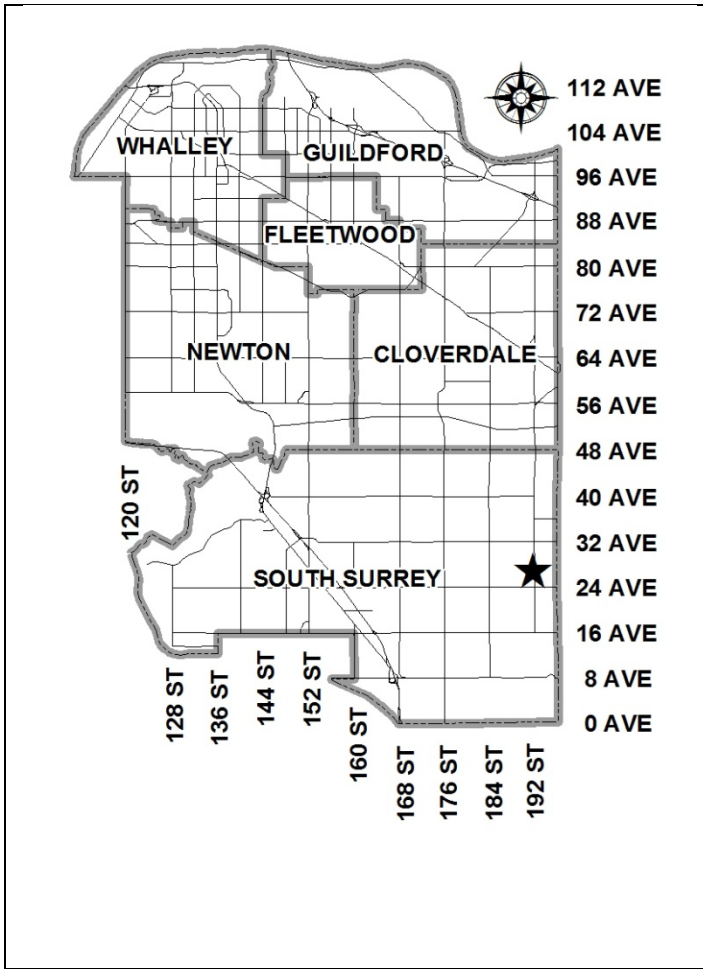


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0245-00

Planning Report Date: January 9, 2012



PROPOSAL:

- Amend CD By-law No. 16180
- Development Permit

to accommodate the development of two commercial/retail buildings, including a drive through restaurant on a site presently zoned to permit a gas station.

LOCATION:

2711 - 192 Street

OWNER:

0917483 BC Ltd., Inc. No. 0917483

ZONING:

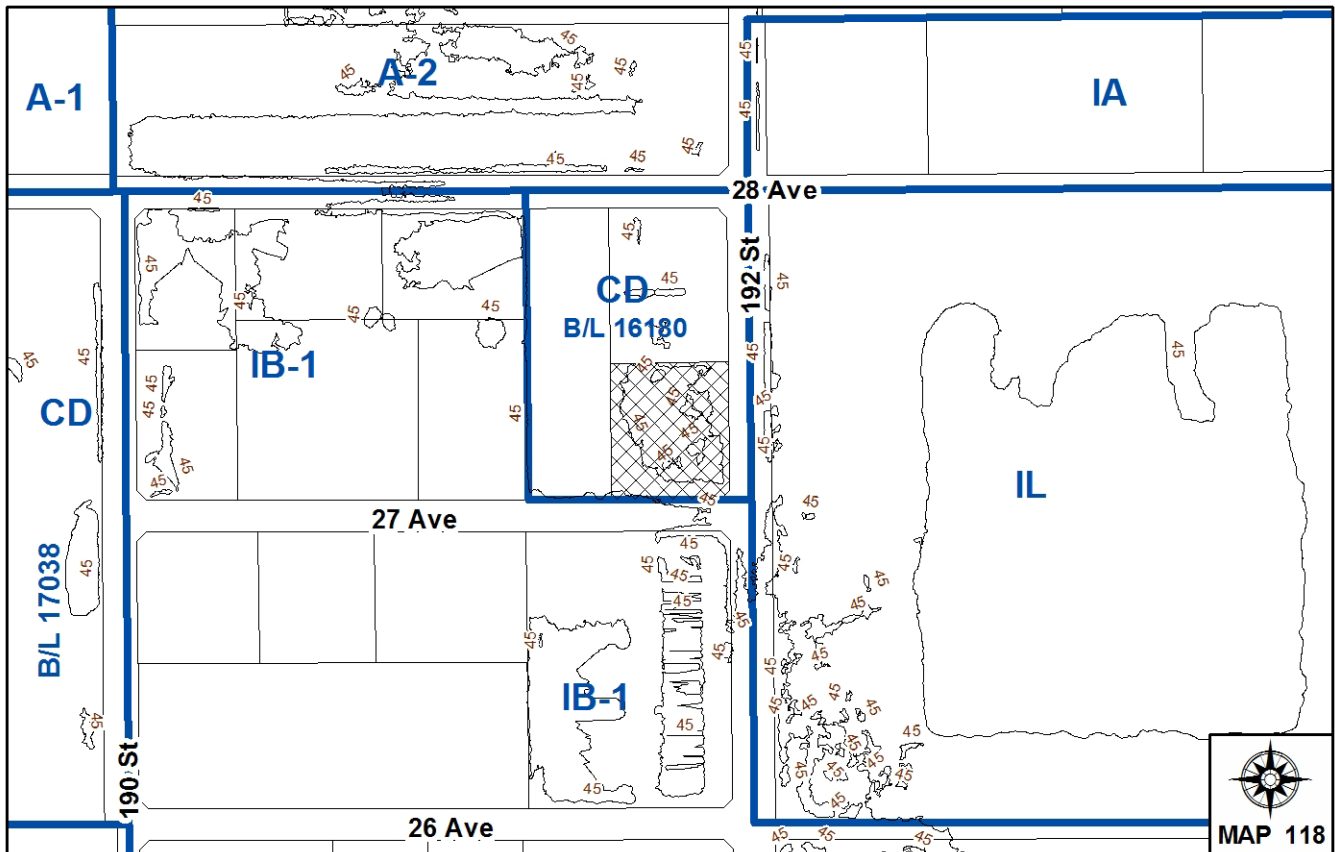
Comprehensive Development
 (Bylaw 16180)

OCP DESIGNATION:

Industrial

LAP DESIGNATION:

Commercial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for amending Comprehensive Development By-law No. 16180
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- The proposal complies with the Official Community Plan (OCP) and the Campbell Heights Local Area Plan (LAP) and is consistent with the established commercial land uses in the business park area.
- The form and character of the development meets the intent of the Campbell Heights Development Design Guidelines and will complement the existing commercial development directly to the north of the site.
- Amending the CD zone will enable the site's anchor tenant, Tim Horton's, to have a drive-through restaurant at the corner of 192 Street and 27 Avenue and attract other new commercial tenants to a previously undeveloped parcel.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend Comprehensive Development By-law No. 16180 and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7911-0245-00 generally in accordance with the attached drawings (Appendix IV).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Empty, undeveloped lot.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North:	Campbell Station commercial development.	Industrial/Commercial	CD
East (192 Street):	Latimer Park.	Conservation/City Park	IL
South (27 Avenue):	Industrial Strata Building.	Industrial/ Technology Park or Business Park	IB-1
West:	Industrial Strata Complex.	Industrial/ Technology Park or Business Park	CD

DEVELOPMENT CONSIDERATIONS

Background

- The development site is located in Campbell Height's commercial node, at the northwest intersection of 192 Street and 27 Avenue, across from Latimer Park. The site is designated "Industrial" in the Official Community Plan (OCP) and "Commercial" in the Campbell Heights Local Area Plan (LAP). The site, approximately 0.65 hectares (1.61 acres) in size, is vacant and clear of trees.
- In 2007, the property was rezoned from "Neighbourhood Commercial Zone (C-5)" to "Comprehensive Development (CD)" under application #7906-0201-00, as part of a larger three block development involving the properties directly north and west of the site.
- Blocks A and C are zoned to allow for a variety of commercial and industrial uses, while Block B, the subject site, is currently zoned to provide for a gas station, eating establishments (including drive-through restaurants limited to a gross floor area of 278 square metres {3,000 sq.ft.}) and accessory uses including retail stores, convenience stores and the sale of automotive accessories.
- Initially these uses were deemed complementary to the commercial/industrial zoning of Blocks A and C and appropriate for the central commercial node serving the larger Campbell Heights business park community. Unlike Blocks A and C, however, the subject site, Block B has never developed and remained vacant.

Proposal

- The new owner and applicant of the site has applied to amend the uses permitted in Block B of the CD zone by eliminating the gas station and accessory retail use and adding the commercial uses permitted under the C-5 Zone. The applicant has also applied to amend the size restriction (gross floor area) associated with eating establishments, including drive through restaurants, so that it is consistent with the C-5 zone.
- The amendment will ensure that Block B is identical to the "Neighbourhood Commercial" (C-5) Zone, with the exception that drive-through restaurants will continue to be a permitted use.
- The C-5 commercial zoning is appropriate for this Campbell Heights area as it will serve the commercial and retail needs of the larger business park community. The zoning is also consistent with the property to the north, (Block A in the CD zone) which allows for C-5 uses, as well as drive-through banks/ restaurants and a liquor store.
- The rezoning of Block B will allow the applicant to develop two concrete tilt up commercial buildings on-site; one of which will house the site's anchor tenant, a Tim Horton's drive-through restaurant. A Development Permit is required to regulate the form and character of the commercial buildings.

PRE-NOTIFICATION

- Pre-notification letters were sent out for this project on November 28, 2011. In response, staff received one letter from the Little Campbell Watershed Society on December 8, 2011.

- While the Society is of the opinion that development will have little impact on the Little Campbell River (sanitary sewer and storm water management systems are already installed on-site), the developer has been asked to consider adding permeable paving to the parking lot to reduce vehicle oils, heavy metals and hydrocarbons from entering the storm drains. The Society also advocates the installation of on-site oil/water separators on the parking lot to prevent contaminants entering the system.

(Staff note while it is not possible to use porous materials throughout the site, bioswales and oil/water separators will be installed on the property to improve storm water quality and on-site drainage.)

DESIGN PROPOSAL AND REVIEW

- The form and character of the two proposed commercial buildings on site meet the intent of the Campbell Heights Development Design Guidelines and largely conform to the site's CD Bylaw. In particular, the applicant has worked closely with staff to improve the appearance of the buildings from the street and to enhance and improve pedestrian connectivity on site.
- Specifically, Building D, the larger of the two buildings, will be oriented along 27 Avenue and will contain the site's anchor tenant – a Tim Horton's drive through restaurant at the corner of 192 Street and 27 Avenue. The building will measure 671.50 m² (7,227.97 ft²) in area and face north toward the interior of the parking lot. Consequently the drive aisle/queuing lane for the proposed drive-through restaurant will wrap around the southern, back face of the building fronting 27 Avenue.
- Detailed attention has therefore been paid to the finishing and treatment of building facade facing the street. In particular, glazing and spandrel glass treatment will be used to animate and add visual interest along the drive-through aisle at the rear of Building D. This treatment will be supplemented by landscaping to minimize the appearance of menu boards, electronic ordering kiosks and trash can receptacles from passing vehicles and pedestrians on the street.
- Building E, the smaller of the two buildings on-site, will also be oriented on an east/west basis with the front entries to retail units facing interior of the parking lot and will measure 320.00 m² (3,444.45 ft²) in area. Consequently, the side of building E will face 192 Street, a major arterial road or thoroughfare in Campbell Heights as well as Latimer Park.
- In response, the east side of Building E, facing 192 Street, will be finished in vision and/or spandrel glass for a more inviting and dynamic street front presence. This area too will be supplemented by landscaping and metal and glass weather protection canopies.
- Under the Campbell Heights design guidelines, commercial buildings are also required to be located close to the street in order to create a strong architectural edge. At staff's suggestion Building E was moved forward on the site and placed side alongside the commercial building on Block A (north) in order to provide a more unified street frontage.
- As a result of Building E's placement, the north yard side yard setback in the CD zone for Block B will need to be amended from 7.5 metres (25 ft.) to 3.0 metres (10 ft). The reduced setback is however supportable given the new location improves on-site CPTED principles and will allow Blocks A and B to be read as one larger commercial site.

- The buildings will also use high-quality finishes and materials including concrete panels, glass and wood canopies, cultured stone, metal doors, frames and trellises, storefront windows and extensive glazing. The building will be finished in a neutral colour scheme of cream, sage green, beige, and black. The style and colours of the development will also correspond and complement the existing commercial buildings in Block A.
- The parking area will include 86 stalls which is sufficient to accommodate a variety of commercial and retail uses. The two free-standing signs proposed along 192 Street and 27 Avenue will match the existing signs on Blocks A and C. Each of the free standing signs will sit atop of a cultured stone base, framed with decorative wood posts and cross beams. Collectively these signs and all of the fascia signs proposed for Buildings D and E will comply with the Sign By-law.

Landscaping

- Along with decorative paving at the entrances to site, a raised pedestrian sidewalk connection finished in stamped concrete will link both Buildings D and E, as well as commercial Blocks A and B.
- Two 7.5 metre (25 ft) landscaping strips at 192 Street and 27 Avenue will be planted on-site in keeping with the LAP guidelines; and a total of fifteen (15) new trees, with various shrubs, grasses and flowering plants will provide soft landscaping, texture and shade on site. Trees and landscaped islands will further improve the visual appearance of the parking lot area in keeping with OCP policies.
- The landscaping plan also calls for trailing vines in some of the metal work trellises attached to some of the building facades. In addition to decorative enclosures, the site's garbage and incorporate recycling areas will be screened by green hedges.

SUSTAINABILITY CHECKLIST

- On December 1, 2011 the applicant prepared and submitted a sustainable development checklist for the site.
- While there are limited opportunities to use environmental technologies - the property was cleared and pre-serviced as part of the Campbell Heights Phase I development - the development will make use of CPTED "Crime Prevention Through Environmental Design" principles and recycling and organic waste facilities and programs.
- The site will also incorporate low impact development methods such as bioswales to help filter parking lot storm water runoff. The proposed on-site bioswales will extend more than 50% of the project's frontage along 192 Street.

ADVISORY DESIGN PANEL

- This application was not referred to the Advisory Design Panel, given the design standards and high quality materials proposed for the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III	Engineering Summary
Appendix IV	CD By-law Amendment

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

HP/kms

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DEVELOPMENT DATA SHEET

Proposed Zoning: CD Zone

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	6,502.23 m ²	6,502.23 m ²
Road Widening area		
Undevelopable area		
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	30%	15.2%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
North	3.0 m	3.0 m
South	7.5 m	13.3 m
East	7.5 m	11.24 m
West	7.5 m	19.24 m
BUILDING HEIGHT (in metres/storeys)		
Principal	9 m	6 m
Accessory	4 m	3 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial	991.50 m ²	991.50 m ²
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA	991.50 m ²	991.50 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
FAR	.30	.15
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		86
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		86
Number of disabled stalls		3
Number of small cars		16
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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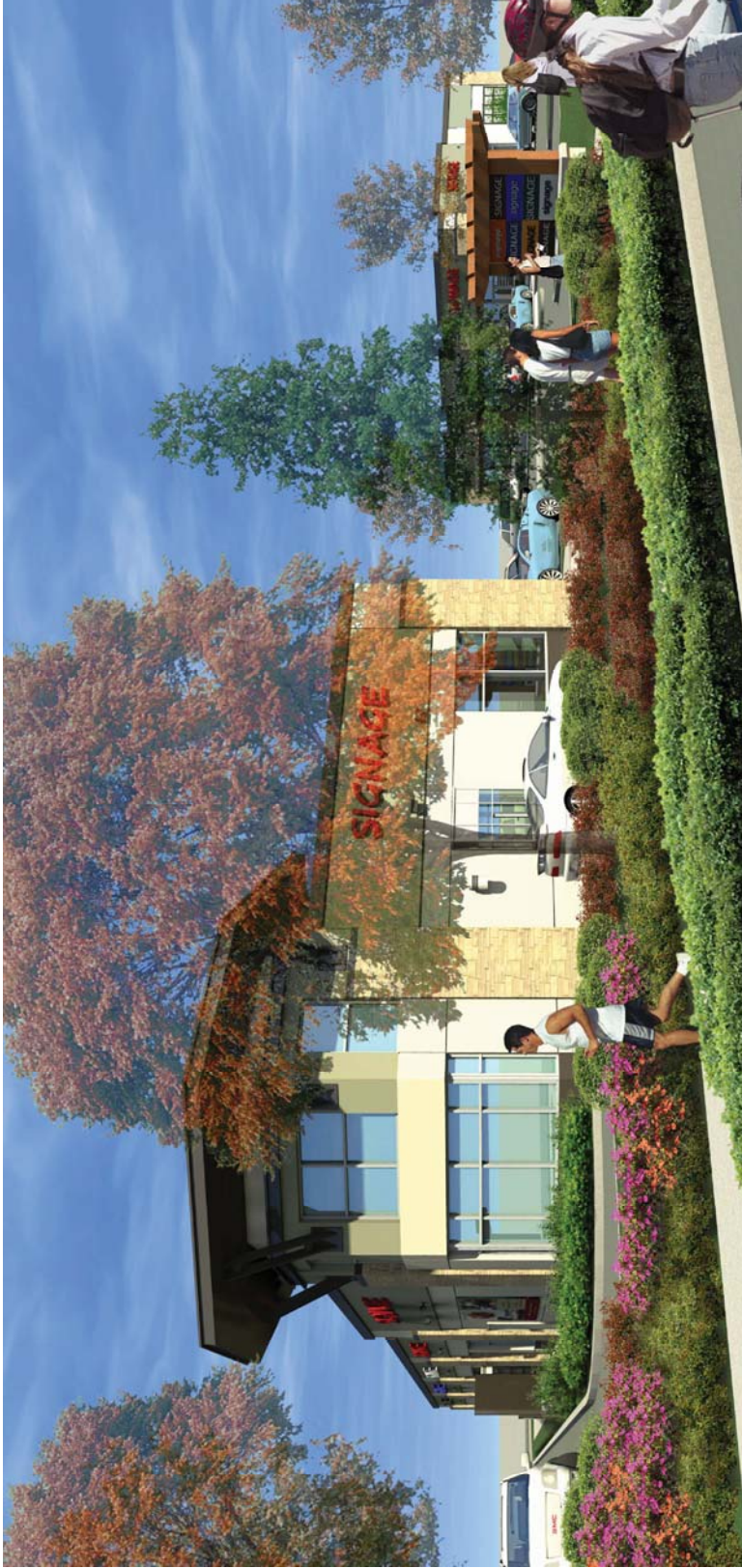
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**CAMPBELL
STATION**
2711-192 STREET
SURREY, BC

Cover Page

DATE: DECEMBER 16, 2
SCALE:
PROJECT #: 11

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DRAWING LIST

ARCHITECTURAL:

- A-0.0 COVER SHEET
- A-0.1 CONTEXT PHOTOGRAPHS
- A-1.1 SURVEY
- A-1.2 OVERALL SITE PLAN
- A-1.3 SITE PLAN / CONTEXT MAP
- A-2.1 BUILDING D
- A-2.2 BUILDING D
- A-2.3 BUILDING D
- A-2.4 BUILDING E
- A-2.5 BUILDING E
- A-3.1 BUILDING SECTIONS
- A-4.1 STREET ELEVATIONS
- A-4.2 STREET ELEVATIONS
- A-5.1 PYLON SIGN

LANDSCAPE:

- L-1 TREE PLAN
- L-2 SHRUB PLAN
- L-3 DETAILS
- L-4 LANDSCAPE SPECIFICATIONS



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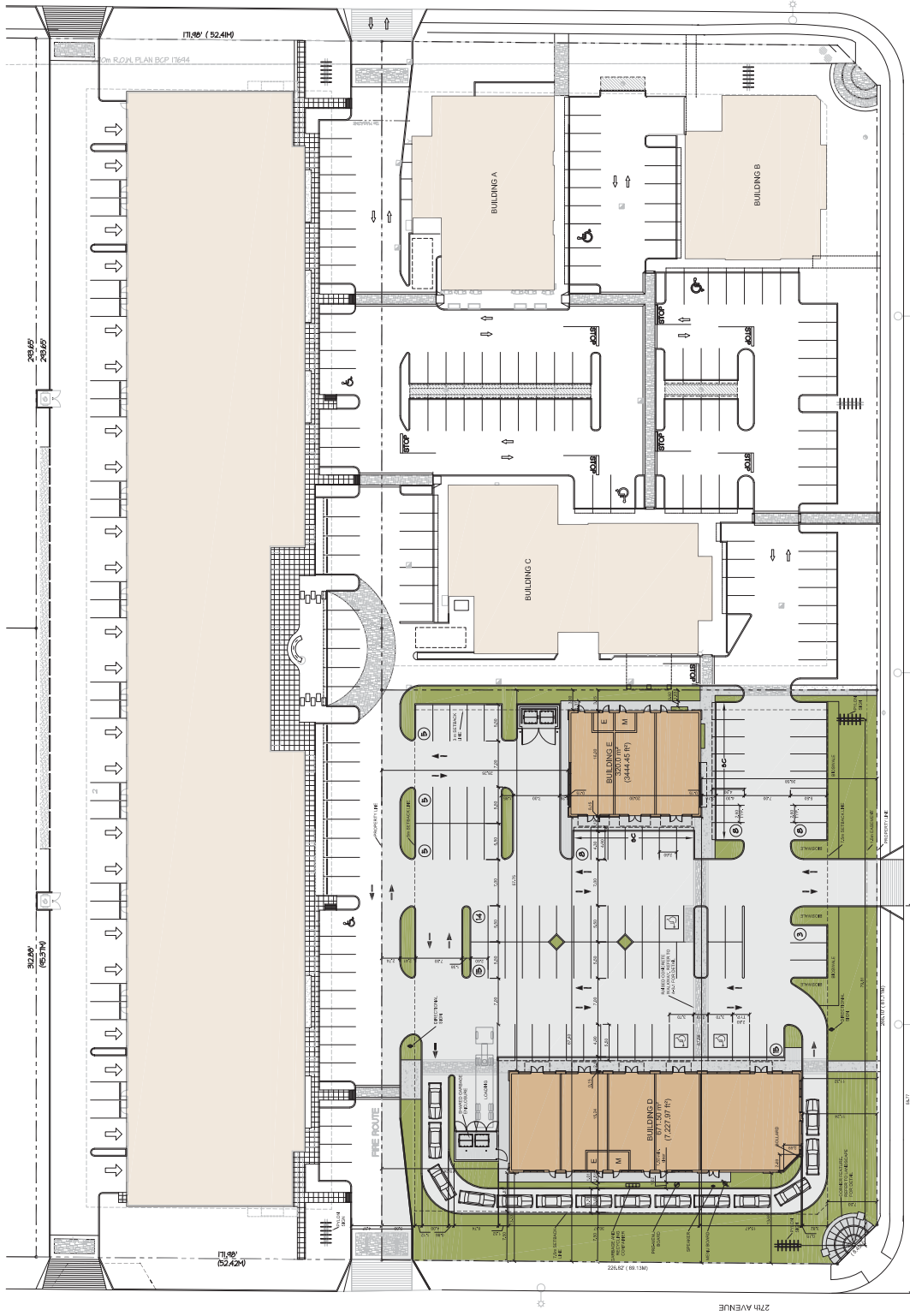
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**CAMPBELL
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2711-192 STREET
SURREY, BC

**Overall Site
Plan**

DATE: DECEMBER 16, 2011
SCALE: AS NOTED
PROJECT #: 11020

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OVERALL SITE PLAN
SCALE: 1:300





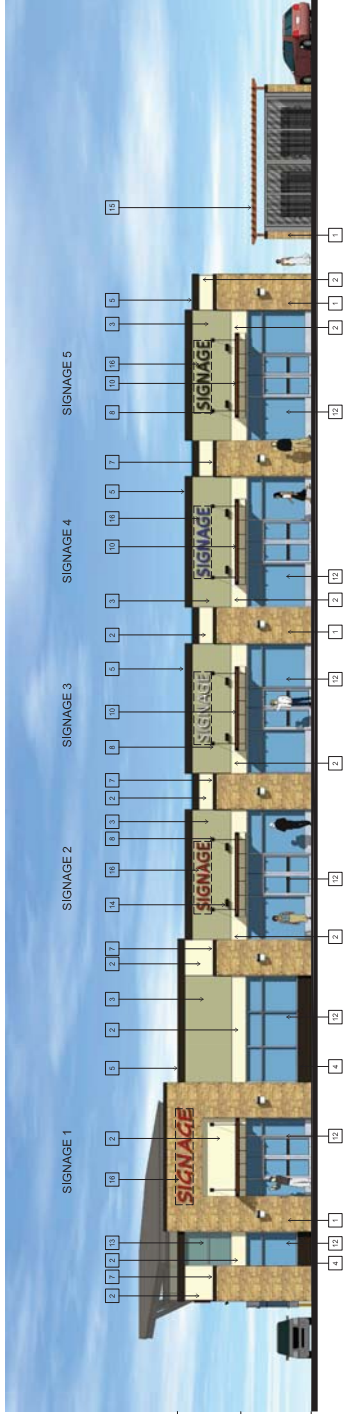
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**CAMPBELL
STATION
2711-192 STREET
SURREY, BC**

**Building D
Plan and
Elevations**

DATE: DECEMBER 16, 2011
SCALE:
PROJECT #: 11020



NORTH ELEVATION
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100

FINISH LEGEND AND COLOUR SCHEDULE:

1	CULTURED STONE	0406 CORNFIELD (CS0406)
2	CONCRETE PANEL - FIELD	BM 2196-05 SILVER FOX
3	CONCRETE PANEL - VERTICAL	BM 2196-05 STRIBOST
4	CONCRETE PANEL - BASE	BM 2196-05 BLACK TOP
5	PAINT FINISHED METAL CAP FLASHING	BLACK (C00000)
6	PAINT FINISHED METAL BRACKSHIRE	BLACK (C00000)
7	PRECAST CONCRETE CAP	INTERNAL 'SHIMITE' COLOUR
8	GLASS CANOPY, SUPPORTS AND FASTENERS	POWER COATED BLACK
9	METAL CANOPY MEMBERS	BLACK (C00000)

10	WOOD CANOPY MEMBERS	NATURAL TRANSPARENT SEAL
11	METAL DOORS AND FRAMES	PAINTED TO MATCH BM 2196-05
12	STONEPOINT DOWNBROW FRAMES	CLEAR ANODIZED
13	STONEPOINT SPANREL	SILVER REFLECTIVE COAT
14	LIGHTING	BLACK - FACTORY FINISH
15	WOODEN TRILLER	NATURAL TRANSPARENT SEAL
16	SPRANG - TO CITY OF SURREY FLOOR FINISHES	BY TENANT
17	CONCRETE WALL	BM 2196-05 SILVER FOX

*ALL WALLING FINISHES TO BE 750A.
**ALL EXPOSED WOOD TO BE PRESSURE TREATED

SIGNAGE ANALYSIS

NORTH ELEVATION

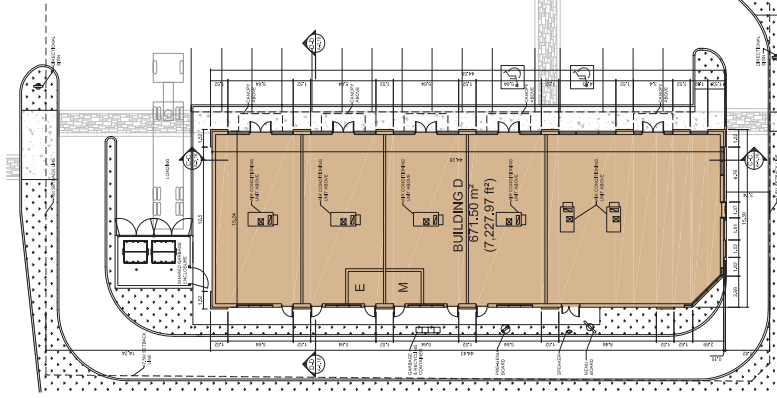
BLDG. WIDTH	PERMITTED SIGN AREA / FRONTAGE	TOTAL SIGN AREA / PERMITTED FRONTAGE
44.28 M	0.3 SQ. M	13.28 SQ. M

PROPOSED:	BLDG. WIDTH	SIGN AREA / FRONTAGE	TOTAL SIGN AREA / PERMITTED FRONTAGE
SIGNAGE 1	0.78 x 2.15	1.68 SQ. M	1.68 SQ. M
SIGNAGE 2	0.78 x 2.15	1.68 SQ. M	3.36 SQ. M
SIGNAGE 3	0.78 x 2.15	1.68 SQ. M	5.04 SQ. M
SIGNAGE 4	0.78 x 2.15	1.68 SQ. M	6.72 SQ. M
SIGNAGE 5	0.78 x 2.15	1.68 SQ. M	8.40 SQ. M
TOTAL			13.28 SQ. M

EAST ELEVATION

BLDG. WIDTH	PERMITTED SIGN AREA / FRONTAGE	TOTAL SIGN AREA / PERMITTED FRONTAGE
15.24 M	0.3 SQ. M	4.57 SQ. M

PROPOSED:	BLDG. WIDTH	SIGN AREA / FRONTAGE	TOTAL SIGN AREA / PERMITTED FRONTAGE
SIGNAGE 1	0.78 x 4.18	3.18 SQ. M	3.18 SQ. M



PLAN
SCALE: 1:200





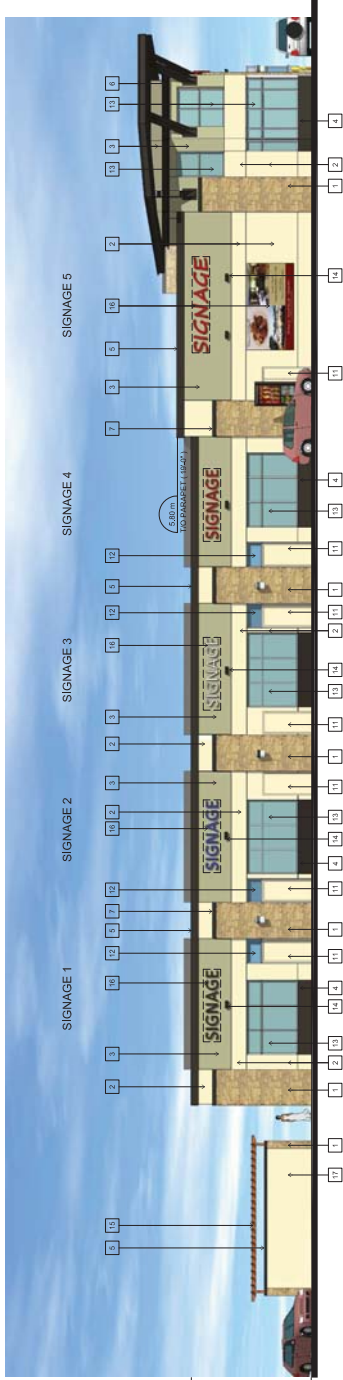
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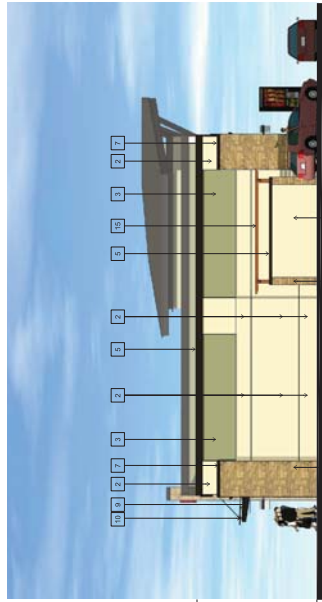
**CAMPBELL
STATION**
2711-192 STREET
SURREY, BC

**Building D
Plan and
Elevations**

DATE: DECEMBER 16, 2011
SCALE:
PROJECT #: 11020



SOUTH ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100

SIGNAGE ANALYSIS

SOUTH ELEVATION

REQUIRED:		TOTAL SIGN	
BUILDING HEIGHT	PERMITTED SIGNAGE AREA / FRONTAGE	PERMITTED SIGNAGE AREA / FRONTAGE	PERMITTED SIGNAGE AREA / FRONTAGE
44.28M	0.3 SO.M	13.28 SO.M	

PROPOSED:		TOTAL SIGN	
SIGNAGE 1	SIGNAGE 2	SIGNAGE 3	SIGNAGE 4
0.76 x 3.15	2.39 SO.M	0.76 x 3.15	2.39 SO.M
0.76 x 3.15	2.39 SO.M	0.76 x 3.15	2.39 SO.M
0.76 x 3.15	2.39 SO.M	0.76 x 3.15	2.39 SO.M
0.76 x 4.16	1.18 SO.M		
TOTAL		12.72 SO.M	

FINISH LEGEND AND COLOUR SCHEDULE

1. CULTURED STONE	10. POLYURETHANE D. COLOURS	14. POLYURETHANE FINISHES	18. NATURAL TRANSPARENT GEL
2. CONCRETE PANEL - FIELD	11. BRICKS - BRICKWORK	15. METAL COLOURS AND FINISHES	19. PAINTED TRANSLUCENT BRICKWORK
3. CONCRETE PANEL - ACCENT	12. CONCRETE PANEL - ACCENT	16. STAINLESS STEEL WINDOW FINISHES	20. CLEAR FINISHES
4. CONCRETE PANEL - BUCKSTOP	13. BRICKS - BUCKSTOP	17. STONEFRONT FINISHES	21. ALL-WEATHER COAT
5. FINISHED METAL CAP FINISHES	14. BRICKS - BUCKSTOP	18. STONEFRONT FINISHES	22. ALL-WEATHER COAT
6. FINISHED METAL WINDOW	15. BRICKS - BUCKSTOP	19. STONEFRONT FINISHES	23. BLACK FINISHES
7. FINISHED CONCRETE CAP	16. BRICKS - BUCKSTOP	20. STONEFRONT FINISHES	24. BLACK FINISHES
8. FINISHED CONCRETE BUCK	17. BRICKS - BUCKSTOP	21. STONEFRONT FINISHES	25. BLACK FINISHES
9. METAL CAPPI MEMBERS	18. BRICKS - BUCKSTOP	22. STONEFRONT FINISHES	26. BLACK FINISHES

* ALL UNPAINTED WOOD TO BE PRESERVE TREATED



PERSPECTIVE - VIEW LOOKING NORTH-WEST
SCALE: NTS



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CAMPBELL STATION

2711-192 STREET
SURREY, BC

Building D Perspectives

DATE: DECEMBER 16, 2011
SCALE:
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PERSPECTIVE - VIEW LOOKING SOUTH-WEST
SCALE: NTS



PERSPECTIVE - VIEW LOOKING SOUTH-EAST
SCALE: NTS



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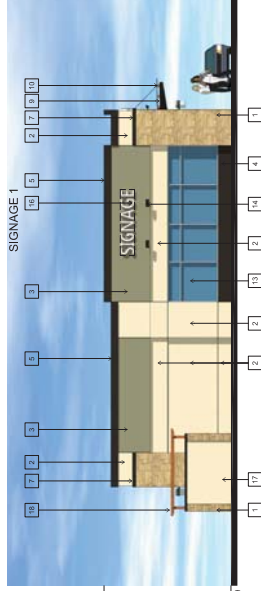
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**CAMPBELL
STATION**
2711-192 STREET
SURREY, BC

**Building E
Plan and
Elevations**

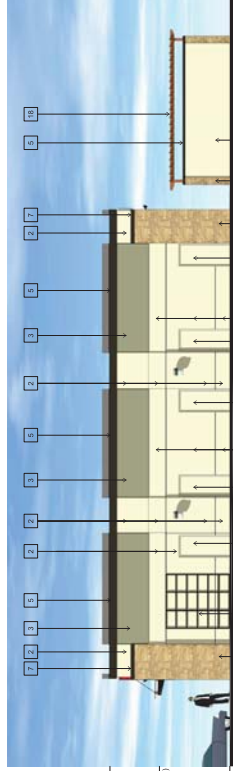
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PROJECT #: 11020

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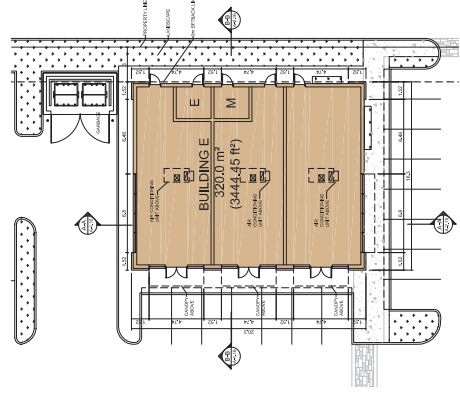


WEST ELEVATION
SCALE: 1/100

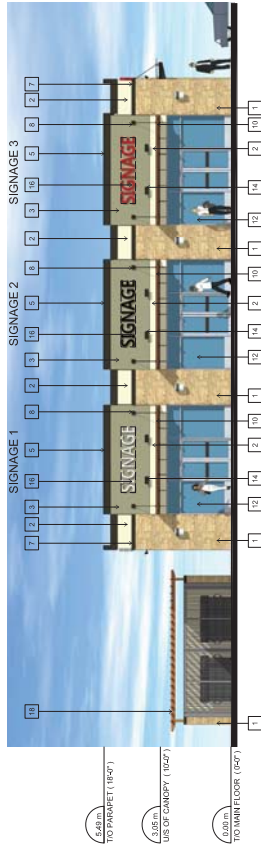
REQUIRED:		TOTAL SIGN AREA / AREA PERMITTED	
BLDG. WIDTH	16.30 M	0.62 x 2.85	1.76 SQ.M
PROPOSED:		SIGNAGE 1 0.62 x 2.85 1.76 SQ.M	
TOTAL		4.89 SQ.M	



NORTH ELEVATION
SCALE: 1/100

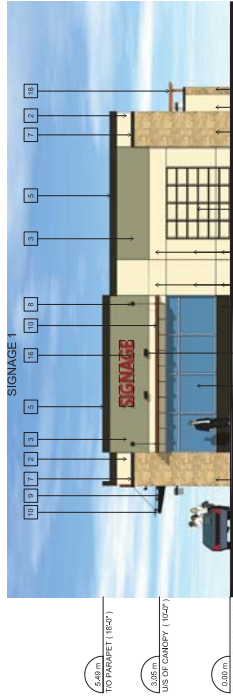


PLAN
SCALE: 1/200



SOUTH ELEVATION
SCALE: 1/100

REQUIRED:		TOTAL SIGN AREA / AREA PERMITTED	
BLDG. WIDTH	16.30 M	0.3 x 8.469	2.54 SQ.M
PROPOSED:		SIGNAGE 1 0.62 x 2.85 1.76 SQ.M	
SIGNAGE 2 0.62 x 2.85 1.76 SQ.M		SIGNAGE 3 0.62 x 2.85 1.76 SQ.M	
TOTAL		5.28 SQ.M	



EAST ELEVATION
SCALE: 1/100

REQUIRED:		TOTAL SIGN AREA / AREA PERMITTED	
BLDG. WIDTH	16.30 M	0.3 x 2.85	0.85 SQ.M
PROPOSED:		SIGNAGE 1 0.62 x 2.85 1.76 SQ.M	
TOTAL		2.61 SQ.M	

FINISH LEGEND AND COLOUR SCHEDULE:

1	CULTURED STONE	10	WOOD CANOPY MEMBERS	NATURAL TRANSPARENT SEAL
2	CONCRETE PANEL - FIELD	11	METAL DOORS AND FRAMES	PAINTED TO MATCH BM 270640
3	CONCRETE PANEL - ACCENT	12	STOREFRONT DOOR/WINDOW FRAMES	CLEAR ANODIZED
4	CONCRETE PANEL - LINE	13	STOREFRONT SPANREL	SLIVER REFLECTIVE COAT
5	PREFINISHED METAL CAP FLASHING	14	UP-TURN	BLACK - FACTORY FINISH
6	PREFINISHED METAL BREAKAWAY	15	METAL TRUSS FASTENED TO CONCRETE	BLACK GC-4098
7	PRECAST CONCRETE CAP	16	SPRINGS - TO CITY OF SURREY REQUIREMENTS	BY TRIMAT
8	GLASS CANOPY SUPPORTS AND FASTENERS	17	CONCRETE WALL	BM 23845 SILVER FOX
9	METAL CANOPY MEMBERS	18	WOODEN TRUSS	NATURAL TRANSPARENT SEAL
		19	WOODEN TRUSS	NATURAL TRANSPARENT SEAL

* ALL METALS TO BE PRESSURE TREATED
** ALL EXPOSED WOOD TO BE PRESSURE TREATED



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OCTOBER 3, 2011

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NOVEMBER 21, 2011

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DECEMBER 5, 2011

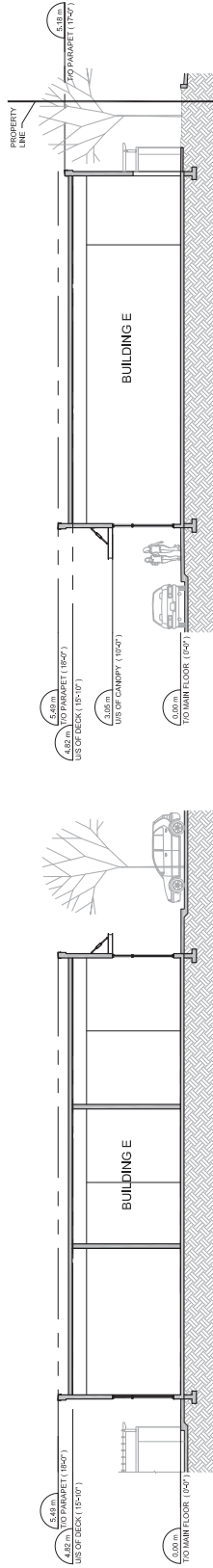
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**CAMPBELL
STATION**
2711-192 STREET
SURREY, BC

**Building
Sections**

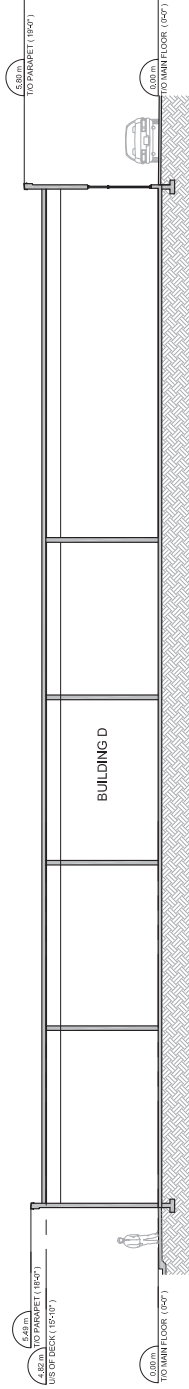
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SCALE:
PROJECT #: 11020

A-3.1

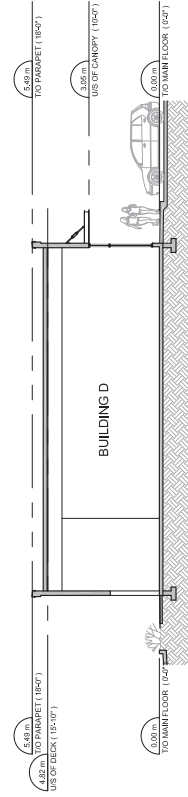


BUILDING E - SECTION B-B
SCALE: 1:100

BUILDING E - SECTION A-A
SCALE: 1:100



BUILDING D - SECTION C-C
SCALE: 1:100



BUILDING D - SECTION D-D
SCALE: 1:100



RAISED CONCRETE WALKWAY DETAIL
SCALE: 1:20



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DECEMBER 16, 2011

**CAMPBELL
STATION**
2711-192 STREET
SURREY, BC

**Street
Elevations**

DATE: DECEMBER 16, 2011
SCALE: AS SHOWN
PROJECT #: 11020

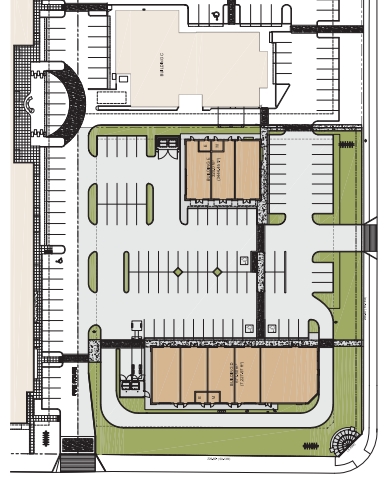
A-4.1



STREET ELEVATIONS - 192nd STREET
SCALE: 1:100



STREET ELEVATIONS - 27th AVENUE
SCALE: 1:100



KEY PLAN
SCALE: NTS



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DECEMBER 16, 2011

**CAMPBELL
STATION**
2711-192 STREET
SURREY, BC

**Street
Elevations**

DATE: DECEMBER 16, 2011
SCALE: AS SHOWN
PROJECT #: 11020

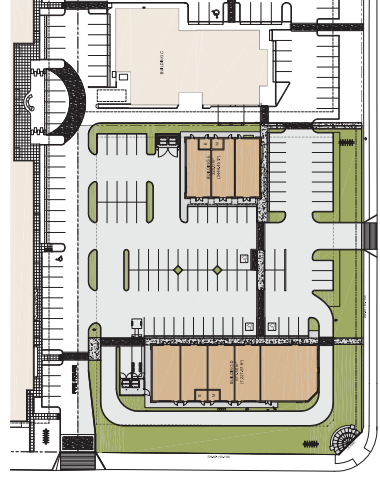
A-4.2



STREET ELEVATIONS - NORTH
SCALE: 1/100



STREET ELEVATIONS - WEST
SCALE: 1/100



KEY PLAN
SCALE: NTS



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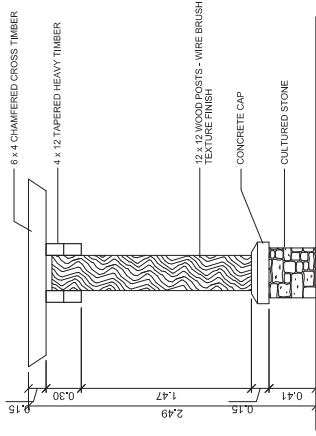
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DECEMBER 16, 2011

**CAMPBELL
STATION**
2711-192 STREET
SURREY, BC

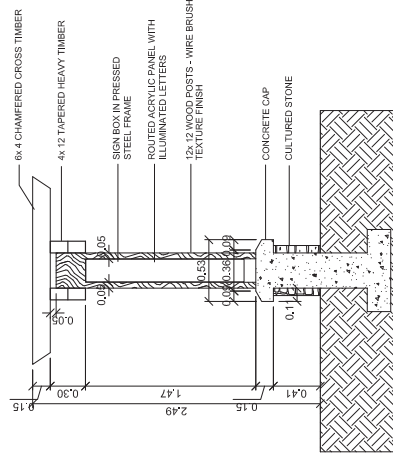
Pylon Sign

DATE: DECEMBER 16, 2011
SCALE:
PROJECT #: 11020

A-5.1

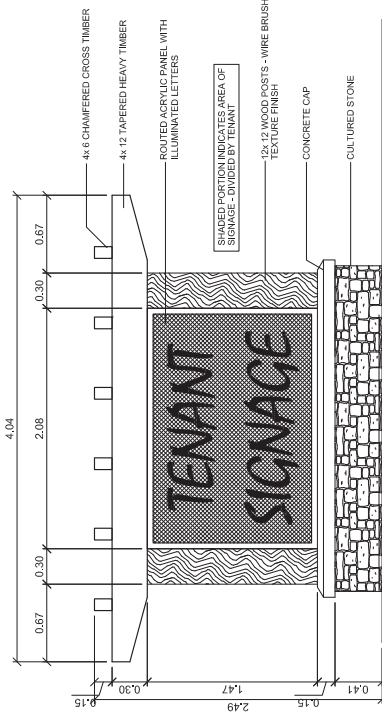


SIDE ELEVATION
SCALE: 1:30

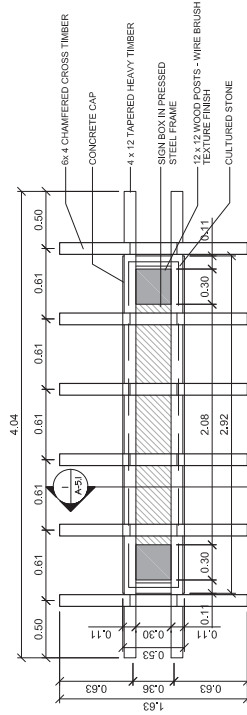


SECTION - 1
SCALE: 1:30

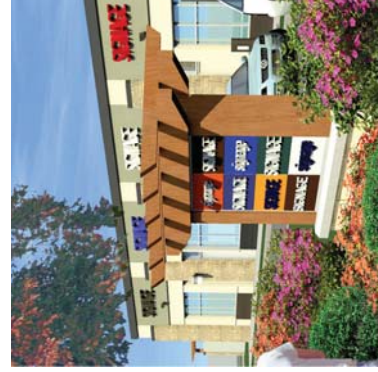
SIGNAGE AREA PER SIDE: 3.06 m² (33 ft²)



FRONT ELEVATION
SCALE: 1:30



PLAN
SCALE: 1:30



PERSPECTIVE
SCALE: NTS

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NO.	DATE	REVISION / DESCRIPTION	DR.
1	11.06.12	CITY COMMENTS	TZ
2	11.06.12	CITY COMMENTS	ATUL
3	11.06.12	CITY COMMENTS	TZ
4	11.06.12	NEW SITE PLAN	TZ
5	11.06.12	SUBMIT FOR DP	TZ
6	11.06.12	SUBMIT FOR DP	TZ



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 Suite C100 - 4885 BC Oxxen Drive
 Burnaby, BC V5A 4G4
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 (604) 437-5969

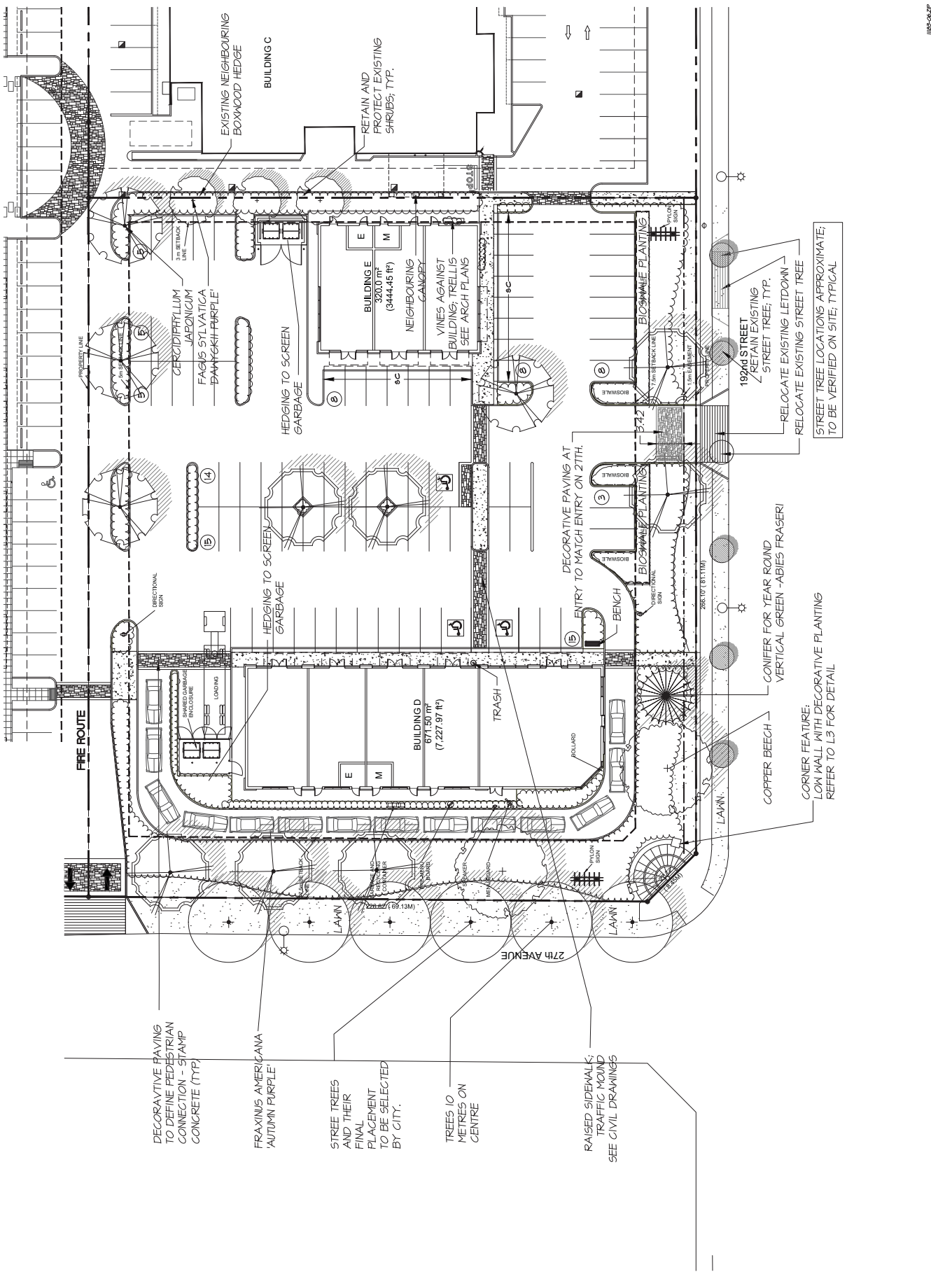
TIM HORTONS
CAMPBELL STATION
SURREY, BC

TREE PLAN

DATE:	11.07.08	DRAWING NUMBER:	
SCALE:	1:250		
DRAWN:	TZ		
DESIGN:	TZ		
CHECK:	MM		

L1

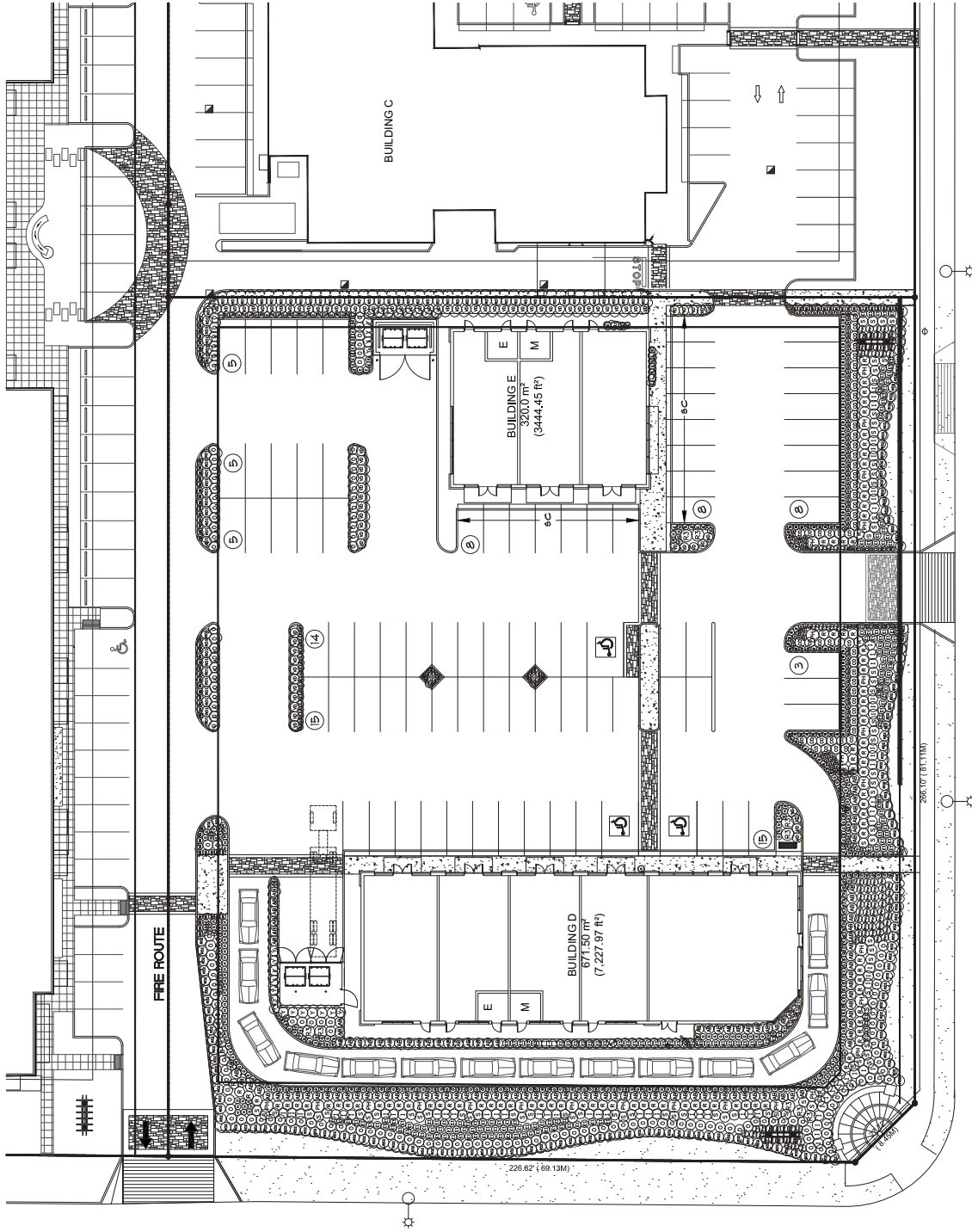
OF 4
 DMG PROJECT NUMBER: **11-83**



- DECORATIVE PAVING TO DEFINE PEDESTRIAN CONNECTION - STAMP CONCRETE (TYP)
- FRAXINUS AMERICANA 'AUTUMN PURPLE'
- STREET TREES AND THEIR FINAL PLACEMENT TO BE SELECTED BY CITY.
- TREES 10 METRES ON CENTRE
- RAISED SIDEWALK; TRAFFIC ROUND SEE CIVIL DRAWINGS
- DECORATIVE PAVING AT ENTRY TO MATCH ENTRY ON 27TH.
- CONIFER FOR YEAR ROUND VERTICAL GREEN - ABIES FRASERI
- COPPER BEECH
- CORNER FEATURE; LOW WALL WITH DECORATIVE PLANTING REFER TO L3 FOR DETAIL
- RELOCATE EXISTING STREET TREE TO BE VERIFIED ON SITE; TYPICAL.

11-83-02.P

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NO.	DATE	REVISION DESCRIPTION	BY
1			
2			
3			
4			
5			

DMG
landscape architects
A Partnership of
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TIM HORTONS
CAMPBELL STATION
SURREY, BC

SHRUB
PLAN

DATE:	11/26/20
DRAWING NUMBER:	L2
DRAWN:	KRM
DESIGN:	TZ
CHECK:	

DMG PROJECT NUMBER: 11-183
OF 4

IMP-002P

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 15, 2011** PROJECT **7811-0245-00**
FILE:

RE: **Engineering Requirements (Commercial)
Location: 2711-192 Street**

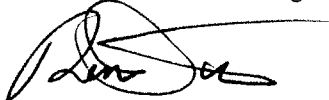
REZONE

The applicant will be required to provide road dedication and statutory right-of-way on 192 Street to provide area for the future upgrade of the roadway.

The site plan is to detail the modification necessary to the existing reciprocal access easement at 192 Street, show the existing access easement shared with the westerly lands, and confirm and demonstrate need for shared parking easement with the northerly lands.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

KH

CITY OF SURREYBY-LAW NO. _____

A by-law to amend "Surrey Zoning By-law, 1993, No. 12000,
Amendment By-law, 16180, No. 12000"
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law 16180, No. 12000" is hereby amended as follows:

Part 2, Section B. Permitted Uses is amended by inserting new sub-section 2 immediately following sub-section 1 as follows:

"2. Block B

- (a) The following uses are permitted provided that the gross floor area of each individual business does not exceed 370 square metres [4,000 sq.ft.].

i. *Retail stores* excluding the following:

- a. *Adult entertainment stores*; and
- b. Auction houses;
- c. *Secondhand stores and pawnshops*.

ii. *Personal service uses* limited to the following:

- a. Barbershops;
- b. Beauty parlours;
- c. Cleaning and repair of clothing; and
- d. Shoe repair shops;

iii. *Eating establishments* including *drive-through restaurants*;

iv. *Neighbourhood pub*;

v. Office uses excluding the following:

- a. *Social escort services*; and
- b. *Methadone clinics*;

- vi. *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
 - vii. *Indoor recreational facilities*;
 - viii. *Community Services*; and
 - ix. *Child care centres*
- (b) One *dwelling unit* per *lot* provided that the *dwelling unit* is:
- i. Contained within the *principal building*; and
 - ii. Occupied by the owner or the owner's employee, for the protection of the businesses permitted on the *lot*."

Part 2, Section F. Yards and Setbacks is amended by inserting new sub-section 2 immediately following sub-section 1 as follows:

"2. Block B

- (a) North Yard – 3.0 metres {10 feet};
- (b) South Yard – 7.5 metres {25 feet};
- (c) East Yard – 7.5 metres {25 feet}; and
- (d) West Yard – 7.5 metres {25 feet}."

3. This By-law shall be cited for purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law _____, No. _____, Amendment By-law, 2001, No. _____."

PASSED FIRST AND SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK