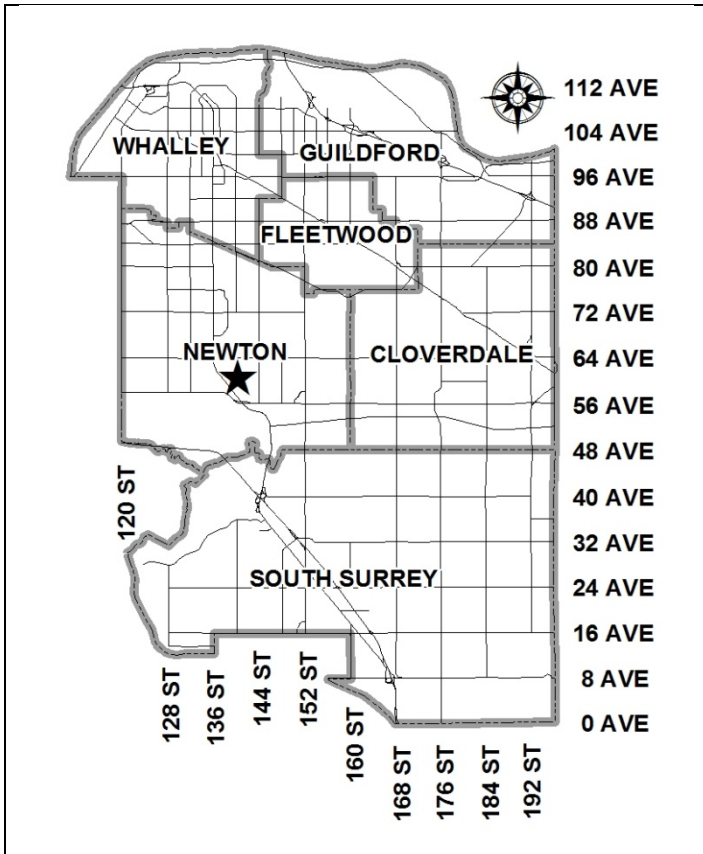


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0247-00

Planning Report Date: January 28, 2013

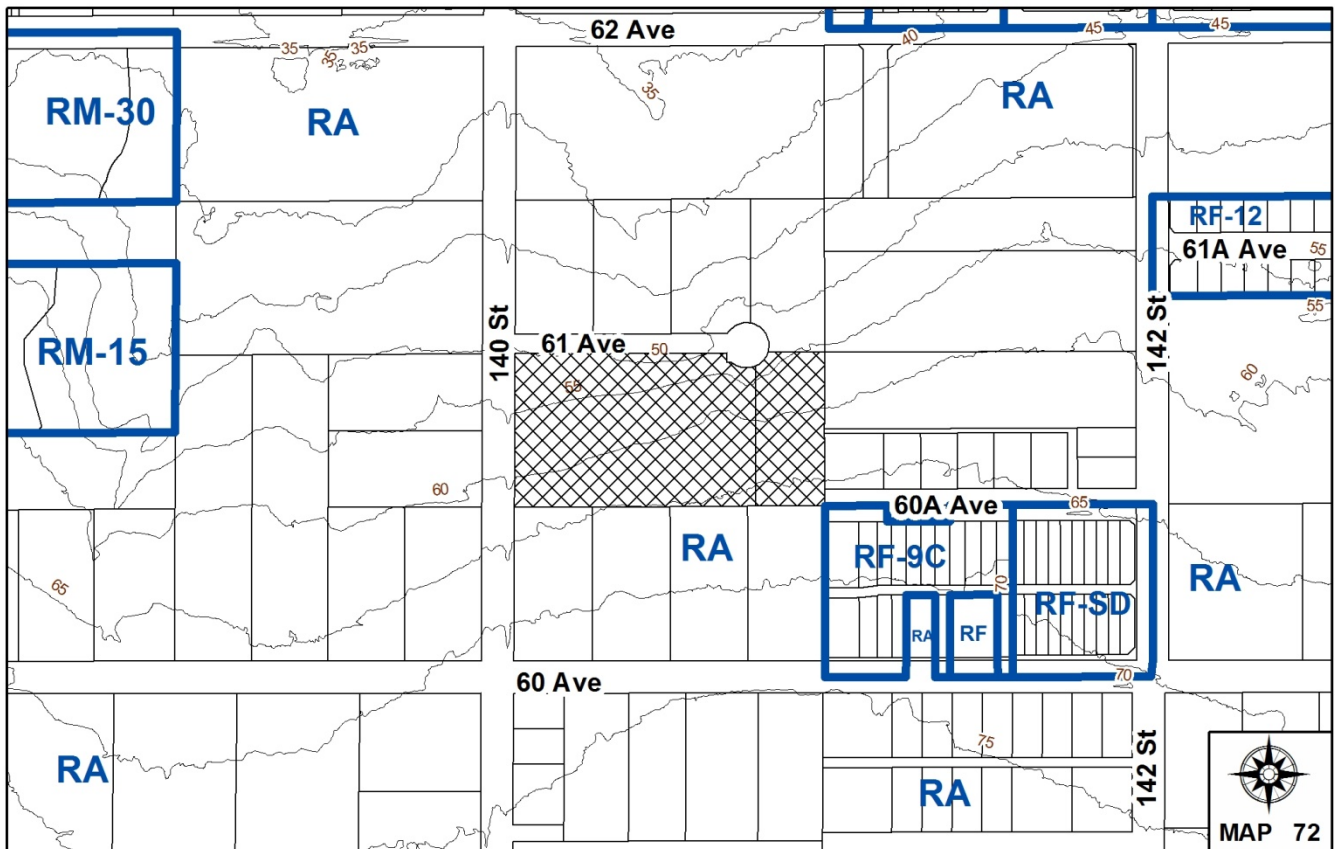


PROPOSAL:

- **NCP amendment** from "Single Family Residential Flex 6-14.5" to "Townhouse 25 upa max"
- **Rezoning** from RA to CD (based on RM-30)
- **Development Permit**

to permit a 93 unit townhouse development with full underground parking.

LOCATION: 14066 and 14084 - 61 Avenue
OWNER: Porte Developments (Henley) Ltd.
ZONING: RA
OCP DESIGNATION: Urban
NCP DESIGNATION: Single Family Residential Flex 6-14.5



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- An amendment to the South Newton NCP is required to re-designate the site from "Townhouse 15 upa max" to "Townhouse 25 upa max".

RATIONALE OF RECOMMENDATION

- The proposal complies with Official Community Plan (OCP) designation.
- The NCP amendment will allow for a 93 unit urban townhouse development with a full underground parking structure.
- The proposed density and building form are appropriate for this part of south Newton. The proposed setbacks will achieve an urban, pedestrian streetscape.
- The project has been well received by the immediate neighbourhood and makes efficient use of a difficult development site by using a comprehensive approach to hillside development. In particular the proposed development will avoid the extensive use of retaining walls, which would be prevalent, under a single family development scenario of the lands.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" (By-law No.12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 282 square metres (3,035 square feet) to 182.73 square metres (1,967 square feet).
3. Council authorize staff to draft Development Permit No. 7911-0247-00 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) approval from BC Hydro;
 - (e) completion of all the requirements and conditions of the Senior Government Environmental Agencies, including final sign of the creek relocation, provision of 839 m2 of compensatory habitat contiguous to 140 Street, and completion of an on-site drainage storm water plan;
 - (f) registration of a Section 219 Restrictive Covenant/SROW over the on-site riparian area;
 - (g) submission of an acceptable tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (h) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (i) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (j) submission of a cash contribution for parkland acquisition and/or improvements in this area of South Newton as volunteered by the applicant;
 - (k) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (l) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (m) registration of a Section 219 Restrictive Covenant prohibiting conversion of parking stalls into habitable space;
 - (n) the applicant provide cash in lieu for pathway construction from the end of their path on private property to the future greenway on parkland; and
 - (o) the applicant adequately address the impact of reduced indoor amenity space.
5. Council pass a resolution to amend South Newton NCP to re-designate the land from Single Family Residential Flex 6-14.5 to Townhouse 25 upa max when the project is considered for final adoption.

REFERRALS

| | |
|---|---|
| Engineering: | The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III. |
| School District: | <p>Projected number of students from this development:</p> <p>15 Elementary students at Woodward Hill School 8 Secondary students at Sullivan Heights School (Appendix IV)</p> <p>To address higher enrolment growth than was originally envisioned when the NCP was first adopted in 1999, the School District will be preparing a long range facility plan to help accommodate the change in student growth in the district. Because there is a certain lag time before development projects are approved, constructed and ready for occupancy, it is anticipated that the School District will have a facility plan in place before the units in the first phase of this project are occupied. Furthermore, the applicant advises that the build out of this project is expected to occur over a two and half to three year time frame, which will provide additional time for the School District to address school capacity issues in this area.</p> |
| Parks, Recreation & Culture | Parks has no objection to the proposed development subject to the applicant providing cash in lieu for insufficient amenity. |
| Department of Fisheries and Oceans (DFO): | On January 16, 2013, DFO and ERC approved a plan to relocate the yellow coded watercourse along 140 Street onto the development property and to vary the watercourse setback from 15 metres to an average of 7.9 metres. Further details are provided within the context of this report. |
| Ministry of Transportation & Infrastructure (MOTI): | Preliminary Approval is granted for 1 year. |

SITE CHARACTERISTICS

Existing Land Use: There are two larger, older homes on the site.

Adjacent Area:

| Direction | Existing Use | OCP/NCP Designation | Existing Zone |
|---------------------------|----------------------------------|--|---------------|
| North (Across 61 Avenue): | Older homes on larger properties | Urban/Single Family Residential Flex 6 to 14.5/Creeks and Riparian Setbacks | RA |
| East: | Residential homes | Urban/ Proposed School and Park (Hydro R/W)/ Single Family Residential Flex 6 to 14.5 | RA |
| South: | Residential homes | Urban/ Single Family Residential Flex 6 to 14.5 | RA |
| West(Across 240 Street): | Residential homes | Urban/ Single Family Residential Flex 6 to 14.5 | RA |

JUSTIFICATION FOR PLAN AMENDMENT

- An NCP amendment is required to re-designate the site from "Single Family Residential Flex 6-14.5" to "Townhouse 25 upa max". The amendment will allow for 93 unit urban townhouse development with a full underground parking structure.
- The density of the proposed development at 25 upa is similar to many townhouse sites approved for the South Newton area and is appropriate given the proximity to King George Boulevard, which will ultimately serve as a frequent transit service corridor.
- The project has been well received by the immediate neighbourhood and will introduce a unique, efficient urban form of development to the area. The proposed development will make efficient use of a difficult development site with a substantive grade change by using a comprehensive approach to hillside development.
- The applicant has volunteered to provide a cash contribution of \$1,000 per unit for a total of \$93,000 in order to assist the City in future parkland acquisition and/or improvements in this area of South Newton.

DEVELOPMENT CONSIDERATIONS

- The development site consists of two parcels located on the east side of 140 Street directly south of 61 Avenue. The gross site area is approximately 18, 256.00 sq.m. (4.51 acres) in area before road dedication.

- The site is designated "Urban" in the Official Community Plan (OCP), "Single Family Residential Flex 6 to 14.5" in the South Newton Neighbourhood Concept Plan (NCP) and zoned for "One-Acre Residential Zone (RA)" development. A Class B, yellow-coded watercourse runs along the shoulder of 140 Street at west side of the property.

The Proposal

- The applicant is proposing to amend the South Newton NCP and re-designate the site from "Single Family Residential Flex 6 to 14.5" to "Townhouse 25 upa max" to permit the development of 93 townhomes with full underground parking.
- The applicant is proposing to rezone the site to "Comprehensive Development Zone (CD)" based on the "Multiple Residential 30 Zone (RM-30)". As part of the application, the applicant will relocate the yellow coded watercourse from the shoulder of 140 Street onto the development site. The development site has a moderate slope on a south to north basis (from future 60A Avenue to 61 Avenue) along 140 Street.

CD By-law

- The proposed CD By-law for the site is based on the "Multiple Residential 30 Zone (RM-30)". The applicant is proposing to vary the overall Floor Area Ratio (FAR), site coverage, setbacks and required parking to accommodate this development.
- Overall the site will be developed at a density of 62 units per hectare (or 25 units per acre), which is less than the density permitted under the RM-30 zone. However, given the form, character and massing of the units, the total floor area ratio will measure 1.01, which is higher than 0.90, traditionally permitted under the same zone.
- The proposed site coverage is also higher than 45% which is permitted under the RM-30 zone. The site coverage for this project is calculated at 68 %, given the fact a great deal of the site is being raised to a height greater than 0.6 metre (2 ft.) above the finished grade due to the underground parking structure.

Table 1: RM vs CD Zone

| | RM-30 | <u>CD Zone</u> |
|-----------------------------|--------------|-----------------------|
| Density | | |
| #units per hectare (u.p.h.) | 75 | 62 |
| # units per acre (u.p.a.) | 30 | 25 |
| Floor Area Ratio | .90 | 1.01 |
| | | |
| Site Coverage | 45% | 68% |
| | | |
| Setbacks | | |
| Front | 7.5 m | 9 m |
| Rear | 7.5 m | 3.0 m |
| Interior Side Yard (N) | 7.5 m | 4.0 m |
| Interior Side Yard (S) | 7.5 m | 4.0 m |
| | | |
| Height | 13 m | 13 m |
| | | |

| | RM-30 | CD Zone |
|---------|-------|---------|
| Parking | 205 | 203 |

- The proposed CD zone will also provide setback relaxations along 61 Avenue (north), 60A Avenue (south) and the Hydro right-of-way corridor (east). While the project's front yard setback along 140 Street will measure 9 metres and provide the sufficient area for the required habitat planting around the relocated watercourse in the front yard; the side yard setbacks along 61 and 60A Avenue will each measure 4.0 metres.
- The reduced setback along the flanking streets is considered appropriate for this type of development which lends itself to a more urban street facade. Furthermore, the area on the north side of 61 Avenue and the south side of 60A Avenue is designated for small lot development that carries a front yard setback of approximately 4 metres (13 ft). The rear yard setback, along the adjacent open BC Hydro right-of-way, is also reduced to 3.0 metres (10 ft), which is appropriate for the side yard conditions of these proposed units. It is the Parks Department's intention to acquire this right-of-way as a linear park corridor with a trail system over time.
- Typically for a development of this size, a total of 205 parking stalls (186 resident stalls and 19 visitor stalls) would be required for a development of this size. The proposed CD zone for this site however calls for a variance of two visitor stalls on the site and a total of 203 parking stalls. All required resident and visitor parking spaces will be provided as underground parking. The variance of two stalls can be justified as there will be plenty of on-street parking available within the area.

Watercourse

- A yellow coded watercourse currently runs along the front of the development site on the shoulder of 140 Street. With the exception of four mature trees at the front of the property, the riparian area surrounding the watercourse is comprised of grass.
- On January 16, 2013, DFO approved a plan to relocate the watercourse onto the developer's site. As part of the relocation, DFO approved a plan to vary the watercourse setback from 15 metres to an average of 7.9 metres. The setback reduction will be offset by the reconstruction and enhancement of the watercourse riparian area totaling 839 m² contiguous to 140 Street.
- A statutory right-of-way (SROW) and a Section 219 Restrictive Covenant is also to be placed on the riparian area and a stormwater management plan will be required for the site. A full riparian planting plan and a HADD from DFO will be required to relocate the watercourse. The City will bond for the riparian planting plan as part of the project's landscaping.

Tree Retention

- On December 5, 2012, the applicant's arborist submitted a report identifying a total of 47 mature trees on-site. Unfortunately, all 47 trees will need to be removed. Sixteen or 35% of these trees will need to be removed as a result of site servicing (road construction), while the remaining 41 or 65% of the scattered trees will need to be removed due to site grading. The grade difference requires cutting and filling the site to create a level platform for the underground parking structure over much of the development property.

- While it was initially thought the four fir trees along the front of the property might be retained, the new drainage channel required for the relocated watercourse eliminates the potential to retain the trees, given their large root zones. The following is a breakdown of the protected trees by species:

| <i>Tree Species</i> | <i>Total No. of Trees*</i> | <i>Trees Proposed to be Retained</i> | <i>Trees Proposed to be Removed</i> |
|---------------------|----------------------------|--------------------------------------|-------------------------------------|
| Red Maple | 2 | 0 | 2 |
| Silver Maple | 1 | 0 | 1 |
| Cherry | 5 | 0 | 5 |
| Purple Leaf Plum | 1 | 0 | 1 |
| Western Red Cedar | 17 | 0 | 17 |
| Douglas Fir | 4 | 0 | 4 |
| Hemlock | 3 | 0 | 3 |
| Spruce | 1 | 0 | 1 |
| Shore Pine | 3 | 0 | 3 |
| Paper Birch | 6 | 0 | 6 |
| Alder | 3 | 0 | 3 |
| Japanese Maple | 1 | 0 | 1 |
| TOTAL | 47 | 0 | 47 |

- Of the 47 trees to be removed, 3 trees are to be replaced on a 1:1 basis and 44 trees are to be replaced on a 2:1 basis for a total of 91 replacement trees. In lieu of this, the applicant is proposing to plant a total of 178 trees on-site. The arborist report, tree preservation and replacement plan will be subject to final review and approval prior to Bylaw adoption.

PRE-NOTIFICATION

- On October 27, 2011, pre-notification letters were sent out for this application; and a development sign was erected on the site. To date, the Planning Department has not received any calls or objections concerning the site.
- Prior to submitting the development application, the applicant met with neighbourhood residents to gauge the level of support for the project. In October 2011, the Planning Department received a petition of 10 signatures organized by the developer, along with two letters all dated May 2011, supporting the development.
- On November 24, 2011, the applicant held a public information meeting on the proposed development at the Bethany United Church. The meeting was attended by a total of three (3) people, two of whom were the previous property owners of 14066 - 61 Avenue.

DESIGN PROPOSAL AND REVIEW

Site Design and Layout

- The project design utilizes two linear underground parkades which fit into the benched hillside. On top of each parkade there are two linear rows of townhomes in clusters oriented on an east-west basis each facing two internal linear courtyards. The cross section of the site reveals how the townhome blocks step down the slope, to the north, so that each home has grade access.
- In all, the proposed townhome complex will consist of 21 buildings containing 93 townhouse units arranged in four West/East rows along the benched platform. Each double row of townhouses will have an enclosed private garden in the front and the rear, organized around a planted larger central courtyard measuring 8 metre (26.4 ft) in width, in the centre of the site.
- Specifically a mix of nine 3-storey triplexes and duplexes, with living room and private front gardens, will create a residential edge along 61 Avenue and appropriate interface with future single family residential on the north side of 61 Avenue. Four 2 storey sixplexes with living rooms and private front yard gardens will front 60 A Avenue. Each of the townhouse units are to contain 3 bedrooms, ranging in size from 143 -200 sq.m (1,543 to 2,158 sq.ft.).
- The 140 Street edge of the project will provide a generous setback to allow for a relocated yellow coded watercourse and protected habitat area, including a pond feature. The townhome elevation on 140 Street has also been enhanced to provide a real street presence with eyes on the street. At the same time, the eastern edge of the site, facing the BC Hydro right-of-way, will take advantage of the green overlook and provide an attractive frontage to the future City greenway.
- Two enclosed parking stalls will be provided by each townhouse unit, along with 17 visitor spaces, for a total of 203 on-site parking spaces. The design concept is unique as it locates all the parking below grade, which frees the site from exposed parking and driveway aisles. Each townhome will have its own dedicated double car garage in the parkade with a garage door and internal access to the home above. A Section 219 Restrictive Covenant prohibiting the conversion of parking stalls into habitable space will be registered on title.
- Vehicular access to the underground parking is from 60A Avenue. Vehicular circulation then moves with the slope from the upper to lower parkades via a ramped crossing at the central green space.
- The amenity building for the complex is centrally located on the upper level courtyard with access to all units. The 61st Avenue street front has an elevator lobby with central stair to access the lower courtyard. Collectively, private decks, outdoor living spaces and the green and planted courtyards will help create a highly livable neighbourhood.
- The townhome blocks and duplexes are architecturally massed, for a clean, contemporary expression. The architectural character is contemporary west coast and uses generous roof overhangs of varied heights in a combination of flat and tipped roof forms. It is typified by the use of contrasting residential materials such as hardi panel, horizontal siding, stone and wood accents.

- The project will be finished in three colour schemes using complementary palette of warm browns, tan, beige and cream shades. The individuality of each home is further enhanced by vertical stone chimney elements which are integrated with horizontal roofed lines finished with soffits and door, patio and defined gate entries.
- Collectively, private decks, outdoor living spaces and the green and planted courtyards will help create a highly livable neighbourhood.

SUSTAINABLE DEVELOPMENT CHECKLIST

On October 18, 2011, the applicant submitted a completed checklist for the project. The table below summarizes the sustainable features of the proposal based on the seven (7) key criteria listed in the checklist.

| Sustainability Criteria | Sustainable Development Features Summary |
|---|--|
| 1. Site Context & Location (A1-A2) | • N/A |
| 2. Density & Diversity (B1-B7) | • N/A |
| 3. Ecology & Stewardship (C1-C4) | • This project will relocate and enhance the yellow coded watercourse on the development site, utilize Low Impact Development Standards (LIDs) (permeable paving, rain garden) and contain provisions for recycling and organic waste. |
| 4. Sustainable Transport & Mobility (D1-D2) | • Pedestrian and cycling oriented infrastructure, including bike racks and lockers, pedestrian specific lighting, links to transit stops and off-site paths are included in the development. |
| 5. Accessibility & Safety (E1-E3) | • CPTED principles (crime prevention through environmental design) are incorporated into the site. |
| 6. Green Certification (F1) | • While the project will not qualify for green certification, it will make use of a geo-exchange (low-temperature earth energy). This is one of the most effective and energy efficient ways of heating and cooling a building and providing domestic hot water. |
| 7. Education & Awareness (G1-G4) | • N/A |

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|--------------|--|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets and Survey Plan |
| Appendix II | Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III | Engineering Summary |
| Appendix IV | School District Comments |
| Appendix V | Summary of Tree Survey and Tree Preservation |
| Appendix VI | NCP Plan |
| Appendix VII | Proposed CD By-law |

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

HP/da

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DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: CD

| Required Development Data | Minimum Required / Maximum Allowed | Proposed |
|--|---------------------------------------|---------------------------------|
| LOT AREA* (in square metres) | | |
| Gross Total | 18,256.0 | 18,256.0 |
| Road Widening area | 2,950.2 | 2,950.2 |
| Undevelopable area | | |
| Net Total | 15,305.8 | 15,305.8 |
| LOT COVERAGE (in % of net lot area) | | |
| Buildings & Structures | 68% | 68% |
| Paved & Hard Surfaced Areas | | |
| Total Site Coverage | 68% | 68% |
| SETBACKS (in metres) | | |
| Front | 9 m | 9 m |
| Rear | 3.0 m | 3.0 m |
| Side #1 (N) | 4.0 m | 4.0 m |
| Side #2 (S) | 4.0 m | 4.0m |
| BUILDING HEIGHT (in metres/storeys) | | |
| Principal | 13 m | 10.7 m |
| Accessory | 11 m | 9.8 m |
| NUMBER OF RESIDENTIAL UNITS | | |
| Bachelor | | |
| One Bed | | |
| Two Bedroom | | |
| Three Bedroom + | 93 | 93 |
| Total | 93 | 93 |
| FLOOR AREA: Residential | 15,611.9 m (168,045.26 s.f.) | 15,611.9 m (168,045.26 s.f.) |
| FLOOR AREA: Commercial | | |
| Retail | | |
| Office | | |
| Total | | |
| FLOOR AREA: Industrial | | |
| FLOOR AREA: Institutional | | |
| TOTAL BUILDING FLOOR AREA | 15,611.9 m | 15,611.9 m |

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

| Required Development Data | Minimum Required / Maximum Allowed | Proposed |
|---|---------------------------------------|----------------------|
| DENSITY | | |
| # of units/ha /# units/acre (gross) | | 51 u.p.h./ 21 u.p.a. |
| # of units/ha /# units/acre (net) | 61 u.p.h./25 u.p.a. | 61 u.p.h./25 u.p.a. |
| FAR (gross) | | .86 |
| FAR (net) | 1.02 | 1.02 |
| AMENITY SPACE (area in square metres) | - | |
| Indoor | 279 m | 182.73 m |
| Outdoor | 279 m | 314.75 m |
| PARKING (number of stalls) | | |
| Commercial | - | - |
| Industrial | - | - |
| Residential Bachelor + 1 Bedroom | | |
| 2-Bed | | |
| 3-Bed | 186 | 186 |
| Residential Visitors | 17 | 17 |
| Institutional | - | - |
| Total Number of Parking Spaces | 203 | 203 |
| Number of disabled stalls | 2 | 2 |
| Number of small cars | - | - |
| Tandem Parking Spaces: Number / % of Total Number of Units | - | - |
| Size of Tandem Parking Spaces width/length | - | - |

| | | | |
|---------------|----|---------------------------------|-----|
| Heritage Site | NO | Tree Survey/Assessment Provided | YES |
|---------------|----|---------------------------------|-----|

DESIGN RATIONALE

LOT 1 - 94 UNIT TOWNHOUSE DEVELOPMENT

14066 61st AVENUE, SURREY BC

The approach to a more sustainable way of living is the new direction for housing that this application seeks to create. The 3.77 acre site at the corner of 61st Avenue and 140th Street presents an opportunity to move from more conventional car dominated site design to a more livable environment which provides for an optimized use of city infrastructure for more families. This will enable a higher quality of living while minimizing the negative effects of development, reducing residential energy demand and materials consumption for reduced greenhouse gas emissions/ energy consumption.

To accomplish this, this prototypical housing represents the following principles of a comprehensive sustainable approach to ground oriented housing:

- Principle 1 - Remove at grade vehicular/ parking movement by providing underground parking.** The cluster design of townhomes over underground parking allows for individual secure parking for each home. This removes a significant amount of site coverage of parking/circulation typically found ringing more traditional townhome developments.
- Principle 2 - Design Cluster homes and parking to fit into the existing topography** to minimise the impact on the site. Linear design fits within the bermed land form as it falls from South to North.
- Principle 3 - Conserve resources.** The entire parkade structure will be a precast modular concrete and steel construction. This system is faster to construct, and consumes 40% less cement and uses 95% recycled steel that can be extracted at the end of the life of the building. The result is a significant reduction in air pollution and greenhouse gas emissions.
- Principle 4 - Reduce site coverage.** When compared to a traditional townhome development where the townhomes plus impervious grade materials result in actual high percentage of grade coverage, the proposed scheme at higher density delivers less site coverage.
- Principle 5 - Greening of the site.** The area freed by underground parking will become a garden setting, providing fresher air, more livable outdoor spaces for residents, as well as a natural environment for insects/birds. In addition water retention on the site will delay runoff, be cleaner than runoff from impervious parking surfaces, and provide more nutrients to the environment.
- Principle 6 - Open bioswale** as the memory of the yellow coded ditch which serves as filtration of the water coming off the site, as well as a part of the outdoor amenity.
- Principle 7 - Increased density in high quality surroundings** is a more effective utilization of the city infrastructure, reducing urban sprawl, and hence commute times, while promoting viability of community services and commercial vitality.

The formula for creating a truly sustainable housing project is founded upon the inter-relationship of the principles listed above. A significant part of this formula is having the number of homes to make the investment in the infrastructure viable. Hence the specialized underground parking can be a part of the solution as a whole. The goal is to provide a precedent setting form of housing possible within the context of existing zoning for the City of Surrey.

LIST OF DWGS

| DESCRIPTION | SCALE |
|--|---------------|
| A-0-1 COVER | N.T.S. |
| A-1-01 SITE SURVEY | 1/32" = 1'-0" |
| A-1-02 CONTEXT PHOTOS | N.T.S. |
| A-1-1 SITE | 1/20" = 1'-0" |
| A-1-2 SITE SECTIONS | AS NOTED |
| A-1-3 STREETSCAPES | AS NOTED |
| Bldg PLANS & ELEVATIONS | |
| A-2-1 UNDERGROUND PLAN | 1/20" = 1'-0" |
| A-3-1a-3-1d A BLOCKS BLDG # 1-4 | 1/8" = 1'-0" |
| A-3-2a-3-2c B BLOCKS BLDG # 5-8 | 1/8" = 1'-0" |
| A-3-3a-b C BLOCKS BLDG # 9 & 12 | 1/8" = 1'-0" |
| A-3-4a D BLOCKS | 1/8" = 1'-0" |
| A-4-1a-4-1d A BLOCKS ELEV. BLDG # 1-4 | 1/8" = 1'-0" |
| A-4-2a-4-2c B BLOCKS ELEV. BLDG # 5-8 | 1/8" = 1'-0" |
| A-4-3a-4-3b C BLOCKS ELEV. BLDG # 9 & 12 | 1/8" = 1'-0" |
| A-4-4a D BLOCKS ELEV. | 1/8" = 1'-0" |
| Unit FLOOR PLANS | |
| A-5-1-5-3 UNITS A-A2 | 1/4" = 1'-0" |
| A-5-4-5-6 UNITS B-B2 | 1/4" = 1'-0" |
| A-5-7-5-9 UNITS C-C2 | 1/4" = 1'-0" |
| A-5-10-5-12 UNITS D-D2 | 1/4" = 1'-0" |
| A-5-13 AMENITY 60A AVE | AS NOTED |
| A-5-14 AMENITY 61ST AVE | AS NOTED |

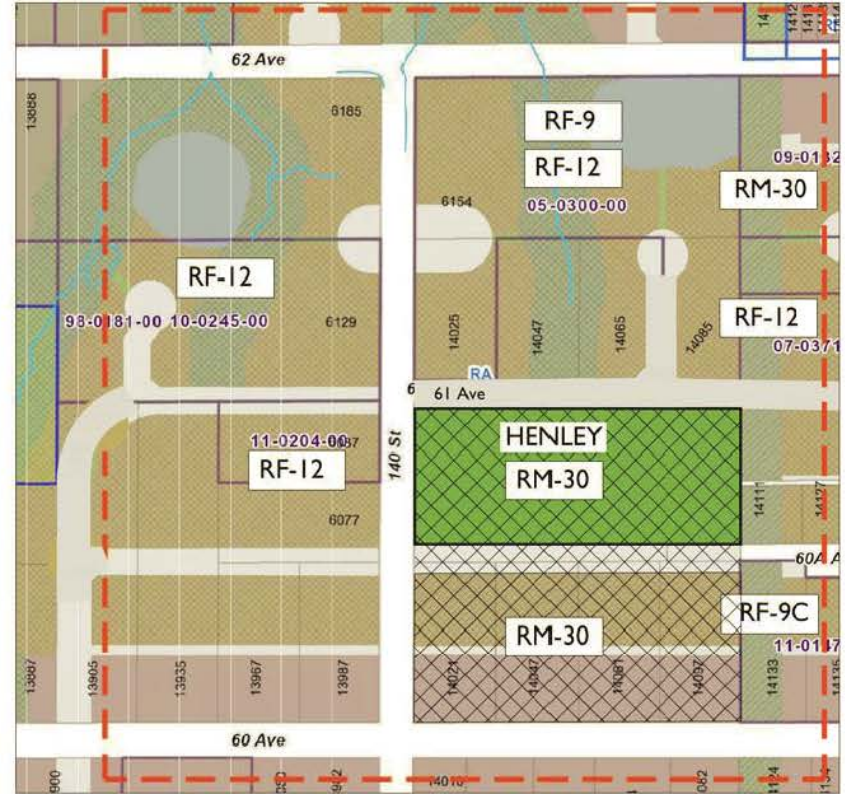
PROJECT STATISTICS

| LOT 1 - SITE LAYOUT SUBJECT TO CIVIC APPROVAL | | | | | | | | |
|--|--|--------------------------------|--------------------------------|---------------------------------|--------------------------------|-------------------------|---------------------------|--------------------------------|
| CIVIC ADDRESS: 14366 and 14066 61st Ave, Surrey, BC | | | | | | | | |
| LEGAL ADDRESS: PL16906; LT A LD 30 Sds 9 TWP2 PD0 000-835-087 and PL16996; LT A LD 30 Sds 9 TWP2 PD0 000-835-090 | | | | | | | | |
| SITE AREA | CROSS | 196,510.9 sq ft | 18,250.00 m² | 4.51 AC | | | | |
| Road Deduction 61A Ave | 35,993.36 sq ft | 1,063.30 m² | | | | | | |
| Road Deduction 80A Ave | 20,815.13 sq ft | 615.90 m² | | | | | | |
| Road Deduction Total | 56,808.49 sq ft | 1,679.20 m² | 0.72 AC | | | | | |
| NET | 139,702.41 sq ft | 16,570.80 m² | 3.79 AC | | | | | |
| DENSITY CALCULATION | PROPOSED | 28 UPA | | | | | | |
| F.A.K. AREA: | PROPOSED | GROSS | 0.85 | 100,480 sq ft | | | | |
| | NET | 1.91 | 166,488 sq ft | | | | | |
| MAX. HEIGHT: | ALLOWED: | 1 Storey | 31.17 ft | | | | | |
| | PROPOSED | 2 & 1 Storey | 9.30 m | | | | | |
| LOT COVERAGE: | PROPOSED | GROSS | 0.34 | 115,000 sq ft | 10,228.48 m² | | | |
| | NET | 0.81 | 113,000 sq ft | | | | | |
| LOT COVERAGE: | TAKING ONLY this area is part of the total coverage area listed above: | | | | | | | |
| SETBACKS: | PROPOSED | North: | 13.2 ft | 4.00 m | | | | |
| | | East: | 9.34 ft | 3.00 m | | | | |
| | | South: | 13.2 ft | 4.00 m | | | | |
| | | West: | varies from 7.5m to 12m | | | | | |
| PARKING CALCULATION: | REQUIRED: | residents: | 2.00 per unit | 186 cars | | | | |
| | visitors: | 0.30 per unit | 28 cars | | | | | |
| | Total: | 216 | 216 cars | | | | | |
| | PROPOSED: | residents: | 196 in 1/0 parkade | | | | | |
| | | visitors: | 20 | relaxation req'd 2 cars. | | | | |
| | Total: | 216 | 216 cars | | | | | |
| UNIT COUNT: | | | | | | | | |
| NO. | TYPE | # | Unit Area (gross sq ft) | Unit Area (FAO sq ft) | TOTAL AREA (FAO sq ft) | COVERAGE (sq ft) | TOTAL COV. (sq ft) | Additional Parking Cov. |
| A | 3BR | 2 | 1,894 | 1,776 | 888.0 | 2,412 | 15,980 | |
| A1 | 3BR | 10 | 1,804 | 25,664 | 604.0 | 12,864 | 7,608 | |
| A2 | 3BR | 6 | 1,701 | 3,824 | 688.0 | 3,472 | 160 | |
| B | 3BR | 10 | 2,116 | 33,548 | 911.0 | 5,848 | 4,701 | |
| B1 | 3BR | 10 | 2,032 | 35,332 | 818.0 | 13,960 | -298 | |
| B2 | 3BR | 10 | 2,148 | 4,298 | 911.0 | 1,802 | | |
| C | 3BR | 6 | 1,671 | 3,884 | 618.0 | 3,302 | | |
| C1 | 3BR | 10 | 1,543 | 24,888 | 716.0 | 12,416 | | |
| C2 | 3BR | 6 | 1,671 | 3,884 | 618.0 | 3,478 | | |
| D | 3BR | 10 | 1,904 | 33,464 | 916.0 | 10,190 | | |
| D1 | 3BR | 6 | 1,759 | 7,036 | 688.0 | 3,552 | | |
| D2 | 3BR | 10 | 1,911 | 1,511 | 960.0 | 780 | | |
| Total | Units | 48 | 140,967 | | 133,020.0 | 86,108 | 26,574 | |
| TOTAL RESIDENTIAL AMENITY & PARKING STRUCTURE | | | | 133,020.0 | | | | |
| AMENITY | REQUIRED | 3.752/1F | 3,002 sq ft | | 270 m² | | | |
| PROPOSED | North | 301 sq ft | Coverage | | 601.0 sq ft | | | |
| | South | 1,667.0 sq ft | 342.71 m² | | 858.0 sq ft | | | |
| PROPOSED | TOTAL: | 3,968.0 sq ft | 347.71 m² | | 1,360.0 sq ft | | | |

PROJECT DIRECTORY

| | |
|---|---|
| CITY OF SURREY PLANNING & DEVELOPMENT 14245 - 56TH Ave, Surrey, BC V3X 3A2 | <p>604-591-4504 Fax: 604-591-2507 Contacts: I. Mike Newell, Planner mnewell@surrey.ca</p> |
| DEVELOPER Porte Development Corp., # 1602 - 1666 West Broadway, Vancouver, BC V6J 1X1 | <p>604-732-7651 Fax: 604-732-4673 Contacts: I. Victor Setton vsetton@porte.ca</p> |
| ARCHITECT DOMBEROFF BELL LYON ARCHITECTS GROUP INC. #140-2034 West 11th Avenue Vancouver, BC V6J 2C9 | <p>Tel: (604) 736-1156 Fax: (604) 731-5279 Contact: I. Dafina Curt's dafina@dbll-arch.com</p> |
| LANDSCAPE PMD Landscape Architects C100-4185 Silt Creek Dr. Burnaby, BC V5C 6C8 | <p>Tel: (604) 294-0011 Fax: (604) 294-0022 Contact: I. Patricia Campbell pat@pmlandscape.com</p> |
| ARBORIST Michael J. Mills Consulting C100-4185 Silt Creek Dr. Burnaby, BC V5C 6C9 | <p>Tel: (604) 437-8723 Fax: (604) 437-8723 Contact: I. Michael Mills mills@mjccnet.com</p> |
| CIVIL HUNTER LARD Engineering 320-65 Richmond St. New West, BC V3L 5P5 | <p>Tel: (604) 525-4851 Fax: (604) 525-5715 Contact: I. Deion Robney & Victor Werscholiad draft@hunterlard.com</p> |
| CODE CONSULTANT CFT Engineering Inc. #800-1901 Rossar Avenue Burnaby, BC V5C 8R6 | <p>Tel: (604) 684-2384 Fax: (604) 684-2402 Contact: I. Emilia Mazzonc emazzonc@cftengineering.com</p> |
| Environmental Environmental Consultants Inc. #130-3700 North Fraser Way Burnaby, BC V5J 5H4 | <p>Tel: (604) 451-0505 Fax: (604) 451-0507 Contact: I. Ian White whyte@envirowest.ca</p> |
| Surveyor Oslen & Associates 15585 24 Avenue Surrey, BC V4A 2J4 | <p>Tel: (604) 531-4067 Contact: I. Darryl Rowbotham growbotham@oslensurveying.ca</p> |

SITE CONTEXT



PARTIAL STREETSCAPE ALONG 60A AVE



gBL

GREY ARCHITECTS INC.
116-280 WEST 17TH AVENUE
VICTORIA, BC CANADA V8B 5R3
TEL: 250.381.4800
WWW.GREYARCHITECTS.COM

PROJECT INFO
LOT INFORMATION

NOTES
NO DESCRIPTION

NO DATE

REVISIONS

| NO | DATE | DESCRIPTION |
|----|------|---------------------------|
| 1 | | REVISION 1 |
| 2 | | ADDED A P.C. AMENDMENT |
| 3 | | ADDED SETBACKS AND BLOCKS |
| 4 | | ADDED UNIT COUNT |
| 5 | | ADDED AMENITY |
| 6 | | ADDED PARKING |
| 7 | | ADDED PARKING |
| 8 | | ADDED PARKING |
| 9 | | ADDED PARKING |
| 10 | | ADDED PARKING |
| 11 | | ADDED PARKING |
| 12 | | ADDED PARKING |
| 13 | | ADDED PARKING |
| 14 | | ADDED PARKING |

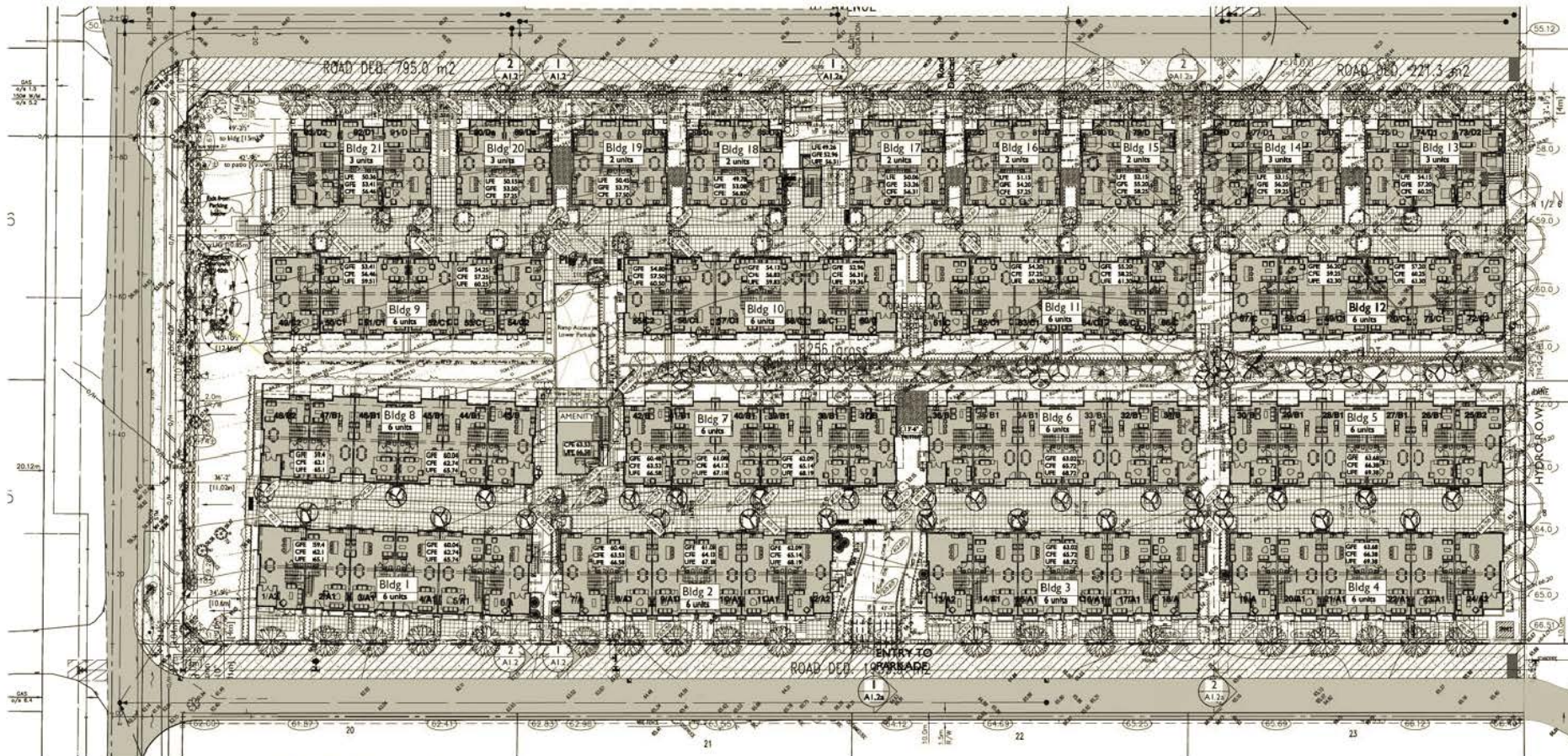


HENLEY 94 Unit Town House Developer 140th St & 61st Ave, SURREY, BC FOR PORTA DEVELOPMENTS

SITE DATA

| | |
|-------------------|-----------------|
| DATE | DATE |
| DRAWN BY | INITIALS |
| CHECKED BY | INITIALS |
| SCALE | NO. |
| JOB NUMBER | 1124 |

APPENDIX II A-1



gBL ARCHITECTS INC.
 400 WEST 10TH AVENUE, SUITE 100
 VANCOUVER, BC V6Z 1R8
 TEL: 604.681.1111
 WWW.GBLARCHITECTS.COM



NOTES
 1. FOR SITE DETAILS SUCH AS HAND RAILS, FENCES & INDICATION ON EXISTING TILES TO BE RETAINED, REFER TO LANDSCAPE ARCHITECT'S DRAWING.

GENERAL NOTES
 1. ALL RETAINING WALLS AND SLOPES ARE TO BE COORDINATED WITH LANDSCAPE ARCHITECT.

LFE - Lower Floor Elevation
 GFE - Ground Floor Elevation
 CFE - Courtyard Floor Elevation
 UFE - Upper Floor Elevation

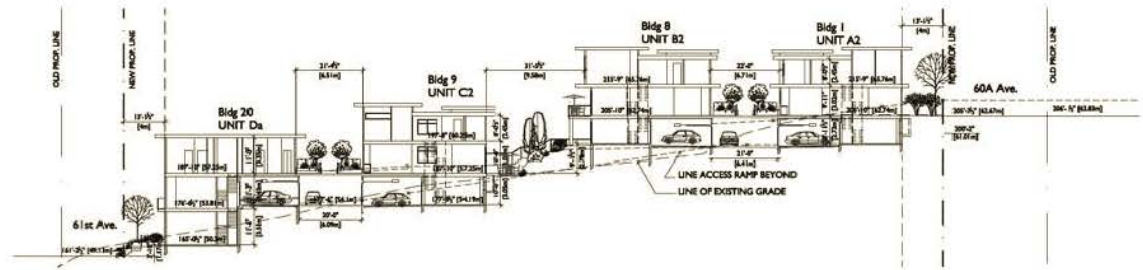
Proposed UG Parking Elevation
 Proposed Courtyard Elevation

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|----------------------|
| 1 | 2024.08.01 | ISSUED FOR PERMIT |
| 2 | 2024.08.01 | REVISED PER COMMENTS |
| 3 | 2024.08.01 | REVISED PER COMMENTS |
| 4 | 2024.08.01 | REVISED PER COMMENTS |
| 5 | 2024.08.01 | REVISED PER COMMENTS |
| 6 | 2024.08.01 | REVISED PER COMMENTS |
| 7 | 2024.08.01 | REVISED PER COMMENTS |
| 8 | 2024.08.01 | REVISED PER COMMENTS |
| 9 | 2024.08.01 | REVISED PER COMMENTS |
| 10 | 2024.08.01 | REVISED PER COMMENTS |

1 LOT 1 - SITE PLAN
 Scale: 1/20"=1'-0"

2 LOT 1 - SITE SECTION
 Scale: 1/16"=1'-0"



HENLEY
 94 Unit Town House Developm
 140th St & 61st Ave,
 SURREY, BC
 FOR PORTFOLIO DEVELOPMENTS

LOT 1
 SITE PLAN & SECTION

| DATE | DATE |
|--------------------|------|
| DRAWN BY: PG/DC | 18 |
| CHECKED BY: TS | 18 |
| SCALE: 1/20"=1'-0" | 1124 |
| JOB NO: 2024-08-01 | |

A-1.1

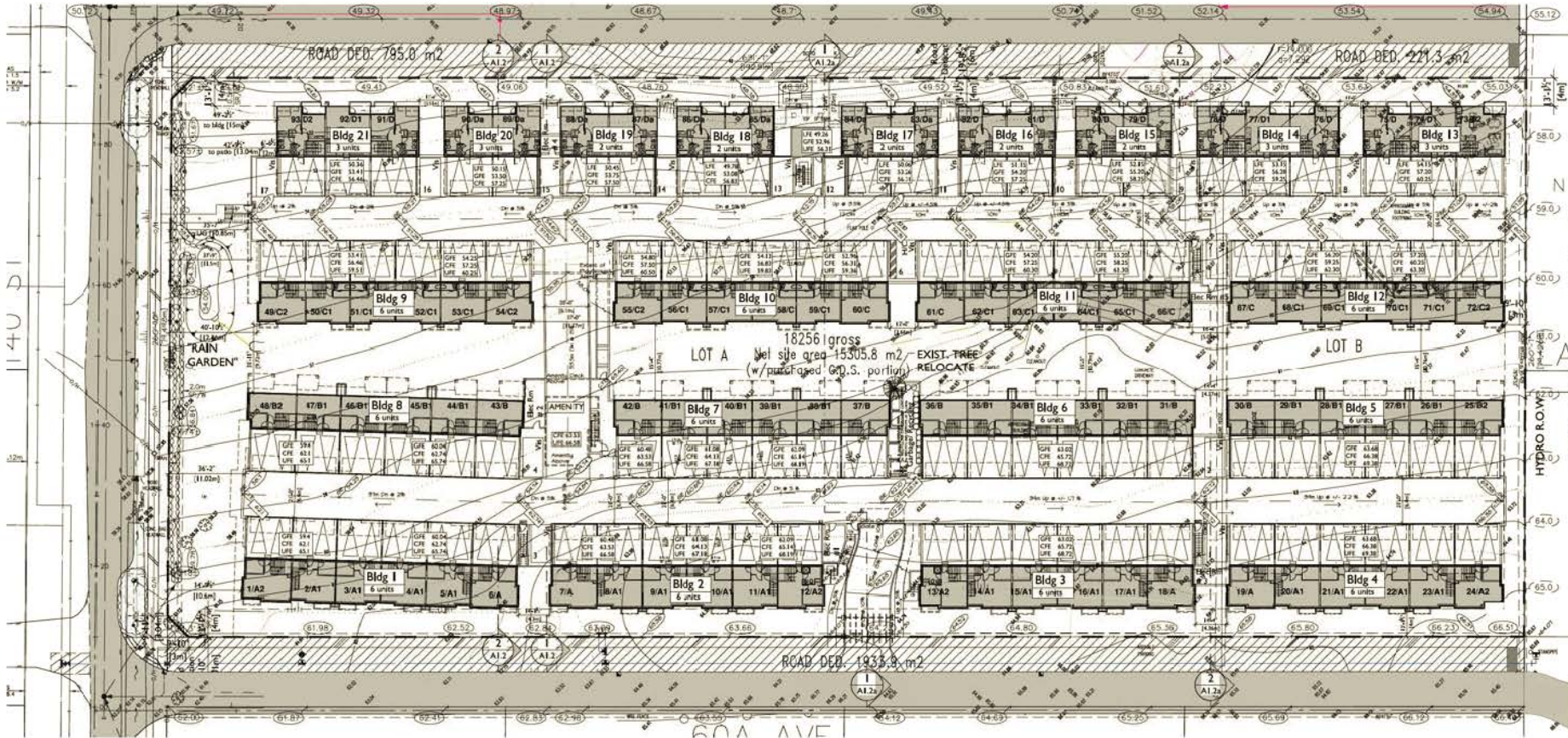


gBL
 4880 JENNIFER BLVD. SUITE 100
 VANCOUVER, BC V6J 4K9
 TEL: 604.273.4444
 WWW.GBLINC.COM

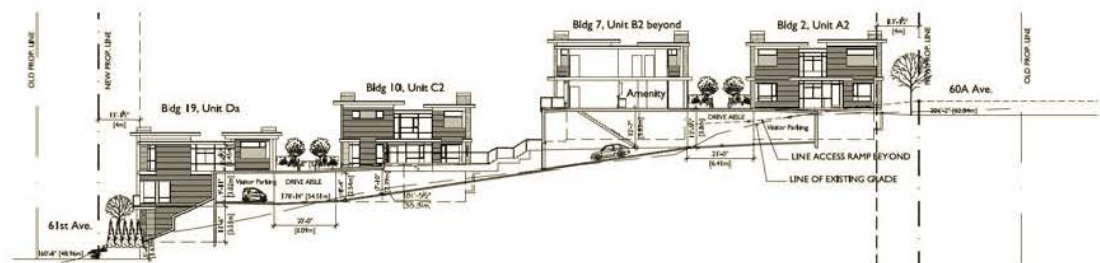
NOTES
 PARKING REQUIRED: 186 Residences
 19 Visitors
 Total 205 cars
 TOTAL PROVIDED: 186 Residences
 17 Visitors incl. 2 H/C stalls
 Total 203 cars
 LIFE - Lower Floor Elevation
 CFE - Courtyard Floor Elevation
 CFE - Courtyard Floor Elevation
 LIFE - Upper Floor Elevation
 Proposed UG Parking Elevation
 Proposed Courtyard Elevation

GENERAL NOTES
 1. ALL OF PARKING SPACES AND AREAS AS PER THE CITY OF SURREY ZONING BY-LAW AND LOCAL ZONING AND LOADING REQUIREMENTS.
 STANDARD STALL: 8'6" (2.6m) x 18'6" (5.6m)
 SMALL CAR STALL: 8'0" (2.4m) x 18'6" (5.6m)
 HOV STALL: 12'0" (3.7m) x 18'6" (5.6m)
 2. ADDITIONAL REQUIREMENTS
 PROVIDE PARKING SPACES CORRESPONDING TO THE FOLLOWING: VISITOR, SMALL CAR AND HOV STALLS.
 3. REVISIONS

REVISIONS
 1. 10/15/2024
 2. 10/15/2024
 3. 10/15/2024
 4. 10/15/2024
 5. 10/15/2024
 6. 10/15/2024
 7. 10/15/2024
 8. 10/15/2024
 9. 10/15/2024
 10. 10/15/2024



1 U/G PARKING PLAN
 Scale: 1/20"=1'-0"



2 SITE SECTION
 Scale: 1/16"=1'-0"

HENLEY
 94 Unit Town House Development
 140th St & 61st Ave,
 SURREY, BC
 FOR PORTE DEVELOPMENTS

LOT 1
 U/G PARKING PLAN

DATE: 10/15/2024
 DRAWN BY: PG/DC
 CHECKED BY: TB
 SCALE: 1/20"=1'-0"
 JOB NUMBER: 1124

Scheme 1



- CULTURED STONE
GRAY SOUTHERN LIMESTONE
CSV387448
- SCHEMES 1, 2 & 3
- FIBER CEMENT PANEL SIDING
- BM COLOUR CC-110 MUSLIN
- EYEBROW ROOF
FIBRE CEMENT FASCIA
- BM COLOUR HC-166 KENDALL CHARCOAL
- ENTRY DOOR
- BEHR: SEMI-TRANSPARENT STAIN CEDAR NATURALTONE 533
*WOOD SOFFIT TO MATCH
- FIBER CEMENT PLANK SIDING
- BM COLOUR CC-544 OVERCOAT
- SCHEMES 1 & 2
- FIBRE CEMENT PANEL SIDING
- SCHEMES 1 & 2

Scheme 2



- CONCRETE FINISH
- SCHEMES 1, 2 & 3
- FIBER CEMENT PANEL SIDING
- BM COLOUR CC-420 MAPLE SYRUP
- FIBER CEMENT PLANK SIDING
- BM COLOUR CC-544 OVERCOAT
- SCHEMES 1, 2 & 3
- FIBER CEMENT PANEL SIDING
- BM COLOUR CC-110 MUSLIN
- EYEBROW ROOF
FIBRE CEMENT FASCIA
- BM COLOUR CC-544 OVERCOAT

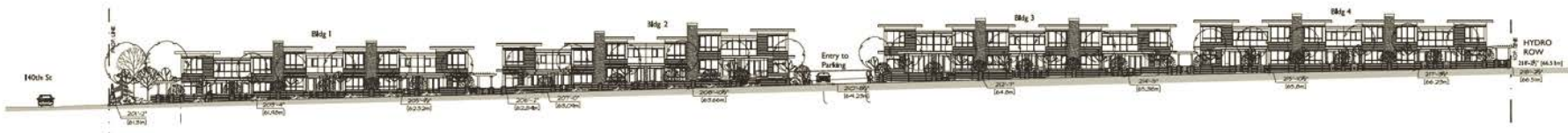
Scheme 3



Site Plan



- Scheme 1
- Scheme 2
- Scheme 3



① LOT 1 - STREETSCAPE ALONG 60A Ave
 Scale: 1/20"=1'-0"



② LOT 1 - STREETSCAPE ALONG 61st Ave
 Scale: 1/20"=1'-0"

| NO. | DATE | DESCRIPTION |
|-----|------------|------------------------------------|
| 1 | 2024-08-28 | ISSUED FOR PERMIT |
| 2 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |
| 3 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |
| 4 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |
| 5 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |
| 6 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |
| 7 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |
| 8 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |
| 9 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |
| 10 | 2024-08-28 | REVISED TO REFLECT PERMIT COMMENTS |

GENERAL NOTES
 1. ALL BLDGS AND CONDITIONS ALONG PROPERTY LINES REFLECT THE PROPOSED GRADING PLAN.
 2. FOR DETAILED INFORMATION ON ALL SLOPES, RETAINING WALLS, FENCES & GATES, PLANTING & INFORMATION ON EXISTING TREES TO BE RETAINED - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.

HENLEY
 94 Unit Town House Development
 140th St & 61st Ave,
 SURREY, BC
 FOR PORTE DEVELOPMENTS

LOT 1 STREETSCAPES

| DATE | DATE |
|-------------------|------|
| DRAWN BY: PG/DC | |
| CHECKED BY: TR | |
| SCALE: (SEE PLAN) | |
| JOB NUMBER: 1124 | |

permission.



Suite C100 - 4185 581 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011, f: 604 294-0022

SEAL:



MODERN BY
WORKING INDUSTRIES
BURNING BENCH
PL: 604 628 0478



PLAYWAY ELEMENTS USING EASY ACCESS SLIDE
BY PLAYWAY INDUSTRIES INC.
PL: 888 996 0867



WASTE HOLLAND ACCESSORIES CO.
HOLLAND PLANTER 30" DIAMETER (HOLLAND)
COLOR: BROWN
PL: 604 524 8074

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|----------|----------------------|-----|
| 1 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 2 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 3 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 4 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 5 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 6 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 7 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 8 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 9 | 11-20-23 | ISSUE FOR PERMITS | DD |
| 10 | 11-20-23 | ISSUE FOR PERMITS | DD |

CLIENT:
PORTE REALTY

PROJECT:
"Henley"
94 UNIT TOWNHOUSE
DEVELOPMENT

61ST AVENUE AND 140TH STREET
SURREY, BC
mfn:11-0247

With: GBL Architects
DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 11 NOV 16 DRAWING NUMBER:

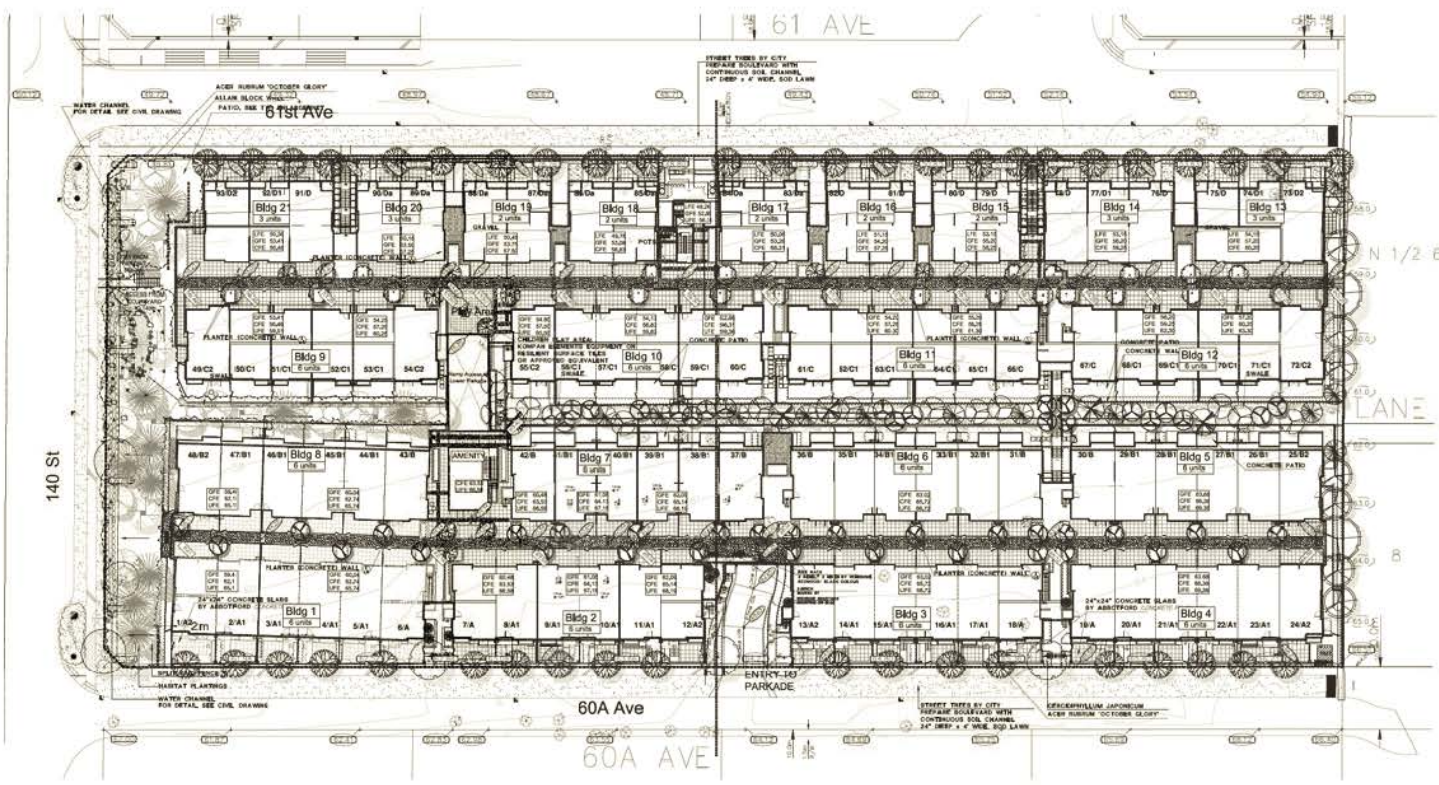
SCALE:

DRAWN: DD

DESIGN: DD

CHKD: PCM

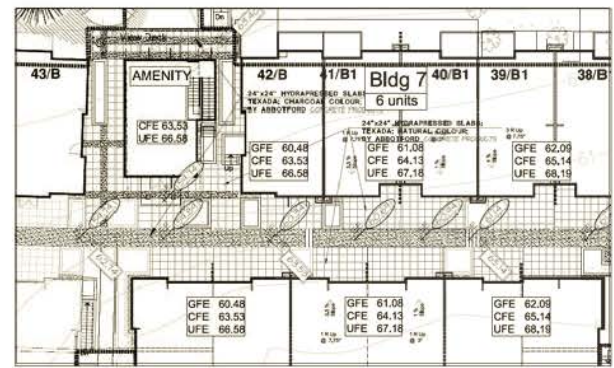
PMG PROJECT NUMBER: 11-217



| PLANT SCHEDULE | | | PMG JOB NUMBER: 11-217 | |
|----------------|-----|---------------------------------|-----------------------------|----------------------------|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE / REMARKS |
| 14 | | ACER GIBBERNATUM | VINE MAPLE | 3H HT. 18" x 3" STEM CLUMP |
| 58 | | ACER FRIZLARUM 'NANUS KAKU' | CORAL BARK MAPLE | 2H-4H |
| 43 | | ACER RUBRUM 'OCTOBER GLORY' | OCTOBER GLORY MAPLE | 6CM CAL. 2H STD. DBH |
| 4 | | CERCOPHYLLUM JAPONICUM | KATSURAI TREE | 6 CM CAL. 1.2M STD. DBH |
| 3 | | CHAMAECYPARIS GIBBERNA CRUCIATA | SLENDER HORNED FALSE CYPRUS | 2H HT. |
| 25 | | CORNUS KODAKI 'SANTON' | SATCHI DOGWOOD | 2 H HT. |
| 5 | | FAGUS SILVATICA 'DANKOFF' | DANKOFF BEECH | 6CM CAL. DBH |
| 2 | | HALESIA CAROLINA | CAROLINA SILVERBELL | 6 CM CAL. DBH |
| 4 | | LARIX NOBILIS | DAY LABEL | 1.5 FT. 1.2M STD. |
| 10 | | MANGROVA SOULARIANA | SALICER MANGROVE | 2H HT. |
| 7 | | PARSONIA PERSEA 'MIRAGE TORRY' | PERSEAN BIRCHWOOD | 6CM CAL. 1.2M STD. DBH |
| 12 | | PLEXA CHOROKA | SERBIAN SPRUCE | 2H HT. DBH |
| 13 | | STRAX JAPONICUS 'YUKI GRINES' | JAPANESE SHREBBEL | 2H DBH |

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE I.C.L. LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANIA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFERRED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO I.C.L. LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



PAVING DETAIL
Scale: 1/16" = 1'-0"



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **May 29, 2012** PROJECT FILE: **7811-0247-00**

RE: **Engineering Requirements
Location: 14066/84 61 Ave.**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- dedicate 6.0 metres on 61 Avenue.
- dedicate 11.5 metres on 60A Avenue.
- dedicate 3.0 m x 3.0 m corner cut at the intersection of 61 Avenue and 140 Street.
- dedicate 3.0 m x 3.0 m corner cut at the intersection of 60A Avenue and 140 Street.
- provide a 0.5 metre SROW


Works and Services

- construct south half of 61 Avenue.
- construct north half of 60A Avenue.
- construct the east of 140 Street.
- secure detention pond site.
- construct storm sewers to service the development.
- construct sanitary sewer to service the development.
- construct watermains to service the development.
- .

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.


Bob Ambardar, P.Eng.
Development Project Engineer
LR

NOTE: Detailed Land Development Engineering Review available on file



Tuesday, January 15, 2013
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 11 0247 00

SUMMARY

The proposed 94 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

| | |
|----------------------|----|
| Elementary Students: | 15 |
| Secondary Students: | 8 |

September 2012 Enrolment/School Capacity

| | |
|-----------------------------------|------------|
| Woodward Hill Elementary | |
| Enrolment (K/1-7): | 73 K + 425 |
| Capacity (K/1-7): | 40 K + 450 |
| Sullivan Heights Secondary | |
| Enrolment (8-12): | 1300 |
| Nominal Capacity (8-12): | 1000 |
| Functional Capacity*(8-12): | 1080 |

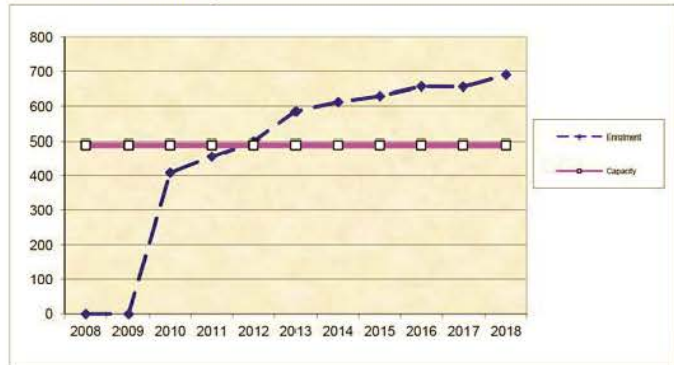
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

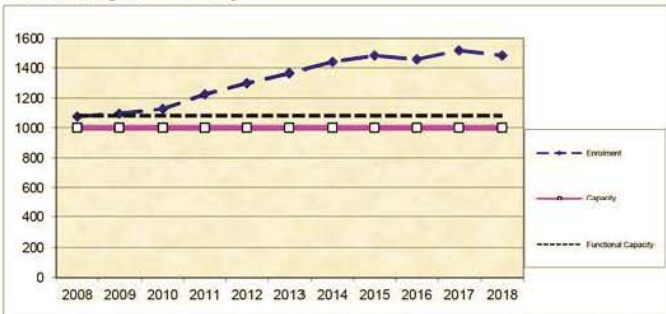
A new elementary school (#212 Woodward Hill Elementary) opened in spring 2010, the capacity in the table below does not include one modular classroom which was recently added to accommodate growth. Regular and Early French enrolment from McLeod Road moved to the new Woodward Hill Elementary. The enrolment for the school as of September 25, 2012 was 73 Kindergarten and 424 grade 1-7 students, and enrolment is expected to grow above the schools capacity. A new elementary school is under construction on Site #211 on 146th Street immediately to the east of Sullivan Heights Secondary School (the new elementary school has been named "Goldstone Park Elementary and is expected to open in 2013-2014 school year). The new school will relieve projected overcrowding at Cambridge Elementary and also draw some students from Woodward Hill Elementary. Also, an addition to increase the capacity at Panorama Ridge Secondary from 1100 to 1400 (plus a Neighbourhood Learning Centre) is under construction and this may also help reduce secondary space shortage in the Newton area. The school district will also be considering various measures to address projected overcrowding at Sullivan Heights Secondary (i.e. possible enrolment moves or program change considerations).

In recent years, amendments to the South Newton NCP have resulted in larger number of residential units and higher enrolment growth than was originally envisioned when the NCP was first adopted in 1999. Although future space additions may be necessary, both Woodward Hill Elementary and Sullivan Heights Secondary have limited site area for expansion and larger space additions may be needed at these schools with higher than projected enrolment results. The School District will be preparing a long range facility plan to help accommodate the changes in student growth in the district.

Woodward Hill Elementary



Sullivan Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

permission:



Suite C100 - 4185 581 Creek Drive
Burnaby, British Columbia, V5C 0G9
p: 604 294-0011, f: 604 294-0022

SEAL:



| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|----------|----------------------|-----|
| 1 | 12/20/20 | MAN SITE PLAN | DD |
| 2 | 01/24/21 | MAN PARKING PLAN | DD |
| 3 | 02/02/21 | MAN SITE PLAN | DD |
| 4 | 02/02/21 | MAN SITE PLAN | DD |
| 5 | 02/02/21 | MAN SITE PLAN | DD |
| 6 | 02/02/21 | MAN SITE PLAN | DD |
| 7 | 02/02/21 | MAN SITE PLAN | DD |
| 8 | 02/02/21 | MAN SITE PLAN | DD |
| 9 | 02/02/21 | MAN SITE PLAN | DD |
| 10 | 02/02/21 | MAN SITE PLAN | DD |
| 11 | 02/02/21 | MAN SITE PLAN | DD |
| 12 | 02/02/21 | MAN SITE PLAN | DD |
| 13 | 02/02/21 | MAN SITE PLAN | DD |
| 14 | 02/02/21 | MAN SITE PLAN | DD |
| 15 | 02/02/21 | MAN SITE PLAN | DD |
| 16 | 02/02/21 | MAN SITE PLAN | DD |
| 17 | 02/02/21 | MAN SITE PLAN | DD |
| 18 | 02/02/21 | MAN SITE PLAN | DD |
| 19 | 02/02/21 | MAN SITE PLAN | DD |
| 20 | 02/02/21 | MAN SITE PLAN | DD |
| 21 | 02/02/21 | MAN SITE PLAN | DD |
| 22 | 02/02/21 | MAN SITE PLAN | DD |
| 23 | 02/02/21 | MAN SITE PLAN | DD |
| 24 | 02/02/21 | MAN SITE PLAN | DD |
| 25 | 02/02/21 | MAN SITE PLAN | DD |
| 26 | 02/02/21 | MAN SITE PLAN | DD |
| 27 | 02/02/21 | MAN SITE PLAN | DD |
| 28 | 02/02/21 | MAN SITE PLAN | DD |
| 29 | 02/02/21 | MAN SITE PLAN | DD |
| 30 | 02/02/21 | MAN SITE PLAN | DD |
| 31 | 02/02/21 | MAN SITE PLAN | DD |
| 32 | 02/02/21 | MAN SITE PLAN | DD |
| 33 | 02/02/21 | MAN SITE PLAN | DD |
| 34 | 02/02/21 | MAN SITE PLAN | DD |
| 35 | 02/02/21 | MAN SITE PLAN | DD |
| 36 | 02/02/21 | MAN SITE PLAN | DD |
| 37 | 02/02/21 | MAN SITE PLAN | DD |
| 38 | 02/02/21 | MAN SITE PLAN | DD |
| 39 | 02/02/21 | MAN SITE PLAN | DD |
| 40 | 02/02/21 | MAN SITE PLAN | DD |
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CLIENT:
PORTE REALTY

PROJECT:
"Henley"
94 UNIT TOWNHOU
DEVELOPMENT

61ST AVENUE AND 140TH
SURREY, BC
mfn:11-0247
With: GBL Architects
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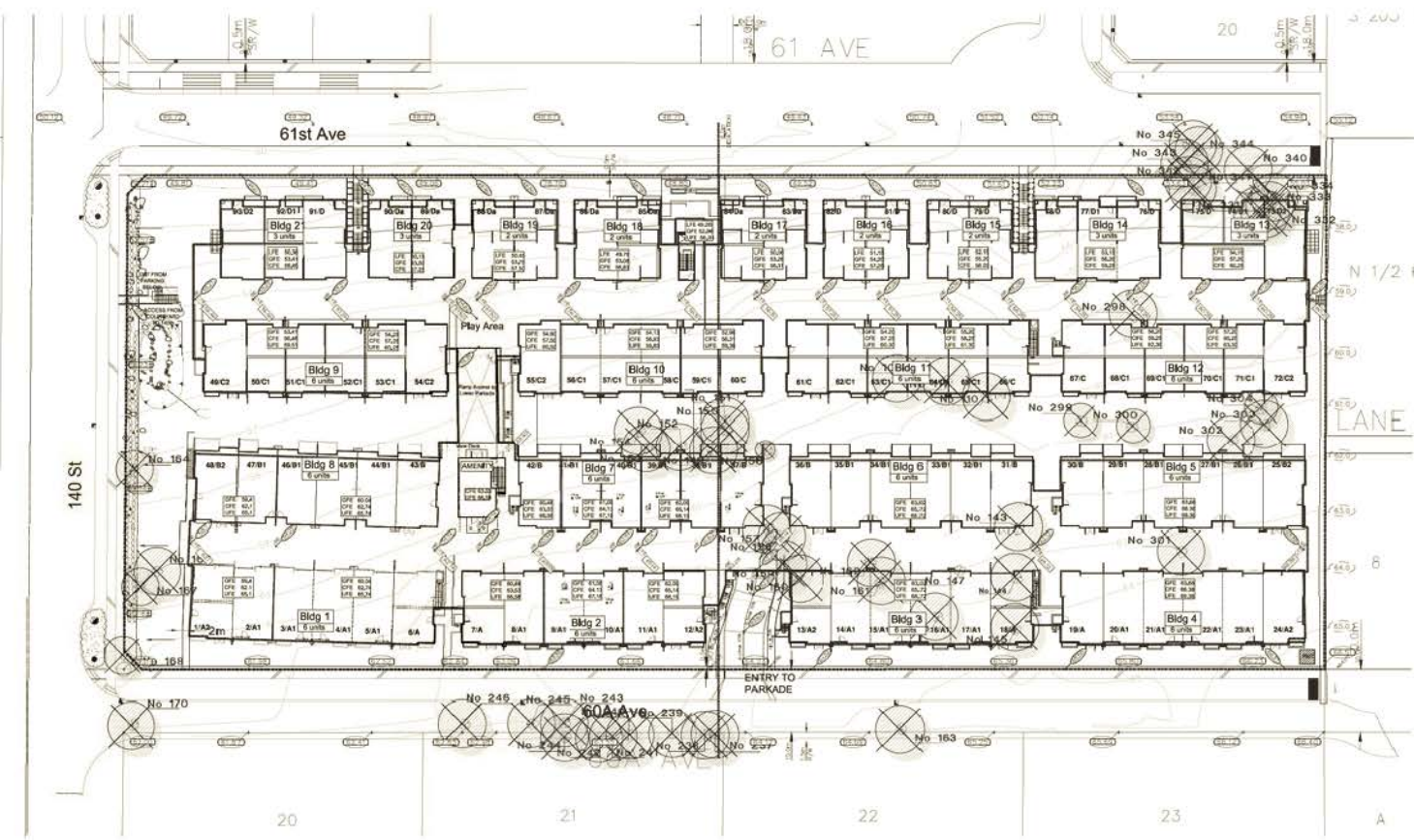
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PLAN**

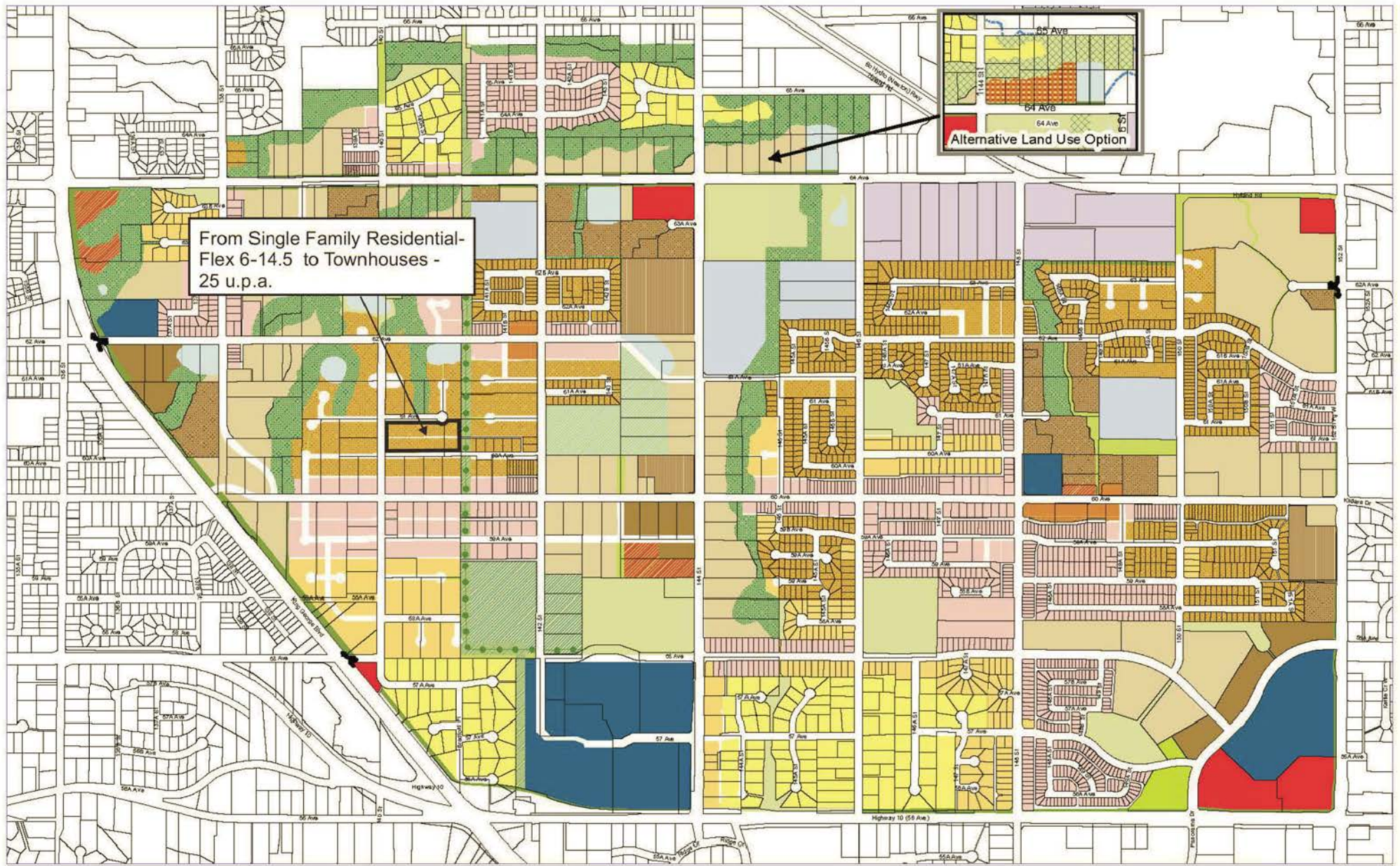
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APPENDIX V

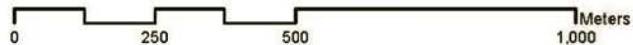




SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|--------------------------|--|---------------|---------------------------|------------------------------|
| Apartments 45 upa max | Single Family Residential Flex 6 to 14.5 | Commercial | Proposed School and Park | Buffers |
| Townhouses 25 upa max | Single Family Residential | Institutional | Parks | Detention Ponds |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre | Office Park | Proposed Park and Walkway | Utility R/W Greenway |
| Townhouses 15 upa max | Mixed Com/Res Apartments | Industrial | Recreational | Creeks and Riparian Set-back |
| Single Family Small Lots | Mixed Com/Res Townhouse | Schools | Proposed School | WALKWAY |
| Row Housing | | | | |



Adopted by Council Resolution December 6, 2004 Amended © May 2012

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 000-835-587

Lot A Section 9 Township 2 New Westminster District Plan 68663

14066 - 61 Avenue

Parcel Identifier: 000-835-595

Lot B Section 9 Township 2 New Westminster District Plan 68663

14084 - 61 Avenue

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, ground-oriented multiple unit residential buildings* and related *amenity spaces* which are to be developed in accordance with a *comprehensive design*, where *density bonus* is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Ground-oriented multiple unit residential buildings.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a floor area of 300 square metres [3,230 sq.ft.] whichever is smaller, and the maximum *unit density* shall not exceed a 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning Bylaw, 1993, No. 12000, as amended.
2. The *floor area ratio* shall not exceed 1.02 and the maximum *unit density* shall not exceed 62 *dwelling units* per hectare [25 u.p.a.].
3. The indoor *amenity space* required in Sub-section J.1 (b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 68%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

| Use | Setback | Front Yard | Rear Yard | Side Yard on Flanking Street (North) | Side Yard on Flanking Street (South) |
|---|----------------|-----------------------|----------------------|---|---|
| <i>Principal Buildings and Accessory Buildings and Structures</i> | | 9 m | 3.0 m | 4.0 m | 4.0 m |

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 13 metres [43 feet].

2. Accessory buildings and structures:
 - (a) Indoor *amenity space buildings*: The *building height* shall not exceed 11 metres [36 feet.]; and
 - (b) Other *accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident *parking spaces* shall be provided as stated in Table C.6. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Notwithstanding in the visitor parking requirements in Table C.6. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By law, 1993, No. 12000, as amended, .18 *parking spaces* per dwelling unit shall be provided for visitors.
3. All required resident and visitor *parking spaces* shall be provided as *underground parking*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

| <i>Lot Size</i> | <i>Lot Width</i> | <i>Lot Depth</i> |
|------------------------------|------------------------|-------------------------|
| 1.5 hectares. [3.7 acres] | 70 metres [230 ft.] | 120 metres [390 ft.] |

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2012, No. 17539, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone.

- 9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
 - 10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

READ A THIRD TIME ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK