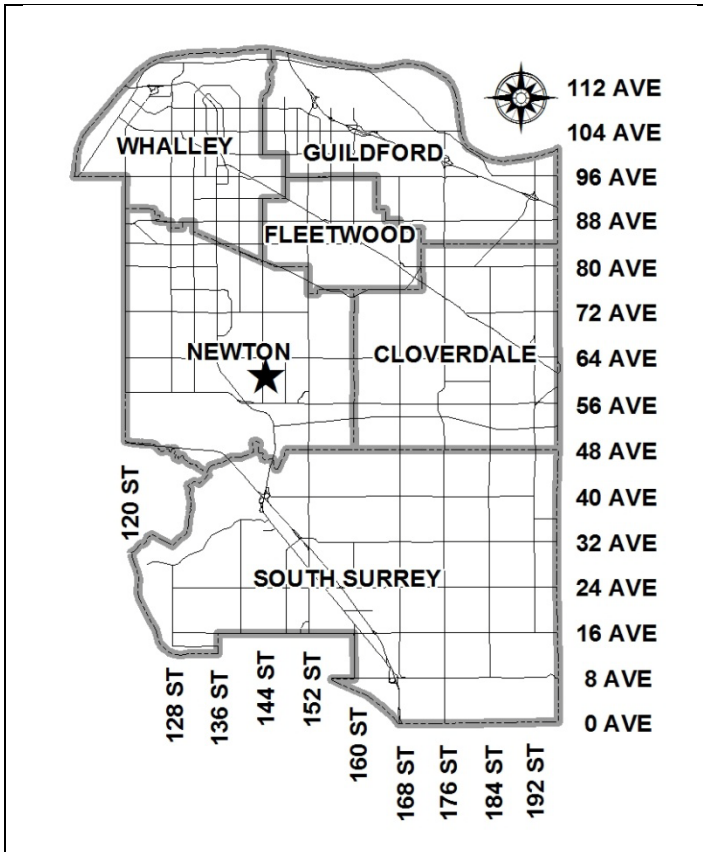


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0257-00

Planning Report Date: May 7, 2012



PROPOSAL:

- NCP amendment from "Townhouses 15 upa max" to "Townhouses 25 upa max"
- **Rezoning** from RA to CD Based on RM-30
- **Development Permit**

in order to permit the development of 80 Townhouses.

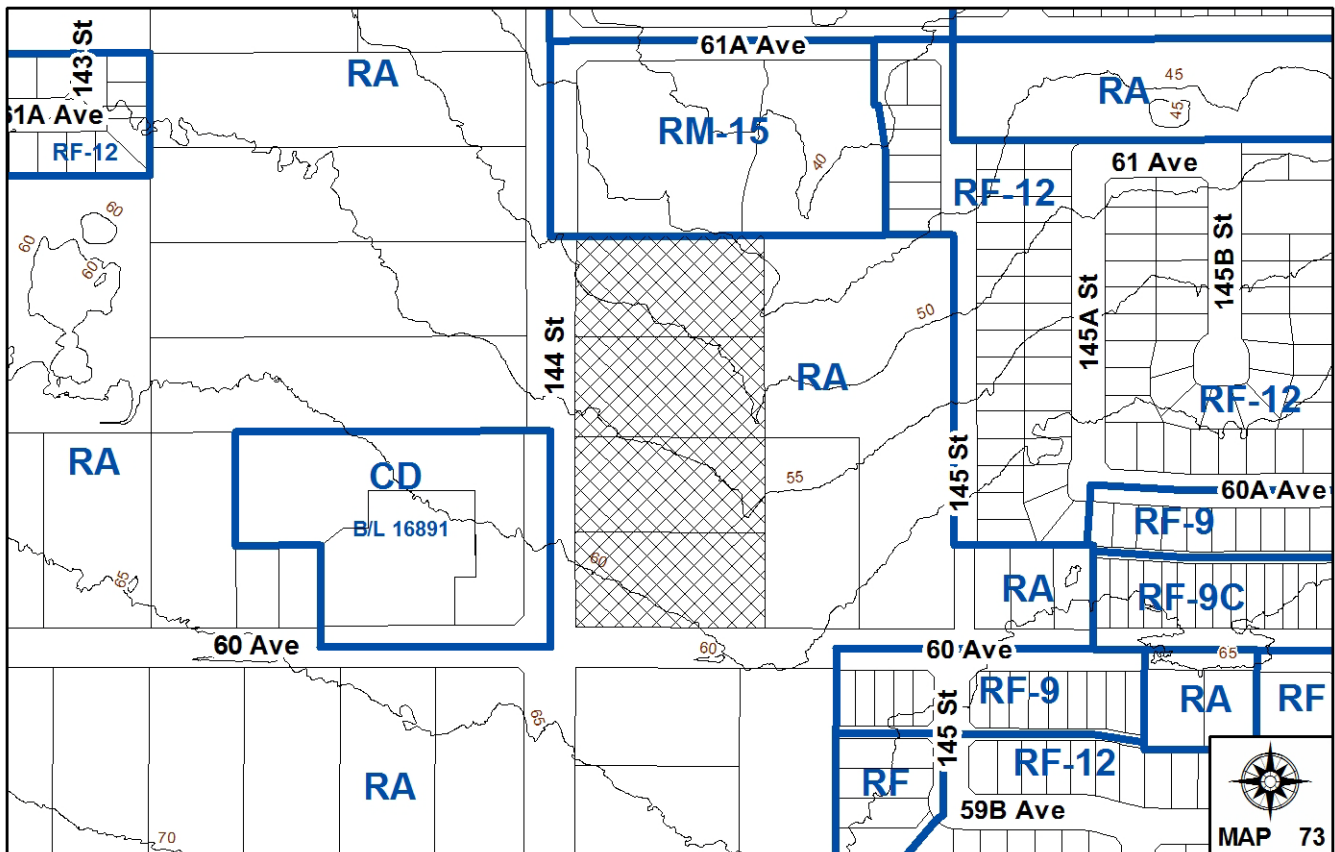
LOCATION: 6010, 6038, 6058 and 6080 - 144 Street

OWNERS: Gurdip S Kooner, Jasbir K Kooner et al

ZONING: One-Acre Residential (RA)

OCP DESIGNATION: Urban

NCP DESIGNATION: Townhouses 15 upa max.



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning;
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Needs NCP amendment to permit proposed density.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- The applicant has demonstrated a significant community benefit community from the proposal including dedication and enhancement of the existing riparian area, and the construction of the ultimate sidewalk on 144 Street.
- The proposed density and building form are appropriate for this part of South Newton.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from One-Acre Residential Zone (RA) (By-law No. 12000) to Comprehensive Development Zone (CD) (By-law No. 12000) and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 240 square metres (2,583 square feet) to 145 square metres (1,562 square feet).
3. Council authorize staff to draft Development Permit No. 7911-0257-00 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a final landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) input from Senior Government Environmental Agencies;
 - (h) the applicant enter into a P-15 agreement for monitoring and maintenance of replanting in the dedicated riparian areas;
 - (i) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (k) registration of a cross access easement to match the existing easement on the property to the north; and
 - (l) the applicant adequately address the impact of reduced indoor amenity space.

- 5. Council pass a resolution to amend the South Newton NCP to redesignate the land from "Townhouses 15 upa max" to "Townhouses 25 upa max" when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**
 13 Elementary students at Cambridge Elementary School
 6 Secondary students at Sullivan Heights Secondary School
 The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2013.
 (Appendix IV.)

Parks, Recreation & Culture: Parks has no objection to the project subject to the applicant entering into a P-15 agreement with the City for the enhancement and maintenance of the Riparian area.

Department of Fisheries and Oceans (DOF): A Class B protected watercourse, (Sullivan Heights Creek) flows down the eastern edge of the site in a south to north direction.
 Based on the environmental report prepared for this development proposal by Envirowest, DFO has agreed that a riparian setback of a minimum 15.0 metres (49 ft.) from the top of bank will be established and that the riparian areas will be conveyed to the City, to ensure proper stewardship of the environmentally sensitive area. The applicant will also re-vegetate disturbed portions of the riparian area with appropriate native plantings.

SITE CHARACTERISTICS

Existing Land Use: The site is made up of four parcels each roughly one acre in size and each contains a single family home and accessory buildings.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Townhouses	Urban/ Townhouses 15 upa max	RM-15

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East:	Large lots with single family homes	Urban/Single family Small Lots	RA
South (Across 60 Avenue):	Large lots with single family homes. Currently under application for Townhouses.	Urban/ Townhouses 15 upa max	RA
West (Across 144 Street):	Townhouses and single family homes on large lots.	Urban/ Townhouses 25 upa max	CD and RA

DEVELOPMENT CONSIDERATIONS

Subject Proposal

- The 1.9 ha (4.6 acres) site is four parcels currently zoned "One-Acre Residential Zone (RA)". The application is to rezone to a "Comprehensive Development Zone" (CD) to accommodate a proposed 80-unit townhouse development and a greenbelt park (riparian protection area). A Development Permit is also required to allow the townhouse development.
- The applicant proposes to consolidate the four lots into two including one 1.2 ha (3 acre) development site and one 0.6 ha (1.5 acre) "park" lot.
- The project proposes a unit density of 20 upa based on the developable area of the site. However, the applicant has agreed to dedicate the riparian area to the City, thereby increasing the effective net density to 27 upa. For the purposes of NCP compliance, it is appropriate to consider the density of the developable area of the site. This area is currently designated "Townhouses 15 upa max in the South Newton NCP; therefore, an NCP amendment to re-designate the proposed townhouse portion of the site to "Townhouses 25 upa max." is needed.

Background and Site Context

- The subject site is located east of 144 Street, between 60 and 61A Avenues. The site is adjacent to an existing townhouse project developed under "Townhouses 15 upa max" that also dedicated riparian area to the city, which resulted in an effective net density of 20 upa. There are also several other townhouse projects recently completed, under construction currently under application in the immediate area.

JUSTIFICATION FOR PLAN AMENDMENT

- Despite the increase in proposed density the design is sensitive to its surroundings and is complementary to existing housing forms in the area.
- The proposal results in significant riparian enhancements and protection.
- The site has been designed to mitigate interface issues with adjacent properties through setbacks, building orientation and massing.

- The applicant has assembled four properties which completes development of this corner and results in the elimination of driveways to 144 Street.
- The applicant has offered to advance the construction of the ultimate sidewalk on 144 Street at no cost to the City, thereby providing a significant public benefit to the community.
- Similar NCP amendment from "Townhouses 15 upa max" to "Townhouses 20 upa max" and "Townhouses 25 upa max" have been approved in various locations within this area of the South Newton NCP, including the townhouse site to the immediate west, across 144 Street. The increased density offsets the density lost when Townhouse designated lands were re-designated to small lots in the NCP, when development in the South Newton NCP area started in early 2000;

Proposed CD By-law

- The proposed CD By-law (Appendix VII) is similar to the RM-30 Zone, except with a maximum net unit density of 27 upa and reduced setbacks, lot coverage, height and FAR.
- The FAR of 0.90 is permitted in the RM-30 Zone. The applicant is proposing an actual FAR of 0.79, which is well below this standard.
- Permitted RM-30 site coverage is 45%, the applicant is proposing site coverage of only 36% with the reduction included in the proposed CD Bylaw.
- The proposed minimum front yard (to 60 Avenue) setback for principal buildings in the CD By-law is reduced from the RM-30 Zone. The setback to the building face will be 6.5 metres (21 ft.) rather than the 7.5 metres (25 ft.) setback required in the RM-30 Zone.
- The proposed minimum setback from a flanking street (to 144 Street) in the CD By-law is reduced from the RM-30 Zone. The setback to the building face will be 6.0 metres (20 ft.) rather than the 7.5 metres (25 ft.) setback required.
- The proposed minimum rear yard setback (to the north) in the CD By-law is reduced from the RM-30 Zone. The setback to the building face will be 6.3 metres (21 ft.), and 5.1 metres (16 ft.) to the edge of a balcony, rather than the 7.5 metres (25 ft.) setback required.
- The proposed minimum side yard setback (to the east) in the CD By-law is reduced from the RM-30 Zone. The setback to the building face will be 2.0 metres (6 ft.) rather than the 7.5 metres (25 ft.) setback required. This 2.0 m setback is proposed only where a side yard is adjacent to the riparian area and trail. Where a rear yard condition is proposed, a minimum 5.0m (16ft) setback is maintained.

- The proposed CD Zone is compared to the RM-30 Zone in the table below:

	RM-30 Zone	Proposed CD Zone (Based on RM-30)
Density (unit density and FAR)	30 units per acre 0.90 FAR	27 units per acre (max) 0.79 FAR (max)
Lot Coverage	45%	36% (max)
Setbacks	7.5 m (25 ft)	Front Yard: 6.5 m (21 ft) Side Yard: Internal: 2.0m (25 ft) Flanking: 6.0 m (20 ft) Rear Yard: Building face: 6.0 m(20 ft) Balcony: 5.1 m (16ft)
Principal Building Height	13 metres (43 ft)	13 metres (43 ft)

DESIGN PROPOSAL AND REVIEW

Access & Pedestrian Circulation

- This block is located on the north east corner of the intersection of 60 Avenue and 144 Street.
- The block has a single internal driveway running the length of the site in a north-south direction, parallel to 144 Street. A single driveway access is provided to 60 Avenue to the south and a cross access easement will be registered on site to match an existing easement on the property to the north. These access easements will to ensure continuous access through the two sites providing all residents direct access to both 60 Avenue and 61A Avenue.
- The units facing 144 Street each have an individual walkway to the ground level front doors. An additional shared pedestrian access is provided from the internal road to 144 Street at the northern end of the site.
- The Parks Department will construct a trail through the riparian area at the eastern edge of the townhouse site. There are multiple entry points proposed to this trail system from the site including direct access for trail fronting units and several additional shard access points with landscape treatments and seating areas.

Form & Character

- The proposed 80 townhouse project consists of 80 2-bedroom and 3-bedroom units in 12 buildings, with an average floor area of 119 square metres (1277 sq.ft.) per dwelling unit. All the units feature an outdoor patio or deck.
- Of the 80 units, 6 have double, side by side, garages and the remainder have a tandem parking arrangement. In addition, 16 visitor stalls have been provided, bringing the total parking count to 176 stalls.

- The site is relatively steep with grading falling to the north and east. Most of the west to east grade change has been accommodated by presenting a 2-storey expression toward 144 Street and a 3- storey expression to the internal driveway. The south to north grade change is accommodated by stepping the building form down the street which also helps to define separate units and a varied roof line.
- The design incorporates significant detailing such as bay windows, projecting dormers, wooden brackets and trim, and chimneys that add depth and interest to the facades of the buildings.
- Cladding materials include a variety of different materials in a variety of complementary colour palettes including darker red, green and grey colour schemes. The primary cladding consists of vinyl siding products, though a variety of colours are provided and long runs of siding have been broken up with concrete composite paneled bay window elements and stepped building massing.
- Strong brick elements have been included on the fronts of many buildings with extensive use of brick on the street fronting elevations, and areas of painted wood and fibre board.
- An amenity building is located at the southwest corner of the site adjacent to the intersection of 60 Avenue and 144 Street. This two story structure is 145 square metres (1562 sq. ft.) in area and consists of a multi-purpose room with kitchen, a common mail room, a second, smaller multi-purpose room, two accessible washrooms , and a library.

Tree Retention, Landscaping

- The applicant retained Froggers Creek Tree Consultants Ltd. to conduct a site inspection and prepare an arborist report for the site. The arborist report identified 44 protected trees in the developable portion of the site of which 2 are to be retained and 42 are to be removed. The majority of the trees to be removed (28) are noted to be alder and cottonwood, which are not desirable species for retention in an urban residential context. A finalized tree management plan must be submitted prior to final adoption.
- In addition to the on-site trees, the Arborist identified 74 trees within the surrounding municipal lands, included in road rights-of-way, riparian protection zone and park corridor. Many of these trees will also be saved including 52 in the park area (Appendix V)
- The chart below provides a summary of the tree retention and removal on the subject site:

Tree Species	Protected Trees	Proposed for Retention	Proposed for Removal
Big Leaf Maple	1	0	1
Cottonwood	2	0	2
Douglas Fir	4	0	4
Birch	1	1	0
Black Walnut	1	0	1
Western Red Cedar	4	1	3
Alder	26	0	26
Spruce	1	0	1
cherry	4	0	4
TOTALS	44	2	42

- To complement the retained trees on the site, the applicant proposes substantial landscaping. The landscaping plan includes a combination of trees 56 replacement trees and shrubs in a variety of species.
- Other plantings include a variety of flowering shrubs, grasses and ground covers that soften the hard surfaces of the site, mark walkways and driveways and help define the transitions between private and semi private spaces.
- There is an outdoor amenity area next to the indoor amenity, designed to encourage use by families and residents. The open spaces promote active and passive recreation with seating areas; a children's play area and the use of mixed planting to soften the hard landscape and reduce runoff. The proposed outdoor amenity space of 240 square metres (2,583 sq.ft.) meets the outdoor amenity space requirement for this site under the Zoning By-law.

Environmental Requirements

- The applicant retained ECL Envirowest Consultants Limited to undertake a site inspection and prepare an environmental report for consideration by the City's Environmental Review Committee (ERC).
- The environmental report was considered by the ERC at the November 16, 2011 ERC meeting. At the meeting it was agreed that a riparian setback of not less than 15 m (49 ft) and averaging 24.5 m (80 ft) would be established and that the riparian areas would be conveyed to the City, to ensure proper stewardship of the environmentally sensitive area.
- The applicant will also re-vegetate the riparian area with appropriate native plantings and improve the stream by removing blockages and clearing out the non-natural debris that has accumulated over time. A P-15 agreement will be required for monitoring and maintenance of replanting in the dedicated riparian areas.

SUSTAINABILITY

- Sustainable features of this proposal include the following:
 - Sustainable storm-water management techniques intend to meet "Low Impact Development Standards" (LIDS)
 - Dedication and enhancement of a portion of Sullivan Heights Creek.
 - The applicant has committed to provide an electric vehicle plug-in in each garage.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping were reviewed by staff and found acceptable.

PRE-NOTIFICATION /CONSULTATION

- Pre-notification letters were sent on March 9, 2012. No comments from the public were received.
- A development sign outlining the proposed project and required NCP Amendment was installed on the property on March 19, 2012. No comments from the public were received.
- The proposed NCP Amendment uses also required additional public consultation in the form of a Public Information Meeting (PIM). This meeting was held on April 12, 2012. The applicant reports that a total of five residents signed in to the meeting. Three comment sheets were submitted with no concerns expressed.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	NCP Plan
Appendix VII.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Environmental Report Prepared by ECL Envirowest Consultants Ltd. Dated November 2, 2011
- Complete Set of Architectural and Landscape Plans prepared by Integra Architecture Inc. and Jonathon Lossee Ltd. respectively, dated April 20, 2012.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MN/kms

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DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: CD (based on RM-30)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		18,732m ²
Road Widening area		736m ²
Undevelopable area		5,930m ²
Net Total		18,732m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	36%
Paved & Hard Surfaced Areas		
Total Site Coverage	45%	36%
SETBACKS (in metres)		
Front	7.5 m (25 ft)	6.5 m (21 ft)
Side (flanking street)	7.5 m (25 ft)	6.0 m (20 ft)
Side (internal)	7.5 m (25 ft)	2.0 m (6 ft)
Rear	7.5 m (25 ft)	6.5 m (21 ft)
Rear balcony	6.9 m (23 ft)	5.1 m (16 ft)
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m (42 ft)	13 m (42 ft) -3 Storeys
Accessory	11 m (39 ft)	11 m (39 ft) - 2 storeys
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +	89	80
Total	89	80
FLOOR AREA: Residential	10,859 m ² (1008.8ft ²)	9,496 m ² (102,220 ft ²)
FLOOR AREA: Commercial		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
	10,859 m ² (1008.8ft ²)	
TOTAL BUILDING FLOOR AREA		9,496 m ² (102,220 ft ²)

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	74 upa(30 upa)	67 uph (27 upa)
FAR (gross)		
FAR (net)	0.90	0.79
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential: 2-Bed and 3-Bed	160	160
Residential Visitors	16	16
Institutional		
Total Number of Parking Spaces	176	176
Number of disabled stalls	2	2
Number of small cars	44	0
Tandem Parking Spaces: Number / % of Total Number of Units		84%
Size of Tandem Parking Spaces width/length		

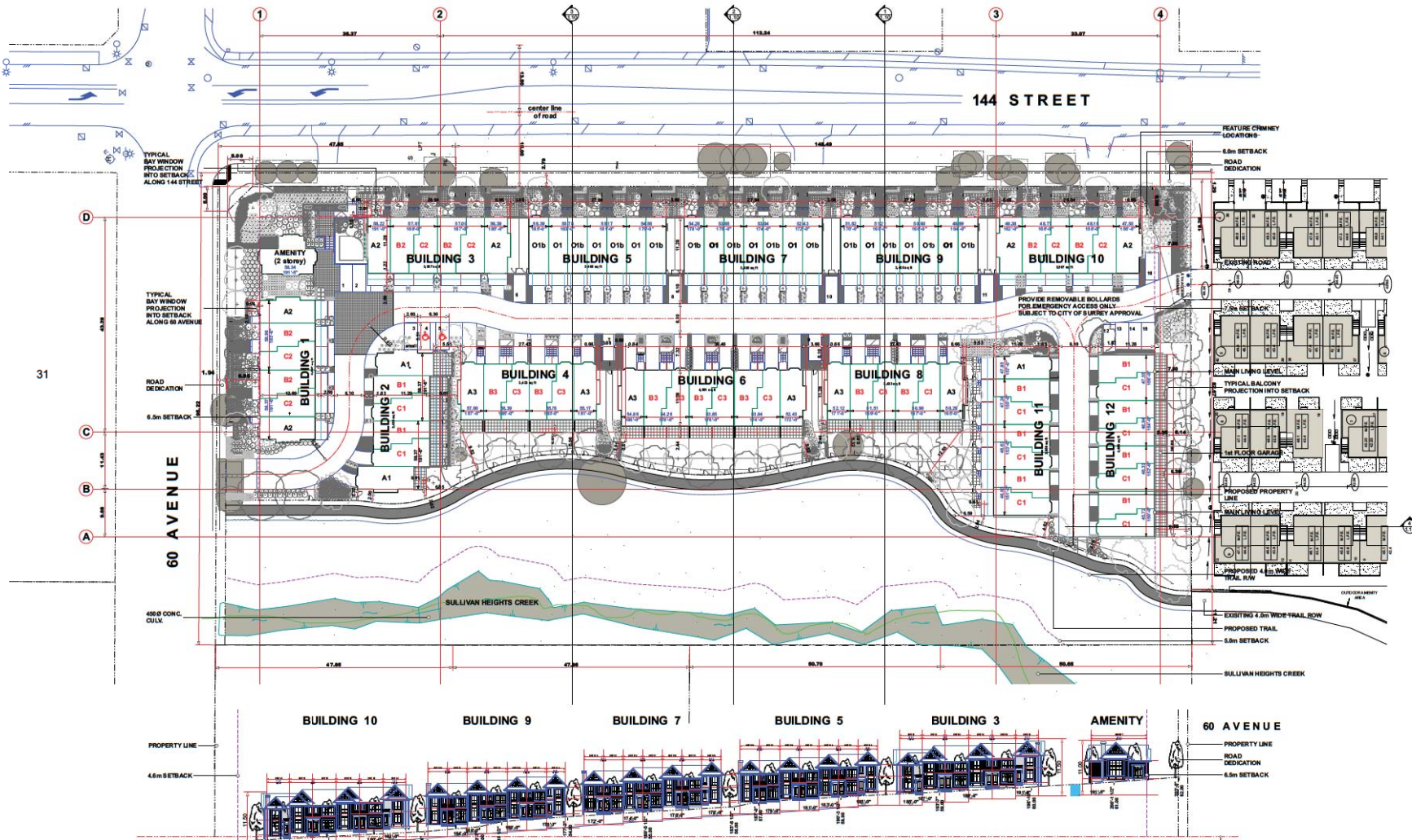
Heritage Site	NO	Tree Survey/Assessment Provided	YES
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INTEGRA ARCHITECTURE INC.

416 WEST PENDER STREET
VANCOUVER, BC V6B 1T5
TEL: 604.220.7700 FAX: 604.220.7701
info@intgra-arch.com
www.intgra-arch.com



144TH STREETSCAPE ELEVATION



ALONG 60TH AVENUE

ARCHITECT SCALE

ROYALE PROPERTIES (SOUTH NEWTON) LTD.

TOWNHOME DEVELOPMENT
144 ST. & 60 AVE.
SURREY, BC

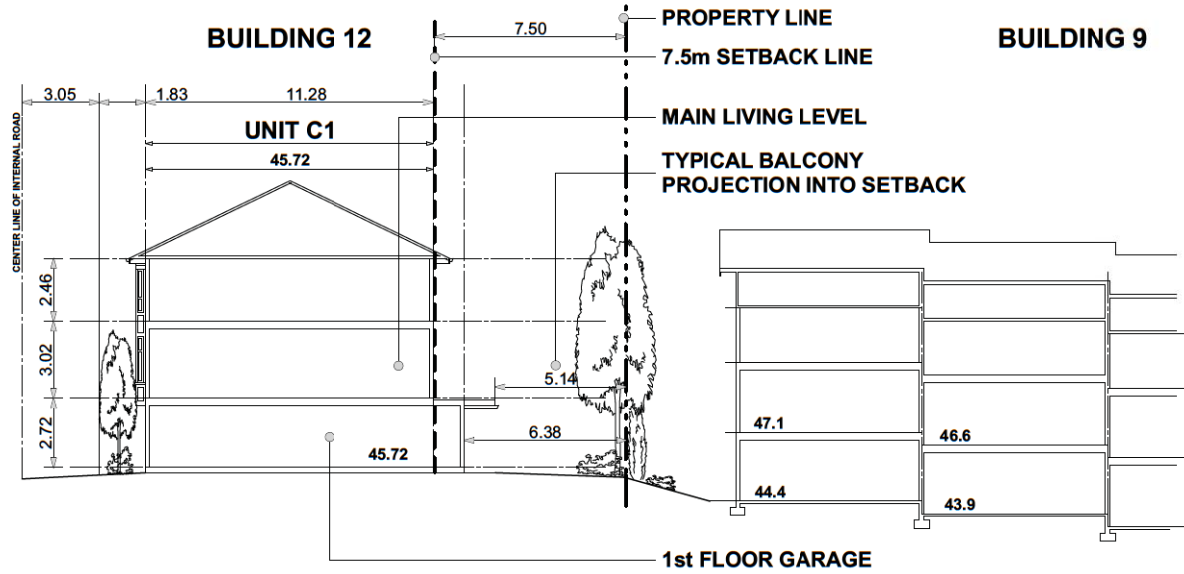
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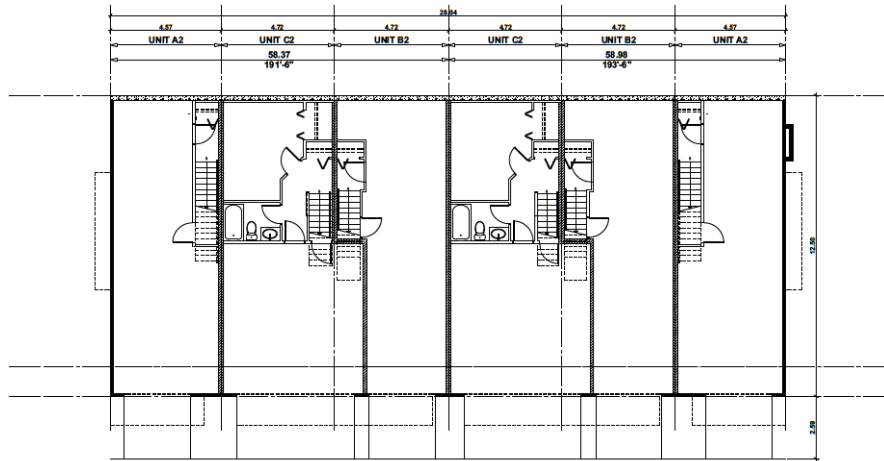
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PROPOSED TOWNHOUSES

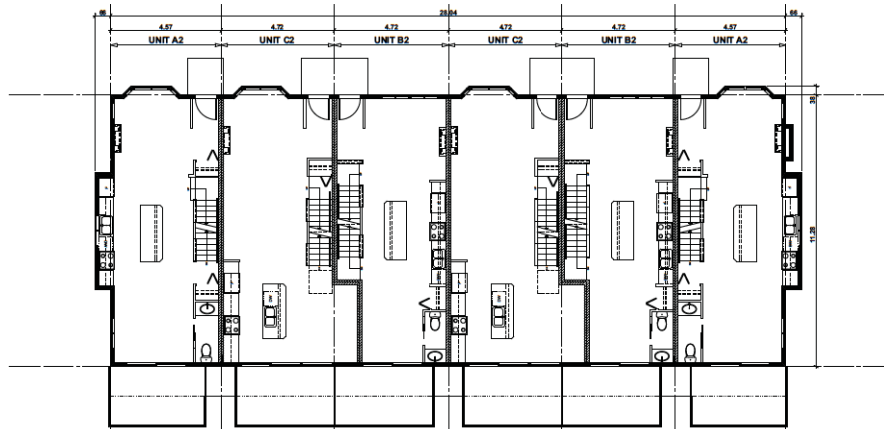
EXISTING TOWNHOUSES



4 SECTION 4



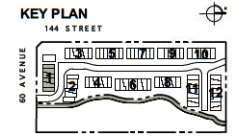
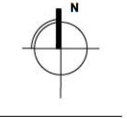
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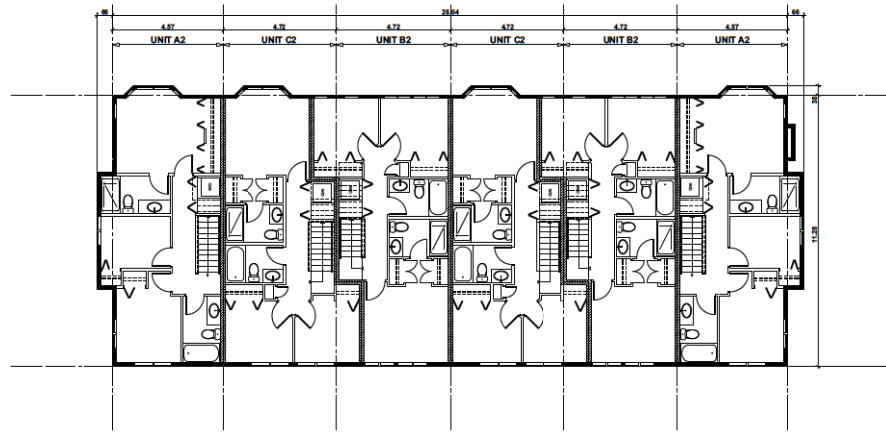
2 2nd FLOOR PLAN BUILDING 1



INTEGRA ARCHITECTURE INC.
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 VANCOUVER, BC V6B 1T5
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 info@intgra-arch.com
 www.intgra-arch.com



[ARCHITECT SCALE]
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 ROYALE PROPERTIES
 (SOUTH NEWTON) LTD.
 [PROJECT]
 TOWNHOME DEVELOPMENT
 144 ST & 60 AVE.
 SURREY, BC
 [TITLE]
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 FLOOR PLAN**
 [PROJECT]
 11284
 [SCALE]
 1/8"=1'-0"
 [DATE]
 APRIL 20, 2012
 [REV]
 3
 [DRAWING]



3 3rd FLOOR PLAN BUILDING 1



INTEGRA ARCHITECTURE INC.
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 www.intgra-arch.com



[ARCHITECT SCALE]

[OWNER]
**ROYALE PROPERTIES
 (SOUTH NEWTON) LTD.**

[PROJECT]
**TOWNHOME
 DEVELOPMENT**
 144 ST & 80 AVE.
 SURREY, BC

[TITLE]

**BUILDING 1
 FLOOR PLAN**

[PROJECT]

11284 [SCALE]

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APRIL 20, 2012 [REV]

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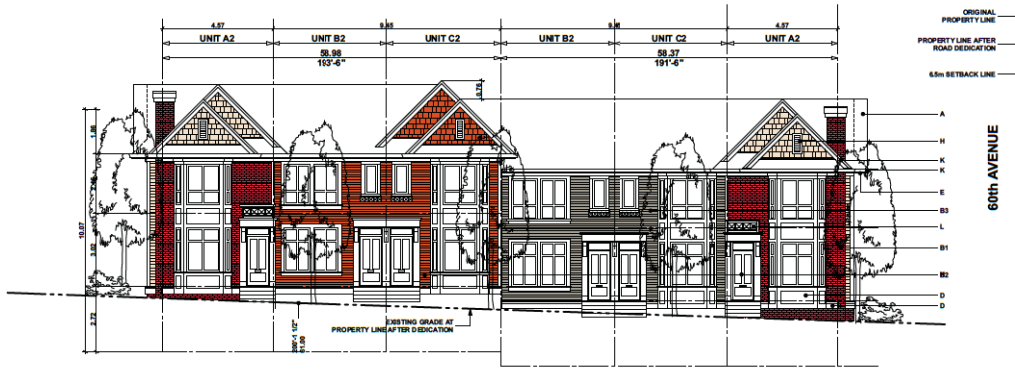
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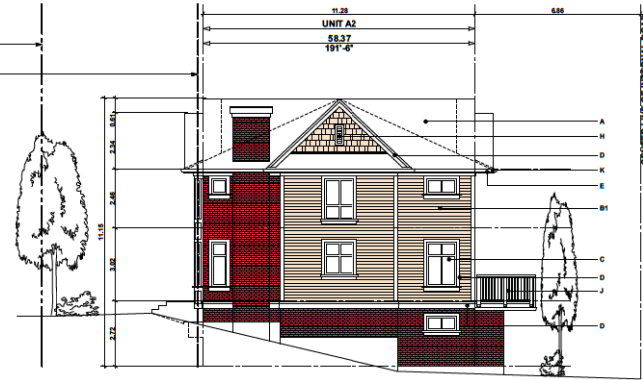
KEY PLAN



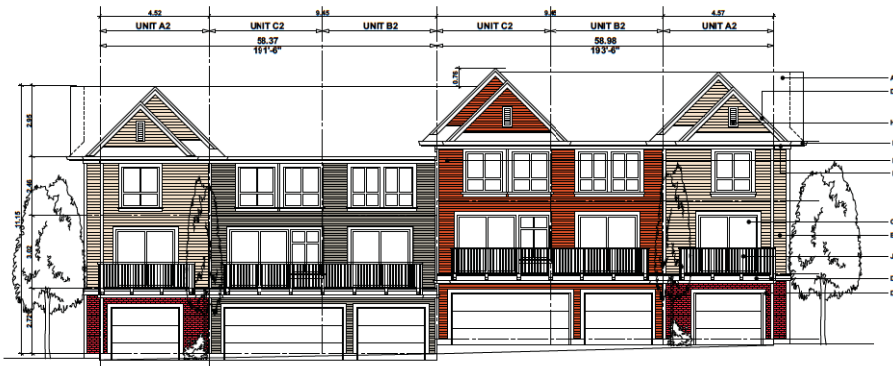
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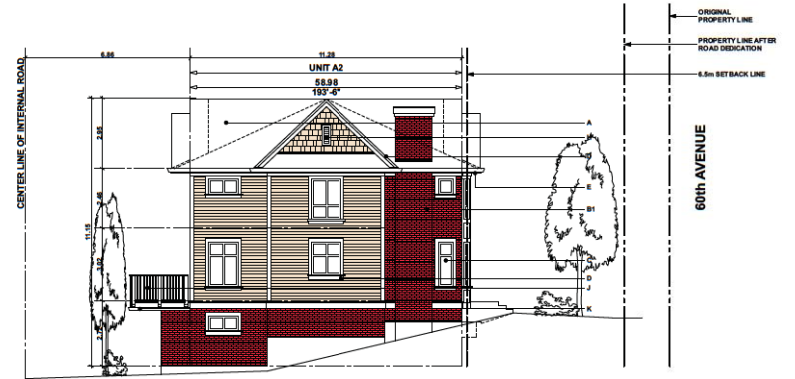
① BUILDING 1 - SOUTH ELEVATION (60th AVENUE)



② BUILDING 1 - EAST ELEVATION



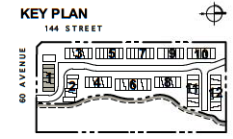
③ BUILDING 1 - NORTH ELEVATION - INTERIOR STREET

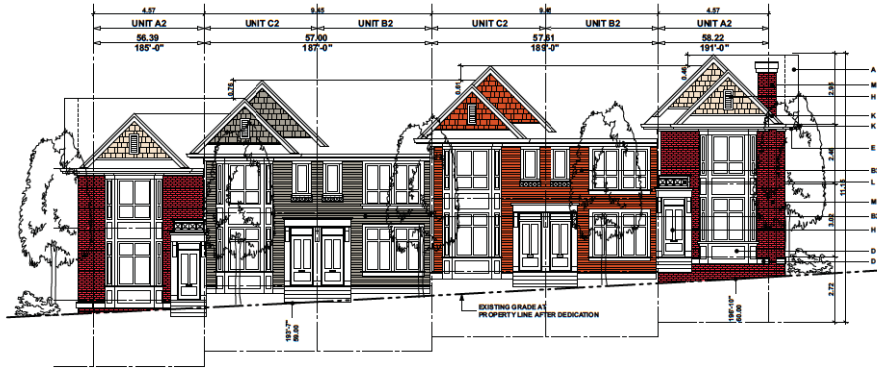


④ BUILDING 1 - WEST ELEVATION

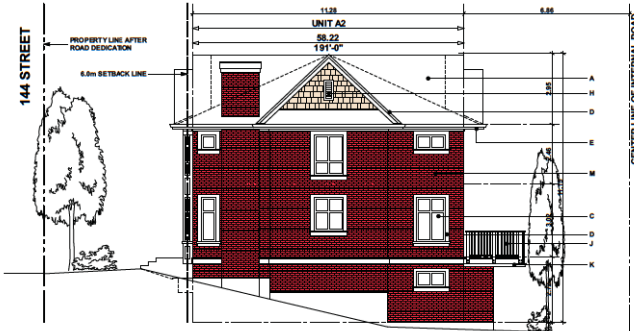
⑤ MATERIAL & COLOUR LEGEND
SK-1 RED

Colour	Manufacturer	Colour to match Reference No.	Elements
→ A Grey / Brown	Malarkey	Northeast 30 Midnight Black	Laminated Asphalt Shingles at Steeped Roofs
→ B1 Beige	Gensik	Carson Clay profile B4	Vinyl siding 1x4, 2nd, 3/4" floors exterior walls
→ B2 Grey	Gensik	Burn profile B4	Vinyl siding 1x4, 2nd, 3/4" floors exterior walls
→ B3 Red	Gensik	Venustus Red profile B4	Vinyl siding 1x4, 2nd, 3/4" floors exterior walls
→ C White	Vinyl Windows	White	Vinyl windows w/ matching flashing & window trim
→ D White	Bendish Moore	OC 64 Pure White	Wood trim at windows, handrails at bay windows, decorative brackets/beams at unit entry roof overhangs
→ E White	Gensik	Soft Snow White	A panel perforated aluminum soffits @ all other soffits locations - sloped soffits, 1/2" x factory overhang at garage elevations
→ F White	Makris Metals Ltd.	Matte White	Flashing @ white windows and handrails locations grey
→ G Black	Makris Metals Ltd.	Black	Flashing @ flat and sloped roofs
→ H Dark Grey	Bendish Moore	BM 1504-30 Iron Mountain	Entry door and patio cover
→ J Black	SUPERMEL Powder Coatings	P400-61665 Midnight Black	Aluminum / glass railing @ balconies
→ K White	Gensik Aluminium Colours	White	Downspouts, gutters
→ L Black	Makris Metals Ltd.	Black	Decorative window boxes

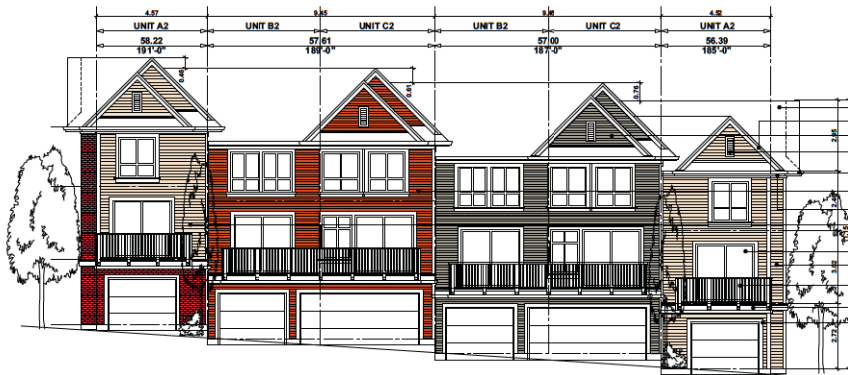




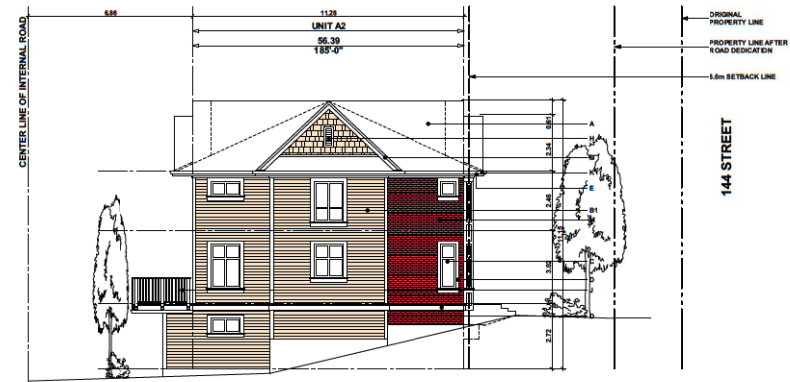
① **BUILDING 3 - WEST ELEVATION - 144th STREET**
BUILDINGS 1 AND 10 SIMILAR



② **BUILDING 3 - SOUTH ELEVATION**



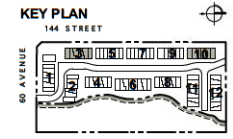
③ **BUILDING 3 - EAST ELEVATION - INTERIOR STREET**



④ **BUILDING 3 - NORTH ELEVATION**

⑤ **MATERIAL & COLOUR LEGEND**
SK-1 RED

Colour	Manufacturer	Colour to match Reference No.	Elements
→ A Grey / Brown	Malarkey	Northeast 30 Midnight Black	Laminated Asphalt Shingles at Shaped Roofs
→ B1 Beige	Gensik	Carryon Clay profile B4	Vinyl siding 1st, 2nd, 3rd, floors exterior walls
→ B2 Grey	Gensik	Burns profile B4	Vinyl siding 1st, 2nd, 3rd, floors exterior walls
→ B3 Red	Gensik	Venades Red profile B4	Vinyl siding 1st, 2nd, 3rd, floors exterior walls
→ C White	Vinyl Windows	White	Vinyl windows w/ matching flashing & window trim
→ D White	Bertram Moore	OC 64 Pure White	Wood trim at windows, handrails at bay windows, Decorative brackets/beams at unit entry roof overhangs
→ E White	Vinyl Soffit	Gensik Snow White	A panel perforated aluminum soffits @ all other soffits locations - sloped soffits, flat soffits, overhangs at garage elevations
→ F White	Makris Metals Ltd.	Matte White	Flashing @ white windows and handrails locations grey
→ G Black	Makris Metals Ltd.	Black	Flashing @ flat and sloped roofs
→ H Dark Grey	Bertram Moore	BM 3154-30 Iron Mountain	Entry door and patio door
→ J Black	SUPERMEL Powder Coatings	P4100-61665 Midnight Black	Aluminum / glass railing @ balconies
→ K White	Gensik Aluminium Colours	White	Downspouts, gutters
→ L Black	Makris Metals Ltd.	Black	Decorative window boxes
→ M Roof	Malarkey	Autumn Blend Mission	Black weaver @ balcony columns & feature walls



INTEGRA ARCHITECTURE INC.
 416 WEST PENDER STREET
 VANCOUVER, BC V6B 1T5
 T 604.688.4220 F 604.688.4270
 info@intgra-arch.com
 www.intgra-arch.com

ROYALE PROPERTIES
 (SOUTH NEWTON) LTD.

TOWNHOME DEVELOPMENT
 144 ST & 60 AVE.
 SURREY, BC

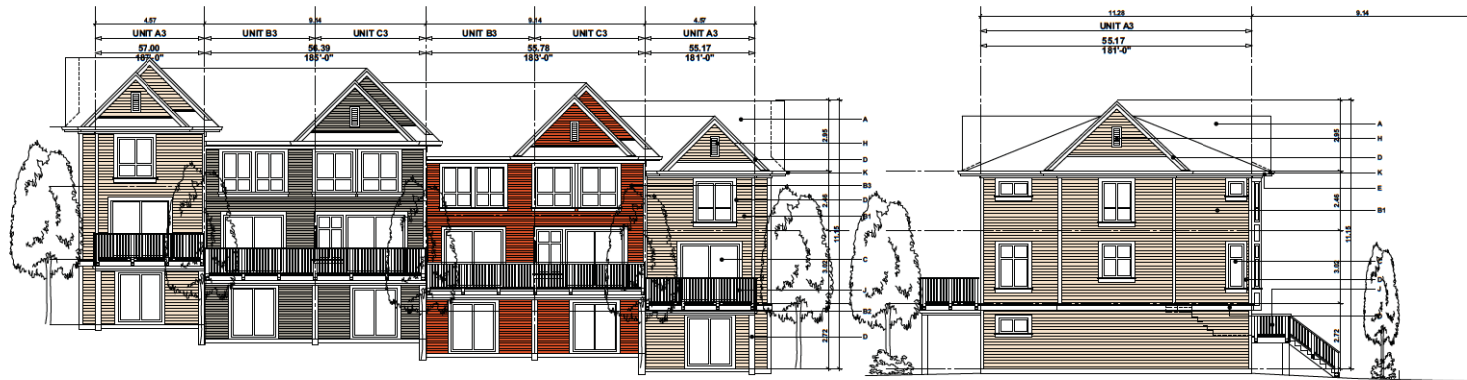
BUILDING 3 ELEVATIONS

11264
 APRIL 20, 2012
 3



① **BUILDING 4 - WEST ELEVATION - INTERNAL STREET**
BUILDINGS 6 AND 8 SIMILAR

② **BUILDING 4 - SOUTH ELEVATION**



③ **BUILDING 4 - EAST ELEVATION - YARD**

④ **BUILDING 4 - NORTH ELEVATION**

⑤ **MATERIAL & COLOUR LEGEND**
SK-1 RED

Colour	Manufacturer	Colour to match... Reference No.	Element	
—A	Grey / Brown	Malarkey Northwest 20 Mixing N Black	Laminated Asphalt Shingles at Shaped Roofs	
—B1	Slipco	Genpak Canyon Grey profile D4	Vinyl siding 1st, 2nd, 3rd, 4th exterior walls	
—B2	Grey	Genpak Storm profile D4	Vinyl siding 1st, 2nd, 3rd, 4th exterior walls	
—B3	Red	Genpak Northwest Red profile D4	Vinyl siding 1st, 2nd, 3rd, 4th exterior walls	
—C	White	Wing Windows White	Vinyl windows of matching flashing & window frame	
—D	White	Benjamin Moore OC 66 Pure White	Wood trim at windows, handrails at bay windows, decorative brackets/beams at unit entry roof overhangs	
—E	White	White Soft	Genpak Snow White	4 panel perforated aluminum soffits @ all other soffits locations - raised soffits, 1/2" of balcony overhangs at gable elevations

—F	White	Mastic	Master L&L	White	Flashing @ white windows and handrails locations only
—G	Black	Mastic	Master L&L	Black	Flashing @ flat and sloped roofs
—H	Dark Grey	Benjamin Moore	BM 2134-00	Iron Mountain	Entry door and gable louver
—J	Black	SUPERSEAL	Coastal	PA100-01658	Minight 1/2" back
—K	White	Genpak	Chateau Colours	White	Downspouts, gutters
—L	Black	Mastic	Master L&L	Black	Decorative window boxes

KEY PLAN



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ROYALE PROPERTIES
 (SOUTH NEWTON) LTD.

TOWNHOME
 DEVELOPMENT
 144 ST & 60 AVE.
 SURREY, BC

BUILDING 4

ELEVATIONS

11264

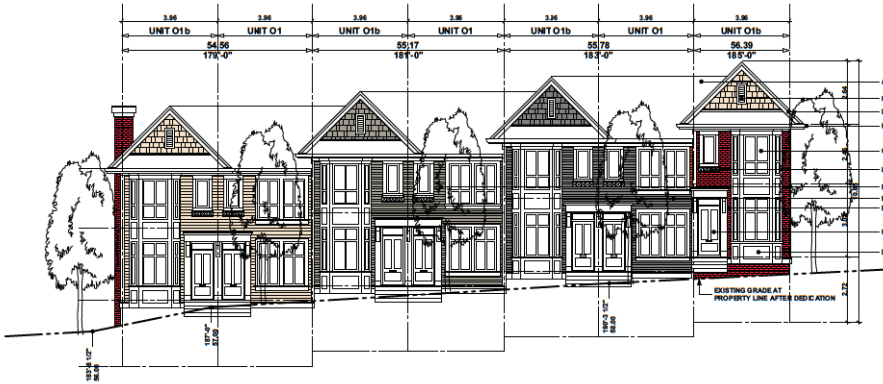
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APRIL 20, 2012

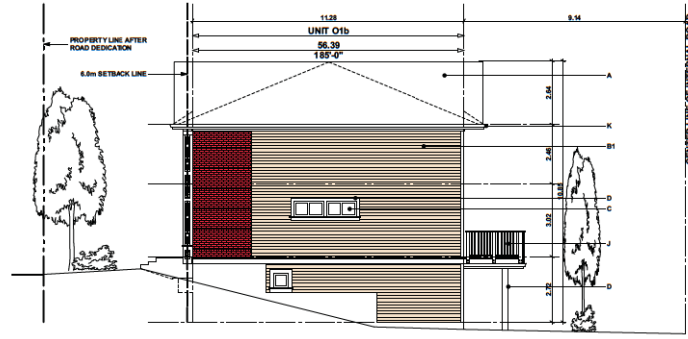
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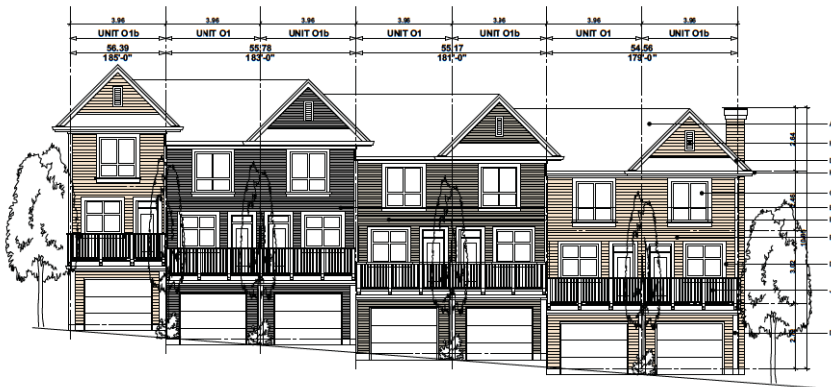
INTEGRA ARCHITECTURE INC.
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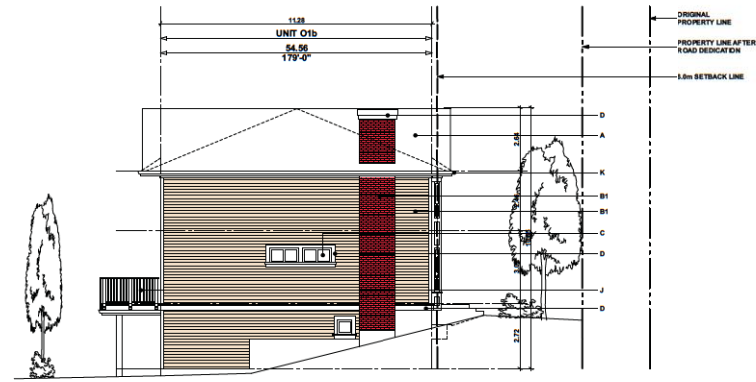
1 BUILDING 5 - WEST ELEVATION - 144th STREET
BUILDINGS 7 AND 9 SIMILAR



2 BUILDING 5 - SIDE ELEVATION



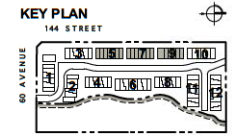
3 BUILDING 5 - EAST ELEVATION - INTERIOR STREET



4 BUILDING 5 - SIDE ELEVATION

5 MATERIAL & COLOUR LEGEND
SK-3 GRAY

Colour	Manufacturer	Colour to match... Reference No.	Elements
A Grey / Brown	Malarkey	Northwest 22 Midnight Black	Laminated Asphalt Shingles at Sloped Roofs
B1 Beige	Genek	Canyon Clay 141, 2nd, 3rd	Vinyl siding, Soora exterior walls
B2 Grey	Genek	Storm profile 04	Vinyl siding, 141, 2nd, 3rd, Soora exterior walls
B3 Dark Grey	Genek	Woodgrain smoke profile 04	Vinyl siding, 141, 2nd, 3rd, Soora exterior walls
C White	Vinyl Windows	White	Vinyl windows w/ matching siding & window trims
D White	Benjamin Moore	OC 66 Pure White	Wood trim at windows, hand-lapped at bay windows, decorative brackets/beams at unit entry roof overhangs
E White	Genek Soffit	Snow White	4 panel perforated aluminum soffit @ all other soffit locations - eaved soffit, @ all soffit overhangs at gable elevations
F White	Muller Metal L.L.C.	White	Flashing @ white windows and hand-caps @ soffits - only
G Black	Muller Metal L.L.C.	Black	Flashing @ flat and sloped roofs
H Dark Grey	Benjamin Moore	BM 2134-20 Iron Mountain	Entry door and grille louvers
J Black	ALUMINUM OVER COATING	P4100-01008 Midnight Black	Aluminum / glass railing @ balconies
K White	Genek Aluminum Columns	White	Downspouts, gutters
L Black	Muller Metal L.L.C.	Black	Decorative window boxes



ROYALE PROPERTIES
 (SOUTH NEWTON) LTD.

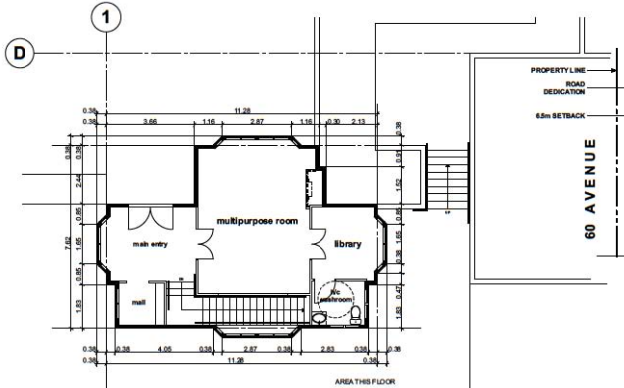
TOWNHOME
 DEVELOPMENT
 144 ST & 60 AVE.
 SURREY, BC

**BUILDING 5
 ELEVATIONS**

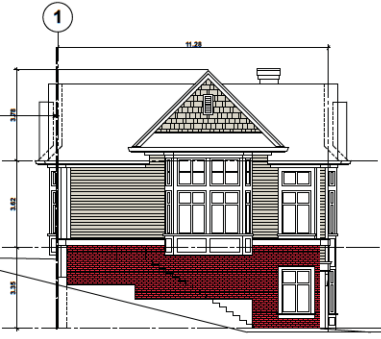
11/2014
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 APRIL 20, 2012



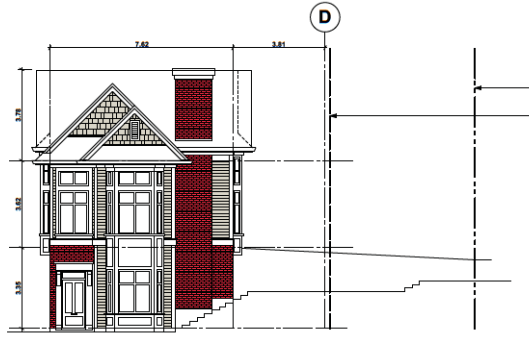
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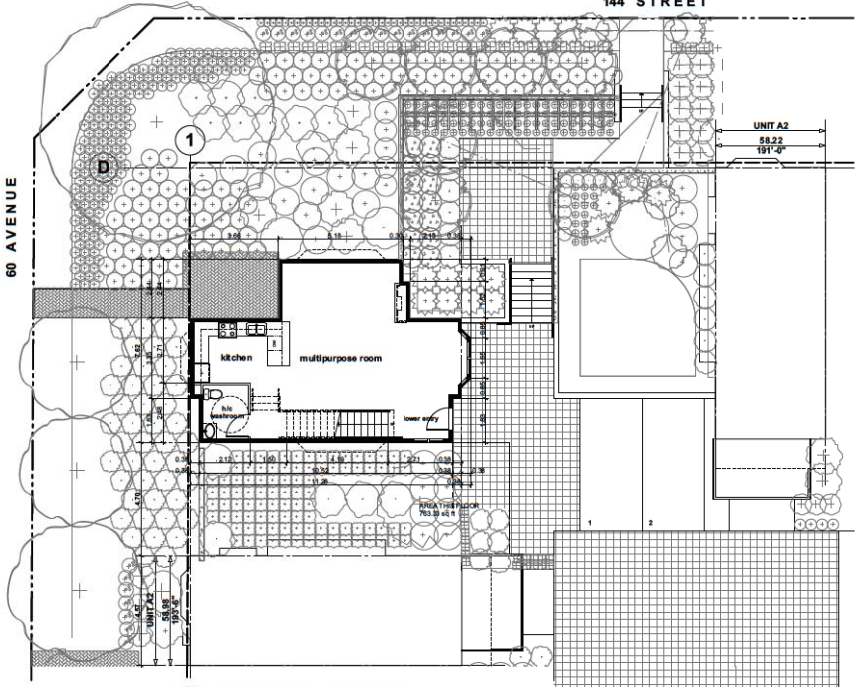
1 AMENITY - UPPER LEVEL



3 AMENITY - EAST ELEVATION



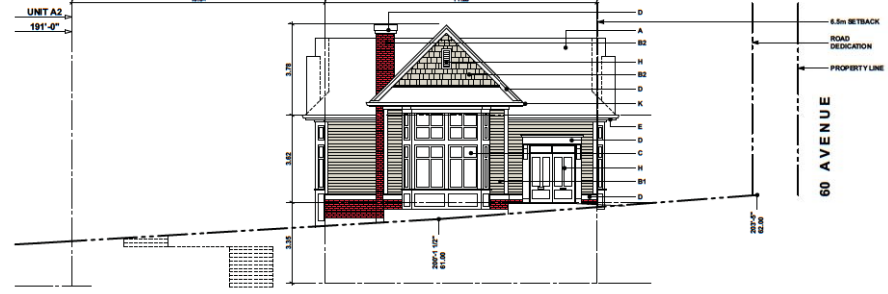
4 AMENITY - NORTH ELEVATION



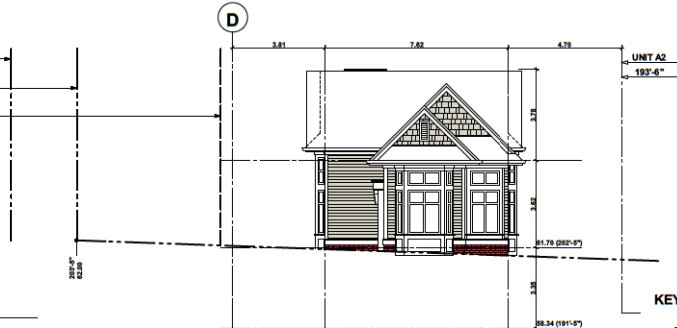
2 AMENITY - LOWER LEVEL

7 MATERIAL & COLOUR LEGEND

Colour	Manufacturer	Colour to match - Reference No.	Elements
Grey / Brown	Malarkey	Northwest 30 Midnight Black	Unfinished Asphalt Shingles @ Steep Slope
Yellow	Benjamin Moore	HC-11 Blackhead gold	Halfpencil 8" exposure Cedar mill texture @ exterior walls
Medium Grey	Benjamin Moore	HC-168 Chelsea Grey	Halfshingles at gables
White	Vinyl Windows	White	Vinyl windows w/ matching railing & window trim
White	Benjamin Moore	OC-44 Pure white	Wood trim at windows, halfpencil at bay windows, decorative brackets/beams at unit entry w/ overhangs
White	Genak Snow White		4 panel perforated aluminum on file @ all other soffits locations w/riped soffits, use of halos, w/ribs @ garage overhangs
White	Metallic L.M.	Metallic White	Flashing @ white windows and handrails to outside only
Black	Metallic L.M.	Black	Flashing @ flat and steep roofs
Dark Grey	Benjamin Moore	BM 7134-30 Iron Mountain	Entry door and gable lower
Black	SUPERMEL Powder Coatings	PA166-6168 Midnight Black	Aluminum / glass railing @ balconies
White	Genak Aluminium Colour	White	Downspouts, gutters
Red	Metallic Metals	Aurora Blend Mistral	Brick veneer @ chimney and 1st floor



5 AMENITY - WEST ELEVATION (144th STREET)



6 AMENITY - SOUTH ELEVATION (60th AVENUE)

KEY PLAN



(ARCHITECT SCALE)

(CLIENT)

ROYALE PROPERTIES (SOUTH NEWTON) LTD.

(PROJECT)

TOWNHOME DEVELOPMENT

144 ST & 60 AVE.

SURREY, BC

AMENITY PLANS/ELEV.

11/2011 (REVISED)

1:100 (SCALE)

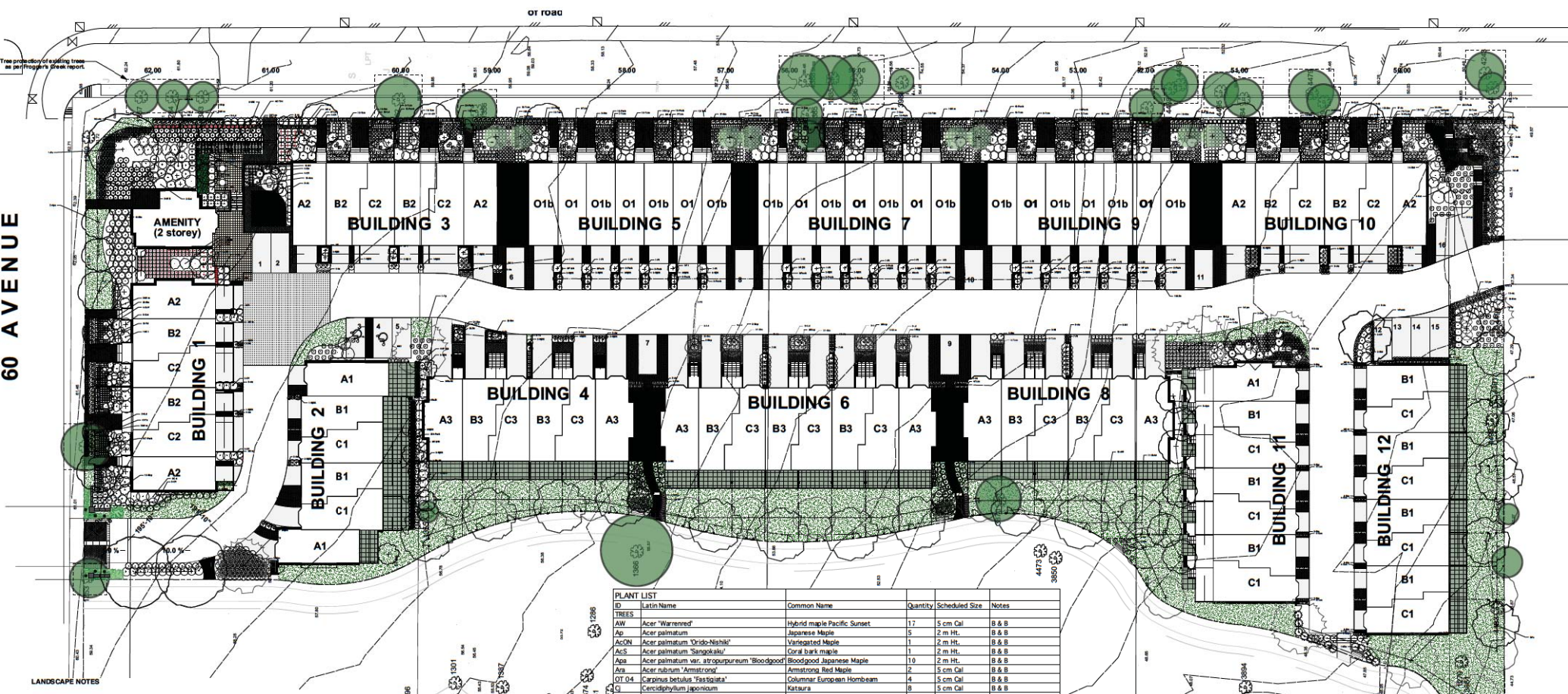
APRIL 20, 2012 (DATE)

3 (SHEET)

(DRAWING)

A-3.000

60 AVENUE



- LANDSCAPE NOTES**
1. Sizes on the planting plan shall be considered minimum sizes.
 2. All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington, Oregon, California, and B.C.
 3. Root balls to be free of pemicious weeds.
 4. Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf plantings. Min. soil depths are 6" for lawn areas, 18" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and rake smooth.
 5. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from buildings at a minimum of 2%. The prepared subgrade shall be approved by the Consultant prior to application of top soil mixtures and final grading. Slope towards lawn basins at min. 4%.
 6. Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed' as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
 7. Protection of existing trees/shrubs to remain: Install temporary tree protection fencing as per Frogger's Civil Arborist Report. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
 8. Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
 9. All landscaping to have high efficiency irrigation system to IABC standards.

PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
AW	Acer 'Warrenred'	Hybrid maple Pacific Sunset	17	5 cm Cal	B & B
Ap	Acer palmatum	Japanese Maple	5	2 m Ht.	B & B
ACON	Acer palmatum 'Ordo-Nichol'	Variiegated Maple	1	2 m Ht.	B & B
AC5	Acer palmatum 'Sangoakalu'	Coral bark maple	1	2 m Ht.	B & B
Apa	Acer palmatum var. atropurpureum 'Bloodgood'	Bloodgood Japanese Maple	10	2 m Ht.	B & B
Ara	Acer rubrum 'Armstrong'	Armstrong Red Maple	2	5 cm Cal	B & B
OT 04	Carpinus betulus 'Fastigiata'	Columnar European Hornbeam	4	5 cm Cal	B & B
CI	Cercidiphyllum japonicum	Katsura	8	5 cm Cal	B & B
CVV	Cornus x 'Venus'	Venus Dogwood	14	5 cm Cal	B & B
FD	Fagus sylvatica 'Daywicki'	Fatigiate Purple Leaf Beech	5	5 cm Cal	B & B
FA	Fagus sylvatica purpurea	European Beech	5	5 cm Cal	B & B
FKA	Fraxinus americana 'Autumn Purple'	Autumn Applause American Ash	12	5 cm Cal	B & B
Fe	Fraxinus excelsior 'Gold Cloud'	Golden Ash	5	5 cm Cal	B & B
L5a	Liquidambar styraciflua 'Slender Silhouette'	'Slender Silhouette' Sweet Gum	25	3 cm Cal	B & B
Msp	Malus spp.	Assorted Apples for Cross-Pollination	3	2 cm cal. min.	B & B
Pa	Picea omorika	Serbian Spruce	5	3 m Ht.	B & B
Tp	Thuja plicata	Western redcedar	11	3 m Ht.	B & B
SHRUBS					
As	Arctostaphylos uva-ursi	Kinnikinnick	1140	4" pot	Cont.
Asa	Asarum spp.	Wild Ginger	110	4" pot	Cont.
Bta	Berberis thunbergii var. atropurpurea 'Nana'	Dwarf Japanese Barberry	121	2 gal	Cont.
Bm	Buxus microphylla 'Blondy'	Golden Boxwood	442	2 gal	Cont.
MF	Calamagrostis canadensis 'Karl Foerster'	Karl Foerster Feather Reed Grass	33	1 gal	Cont.
CV	Ceanothus 'Victoria'	California Lilac	108	3 gal	Cont.
Cl	Choysya ternata	Mexican orange	53	2 gal	Cont.
CMR	Clematis montana 'Rubens'	Pink Anemone Clematis	2	2 gal	Cont.
Ort	Cotinus coggygria	Smoke Tree	20	5 gal	Cont.
CAG	Cotoneaster salicifolius 'Gnom'	Cotoneaster Gnom	14	2 gal	Cont.
Az	Dwarf Azalea	Dwarf Azalea	96	1 gal	Cont.
Eu	Euphorbia characias ssp. wulfenii	Evergreen spurge	38	2 gal	Cont.
Hm	Hakonechloa macra	Japanese Forest Grass	384	1 gal	Cont.
Heu	Heuchera spp.	Coral Bells	21	1 gal pot	Cont.
Ld	Ligularia dentata	Summer ragwort	149	1 gal	Cont.
Lp	Lonicera pileata	Privet Honeysuckle	672	2 gal	Cont.
Mm	Mahonia media 'Charity'	Charity Mahonia	110	2 gal	Cont.
Mp	Miscanthus sinensis var. purpurascens	Pink Grass	34	3 gal	Cont.
Pach	Pachysandra terminalis	Pachysandra	1239	4" pot	Cont.
Pm	Polystichum munium	Sword Fern	197	#1 pot	Cont.
Pl	Prunus laurifolia	Portuguese Laurel	44	1.5M Ht.	B&B
Rh	Rhododendron 'Ben Grogan'	Dwarf Rhododendron	139	5 gal	Cont.
RhM	Rhododendron 'Jean Marie de Montague'	Jean Marie de Montague Rhododendron	45	5 gal	Cont.
Sbl	Sambucus nigra 'Black lace'	Black leaf Elder	21	3 gal	Cont.
SEK	Skimmia japonica 'Trigrams'	Japanese skimmia	145	2 gal	Cont.
SG	Sarcococca 'Goldmound'	Goldmound Spice	28	2 gal	Cont.
Tom	Taxus x media 'Hicksii'	Hicks Yew	477	1 m Ht.	B & B
To	Thuja occidentalis 'Emerald'	Emerald Cedar	47	1.2M Ht.	B & B
Vd	Viburnum davidii	David Viburnum	33	3 gal	Cont.

April 18, 2012	Revised Issue for DP
April 10, 2012	Revised Issue for DP

Revisions:

Jonathan Losee Ltd.
Landscape Architecture

#102 - 1081 W. 3rd Ave.
Vancouver, B.C. V6J 1Y3
Ph: 604-689-3003 Fax: 604-689-0422
E-mail: jlosee@jlosee.ca

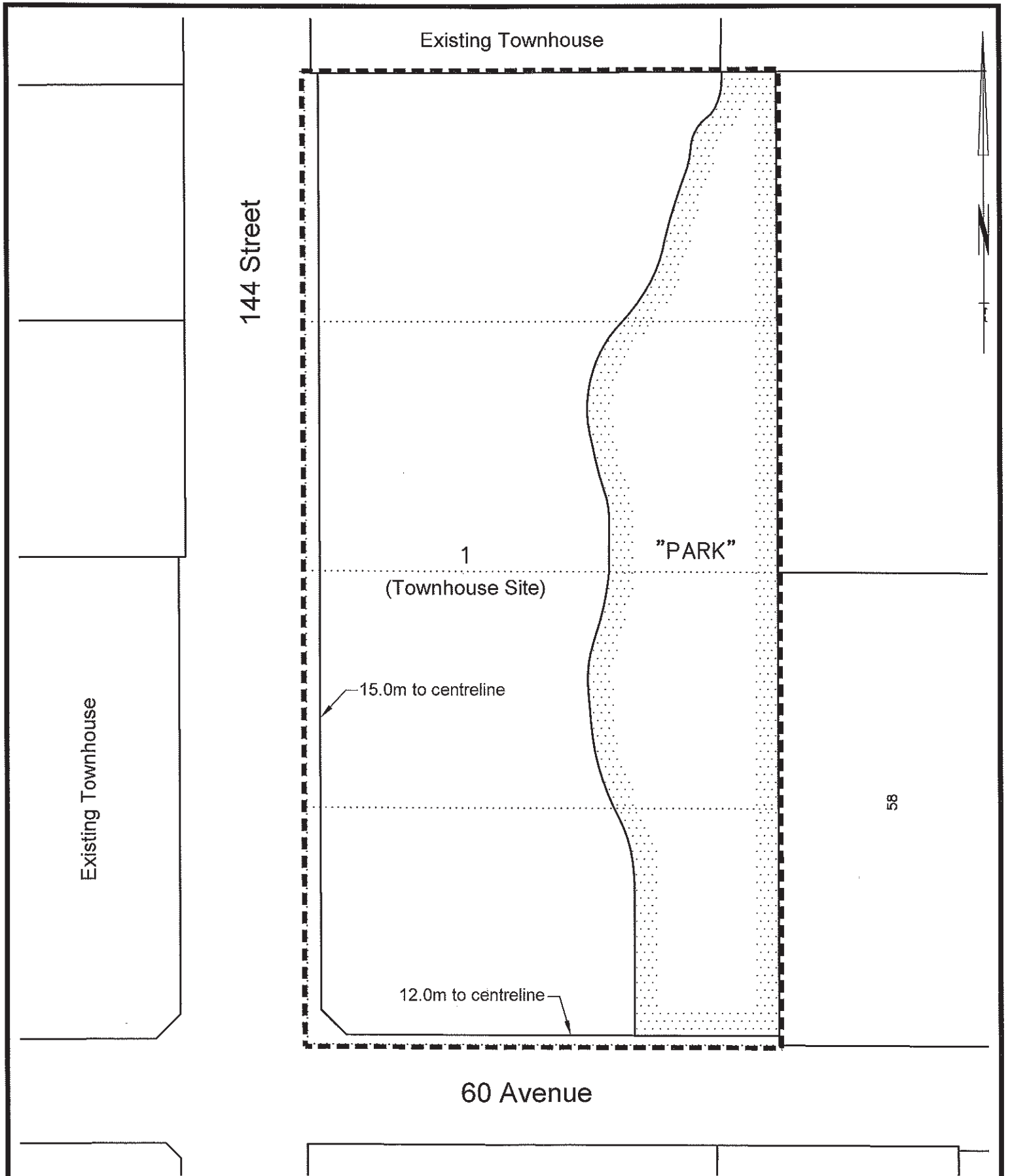
Project:
Townhome Development for Royale Properties Surrey, B.C.

Sheet Title:
Planting Plan

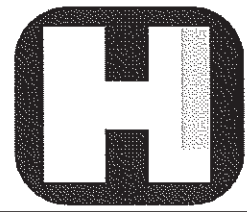
Scale:
1"=20'-0"

Date:
2011-08

L-2



Proposed Subdivision Plan
 6010, 6038, 6058, & 6080 144 Street
 Royale Properties
 7911-0257-00



HunterLaird
 ENGINEERING LTD.
 April 2012
 #6498

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **April 30, 2012** PROJECT FILE: **7811-0257-00**

RE: **Engineering Requirements
Location: 6010/6038/6058/6080 144 St.**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 2.808 metres on 144 Street for a total of 30.000 metres;
- Dedicate 1.942 metres on 60 Avenue for a total of 24.000 metres;
- Dedicate 5.0m x 5.0m corner cut at the intersection of 144 Street and 60 Avenue;
- Provide 0.5 metre wide statutory right-of-way along 144 Street; and
- Provide 0.5 metre wide statutory right-of-way along 60 Avenue.

Works and Services

- Construct driveway letdown on 60 Avenue;
- Construct 300mm watermain on 144 Street;
- Construct sidewalk on 144 Street;
- Provide cash-in-lieu for sanitary sewer main on 60 Avenue, if applicable;
- Provide reciprocal access to north property;
- Provide applicable restrictive covenants;
- Pay all applicable latecomer fees;
- Pay 100% of roads, sanitary, water, and drainage DCC's; and
- Pay SDR fee.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Bob Ambardar, P.Eng.
Development Project Engineer



Wednesday, April 25, 2012
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 11 0257 00

SUMMARY

The proposed 80 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	13
Secondary Students:	6

September 2011 Enrolment/School Capacity

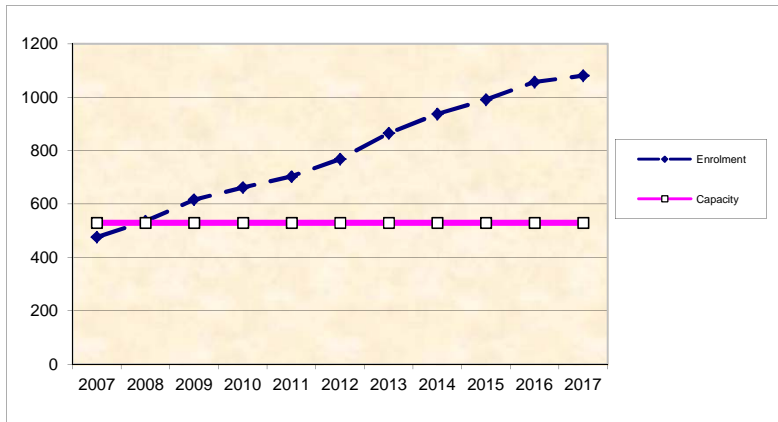
Cambridge Elementary	
Enrolment (K/1-7):	105 K + 598
Capacity (K/1-7):	80 K + 450
Sullivan Heights Secondary	
Enrolment (8-12):	1226
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12);	1080

School Enrolment Projections and Planning Update:

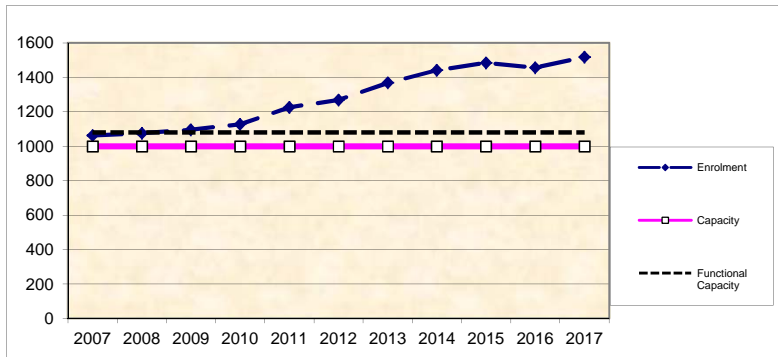
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Cambridge Elementary opened in September 2006 and enrolment has grown rapidly resulting in portables on site. The Ministry has approved capital funding for the construction of a new elementary school on Site #211 located in the 6200 block of 146th Street. The Cambridge Elementary projection below does not show an enrolment move (likely 2013-2014 school year or after) to the new school which is in design stage. The capacity in the table does include a four classroom addition approved for Cambridge Elementary to help accommodate full day Kindergarten implementation to be completed in 2011-12 school year. Enrolment moves or other measures may be needed to reduce future overcrowding at Sullivan Heights Secondary. The proposed development will not have an impact on these projections.

Cambridge Elementary



Sullivan Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

TREE PRESERVATION SUMMARY

Surrey Project No:

Project Location: 6010, 6038, 6058, 6080 144th Street, Surrey BC

Project Arborist: Glenn Murray for Froggers Creek Tree Consultants Ltd.
I.S.A. Certification # PN-0795B

NOTE: A detailed assessment of the existing trees, submitted by the Arborist, is on file. The following is a summary of the Tree Assessment Report for quick reference.

1. General assessment of the site and tree resource:

The properties are 4 very large lots with a creek running along the east property line. There are 4 existing houses on the properties. Most of the site is not maintained and is either forested or covered in blackberries. Most of the trees are in fair to good condition.

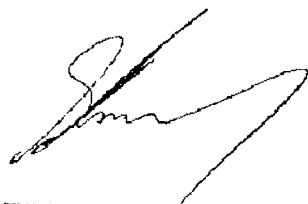
2. Summary of Proposed Tree Removal and Replacement:

- The summary will be available before final adoption.

A	Number of Protected Trees Identified	44
B	Number of Protected Trees assessed as Hazardous	0
C	Number of Protected Trees to be Removed	42
D	Number of Protected Trees to be Retained	2
E	Number of Replacement Trees Required (C-B) X 2 or (I) X 3	56
F	Number of Replacement Trees Proposed	56
G	Number of Replacement Trees in Deficit (E-F)	0
H	Number of Retained and Replacement Trees on Site (D+F+3)	58
I	Number of Lots Proposed in the Project	80
J	Average Number of Trees per Lot (H/I)	.5

3. Tree Protection and Tree Replacement Plans

- The Tree Protection Plan is attached.

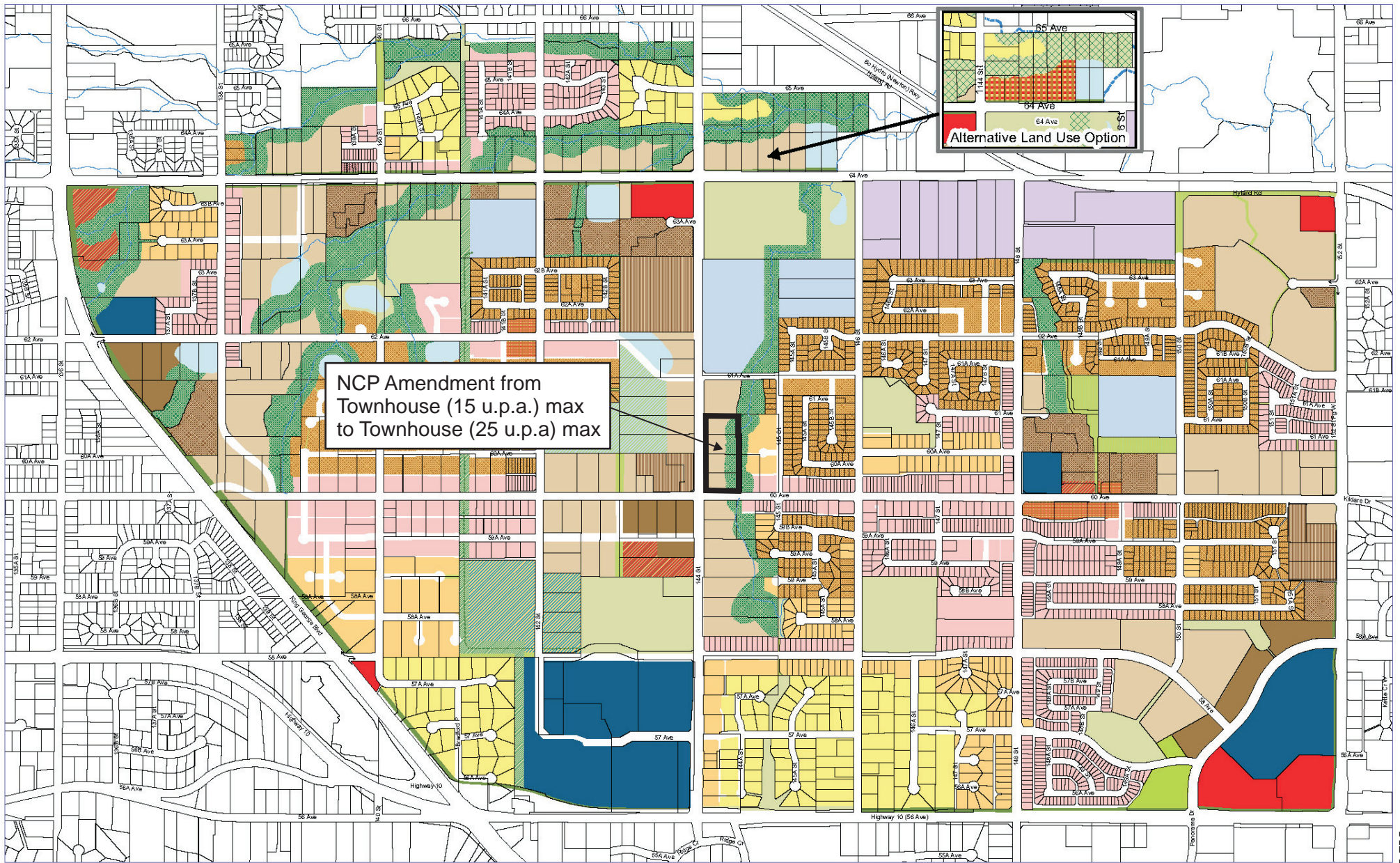


Dated: October 31, 2011

Glenn Murray – Board Certified Master Arborist
I.S.A. Certification # PN-0795B
Certified Tree Risk Assessor #0049
Froggers Creek Tree Consultants Ltd.



Total Inventoried Trees			
Type	Total Number of Trees	Proposed for Retention	Proposed for Removal
Alder	48	22	26
Douglas Fir	14	10	4
Cherry	8	4	4
Cedar	18	15	3
Cottonwood	2	0	2
Bigleaf Maple	10	9	1
Black Walnut	1	0	1
Norway Spruce	3	2	1
Birch	4	3	1
Cypress	7	7	0
Willow	1	1	0
Vine Maple	1	1	0
English Oak	1	1	0
Total	118	75	43
On-Site Trees			
Type	Total Number of Trees	Proposed for Retention	Proposed for Removal
Alder	26		26
Douglas Fir	4		4
Cherry	4		4
Cedar	4	1	3
Cottonwood	2		2
Bigleaf Maple	1		1
Black Walnut	1		1
Norway Spruce	1		1
Birch	1	1	
Total	44	2	42
Off-Site Trees			
Type	Total Number of Trees	Proposed for Retention	Proposed for Removal
Alder	22	22	
Douglas Fir	10	10	
Cherry	4	4	
Cedar	14	14	
Bigleaf Maple	9	9	
Norway Spruce	2	2	
Birch	3	2	1
Cypress	7	7	
Willow	1	1	
Vine Maple	1	1	
English Oak	1	1	
Total	74	73	1



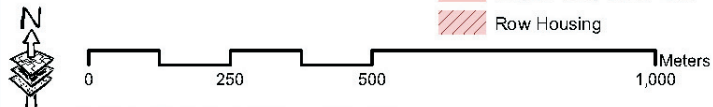
NCP Amendment from
Townhouse (15 u.p.a.) max
to Townhouse (25 u.p.a.) max

Alternative Land Use Option

SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|--------------------------|--|-----------------|------------------------------|----------------------|
| Apartments 45 u.p.a. max | Single Family Residential Flex 6 to 14.5 | Commercial | Proposed School and Park | Buffers |
| Townhouses 25 u.p.a. max | Single Family Residential | Institutional | Parks | Detention Ponds |
| Townhouses 20 u.p.a. max | Suburban Residential 1/2 Acre | Office Park | Proposed Park and Walkway | Utility R/W Greenway |
| Townhouses 15 u.p.a. max | Mixed Com/Res Apartments | Industrial | Recreational | WALKWAY |
| Single Family Small Lots | Mixed Com/Res Townhouse | Schools | Creeks and Riparian Set-back | |
| Row Housing | | Proposed School | | |



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 008-981-221

Lot 37 Section 10 Township 2 New Westminster District Plan 28348

6010 - 144 Street

Parcel Identifier: 007-457-201

Lot 38 Section 10 Township 2 New Westminster District Plan 28348

6038 - 144 Street

Parcel Identifier: 008-981-230

Lot 39 Section 10 Township 2 New Westminster District Plan 28348

6058 - 144 Street

Parcel Identifier: 008-981-248

Lot 40 Section 10 Township 2 New Westminster District Plan 28348

6080 - 144 Street

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*, where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Ground-oriented multiple unit residential buildings.*
2. *Child care centres*, provided that such centres:
 - (a) Do not constitute a singular use on the *lot*; and
 - (b) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *unit density* shall not exceed 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2.
 - (a) The *floor area ratio* shall not exceed 0.80; and
 - (b) The *unit density* shall not exceed 67 *dwelling units* per hectare [27 u.p.a.].
3. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 36%.

F. Yards and Setbacks

Principal buildings and accessory buildings and structures shall be sited in accordance with the following minimum setbacks:

<i>Front Yard (south)</i>	<i>Rear Yard (north)</i>	<i>Side Yard (east)</i>	<i>Side Yard on Flanking Street (west)</i>
6.0 metres [20 ft.]	6.3 metres* [21 ft.]	2.0 metres [6 ft.]	6.5 metres [21 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

* The *rear yard setback* may be reduced to 5.1 metres [17 ft.] measured to the cantilevered *balcony*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:* The *building height* shall not exceed 13.0 metres [42 ft.].
2. *Accessory buildings and structures:*
 - (a) *Indoor amenity space buildings:* The *building height* shall not exceed 11.0 metres [36 ft.]; and
 - (b) *Other accessory buildings and structures:* The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident, visitor and employee *parking spaces* shall be provided as stated in Table C.6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Seventy-four percent (74%) of required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. *Parking within the required front yard or flanking street setback* is not permitted.
4. *Tandem parking* is permitted, subject to the following:
 - (a) *Dwelling units with parking spaces* provided as *tandem parking* are permitted directly adjacent to an arterial roadway only if there is an internal access to the parking area;

- (b) *Parking spaces* provided as *tandem parking* must be attached to each *dwelling unit*;
- (c) *Parking spaces* provided as *tandem parking* must be held by the same owner; and
- (d) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits.

I. Landscaping

- 1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
- 2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
- 3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
- 4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

- 1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 1.8 square metres [19 sq.ft.] per *dwelling unit*.
- 2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
10,000 sq. m. [2.5 acre]	180 metres [590 ft.]	80 metres [262 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2012, No. 17539, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.

- 10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
- 11. Provincial licensing of child care centres is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

READ A THIRD TIME ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK