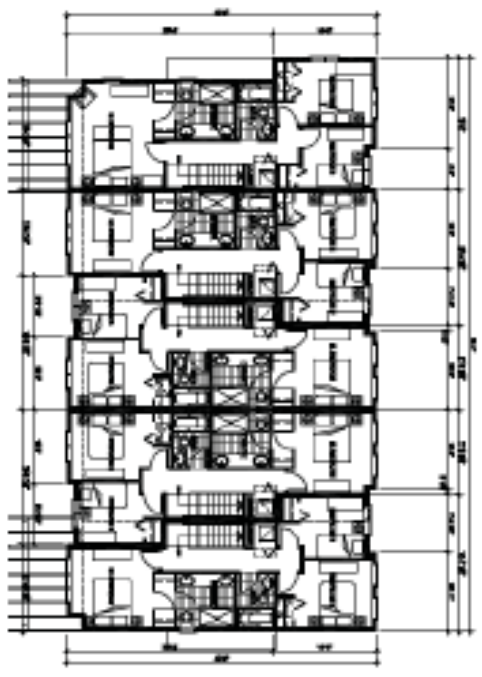
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 50 - BONDILL, 2ND  
 VANCOUVER, B.C.  
 C.A.S.E. #  
 V.A.S. 15.1  
 TEL: 604-683-1000  
 FAX: 604-683-1011



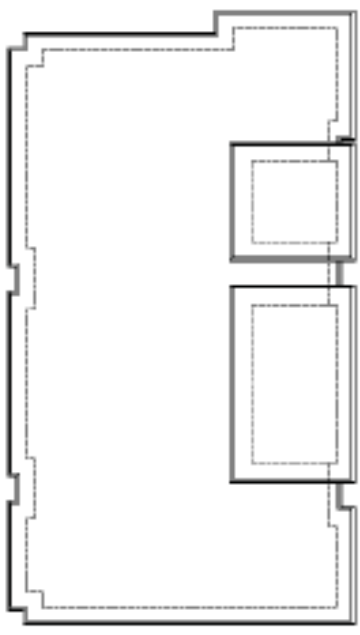
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 SCALE: 1/8" = 1'-0"



① 1ST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



③ 3RD FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



④ ROOF PLAN  
 SCALE: 1/8" = 1'-0"

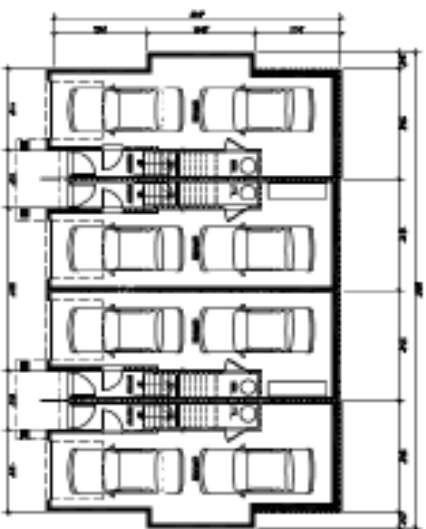


PROJECT:  
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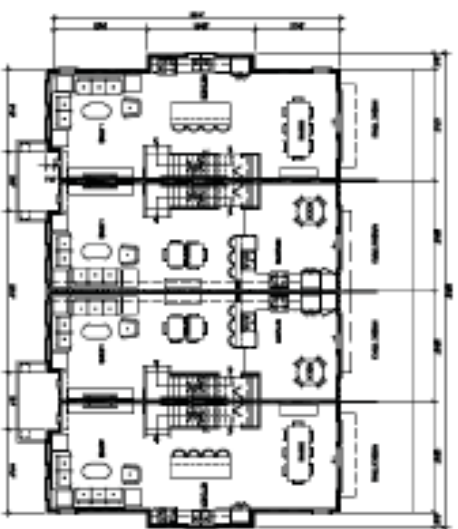


**TIMOTHY**  
**SHANKS VILLAS**  
 AN APARTMENT DEVELOPMENT

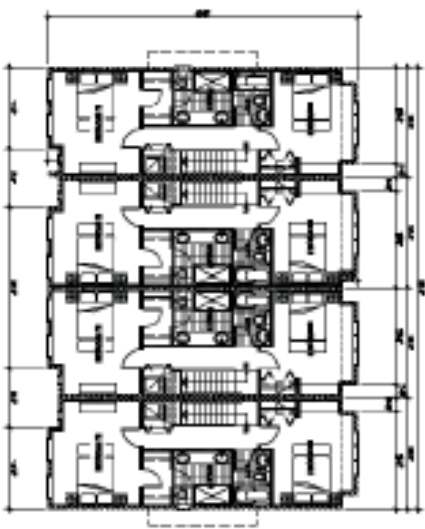
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 PROJECT NO. A3.2



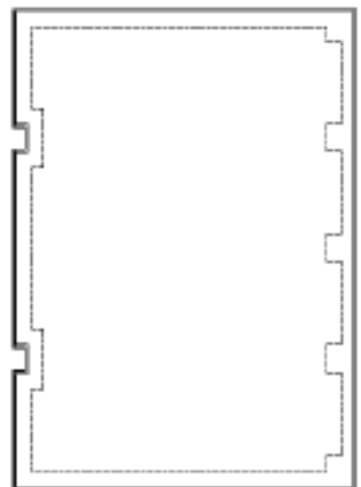
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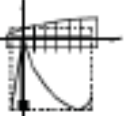
2 2ND FLOOR PLAN



3 3RD FLOOR PLAN



4 ROOF PLAN



**ROSTICH  
HEARFILL  
ASSOCIATES**

PROJECT NAME:  
O - BROWN, 2ND  
VANOVER, S.C.  
C.A.S.E.# A  
V.A.A.# 151  
TEL: 803-281-1000  
FAX: 803-281-1011

DATE: 11/23/11

PROJECT:  
O.P.A.

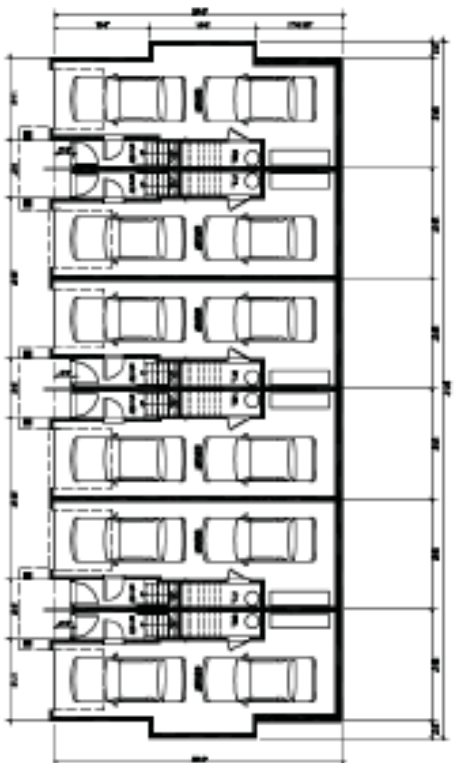
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AS SHOWN

**POLYGON**  
CONSTRUCTION

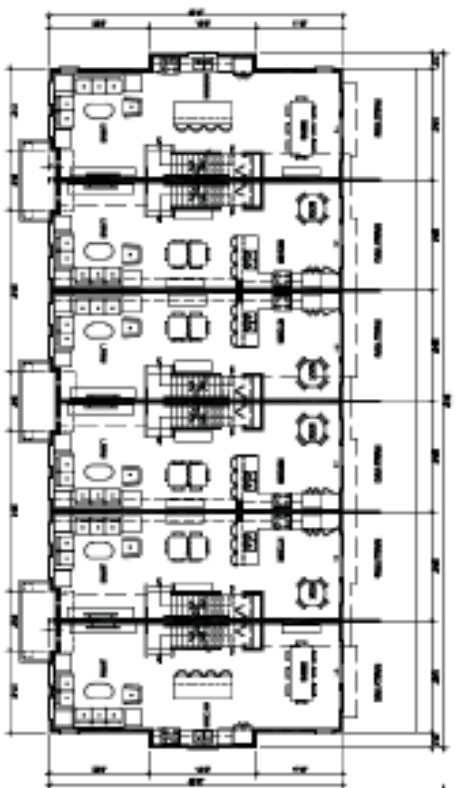
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TOWNHOME  
SHARPS VILLAGE  
2000 SHARPS VILLAGE  
DRIVE  
VANOVER, SC 29084

DATE: 11/23/11

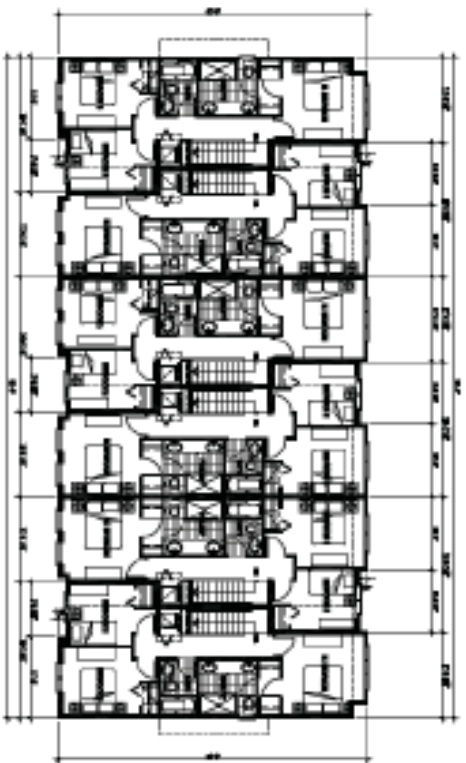
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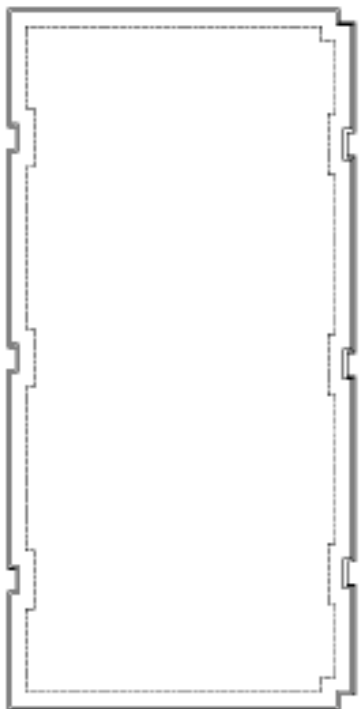
1 1ST FLOOR PLAN



2 2ND FLOOR PLAN



3 3RD FLOOR PLAN



4 ROOF PLAN

SCALE: 1/8" = 1'-0" (SEE ARCHITECT'S NOTES FOR DIMENSIONS)



ROSTICH  
HEARFILL  
ASSOCIATES

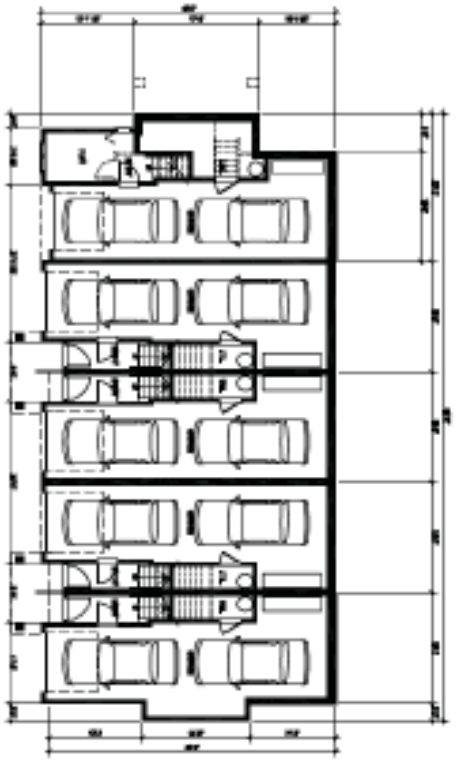
PROJECT NAME:  
O - BENTLEY, 2ND  
VANHOUSE, S.C.  
C.A.S.R.E.A.  
1.4.1.1.1  
TEL: 800-368-1000  
WWW.ROSTICH.COM

PREPARED BY:  
D.P.A.

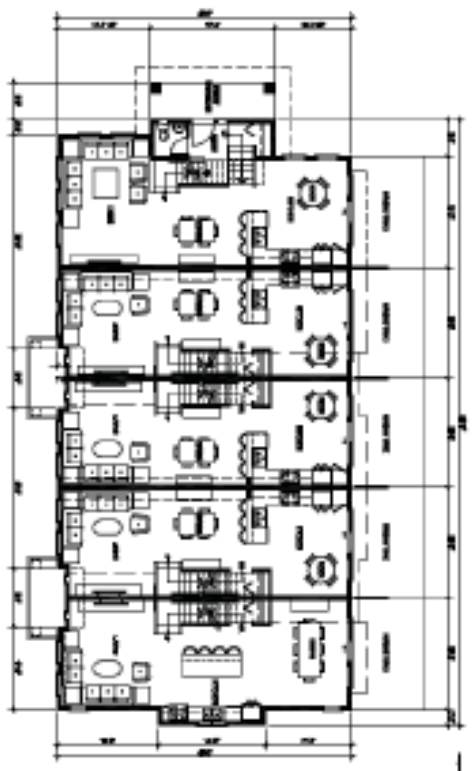


POLYGON  
THORNTON  
SHARPS VILLAGE  
CONDOMINIUM DEVELOPMENT, LLC  
FLOOR PLANS  
T.M.

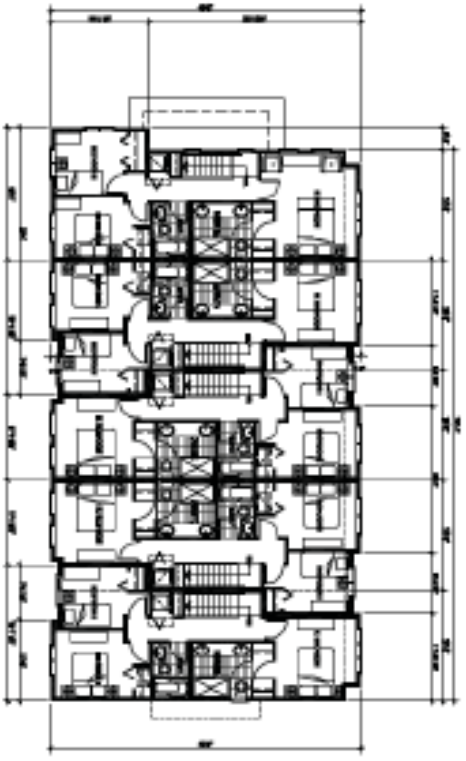
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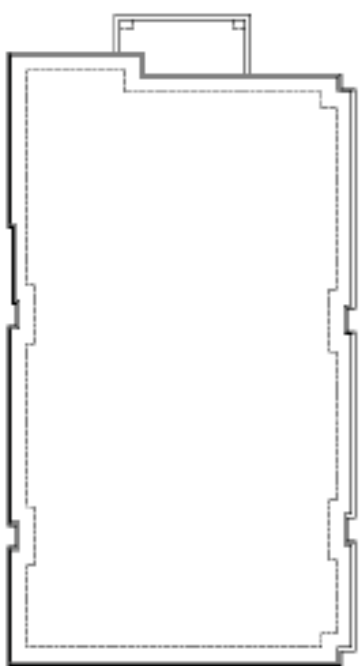
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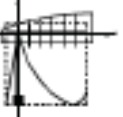
2 2ND FLOOR PLAN



3 3RD FLOOR PLAN



4 ROOF PLAN



**ROSTICH**  
**HEARFILL**  
**ASSOCIATES**

PROJECT NAME  
10 - BROWN, 2ND  
VANOCORSE, S.C.  
C.A.R. # 15.1  
T.L. 2000-028-0008  
P.L. 2000-028-0011

PREPARED BY  
**D.P.A.**

DATE: 08/11/2011  
SCALE: AS SHOWN  
DRAWN BY: [Signature]



**TOWNHOME**  
**SPARKS VILLAGE**  
200 BROWN, VANOCORSE, S.C.

FLOOR PLANS

DATE: 11/23/11  
SCALE: AS SHOWN  
DRAWN BY: [Signature]

**A3.5**



SCALE: 1/8" = 1'-0" (SEE NOTES FOR DIMENSIONS)





**ROSTICH**  
**HEARFILL**  
**ASSOCIATES**

PROJECT NAME:  
 50 - BROWNELL STREET  
 VANOCOVER, S.C.  
 C.A.R. # 15-1  
 T.L. GOOD 028-0206  
 P.M. GOOD 028-1071

DATE: 11/23/17

PREPARED BY:  
**D.P.A.**

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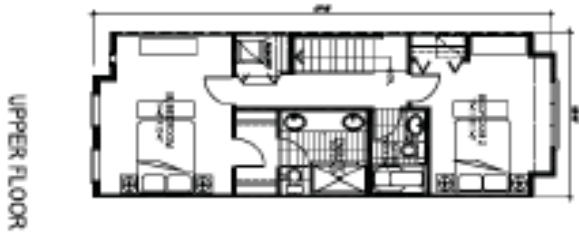
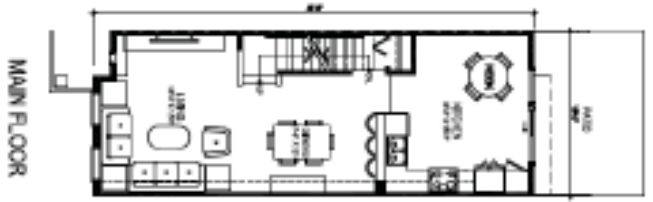
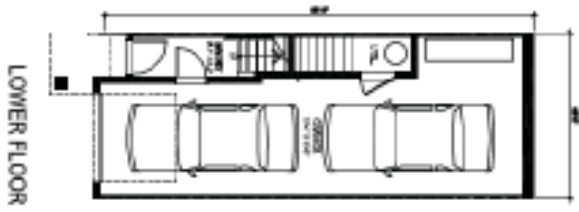
**POLYGON**  
**ENGINEERING**  
**INC.**  
**1100 W. 10TH STREET**  
**SPARTANBURG, SC 29583**

PROJECT: 1100 W. 10TH STREET  
 SHEET: 1100-17H  
 DATE: 11/23/17

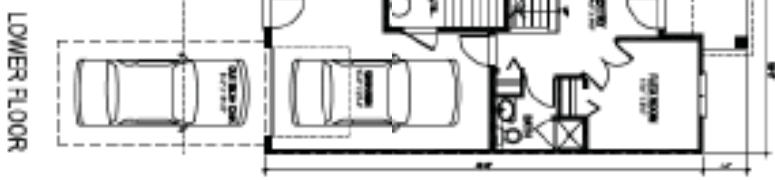
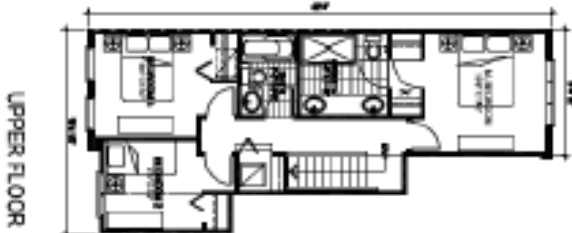
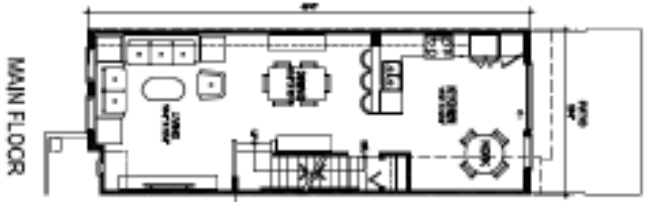
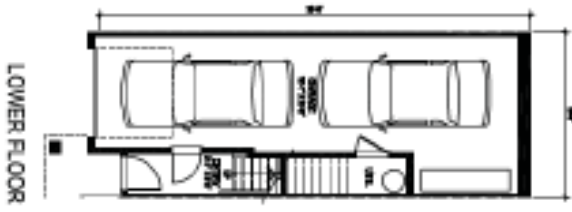
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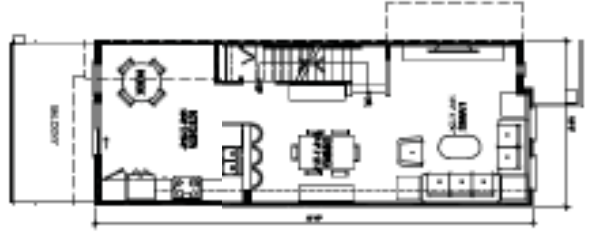
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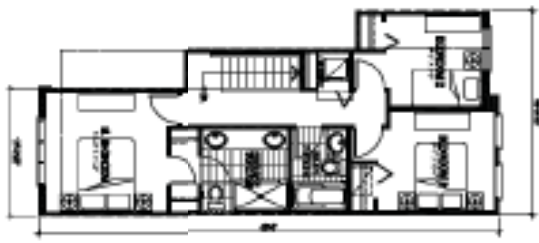
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# THC

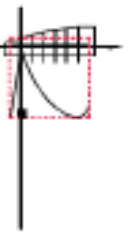
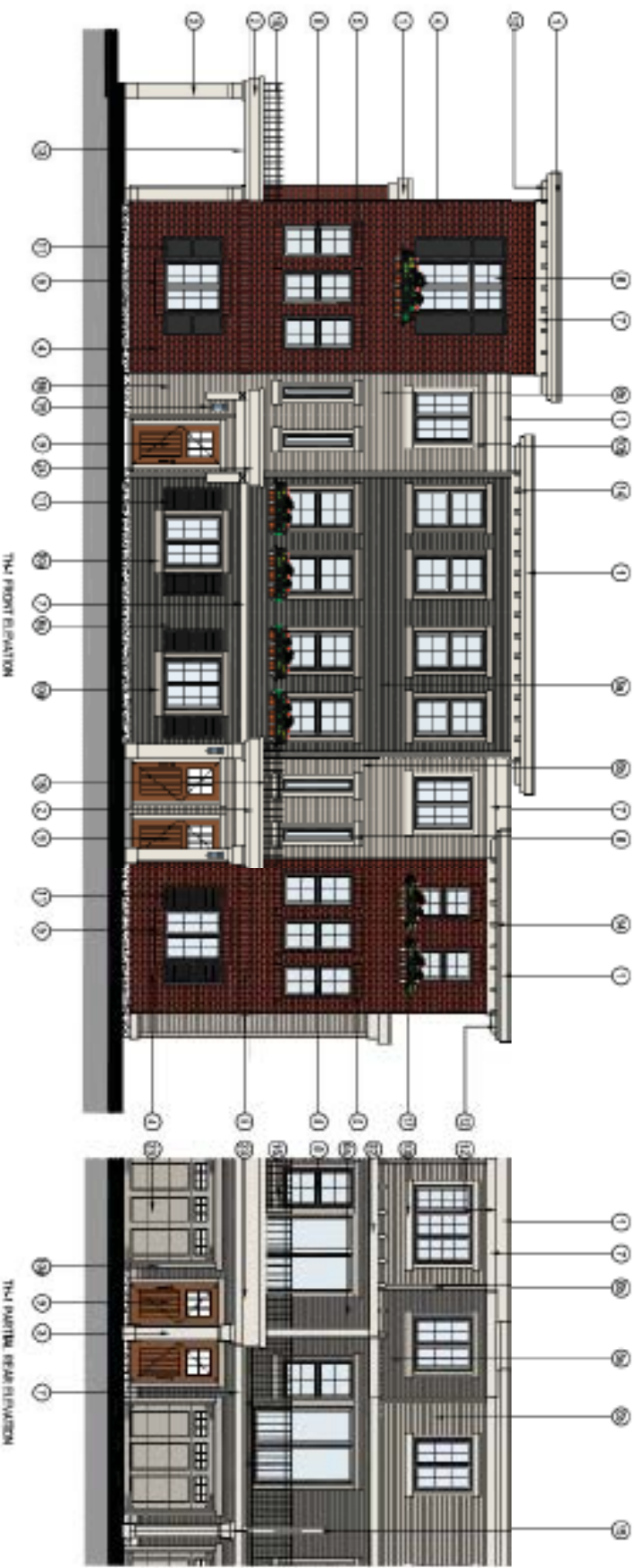


# UPPER FLOOR



# MATERIAL LEGEND

MATERIAL LEGEND		TOWNHOMES		MATERIAL LEGEND	
1	ROOF FINISH	13	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	23	SHAKE SHINGLES (12" X 18" X 1/2")
2	ROOF GUTTER	14	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	24	SHAKE SHINGLES (12" X 18" X 1/2")
3	ROOF GUTTER (SOLID COLOR LABEL - 3000)	15	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	25	SHAKE SHINGLES (12" X 18" X 1/2")
4	ROOF GUTTER (SOLID COLOR LABEL - 3000)	16	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	26	SHAKE SHINGLES (12" X 18" X 1/2")
5	ROOF GUTTER (SOLID COLOR LABEL - 3000)	17	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	27	SHAKE SHINGLES (12" X 18" X 1/2")
6	ROOF GUTTER (SOLID COLOR LABEL - 3000)	18	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	28	SHAKE SHINGLES (12" X 18" X 1/2")
7	ROOF GUTTER (SOLID COLOR LABEL - 3000)	19	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	29	SHAKE SHINGLES (12" X 18" X 1/2")
8	ROOF GUTTER (SOLID COLOR LABEL - 3000)	20	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	30	SHAKE SHINGLES (12" X 18" X 1/2")
9	ROOF GUTTER (SOLID COLOR LABEL - 3000)	21	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	31	SHAKE SHINGLES (12" X 18" X 1/2")
10	ROOF GUTTER (SOLID COLOR LABEL - 3000)	22	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	32	SHAKE SHINGLES (12" X 18" X 1/2")
11	ROOF GUTTER (SOLID COLOR LABEL - 3000)	23	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	33	SHAKE SHINGLES (12" X 18" X 1/2")
12	ROOF GUTTER (SOLID COLOR LABEL - 3000)	24	WOOD SHIP LAP SIDING (SHINGLES - 12" X 24" X 1/2")	34	SHAKE SHINGLES (12" X 18" X 1/2")



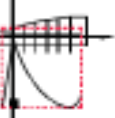
**ROSLICH**  
**HEMPHILL**  
**ASSOCIATES**  
 ARCHITECTS  
 1111 11th Street, N.E.  
 Atlanta, GA 30309  
 Phone: 404-525-1111

ARCHITECT  
**D.P.A.**  
 1111 11th Street, N.E.  
 Atlanta, GA 30309

POLYGON  
 CONSTRUCTION  
 1111 11th Street, N.E.  
 Atlanta, GA 30309

**POLYGON**  
**CONSTRUCTION**  
 1111 11th Street, N.E.  
 Atlanta, GA 30309  
 Phone: 404-525-1111  
 Website: www.polygonconstruction.com

SCALE: 1/8" = 1'-0"  
**A4.0**  
 SHEET NO.



**ROSTON  
HEMPHILL  
&  
ASSOCIATES**  
ARCHITECTS

THIRDSOURCE  
100 BOSTON STREET  
CAMBRIDGE, MA  
617 452 1111  
TEL: 603-438-0000  
PROJECT: 151-011

DATE: 11/11/11  
SCALE: AS SHOWN

OWNER:  
**D.P.A.**  
151 WEST PL

PROJECT: 151 WEST PL  
151 WEST PL ELEVATIONS  
151 WEST PL

OWNER:  
**POLYGON**  
151 WEST PL

PROJECT: 151 WEST PL  
151 WEST PL ELEVATIONS  
151 WEST PL

DATE: 11/02/11  
SCALE: AS SHOWN  
**A4.0.1**



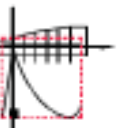
**151 STREET ELEVATIONS**



**WEST PL ELEVATIONS (BARBARA CREEK)**



**34 AVE STREET ELEVATIONS**



**POSITCH  
HEMPHILL  
&  
ASSOCIATES**  
ARCHITECTS

TOWNHOUSE BOOK  
 01 - EXTERIOR ELEVATIONS  
 02 - INTERIOR ELEVATIONS  
 03 - FLOOR PLANS  
 04 - SECTION DRAWINGS  
 05 - DETAILS  
 06 - SCHEDULES  
 07 - FINISHES  
 08 - NOTES

DATE: 11/11/14  
 SCALE: AS SHOWN

DESIGNED BY  
**D.P.A.**  
 11/11/14

FOR THE ARCHITECT  
 POSITCH, HEMPHILL & ASSOCIATES  
 11111 W. 11TH AVENUE, SUITE 100  
 DENVER, CO 80233



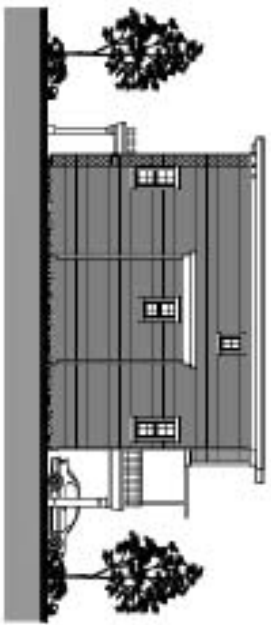
**POLYGON**  
 CONSTRUCTION

TOWNHOUSE  
 EXTERIOR ELEVATIONS  
 TOWNHOUSE - 1

DATE: 11/11/14  
 SCALE: AS SHOWN

DATE: 11/11/14  
 SCALE: AS SHOWN

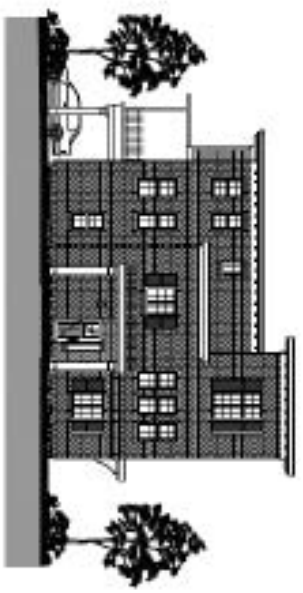
DATE: 11/11/14  
 SCALE: AS SHOWN



WEST SIDE ELEVATION (WEST)



REAR ELEVATION (SOUTH)

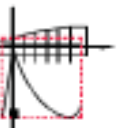


EAST SIDE ELEVATION (151 STREET)



FRONT ELEVATION (34 AVENUE)

**TOWNHOUSE 1**



**ROSEICH  
HEMPHILL  
&  
ASSOCIATES**  
ARCHITECTS

TOWNHOUSE 2008  
10000 W. 10TH AVENUE  
SUITE 100  
DENVER, CO 80202  
TEL: 303.440.0000  
WWW.ROSEICH.COM

DATE: 10/15/14  
SCALE: 1/8" = 1'-0"

DESIGNED BY  
**D.P.A.**  
ARCHITECTS

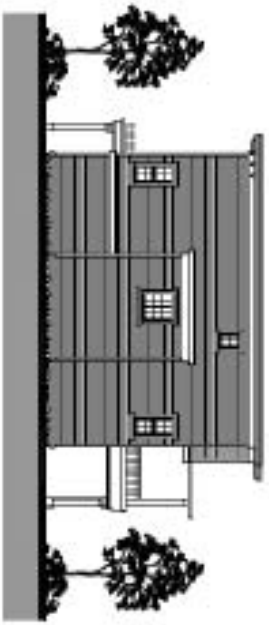
10000 W. 10TH AVENUE  
SUITE 100  
DENVER, CO 80202  
TEL: 303.440.0000  
WWW.DPA-ARCHITECTS.COM

**POLYGON**  
CONSTRUCTION

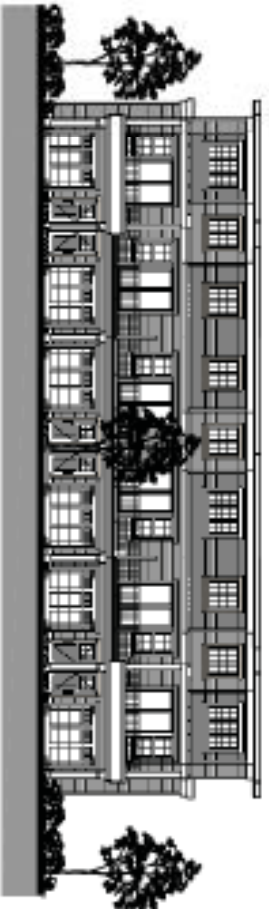
TOWNHOUSE  
2008  
10000 W. 10TH AVENUE  
SUITE 100  
DENVER, CO 80202  
TEL: 303.440.0000  
WWW.POLYGONCONSTRUCTION.COM

DATE: 10/15/14  
SCALE: 1/8" = 1'-0"

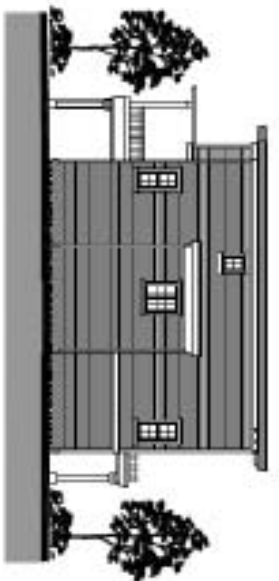
PROJECT NO. **A4.2**



R-SIDE ELEVATION (WEST)



REAR ELEVATION (SOUTH)

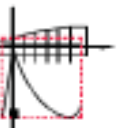


R-SIDE ELEVATION (151 STREET)



FRONT ELEVATION (34 AVENUE)

**TOWNHOUSE 2 & 3**



**ROSTON  
HEMPHILL  
&  
ASSOCIATES**  
ARCHITECTS

TOWNHOUSE BOOK  
 01 - EXTERIOR ELEVATIONS  
 02 - INTERIOR ELEVATIONS  
 03 - FLOOR PLANS  
 04 - SECTION  
 05 - DETAILS  
 06 - SCHEDULES  
 07 - FINISHES  
 08 - NOTES

DATE: 11/11/11  
 SCALE: AS SHOWN

DESIGNED BY  
**D.P.A.**  
 11/11/11

FOR THE ARCHITECT  
 POLYGON CONSTRUCTION, LLC  
 11111 W. 11TH AVENUE, SUITE 100  
 DENVER, CO 80202

**POLYGON**  
 CONSTRUCTION, LLC

TOWNHOUSE  
 34 AVENUE WALK-OUT  
 34 AVENUE WALK-OUT  
 34 AVENUE WALK-OUT

GENERAL CONTRACTOR  
 GENERAL CONTRACTOR  
 GENERAL CONTRACTOR  
 GENERAL CONTRACTOR  
 GENERAL CONTRACTOR

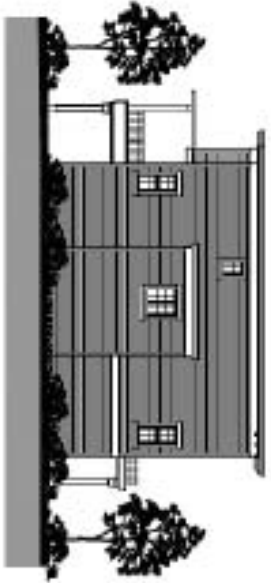
DATE: 11/11/11  
 SCALE: AS SHOWN  
**A4.3**



R-SIDE ELEVATION (WEST)



REAR ELEVATION (SOUTH)

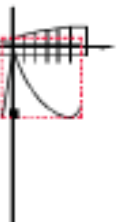


L-SIDE ELEVATION (EAST)



FRONT ELEVATION (34 AVENUE)

**TOWNHOUSE 4**



**POSITON**  
**HEMPHILL**  
**ASSOCIATES**  
 ARCHITECTS

TOWNHOUSE BOOK  
 01 - EXTERIOR ELEVATIONS  
 02 - INTERIOR ELEVATIONS  
 03 - FLOOR PLANS  
 04 - SECTION  
 05 - DETAILS  
 06 - FINISHES  
 07 - SCHEDULES  
 08 - NOTES

DATE: 11/11/14  
 SCALE: 1/8" = 1'-0"

DESIGNED BY  
**D.P.A.**  
 11/11/14

FOR THE ARCHITECT  
 POSITON HEMPHILL ASSOCIATES  
 11111 W. 11TH AVENUE  
 SUITE 100  
 DENVER, CO 80202

**POLYGON**  
 CONSTRUCTION

TOWNHOUSE  
 5  
 11/11/14

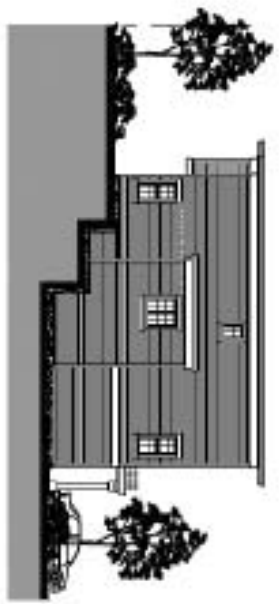
DATE: 11/11/14  
 SCALE: 1/8" = 1'-0"



R-SIDE ELEVATION (HYDRQ ROW)



REAR ELEVATION (SOUTH)

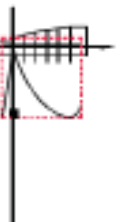


L-SIDE ELEVATION (EAST)



FRONT ELEVATION (INTERNAL DRIVEWAY)

**TOWNHOUSE 5**



**POSITON**  
**HEMPHILL**  
**ASSOCIATES**  
 ARCHITECTS

TOWNHOUSE BOOK  
 01 - EXTERIOR ELEVATIONS  
 02 - INTERIOR ELEVATIONS  
 03 - FLOOR PLANS  
 04 - SECTION  
 05 - DETAILS  
 06 - FINISHES  
 07 - SCHEDULES  
 08 - NOTES

DATE: 11/11/11  
 SCALE: AS SHOWN

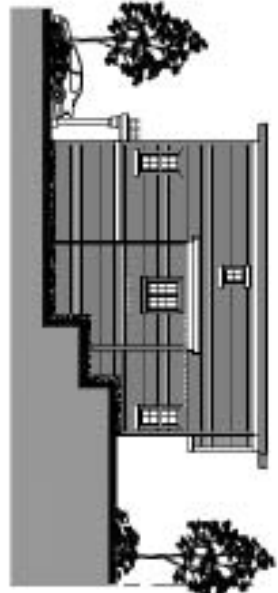
DESIGNED BY  
**D.P.A.**  
 ARCHITECTS

FOR THE ARCHITECT  
 POSITON HEMPHILL ASSOCIATES  
 1000 W. 10TH STREET  
 SUITE 100  
 DENVER, CO 80202

**POLYGON**  
 CONSTRUCTION

TOWNHOUSE  
 6  
 11/11/11

DATE: 11/11/11  
 SCALE: AS SHOWN  
**A4.5**



R-SIDE ELEVATION (HYDRQ ROW)



REAR ELEVATION (SOUTH)



L-SIDE ELEVATION (EAST)

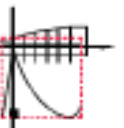


FRONT ELEVATION (INTERNAL DRIVEWAY)

**TOWNHOUSE 6**







**POSITON**  
**HEMPHILL**  
**ASSOCIATES**  
 ARCHITECTS

TOWNHOUSE BOOK  
 01 - EXTERIOR ELEVATIONS  
 02 - INTERIOR ELEVATIONS  
 03 - FLOOR PLANS  
 04 - SECTION DRAWINGS  
 05 - DETAILS  
 06 - SCHEDULES  
 07 - FINISHES  
 08 - NOTES

DATE: 11/11/14  
 SCALE: AS SHOWN

DESIGNED BY  
**D.P.A.**  
 ARCHITECTS

FOR THE ARCHITECT  
 POLYGON CONSTRUCTION, LLC  
 11000 W. 11TH AVENUE  
 SUITE 100  
 DENVER, CO 80202

**POLYGON**  
 CONSTRUCTION, LLC

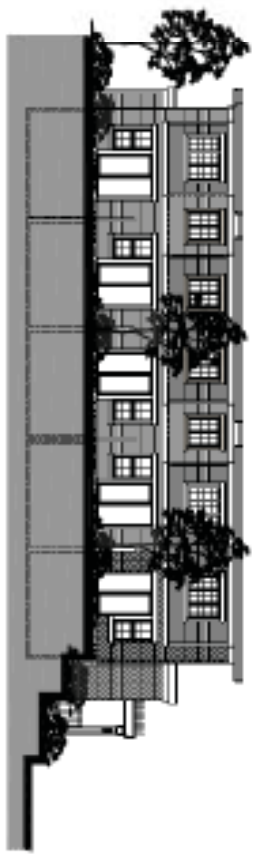
TOWNHOUSE  
 EXTERIOR ELEVATIONS  
 TOWNHOUSE - 8

DATE: 11/11/14  
 SCALE: AS SHOWN

NO. 40  
**A4.7**



R-SIDE ELEVATION (WEST)



REAR ELEVATION

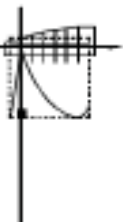


SIDE ELEVATION (151 STREET)



FRONT ELEVATION (INTERNAL DRIVEWAY)

**TOWNHOUSE 8**



**ROSEICH  
HEMPHILL  
&  
ASSOCIATES**  
ARCHITECTS

THUNDER BOLT  
101-10TH AVENUE  
CLACKAMAS, WA  
98149  
TEL: 503-648-0202  
PROJECT: 01-011

DATE: 11/11/11

OWNER:  
**D.P.A.**  
11/11/11

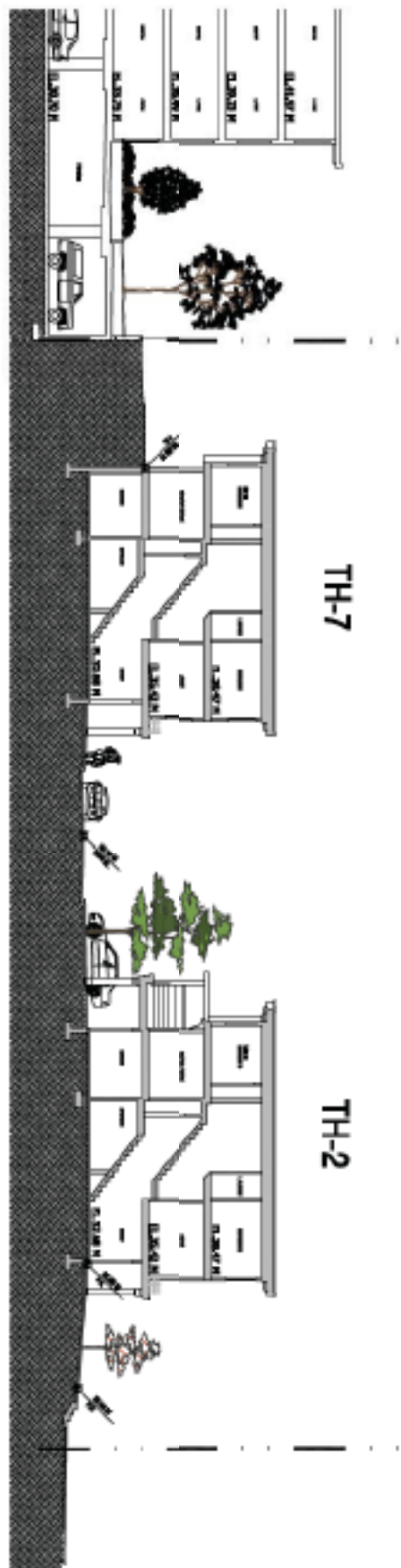
PROJECT: 101-10TH AVENUE  
CLACKAMAS, WA  
98149

**POLYGON**  
CONSTRUCTION

PROJECT: 101-10TH AVENUE  
CLACKAMAS, WA  
98149

DATE: 11/11/11

SCALE: 1/8" = 1'-0"



SECTION A-A



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	10/11/2023	ETA
2	ISSUED FOR PERMITS	10/11/2023	ETA
3	ISSUED FOR PERMITS	10/11/2023	ETA
4	ISSUED FOR PERMITS	10/11/2023	ETA
5	ISSUED FOR PERMITS	10/11/2023	ETA



**SEASIDE TOWNHOMES**

34 AVENUE  
151 STREET

151 STREET

**Tree Management Legend**

- Existing Tree to be Retained
- Existing Tree to be Removed
- Proposed New Tree
- Proposed New Tree to be Removed

151 STREET



- 1.00 SITE PLAN
- 1.01 EXISTING SITE PLAN
- 1.02 EXISTING SITE PLAN
- 1.03 EXISTING SITE PLAN
- 1.04 EXISTING SITE PLAN
- 1.05 EXISTING SITE PLAN
- 1.06 EXISTING SITE PLAN
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- 1.98 EXISTING SITE PLAN
- 1.99 EXISTING SITE PLAN
- 2.00 EXISTING SITE PLAN



SEARCHED TOWN RECORDS  
 2011-2012  
 LANDSCAPE LAYOUT PLAN

DATE: 10/11/11  
 SCALE: 1/8" = 1'-0"  
 13.0



- 1. SITE
- 2. EXISTING UTILITIES
- 3. EXISTING PLANTING
- 4. EXISTING DRIVE
- 5. EXISTING DRIVE
- 6. EXISTING DRIVE
- 7. EXISTING DRIVE
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eta

SEASIDE TOWNHOMES  
 LANDSCAPE DESIGN PLAN

13.0

151 STREET



- 1 250mm PVC SAN
- 2 250mm PVC SAN
- 3 250mm PVC SAN
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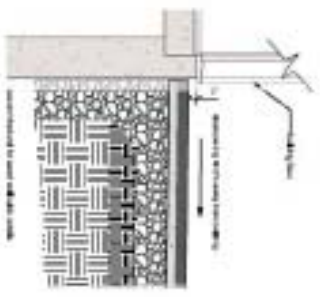
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SEASIDE TOWNHOMES  
 221 - 223  
 LANDSCAPE PLAN  
 1:40  
 2024

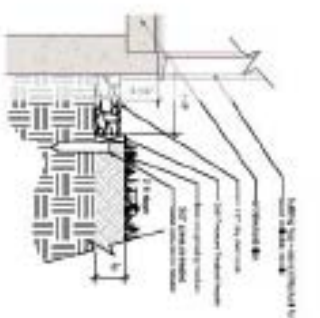




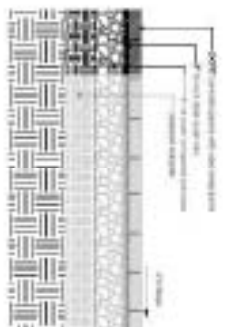




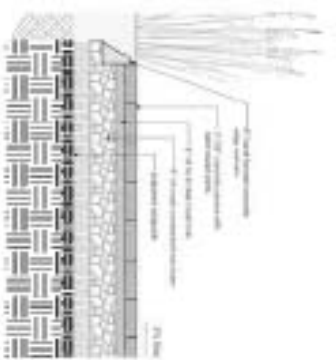
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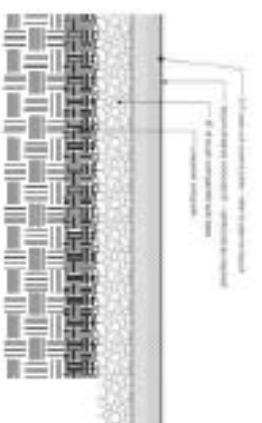
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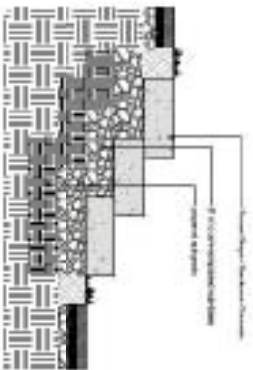
3 Detail of Concrete/Lean Concrete Joint  
Scale: 1/2" = 1'-0"



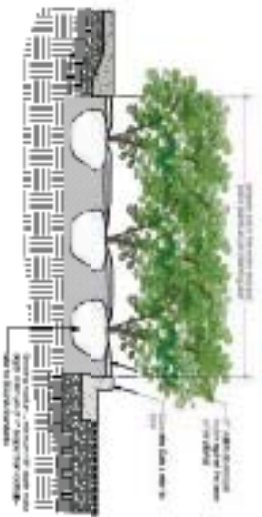
4 Detail From Basement - Special  
Scale: 1/2" = 1'-0"



5 Detail of Concrete Finery  
Scale: 1/2" = 1'-0"



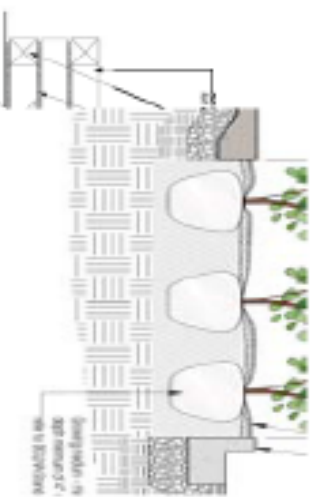
6 Detail Above Concrete Deck  
Scale: 1/2" = 1'-0"



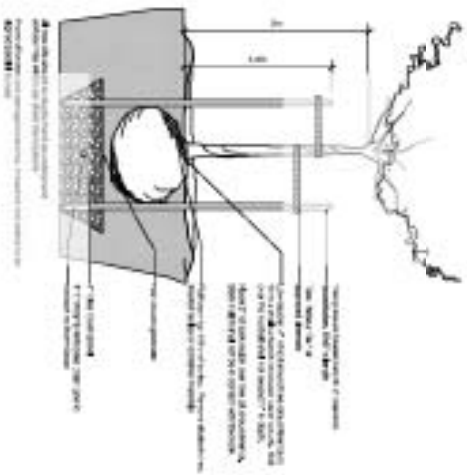
7 Detail Detailing on Grade  
Scale: 1/2" = 1'-0"



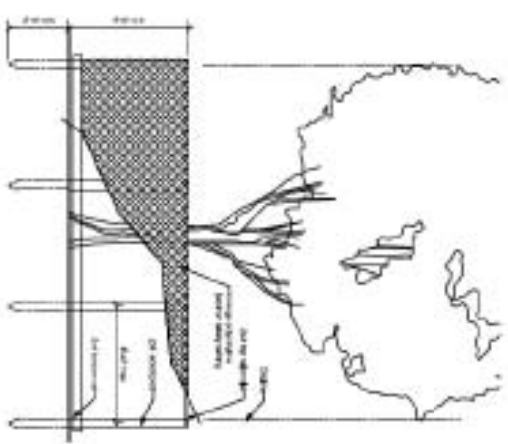
8 Detail Above Existing Wall  
Scale: 1/2" = 1'-0"



9 Detail Detailing on Grade  
Scale: 1/2" = 1'-0"



10 Detail Structural Soil  
Scale: 1/2" = 1'-0"



11 Detail From Foundation Footing  
Scale: 1/2" = 1'-0"

NO DATE REVISIONS

200 APPROVED BY

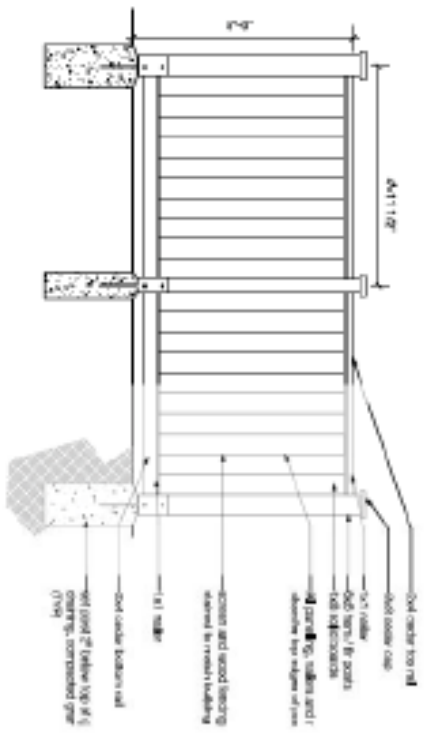
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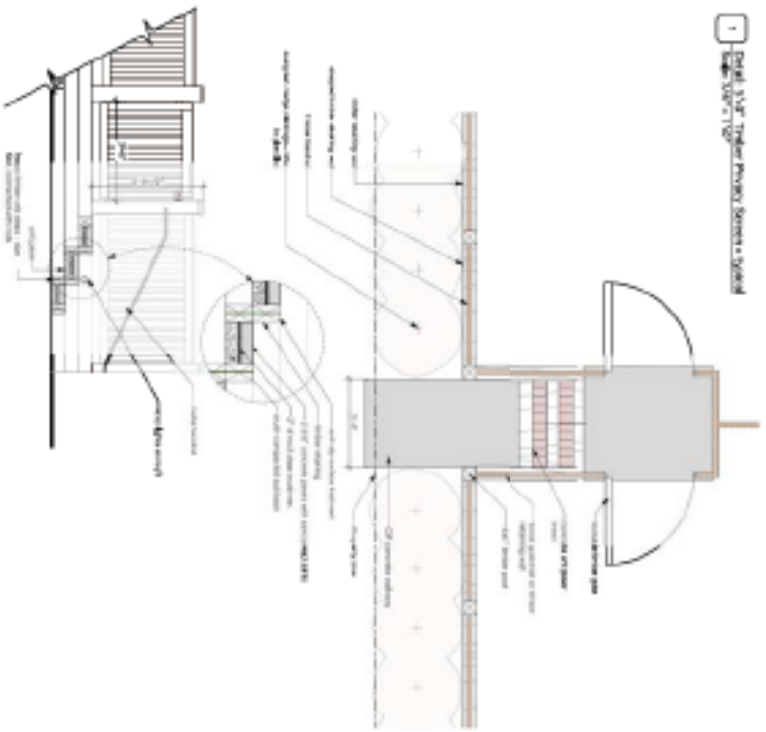
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SEARCHED TOWN HOMES  
2011-2012  
LANDSCAPE DETAILS

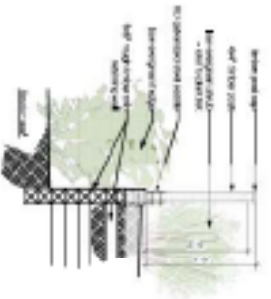
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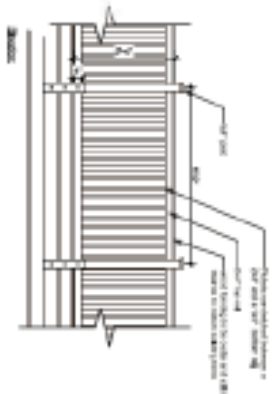
1 Detail 3/4\"/>



4 Detail Bar Timber Deck  
SECTION - TYP.



2 Detail 42\"/>



3 Detail 42\"/>



5 Double Aluminum Fence / Gate and Rail  
SECTION - TYP.

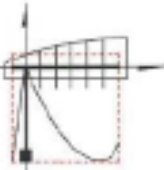
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NO.	DATE	DESCRIPTION	BY	APP'D	NO.	DATE
1		ISSUE FOR PRELIMINARY REVIEW				
2		ISSUE FOR REVIEW				
3		ISSUE FOR REVIEW				
4		ISSUE FOR REVIEW				



SEARCHED, TOWN HOMES  
LANDSCAPE DETAILS



**DESIGN RATIONALE**  
for  
**Polygon Development 279 Ltd.**  
**152<sup>nd</sup> Street and 31<sup>st</sup> Avenue Division, South Surrey, BC**

Development Permit Application:  
**TOWNHOUSES**

**Overview:**

This phase of townhouses is part of the Master Planned Community for which we are concurrently applying for Re-Zoning and a General Development Agreement. It is located at the NW corner of 32<sup>nd</sup> Avenue Division and 152<sup>nd</sup> Street. The first phase of the development includes these Townhouses and the Apartment Building, #2, to the south, submitted under separate cover.

For broader context information and when design rationale, please refer to the Design Rationale submitted for the Re-Zoning Application.

This application consists of 40 units of three-storey, on grade, wood frame townhouses.

**Response to Context:**

The townhouse precinct is sited at the north west corner of the overall site, with the vehicular access from the new 151<sup>st</sup> Street, just south of the 34<sup>th</sup> Avenue entry. The townhouse massing serves as a transition between the apartment form to the south and the single family homes north of 34<sup>th</sup> Avenue.

To the south is a 4 storey apartment, separated by the combined private yards of the townhouses and the ground floor apartment units as well as a semi-public path. East, across 151<sup>st</sup> Street will be zoned for apartment buildings of 5 to 6 storeys.



**Site Access:**

As noted, access to the townhouse garages is from a single private road leading west from 151<sup>st</sup> Street which forms part of the carefully considered circulation system. This arrangement responds to specific patterns of access which have been used to organize the site into the "neo-traditional" grid of streets with a cross-axis "Main-Street" concept, of the master plan. It is intended that easy access to all uses will be provided, including parking and access for the disabled. Please refer to the re-zoning package for detail and rationale of the road system.

**Parking:**

All townhouse parking is provided as two tandem stalls within each unit. Visitor stalls are located at the east end of the road and along 151<sup>st</sup> Street, in addition to a large number of units with full space parking.

**Form and Character:**

Landscape elements play a key role in defining the street-scape along the 34<sup>th</sup> Avenue and 151<sup>st</sup> Street frontages. Street furniture, lighting, trees, pavement patterns, and crossings are designed to integrate with the overall character of the public realm.

A front yard character with private entrances for individual homes is provided facing 34<sup>th</sup> Avenue and 151<sup>st</sup> Street with the separation between the private realm and the public realm provided by fences, gates and landscaping.

The townhouses will have clearly identifiable entries and these design elements will promote a friendly "eyes-on-the-street" approach to natural security and surveillance to address CPTED.

All townhouses are provided with private yards. Through careful manipulation of grades between the townhouses and the apartment building, the southern row of homes have raised yards, directly accessible from the main living areas of the homes.

**Design Theme:**

The massing-plan arrangement of architectural elements and the landscape design is directed toward a strong "Village" concept. It is intended that there will be harmony overall through the use of colours, details, articulation, materials and landscape elements drawn from compatible design vocabularies.

The design theme intended for the residential components is a contemporary interpretation of a traditional "Boston Brownstone" which has been adapted to suit our West Coast climate. As the community design develops further, at subsequent Phases, there will be abundant opportunities to provide variation on this theme to create related but separate identities for the remainder of the buildings.

The townhouse design incorporates a substantial amount of articulation and landscape treatment. As these townhouses and the first apartment will be developed together, colours and materials have been selected to harmonize the overall character.

Polygon is committed to high-quality construction which is reflected in the choice of premium materials including primarily brick and Hardie type cladding. Although the massing is based on the traditional "block" form, careful distribution of the materials, architectural breaks, and rich colours serve to articulate the length of the facades to develop a rhythm of massing which contributes to the public realm. Contrasting black and crisp white colours in details, such as the canopy fascias, guards, fences and windows, contribute to an enhanced texture and a high level of interest in the facades.

### ***Sustainability:***

Surrey's Sustainability Charter and the principles of Smart Growth have been utilized as tools in the design development of this proposal.

*"Sustainability is the principle of meeting the needs of the present generation in terms of the environment, the economy and social systems while promoting a high quality of life, but without compromising the ability of future generations to meet their own needs".*

These buildings are an integral part of the overall planned community and will address sustainability according to the principals laid out fully in the Re-Zoning Design Rationale.

Polygon is committed to building sustainable developments that use less energy and water and produce less waste. Sustainable building features include: dual flush toilets, high efficiency lighting and other electrical equipment, selected to reduce energy loads. Polygon will also use construction materials with recycled content, low off-gassing materials including carpet and paint, and other materials with lower environmental impacts.

### ***Amenity:***

#### **Private Amenity:**

As noted all townhouses are provided with private yards. In addition, to enhance liveability, balconies are provided for all units which do not have direct access to grade from the main living level. These are also used as design features to help articulate the buildings.

#### **Common Amenity:**

As part of the Master-Planned Community, the townhouse precinct is provided with access to the central Community Amenity facility immediately to the south which will provide: a swimming pool and hot tub, fitness equipment room, two storey gymnasium, two guest suites, guest room lounge with kitchen, dining area, billiards, card tables, bicycle repair workshop, 8 live-in concierge, and a theatre room amongst other features.

In addition, outdoor common amenity space is provided by an outdoor common green space complementing the private yards. Also, a large area of the Hydro right-of-way will be devoted to complementary amenity uses including a substantial outdoor flex field which may include tennis courts, bocce ball courts and open grass areas which are connected to the overall path network and walking trails.

**Please also make reference to the graphics supporting material attached herewith as well as the other separate packages which relate to the Master Plan Re-Zoning and to the Townhouse portion of this phase of the DPA.**

Respectfully submitted:



Keith S. Hemphill, MAIBC  
ROSTICH HEMPHILL + ASSOCIATES ARCHITECTS

/192 - Design Rationale - 2011-11-10 TOWNHOUSE.rpt

## DESIGN RATIONALE

The landscape design for the Seaside Townhome development responds in equal parts to the architectural expression and the neighbourhood context. In keeping with the architect's intention the landscape is intended to balance a relaxed formality with a soft, isolated natural and soft landscape palette. This design attitude will be carried through the larger development area to provide a unified ground plane. Such area individuality will be provided through subtle variations in the use of material paving and planting styles.

A future landscape area is provided at the maturity drive to the project that will include an overall project entry monument and a public green with seating and decorative planting. Secondary signage will be provided on each side of the internal roadway.

The 34th Street frontage provides individual unit access to private front yards. Separation from the street is established by a low metal fence and gate. A layered planting zone begins ring outside the fence provides landscape layering and shade screen for both the public and the owners of the units. Small trees are provided in each front yard as a local point and to create a sense of enclosure. A combination of stone and concrete pavers add an additional measure of quality to the street frontage.

The residential formality is softened through the internal roadway with a columnar street tree pattern on one side and former parking markings on entry zone. The parking apron and entry zone are highlighted with stone and concrete pavers.

The rear yard areas of the south units are raised to allow access directly from the main level kitchen onto the generous patio areas. These raised yards form onto a public walkway and have been provided with gated access. Mature deciduous planting is provided along the south edge to provide privacy and to mark the 16 inch change in grade between the rear yards and the public walkway that connects 151st St through to the Hydro ROW and bus station.

The second report has been conceptual and all existing trees that are identified as having retention value and are not within the building envelope or in conflict with significant infrastructure have been retained.

Respectfully submitted

**eakford tyacke + associates**



Gerry Eakford, Principal, VCSA

# Seaside Village - Bldg 2

3303 - 152nd Street, South Surrey, B.C.

## PROJECT STATISTICS

**PROJECT DESCRIPTION:**  
 1 STORY WOOD FRAME APARTMENT BUILDING (100% COMPLETE) - 100 UNITS - 100,000 SQ FT  
**CLIENT:** POLYGDON  
**ARCHITECT:** ROSS & CO.  
**ENGINEER:** J. J. JENSEN  
**DATE:** 2023-09-15  
**PROJECT LOCATION:** 3303 - 152ND STREET, SOUTH SURREY, B.C.  
**PROJECT STATUS:** 100% COMPLETE

Material	Quantity	Unit	Material	Quantity	Unit	Material	Quantity	Unit	Material	Quantity	Unit
Concrete	1000	m <sup>3</sup>	Rebar	1000	kg	Formwork	1000	m <sup>2</sup>	Brick	1000	units
Steel	500	kg	Insulation	500	m <sup>3</sup>	Roofing	500	m <sup>2</sup>	Windows	500	units
Paint	200	kg	Plumbing	200	kg	Electrical	200	kg	Landscaping	200	kg
Roofing	100	m <sup>2</sup>	Interior	100	m <sup>2</sup>	Exterior	100	m <sup>2</sup>	Site Work	100	m <sup>2</sup>

Category	Item	Quantity	Unit	Material	Quantity	Unit
Structural	Concrete	1000	m <sup>3</sup>	Rebar	1000	kg
	Steel	500	kg	Insulation	500	m <sup>3</sup>
Interior	Paint	200	kg	Roofing	500	m <sup>2</sup>
	Plumbing	200	kg	Electrical	200	kg
Exterior	Roofing	100	m <sup>2</sup>	Interior	100	m <sup>2</sup>
	Exterior	100	m <sup>2</sup>	Site Work	100	m <sup>2</sup>

Category	Item	Quantity	Unit	Material	Quantity	Unit
Structural	Concrete	1000	m <sup>3</sup>	Rebar	1000	kg
	Steel	500	kg	Insulation	500	m <sup>3</sup>
Interior	Paint	200	kg	Roofing	500	m <sup>2</sup>
	Plumbing	200	kg	Electrical	200	kg
Exterior	Roofing	100	m <sup>2</sup>	Interior	100	m <sup>2</sup>
	Exterior	100	m <sup>2</sup>	Site Work	100	m <sup>2</sup>

**APPROVED BY:**  
 J. J. JENSEN  
 ENGINEER  
 POLYGDON  
 1000 152ND STREET, SOUTH SURREY, B.C.  
 TEL: 604-273-1234

## PROJECT DIRECTOR:

**CLIENT:** POLYGDON  
**ARCHITECT:** ROSS & CO.  
**ENGINEER:** J. J. JENSEN  
**DATE:** 2023-09-15  
**PROJECT LOCATION:** 3303 - 152ND STREET, SOUTH SURREY, B.C.  
**PROJECT STATUS:** 100% COMPLETE

## DRAWING LIST

NO.	DESCRIPTION	DATE
01	GENERAL PROJECT INFO	2023-09-15
02	FOUNDATION PLAN	2023-09-15
03	FLOOR PLAN	2023-09-15
04	SECTION PLAN	2023-09-15
05	EXTERIOR ELEVATION	2023-09-15
06	INTERIOR ELEVATION	2023-09-15
07	MECHANICAL PLAN	2023-09-15
08	ELECTRICAL PLAN	2023-09-15
09	PLUMBING PLAN	2023-09-15
10	LANDSCAPE PLAN	2023-09-15



ROSS & CO.  
 ARCHITECTS

POLYGDON  
 1000 152ND STREET, SOUTH SURREY, B.C.  
 TEL: 604-273-1234

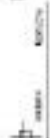
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APPROVED BY:  
 J. J. JENSEN  
 ENGINEER



POLYGDON  
 1000 152ND STREET, SOUTH SURREY, B.C.  
 TEL: 604-273-1234

SCALE: 1:100  
 DATE: 2023-09-15





**ROSLICH  
BERFILL  
&  
ASSOCIATES**  
ARCHITECTS

PLANNING BOARD  
0 - 20 PAVILLION  
WINDSCREEN, S.C.  
P.O. BOX 114  
201 SOUTH MAIN STREET  
TAYLOR, MISSISSIPPI 39171

DATE: 11/11/2014  
TIME: 11:00 AM

ARCHITECT  
PLANNING  
BY: R. BERFILL  
DATE: 11/11/2014



**POLYGDN  
ARCHITECTURE &  
PLANNING, INC.**  
1000 W. MAIN STREET  
TAYLOR, MISSISSIPPI 39171

PROJECT: 151 STREET  
DATE: 11/11/2014  
SCALE: 1/8" = 1'-0"  
SHEET: 1112

NO. **A0.1**



151 Street Perspective





Southwest Corner View



Unit Entry



Main Entry



**ROSLICH  
BERFILL  
ASSOCIATES**

PLANNING ROOM  
10-20 HANCOCK  
WILMINGTON, N.C.  
P.O. BOX 1114  
TEL: 910-348-3222  
WWW.ROSLICH.COM

DATE: 1/15/11  
SCALE: AS SHOWN

ARCHITECT  
PLANNING  
BY THE CITY



**POLYGDN**  
SHELBY COUNTY  
GREENWAYS  
PROJECT

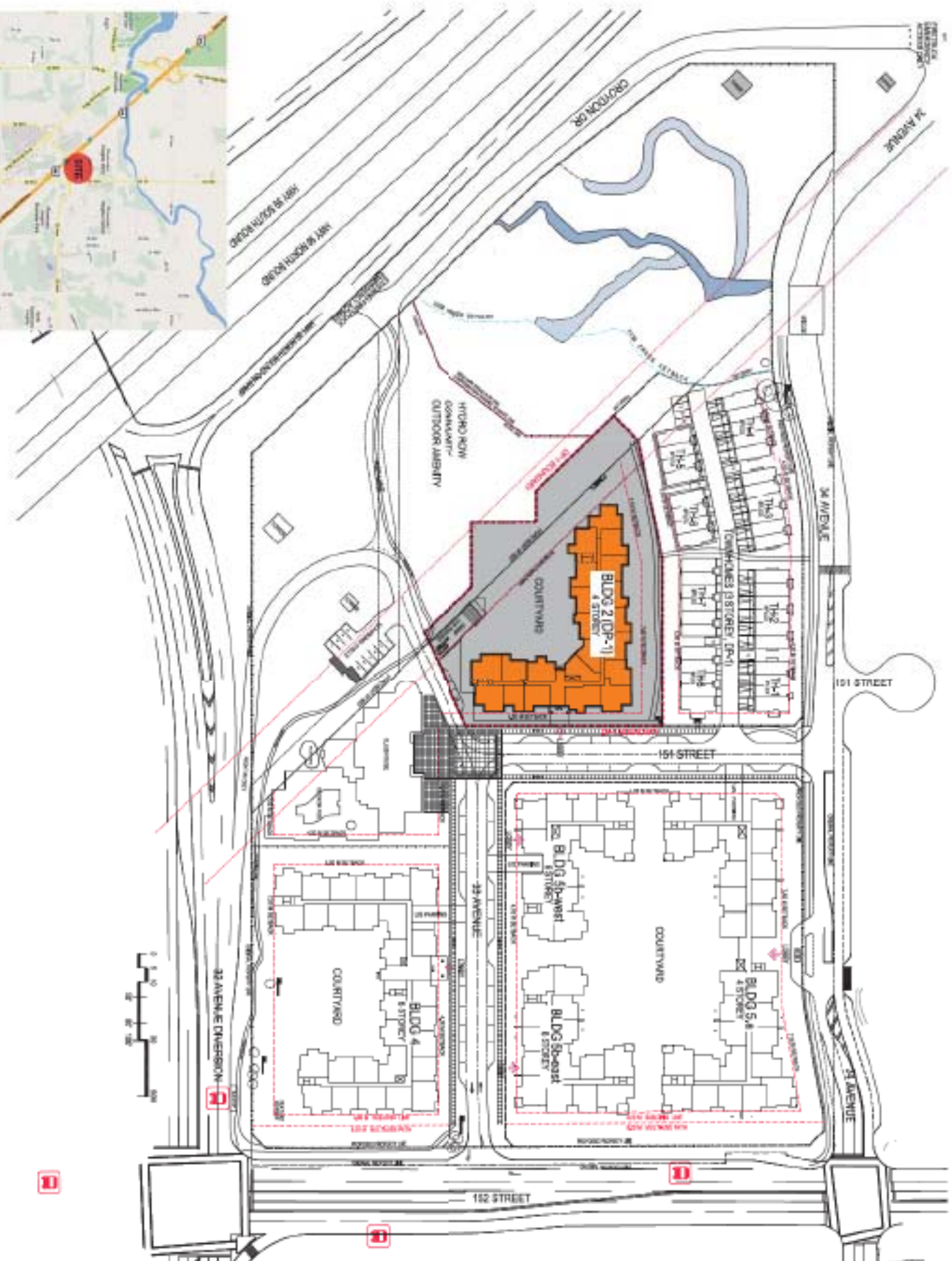
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PROJECT: POLYGDN  
SHELBY COUNTY  
GREENWAYS  
PROJECT

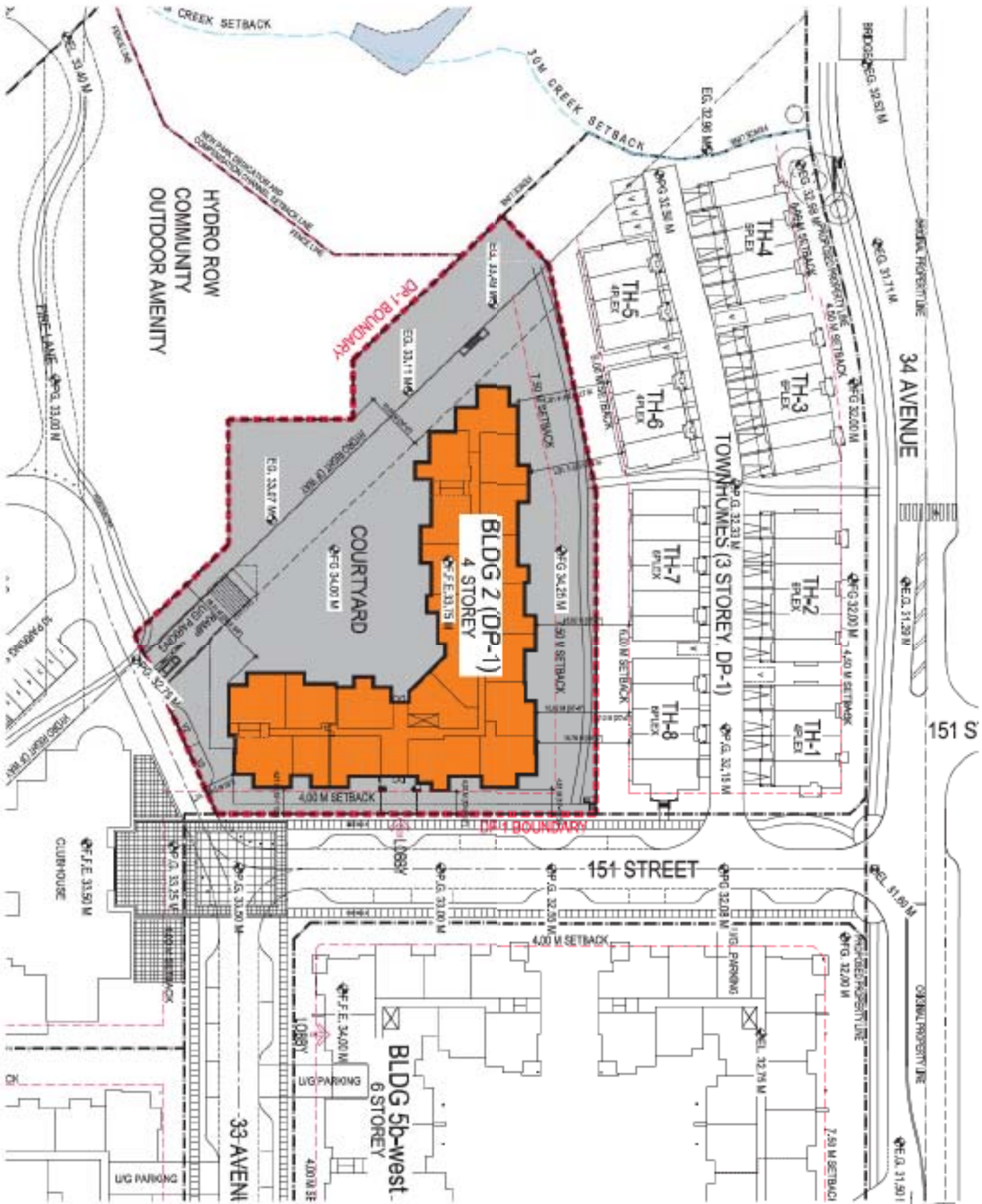
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PROJECT: POLYGDN  
SHELBY COUNTY  
GREENWAYS  
PROJECT

LOCATION MAP



<p><b>PROJECT INFORMATION</b></p> <p>DATE: 11/12/2024</p> <p>PROJECT: POLYGON</p> <p>CLIENT: POLYGON</p> <p>DESIGNER: POLYGON</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 11/12/2024</p> <p>PROJECT: POLYGON</p> <p>CLIENT: POLYGON</p> <p>DESIGNER: POLYGON</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 11/12/2024</p> <p>PROJECT: POLYGON</p> <p>CLIENT: POLYGON</p> <p>DESIGNER: POLYGON</p> <p>SCALE: 1/8" = 1'-0"</p>	<p><b>REVISIONS</b></p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>11/12/2024</td> <td>ISSUED FOR PERMIT</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	11/12/2024	ISSUED FOR PERMIT	<p><b>LEGEND</b></p> <p>EXISTING PLANNING</p> <p>PROPOSED PLANNING</p>	<p><b>CONTACT INFORMATION</b></p> <p>ROSLICE HERPHILL</p> <p>ASSOCIATES</p> <p>ARCHITECTS</p> <p>1500 BROADWAY</p> <p>NEW YORK, N.Y. 10014</p> <p>TEL: 212 691 1000</p> <p>FAX: 212 691 1001</p> <p>WWW.ROSLICEHERPHILL.COM</p>	<p><b>NOTES</b></p> <p>1. SEE SHEET A1.1 FOR SITE PLAN</p> <p>2. SEE SHEET A1.2 FOR SECTION</p> <p>3. SEE SHEET A1.3 FOR ELEVATION</p> <p>4. SEE SHEET A1.4 FOR FINISHES</p> <p>5. SEE SHEET A1.5 FOR MECHANICAL</p> <p>6. SEE SHEET A1.6 FOR ELECTRICAL</p> <p>7. SEE SHEET A1.7 FOR PLUMBING</p> <p>8. SEE SHEET A1.8 FOR STRUCTURE</p> <p>9. SEE SHEET A1.9 FOR LANDSCAPE</p> <p>10. SEE SHEET A1.10 FOR OTHER</p>
NO.	DATE	DESCRIPTION								
1	11/12/2024	ISSUED FOR PERMIT								



**BLDG 2 (DP-1)**  
4 STOREY

**TOWNHOMES (3 STOREY DP-1)**

**BLDG 5b-west**  
6 STOREY

**HYDRO ROW**  
**COMMUNITY**  
**OUTDOOR AMENITY**

**COURTYARD**

**151 STREET**

**34 AVENUE**

**33 AVENUE**

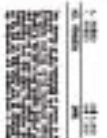
**151 S**

**ROSITCA**  
**HEMPHILL**  
**ASSOCIATES**

- 1. ARCHITECT
- 2. CIVIL ENGINEER
- 3. ELECTRICAL ENGINEER
- 4. MECHANICAL ENGINEER
- 5. PLUMBING ENGINEER
- 6. STRUCTURAL ENGINEER
- 7. LANDSCAPE ARCHITECT
- 8. ENVIRONMENTAL ENGINEER
- 9. GEOTECHNICAL ENGINEER
- 10. TRANSPORTATION ENGINEER
- 11. HISTORIC PRESERVATION
- 12. OTHER PROFESSIONAL



**PLANNING**  
1:1000

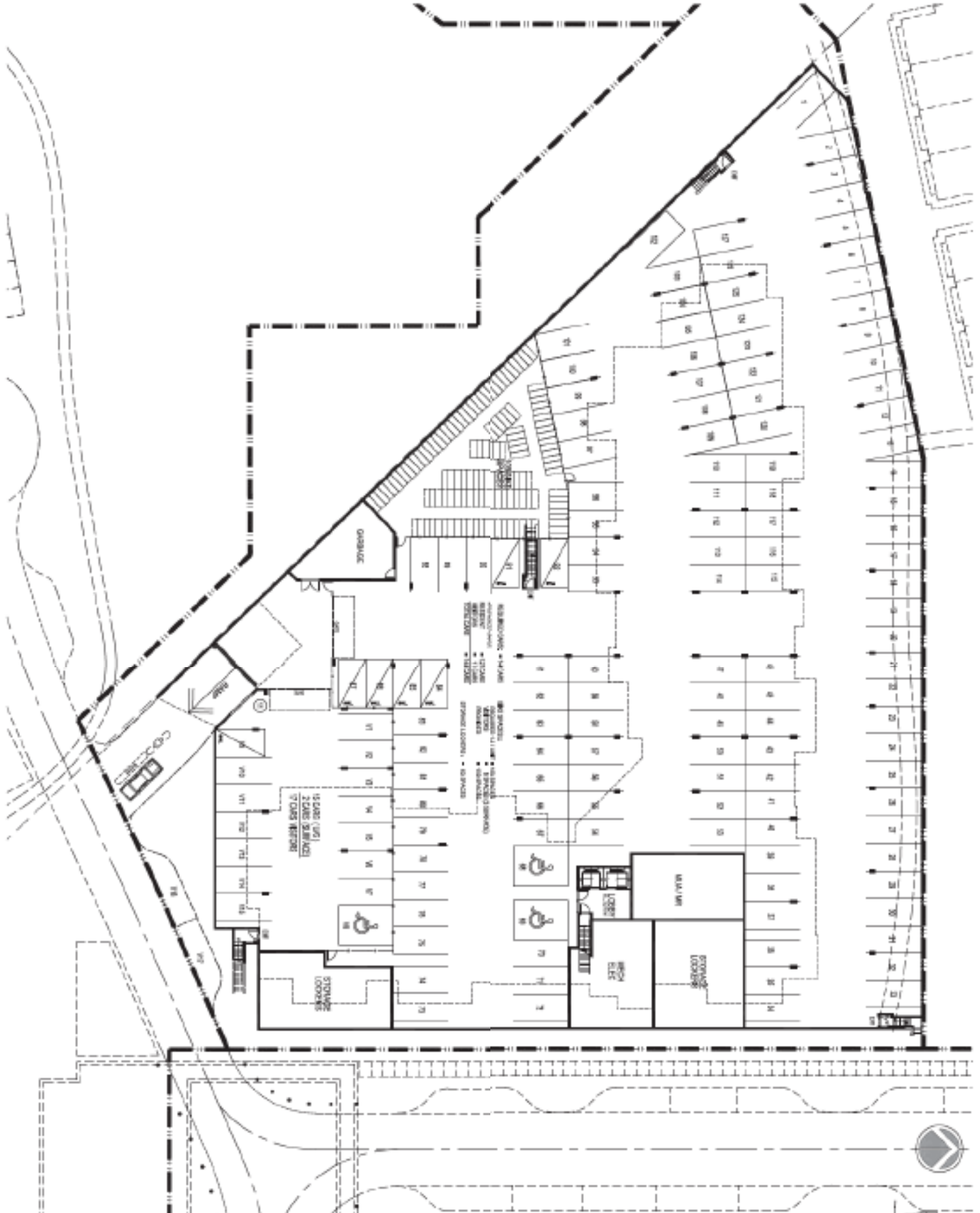


**POLYGDON**  
ENGINEERING

**SKILNICK**  
**DESIGN**  
**ARCHITECTS**

**DATE:** 11/25  
**SCALE:** 1:1000

**A1.1**



ROSITGA  
 HEMPHILL  
 ASSOCIATES  
 ARCHITECTS

7 FURNESS ROAD  
 DUBLIN 4  
 IRELAND  
 TEL: 01 491 4000  
 FAX: 01 491 4001  
 WWW: WWW.RH.A  
 EMAIL: INFO@RH.A

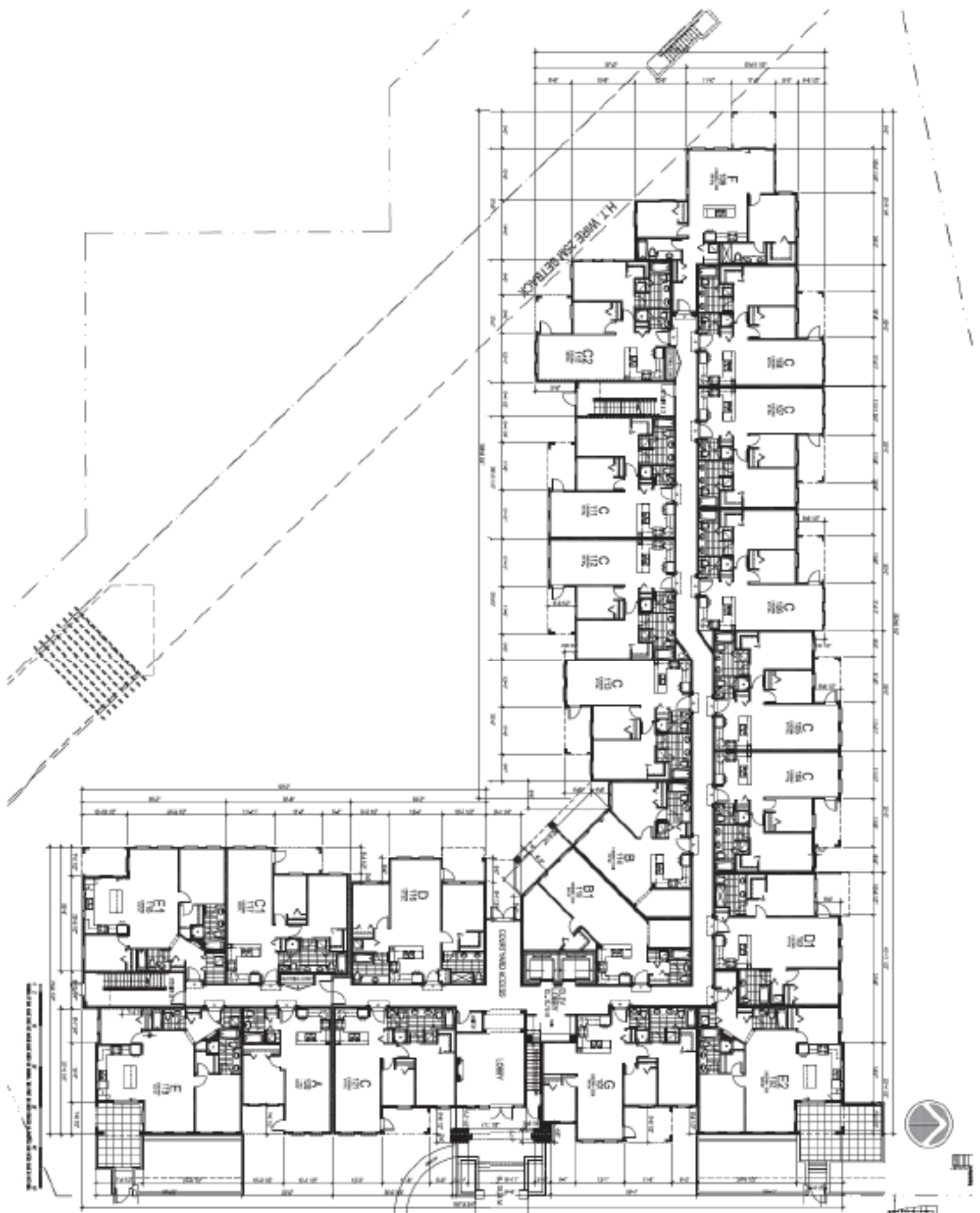
ARCHITECT  
 PLANNING  
 1:1000



POLYGON  
 2010  
 1000  
 1000  
 1000

A2.0





**ROSITGA**  
**HERPHILL**  
**ASSOCIATES**  
 ARCHITECTS  
 17400 W. WILSON AVENUE  
 SUITE 100  
 WESTMINSTER, CO 80039  
 TEL: 303.440.4000  
 FAX: 303.440.4001

ARCHITECT  
 PLANNING  
 17400 W. WILSON AVENUE  
 SUITE 100  
 WESTMINSTER, CO 80039

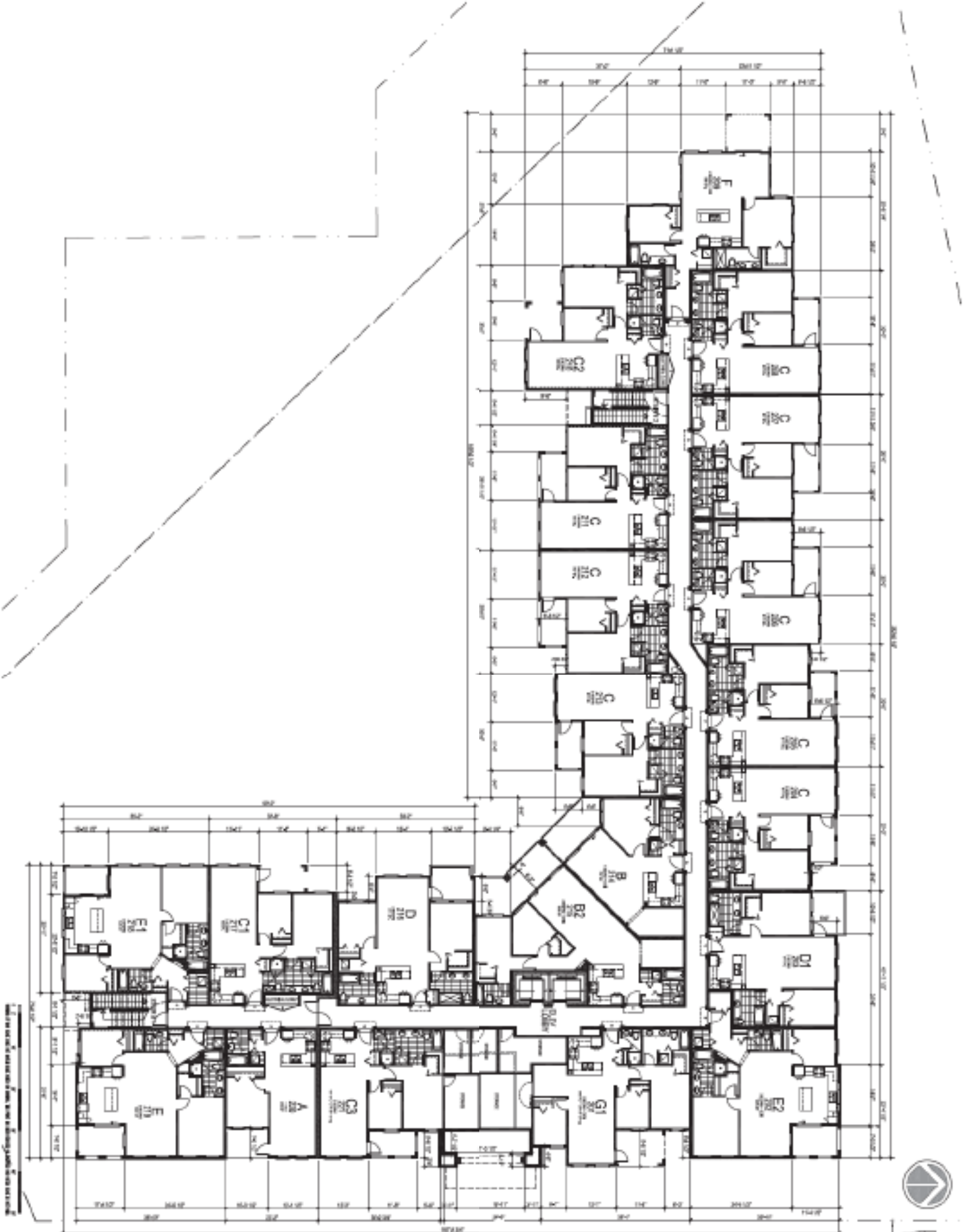


**POLYGON**  
**CONSTRUCTION**  
 17400 W. WILSON AVENUE  
 SUITE 100  
 WESTMINSTER, CO 80039  
 TEL: 303.440.4000  
 FAX: 303.440.4001

DATE: 11/15/11  
 DRAWING NO: 111111  
 SHEET NO: 111111

**A3.0**





ROSITGA  
 HEMPHILL  
 ASSOCIATES  
 ARCHITECTS

PROJECT ROOM  
 01-01-01-01-01  
 WASHINGTON, D.C.  
 11/1/2011  
 TEL: 202-462-0222  
 FAX: 202-462-0211

ARCHITECT  
 PLANNING  
 11/1/2011

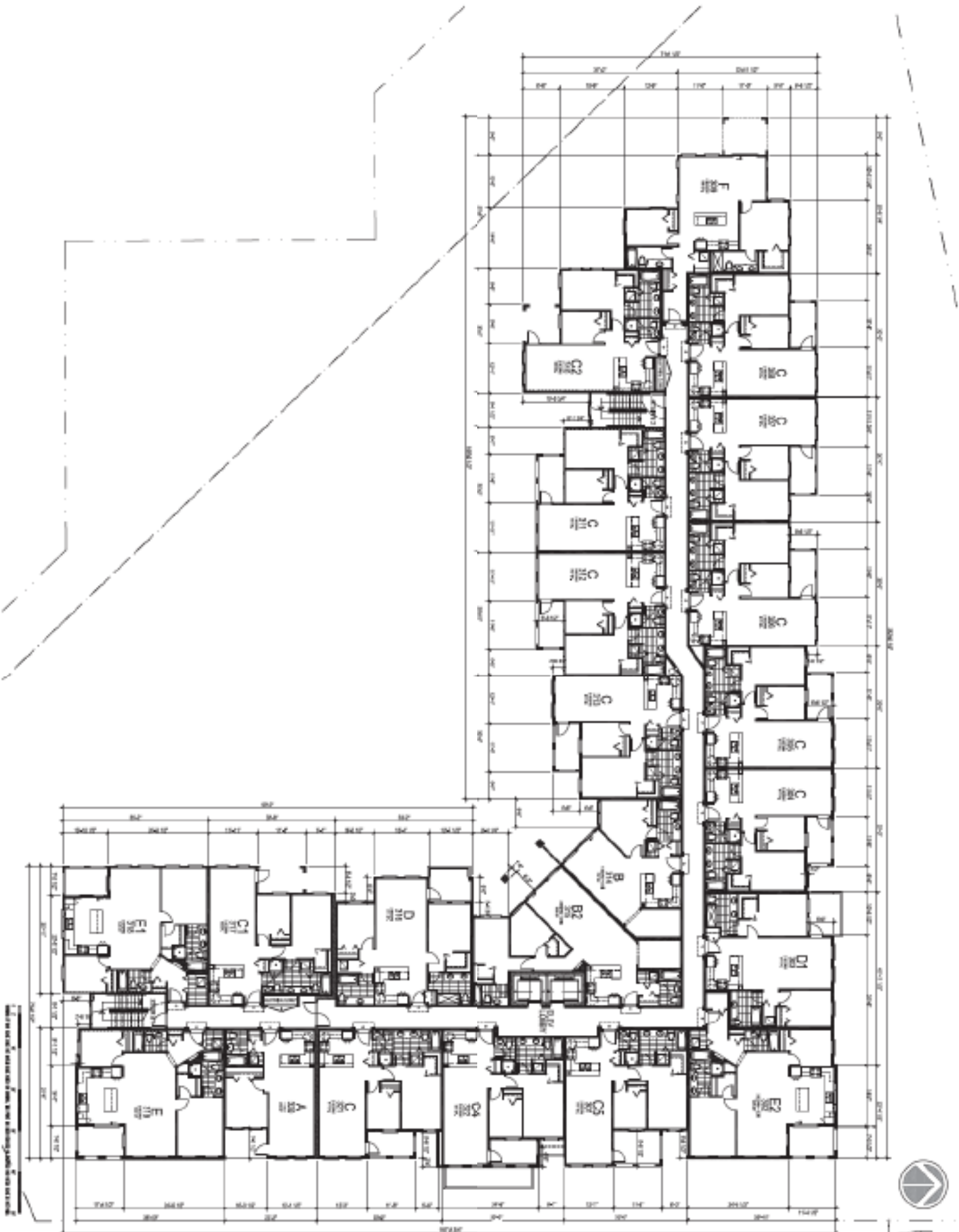


POLYGON  
 200 FLORENCE BLVD  
 WASHINGTON, DC 20004

SCALE: AS SHOWN  
 DATE: 11/1/2011

A3.1





**ROSITCA**  
**HERPHILL**  
**ASSOCIATES**  
 ARCHITECTS  
 17400 WILSON ROAD  
 SUITE 200  
 WASHINGTON, D.C.  
 20006-4111  
 TEL: (202) 462-0000  
 FAX: (202) 462-0011

ARCHITECT  
 PLANNING  
 17400 WILSON ROAD  
 SUITE 200  
 WASHINGTON, D.C. 20006-4111

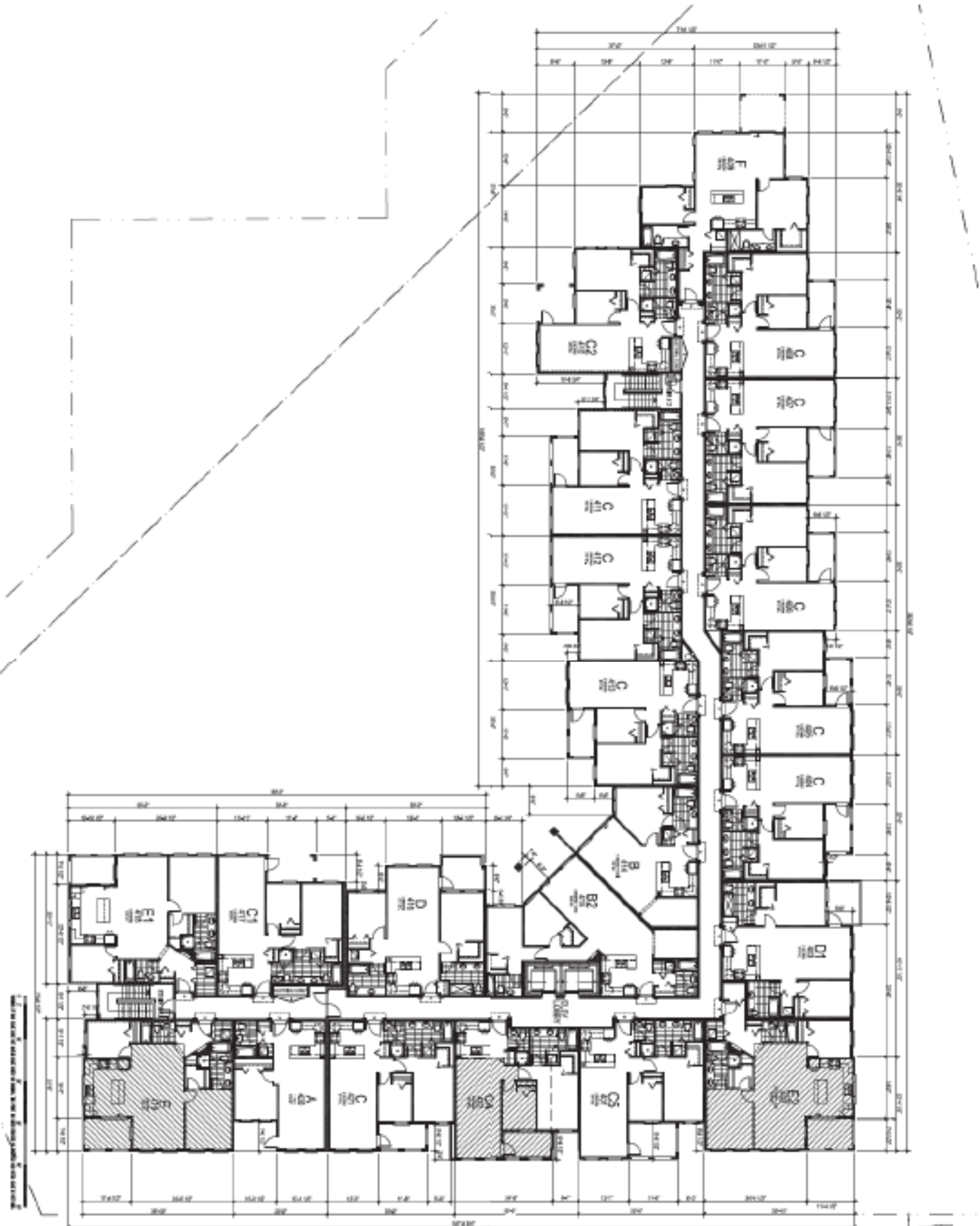


**POLYGON**  
**ARCHITECTURE**  
 2000 WILSON ROAD  
 SUITE 200  
 WASHINGTON, D.C. 20006-4111

DRAWING NO. 17400 WILSON ROAD SUITE 200 WASHINGTON, D.C. 20006-4111  
 DATE: 11/10/11  
 SCALE: AS SHOWN  
 SHEET NO. 1102

**A3.2**

17400 WILSON ROAD SUITE 200 WASHINGTON, D.C. 20006-4111



ROSITGA  
 HEMPHILL  
 &  
 ASSOCIATES  
 ARCHITECTS  
 17000 BROADWAY  
 SUITE 200  
 WASHINGTON, D.C.  
 20004  
 TEL: (202) 462-4000  
 FAX: (202) 462-1011

ARCHITECT  
 PLANNING  
 DRAWING  
 NO. 100



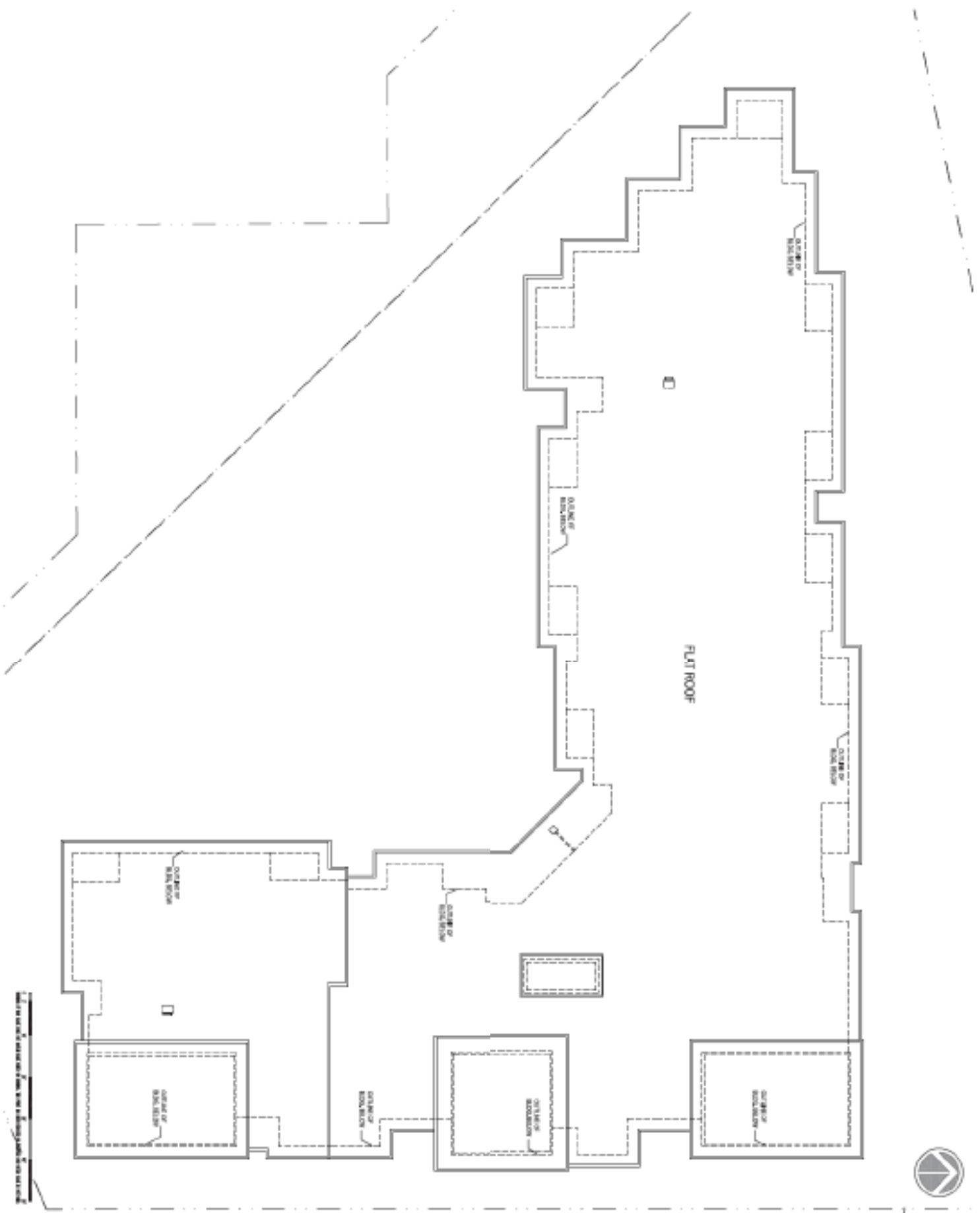
POLYGON  
 ARCHITECTS  
 1000 15th Street, N.W.  
 Washington, D.C. 20004  
 TEL: (202) 462-1011

SCALE: AS SHOWN  
 DATE: 11/10/00  
 DRAWN BY: JLD  
 CHECKED BY: JLD  
 PROJECT NO.: 100

A3.3







ROSITGA  
 HEMPHILL  
 ASSOCIATES  
 ARCHITECTS

7 FURZESS ROAD  
 01-921-9961100  
 WASHINGTON, N.J.  
 U.S.A.  
 TEL: 201-996-1000  
 FAX: 201-996-1011

1/1  
 2/1  
 3/1

APPROVED  
 PLANNING  
 PERMIT



POLYGON  
 2000  
 2000  
 2000  
 2000

1/1  
 2/1  
 3/1

A3.4



**UNIT A**  
1 BEDROOM  
615 SQ. FT.  
4 of 88



**UNIT B**  
1 BEDROOM - DEN  
707 SQ. FT.  
4 of 88



**UNIT C**  
2 BEDROOMS  
877 SQ. FT.  
25 of 88



**UNIT D**  
2 BEDROOMS  
811 SQ. FT.  
4 of 88



**UNIT E**  
2 BEDROOMS  
1027 SQ. FT.  
4 of 88



**UNIT F**  
2 BEDROOMS  
966 SQ. FT.  
4 of 88



**ROSLICE  
HEMPHILL  
ASSOCIATES**

REGISTERED PROFESSIONAL ARCHITECTS  
REGISTERED PROFESSIONAL ENGINEERS  
REGISTERED PROFESSIONAL SURVEYORS  
REGISTERED PROFESSIONAL LAND SURVEYORS  
REGISTERED PROFESSIONAL PLANNERS  
REGISTERED PROFESSIONAL INTERIORS DESIGNERS

DATE: 11/11/2011  
SCALE: AS SHOWN

APPROVED  
PLANNING  
11/11/2011



**POLYGON**  
ARCHITECTURE & PLANNING  
1000 N. W. 10TH AVE.  
SUITE 100  
MIAMI, FL 33136  
TEL: 305.575.1111  
WWW.POLYGONARCH.COM

PROJECT: ROSLICE HEMPHILL ASSOCIATES  
UNIT: UNIT D  
DATE: 11/11/2011  
SCALE: AS SHOWN

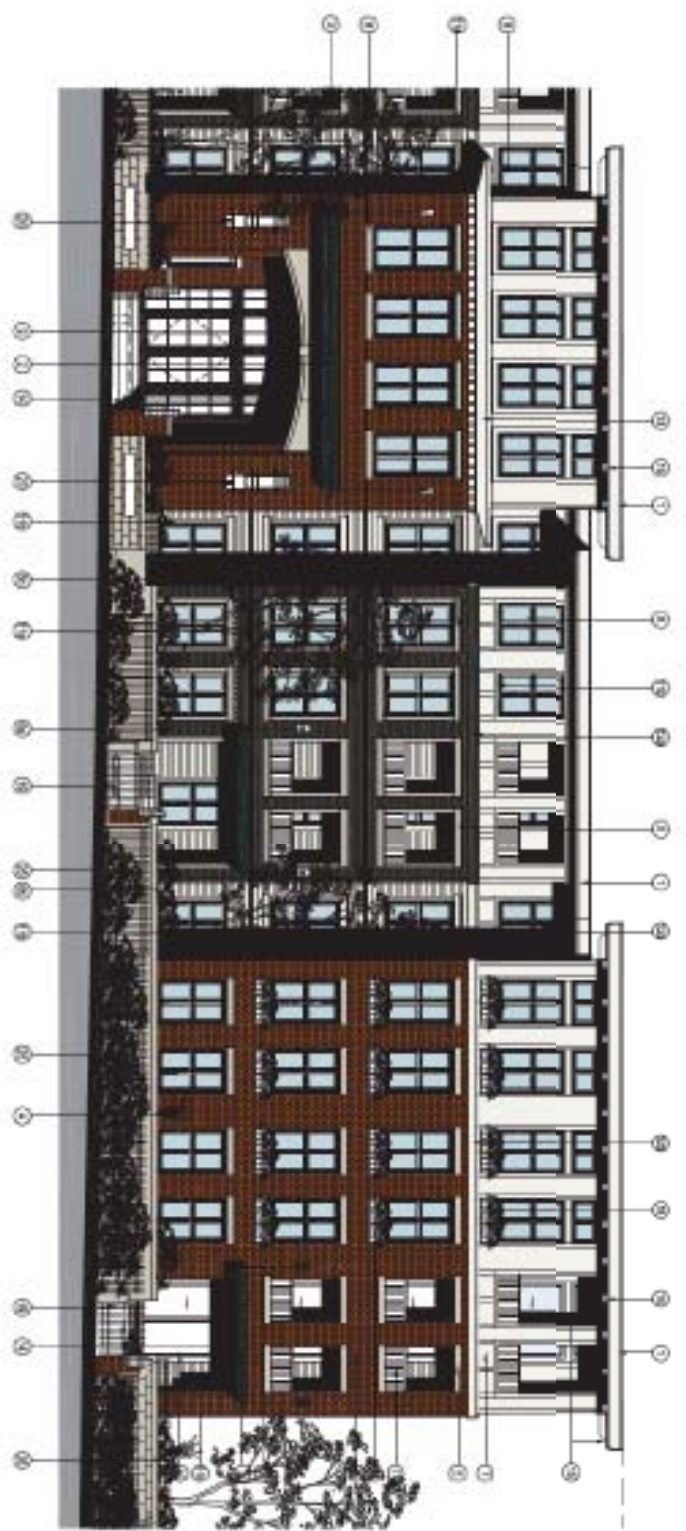
**A3.5**





# MATERIAL LEGEND

MATERIAL LEGEND	FRONT	REAR	RIGHT SIDE	LEFT SIDE
1. BRICK	M1000 BRICK	13. BRICK	M1000 BRICK	14. BRICK
2. STONE	M1000 STONE	15. BRICK	M1000 STONE	16. BRICK
3. CONCRETE	M1000 CONCRETE	17. CONCRETE	M1000 CONCRETE	18. CONCRETE
4. GLASS	M1000 GLASS	19. GLASS	M1000 GLASS	20. GLASS
5. METAL	M1000 METAL	21. METAL	M1000 METAL	22. METAL
6. TERRAZZO	M1000 TERRAZZO	23. TERRAZZO	M1000 TERRAZZO	24. TERRAZZO
7. PAINT	M1000 PAINT	25. PAINT	M1000 PAINT	26. PAINT
8. ROOFING	M1000 ROOFING	27. ROOFING	M1000 ROOFING	28. ROOFING
9. LANDSCAPE	M1000 LANDSCAPE	29. LANDSCAPE	M1000 LANDSCAPE	30. LANDSCAPE
10. FURNITURE	M1000 FURNITURE	31. FURNITURE	M1000 FURNITURE	32. FURNITURE
11. SIGNAGE	M1000 SIGNAGE	33. SIGNAGE	M1000 SIGNAGE	34. SIGNAGE
12. LIGHTING	M1000 LIGHTING	35. LIGHTING	M1000 LIGHTING	36. LIGHTING
13. SECURITY	M1000 SECURITY	37. SECURITY	M1000 SECURITY	38. SECURITY
14. ELECTRICAL	M1000 ELECTRICAL	39. ELECTRICAL	M1000 ELECTRICAL	40. ELECTRICAL
15. MECHANICAL	M1000 MECHANICAL	41. MECHANICAL	M1000 MECHANICAL	42. MECHANICAL
16. PLUMBING	M1000 PLUMBING	43. PLUMBING	M1000 PLUMBING	44. PLUMBING
17. HVAC	M1000 HVAC	45. HVAC	M1000 HVAC	46. HVAC
18. ELEVATOR	M1000 ELEVATOR	47. ELEVATOR	M1000 ELEVATOR	48. ELEVATOR
19. STAIRS	M1000 STAIRS	49. STAIRS	M1000 STAIRS	50. STAIRS
20. RAMP	M1000 RAMP	51. RAMP	M1000 RAMP	52. RAMP
21. DRIVEWAY	M1000 DRIVEWAY	53. DRIVEWAY	M1000 DRIVEWAY	54. DRIVEWAY
22. PAVEMENT	M1000 PAVEMENT	55. PAVEMENT	M1000 PAVEMENT	56. PAVEMENT
23. CURB	M1000 CURB	57. CURB	M1000 CURB	58. CURB
24. SIDEWALK	M1000 SIDEWALK	59. SIDEWALK	M1000 SIDEWALK	60. SIDEWALK
25. FENCE	M1000 FENCE	61. FENCE	M1000 FENCE	62. FENCE
26. GATE	M1000 GATE	63. GATE	M1000 GATE	64. GATE
27. WALL	M1000 WALL	65. WALL	M1000 WALL	66. WALL
28. COLUMN	M1000 COLUMN	67. COLUMN	M1000 COLUMN	68. COLUMN
29. BALCONY	M1000 BALCONY	69. BALCONY	M1000 BALCONY	70. BALCONY
30. TERRACE	M1000 TERRACE	71. TERRACE	M1000 TERRACE	72. TERRACE
31. PORCH	M1000 PORCH	73. PORCH	M1000 PORCH	74. PORCH
32. PATIO	M1000 PATIO	75. PATIO	M1000 PATIO	76. PATIO
33. DECK	M1000 DECK	77. DECK	M1000 DECK	78. DECK
34. STAIRCASE	M1000 STAIRCASE	79. STAIRCASE	M1000 STAIRCASE	80. STAIRCASE
35. ESCAPE ROUTE	M1000 ESCAPE ROUTE	81. ESCAPE ROUTE	M1000 ESCAPE ROUTE	82. ESCAPE ROUTE
36. SIGNAGE	M1000 SIGNAGE	83. SIGNAGE	M1000 SIGNAGE	84. SIGNAGE
37. LIGHTING	M1000 LIGHTING	85. LIGHTING	M1000 LIGHTING	86. LIGHTING
38. SECURITY	M1000 SECURITY	87. SECURITY	M1000 SECURITY	88. SECURITY
39. ELECTRICAL	M1000 ELECTRICAL	89. ELECTRICAL	M1000 ELECTRICAL	90. ELECTRICAL
40. MECHANICAL	M1000 MECHANICAL	91. MECHANICAL	M1000 MECHANICAL	92. MECHANICAL
41. PLUMBING	M1000 PLUMBING	93. PLUMBING	M1000 PLUMBING	94. PLUMBING
42. HVAC	M1000 HVAC	95. HVAC	M1000 HVAC	96. HVAC
43. ELEVATOR	M1000 ELEVATOR	97. ELEVATOR	M1000 ELEVATOR	98. ELEVATOR
44. STAIRS	M1000 STAIRS	99. STAIRS	M1000 STAIRS	100. STAIRS
45. RAMP	M1000 RAMP	101. RAMP	M1000 RAMP	102. RAMP
46. DRIVEWAY	M1000 DRIVEWAY	103. DRIVEWAY	M1000 DRIVEWAY	104. DRIVEWAY
47. PAVEMENT	M1000 PAVEMENT	105. PAVEMENT	M1000 PAVEMENT	106. PAVEMENT
48. CURB	M1000 CURB	107. CURB	M1000 CURB	108. CURB
49. SIDEWALK	M1000 SIDEWALK	109. SIDEWALK	M1000 SIDEWALK	110. SIDEWALK
50. FENCE	M1000 FENCE	111. FENCE	M1000 FENCE	112. FENCE
51. GATE	M1000 GATE	113. GATE	M1000 GATE	114. GATE
52. WALL	M1000 WALL	115. WALL	M1000 WALL	116. WALL
53. COLUMN	M1000 COLUMN	117. COLUMN	M1000 COLUMN	118. COLUMN
54. BALCONY	M1000 BALCONY	119. BALCONY	M1000 BALCONY	120. BALCONY
55. TERRACE	M1000 TERRACE	121. TERRACE	M1000 TERRACE	122. TERRACE
56. PORCH	M1000 PORCH	123. PORCH	M1000 PORCH	124. PORCH
57. PATIO	M1000 PATIO	125. PATIO	M1000 PATIO	126. PATIO
58. DECK	M1000 DECK	127. DECK	M1000 DECK	128. DECK
59. STAIRCASE	M1000 STAIRCASE	129. STAIRCASE	M1000 STAIRCASE	130. STAIRCASE
60. ESCAPE ROUTE	M1000 ESCAPE ROUTE	131. ESCAPE ROUTE	M1000 ESCAPE ROUTE	132. ESCAPE ROUTE



**ARCHITECT**  
POLYGDN  
POLYGDN ARCHITECTURE

**DATE**  
2024.01.15

**PROJECT**  
1234567890

**SCALE**  
1/8" = 1'-0"

**NO.**  
A4.0

**DATE**  
2024.01.15

**BY**  
[Signature]

**CHECKED**  
[Signature]

**APPROVED**  
[Signature]

**ARCHITECT**  
POLYGDN  
POLYGDN ARCHITECTURE

**DATE**  
2024.01.15

**PROJECT**  
1234567890

**SCALE**  
1/8" = 1'-0"

**NO.**  
A4.0

**DATE**  
2024.01.15

**BY**  
[Signature]

**CHECKED**  
[Signature]

**APPROVED**  
[Signature]

**ARCHITECT**  
POLYGDN  
POLYGDN ARCHITECTURE

**DATE**  
2024.01.15

**PROJECT**  
1234567890

**SCALE**  
1/8" = 1'-0"

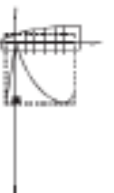
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**DATE**  
2024.01.15

**BY**  
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**CHECKED**  
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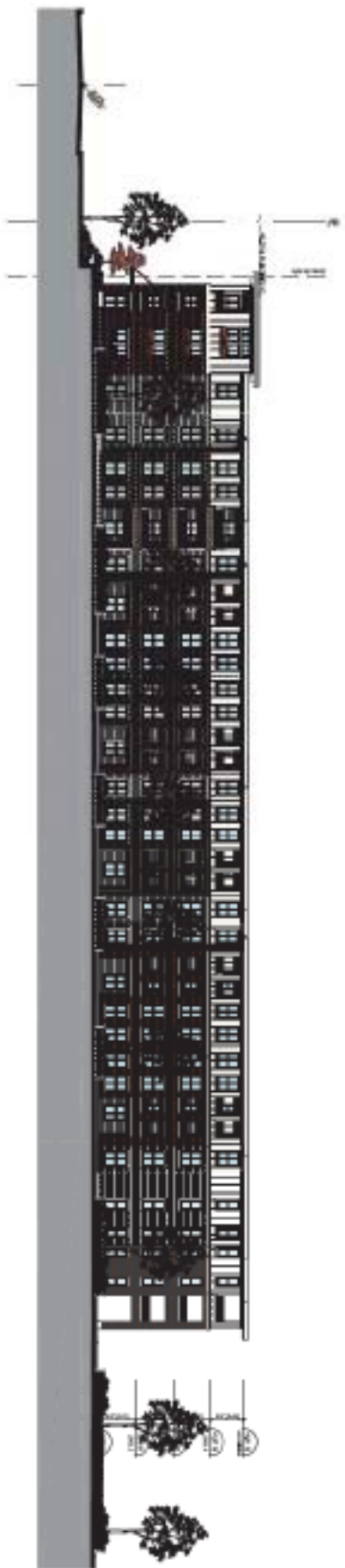
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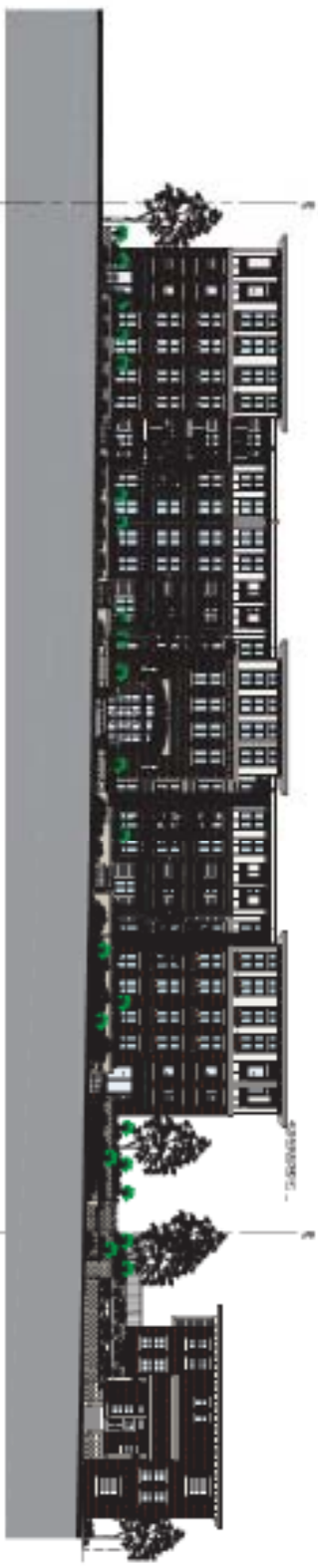
**ROSITGA**  
**HEMPHILL**  
 ASSOCIATES

7 FARMERS ROAD  
 0-101 PARKWAY  
 WASHINGTON, N.C.  
 27683-1100  
 TEL: 919-554-0200  
 FAX: 919-554-0211

DATE: 11/11/11  
 DRAWING NO: 111111



**NORTH ELEVATION**



**EAST ELEVATION (151 STREET)**

APPROVED  
 PLANNING  
 11/11/11



PROJECT NO.



**POLYGON**  
 CONSULTING GROUP, INC.  
 2010 S. W. 10TH AVENUE  
 SUITE 100  
 MIAMI, FL 33135  
 TEL: 305-555-1234  
 FAX: 305-555-1235

DATE: 11/11/11  
 DRAWING NO: 111111

SCALE: 1/8" = 1'-0"

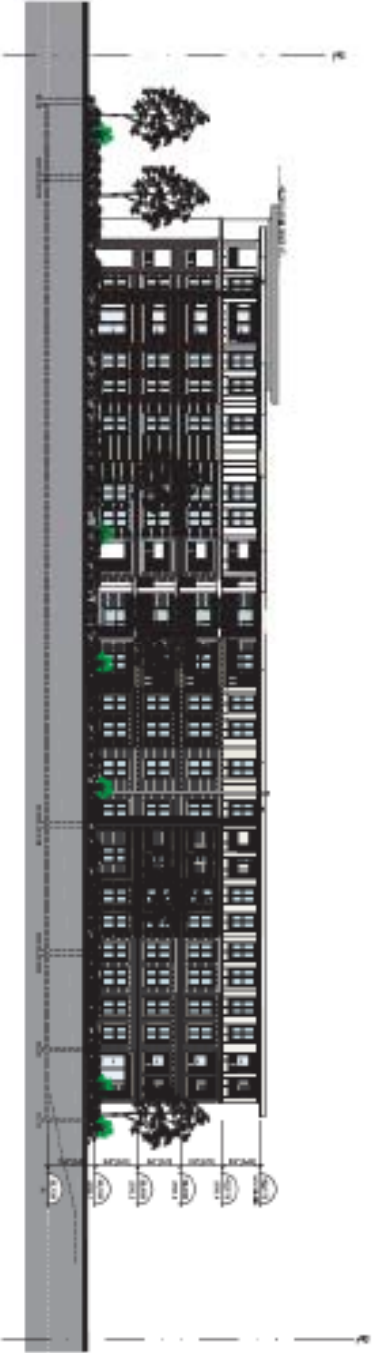
PROJECT: 111111



**ROSITCA  
HEMPHILL  
&  
ASSOCIATES**  
ARCHITECTS

7 FARGO ST. SUITE 100  
DULUTH, GA 30096  
PHONE 404.251.1111  
FAX 404.251.1111

DATE: 11/11/11  
SCALE: AS SHOWN



WEST ELEVATION



SOUTH ELEVATION

APPROVED  
PLANNING  
PERMIT



PROJECT NO.



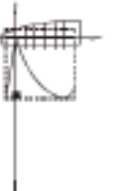
**POLYGON**  
ARCHITECTURE  
1000 W. 10TH ST.  
SUITE 100  
DULUTH, GA 30096  
PHONE 404.251.1111  
FAX 404.251.1111

DATE:

PROJECT NO.  
DATE  
SCALE  
DRAWN BY  
CHECKED BY  
DATE

DATE  
SCALE  
DRAWN BY  
CHECKED BY  
DATE

DATE  
SCALE  
DRAWN BY  
CHECKED BY  
DATE



ROSLICE  
HEMPHILL  
ASSOCIATES

7 FARGO ST  
D-10 HEMPHILL  
WACO, TX 76798  
P. 817.870.1111  
F. 817.870.1111  
WWW.ROSLICEHEMPHILL.COM

DATE: 07.1.18



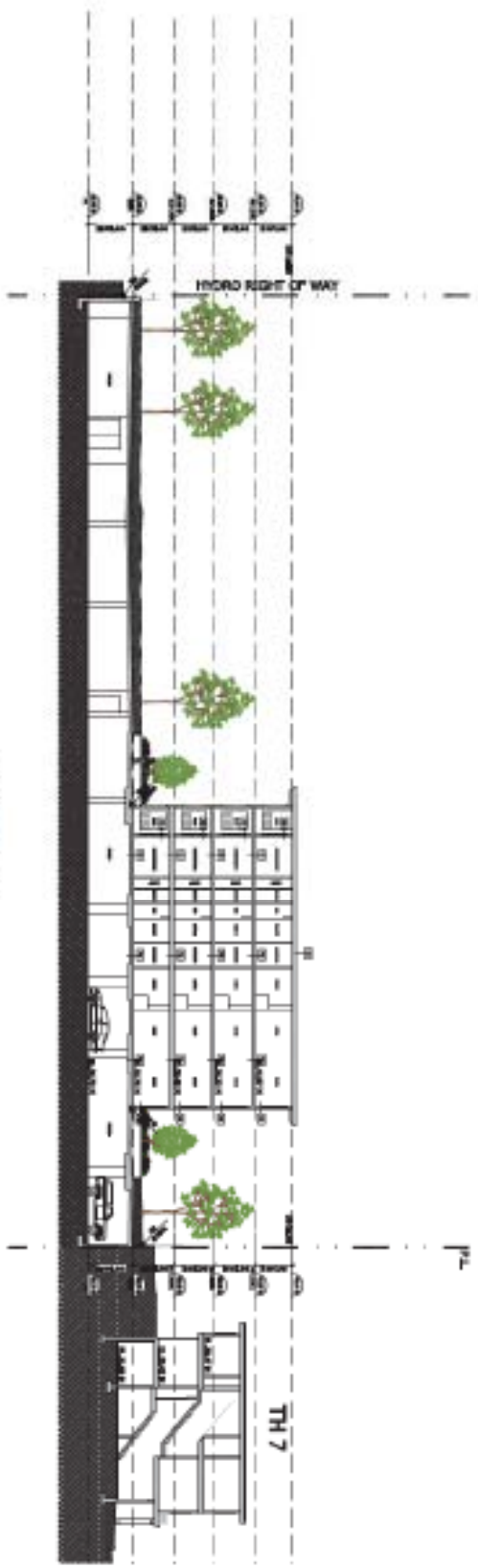
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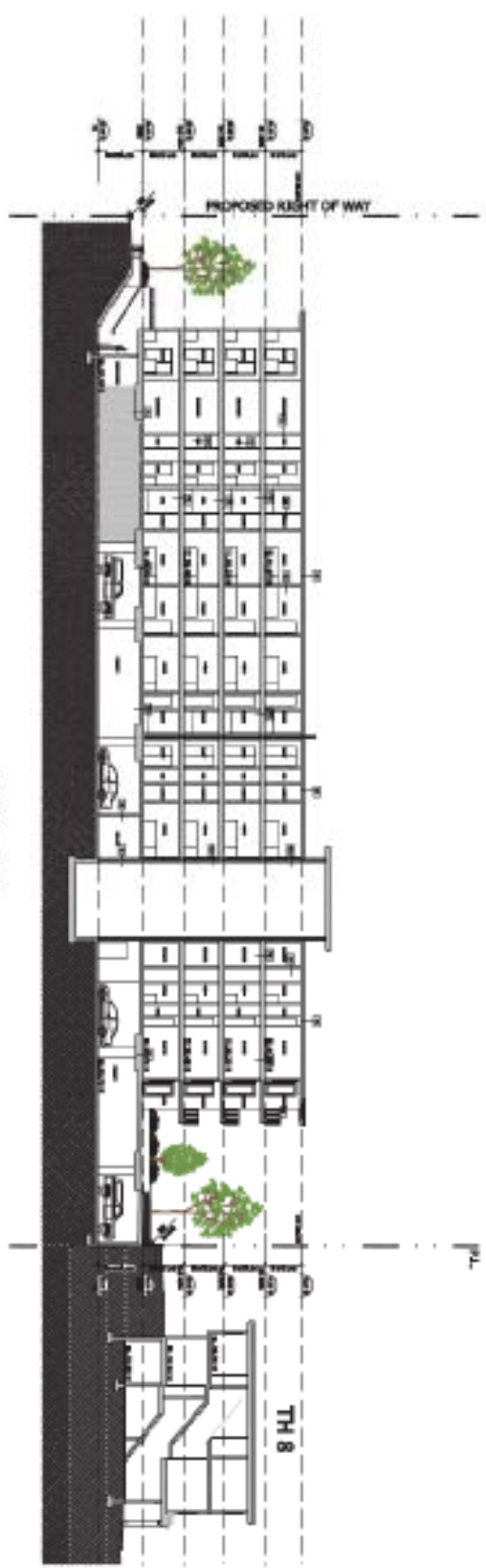
341001  
SHELBY, MT  
RESIDENTIAL  
CROSS SECTION

SCALE: 1/8" = 1'-0"  
DATE: 07.1.18

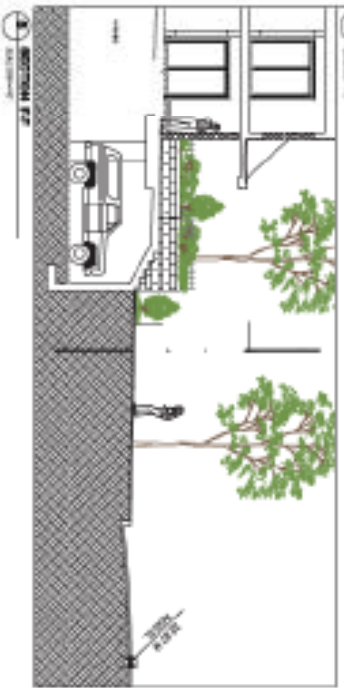
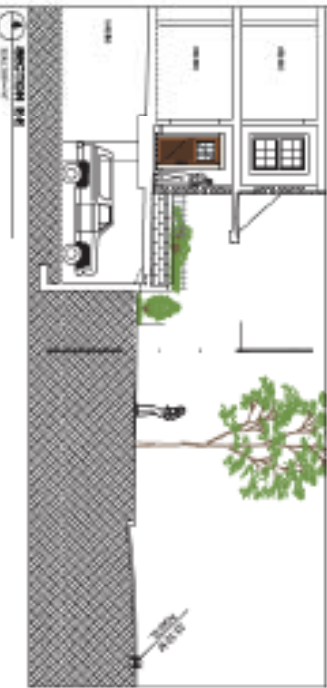
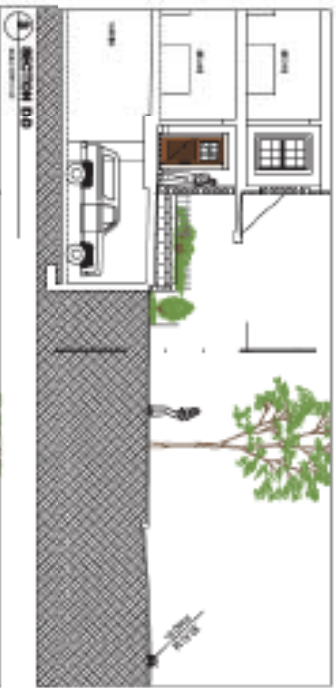
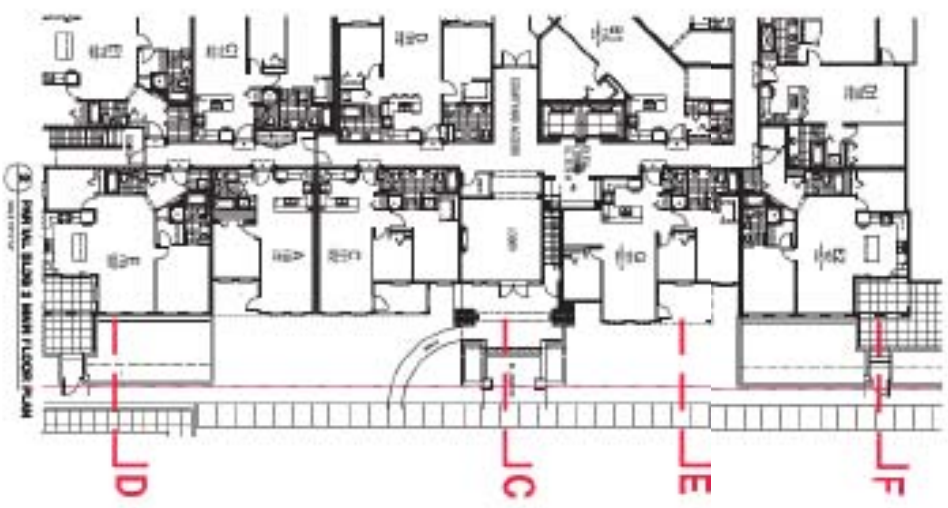
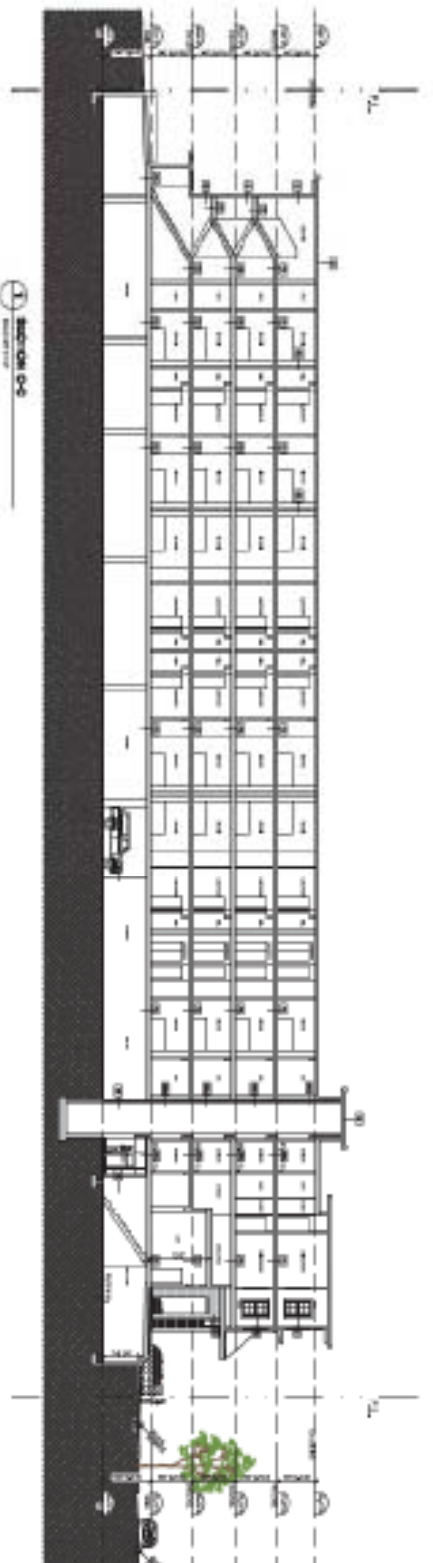
A5.0



SECTION A-A



SECTION B-B



ROSITGA  
HEMPHILL  
&  
ASSOCIATES  
ARCHITECTS  
FURNISH ROOM  
0-0 (HORIZONTAL)  
PROJECT: R.C.  
DATE: 11.18.11  
SCALE: 1/8" = 1'-0"  
DRAWN BY: JLD  
CHECKED BY: JLD

DATE: 11.18.11  
SCALE: 1/8" = 1'-0"

ARCHITECT  
PLANNING  
& DESIGN



PROJECT NO.



NAME:  
SILVIA APT  
PROJECT NO. 1005  
OWNER: HEMPHILL  
DRAWN SECTION

DATE: 11.18.11  
SCALE: 1/8" = 1'-0"

PROJECT NO. 1005  
SCALE: 1/8" = 1'-0"

DATE: 11.18.11  
SCALE: 1/8" = 1'-0"



- Legend**
- 1. Existing Building Footprint
  - 2. Existing Parking
  - 3. Existing Walkway
  - 4. Existing Landscaping
  - 5. Proposed Building Footprint
  - 6. Proposed Parking
  - 7. Proposed Walkway
  - 8. Proposed Landscaping
  - 9. Proposed Utility Lines
  - 10. Proposed Site Boundary
  - 11. Proposed Street
  - 12. Proposed Stormwater Management
  - 13. Proposed Tree
  - 14. Proposed Shrub
  - 15. Proposed Lawn
  - 16. Proposed Utility Line
  - 17. Proposed Site Boundary
  - 18. Proposed Street
  - 19. Proposed Stormwater Management
  - 20. Proposed Tree
  - 21. Proposed Shrub
  - 22. Proposed Lawn

**Polygon Pacific**  
Business Limited

**Seaside Village**  
Landscape Plan

Project No: 151-001  
Date: 11/11/11  
Scale: 1/8" = 1'-0"

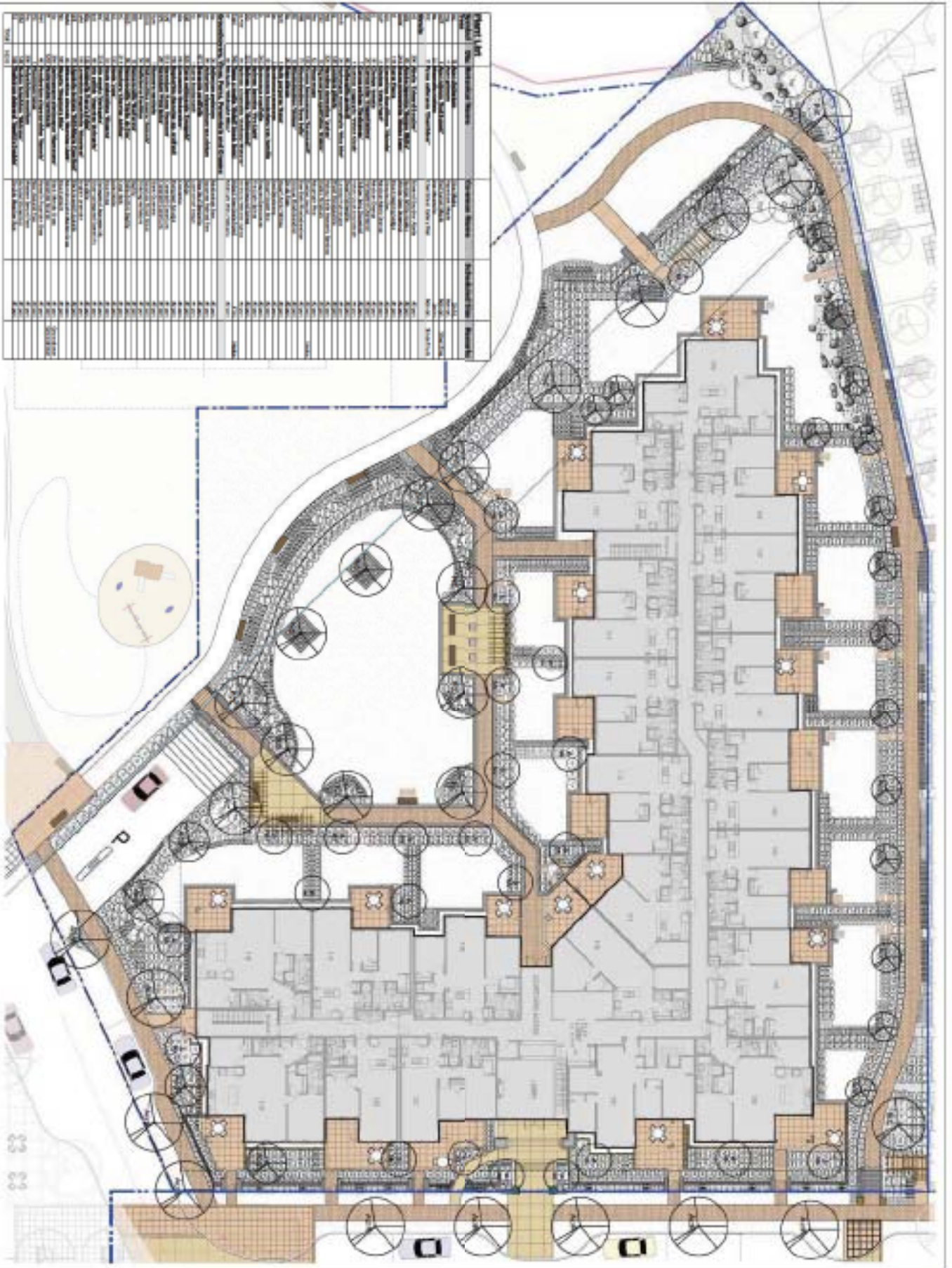
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**P+A**

Project: 151-001  
Date: 11/11/11  
Scale: 1/8" = 1'-0"

**POLYGON**





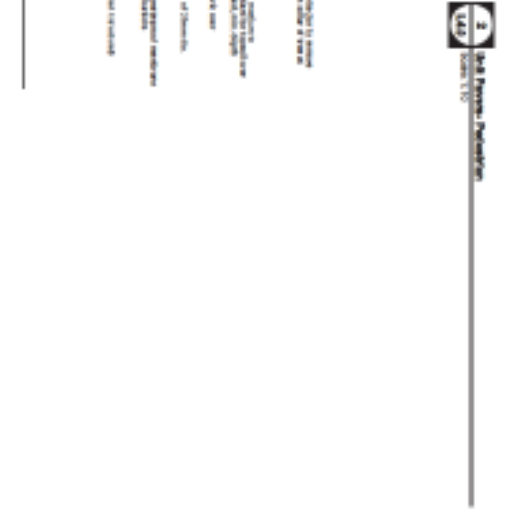
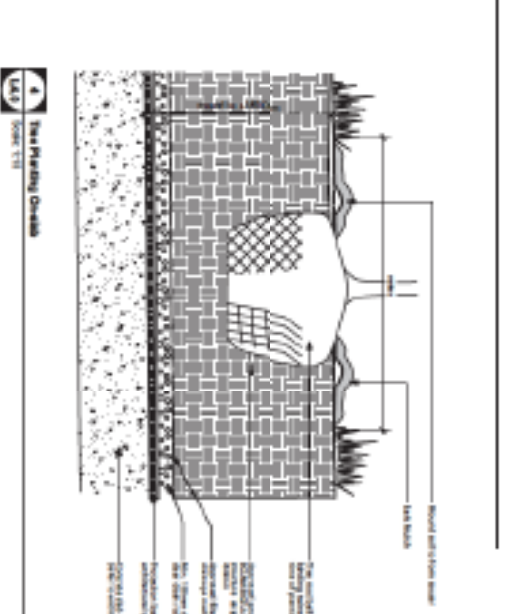
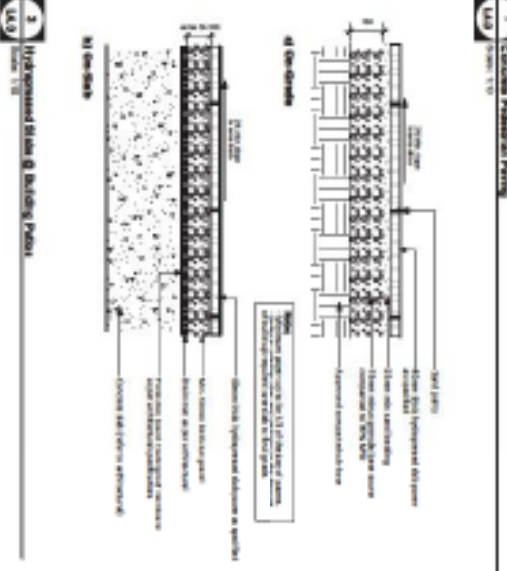
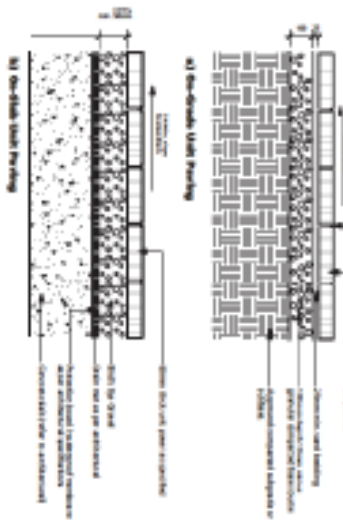
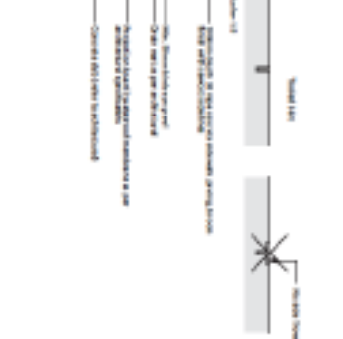
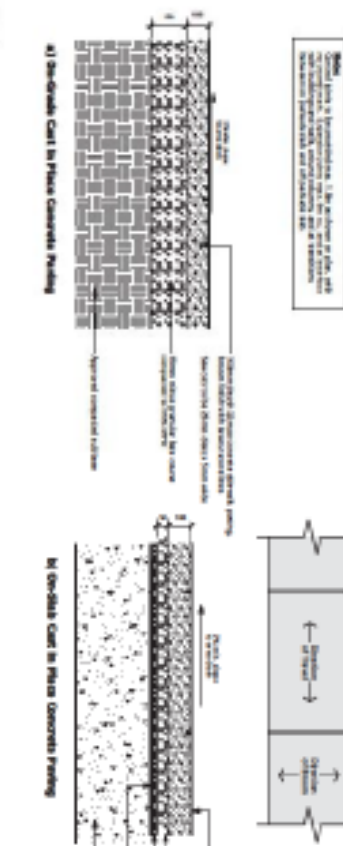
**Polygon Pacific Homes Limited**

**Seaside Village**

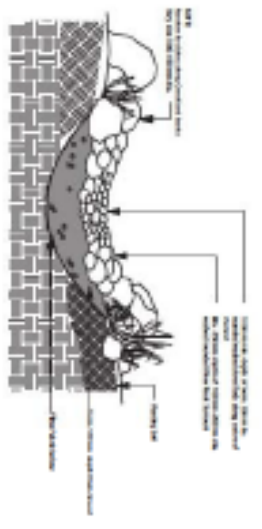
**Planting Plan**

**L2.0**





**4 Retention Slabs**  
 Scale: 1/8"



**4 Tree Planting Details**  
 Scale: 1/8"



**4 200mm Polymer Protection**  
 Scale: 1/8"





Photorealistic Image - Concept



Photorealistic Image - Structure



Photorealistic Image - Sign and Night Aerial



Black Metal Fence



Photorealistic Image - White Walkways and Brick Walkway



Photorealistic Image - Cabinet and Mail



Photorealistic Image - Structure



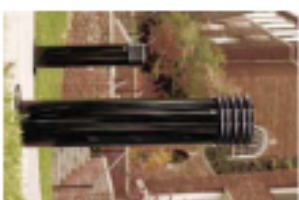
Photorealistic Image - Concept



Brick Pattern



Black Metal Bench



Black Metal Bench



Black Metal Light



Asian Flowering



Tree Flowering



Asian Flowering



Black Metal Trash Bin/Can

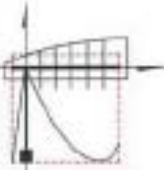
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**Polygon Pacific  
 Homes Limited**

**Seaside Village  
 Apartment 2**

**Images & Materials**

Project Name	Seaside Village
Project No.	15.0
Client	Polygon Pacific Homes Limited
Architect	P+A
Date	10/27/2023
Scale	1:100
Sheet No.	15.0



# ROSITCH HEMPHILL and ASSOCIATES

10-180 POWELL STREET, VANCOUVER, B.C. CANADA V6A 1G1 FAX: (604) 689-1091 TEL: (604) 689-6002

## DESIGN RATIONALE

for

Felbyon Development 280 Ltd.

152<sup>nd</sup> Street and 3<sup>rd</sup> Avenue Diversion, South Surrey, BC

Development Permit Application:

Apartment Building 2

### Overview:

This Building is part of the Master Planned Community for which we are concurrently applying for Re-Zoning and a General Development Agreement. It is located at the NW corner of 32<sup>nd</sup> Avenue Diversion and 152<sup>nd</sup> Street. The first phase of the development includes this apartment building, #2, and the Townhouses to the north, situated under separate cover.

For broader context information and urban design rationale, please refer to the Design Rationale submitted for the Re-Zoning Application.

This building is a four storey wood frame apartment consisting of 86 residential units in a total of 83,900 sq. ft. of Gross Floor Area, over one level of underground parking.

### Response to Context:

This building is sited toward the central-west portion of the overall site, with the main lobby entry fronting on the new 151<sup>st</sup> Street, facing east. The building is separated from the single family homes north of 34<sup>th</sup> Avenue by the lower massing of the Townhouse precinct.

To the south we have the combined Commercial and Amenity building which will form the social hub of the broader community. East, across 151<sup>st</sup> Street are taller, five to six storey apartments which concentrate the higher density toward the centre of the neighbourhood. The buildings have been arranged on site in such a way to minimize the direct impact of the adjacent hydro transmission lines. And the amenity/commercial bldg has been located to further buffer the residential from the hydro lines.

### Site Access:

As noted, this building fronts onto 151<sup>st</sup> Street which forms part of the very carefully-considered circulation system. This arrangement responds to specific patterns of access which have been

FIGURE 6



used to organize the site into a "neo-traditional" grid of streets with a cross-axis "Main-Street" concept. It is intended that easy access to all uses will be provided, including parking and access for the disabled. Please refer to the Re-Zoning package for detail and rationale of the road system.

### Parking:

All residential parking is located in the underground parkade including the majority of visitor parking. The provided parking meet the requirements of the by-law. The access ramp to the underground is in a location remote from the building to reduce the impact of traffic to and from the garage on the residents. A small number of visitor parking stalls have been located on the surface in an area where, depending on time of day, they may also contribute to use for some of the amenity functions and retail.

### Form and Character:

Landscape elements play a key role in defining the street-scape as well as providing opportunity for indoor / outdoor uses. Street furniture, lighting, trees, pavement patterns, and crossings all contribute to the success of the public realm.

The residential apartment buildings incorporate "City Home" style residences with private front yards and street oriented entries at grade. Entrances for individual residential homes are provided with a separation between the private realm and the public realm through the use of fences, gates and landscaping and where possible, a change in grade of approximately 0.45m.

These homes will have clearly identifiable entries and gates at the change from public to private space. Addressing CPTED interests, these design elements will promote a friendly "eyes-on-the-street" approach to natural security and surveillance.

The main residential building entry presents a separate and clearly identifiable character. The massing of the apartment building is intended to create large south facing courtyard which provides opportunity for a large area of open outdoor space. The courtyard for this building also connects directly to the very large open space of the Community Outdoor Amenity on the hydro right-of-way.

As much as possible, the ground floor residential has incorporated a connection between the indoor and outdoor spaces. Every effort is being made to animate the streets with overlooking terraces, canopies, planters, and interesting articulation of facades.

### Design Theme:

The master-plan arrangement of architectural elements and the landscape design is directed toward a strong "Village" concept. It is intended that there will be harmony overall through the use of colours, details, articulation, materials and landscape elements drawn from compatible design vocabularies.

FIGURE 6

The design theme intended for the residential components is a contemporary interpretation of a traditional "Boston Brownstone Theme" which has been adapted to suit our West Coast climate. As the community design develops further, at subsequent Phases, there will be opportunities to provide variation on this theme in order to create comparable but separate identities for the remainder of the buildings.

The building design incorporates a substantial amount of articulation and landscape treatment. In addition, roof top equipment is limited to low profile make-up air units which will be positioned and screened so as not to be visible.

Polygon is committed to high-quality construction which is reflected in the choice of high quality materials including primarily brick and Harle type cladding. Although the massing is based on the traditional "block" form inspiring the theme, careful distribution of the materials and rich colours serve to break up the length of the facades to develop a rhythm of massing which contributes to the public realm. Contrasting black and crisp white colours in the details such as the canopy fascias, guards, fences and windows contribute to an enhanced texture and a high level of interest in the facades.

### ***Sustainability:***

Surry's Sustainability Charter and the principles of Smart Growth have been utilized as tools in the design development of this proposal.

*\*Sustainability is the principle of meeting the needs of the present generation in terms of the environment, the economy, and social systems while promoting a high quality of life, but without compromising the ability of future generations to meet their own needs.\**

This building is an integral part of the overall planned community and will address sustainability according to the principles laid out fully in the Re-Zoning Design Rationale.

Generally, Polygon is committed to building sustainable developments that use less energy and water and produce less waste. Sustainable building features include: high efficiency lighting, dual flush toilet, and electrical equipment selected to reduce energy loads. Polygon will also use construction materials with recycled content, low off-gassing materials including carpet and paint, and other materials with lower environmental impacts.

### ***Amenity:***

#### **Private Amenity:**

Panels, balconies or terraces are provided for all residences. These are also used as design features to help articulate the buildings.

#### **Common Amenity:**

As part of the Master-Planned Community, this building is provided with access to the central

Community Amenity facility immediately to the south which will accommodate a variety of community needs including such items as: a swimming pool, decks and hot tub, fitness equipment room, two story gymnasium, two guest suites, great room lounge with kitchen, dining area, billiards, card tables, bicycle repair workshop, a live-in concierge, and a theatre room amongst other features.

In addition, outdoor common amenity space is provided by a central outdoor common green space in addition to the private yards. Careful attention has been paid to pedestrian connectivity through the extensive landscaped pathway system. Also, a large area of the Hydro right-of-way will be devoted to community amenity uses including a substantial outdoor community flex field which may include tennis courts, Bocce ball courts and open grass areas.

**Please also make reference to the graphic supporting material attached herewith as well as the other separate packages which relate to the Master Plan Re-Zoning and to the Townhouse portion of this phase of this DPA.**

Respectfully submitted:



Keith S. Hempell, MAIBC  
ROSETH HEMPELL + ASSOCIATES ARCHITECTS

/s/02 - Design Rationale - 2011-11-09 AP/ART/MBN.mpd

## ***Landscape Rationale:***

### ***Landscape Overview:***

The landscape design for Apartment Building 2 reinforces the overall project vision of a “Village” of brownstone apartments and townhouses in a formal landscape, constructed of quality timeless materials, all at an urban scale.

The apartment landscape comprises a common building entry, private yards and patios, urban streetscapes, a common courtyard and terraced transitions to an adjacent townhouse project and to an extensive community amenity open space within a BC Hydro right of way.

### ***Landscape Materials and Components:***

Landscape materials and components are selected for character, texture, durability and colour. Standardization of materials and components across the neighbourhood assures design unity, complements project architecture and reinforces the “Village” theme. The selection of quality materials and components ensures long-term durability. Furniture is further selected for visual unity between the various components. Black is selected as the project colour for all metal components as it is elegant and timeless.

Nine existing trees are to be removed from this site including nine Alder/Cottonwood, one Western Hemlock and two Douglas Firs. The project architect has evaluated all existing trees on the site and some has been identified as worthy of retention. Approximately fifty new trees will be planted on site and in the adjacent boulevards.

### ***East and South Landscapes:***

The apartment fronts a new 151st Street to the east. The street is compact in scale with parallel parking pockets and formal street trees in a sod boulevard separating a “brick” sidewalk from the carriageway. A common main entry to the apartment building is slightly raised above the sidewalk grade and clearly defined with landscape walls, planters and small trees. An accessible pathway is provided. Low “brownstone” walls and columns with black metal pocket fencing and entry gates define slightly raised private terraces. Terraces are paved with unit pavers.

Planting at the street edge is formal with clipped hedges.

The south streetscape is similar in detailing however the “brick” sidewalk is at the curb and formal street trees are on private property. The southeast corner of the apartment site abuts and frames one corner of the future “Village Plaza”.

### ***North Side Landscape:***

The apartment site transitions to an adjacent townhouse precinct to the north. Private yards with anti-privacy screens and lawn patios are defined by formal plantings, patio trees and wood

fencing. Private gates open onto a semi-public pathway which crosses the apartment site and contributes to pedestrian connectivity within the “Village”. Planting and low fencing defines the edge between the apartment and townhouse sites.

### ***West side Landscape:***

The apartment site transitions to a large open space within a BC Hydro right of way on the west side. The “L” shaped apartment building defines a generous south-west oriented semi-public courtyard within the apartment site. This orientation provides for maximum solar exposure.

Private yards on the west side, with unit paver patios and lawn patios, are defined by formal plantings, patio trees and fencing. Private gates open onto the large semi-public courtyard. The courtyard is framed by deciduous trees, “brick” walkways, bollard lighting and clipped formal landscaping. Seating nooks, defined by walls, provide for activity and animate the courtyard. Planting near the right of way transitions to native and adapted species. Active outdoor activities occur on the adjacent BC Hydro right of way.

### ***Sustainable Initiatives in the Landscape***

**Light pollution reduction:** the requirement for landscape lighting will be minimized and only sharp cut-off light sources will be utilized.

**Water-efficient landscaping:** the requirement for potable water use will be minimized through the use of native and/or adaptive plants where appropriate.

**Water-use reduction:** irrigation will be minimized; efficient irrigation with a rain sensor will be utilized where irrigation is required.

**Social sustainability:** the provision of outdoor social spaces, and the provision of ingredients for a vital residential streetscape will stimulate interaction and cooperation between residents and neighbours.

Durable building: landscape materials will be chosen for strength and longevity.

Respectfully submitted:



Robert Barzen, BCSLA, Principal  
R. Kim Perry & Associates Inc.

A Land Development Engineering Review Summary will be provided to Council in advance of the February 6<sup>th</sup> Regular Council – Land Use Meeting.





**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

A new elementary school, Rosemary Heights Elementary opened in Sept 2008, to relieve overcrowding at Morgan Elementary. Also, a new elementary school in North Grandview Area on 28th Ave at 160th St is in design stage and when completed will help accommodate the growth south of 32nd Ave. The School District has requested provincial capital project funding (2010 - 2014 Five Year Capital Plan) for two site acquisitions: No. 6 priority in the Capital Plan is a new site for a Gradview Area elementary School (within NCP #2) and No. 7 priority in the capital plan is for a new secondary school site in the Grandview Heights area, to relieve overcrowding and projected long term space shortfall in South Surrey-Grandview Area schools. The Funding for these projects had not been announced by the Ministry on the date of this report. The nominal capacity for Morgan Elementary in the graph below is adjusted to full day kindergarten (implemented in 2011). Enrolment in September 2011 is 50 Kindergarten students + 325 grade 1-7 students, total 375 (the actual enrolment result is 25 higher than projected in the table for 2011).

Monday, October 17, 2011  
Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 11 0241 00

**SUMMARY**

The proposed 40 townhouse units and 510 lowrise units are estimated to have the following impact on the following schools:

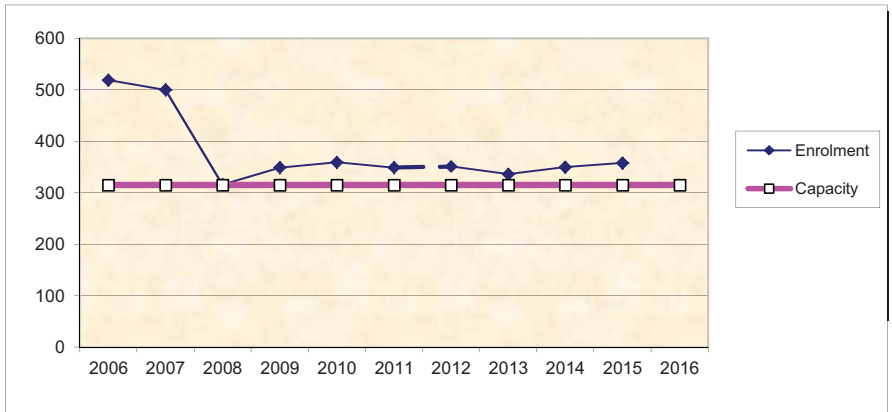
**Projected # of students for this development:**

Elementary Students:	32
Secondary Students:	19

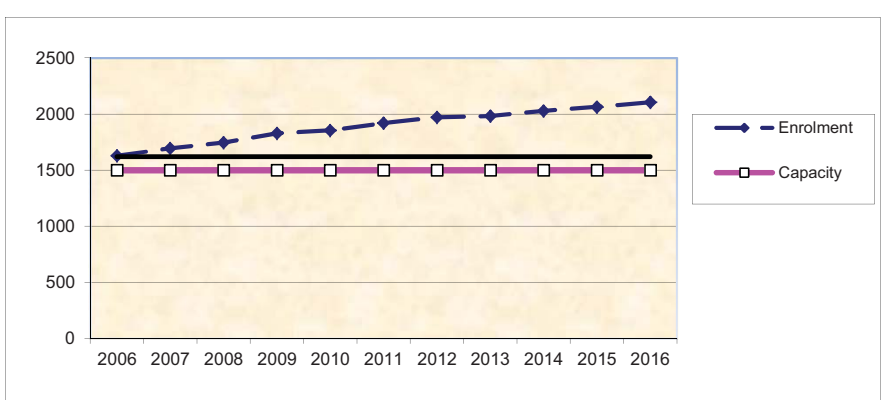
September 2010 Enrolment/School Capacity

<b>Morgan Elementary</b>	
Enrolment (K/1-7):	32 K + 327
Capacity (K/1-7):	40 K + 275
<b>Earl Marriott Secondary</b>	
Enrolment (8-12):	1854
Capacity (8-12):	1500
Functional Capacity*(8-12):	1620

**Morgan Elementary**



**Earl Marriott Secondary**



SURREY TREE PRESERVATION SUMMARY

Surrey Project No:

Project Location: 152 Street and 32 Ave Diversion

Arborist: Mike Fadum ISA (PN-705A) and Peter Mennel ISA (PN-5611A)

Detailed Assessment of the existing trees or an Arborist's Report is submitted on file.  
The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment:
2. Native deciduous species such as red alder, black cottonwood and paper birch of poor quality due to structural defects and declining health. Native conifers including western redcedar, many with dead tops and moderate quality Douglas fir. Only few trees of structure and health to warrant preservation efforts.
3. Summary of Proposed Tree Removal and Replacement

The summary will be available before final adoption.

Number of Protected Trees identified	347 (A)
Number of Protected Trees declared hazardous due to natural causes	11 (B)
Number of Protected Trees to be removed	321 (C)
Number of Protected Trees to be retained (A-C)	15 (D)
Number of Replacement Trees required (C-B) (233 Alder and Cottonwood x 1 + 88 others x2)	409 (E)
Number of Replacement Trees proposed	TBD (F)
Number of Replacement Trees in deficit (E-F)	TBD (G)
Total number of Prot. and Rep. Trees on site (D+F)	TBD (H)
Number of lots proposed in the project	N/A (I)
Average number of Trees per Lot (H/I)	N/A (J)




4. Tree Survey and Preservation/Replacement Plan

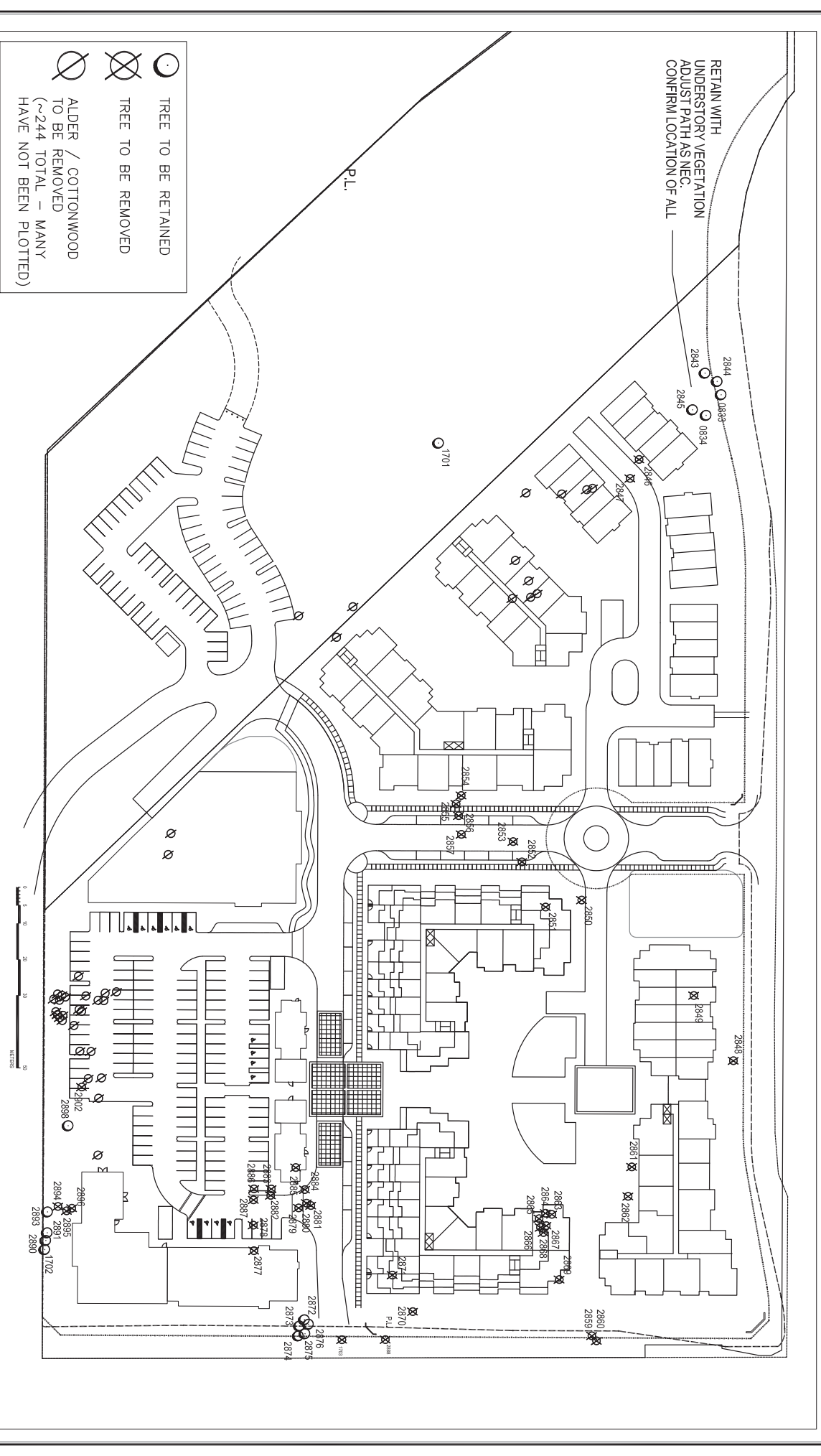
Tree Survey and Preservation Plan is attached. The Replacement Plan will be prepared and submitted by others.

Summary and plan prepared and submitted by Mike Fadum and Associates Ltd

Date: May 7, 2010

RETAIN WITH  
UNDERSTORY VEGETATION  
ADJUST PATH AS NEC.  
CONFIRM LOCATION OF ALL

 TREE TO BE RETAINED  
 TREE TO BE REMOVED  
 ALDER / COTTONWOOD  
TO BE REMOVED  
(~244 TOTAL - MANY  
HAVE NOT BEEN PLOTTED)



NO.	DATE	BY	RECORD OF REVISION	NO.	DATE	BY	RECORD OF REVISION
1	May 2010	MF	NEW LAYOUT				

<b>MIKE FADUM AND ASSOCIATES L.TD.</b> VEGETATION CONSULTANTS		11140 - 92A Avenue Delta, British Columbia V4C 3L8 Pn: (604) 582-0309 Fax: (604) 588-2888 Email: mifadum@fadum.ca		© Copyright Reserved. This drawing and design is the property of Mike Fadum and Associates Ltd. It is to be used only for the project and site specified without any permission.	PROJECT ADDRESS 3303 152 ST SUITE 1, B.C.	SHEET TITLE T1 - TREE MANAGEMENT PLAN	CLIENT GROSVENOR CANADA	DRAWN AMB	SCALE 1:1000	DATE OCTOBER 13, 2009	SHEET 1 OF 1
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# Advisory Design Panel

## Minutes - draft

**Present:**

Chair – J. Makepeace

**Panel Members:**W. Francl  
T. Ankenman  
N. Couttie  
D. Lee  
Cpl. Marc Searle  
S. Lyon**Absent:**

L. Mickelson

**Guests:**Daryl Tyacke, Eckford Tyacke & Associates  
Doron Fishman, Eckford Tyacke & Associates  
T. McGinnis Cocivera, Polygon  
Marc MacCaull, Polygon  
Kevin Shoemaker, Polygon  
Robert Barnes, Kim Perry & Associates  
Keith S. Hemphill, Rositch Hemphill and Associates**Staff Present:**T. Ainscough, City Architect - Planning & Development  
H. Bello, Senior Planner - Planning & Development  
H. Dmytriw, Legislative Services

## APPENDIX VII

**A. RECEIPT OF MINUTES**

It was

Moved by D. Lee

Seconded by J. Makepeace

That the minutes of the Advisory Design Panel meeting held on November 10, 2011, be received.

Carried**B. SUBMISSION****1. 4:00 PM**

File No.:

**7911-0241-00**

New or Resubmit:

New

Description:

**Comprehensive Development consisting of apartment buildings, townhouses, commercial space and amenity areas - DP for Masterplan and Phase 1**

Address:

32 Avenue Diversion &amp; 152 Street (Rosemary Heights West), Surrey, BC

Developer:

Polygon (Kevin Shoemaker)

Architect:

Rositch Hemphill &amp; Associates Architects

Landscape Architect:

Perry &amp; Associates

Planner:

Ron Gill

Urban Design Planner:

Hernan Bello

It was agreed that the presentation and comments for the project would be separated into two parts:

- Master Plan
- Phase 1 – Townhouse and Apartments.

The **Senior Planner** noted there was a previous application with an approved DP on this site for a different mix of uses, i.e., less commercial. He also noted the following issues and asked the applicant and the Panel members to comment:

- there was a public information meeting last night and one of the attendees noted that the flat roofs proposed for this application do not comply with the design guidelines in the Rosemary Heights West NCP
- the pedestrian connection at the north west is very narrow, and not shown on landscape drawings
- the pedestrian connection between building 5A and 5B is obstructed by the underground parking ramp
- the length of Building 5.A is a concern; this was also noted at the public information meeting

The **Developer** advised:

- that most of the concerns of the neighbours in the area have been addressed.
- the intent of the proposal to develop a unique character for the site, i.e., a family of buildings with variations.
- if necessary, sloped roofs could be accommodated on some parts of the site, e.g., at 34 Ave..

#### (A.) **Master Plan**

The **Architect** introduced the members of the design team:

- Architect - Keith Hemphill
- Landscape Architect – Apartments - Robert Barnes, Perry & Associates
- Landscape Architect – Townhouses - Daryl Tyacke, Eckford Tyacke & Associates

The **Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes, and highlighted the following:

- Have had public meetings – quite favourable.
- Made changes to traffic flow, massing for Building 5.A and other things we can address.
- Goal is to create a unique identifiable neighbourhood in Rosemary Heights with sidewalks, streetlights and furniture. Rooflines are coming from a style of architecture we are pursuing intended to have the least impact on surrounding neighbourhood.
- Rositch Hemphill has had involvement with this site for a long time and has learned a lot. Prior application with Grosvenor was approved but did not closely represent the intent of the NCP.
- In this project have made effort to get closer to the NCP and made changes and accommodated concerns.
- Site was organized in response to constraints to traffic, roads, and years of discussion with Engineering and Highways. Introduced a north-south street on 151 Street and east-west on 32 Avenue. Attempting to respond to context and recognize that we will have a family of buildings that are similar in density to north-west corner.

- Preliminary concepts discussed for the Hydro ROW. Minimize the impact of power lines.
- Maximum benefits of open courtyards in apartment buildings and provide amenities and commercial in a separate building.
- Commercial GFA - 100,000 sq. ft. in previous application was reduced to 8,000 sq. ft., as specified in the NCP
- Principal entrance is off 152 Street, an access off 32 Avenue Diversion, and a controlled point at 34 Avenue at 151 Street.
- Provision was made for alternative access through the site to Croydon Drive for the existing neighbourhood to the north. Polygon will contribute to the construction of the alternate access.
- Design theme – Boston brownstone, adapted to conditions of west coast climate.
- The rezoning application is for the entire site; separate detailed DP applications will be made for each phase; the first phase - townhouses and Building 2 will also be presented today.
- Neighbourhood is linked into other circulation systems. Hoping to develop a theme and character within the neighbourhoods.
- Public Art: Polygon is a strong supporter of public art and is keen to work with the city on the site, with a focus on the SE corner at 32 Ave. diversion and 152 Street.

The **Landscape Architect** Robert Barnes provided an overview of the site and highlighted the following:

- Multi use trails are provided in the current existing system at 152 Street and 32 Avenue and converge on Croydon Drive. There is an 8 meter right of way on 152 Street. The multi use trail on 32 Avenue will be primarily on greenway land.
- Within the site there are streetscapes with 6m asphalt parking pockets and tree pockets, a pedestrian edge, and slightly raised patios overlook sidewalks and carriage way.
- Internal roads converge to village plaza with commercial space. Greenway up to Croydon Drive will connect to highway underpass and around habitat zone. Barbara Creek - channels to be added and to be replanted.
- Monuments proposed at main vehicular entrances to identify site and to be planted with indigenous plants.
- Working with planning to develop uses for the green space site.
- External sidewalks will be concrete; internal walks will be brick; multi use path at 34 Avenue will be asphalt.
- 152 Street will have 8m setback, landscaping and a trail within it. Landscaped boulevard, private property with buffer and green space
- In the private realm each apartment will have its own amenity green space with linkages to public spaces. There will be monuments at corner court and water element at area near bus stop.
- The public realm will have solid metal traditional furniture with wood to warm up the benches.
- Various types of walls: brick treatments, with slightly raised yards.
- Signs and way finding will identify trails.
- Riparian area storm water management – the storm water will be fed back into Barbara Creek to restore the creek and will build compensation channels. Most

storm water will be retained and used to recharge the fish bearing habitat. This will be a visual amenity and a habitat zone.

- Common outdoor zones amenity spaces will be green with passive and active spaces, e.g., tennis courts, bocce ball courts, etc.

In response to queries from the Panel the following information was provided:

- This will be one project, one site, with 4 phases.
- There is open space for passive and children's play areas. The amenity building will be a managed facility and will accommodate children's play..
- The intent is to not gate the semi public trails within the circulation plan.
- There is a plan and substantial program to retain storm water for slow release to recharge the fish bearing Barbara Creek.
- Polygon is also working with managing the roof water on Building 5 and using that water to recharge the secondary creek to the north.
- Three of the five existing cottonwoods and alders are to be retained. Polygon will be cleaning up all the grounds and providing 300mm layer of topsoil on the site.
- The riparian area around Barbara Creek will not be publicly accessible. The DFO is adamant on no entry. It was suggested there be a connection through and past the habitat.
- Each community will take one courtyard/amenity area including the area under the Hydro right-of-way and connect the areas by paths. There is a lot of passive open space.
- Polygon's first phase will be Building 2 and townhouses, second phase the grounds, clubhouse and green area, and third and fourth phases the 5-6 storey buildings.
- There are 550 units (about 1,400 people) in the whole master plan. The 7,500 sq.ft. commercial use comes out of the NCP, as a suggestion from the City, and through public pressure.

#### **ADVISORY DESIGN PANEL STATEMENT OF REVIEW**

**Master Plan for 32 Avenue Diversion & 152 Street (Rosemary Heights West),  
Surrey, BC**

**File No. 7911-0241-00**

It was

Moved by T. Ankenman

Seconded by W. Francl

That the Advisory Design Panel (ADP)

recommends that the applicant address the following Advisory Design Panel recommendations and resubmit to Planning staff.

Carried

#### **Context and Site Planning**

- General circulation and massing of buildings is well thought out.
- Supportive of the master plan as it relates well [to context].
- There are nice open courtyards through the buildings.
- New roads [to townhouses] are at right angle but would provide great relief if they were more angled. Turn the street at a 10 degree angle to create a less straight edged, urban, and less formal space. [Also, the amenity building could be

oriented off the orthogonal to reinforce connection with the green space at Hydro ROW.]

- There is an important linkage between [commercial and] the parking area.
- There are issues around Hydro right-of-way and the flanking open space. Create linkage across the line, borrow the notion that there is space and overlap and blend the space.
- Are there other paths, outdoor spaces that could be engaged in the project and not just a parking lot? Could choose to hide some of that space and plant it heavily to enclose it.
- Explore the opportunity of using the green area adjacent to the habitat and making it a beautiful garden for the apartments.
- Look for the opportunity for a visual connection to the south to get the sense of expansive space.
- Parking lot on the southwest can really maximize outdoor amenity space by pulling it out quite a ways to have a patio space.
- Village theme is a nice idea and concept but there are aspects to incorporate: permeability, pedestrian ways between buildings are important; the more obvious the better to encourage people to move around within the site.

#### **Vehicle Access**

- The garage ramp between Building 5.A and 5.B should go underneath the building. [Current location obstructs the pedestrian access to the courtyard.]
- Garage ramps should be moved underneath the buildings (Buildings 5 and 4) rather than in between.

#### **Form and Character**

- Do not see an issue with the flat roofs as shown on current and future phases. No need to follow thru with pitched roofs.
- Building 5.A - The corridors are too long. Provide a very sincere break in the building with exposed corridor.
- At intersection between residential and commercial, there is an opportunity to work up the commercial/amenity building a bit differently.

#### **Landscaping**

- T-intersection butts up against clubhouse but is proportionate at same time.
- Retain good quality trees. Projects benefit enormously with retention of trees and make the project.
- The project is large scaled and logical from a street and circulation perspective.
- There are many entry points with circulation and a pedestrian network within site.
- The most popular spot in the new kids' playground will be next to the coffee shop. The sports court gets good visibility at this level.
- Emergency access through site is in the character of the trails system but is underutilized. Play into that character.
- Materiality is nice and has continuous language (i.e., the brick paving is an integral material and durable).
- Riparian and storm water zone - like the rural fence with a trail and chain link fencing around DFO zones that allow views into the habitat area.



- With a site like this there is a desire for a story behind the site, historical cues and how they play into elements in the public realm.
- Way finding signage required.

#### **Disabled Access**

- Developer to confirm that all pedestrian paths are accessible, e.g., not greater than 1:20 slope.

#### **CPTED**

- Ensure there is way finding lighting, emergency services access and visible signage to entrances and building addresses.
- Being located close to Hwy 99 can be a crime generator. Paralleling Hwy 99 and satellite parking lots would create an interesting patrol pattern. Give this consideration when doing lighting and make the space owned by the complex.

#### **Sustainability**

- Great opportunity for community garden.
- Sustainability – There is a physical linkage between storm water management and water flow. Make a visual connection with the surface water.

#### **In response the Architect and Developer made the following comments:**

- Are exploring quality of the emergency access and the need for fire truck access. Pathway is not provided as it is now just a road. Still in discussion with City as to what can and should be included. This is a potential “spillway” for play and activity.
- Riparian area fence is required by DFO to be chain link; alternative material for fence is a matter of cost. Would rather have plastic mesh than metal. Polygon has proposed a low two rail wood fence around the perimeter and to work with DFO to get a path through the area.
- The “green space amenity” is a place holder; will develop program for the area.
- Have retained some trees but there is not a large quantity of quality trees. Are working with the City to reroute city sidewalks to keep trees. The challenge in this is the property line.
- The only restriction around parking lot [and green space planning] is the Hydro tower located there. [Extending outdoor amenity uses into this area] is a good suggestion.

#### **(B.) Apartments and Townhouses**

The **Senior Planner** presented an overview of the Phase 1 scope and asked how the developer wishes to address the concerns of the public regarding sloped roofs.

The **Developer** noted:

- only one person at the public information meeting expressed concern regarding the flat roofs
- flat roofs have never been a major concern during the development history of the site
- the previous application put forward by Grosvenor was approved with flat roofs

The **Architect** presented Phase 1 and noted the following:

- Key site planning issues - Hydro right-of-way, massing of building, pathways systems.
- Shape of building does afford large outdoor open courtyards. There will be private yards and ground floor units will have a private yard, gate and door.
- Primary frontage is 151 Street; parking on both sides; access for ramp is beyond the building.
- Design theme is based on east coast Boston brownstone with west coast climate features, e.g., overhangs, materials. Substantial use of brick veneer on facade and other materials like hardi-panel and cultured stone.
- Chose to use a flat roof.
- The original Boston form it would not have had open balconies so these were added.
- Break up the length of the facade by moving the walls back in rhythm with the yards, gates and strong identity elements such as brick and stone, light standards. Has a substantial yard.
- 40 townhouses located directly to north.
- Roads slope up at 34 Avenue and grades up to apartment living room are level. Balconies provided on north side units; raised yards and patio on south side units.
- Townhouses and apartments have similar material palette and colour schemes: e.g., Hardie siding, brick, soffits are all natural stained wood.
- Some portions of roofs pop up to break the line of sight.

The **Landscape Architect** (Robert Barnes) presented the apartment landscaping:

- 151 Street – public and private realm is urban: brick with metal picket fence, layered accent planting, generous patios on one side.
- Main entrance with different paving materials and access up 3 steps. Patios are slightly elevated.
- North face transition to townhouse is a semi public walkway with generous patios with usable lawn panel, defined by hedges and fencing transition to townhouses and up to townhouses from apartments; trees run along back for canopy.
- Units facing south and west have generous patios.
- Common space is a fairly generous flexible green area with passive nodes. Edge is to be softened up and integrated more with the open space.
- The semi private loop has a brick sidewalk; planting is formal and becomes less formal toward habitat zone.
- Street furniture is same throughout the site.

The **Landscape Architect** (Daryl Tyacke) presented the townhouse landscaping:

- Along 34 Avenue each unit has direct access to street, walkway, and gardens. Each has a tree, generous lawn area and planting pockets between each building.
- At driveway entry – entry “monument” and evergreens. City has requested a community area.
- Each driveway is separated by formal plantings, low hedging, a tree, and brick stoop. Plantings to front of visitor stalls will break views between buildings.
- Larger trees will act as a canopy. At end of site the pathway continues through with native and native adapted plantings to ESA.

In response to queries the following information was provided:

- At the dead end townhouse road at riparian area there is to be a pedestrian walkway. Having a parking area to the north will soften this. The parking area is standard 20' width with a full apron. [Note that path at west is missing on L4.o. Is shown on Masterplan site plan.]
- The dedication to the DFO habitat will be developed in next phase. In the Master Plan there is an opportunity for directing rain water to Barbara Creek using a surface creek with a bridge over it.
- The space between townhouses and apartments has a grade change that has been addressed in the apartment package L3.o, Section 2.
- The pathway to be built in the right-of-way will be planted at the ground plane with indigenous plants and shrubs. No trees are to be planted as this is a property line and right-of-way dedicated to the City. We have to break that visual line and can make a berm and plant over the line.
- Buildings will have electric baseboards. There is a lot that can be done with other sustainable features that is not related to HVAC systems.

**Phase 1 (Townhouses and Building 2) for 32 Avenue Diversion & 152 Street  
(Rosemary Heights West), Surrey, BC**

**File No. 7911-0241-00**

It was

Moved by T. Ankenman

Seconded by W. Francl

That the Advisory Design Panel (ADP)

recommends that the applicant address the following Advisory Design Panel recommendations and resubmit to Planning staff.

Carried

**STATEMENT OF REVIEW COMMENTS**

**Context and Site Planning**

- Outdoor amenities should be seriously considered in this level of the Master Plan. Public area and carefully crafted children's playground should be associated with the community amenity.
- Semi-private open spaces need to be articulated in terms of program, and public art.
- Underground parking ramp on east/west semi-private walkway should be relocated to give preference to the pedestrian.
- Support brick paving, not concrete pavers.
- Would like to see the character of fencing as shown to define the perimeter of the DFO area and NOT a chain link fence.
- Use the adjoining Hydro green space as an extension of some of the courtyard or retail space.
- More programming of the open space for activities for adults and children.
- Reposition the amenity and retail to provide more connection to open space and to act as gateway to site.
- More and better pedestrian linkages to open space.
- Village theme implies permeability, so ways through should be obvious and accessible.

- Good quality trees should be retained.
- Consider using the amenity building as a hinge piece at the town centre; could be broken off the orthogonal.
- Consider a public right-of-way between townhouse site and Building 2. Curve the walkway.
- Change the grading/ border between townhouses and apartment building. Free up transition space between two.

### **Form and Character – General**

- Will be a handsome project.
- Support proposal architecturally. Commend the applicant on the two packages and noted the project is very well drawn up and coordinated. The plans for the townhouses and apartment buildings are extremely well worked out.
- Scale of buildings is appropriate, language is traditional and well done, is well proportioned with overhangs. Looks to be well executed and appropriate to language proposed. Detailing around edges and private spaces around units are quite nicely handled and generous and will be useful for private users.
- Departing from the [sloped] roofs to [flat] roofs in this development will be welcomed. This is a clear clean departure as [sloped] roofs make projects look a lot bigger.
- Concerned about transition between townhouses and apartments. Why does grade have to be so high, and a straight walkway? With a two level car parkade put in hedging, a curved path and to create a whole unit feel to project and less property line.
- Love the colour palette. Use the same colour palette in a slightly different shade between townhouses and apartment building so you don't see [the same one] through entire project.
- Ramp to Building 5 garage should be beneath building. Also consider relocating ramp between Building 4 and amenity building.
- Building 5.A needs length mitigation; a more considerable break in the middle.
- Buildings up to 6 storeys okay but not uniform across the top. Step down at edges.

### **Form and Character – Apartments (Building 2)**

- Generally very rich detailing of a traditional themed architecture.
- Theming is a bit heavy handed. Would prefer to see more contemporary detailing. Consider modernizing details and deleting the dentils.
- Flat roof okay.
- The roof will probably require a parapet.
- The corridors are very long with no exterior light. Consider day lighting to corridors in Building 2.
- Consider “easing, softening” the corridor in Building 2 to where it turns 90°; corner is abrupt.
- Access from the courtyard to the lobby would have a great benefit in encouraging use of this outdoor space. Ground floor opportunity/lobby entry sequence: two elevators are adjacent to the lobby. Move lobby over looking into courtyard (to encourage its use), and put other elevator over to access underground parking.
- Open the public courtyard landscaping to the adjoining Hydro green space.

- More character of the wetland integrated into the courtyard (e.g., dry rock stream, rain garden, etc.).
- Token canopies at front door should be larger to announce front entrance.
- Consideration for more brick. Consider more brick on one side to balance brick with exterior on larger building

#### **Form and Character – Townhouses**

- Reinforce the connection of the street end and pathways to the neighbouring green space and riparian area.
- Soften the townhouse lane with additional trees on the south side of the road. Street trees on both sides of lane.
- Incorporate rain barrels (traditional wooden ones).
- Consider curving road in townhouses.
- Consider two street expressions along 151 Street.

#### **Landscaping**

- Landscaping proposed – amend treed space to open space to south-west.
- More character of the wetland integrated into the courtyard (i.e. dry rock stream, rain gardens, etc.).
- Design termination of townhouse road.
- Create better access to apartment courtyard.
- Facade on south side [of townhouse driveway] appears naked. Smaller trees can be considered to soften edge.
- Storm water – consider wooden barrels with taps at bottom; would work out well and would create whimsy and character.
- Provide appropriate pathway lighting along the path between townhouse and apartment.

#### **Disabled Access**

- Accessibility – Confirm no grades exceed 5%.

#### **CPTED**

- Overall quality of buildings and public and private space, with walkways and lawns is successful.
- Underground parking lots are a challenge. Work with city to address all underground parking lots with keyed entries, etc.
- Access to green space - Sensitivity to walkways and security in pop outs to green space and the need to feel secure. A blank canvass to see some innovative ways to tie those spaces in. This is a real opportunity to embrace that green space with a stroller path, tai chi space, handicapped access space, entry ways into from all access points.

#### **Sustainability**

- Recommend a community garden be included in the Hydro right-of-way.
- Proposed heating and ventilation is electric baseboard heating and standard corridor pressurization. Would recommend considering upgrading heat to gas heat – either hot water radiant or similar and gas domestic hot water with high efficiency boilers.

- Recommend considering upgrading to heat recovery ventilation units to all units of townhouses and apartments as discussed, with efficient fixtures and Energy Star appliances, etc.

Support rain water barrels; creates ownership and encourages other things like community gardens.

**The Developer made the following comments:**

- Accessibility - no grades exceed 5%. Property is fully accessible buildings with pullouts on east side of building with loading drop off.
- Appreciated the comments; will take comments seriously and try to integrate them where we can.

**C. OTHER BUSINESS**

**D. NEXT MEETING**

The next Advisory Design Panel is scheduled for Thursday, December 8, 2011 @ 4:00 pm.

**E. ADJOURNMENT**

The Advisory Design Panel meeting adjourned at 6:30 pm.

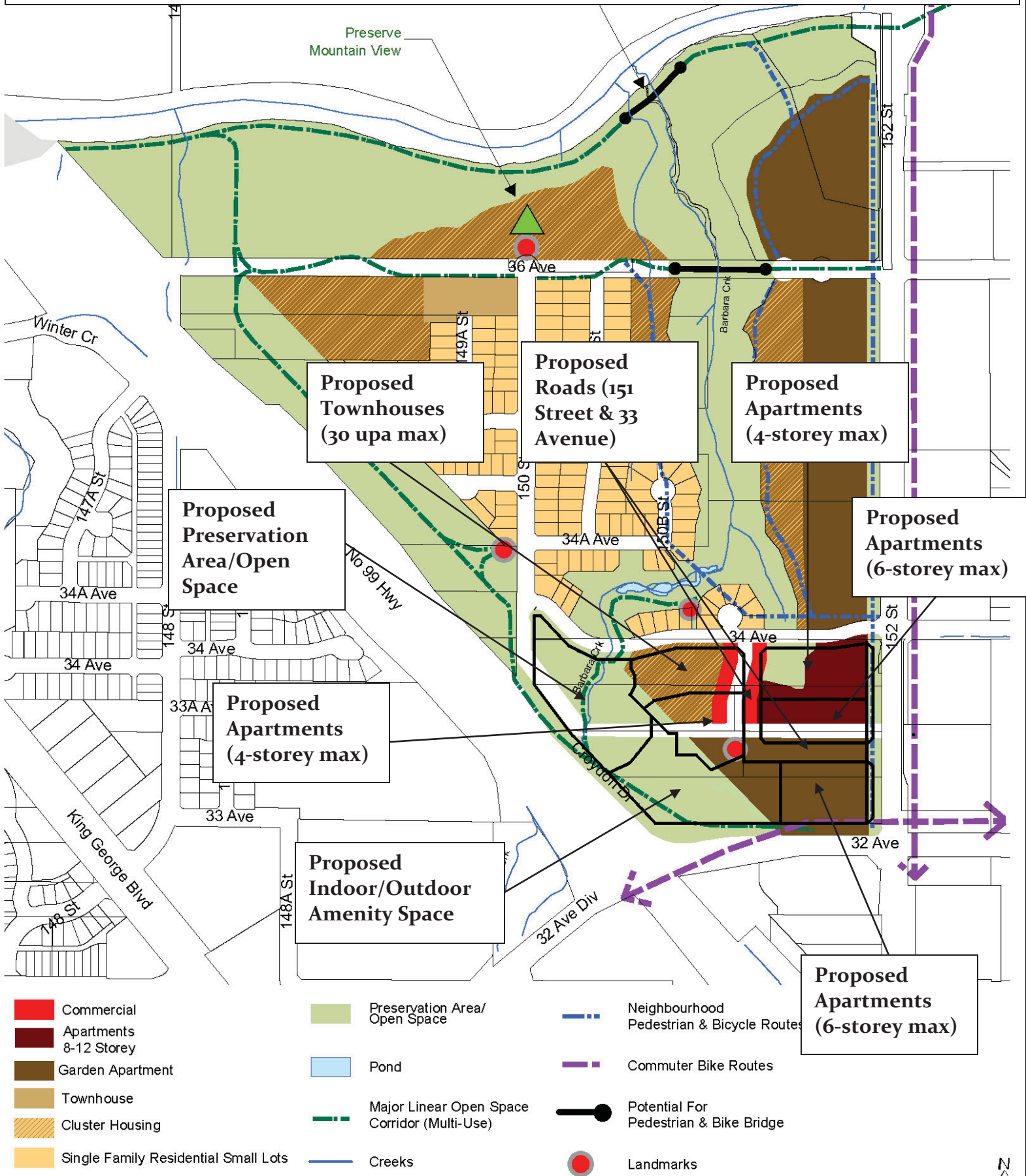
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Jane Sullivan, City Clerk

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John Makepeace, Chairperson

# Proposed Rosemary Heights West NCP Amendment



**ROSEMARY HEIGHTS WEST LAND USE PLAN**  
 CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT

Approved by Council: January 26, 1999 Amended 11 May 2011

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



CITY OF SURREY

**APPENDIX IX**

BY-LAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 007-062-729

Lot 31 Except Firstly: Part Shown Red and Green on Highway Plan 25810 Secondly: Parcel "M" (Bylaw Plan 62662) Section 27 Township 1 New Westminster District Plan 8895

3303 - 152 Street

Parcel Identifier: 011-356-901

Lot 32 Except: Firstly: Parcel "A" (Reference Plan 27509) Secondly: Parcel "L" (Bylaw Plan 62662); Thirdly: Part on Highway Plan 25810 Section 27 Township 1 New Westminster District Plan 8895

3333 - 152 Street

Parcel Identifier: 000-495-883

Lot 57 Section 27 Township 1 New Westminster District Plan 49745

3361 - 152 Street

Portion of Parcel Identifier: 006-466-681

Lot 58 Section 27 Township 1 New Westminster District Plan 49756 as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A certified correct by G.A. Rowbotham, B.C.L.S. on the 16<sup>th</sup> day of January 2012 containing 5,201 m<sup>2</sup>, called Part 58 Plan 49745.

Portion of 3352 Croydon Drive



Portion of Parcel Identifier: 007-789-777  
Parcel "A" (Reference Plan 27509) Lot 32 Section 27 Township 1 New Westminster District Plan 8895 as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A certified correct by G.A. Rowbotham, B.C.L.S. on the 16<sup>th</sup> day of January 2012 containing 6,215 m<sup>2</sup>, called Part A Reference Plan 27509

Portion of 3332 Croydon Drive

Portion of Parcel Identifier: 011-356-944  
Lot 34 Except: Firstly, Parcel "H" (Bylaw Plan 62662); Secondly, Part on Plan BCP6711 Section 27 Township 1 New Westminster District Plan 8895 as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A certified correct by G.A. Rowbotham, B.C.L.S. on the 16<sup>th</sup> day of January 2012 containing 14,351 m<sup>2</sup>, called Part Rem 34 Plan 8895

Portion of 3386 – 150 Street

All as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by G.A. Rowbotham, B.C.L.S. on the 16<sup>th</sup> day of January, 2012, containing a combined area of 5.640 hectares, called Block 2.

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium rise, *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings*, and indoor and outdoor *amenity space*, which are to be developed in accordance with a *comprehensive design*, where *density* bonus is provided.

The *Lands* are divided into Blocks A, B, C, D, E and F as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule B, certified correct by G.A. Rowbotham, B.C.L.S. on the 16th day of January, 2012.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses, provided that such combined uses are part of a *comprehensive design*:

1. Block A

(a) *Ground-oriented multiple unit residential buildings*; and

(b) *Child care centres*, provided that such centres:

i. Do not constitute a singular use on the *lot*; and

- ii. Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
- 2. Blocks B, D, E and F
  - (a) *Multiple unit residential buildings and ground-oriented multiple unit residential buildings*; and
  - (b) *Child care centres*, provided that such centres:
    - i. Do not constitute a singular use on the *lot*; and
    - ii. Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
- 3. Block C
  - (a) Indoor and outdoor *amenity space* for the residential uses permitted in this Zone;
  - (b) *Child care centres* restricted to a maximum floor area of 150 square metres [1,600 sq.ft.]; and
  - (c) One *dwelling unit* per *lot* provided that the *dwelling unit* is contained within the *principal building* and restricted to a maximum floor area of 140 square metres [1,500 sq.ft.].

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

- 1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a *building area* of 300 square metres [3,230 sq.ft.] whichever is smaller. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 2. The maximum *density* shall be as follows:
  - (a) Block A: The *floor area ratio* shall not exceed 0.91 and the *unit density* shall not exceed 75 units per hectare [30 u.p.a.];
  - (b) Block B: The *floor area ratio* shall not exceed 1.50 and the *unit density* shall not exceed 166 units per hectare [67 u.p.a.];
  - (c) Block C: The *floor area ratio* shall not exceed 0.60;

- (d) Block D: The *floor area ratio* shall not exceed 2.02 and the *unit density* shall not exceed 213 units per hectare [86 u.p.a.]; and
  - (e) Blocks E and F: The *floor area ratio* shall not exceed 2.00 and the *unit density* shall not exceed 198 units per hectare [80 u.p.a.].
3. Indoor Amenity Space: The space required in Sub-section J.1(b) of this Zone, is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

The maximum *lot coverage* shall be as follows:

- 1. Block A: The *lot coverage* shall not exceed 45%;
- 2. Block B: The *lot coverage* shall not exceed 45%;
- 3. Block C: The *lot coverage* shall not exceed 50%;
- 4. Block D: The *lot coverage* shall not exceed 45%; and
- 5. Blocks E and F: The *lot coverage* shall not exceed 45%.

**F. Yards and Setbacks**

- 1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

	<i>Setback</i>	North <i>Yard</i>	South <i>Yard</i>	East <i>Yard</i>	West <i>Yard</i>
<u>Block A</u>					
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.5 m [15 ft.]	6.0 m [20 ft.]	3.9 m [13 ft.]	3.0 m [10 ft.]
<u>Block B</u>					
<i>Principal Buildings and Accessory Buildings and Structures</i>		7.5 m [25 ft.]	4.0 m [13 ft.]	4.0 m [13 ft.]	10.0 m [33 ft.]
<u>Block C</u>					
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.0 m [13 ft.]	7.5 m [25 ft.]	4.0 m [13 ft.]	7.5 m [25 ft.]
<u>Block D</u>					
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.0 m [13 ft.]	7.5 m [25 ft.]	12.0 m [39 ft.]	6.0 m [20 ft.]
<u>Blocks E and F</u>					
<i>Principal and Accessory Buildings and Structures</i>		7.5 m [25 ft.]	4.0 m [13 ft.]	12.0 m [39 ft.]	4.0 m [13 ft.]

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Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Sub-Section F.17(b) of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs of more than 3 risers may encroach into the required *setback*.
3. Single storey covered porches, and their supporting columns, and canopies, may encroach up to 1.8 metres [6 ft.] into any *setback*.

#### **G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000 as amended

1. In Block A the *building height* shall not exceed 13 metres [43 ft.] for *principal buildings* and 4.5 metres [13 ft.] for *accessory buildings* and *structures*.
2. In Block B the *building height* shall not exceed 15 metres [50 ft.] for *principal buildings* and 4.5 metres [13 ft.] for *accessory buildings* and *structures*.
3. In Block C the *building height* shall not exceed 11 metres [36 ft.] for *principal buildings* and 4.5 metres [15 ft.] for *accessory buildings* and *structures*.
4. In Block D the *building height* shall not exceed 22 metres [72 ft.] for *principal buildings* and 4.5 metres [15 ft.] for *accessory buildings* and *structures*.
5. In Block E the *building height* shall not exceed 22 metres [72 ft.] for *principal buildings* and 4.5 metres [15 ft.] for *accessory buildings* and *structures*.
6. In Block F the *building height* shall not exceed 15 metres [50 ft.] for *principal buildings* and 4.5 metres [13 ft.] for *accessory buildings* and *structures*.

#### **H. Off-Street Parking**

1. Block A
  - (a) *Parking spaces* shall be provided as stated in Table C.6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended;
  - (b) Fifty percent (50%) of all required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*;
  - (c) Parking within the required *setbacks* is not permitted.

- (d) *Tandem parking* shall be permitted as follows:
  - i. *Dwelling units with parking spaces in a tandem parking arrangement* are permitted directly adjacent to an arterial roadway only if:
    - a. There is an internal access to the parking area; or
    - b. That roadway has been reconstructed to a 5-lane cross-section; or
    - c. "No Parking" restrictions are installed to preclude parking along the entire site frontage of the *lot*;
  - ii. Both *parking spaces in a tandem parking arrangement* must be held by the same owner; and
  - iii. *Tandem parking* is not permitted for *dwelling units* located within 4.0 metres [13 ft.] from *lot* entrances/exits.

2. Blocks B, D, E and F

- (a) *Parking spaces* shall be provided as stated in Table C.6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended;
- (b) All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*;
- (c) Resident parking within the required *setbacks* is not permitted;
- (d) No parking shall be permitted in front of the main entrance of a *multiple unit residential building*, except for the purpose of short term drop-off or pick-up and parking for the disabled; and
- (e) *Tandem parking* is not permitted.

3. Block C

- (a) *Parking spaces* shall be provided as stated in Table C.2, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000 as amended; and
- (b) *Tandem parking* is not permitted.

**I. Landscaping**

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Except in those portions where a *building* abuts a *lot line*, screen planting at least 1.5 metres [5 ft.] high in a strip at least 1.5 metres [5 ft.] wide and a solid decorative fence at least 1.5 metres [5 ft.] high shall be provided along all *lot lines* separating the developed portion of the *lot* from any *residential lot*.
5. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

#### **J. Special Regulations**

1. *Amenity space* shall be provided on the *Lands* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located with the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*, of which a maximum of 1.5 square metres [16 sq.ft.] per *dwelling unit* may be devoted to a *child care centre*.
2. *Balconies* are required for all *dwelling units* that are not ground-oriented and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.
3. Garbage containers and *passive recycling containers* shall not be located within any required *setback* adjacent any *residential lot*.
4. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this Zone.
5. *Child care centres* shall be located on the *lot* such that these centres are accessed from a *highway*, independent from the access to the *residential* uses permitted in Section B of this Zone and have direct access to an *open space* and play area within the *lot*.

#### **K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
6,000 sq. m. [1.5 acre]	40 metres [130 ft]	40 metres [130 ft.]

Dimensions shall be measured in accordance with Section E.21, Part 4 General Provisions, of the Surrey Zoning By-law, 1993, No. 12000 as amended.

#### L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone for Block A, and the RM-45 Zone for Blocks B, C, D, E and F as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2011, No. 17330, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone for Block A, and the RM-45 Zone for Blocks B, C, D, E and F.
10. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.

- 11. Development permits may be required in accordance with the *Surrey Official Community Plan, 1996, By-law No. 12900, as amended.*
- 12. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

READ A FIRST AND SECOND TIME on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

READ A THIRD TIME ON THE \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

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# SCHEDULE A

## SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW \_\_\_\_\_ OF ALL OR A PORTION OF:

- 1) LOT 57 PLAN 49745
  - 2) LOT 58 PLAN 49745
  - 3) PARCEL "A" (REFERENCE PLAN 27509) LOT 32 PLAN 8895
  - 4) LOT 32 EXCEPT: FIRSTLY, PARCEL "A" (REFERENCE PLAN 27509) SECONDLY, PARCEL "L" (BYLAW PLAN 62662) THIRDLY PART ON HIGHWAY PLAN 25810
  - 5) LOT 34 EXCEPT: FIRSTLY, PARCEL "H" (BYLAW PLAN 62662); SECONDLY, PART ON PLAN BC6711 PLAN 8995
  - 6) LOT 31 EXCEPT: FIRSTLY, PART SHOWN RED AND GREEN ON HIGHWAY PLAN 25810; SECONDLY, PARCEL "M" (BYLAW PLAN 62662) PLAN 8895
- ALL OF SECTION 27 TOWNSHIP 1 NEW WESTMINSTER DISTRICT

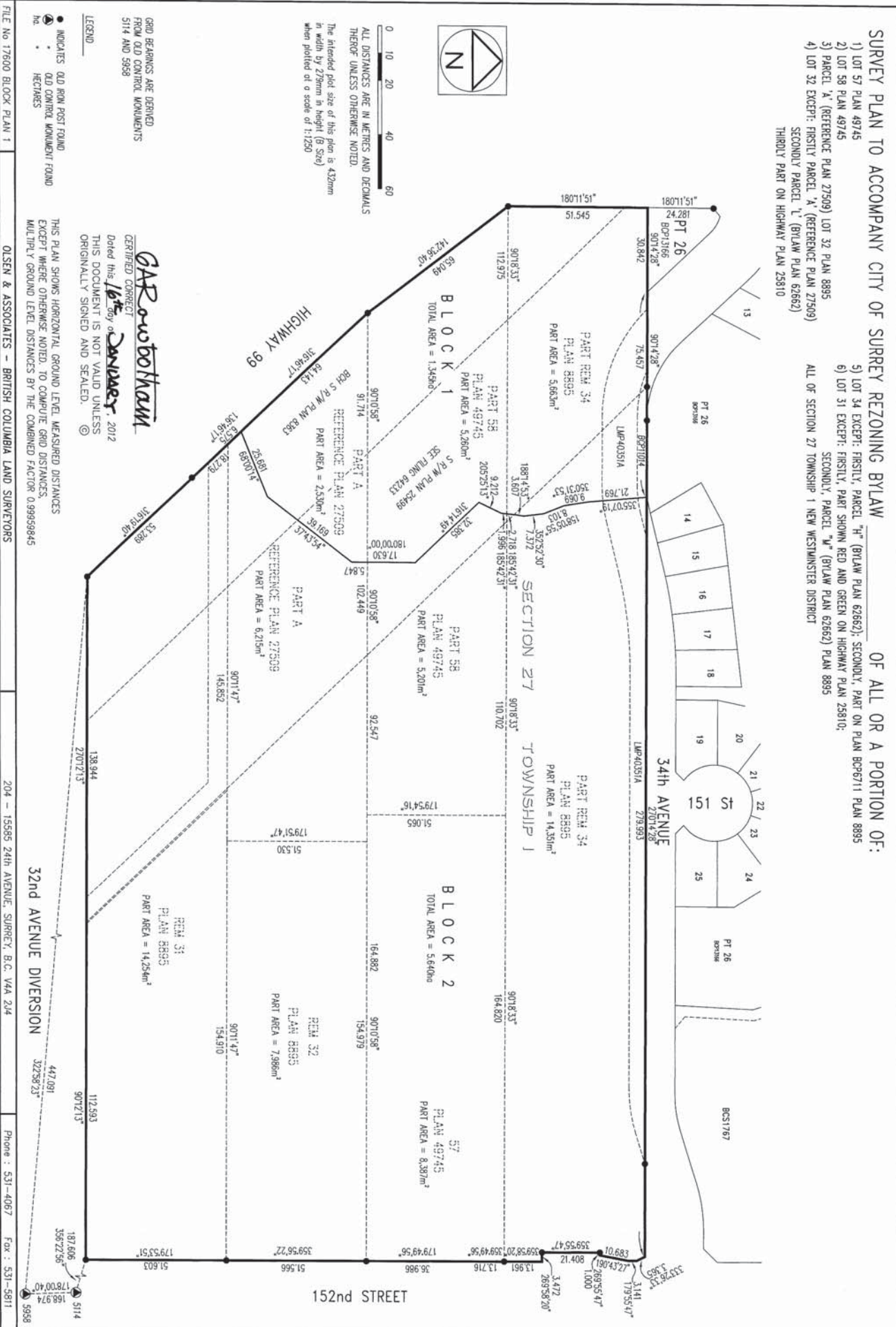


0 10 20 40 60  
ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED

The intended plot size of this plan is 432mm in width by 279mm in height (B Size) when plotted at a scale of 1:1250

GRD BEARINGS ARE DERIVED FROM QLD CONTROL MONUMENTS 5114 AND 5958

LEGEND  
 ● INDICATES OLD IRON POST FOUND  
 ○ INDICATES OLD CONTROL MONUMENT FOUND  
 Hc. INDICATES OLD CONTROL MONUMENT HEIGHTS



**GARROWBOTHAM**  
CERTIFIED CORRECT  
Deft of the *16th* of **January**, 2012  
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALY SIGNED AND SEALED.

THIS PLAN SHOWS HORIZONTAL GROUND LEVEL MEASURED DISTANCES EXCEPT WHERE OTHERWISE NOTED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND LEVEL DISTANCES BY THE COMBINED FACTOR 0.999598445

**OLSEN & ASSOCIATES - BRITISH COLUMBIA LAND SURVEYORS**

204 - 15585 24th Avenue, Surrey, B.C. V4A 2J4  
Phone: 531-4067 Fax: 531-5811

# SCHEDULE B

## SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW \_\_\_\_\_ OF ALL OR A PORTION OF:

- 1) LOT 57 PLAN 49745
  - 2) LOT 58 PLAN 49745
  - 3) PARCEL 'A' (REFERENCE PLAN 27509) LOT 32 PLAN 8895
  - 4) LOT 32 EXCEPT: FIRSTLY, PARCEL 'A' (REFERENCE PLAN 27509) SECONDLY, PARCEL 'M' (BYLAW PLAN 62662) PLAN 8895 THIRDLY, PART ON HIGHWAY PLAN 25810
  - 5) LOT 34 EXCEPT: FIRSTLY, PARCEL 'H' (BYLAW PLAN 62662); SECONDLY, PART ON PLAN 80P65711 PLAN 8895
  - 6) LOT 31 EXCEPT: FIRSTLY, PART SHOWN RED AND GREEN ON HIGHWAY PLAN 25810; SECONDLY, PARCEL 'M' (BYLAW PLAN 62662) PLAN 8895
- ALL OF SECTION 27 TOWNSHIP 1 NEW WESTMINSTER DISTRICT



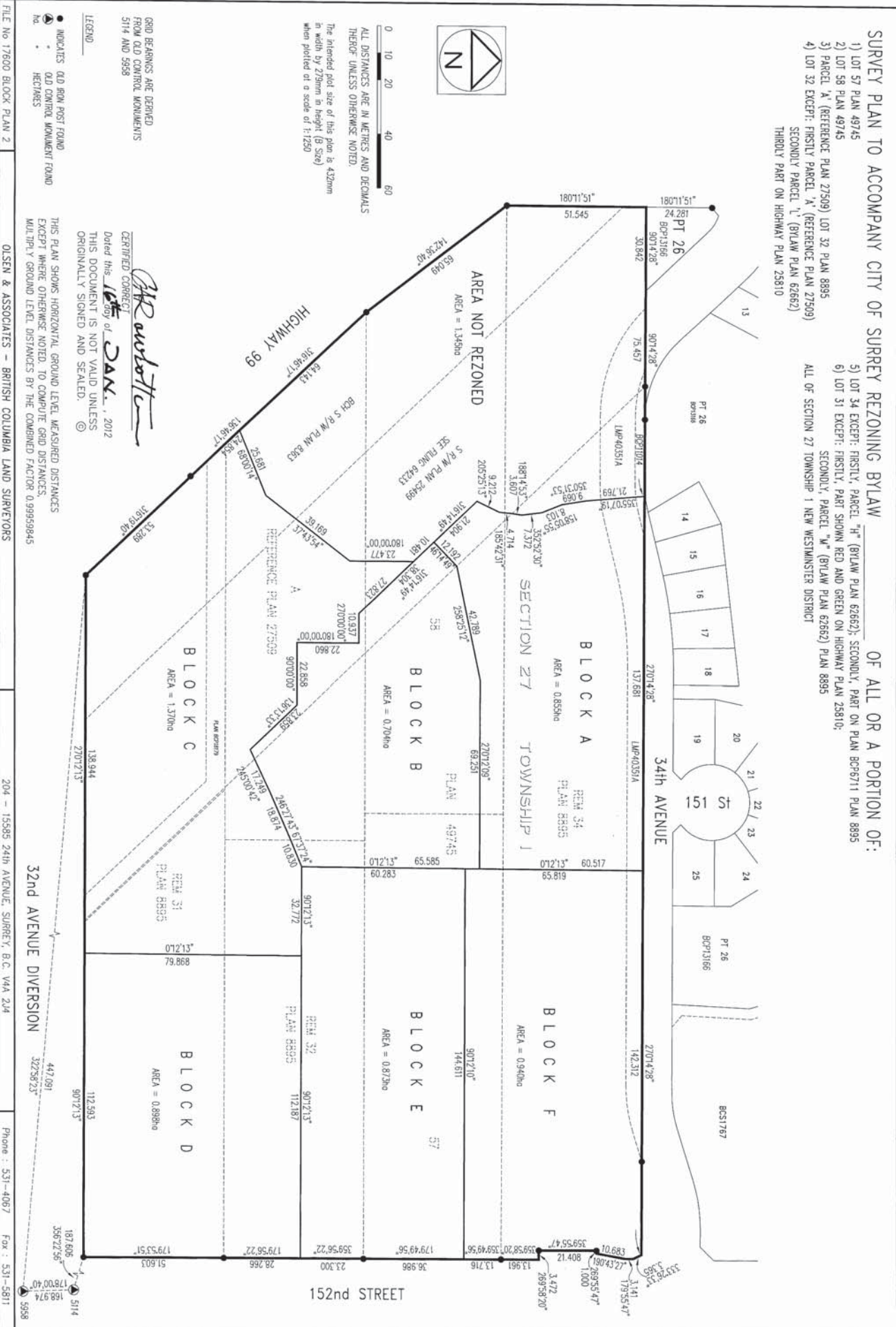
0 10 20 40 60  
 ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED

The intended plot size of this plan is 432mm in width by 279mm in height (B Size) when plotted at a scale of 1:1250

GRID BEARINGS ARE DERIVED FROM OLD CONTROL MONUMENTS 5114 AND 5958

LEGEND

- INDICATES OLD BORN POST FOUND
- INDICATES OLD CONTROL MONUMENT FOUND
- ▲ INDICATES OLD CONTROL MONUMENT FOUND
- INDICATES OLD CONTROL MONUMENT FOUND
- INDICATES OLD CONTROL MONUMENT FOUND
- INDICATES OLD CONTROL MONUMENT FOUND
- INDICATES OLD CONTROL MONUMENT FOUND



CERTIFIED CORRECT

Dated this 16th day of JAN., 2012

*APR subotta*

THIS PLAN SHOWS HORIZONTAL GROUND LEVEL MEASURED DISTANCES EXCEPT WHERE OTHERWISE NOTED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND LEVEL DISTANCES BY THE CORRECTION FACTOR 0.999959645

OLSEN & ASSOCIATES - BRITISH COLUMBIA LAND SURVEYORS

204 - 1595 24th AVENUE, SURREY, B.C. V4A 2V4

32nd AVENUE DIVERSION

Phone : 531-4067 Fax : 531-5811