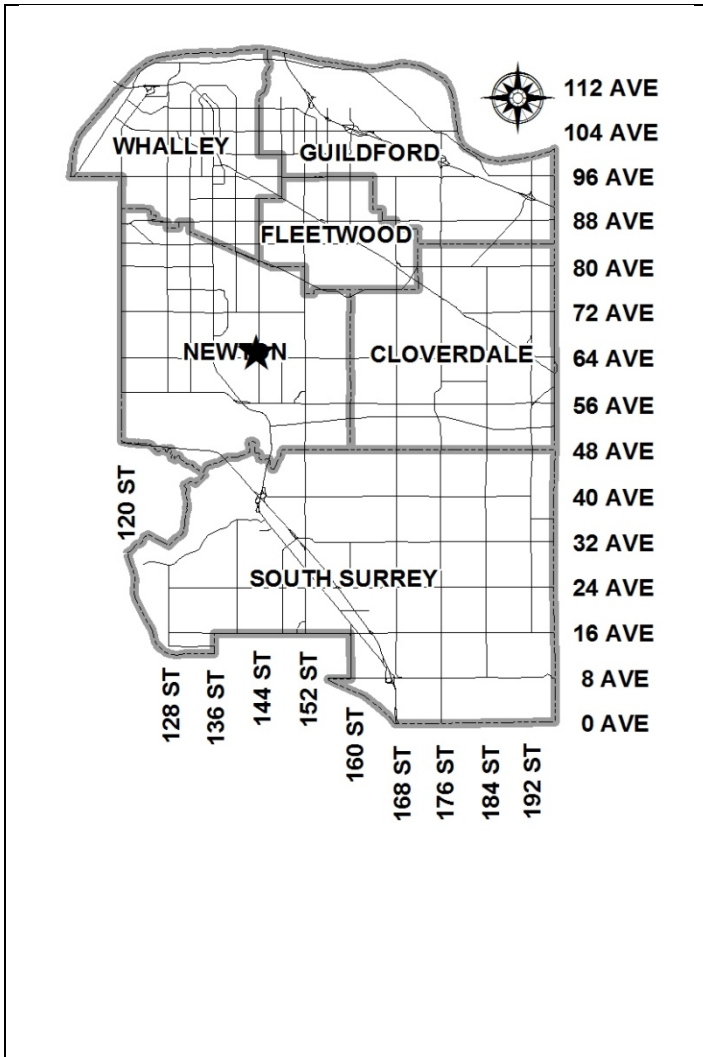


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0285-00

Planning Report Date: April 22, 2013



PROPOSAL:

- **Rezoning** from RA and CD By-law No. 15705A to CD
- **Development Permit**
- **Partial NCP Amendment** from Townhouses 15 upa max to Commercial

in order to permit the development of a 5,760 sq.m. (62,000 sq.ft.) shopping centre.

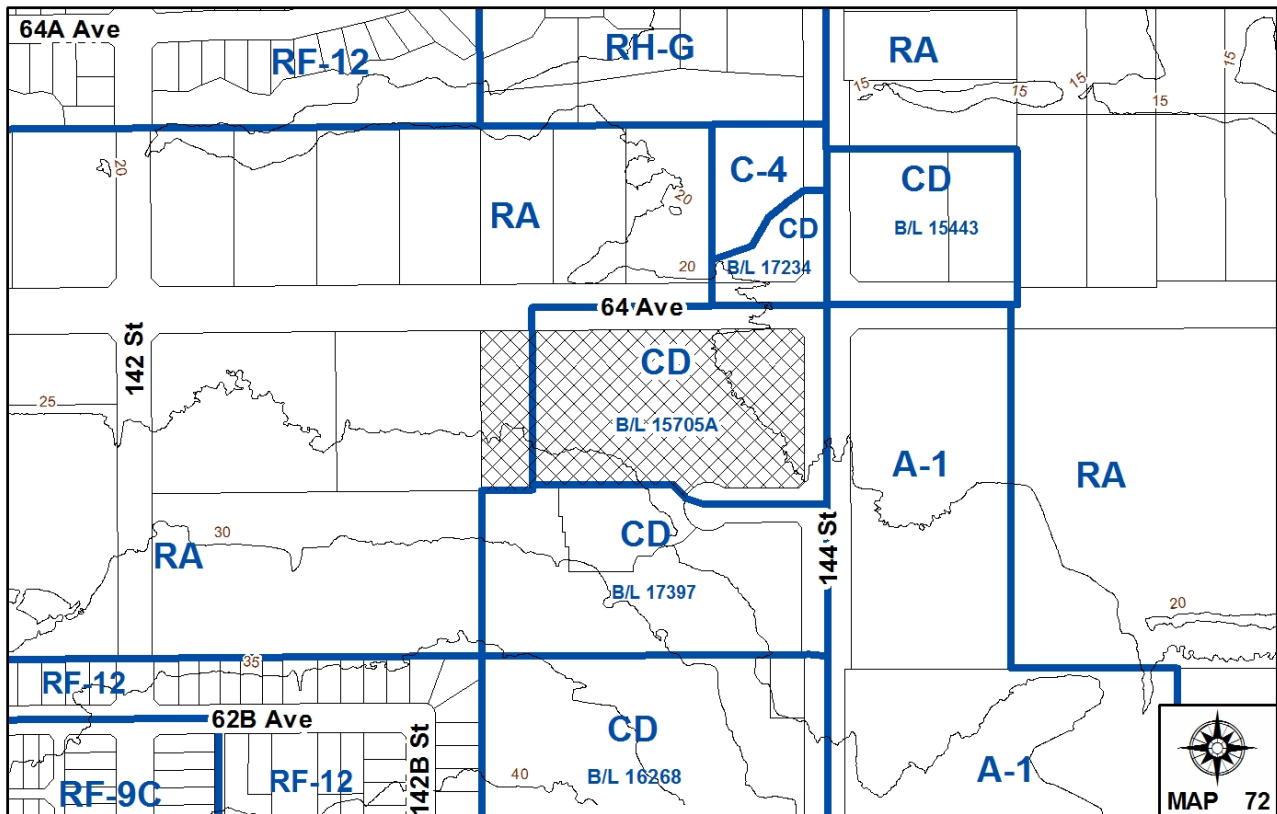
LOCATION: 14308 - 64 Avenue
 14322 - 64 Avenue

OWNER: 0752567 BC Ltd.

ZONING: CD By-law No. 15705A and RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Commercial and Townhouses 15 upa max



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to amend the South Newton NCP from "Townhouses 15 upa max" to "Commercial" for the westerly portion of the site.

RATIONALE OF RECOMMENDATION

- Complies with the OCP Designation.
- Partially complies with the South Newton NCP Designation.
- The property at 14322 – 64 Avenue, which is significantly larger than the second parcel comprising the subject site (14308 – 64 Avenue), was rezoned for commercial uses under File No. 7903-0454-00 in 2008. The NCP designation was also amended at this time from "Townhouses 15 upa max" to "Commercial". The applicant is proposing to add the smaller parcel to the west (14308 – 64 Avenue) to the commercial site which necessitates an NCP amendment from "Townhouses 15 upa max" to "Commercial".
- The limited size and narrow configuration of the parcel at 14308 – 64 Avenue, and its location between a future City detention pond and commercial development, makes for a logical extension of the commercial designation to the western portion of the subject site.
- The previous Development Permit (No. 7903-0454-00) expired in 2010, and the applicant is proposing a redesigned commercial site. The building orientation to the street has improved and the applicant is proposing a richer pedestrian environment.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone portions of the subject site from "One-Acre Residential Zone (RA)" (By-law No. 12000) and "Comprehensive Development Zone (CD)" (By-law No. 15705A) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7911-0285-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) demolition of existing buildings and structures to the satisfaction of the Planning & Development Department;
 - (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (g) registration of a reciprocal access easement to provide access to the parcel to the west (14280 – 64 Avenue).
4. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan to redesignate the parcel at 14308 – 64 Avenue from "Townhouses 15 upa max" to "Commercial" when the project is considered for final adoption.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant parcels.

Adjacent Area:

| Direction | Existing Use | OCP/NCP Designation | Existing Zone |
|---------------------------|--|---|----------------------------|
| North (Across 64 Avenue): | Single family residential and commercial building. | Urban/Townhouses 15 upa max, Commercial, Creeks and Riparian Set-back | RA and CD By-law No. 17234 |
| East (Across 144 Street): | City park. | Urban/Parks | A-1 |
| South: | Townhouse development. | Urban/Townhouses 25 upa max | CD By-law No. 17397 |
| West: | Vacant City-owned parcel. | Urban/ Detention Pond | RA |

JUSTIFICATION FOR PLAN AMENDMENT

- The applicant is proposing to amend the South Newton Neighbourhood Concept Plan (NCP) from "Townhouses 15 upa max" to "Commercial" for the parcel at 14308 – 64 Avenue.
- The eastern property at 14322 – 64 Avenue, which is significantly larger than the western parcel at 14308 – 64 Avenue, was rezoned for commercial uses under File No. 7903-0454-00 in 2008. The NCP designation was also amended at this time from "Townhouses 15 upa max" to "Commercial". The applicant is proposing to add the smaller parcel to the west (14308 – 64 Avenue) to the commercial site which necessitates an NCP amendment from "Townhouses 15 upa max" to "Commercial".
- Given the parcel's (14308 – 64 Avenue) limited size and narrow configuration, and its location between a proposed detention pond and the existing commercially-zoned property, the proposed amendment from townhouse use to a commercial use is a logical rationalization of the land use at this location.

DEVELOPMENT CONSIDERATIONSBackground and Proposal

- The subject site consists of 2 properties (14308/14322 – 64 Avenue) zoned "Comprehensive Development Zone (By-law No. 15705A)" (CD) and "One-Acre Residential Zone" (RA). The site is designated "Urban" in the Official Community Plan (OCP) and is split designated "Commercial" and "Townhouses 15 upa max" in the South Newton NCP. The area of the site is 1.71 hectares (4.23 acres) and is vacant.
- The eastern larger parcel (14322 – 64 Avenue) was rezoned for commercial uses under File No. 7903-0454-00 in 2008. The townhouse site to the south was also rezoned to permit

townhouses as part of that application. The townhouses have since been constructed, but the commercial site at 14322 – 64 Avenue has not been constructed.

- Since the completion of File No. 7903-0454-00, the Development Permit has expired and the applicant has acquired the smaller property to the west (14308 – 64 Avenue). The applicant is proposing to add this smaller parcel to the commercial site.
- The applicant is proposing:
 - an NCP amendment as discussed above;
 - rezoning from CD By-law No. 15705A to CD;
 - a development permit for a commercial plaza with 8 buildings; and
 - consolidation of the two subject properties.

Proposed CD Zone

- The applicant is proposing a CD Zone based on the existing CD Zone (By-law No. 15705A), which was based on a combination of the "Neighbourhood Commercial Zone" (C-5), "Community Commercial Zone" (C-8) and "Highway Commercial Industrial" (CHI) zones. The following is a table outlining the differences between the existing CD Zone and the proposed CD Zone:

| | Existing CD By-law No. 15705A | Proposed CD Zone |
|------------------|--|--|
| Permitted Uses | Drive-through banks are not permitted. Liquor store is permitted only in conjunction with a pub. | Drive-through banks are permitted. Stand-alone liquor store is permitted. |
| Density | Up to 60% of the floor area was reserved for a single retail use, and other businesses were not permitted to be larger than 370 sq.m. (4,000 sq.ft.). Maximum FAR is 0.30. | The provision for 1 large store and limits on floor area of other stores is deleted. Maximum FAR is 0.35. |
| Minimum Setbacks | Front yard – 4.0 metres Rear yard – 7.5 metres Side yard – 4.0 metres Side yard on flanking street – 4.0 metres | Front yard – 2.0 metres Rear yard – 1.5 metres Side yard – 4.0 metres Side yard on flanking street – 1.2 metres |
| Parking | Parking to be provided as per Table C.2 Part 5 Off-Street Parking section. | A minimum of 175 stalls are to be provided. |
| Landscaping | 1.5 metres of landscaping required along street, and 4.5 metres along 64 Avenue. | 1.2 metres of landscaping required along street. |

- CD By-law No. 15705A permitted drive-through restaurants but not drive-through banks. The proposed CD By-law allows drive-through banks as well, as the building format for drive-through banks and restaurants are very similar.
- The Zoning By-law was recently amended to allow stand-alone liquor stores in the C-8 and "Town Centre Commercial Zone" (C-15) zones, and as the CD By-law is partially based on C-8, it is fitting not to make the establishment of a pub a condition of establishing a liquor store. The Liquor Control and Licensing Branch (LCLB) of the provincial government is ultimately responsible for issuing licenses to private liquor stores, including one on the subject site.

- The restrictions on floor areas for individual businesses are proposed to be removed as these restrictions seem overly regulative on a site that combines C-5, C-8 and CHI uses. The proposed small increase in the floor area ratio (FAR) from 0.30 to 0.35 is lower than the 0.50 and 0.80 maximum FAR permitted in the C-5 and C-8 Zones, respectively.
- The setbacks in the proposed CD By-law are generally reduced from the current CD By-law. Along 64 Avenue and 144 Street the goal is to bring the buildings closer to the street to more positively engage with the public realm. On the south property line, the applicant is proposing to lower the grade of the site to provide a better interface with the existing townhouse development to the south. In fact, the main floor elevation of the proposed commercial development is about 7 metres (23 feet) lower than the existing townhouse main floor elevations to the south. On the western property line, the site interfaces with a vacant site that is proposed in the NCP to be a City-owned detention pond.
- The proposed CD By-law proposes that a minimum of 175 stalls be provided. This is 21 stalls less than are required by the Zoning By-law. The proposed parking relaxation is supported given that it is anticipated that there will be numerous shared purposes trips, differing times of peak use between the land uses, the site is on a Future Frequent Transit Network route, and the site will have a high proportion of pedestrian traffic.
- As the buildings are proposed to be brought closer to the street than the original proposal, the minimum width of the landscaping strip along the street has been decreased accordingly.

DESIGN PROPOSAL AND REVIEW

Access, Parking and Pedestrian Circulation

- The site is proposed to have a right-in/left-in/right-out only access on 64 Avenue, right-in/right-out only access on 144 Street and access from the 63A Avenue cul-de-sac bulb. The applicant will be required to register an access easement to allow access to the parcel to the west, in the event that the neighbouring parcel is ever used for non-detention pond purposes.
- A total of 196 parking spaces are required for the proposed uses. The development proposes a total of 175 parking spaces. The proposed parking relaxation is supported as discussed above.
- The applicant is proposing pedestrian connections between the 8 proposed buildings and also to the sidewalks along 64 Avenue and 144 Street. The pedestrian space is well designed to encourage pedestrian movement on the site.

Building Design

- The combined floor area of the 8 proposed commercial buildings is 5,760 sq.m. (62,000 sq.ft.), which provides an FAR of 0.35. The proposed lot coverage is 32%. Six (6) of the buildings are proposed to be one-storey and 2 of the buildings are proposed to be two-storeys, with the second floor being utilized for office space.
- The site design reflects an effort to place more buildings along the street frontage (as opposed to in the interior of the site), reducing the amount of parking visible from the street. In addition, the buildings have been brought closer to property lines along 64 Avenue and 144 Street, allowing for a better interaction with the public realm.

- To enhance the interface with the existing townhouse site to the south, the applicant is proposing to lower the southern portion of the site, so that the main floor elevations are substantially lower than the townhouse site, allowing the commercial buildings to be substantially built into the grade, when viewed from the townhouse site.
- The applicant is proposing a wide variety of finishing materials in an effort to provide some distinctiveness and uniqueness to each of the buildings. The materials include: stone veneer, brick veneer, cement fibre board, metal panels, corrugated metal and painted stucco. The applicant is proposing extensive use of metal and glass canopies on the buildings, which provides weather protection and also visual interest on the elevations.

Trees and Landscaping

- An arborist report for the site was prepared by Mike Fadum and Associates Ltd. The site is largely treeless. The arborist report states that there are a total of 27 trees on the subject site. All of the trees are proposed to be removed due to moderate health and/or conflict with proposed construction.
- The following is a table providing the breakdown by tree species:

| Tree Species | Total no. of mature trees (on-site) | Total proposed for retention (on-site) | Total proposed for removal (on-site) |
|-------------------|-------------------------------------|--|--------------------------------------|
| Red Alder | 1 | 0 | 1 |
| Western Red Cedar | 1 | 0 | 1 |
| Black Cottonwood | 1 | 0 | 1 |
| Douglas Fir | 14 | 0 | 14 |
| Spruce | 3 | 0 | 3 |
| Weeping Willow | 7 | 0 | 7 |
| Total | 27 | 0 | 27 |

- The applicant is required to plant 52 replacement trees and the applicant is proposing to plant 124 replacement trees. The new trees on the site will consist of a variety of trees including maple, beech, ash, hemlock, magnolia and cedar. The tree planting will be complemented by shrub and ground cover planting.
- Stamped concrete is proposed at the vehicular entrances and several other key locations on the site. The applicant is proposing to locate benches and bicycle racks throughout the site.
- An outdoor patio seating area is proposed at the southeast corner of Building A. The patio area is separated from the rest of the pedestrian area by a brick base with trellis features. There are also other areas on the site where there is the possibility for outdoor seating if the tenants desire it.
- There are several garbage and recycling enclosures proposed throughout the site.

Signage

- The applicant is proposing to locate 3 free-standing signs on the property. Two signs are proposed along 64 Avenue and are proposed to be 6 metres (20 feet) in height. One 4.5 metre (15 feet) high sign is proposed along 144 Street. The applicant is proposing a concrete base with vertical brick veneer alongside the signage area.
- The applicant is proposing fascia signs for the buildings. The majority of the signage is proposed to be 40 centimetres (1.3 feet) in height and no box signs are permitted.

ADVISORY DESIGN PANEL

This application was referred to the Advisory Design Panel (ADP) on March 22, 2012 (Appendix IV). The ADP comments and suggestions have been satisfactorily addressed.

PRE-NOTIFICATION

Pre-notification letters were sent on November 28, 2012 and staff received 1 phone call. The caller identified himself as a potential future tenant and was wondering when the project was going to go before Council and when construction would start.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

| Sustainability Criteria | Sustainable Development Features Summary |
|--|--|
| 1. Site Context & Location (A1-A2) | <ul style="list-style-type: none"> • The subject site is located with an NCP area. |
| 2. Density & Diversity (B1-B7) | <ul style="list-style-type: none"> • n/a |
| 3. Ecology & Stewardship (C1-C4) | <ul style="list-style-type: none"> • The applicant is proposing to provide roof downspout disconnection, infiltration trenches or sub-surface chambers and cisterns/rain barrels. • The applicant is proposing to provide recycling pick-up. |
| 4. Sustainable Transport & Mobility (D1-D2) | <ul style="list-style-type: none"> • The applicant is providing covered outdoor waiting areas, pedestrian-specific lighting and direct pedestrian linkages to transit stops. |
| 5. Accessibility & Safety (E1-E3) | <ul style="list-style-type: none"> • The site incorporates CPTED principles. |
| 6. Green Certification (F1) | <ul style="list-style-type: none"> • n/a |

| Sustainability Criteria | Sustainable Development Features Summary |
|----------------------------------|--|
| 7. Education & Awareness (G1-G4) | • n/a |

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|---------------|--|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets |
| Appendix II. | Proposed Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III. | Engineering Summary |
| Appendix IV. | ADP Comments and Applicant's Response |
| Appendix V. | NCP Redesignation Map |
| Appendix VI. | Proposed CD By-law |

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Ron Hoffart

Address: #203, 10190 - 152A Street
Surrey, BC
V3R 1J7
Tel: 604-581-8128

2. Properties involved in the Application

(a) Civic Address: 14308 - 64 Avenue
14322 - 64 Avenue

(b) Civic Address: 14308 - 64 Avenue
Owner: 0752567 BC Ltd
Director Information:
Raghibir Ray Mand
Gurnek Rai
Amarjit Samra

Officer Information as at March 23, 2011:

Gurnek Rai (President)
Amarjit Samra (Secretary)

PID: 002-378-299

Lot "E" Except: Part Dedicated Road on Plan BCP16739; Section 9 Township 2 New Westminister District Plan 19949

(c) Civic Address: 14322 - 64 Avenue
Owner: 0752567 BC Ltd
Director Information:
Raghibir Ray Mand
Gurnek Rai
Amarjit Samra

Officer Information as at March 23, 2011:

Gurnek Rai (President)
Amarjit Samra (Secretary)

PID: 027-724-247

Lot 1 Section 9 Township 2 New Westminister District Plan BCP38998

3. Summary of Actions for City Clerk's Office

(a) Introduce a By-law to rezone the properties.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on C-8)

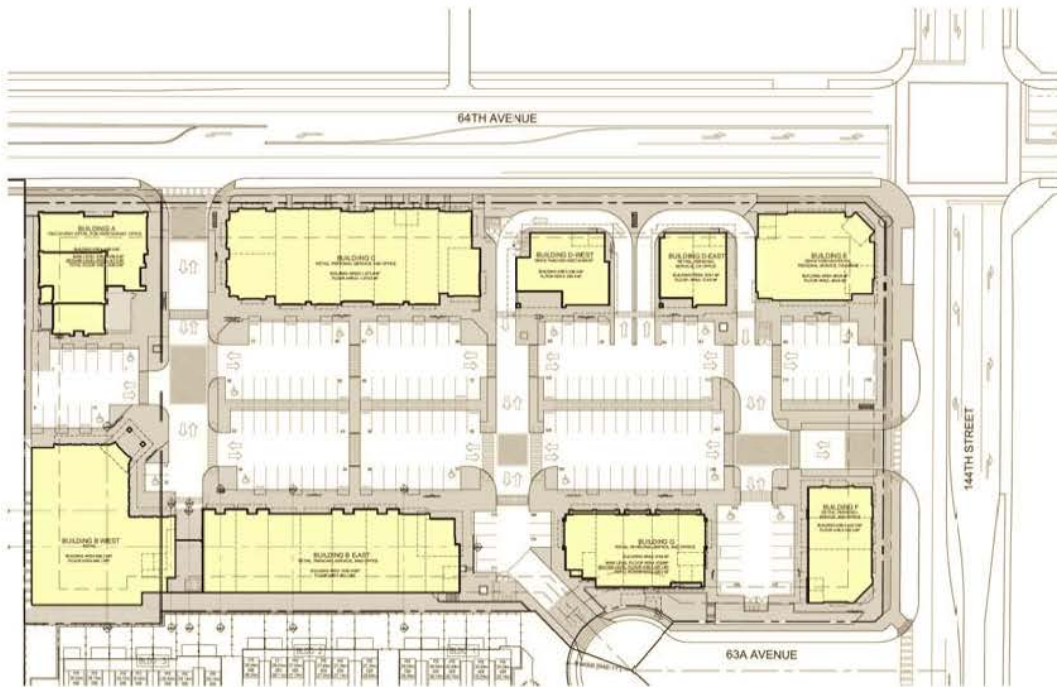
| Required Development Data | Minimum Required / Maximum Allowed | Proposed |
|--|---------------------------------------|------------------------------------|
| LOT AREA* (in square metres) | | |
| Gross Total | | 17,111 sq.m. (4.2 acres) |
| Road Widening area | | 449 sq.m. |
| Net Total | | 16,663 sq.m. (4.1 acres) |
| | | |
| LOT COVERAGE (in % of net lot area) | | |
| Buildings & Structures | 50% | 32% |
| Paved & Hard Surfaced Areas | | |
| Total Site Coverage | | |
| | | |
| SETBACKS (in metres) | | |
| Front (144 Street) | 2.0m | 2.0m |
| Rear (West) | 1.5m | 1.5m |
| Side #1 (64 Avenue) | 1.2m | 1.2m |
| Side #2 (South) | 4.0m | 4.0m |
| | | |
| BUILDING HEIGHT (in metres/storeys) | | |
| Principal | 12.5m | 12.2m |
| Accessory | | |
| | | |
| NUMBER OF RESIDENTIAL UNITS | | |
| Bachelor | | |
| One Bed | | |
| Two Bedroom | | |
| Three Bedroom + | | |
| Total | | |
| | | |
| FLOOR AREA: Residential | | |
| FLOOR AREA: Commercial | | 4,285 sq.m. |
| Eating establishment | | 568 sq.m. |
| 2 nd floor office | | 489 sq.m. |
| Total | | 5,342 sq.m. (for parking purposes) |
| | | |
| FLOOR AREA: Industrial | | |
| | | |
| FLOOR AREA: Institutional | | |
| | | |
| TOTAL BUILDING FLOOR AREA | | 5,760 sq.m. (gross area) |

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

| Required Development Data | Minimum Required / Maximum Allowed | Proposed |
|---|---------------------------------------|----------|
| DENSITY | | |
| # of units/ha /# units/acre (gross) | | |
| # of units/ha /# units/acre (net) | | |
| FAR (gross) | | |
| FAR (net) | 0.35 | 0.35 |
| AMENITY SPACE (area in square metres) | | |
| Indoor | | |
| Outdoor | | |
| PARKING (number of stalls) | | |
| Commercial | 175 | 175 |
| Industrial | | |
| Residential Bachelor + 1 Bedroom | | |
| 2-Bed | | |
| 3-Bed | | |
| Residential Visitors | | |
| Institutional | | |
| Total Number of Parking Spaces | 175 | 175 |
| Number of disabled stalls | | 15 |
| Number of small cars | | |
| Tandem Parking Spaces: Number / % of Total Number of Units | | |
| Size of Tandem Parking Spaces width/length | | |

| | | | |
|---------------|----|---------------------------------|-----|
| Heritage Site | NO | Tree Survey/Assessment Provided | YES |
|---------------|----|---------------------------------|-----|



SITE PLAN
SCALE: 1:500

NOTE
THIS SITE PLAN IS DRAWN FROM INFORMATION PROVIDED BY SURVEY BY Draftwell and Associated Land Surveying Inc. FILE NUMBER 049901-132 DATED April 22, 2009. ELEVATIONS ARE GEODETIC SHOWN IN METERS. LOT DIMENSIONS ARE BASED ON GROUND SURVEY BEARINGS ARE ASTROMERIC AND DERIVED FROM PLAN. WHILE A REASONABLE EFFORT HAS BEEN MADE TO VERIFY THIS INFORMATION WE DO NOT CERTIFY IT TO BE CORRECT. ALL RECONCILIATION AREAS AND INFORMATION SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.



RECONCILIATION

LEGAL DESCRIPTION: PD 002-578-299 LOT E SECTION 9 TWP 2 PL 1949 NWD
PD 027-724-247 LOT 1 SECTION 9 TWP 2 PL BCP 3899 NWD

CIVIC ADDRESS: 14308 64 AVENUE
14322 64 AVENUE

ZONING CURRENT: SA
CO (BYLAW 15700A)

ZONING PROPOSED: CD

SITE AREA: LOT E: 2,777,527 M² (OR 697.1 SQ. FT. OR 0.889 ACRES)
LOT 1: 14,333,727 M² (154,387.1 SQ. FT. OR 3.542 ACRES)
PROVIDED: 17,111,254 M² (194,154.2 SQ. FT. OR 4.428 ACRES)

ROAD DEDICATION: 448,908 M² (4,838.8 SQ. FT. OR 0.111 ACRES)

TOTAL REMAINING: 16,662,346 M² (179,315.4 SQ. FT. OR 4.117 ACRES)

GROSS FLOOR AREA (M²): BUILDING A: 636.7
BUILDING B: 1639.2
BUILDING C: 1079.9
BUILDING D-WEST: 263.4
BUILDING D-EAST: 214.7
BUILDING E: 464.8
BUILDING F: 342
BUILDING G: 650
TOTAL: 5,760.5M²

DENSITY (SEE RECONCILIATION CALCULATION TABLE BELOW)

ALLOWED: 0.26

PROVIDED: 0.3 (5780.5 / 16,662,346 M²)

BUILDING FOOTPRINT (M²): BUILDING A: 460,500
BUILDING B: 1945,100
BUILDING C: 1070,500
BUILDING D-WEST: 206,400
BUILDING D-EAST: 208,900
BUILDING E: 464,800
BUILDING F: 342,800
BUILDING G: 478,800
TOTAL: 5,326,300

SITE COVERAGE (SEE RECONCILIATION CALCULATION TABLE BELOW)

ALLOWED: 50%

PROVIDED: 32% (5,326,300M² / 16,662,346 M²)

BUILDING HEIGHT: MAXIMUM ALLOWED 12.2M (40 FT)

SETBACKS RELAXATION: 3.0M 64TH AVENUE (NORTH)
3.0M 144TH STREET (EAST)
1.5M AND 3.0M WEST PROPERTY LINE
4.0M AND 3.0M SOUTH PROPERTY LINE

PARKING REQUIRED: 195 SPACES (SEE PARKING CALCULATION BELOW)

PARKING PROVIDED: 175 SPACES

| BLDG | RESTAURANT | | COMMERCIAL (MAIN LEVEL) | | SERVICE ROOMS (MAIN LEVEL) | | EXIT (MAIN LEVEL) | | LODGING (MAIN LEVEL) | | ROOF COVERED (MAIN LEVEL) | | SUPPORTING AREA | | OFFICE (UPPER LEVEL) | | SERVICE ROOMS (UPPER LEVEL) | | EXIT (UPPER LEVEL) | | GROSS FLOOR AREA | | BUILDING FOOTPRINT | |
|--------|------------|----------------|-------------------------|----------------|----------------------------|----------------|-------------------|----------------|----------------------|----------------|---------------------------|----------------|-----------------|----------------|----------------------|----------------|-----------------------------|----------------|--------------------|----------------|------------------|----------------|--------------------|----------------|
| | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² | SQ. FT. | M ² |
| A | 3,490 | 324.4 | 1,369 | 127.1 | 197 | 18.3 | 202 | 18.9 | 0 | 0.0 | 0.0 | 0.0 | 0.0 | 1,441 | 133.9 | 0 | 0.0 | 147 | 13.7 | 8,653 | 826.7 | 5,312 | 493.5 | |
| B | 0 | 0.0 | 19,590 | 1,828.9 | 426 | 39.0 | 295 | 27.4 | 833 | 77.4 | 90 | 8.4 | 209 | 24.1 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 11,754 | 1,093.2 | 20,937 | 1,945.1 |
| C | 0 | 0.0 | 11,361 | 1,055.5 | 198 | 18.4 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 11,599 | 1,073.8 | 11,599 | 1,073.8 |
| D-WEST | 2,817 | 263.1 | 0 | 0.0 | 219 | 20.3 | 0 | 0.0 | 0.0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 2,817 | 263.4 | 2,817 | 263.4 |
| D-EAST | 0 | 0.0 | 2,068 | 193.8 | 225 | 20.9 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 2,068 | 194.7 | 2,068 | 194.7 |
| E | 0 | 0.0 | 4,777 | 445.8 | 224 | 20.8 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 5,001 | 464.6 | 5,001 | 464.6 |
| F | 0 | 0.0 | 3,482 | 323.9 | 199 | 18.3 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 0 | 0.0 | 3,482 | 324.8 | 3,482 | 324.8 |
| G | 0 | 0.0 | 4,000 | 371.9 | 216 | 20.1 | 874 | 81.2 | 0 | 0.0 | 84 | 7.8 | 0 | 0.0 | 3,822 | 355.2 | 1,087 | 101.9 | 0 | 0.0 | 10,410 | 969 | 11,514 | 1,078.9 |
| TOTAL | 6,110 | 567.8 | 45,124 | 4,255.1 | 1,887 | 175.1 | 1,071 | 101.4 | 833 | 77.4 | 209 | 19.1 | 209 | 24.1 | 1,441 | 133.9 | 1,087 | 101.9 | 147 | 13.7 | 62,666 | 5,760.5 | 67,320 | 6,325.2 |

PARKING REQUIRED:
RESTAURANTS (BLDGS A&G): 367 M² / 100M² = 10 = 367
MAIN LEVEL COMMERCIAL (BLDG A,B,C,D,E,F,G): 428 M² / 100M² = 0.3 = 128.5
UPPER LEVEL OFFICES (BDOGS A&G): 488 M² / 100M² = 0.2 = 97.6
TOTAL: 983 SPACES

PARKING PROVIDED:
TO MAX. (1000 X 400) (30% ALLOWED = 125 M² ALLOWED)
121 REGULAR (1000 X 500)
15 ACCESSIBLE (2700 X 500)
175 TOTAL PARKING SPACES

RELAXATION REQUIRED (00 SPACES)

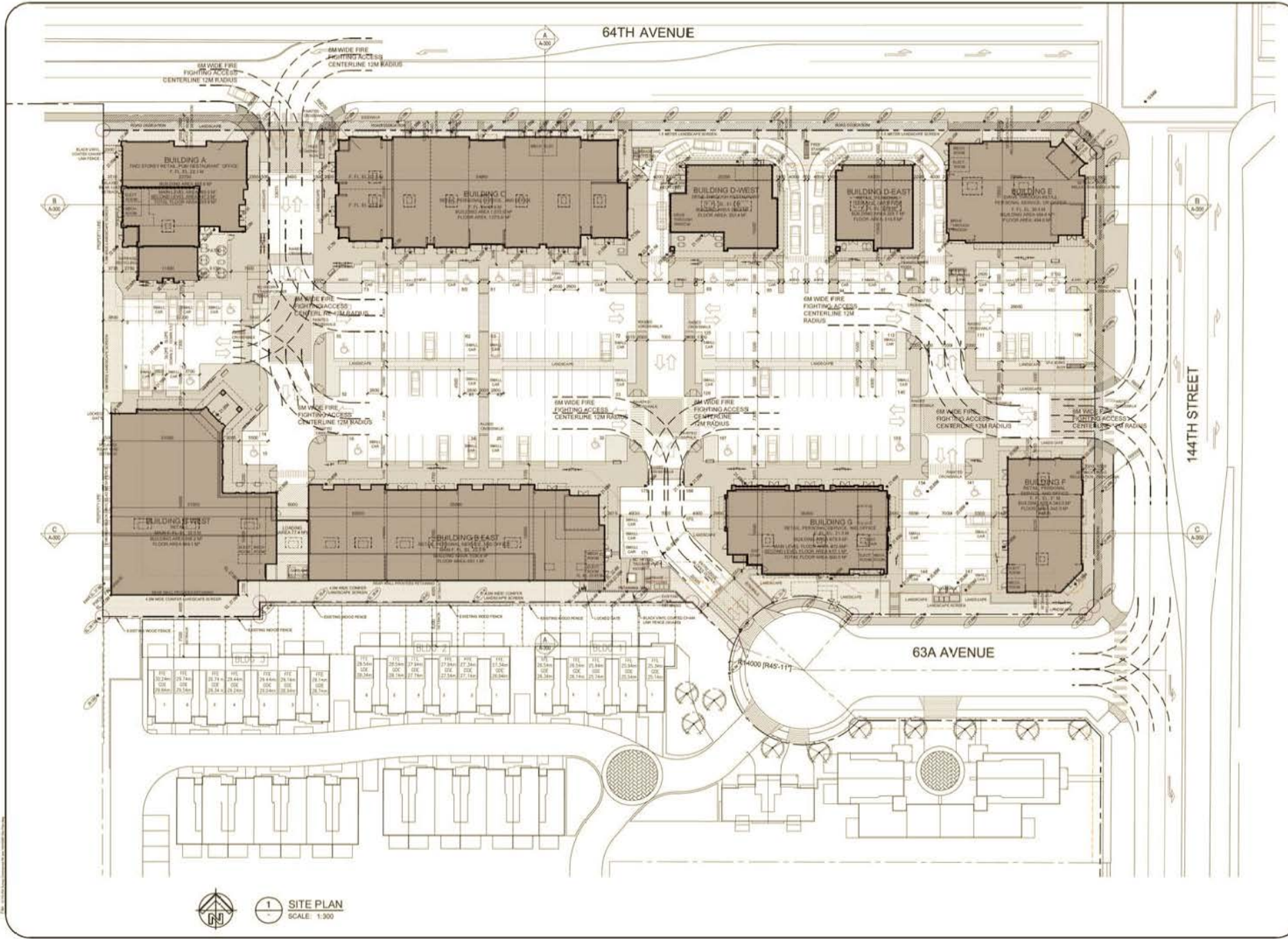
- NOTE:
- DENSITY- FLOOR AREA RATIO
MEANS THE FIGURE OBTAINED WHEN THE AREA OF ALL THE FLOORS OF BUILDINGS CONSTRUCTED OR PROPOSED TO BE CONSTRUCTED ON A LOT IS DIVIDED BY THE AREA OF THE LOT, SUBJECT TO THE FOLLOWING:
a) THE FLOOR AREA OF THE BUILDING SHALL BE MEASURED TO THE LESSER OF OUTSIDE EDGE OF THE EXTERIOR WALLS OR SHEATHING, EXCLUDING BASEMENT, CRAWL SPACES LESS THAN OR EQUAL TO 1.5 METER (5 FT) CLEAR HEIGHT, BALCONIES, TERRACES AND SUN DECKS
b) THOSE AREAS USED AS AN ACCESSORY USE FOR PARKING WITHIN THE BUILDING ENVELOPE OR UNDERGROUND PARKING ARE EXCLUDED.
 - GROSS FLOOR AREA
MEANS ALL THE AREA OF THE FLOOR ENCLOSED BY THE OUTSIDE EDGE OF THE EXTERIOR WALLS OF A BUILDING, INCLUDING WITHOUT LIMITATION STAIRWAYS, ELEVATOR SHAFTS, STORAGE ROOMS AND MECHANICAL ROOMS. FOR THE PURPOSE OF PART 3 OFF-STREET PARKING AND LOADING AREAS ONLY, GROSS FLOOR AREA SHALL EXCLUDE VEHICLE PARKING AND LOADING AREAS AND BICYCLE STORAGE AREAS WITHIN THE BUILDING, STAIRWAYS AND MECHANICAL ROOMS.
 - LOT COVERAGE
MEANS THE HORIZONTAL AREA PRODUCED BY A VERTICAL PROJECTION OF OUTSIDE OF THE OUTERMOST WALLS OR THE AREAS WITHIN THE SUPPORTING ELEMENTS, OF ALL BUILDINGS, OUTDOOR COVERED AREAS AND STRUCTURES ON THE LOT (UNLESS OTHERWISE SPECIFIED IN THE ZONE).
LOT COVERAGE SHALL BE EXPRESSED AS A PERCENTAGE OF THE ABOVE HORIZONTAL AREA TO THE LOT AREA, NOT INCLUDING THE UNDERSTORY AREA AND REQUIRED FOR THE PURPOSE OF A HIGHWAY DEDICATION. ANY STRUCTURE LOCATED IN OR BENEATH AN EXISTING GRADE, PROVIDED THAT THE TOP OF SUCH STRUCTURE, OTHER THAN GUARDS, IS LOCATED NOT MORE THAN 0.6 METER (2 FT) ABOVE THE EXISTING GRADE SHALL BE EXCLUDED FROM THIS CALCULATION.

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Reconciling and Comprehensive Development Permit Submission NOVEMBER 09, 2011
ADVISORY DESIGN PANEL SUBMISSION MARCH 15, 2012
ADVISORY DESIGN PANEL MARCH 22, 2012
PLANNING SUBMISSION AUGUST 01, 2012
PLANNING REVIEW NOVEMBER 28, 2012
PLANNING REVIEW FEBRUARY 21, 2013
FOR RENDERING MARCH 5, 2013
PLANNING REVIEW MARCH 14, 2013

NOTE:
ALL SIGNAGE TO CONFORM TO CITY OF SURREY SIGN BYLAW

GMA
GRAHAM MCCREATH ARCHITECTS INC.
10190 152A Street
Surrey, B.C. V0R 1J7
Tel: (604) 581-8128

Project: PROPOSED COMMERCIAL
0752667 B.C. LTD.
143A AVENUE AND 144TH STREET, SURREY, B.C.
Client: GMA
10190 152A Street
Surrey, B.C. V0R 1J7
Tel: (604) 581-8128
Drawing: CONSOLIDATED SITE RECONCILIATION
Sheet Number: A005
Of 05



64TH AVENUE

144TH STREET

63A AVENUE

1 SITE PLAN
SCALE: 1:300

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Reasoning and Comprehensive
Development Permit Submission
NOVEMBER 09, 2011
ADVISORY DESIGN PANEL
SUBMISSION
MARCH 15, 2012
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MARCH 22, 2012
PLANNING SUBMISSION
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NOVEMBER 28, 2012
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MARCH 5, 2013
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MARCH 14, 2013

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BYLAW

GNMA
GRAHAM-NORBERT ARCHITECTS
10100 155A Street
Surrey, B.C. V3R 1J7
Tel: (604) 581-8128

| | |
|--------------|---|
| Project: | PROPOSED COMMERCIAL 0752667 B.C. LTD. |
| Location: | 144TH AVENUE AND 144TH STREET, SURREY, B.C. |
| Phase: | CONSOLIDATED SITE PLAN |
| Drawn: | 10/22/12 |
| Checked: | 10/22/12 |
| Scale: | 1:300 |
| Author: | 10/22/12 |
| Client: | 0752667 B.C. LTD. |
| Project No.: | 0752667 |
| Sheet No.: | A006 |
| Of No.: | 0752667 |

64TH AVENUE



FREESTANDING SIGN SITE PLAN
SCALE: 1:300

CITY OF SURREY
BY-LAW NO. 13056
SURREY SIGN BY-LAW, 1999

DEFINITIONS:

4. (1) In this By-law:

Free-standing Sign includes a sign which is attached to the ground and is independent of any building or structure located on the same lot but does not include a billboard sign.

Sign Area means the total area within the outer edge of a sign, counting all faces, and where the sign has no frame, border or background, the sign area means the area contained within the shortest perimeter surrounding the copy.

Special Sign Areas include the special sign areas identified in the special sign areas height map attached as Schedules 1, 1.4, 1.6, 1.7, 1.8, 1.9, 1.10, 1.11, 1.12, 1.13, 1.14 and 1.15, and all comprehensive development panel sites and development permit areas.

PART 6
SIGNS IN COMMERCIAL/INDUSTRIAL ZONES

APPLICATION

25. (1) The regulations in this Part apply to all signs on lots zoned C-4, C-5, C-8, C-9A, C-4B, C-15, C-25, C-30, C-31, C-32, C-33, C-34, C-35, C-36, C-37, C-38, C-39, C-40, C-41, C-42, C-43, C-44, C-45, C-46, C-47, C-48, C-49, C-50, C-51, C-52, C-53, C-54, C-55, C-56, C-57, C-58, C-59, C-60, C-61, C-62, C-63, C-64, C-65, C-66, C-67, C-68, C-69, C-70, C-71, C-72, C-73, C-74, C-75, C-76, C-77, C-78, C-79, C-80, C-81, C-82, C-83, C-84, C-85, C-86, C-87, C-88, C-89, C-90, C-91, C-92, C-93, C-94, C-95, C-96, C-97, C-98, C-99, C-100, C-101, C-102, C-103, C-104, C-105, C-106, C-107, C-108, C-109, C-110, C-111, C-112, C-113, C-114, C-115, C-116, C-117, C-118, C-119, C-120, C-121, C-122, C-123, C-124, C-125, C-126, C-127, C-128, C-129, C-130, C-131, C-132, C-133, C-134, C-135, C-136, C-137, C-138, C-139, C-140, C-141, C-142, C-143, C-144, C-145, C-146, C-147, C-148, C-149, C-150, C-151, C-152, C-153, C-154, C-155, C-156, C-157, C-158, C-159, C-160, C-161, C-162, C-163, C-164, C-165, C-166, C-167, 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PERMIT REQUIRED

27. The following signs may be erected provided a sign permit is obtained to present a unified appearance:

- (1) Free-standing signs provided that:
 - (a) the design and location of freestanding signs shall be architecturally co-ordinated into the overall building design of the buildings on the same lot and landscaping and shall be mounted on a permanent base;
 - (b) for multiple tenanted commercial/industrial buildings all signs located in the same lot shall be designed to present a unified appearance;
 - (c) only one freestanding sign shall be permitted for each highway frontage unless the frontage exceeds 30 m (100 ft), in which case one additional freestanding sign per 30 m (100 ft) frontage may be permitted;
 - (d) L-shaped or angularly connected signs visible from two different highways shall be considered as two signs;
 - (e) the sign shall be located upon the premises on which the products or services identified on the sign are provided, and shall be at a minimum of 2.0 m (6.6 ft) set back from any lot line;
 - (f) the minimum distance between free-standing signs on the same lot shall be 30 m (100 ft);
 - (g) the sign area of a free-standing sign along a frontage including the sign areas of free-standing signs located in the special sign areas shall not exceed 12.5m² (150 sq. ft.) for single faced signs and 27.5m² (300 sq. ft.) for double faced or angularly connected signs;
 - (h) copy area shall not exceed 50% of sign area;
 - (i) the maximum height of any sign permitted under this part is 4.5 m (15 ft), except:
 - 1. on the following highways, excluding portions of the highways falling within the special sign areas, the height of the sign shall not exceed 6 m (20 ft):
 - g. 64 Ave. between South Rd. and 192 St.

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MARCH 5, 2013
PLANNING REVIEW
MARCH 14, 2013

NOTE:
*ALL SIGNAGE TO CONFORM
TO CITY OF SURREY SIGN
BY-LAW

GHMA
GRAHAM HOFFMANN ARCHITECTS
10100 155A Street
Surrey, B.C. V3R 1J7
Tel: (604) 581-8128

| | |
|-------------|----------------------------------|
| Project No. | 10 226 |
| Client | RZ CDP |
| Site Name | 144TH STREET AND 64TH AVENUE |
| Phase | PROPOSED COMMERCIAL |
| Scale | 07/26/2017 B.C. LTD. |
| Author | ADVISORY DESIGN PANEL SUBMISSION |
| Checked | ADVISORY DESIGN PANEL SUBMISSION |
| Drawn | ADVISORY DESIGN PANEL SUBMISSION |
| Reviewed | ADVISORY DESIGN PANEL SUBMISSION |
| Site Plan | A007 |
| Of 08 | 08 |

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Recycling and Comprehensive Development Permit Submission NOVEMBER 09, 2011

ADVISORY DESIGN PANEL SUBMISSION MARCH 15, 2012

ADVISORY DESIGN PANEL MARCH 22, 2012

PLANNING SUBMISSION AUGUST 01, 2012

PLANNING REVIEW NOVEMBER 28, 2012

PLANNING REVIEW FEBRUARY 21, 2013

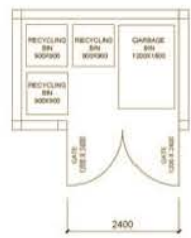
FOR RENDERING MARCH 5, 2013

PLANNING REVIEW MARCH 14, 2013

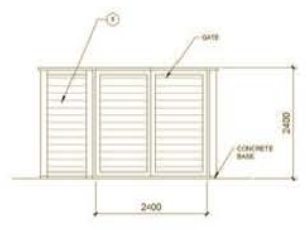
NOTE:
*ALL SIGNAGE TO CONFORM TO CITY OF SURREY SIGN BYLAW

BUILDING FINISHES

- 1 PAINTED STUCCO
- 2 STONE VENEER
- 3 BRICK VENEER
- 4 PREFINISHED CEMENT FIBRE BOARD PANELS
- 5 PREFINISHED CEMENT FIBRE BOARD SIDING
- 6 PREFINISHED CORRUGATED METAL CLADDING
- 7 PREFINISHED METAL PANEL CLADDING
- 8 CONCRETE
- 9 PREFINISHED METAL TRIM
- 10 METAL FLASHING - PAINTED TO MATCH ADJACENT FINISH
- 11 PRECAST CONCRETE CAP - NATURAL GREY
- 12 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED DOOR
- 13 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED WINDOW
- 14 PAINTED FLAT PANEL INSULATED METAL DOOR
- 15 OPAQUE SPANDREL GLASS PANEL
- 16 PREFINISHED METAL AND GLASS CANOPY
- 17 PREFINISHED INSULATED OVERHEAD DOOR
- 18 PREFINISHED METAL FLASHING TRIM
- 19 PREFINISHED CEMENT FIBRE TRIM
- 20 PAINTED BRACKET
- 21 TRELLIS
- 22 PREFINISHED ALUMINUM GUARDRAIL
- 23 PREFINISHED GRILL
- 24 SPLITYACE CONCRETE BLOCK
- 25 SIGNAGE REFER TO TENANT SIGNAGE DRAWINGS FOR DETAILS
- 26 PREFINISHED SCREEN (ROOF TOP UNITS)
- 27 FABRIC ARMING
- 28 PREFINISHED METAL CLAD ROOF OVERHANG
- 29 SIGN GRAPHIC PANEL FOR SIGN COPY AREA



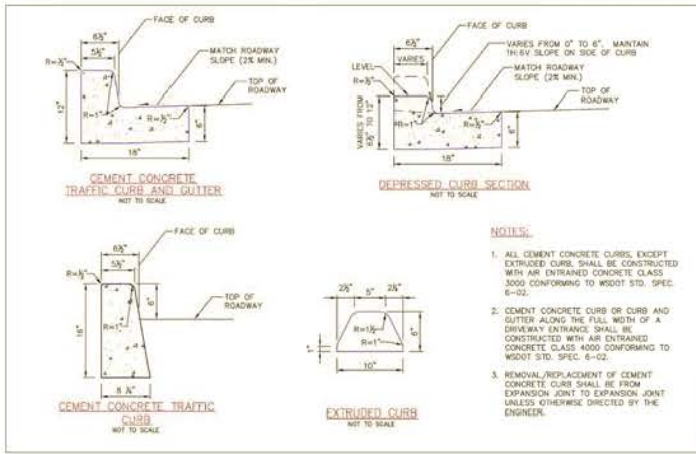
1 PLAN - TYPICAL GARBAGE AND RECYCLING ENCLOSURE
SCALE: 1:50



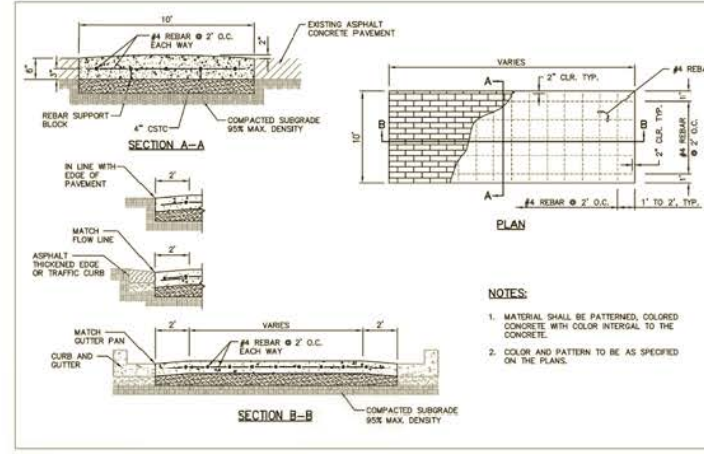
2 ELEVATION - TYPICAL GARBAGE AND RECYCLING ENCLOSURE
SCALE: 1:50

GHA
GRAHAM HOFFMAN ARCHITECTS
Suite 203
10190 152A Street
Surrey, B.C. V3R 1J7
Tel: (604) 581-8128

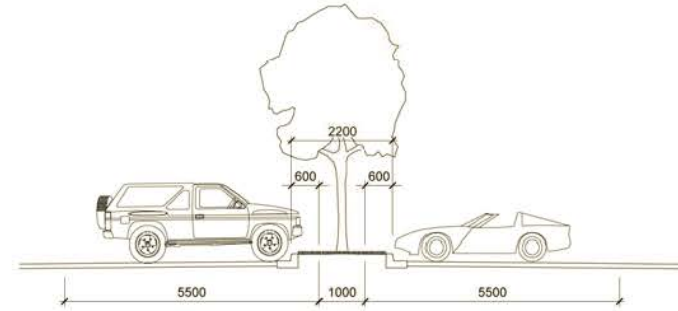
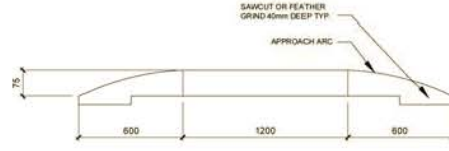
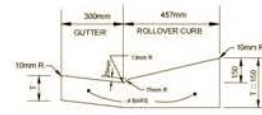
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| Project: PROPOSED COMMERCIAL 0752867 B.C. LTD. 1475 AVENUE LANE AND 1475 STREET, SURREY, B.C. | Date: 04/04/2013 Drawn: 2013/03/08 Checked: 2013/03/08 |
| Drawing: GARBAGE AND RECYCLING ENCLOSURE DETAILS | Sheet Number: A009 Of 08 |



1 CONCRETE CURB DETAILS
SCALE: NTS



2 RAISED CONCRETE ENTRY DETAIL
SCALE: NTS



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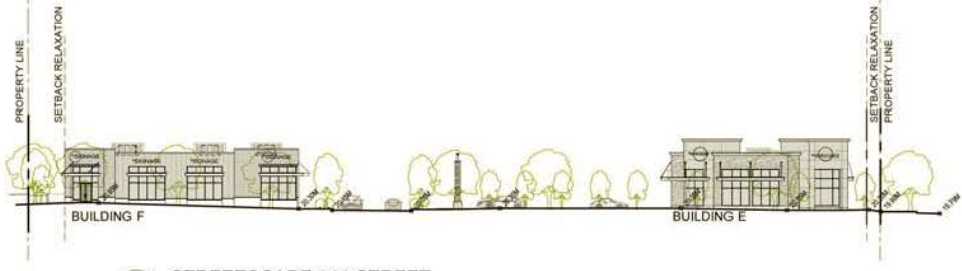
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| Project 10 256 RZ CDP | Client PROPOSED COMMERCIAL 0752667 B.C. LTD. | Date 2011.03.17 |
| Drawn A010 | Checked SITE DETAILS CONCRETE ENTRY DETAIL AND CURBS | Scale 1:100 |

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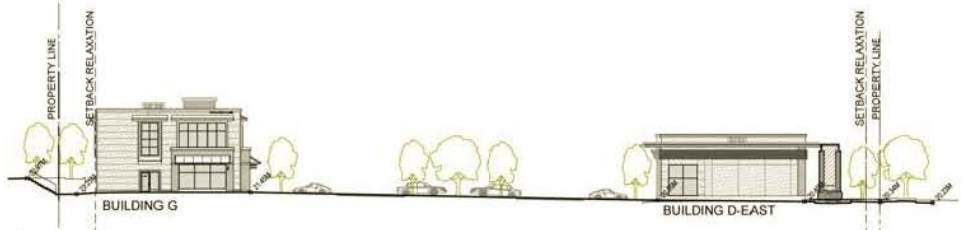
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1 **STREETSCAPE 144 STREET**
SCALE: 1:250



2 **STREETSCAPE INTERIOR WEST VIEW 1**
SCALE: 1:250



3 **STREETSCAPE INTERIOR WEST VIEW 2**
SCALE: 1:250



4 **STREETSCAPE INTERIOR NORTH VIEW**
SCALE: 1:250

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| | | |
|--|--|---------------------------------------|
| Scale: 1:250 Drawn: [Name] Checked: [Name] Date: 2013.11.24 | Project: PROPOSED COMMERCIAL RZ CDP 147A AVENUE AND 144TH STREET, SURREY, B.C. | Sheet Number: A201 OF 02 |
| Drawing: STREETSCAPES | | |

Date: 14-Nov-2013 10:53 AM

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1 **STREETSCAPE 64 AVENUE (NORTH)**
SCALE: 1:300

2 **STREETSCAPE INTERIOR SOUTH VIEW**
SCALE: 1:300

3 **STREETSCAPE 63A AVENUE (SOUTH)**
SCALE: 1:300

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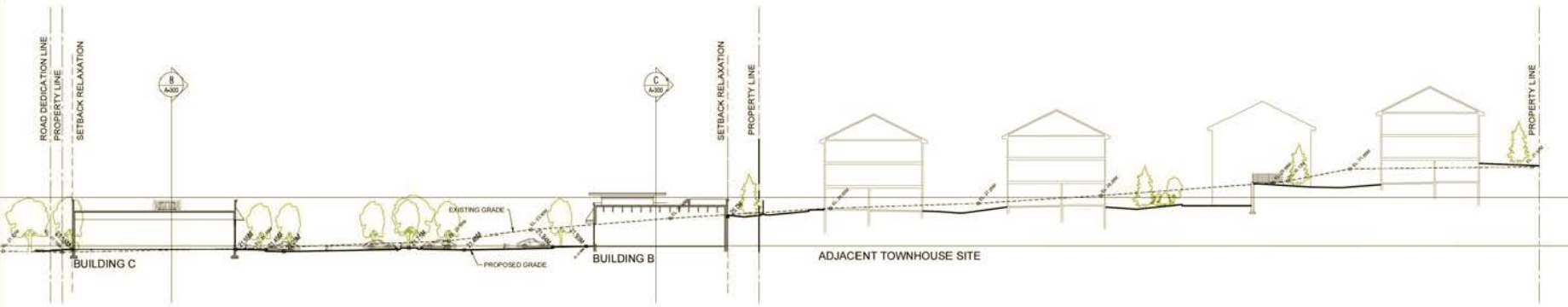
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|---|---|
| Project PROPOSED COMMERCIAL 10 256 RZ CDP | Scale 0:300 Drawing 2013 11 24 Other 2013 11 24 Revised |
| Client 1470 AVENUE AND 1470 STREET, SURREY B.C. | Drawn STREETSCAPES |
| Sheet Number A202 | Of 02 |

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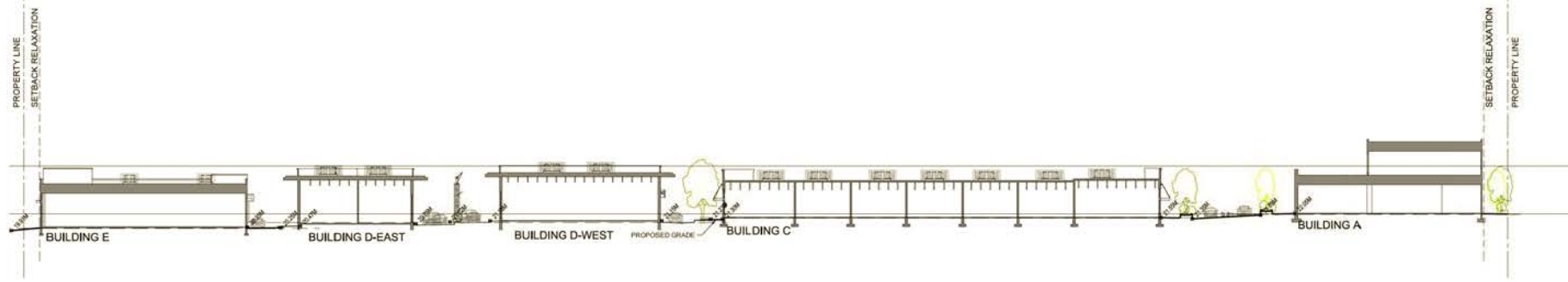
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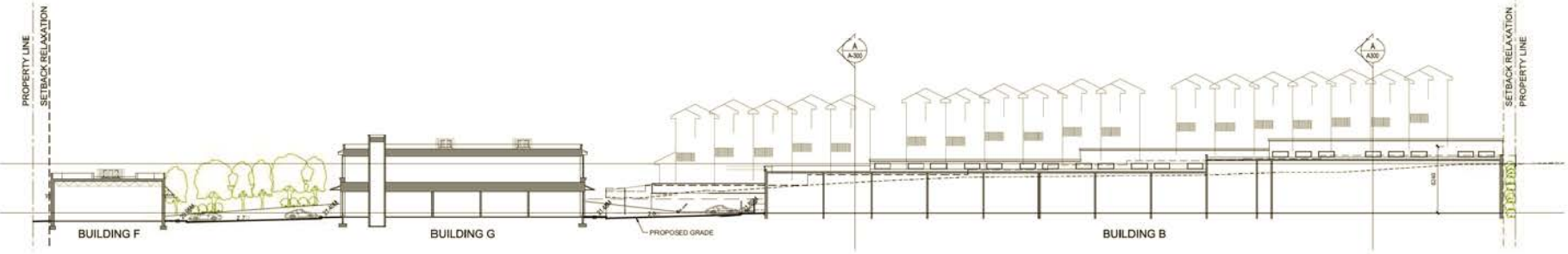
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1 SECTION A-A
SCALE: 1:300



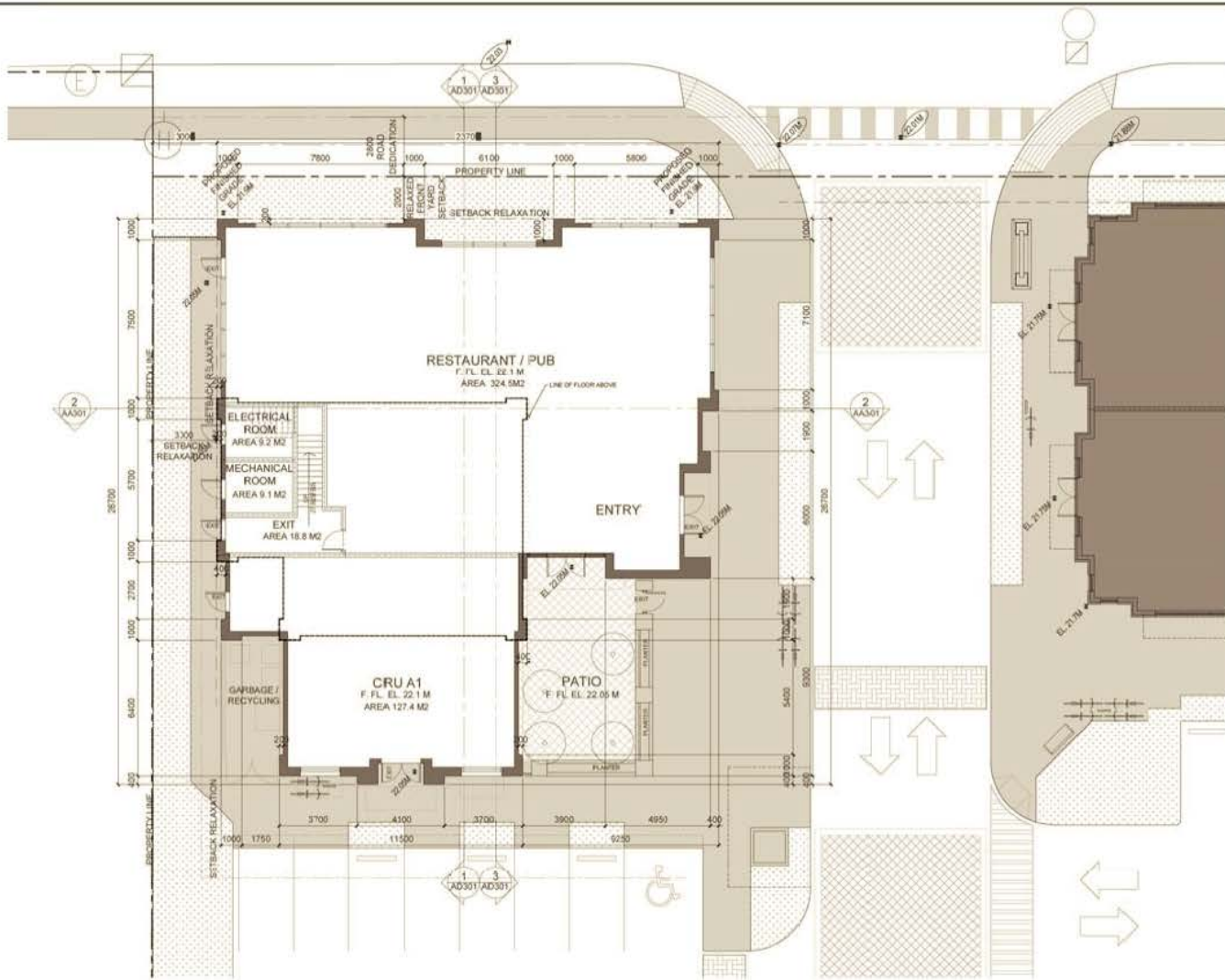
2 SECTION B-B
SCALE: 1:300



2 SECTION C-C
SCALE: 1:300

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| Sheet Number A300 | Drawings SITE SECTIONS | Author Glen Hoffer | Checked Mark Matheson |



1 BUILDING A: MAIN FLOOR PLAN
SCALE: 1:100

| MAIN FLOOR | |
|---|-------------------------------------|
| ELECTRICAL ROOM | 9.2 M ² (99 SQ. FT.) |
| MECHANICAL ROOM | 9.1 M ² (98 SQ. FT.) |
| EXIT | 18.8 M ² (203 SQ. FT.) |
| RESTAURANT AREA (INCLUDING SERVICE AND EXIT) | 324.5 M ² (3492 SQ. FT.) |
| CRU | 127.4 M ² (1372 SQ. FT.) |
| TOTAL FLOOR AREA | 489.1 M ² (5264 SQ. FT.) |
| PATIO | 50.3 M ² (542 SQ. FT.) |

| UPPER FLOOR | |
|-------------|-------------------------------------|
| OFFICE | 133.9 M ² (1441 SQ. FT.) |
| EXIT STAIR | 13.7 M ² (148 SQ. FT.) |
| TOTAL | 147.6 M ² (1589 SQ. FT.) |
| ROOF DECK | 82.3 M ² (870 SQ. FT.) |

| | |
|------------------|----------------------|
| MAIN FLOOR AREA | 489.1 M ² |
| UPPER FLOOR AREA | 147.6 M ² |
| TOTAL FLOOR AREA | 636.7 M ² |

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| Sheet Number AA101 OF 01 | Drawn by PLANS: BUILDING A - MAIN FLOOR | |

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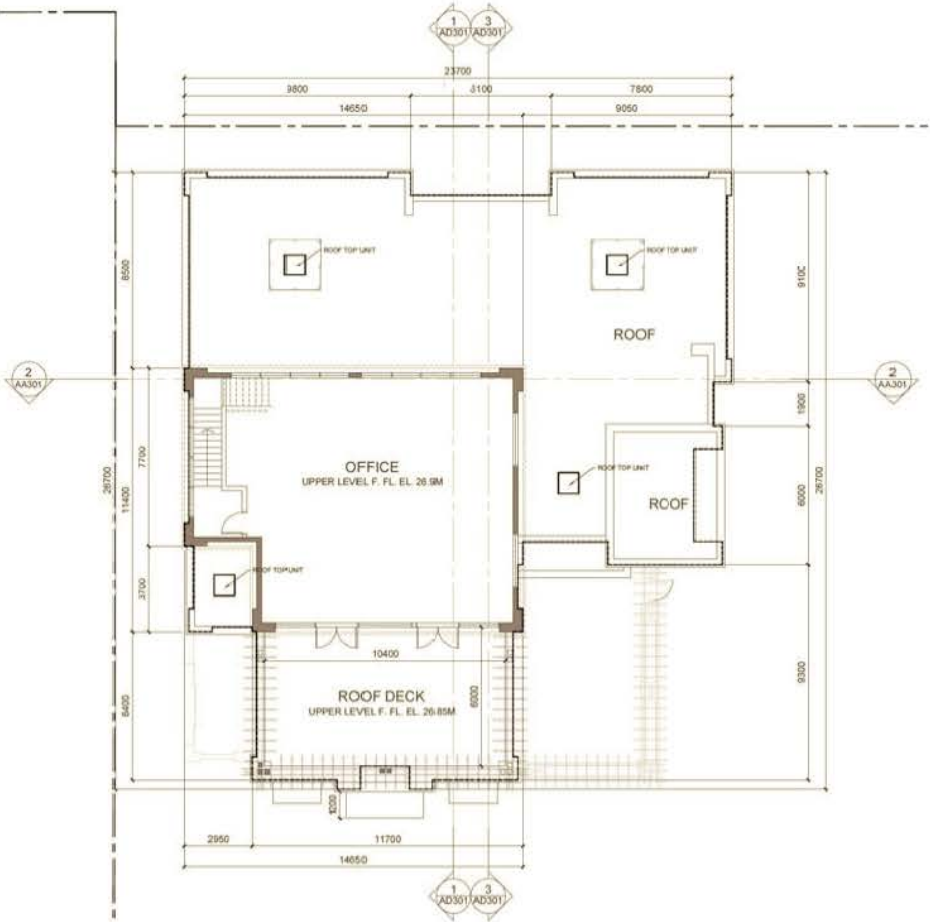
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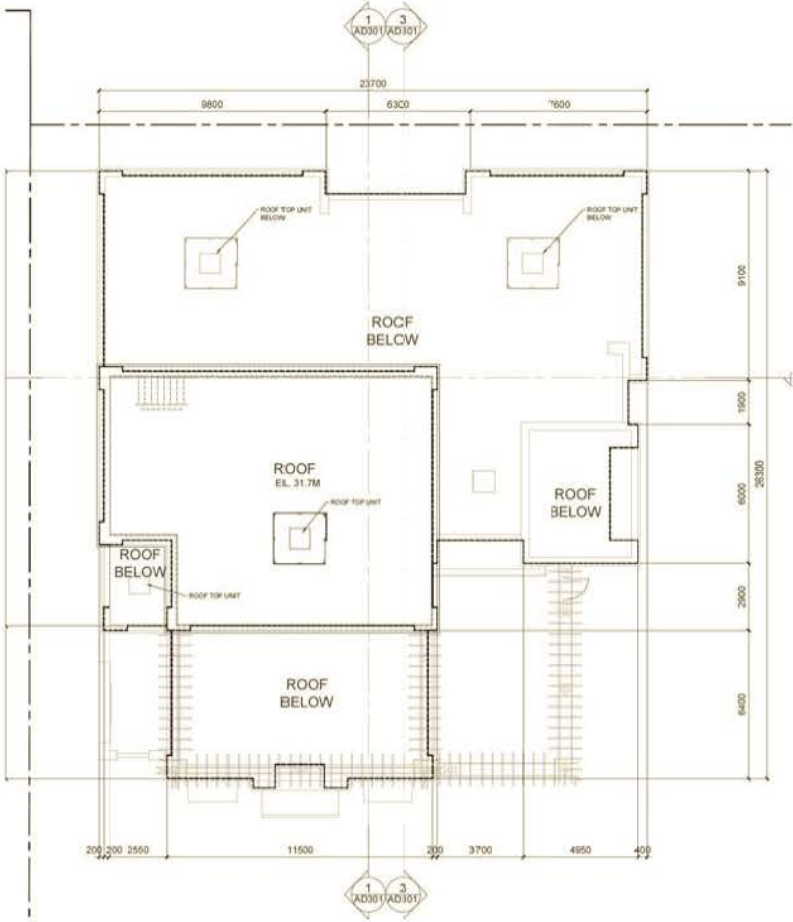
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|---------|---|----------|---------------------------------|
| Project | PROPOSED COMMERCIAL 10 226 RZ COP | Plan | BUILDING A - UPPER FLOOR & ROOF |
| Client | 10100 152A Street Surrey, B.C. V3R 1J7 | Sheet | AA102 |
| Scale | 1:100 | Date | 2013.03.14 |
| Author | | Drawn | |
| Checked | | Reviewed | |



1 BUILDING A: UPPER FLOOR PLAN
 SCALE: 1:100

| | |
|-------------|-------------------------------------|
| UPPER FLOOR | |
| OFFICE | 133.9 M ² (1441 SQ. FT.) |
| EXIT STAIR | 13.7 M ² (148 SQ. FT.) |
| TOTAL | 147.6 M ² (1589 SQ. FT.) |
| ROOF DECK | |
| | 62.3 M ² (670 SQ. FT.) |



1 BUILDING A: SECOND LEVEL ROOF PLAN
 SCALE: 1:100

10100 152A Street

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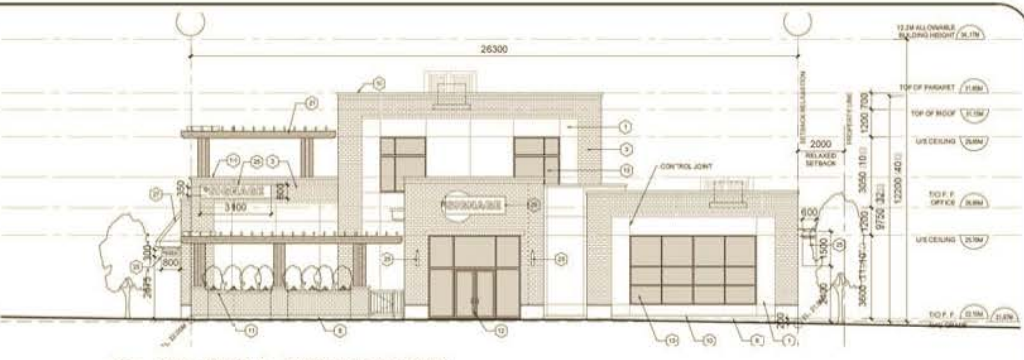
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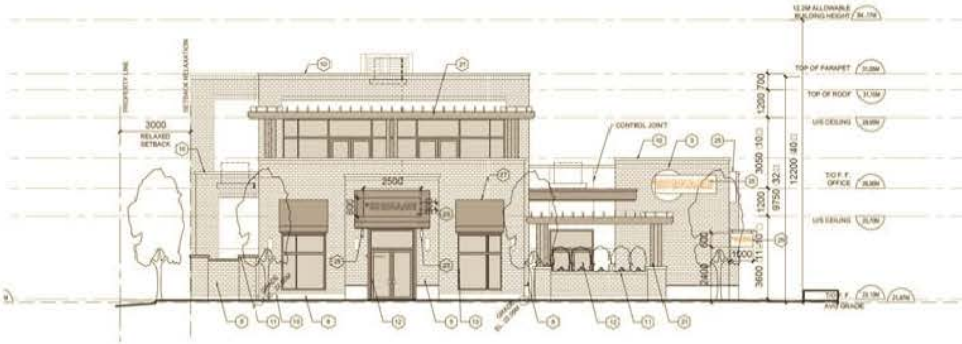
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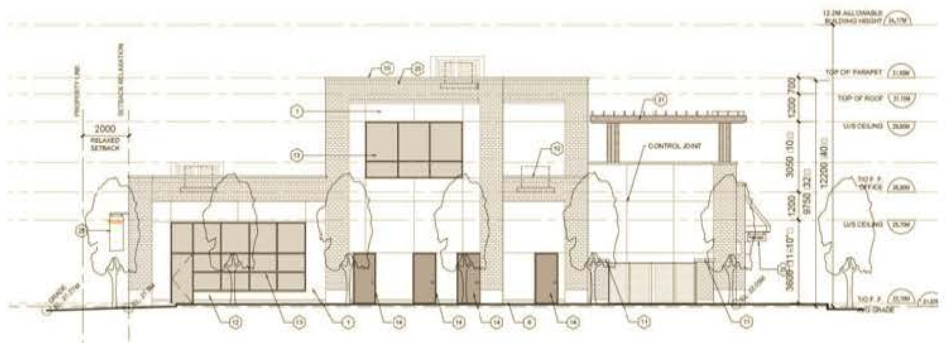
1 BUILDING A - NORTH ELEVATION (64TH AVENUE)
SCALE: 1:100



2 BUILDING A - EAST ELEVATION
SCALE: 1:100



3 BUILDING A - SOUTH ELEVATION
SCALE: 1:100



4 BUILDING A - WEST ELEVATION
SCALE: 1:100

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BUILDING FINISHES

- 1 PAINTED STUCCO
- 2 STONE VENEER
- 3 BRICK VENEER
- 4 PREFINISHED CEMENT FIBRE BOARD PANELS
- 5 PREFINISHED CEMENT FIBRE BOARD SIDING
- 6 PREFINISHED CORRUGATED METAL CLADDING
- 7 PREFINISHED METAL PANEL CLADDING
- 8 CONCRETE
- 9 PREFINISHED METAL TRIM
- 10 METAL FLASHING - PAINTED TO MATCH ADJACENT FINISH
- 11 PRECAST CONCRETE CAP - NATURAL GREY
- 12 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED DOOR
- 13 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED WINDOW
- 14 PAINTED FLAT PANEL INSULATED METAL DOOR
- 15 OPAQUE SPANDREL GLASS PANEL
- 16 PREFINISHED METAL AND GLASS CANOPY
- 17 PREFINISHED INSULATED OVERHEAD DOOR
- 18 PREFINISHED METAL FASCIA TRIM
- 19 PREFINISHED CEMENT FIBRE TRIM
- 20 PAINTED BRACKET
- 21 TRELLIS
- 22 PREFINISHED ALUMINUM GUARDRAIL
- 23 PREFINISHED G BALL
- 24 SPLITSFACE CONCRETE BLOCK
- 25 SIGNAGE, REFER TO TENANT SIGNAGE DRAWINGS FOR DETAILS
- 26 PREFINISHED SCREEN (ROOF TOP UNITS)
- 27 FABRIC AWNING
- 28 PREFINISHED METAL CLAD ROOF OVERHANG
- 29 SIGN GRAPHIC PANEL FOR SIGN COPY AREA

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Project: PROPOSED COMMERCIAL
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Drawing: ELEVATIONS - BUILDING A
Sheet Number: AA201
Of 85

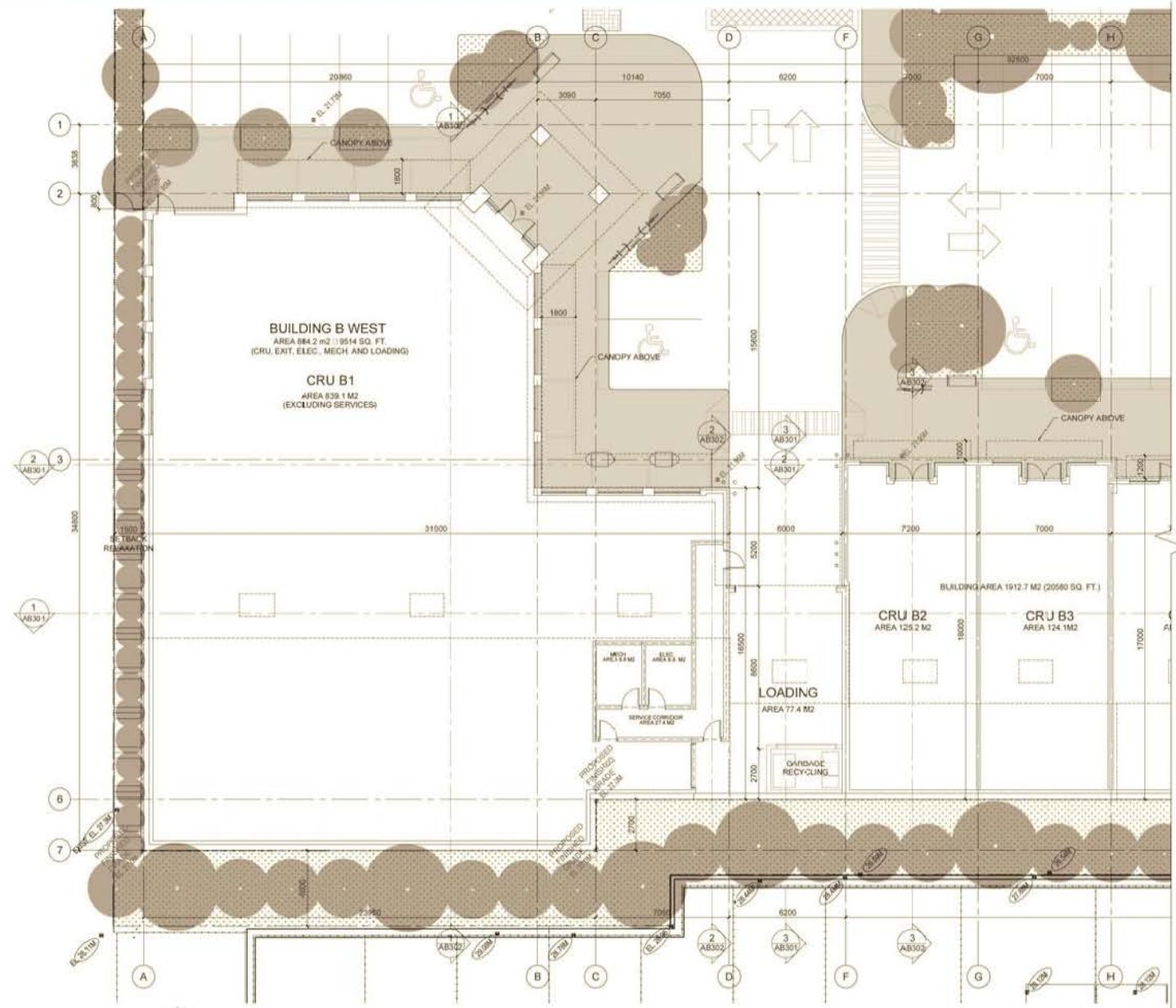
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REFER TO AB102 FOR CONTINUATION

BUILDING A EAST - NORTH EAST - BASE TWO
 TOTAL BUILDING AREA
 CRU B1 839.1 M2 (9032 SQ. FT.)
 SERVICES WEST 45.1 M2 (485 SQ. FT.)
 TOTAL BUILDING AREA 884.2 M2 (9517 SQ. FT.)

1 BUILDING B WEST - FLOOR PLAN
 A001 SCALE: 1:100

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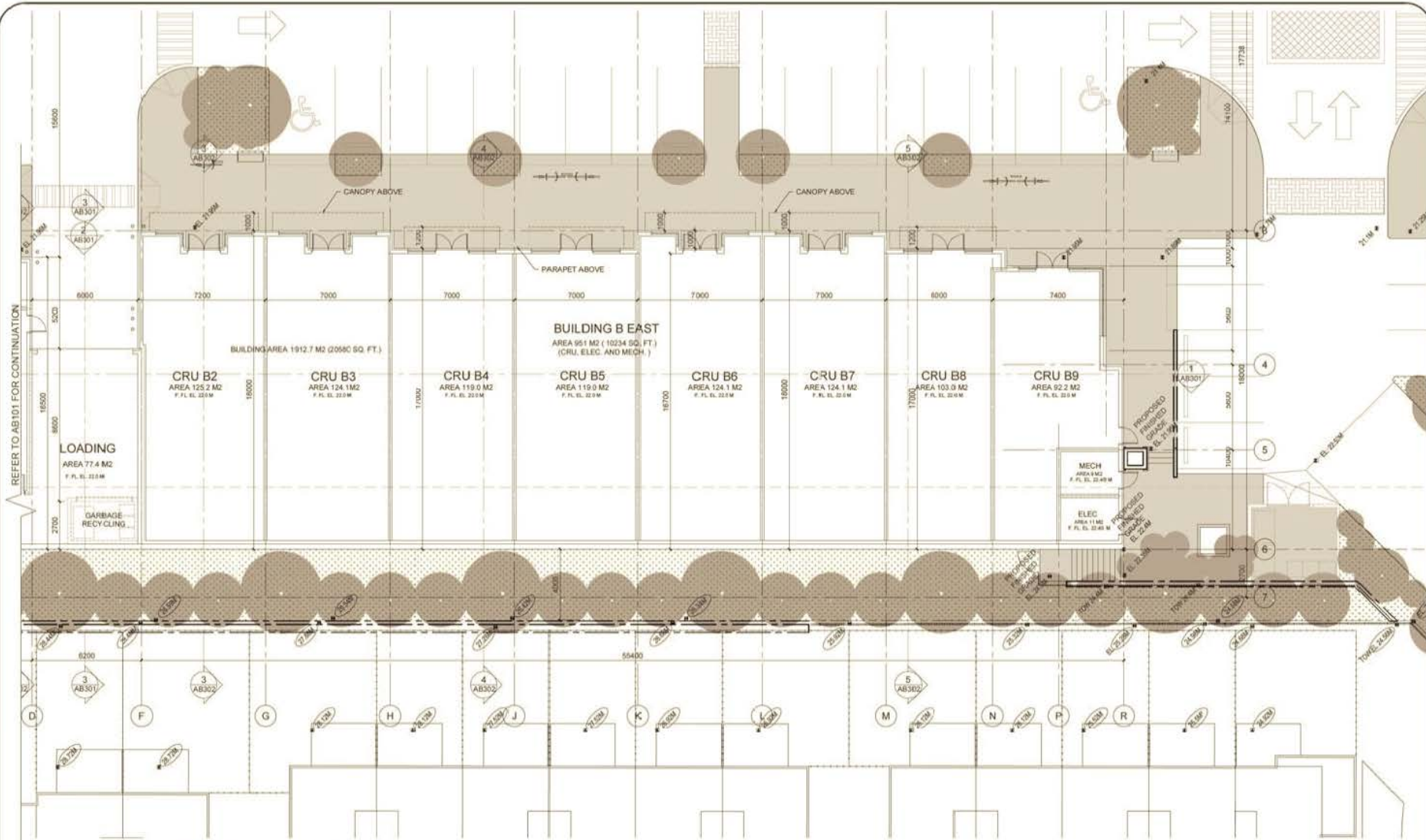
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|--------------|-------------------------------|
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| Client | 10 226 RZ COP |
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| Sheet Number | AB101 |
| Of 10 | OF 10 |
| Plan | BUILDING B - WEST |

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1 BUILDING B EAST - FLOOR PLAN
A001 SCALE: 1:100

BUILDING A EAST - PLAN AREA SUMMARY

| Room/Unit | Area (M ²) | Area (SQ. FT.) |
|-----------------------|------------------------|------------------|
| TOTAL BUILDING A EAST | 1028.5 M ² | (11071 SQ. FT.) |
| CRU B2 | 125.2 M ² | (1348.1 SQ. FT.) |
| CRU B3 | 124.1 M ² | (1335.8 SQ. FT.) |
| CRU B4 | 119.0 M ² | (1280.9 SQ. FT.) |
| CRU B5 | 119.0 M ² | (1280.9 SQ. FT.) |
| CRU B6 | 124.1 M ² | (1335.8 SQ. FT.) |
| CRU B7 | 124.1 M ² | (1335.8 SQ. FT.) |
| CRU B8 | 103.0 M ² | (1108.3 SQ. FT.) |
| CRU B9 | 92.2 M ² | (990.4 SQ. FT.) |
| LOADING | 77.4 M ² | (832.8 SQ. FT.) |
| SERVICES EAST | 20.4 M ² | (220.0 SQ. FT.) |

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| Project: PROPOSED COMMERCIAL | Plan: BUILDING B - EAST |
| Client: RZ COP | Sheet: AB102 |
| Address: 1470 AVENUE AND HART STREET, SURREY, B.C. | Scale: 1:100 |
| Date: 2013-03-11 | Author: [Name] |
| Drawn: [Name] | Checked: [Name] |
| Approved: [Name] | |

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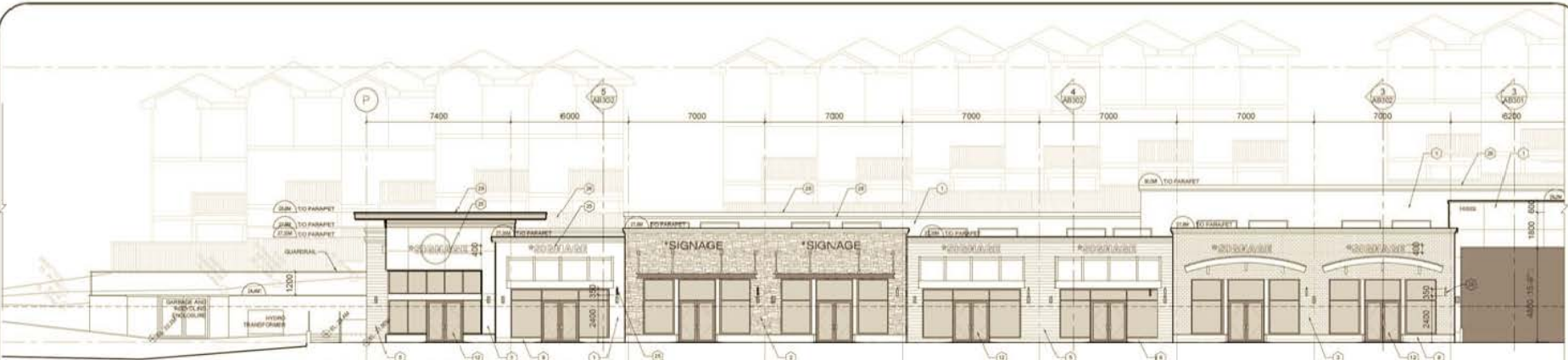
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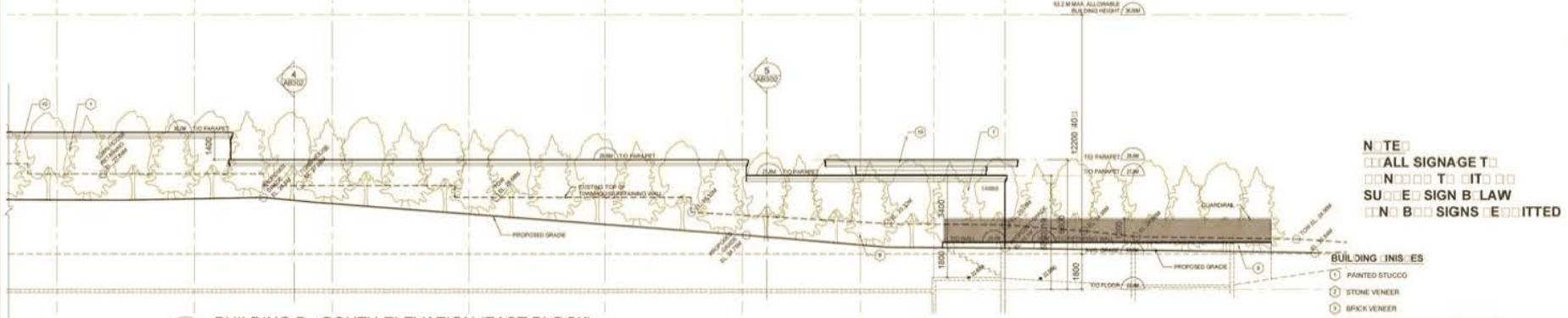
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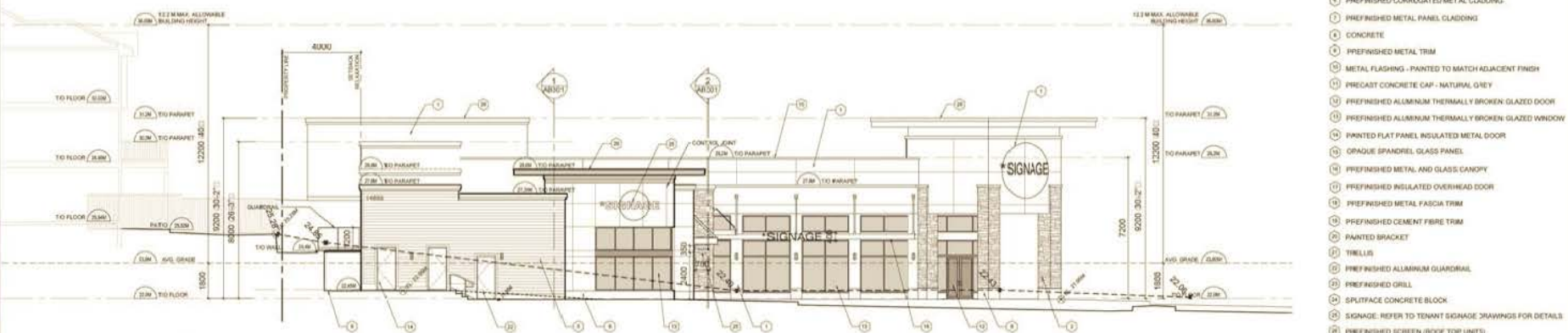
BUILDING B - NORTH ELEVATION (EAST BLOCK)

SCALE: 1:100



BUILDING B - SOUTH ELEVATION (EAST BLOCK)

SCALE: 1:100



BUILDING B - EAST ELEVATION (EAST BLOCK)

SCALE: 1:100

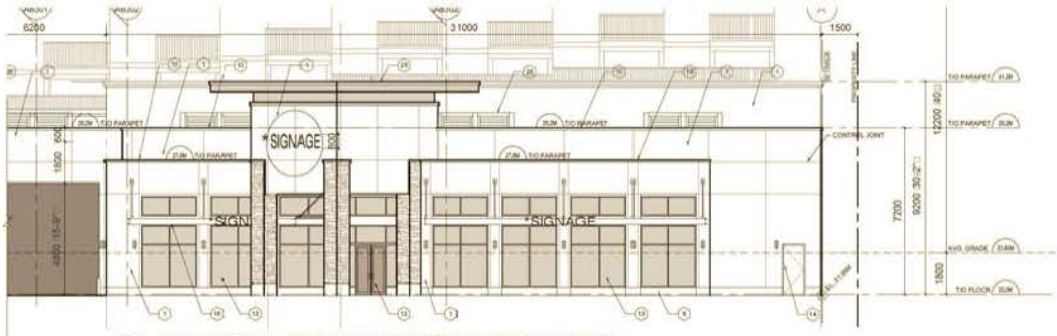
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BUILDING FINISHES

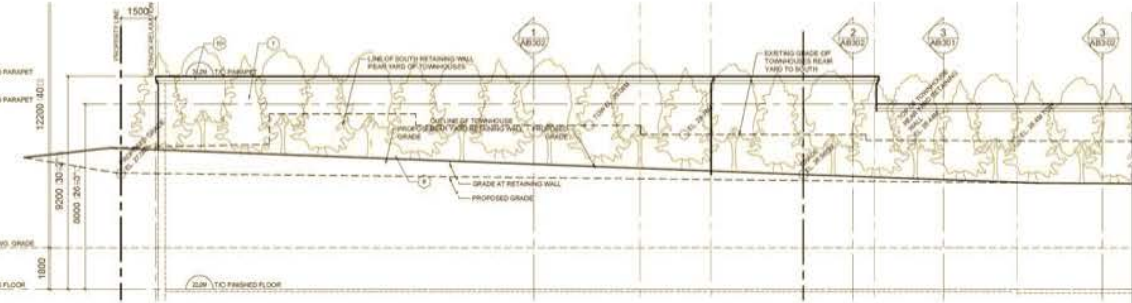
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- 2 STONE VENEER
- 3 BRICK VENEER
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- 5 PREFINISHED CEMENT FIBRE BOARD SONG
- 6 PREFINISHED CORRUGATED METAL CLADDING
- 7 PREFINISHED METAL PANEL CLADDING
- 8 CONCRETE
- 9 PREFINISHED METAL TRIM
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- 21 TRILLIS
- 22 PREFINISHED ALUMINUM GUARDRAIL
- 23 PREFINISHED GRILL
- 24 SPLURFACE CONCRETE BLOCK
- 25 SIGNAGE: REFER TO TENANT SIGNAGE DRAWINGS FOR DETAILS
- 26 PREFINISHED SCREEN (ROOF TOP UNITS)
- 27 FABRIC AWNING
- 28 PREFINISHED METAL CLAD ROOF OVER HANG
- 29 SKIN GRAPHIC PANEL FOR SIGN COPY AREA

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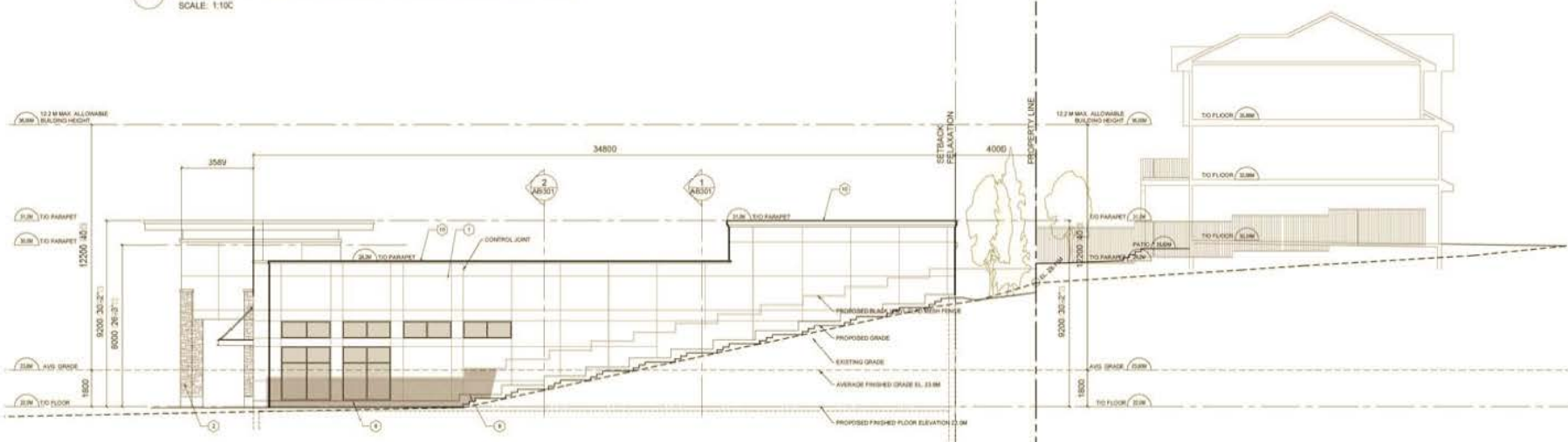
Project: PROPOSED COMMERCIAL
RZ COP
10 256
10 256
SURREY, B.C. V3R 1J7
Drawing: ELEVATIONS: BUILDING B - EAST
AB201
01/13



1 BUILDING B - NORTH ELEVATION (WEST BLOCK)
SCALE: 1:100



2 BUILDING B - SOUTH ELEVATION (WEST BLOCK)
SCALE: 1:100



3 BUILDING B - WEST ELEVATION (WEST BLOCK)
SCALE: 1:100

BUILDING FINISHES

- ① PAINT ID STUCCO
- ② STONE VENEER
- ③ BRICK VENEER
- ④ PREFINISHED CEMENT FIBRE BOARD PANELS
- ⑤ PREFINISHED CEMENT FIBRE BOARD SIDING
- ⑥ PREFINISHED CORRUGATED METAL CLADDING
- ⑦ PREFINISHED METAL PANEL CLADDING
- ⑧ CONCRETE
- ⑨ PREFINISHED METAL TRIM
- ⑩ METAL FLASHING - PAINTED TO MATCH ADJACENT FINISH
- ⑪ PRECAST CONCRETE CAP - NATURAL GREY
- ⑫ PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED DOOR
- ⑬ PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED WINDOW
- ⑭ PAINTED FLAT PANEL INSULATED METAL DOOR
- ⑮ OPAQUE SPANDREL GLASS PANEL
- ⑯ PREFINISHED METAL AND GLASS CANOPY
- ⑰ PREFINISHED INSULATED OVERHEAD DOOR
- ⑱ PREFINISHED METAL FASCIA TRIM
- ⑲ PREFINISHED CEMENT FIBRE TRIM
- ⑳ PAINTED BRACKET
- ㉑ TRELLIS
- ㉒ PREFINISHED ALUMINUM GUARDRAIL
- ㉓ PREFINISHED GRILL
- ㉔ SPLITSURFACE CONCRETE BLOCK
- ㉕ SIGNAGE REFER TO TENANT SIGNAGE DRAWINGS FOR DETAIL
- ㉖ PREFINISHED SCREEN (ROOF TOP LIMITS)
- ㉗ FABRIC AWNING
- ㉘ PREFINISHED METAL CLAD ROOF OVERHANG
- ㉙ SIGN GRAPHIC PANEL FOR SIGN COPY AREA

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 PLANNING SUBMISSION AUGUST 01, 2012
 PLANNING REVIEW NOVEMBER 28, 2012
 PLANNING REVIEW FEBRUARY 21, 2013
 FOR RENDERING MARCH 5, 2013
 PLANNING REVIEW MARCH 14, 2013

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 GRAHAM HOYT ARCHITECTS
 10100 152A Street
 Surrey, B.C. V3R 1J7
 Tel: (604) 581-8128

| | |
|--------------|--|
| Project | PROPOSED COMMERCIAL 0752667 B.C. LTD. |
| Location | 1470 AVENUE AND HART STREET, SURREY, B.C. |
| Client | 10100 152A Street Surrey, B.C. V3R 1J7 Tel: (604) 581-8128 |
| Scale | 1:100 |
| Drawn | 2011-08-11 |
| Checked | |
| Approved | |
| Project | PROPOSED COMMERCIAL RZ COP |
| Sheet Number | ELEVATIONS: BUILDING B - WEST |
| Sheet Count | AB202 OF 03 |

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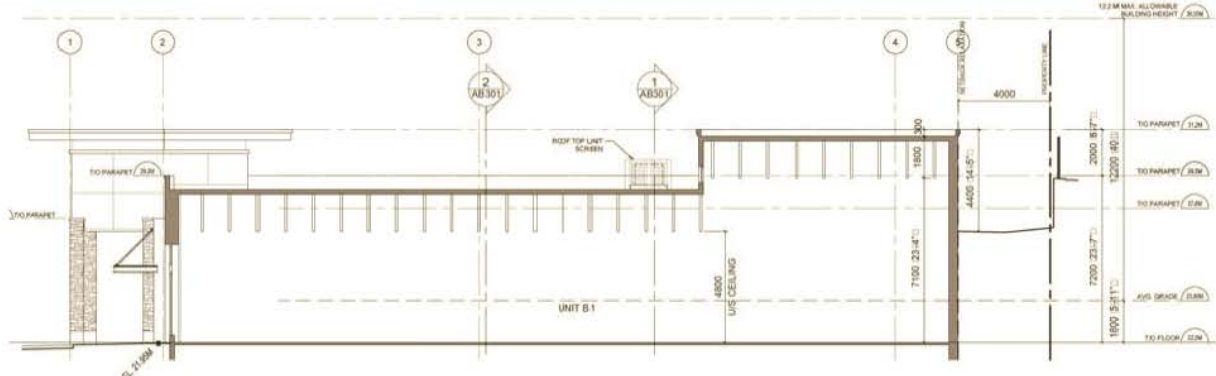
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NOVEMBER 09, 2011
ADVISORY DESIGN PANEL
SUBMISSION
MARCH 15, 2012
ADVISORY DESIGN PANEL
MARCH 22, 2012
PLANNING SUBMISSION
AUGUST 01, 2012
PLANNING REVIEW
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PLANNING REVIEW
FEBRUARY 21, 2013
FOR RENDERING
MARCH 5, 2013
PLANNING REVIEW
MARCH 14, 2013

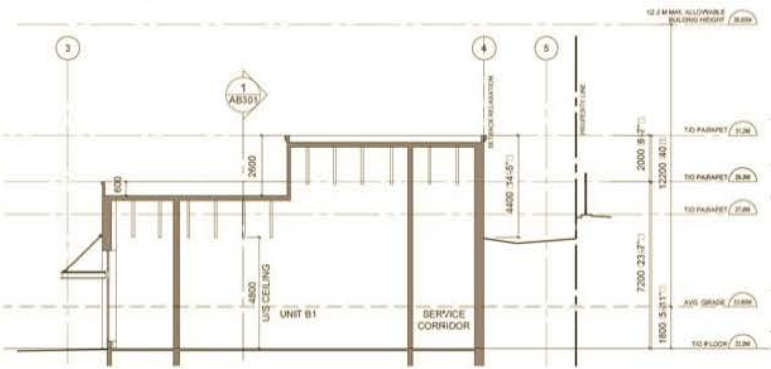
NOTE:
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GRAHAM HOFFMAN ARCHITECTS
1000
10190 155A Street
Surrey, B.C. V3R 1J7
Tel: (604) 581-8128

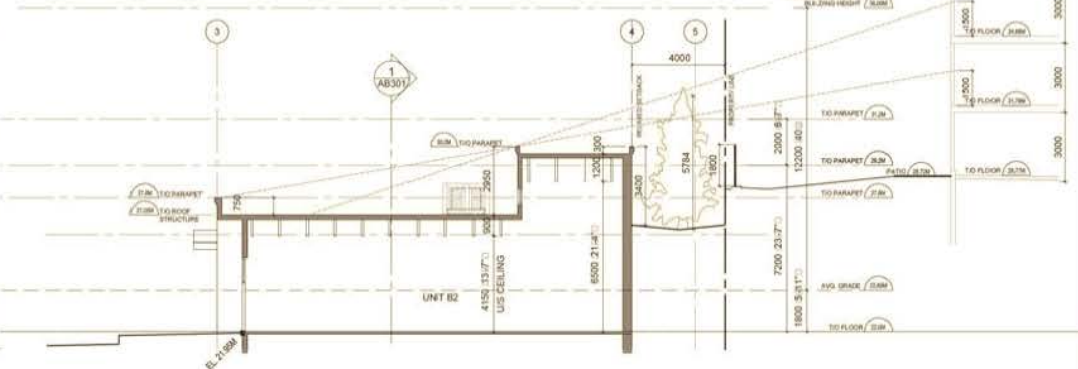
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| Project | PROPOSED COMMERCIAL RZ COPP 0752667 B.C. LTD. |
| Section | SECTIONS: BUILDING B |
| Sheet Number | AB302 OF 88 |
| Scale | 1:100 |
| Drawn | 2013/08/11 |
| Checked | |
| Approved | |



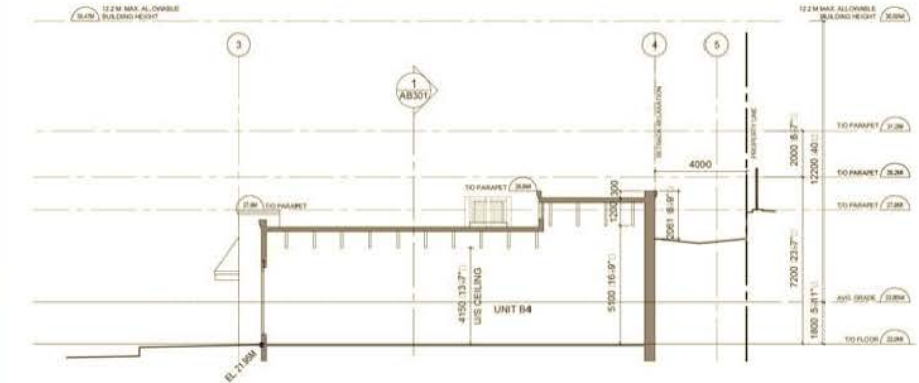
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SCALE: 1:100



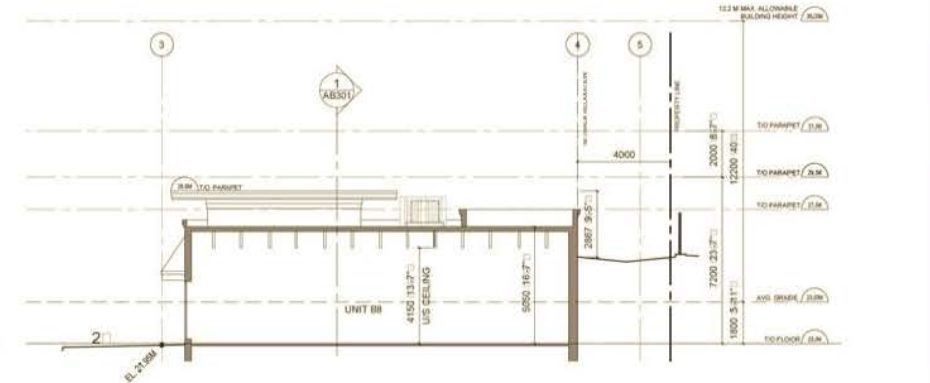
2 BUILDING B - SECTION THROUGH B1
SCALE: 1:100



3 BUILDING B - SECTION THROUGH B2
SCALE: 1:100



4 BUILDING B - SECTION THROUGH B4
SCALE: 1:100



5 BUILDING B - SECTION THROUGH B8
SCALE: 1:100

DATE: 2013/08/11

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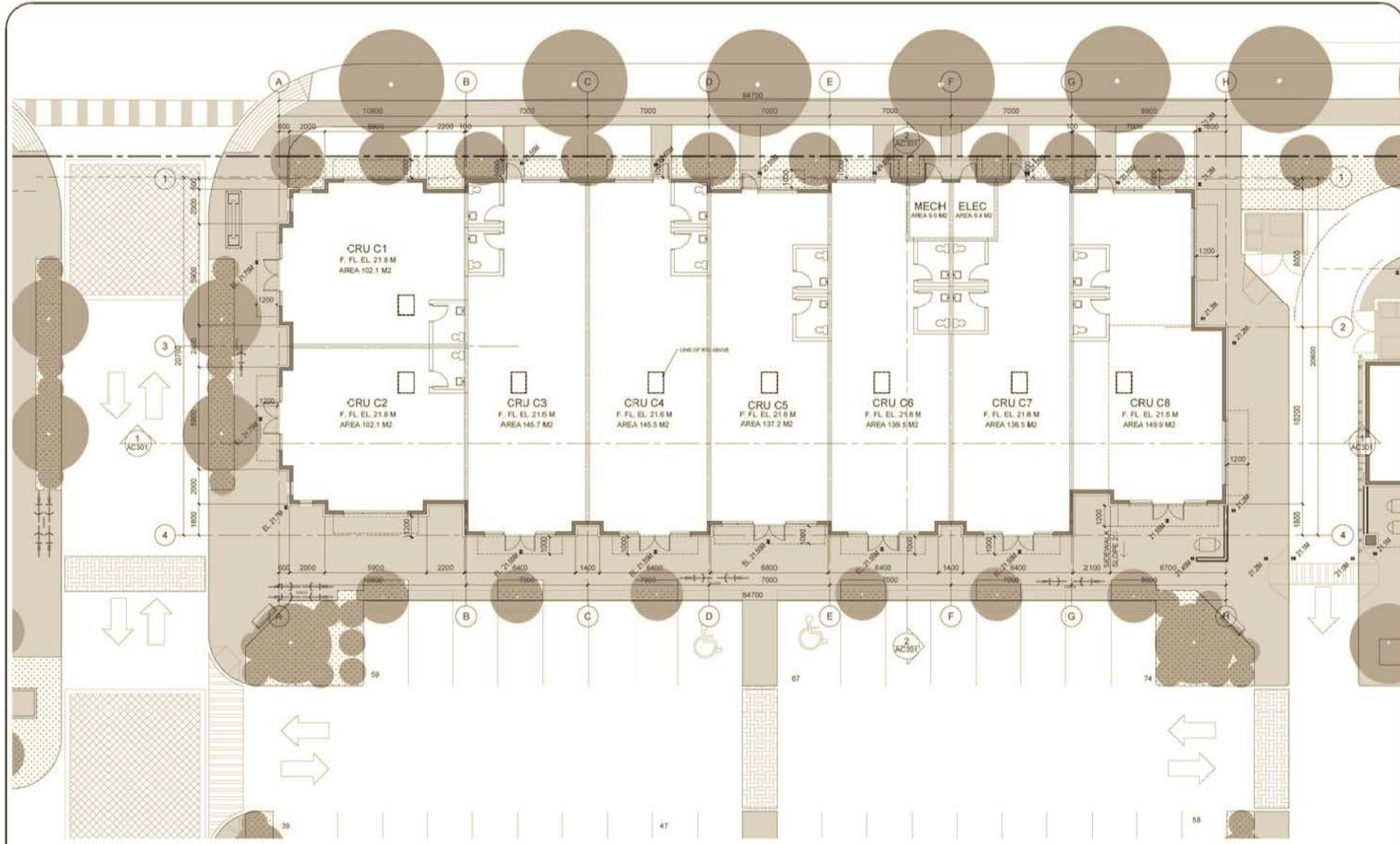
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PLANNING REVIEW MARCH 14, 2013

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BUILDING C - FLOOR PLAN
 SCALE: 1:100

BUILDING AREA RECONCILIATION

| | |
|---------------------|---|
| TOTAL BUILDING AREA | |
| CRU C1 | 102.1 M ² (1088.4 SQ. FT.) |
| CRU C2 | 102.1 M ² (1088.4 SQ. FT.) |
| CRU C3 | 145.7 M ² (1567.9 SQ. FT.) |
| CRU C4 | 145.5 M ² (1566.4 SQ. FT.) |
| CRU C5 | 137.2 M ² (1476.5 SQ. FT.) |
| CRU C6 | 136.5 M ² (1468.5 SQ. FT.) |
| CRU C7 | 136.5 M ² (1468.5 SQ. FT.) |
| CRU C8 | 149.9 M ² (1613.4 SQ. FT.) |
| SERVICES | 18.4 M ² (197.6 SQ. FT.) |
| TOTAL AREA | 1073.8 M ² (11558.5 SQ. FT.) |

GHA
 GRAHAM HOYT ARCHITECTS INC.
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 Surrey, B.C. V3R 1J7
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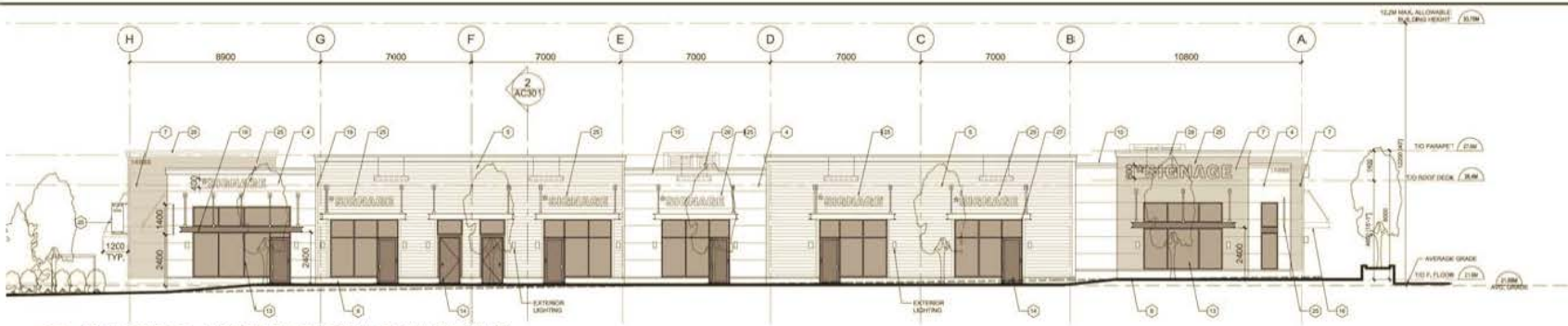
| | | | |
|-------------|------------|--------------|---------------------------------|
| Project No. | 10 226 | Phase | PROPOSED COMMERCIAL |
| Client | RZ COP | Address | 10190 152A STREET, SURREY, B.C. |
| Scale | AS SHOWN | Project Name | PLAN: BUILDING C |
| Date | 2013.03.14 | Sheet No. | AC101 |
| Author | | Scale | AS SHOWN |
| Checker | | | |
| Designer | | | |

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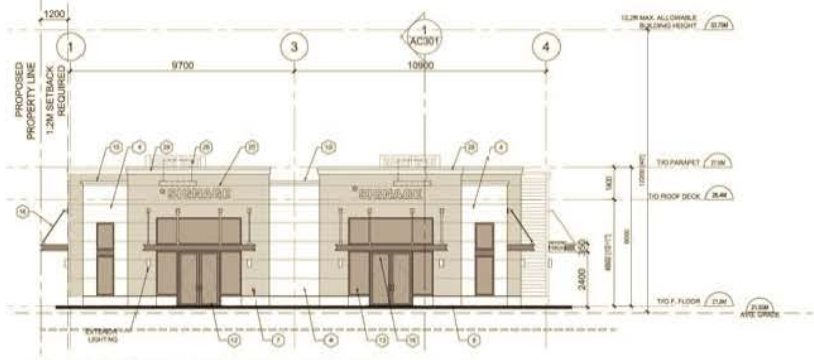
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 PLANNING REVIEW NOVEMBER 28, 2012
 PLANNING REVIEW FEBRUARY 21, 2013
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 PLANNING REVIEW MARCH 14, 2013

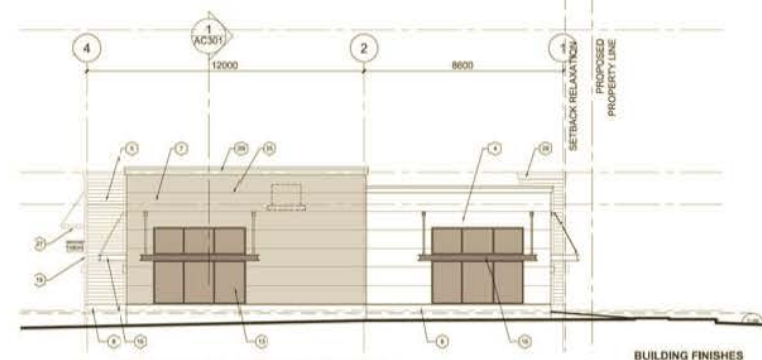
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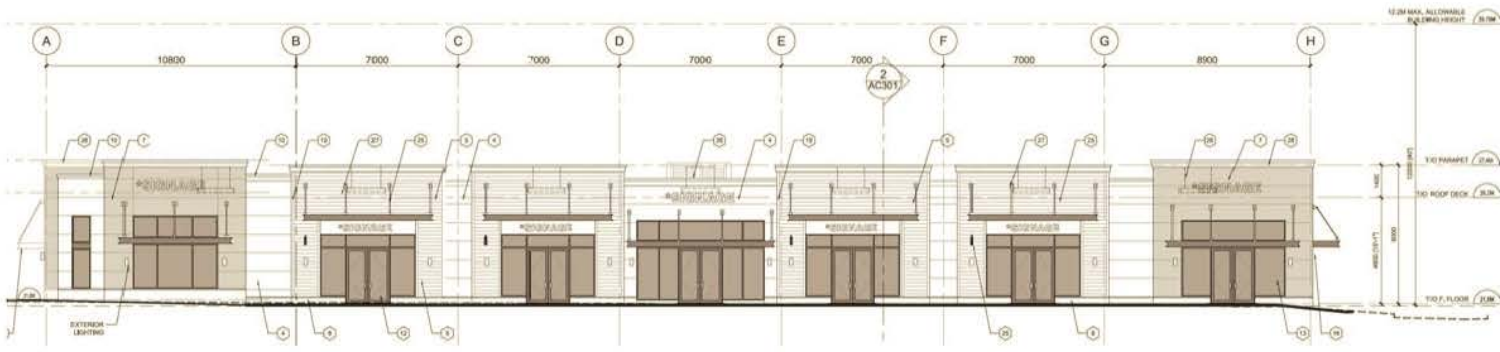
1 BUILDING C - NORTH ELEVATION (64TH AVENUE)
 SCALE: 1:100



2 BUILDING C - WEST ELEVATION
 SCALE: 1:100



3 BUILDING C - EAST ELEVATION
 SCALE: 1:100



4 BUILDING C - SOUTH ELEVATION
 SCALE: 1:100

BUILDING FINISHES

- 1 PAINTED STUCCO
- 2 STONE VENEER
- 3 BRICK VENEER
- 4 PREFINISHED CEMENT FIBRE BOARD PANELS
- 5 PREFINISHED CEMENT FIBRE BOARD SIDING
- 6 PREFINISHED CORRUGATED METAL CLADDING
- 7 PREFINISHED METAL PANEL CLADDING
- 8 CONCRETE
- 9 PREFINISHED METAL TRIM
- 10 METAL FLASHING - PAINTED TO MATCH ADJACENT FINISH
- 11 PRECAST CONCRETE CAP - NATURAL GREY
- 12 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED DOOR
- 13 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED WINDOW
- 14 PAINTED FLAT PANEL INSULATED METAL DOOR
- 15 OPAQUE SPANDREL GLASS PANEL
- 16 PREFINISHED METAL AND GLASS CANOPY
- 17 PREFINISHED INSULATED OVERHEAD DOOR
- 18 PREFINISHED METAL FASCIA TRIM
- 19 PREFINISHED CEMENT FIBRE TRIM
- 20 PAINTED BRACKET
- 21 TRELLIS
- 22 PREFINISHED ALUMINUM GUARDRAIL
- 23 PREFINISHED ORELL
- 24 SPLIFFACE CONCRETE BLOCK
- 25 SIGNAGE REFER TO TENANT SIGNAGE DRAWINGS FOR DETAILS
- 26 PREFINISHED SCREEN (ROOF TOP UNITS)
- 27 FABRIC AWNING
- 28 PREFINISHED METAL CLAD ROOF OVERHANG
- 29 SIGN GRAPHIC PANEL FOR SIGN COPY AREA

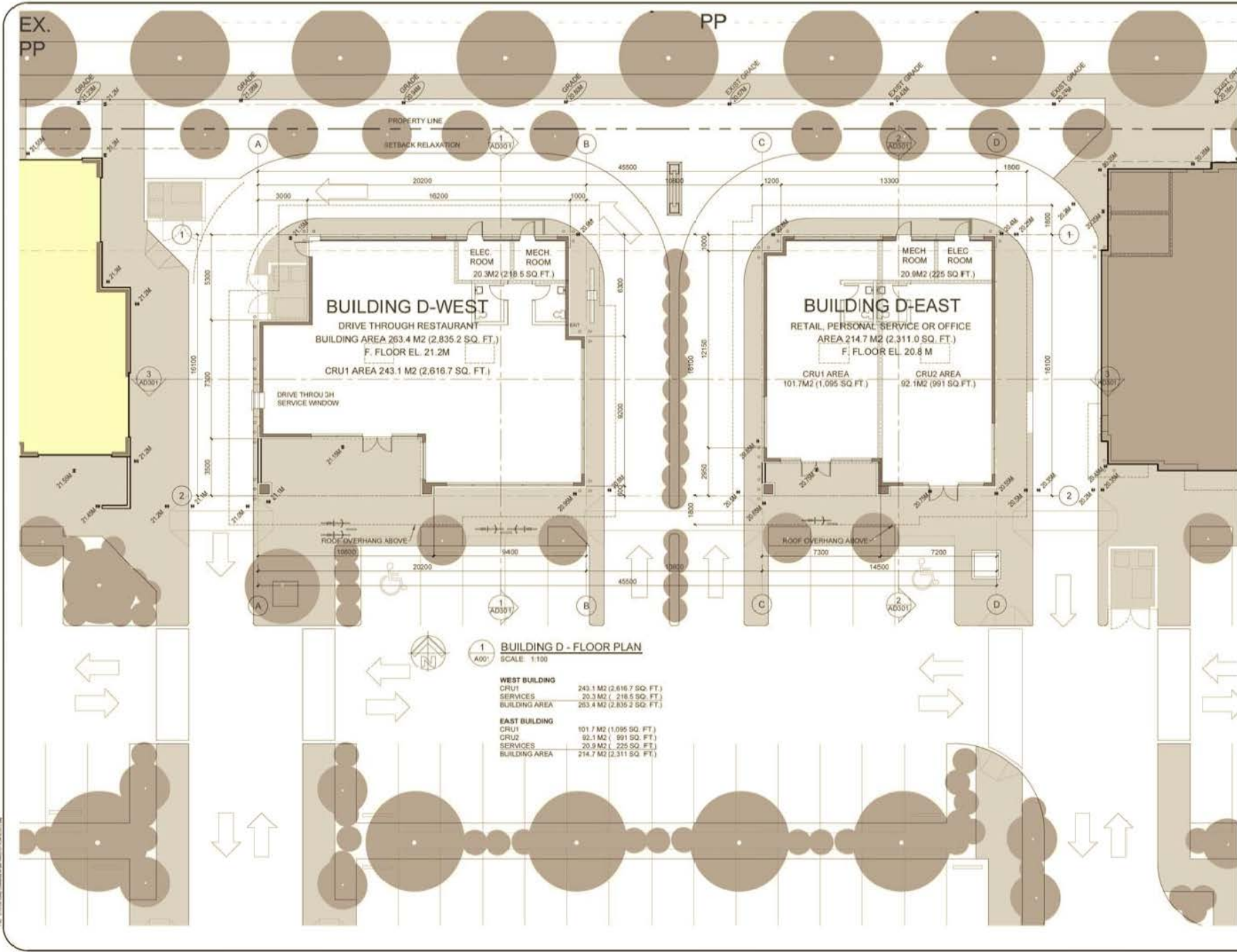
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 Tel: (604) 581-8128

Project: **PROPOSED COMMERCIAL**
 10 256 RZ COP
 0752667 B.C. LTD.
 1474 AVENUE AND HURST STREET SURREY B.C.

Scale: 1:100
 Date: 08/11/2013
 Drawn: [Name]
 Checked: [Name]

Project: **ELEVATIONS: BUILDING C**
 Drawing Number: **AC201**
 of 08



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MARCH 22, 2012
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AUGUST 01, 2012
PLANNING REVIEW
NOVEMBER 28, 2012
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MARCH 14, 2013

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| | |
|--------------|---------------------------------------|
| Project No. | 10-258 |
| Project Name | PROPOSED COMMERCIAL RZ CDP |
| Client | ARTY ANAK AND SARA STREET SURREY B.C. |
| Scale | 1:100 |
| Date | 2013.03.05 |
| Drawn | |
| Checked | |
| Approved | |
| Sheet No. | AD101 |
| Sheet Title | PLAN - BUILDING D |
| Of No. | 01 OF 01 |

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ADVISORY DESIGN PANEL MARCH 22, 2012

PLANNING SUBMISSION AUGUST 01, 2012

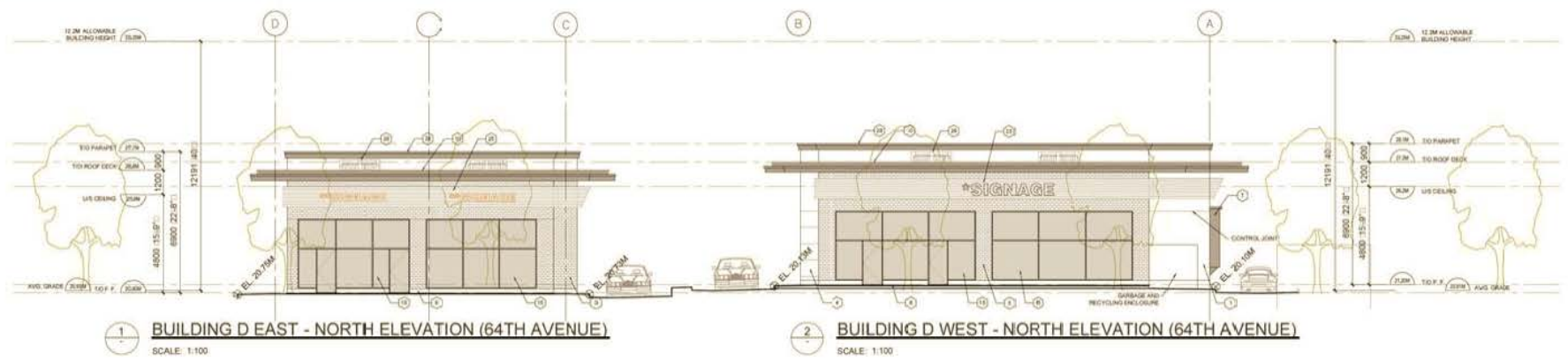
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PLANNING REVIEW FEBRUARY 21, 2013

FOR RENDERING MARCH 5, 2013

PLANNING REVIEW MARCH 14, 2013

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1 BUILDING D EAST - NORTH ELEVATION (64TH AVENUE)
SCALE: 1:100

2 BUILDING D WEST - NORTH ELEVATION (64TH AVENUE)
SCALE: 1:100



3 BUILDING D WEST - SOUTH ELEVATION
SCALE: 1:100

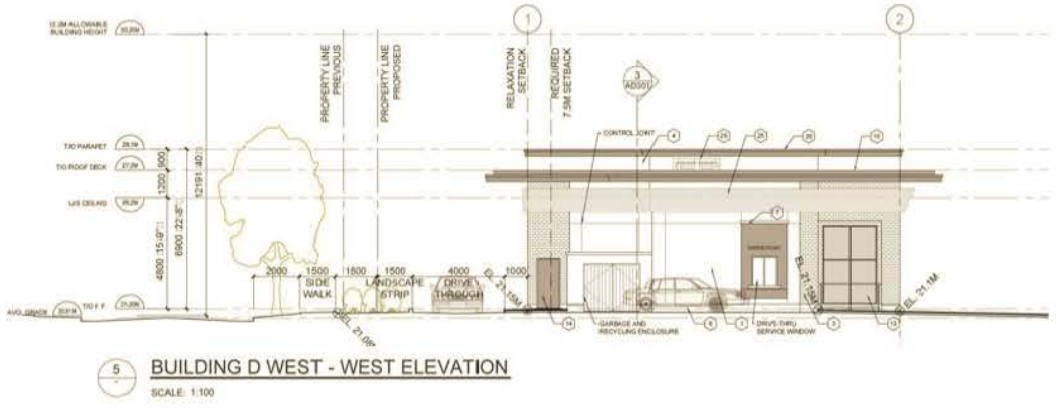
4 BUILDING D EAST - SOUTH ELEVATION
SCALE: 1:100

NOTE:
 □ ALL SIGNAGE TO
 □ N □ T □ IT □
 SU □ E SIGN B - LAW
 □ N □ B □ SIGNS □ E □ ITTED

BUILDING FINISHES

- 1 PAINTED STUCCO
- 2 STONE VENEER
- 3 BRICK VENEER
- 4 PREFINISHED CEMENT FIBRE BOARD PANELS
- 5 PREFINISHED CEMENT FIBRE BOARD SIDING
- 6 PREFINISHED CORRUGATED METAL CLADDING
- 7 PREFINISHED METAL PANEL CLADDING
- 8 CONCRETE
- 9 PREFINISHED METAL TRIM
- 10 METAL FLASHING - PAINTED TO MATCH ADJACENT FINISH
- 11 PRECAST CONCRETE CAP - NATURAL GREY
- 12 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED DOOR
- 13 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED WINDOW
- 14 PAINTED FLAT PANEL INSULATED METAL DOOR
- 15 OPAQUE SPANDREL GLASS PANEL

- 16 PREFINISHED METAL AND GLASS CANOPY
- 17 PREFINISHED INSULATED OVERHEAD DOOR
- 18 PREFINISHED METAL FASCIA TRIM
- 19 PREFINISHED CEMENT FIBRE TRIM
- 20 PAINTED BRACKET
- 21 TRELLIS
- 22 PREFINISHED ALUMINUM GUARDRAIL
- 23 PREFINISHED GRILL
- 24 SPLITFACE CONCRETE BLOCK
- 25 SIGNAGE - REFER TO TENANT SIGNAGE DRAWINGS FOR DETAILS
- 26 PREFINISHED SCREEN (ROOF TOP UNITS)
- 27 FABRIC AWNING
- 28 PREFINISHED METAL CLAD ROOF OVERWING
- 29 SIGN GRAPHIC PANEL FOR SIGN COPY AREA



5 BUILDING D WEST - WEST ELEVATION
SCALE: 1:100

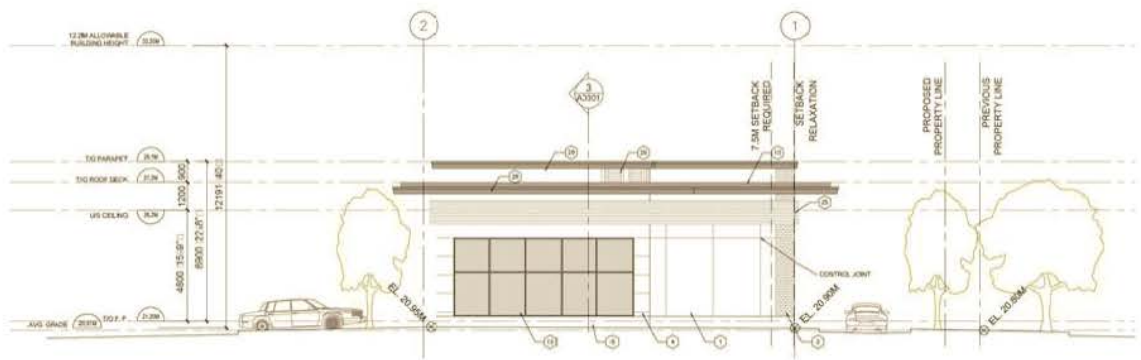
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 Tel: (604) 581-8128

| | |
|--------------|---|
| Project | PROPOSED COMMERCIAL |
| Client | RZ COP |
| Site | 147A PARKLAND AND HART STREET, SURREY, B.C. |
| Drawn | AD201 |
| Checked | |
| Scale | 1:100 |
| Date | 2013.02.22 |
| Project Name | ELEVATIONS - BUILDING D |
| Sheet Number | AD201 |
| Of 05 | |

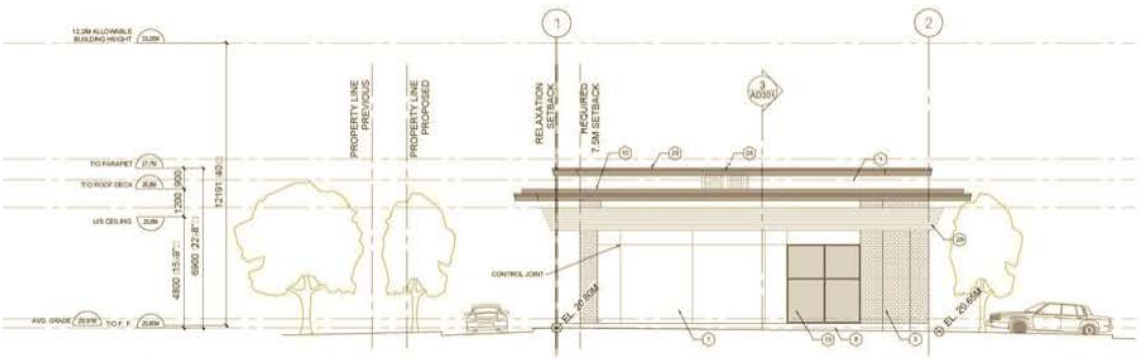
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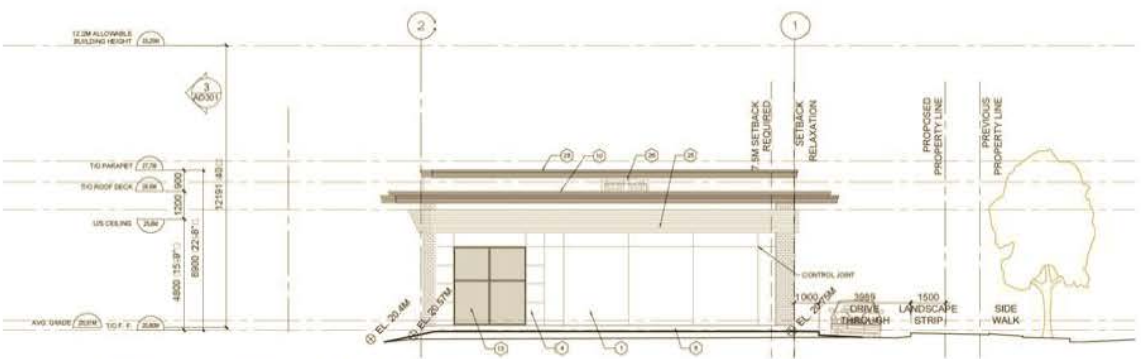
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Development Permit Submission
NOVEMBER 09, 2011
ADVISORY DESIGN PANEL
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MARCH 15, 2012
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MARCH 22, 2012
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NOVEMBER 28, 2012
PLANNING REVIEW
FEBRUARY 21, 2013
FOR RENDERING
MARCH 5, 2013
PLANNING REVIEW
MARCH 14, 2013



1 BUILDING D WEST - EAST ELEVATION
SCALE: 1/100



2 BUILDING D EAST - WEST ELEVATION
SCALE: 1/100



3 BUILDING D EAST - EAST ELEVATION
SCALE: 1/100

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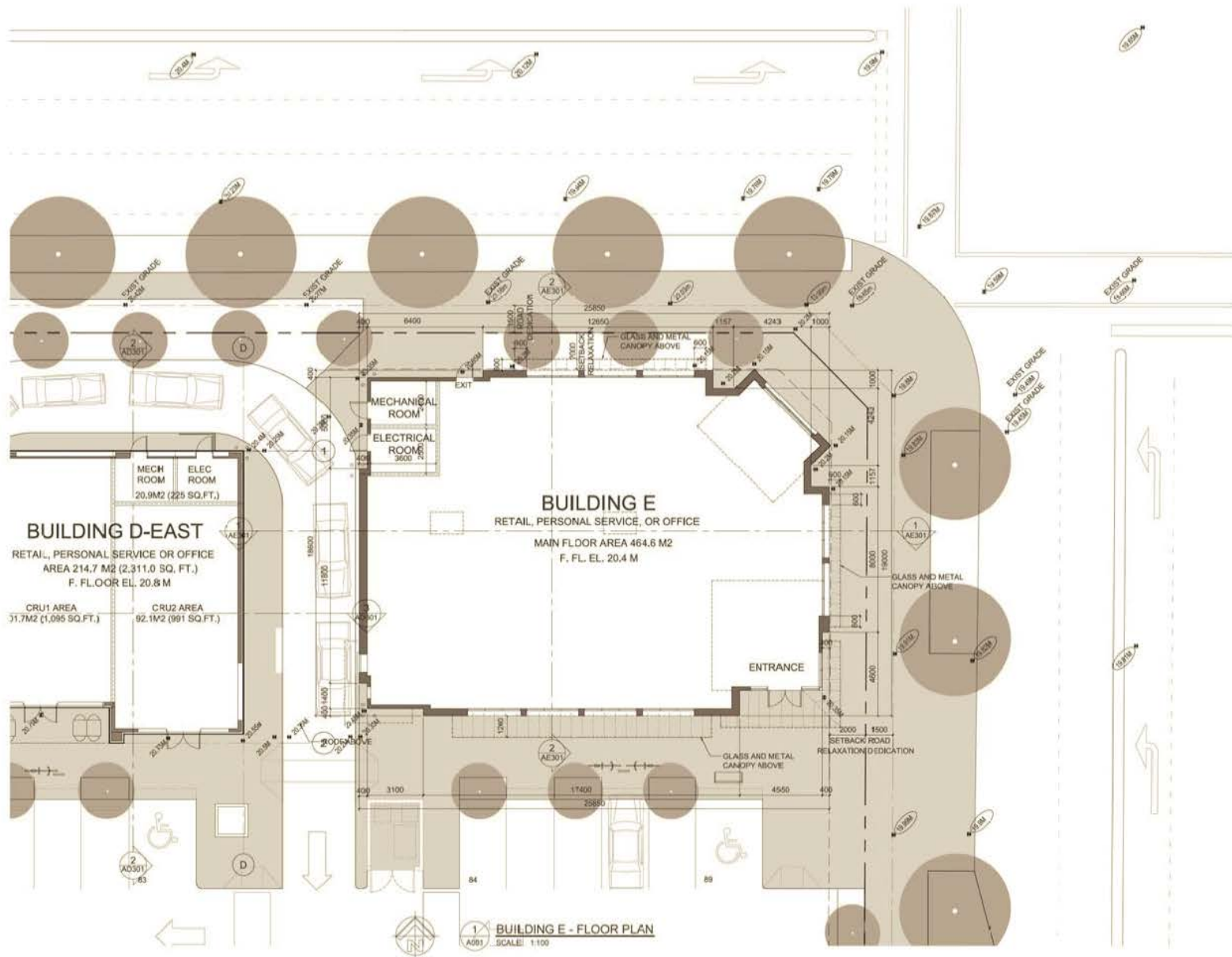
BUILDING FINISHES

- 1 PAINTED STUCCO
- 2 STONE VENEER
- 3 BRICK VENEER
- 4 PREFINISHED CEMENT FIBRE BOARD PANELS
- 5 PREFINISHED CEMENT FIBRE BOARD SIDING
- 6 PREFINISHED CORRUGATED METAL CLADDING
- 7 PREFINISHED METAL PANEL CLADDING
- 8 CONCRETE
- 9 PREFINISHED METAL TRIM
- 10 METAL FLASHING - PAINTED TO MATCH ADJACENT FINISH
- 11 PRECAST CONCRETE CAP - NATURAL GREY
- 12 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED DOOR
- 13 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED WINDOW
- 14 PAINTED FLAT PANEL INSULATED METAL DOOR
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- 16 PREFINISHED METAL AND GLASS CANOPY
- 17 PREFINISHED INSULATED OVERHEAD DOOR
- 18 PREFINISHED METAL FASCIA TRIM
- 19 PREFINISHED CEMENT FIBRE TRIM
- 20 PAINTED BRACKET
- 21 TRELLIS
- 22 PREFINISHED ALUMINUM GUARDRAIL
- 23 PREFINISHED OPSEL
- 24 SPLITFACE CONCRETE BLOCK
- 25 SIGNAGE: REFER TO TENANT SIGNAGE DRAWINGS FOR DETAILS
- 26 PREFINISHED SCREEN (ROOF TOP UNITS)
- 27 FABRIC AWNING
- 28 PREFINISHED METAL CLAD ROOF OVERHANG
- 29 SIGN GRAPHIC PANEL FOR SIGN COPY AREA

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 Tel: (604) 581-8128

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|----------------|---------------------------------|
| Project | PROPOSED COMMERCIAL |
| Client | RZ CDP |
| Location | 10190 155A STREET, SURREY, B.C. |
| Scale | 1/100 |
| Date | 2013.02.23 |
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| Project Number | AD202 |
| Sheet Number | ELEVATIONS BUILDING D |
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 Surrey, B.C. V3R 1J7
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|--|---|--------------------|
| Project PROPOSED COMMERCIAL RZ COP | Client MPTA PARK AND RECREATION DEPT. INC. | Scale 1:100 |
| Drawn AE101 | Checked AE101 | Date 2013.03.14 |
| Sheet Number AE101 | Project Name PLAN: BUILDING E | Drawn By AE101 |

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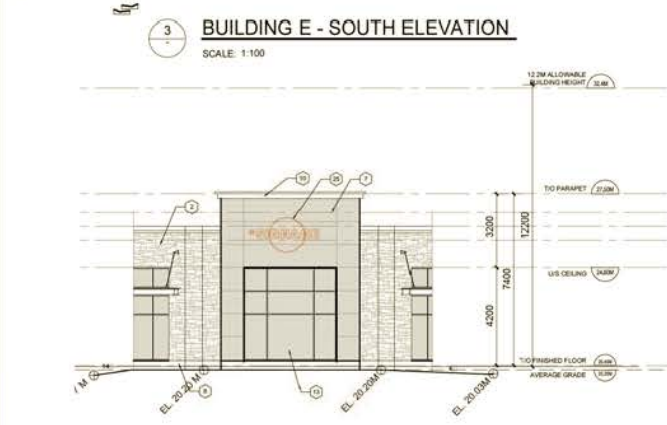
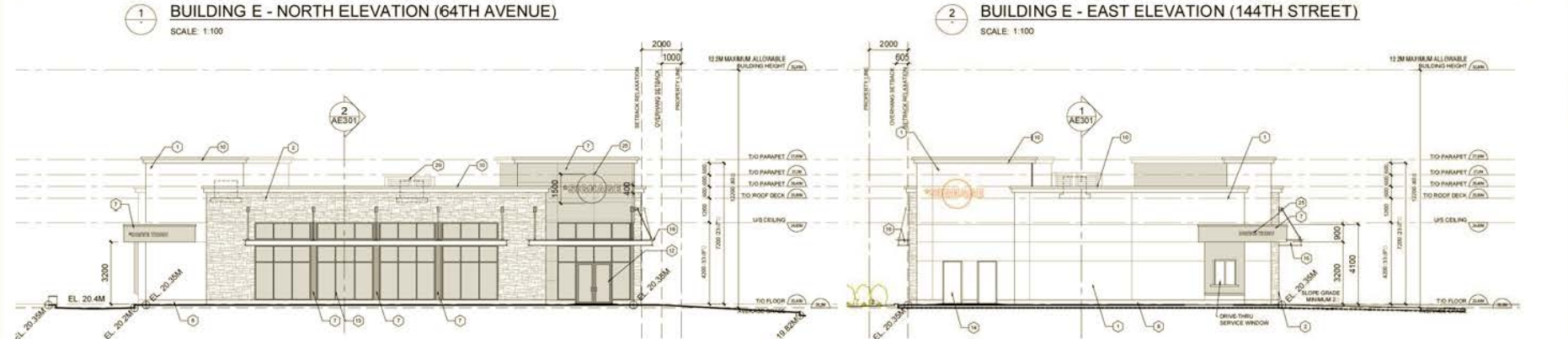
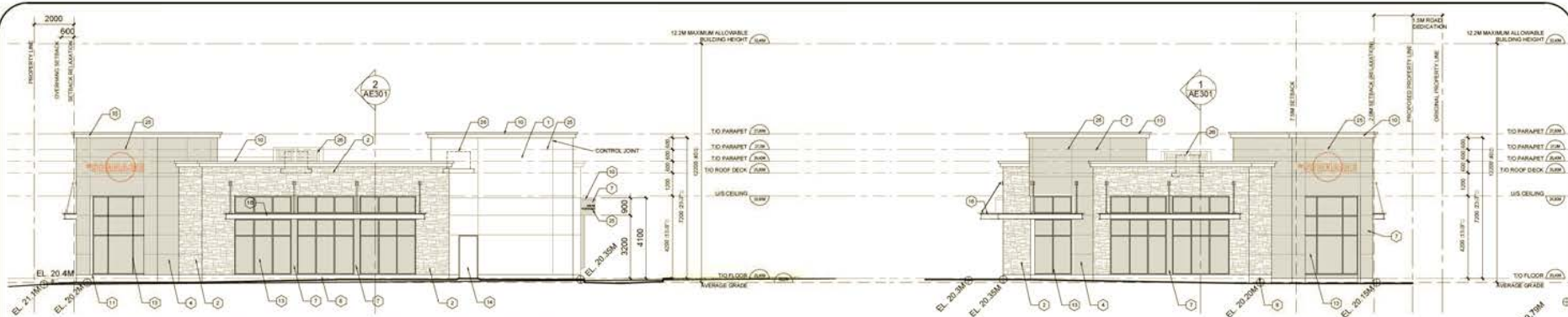
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and
Mack MacPherson Architects Inc.

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GRAHAM HOFFART ARCHITECTS
10100 152A Street
Surrey, B.C. V3R 1J7
Tel: (604) 581 8128

Project: 10 256
Client: RZ CDP
Date: 2011 08 11
Drawing: 10 256-01
Scale: 1:100
Drawing Title: PROPOSED COMMERCIAL
0752867 B.C. LTD.
SITING AND LAYOUT STREET SURVEY B.C.
Drawing Number: ELEVATIONS: BUILDING E
Sheet: 01 OF 01



NOTE
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BUILDING FINISHES

- 1 PAINTED STUCCO
- 2 STONE VENEER
- 3 BRICK VENEER
- 4 PREFINISHED CEMENT FIBRE BOARD PANELS
- 5 PREFINISHED CEMENT FIBRE BOARD SIDING
- 6 PREFINISHED CORRUGATED METAL CLADDING
- 7 PREFINISHED METAL PANEL CLADDING
- 8 CONCRETE
- 9 PREFINISHED METAL TRIM
- 10 METAL FLASHING - PAINTED TO MATCH ADJACENT FINISH
- 11 PRECAST CONCRETE CAP - NATURAL GREY
- 12 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED DOOR
- 13 PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED WINDOW
- 14 PAINTED FLAT PANEL INSULATED METAL DOOR
- 15 OPAQUE SPANDREL GLASS PANEL
- 16 PREFINISHED METAL AND GLASS CANOPY
- 17 PREFINISHED INSULATED OVERHEAD DOOR
- 18 PREFINISHED METAL FASCIA TRIM
- 19 PREFINISHED CEMENT FIBRE TRIM
- 20 PAINTED BRACKET
- 21 TRELLIS
- 22 PREFINISHED ALUMINUM GUARDRAIL
- 23 PREFINISHED GRILL
- 24 SPLIFFACE CONCRETE BLOCK
- 25 SIGNAGE. REFER TO TENANT SIGNAGE DRAWINGS FOR DETAILS
- 26 PREFINISHED SCREEN (ROOF TOP UNITS)
- 27 FABRIC AWNING
- 28 PREFINISHED METAL CLAD ROOF OVERHANG
- 29 SIGN GRAPHIC PANEL FOR SIGN COPY AREA

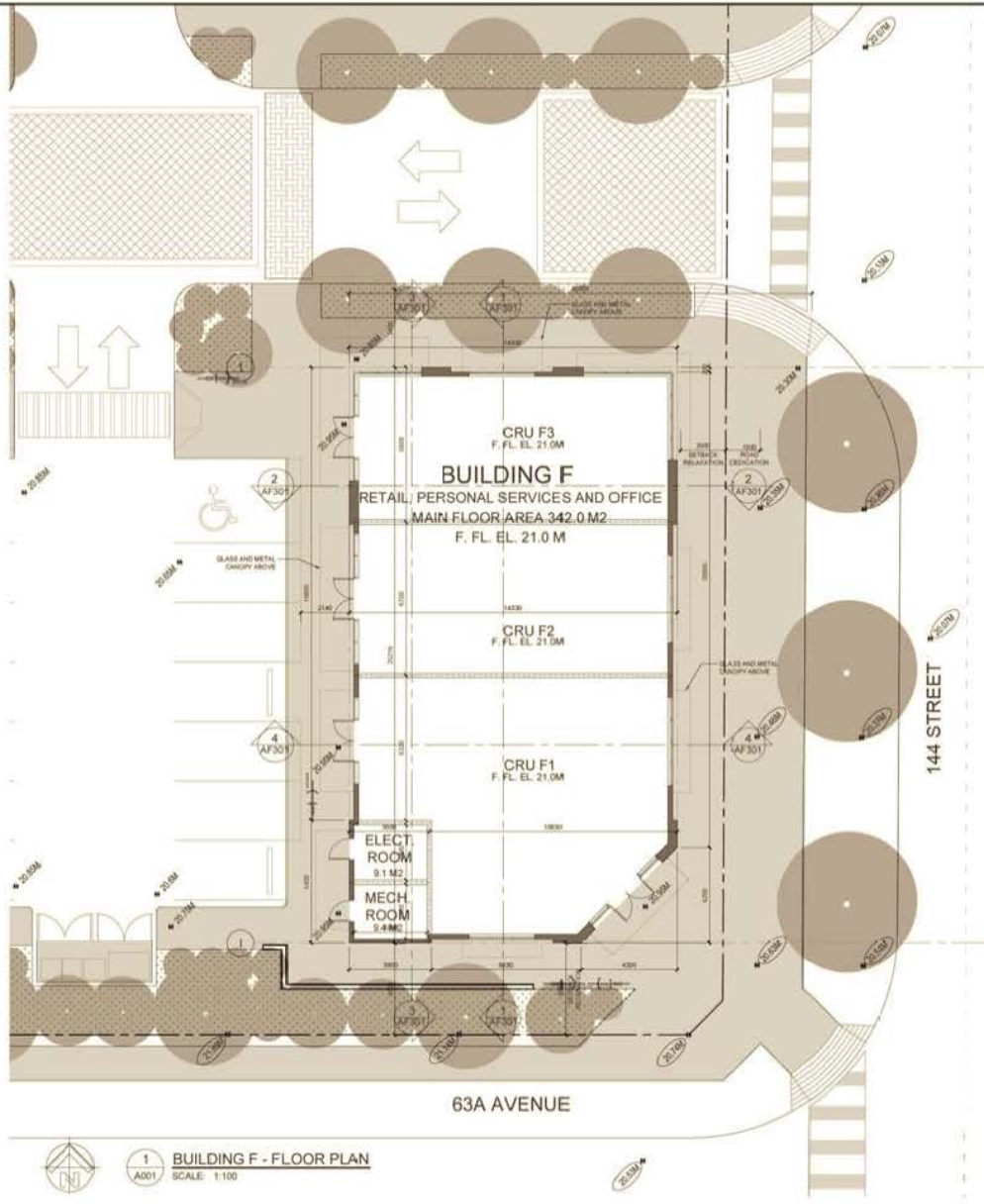
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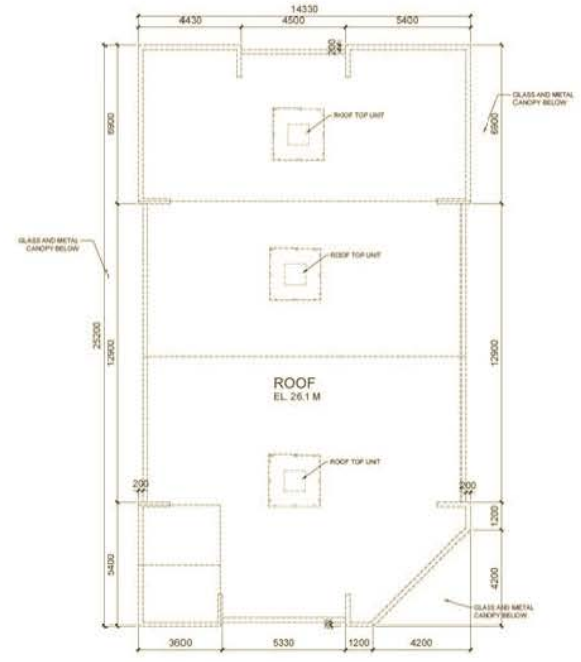
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Rezoning and Comprehensive Development Permit Submission NOVEMBER 09, 2011
 ADVISORY DESIGN PANEL SUBMISSION MARCH 15, 2012
 ADVISORY DESIGN PANEL MARCH 22, 2012
 PLANNING SUBMISSION AUGUST 01, 2012
 PLANNING REVIEW NOVEMBER 28, 2012
 PLANNING REVIEW FEBRUARY 21, 2013
 FOR RENDERING MARCH 5, 2013
 PLANNING REVIEW MARCH 14, 2013

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1 BUILDING F - FLOOR PLAN
 A001 SCALE: 1:100



2 BUILDING F - ROOF PLAN
 A001 SCALE: 1:100

SINGLE STOREY RETAIL

| | |
|------------|---------------------------------------|
| CRU F1 | 137.00 M ² (1,474 SQ. FT.) |
| CRU F2 | 93.25 M ² (1,004 SQ. FT.) |
| CRU F3 | 93.25 M ² (1,004 SQ. FT.) |
| SERVICES | 18.50 M ² (199 SQ. FT.) |
| TOTAL AREA | 342.00 M ² (3,691 SQ. FT.) |

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 GHMAN ARCHITECT (ARCHITECTS)
 100-1005
 10190 132A Street
 Surrey, B.C. V3V 1J7
 Tel: (604) 581-8128

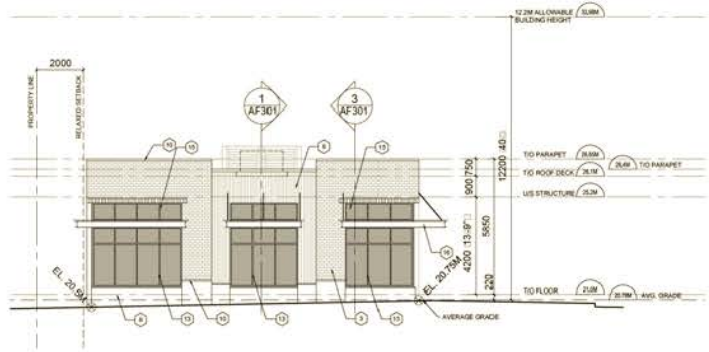
| | | |
|---------------------------------|--|---|
| Project 10-258 RZ CDP | Proposed PROPOSED COMMERCIAL 0752587 B.C. LTD. | Drawn By JAYL ARAIMO AND GARY STREET (SURREY) B.C. |
| Sheet Number AF101 OF 011 | Issued For FLOOR PLAN - ROOF PLAN BUILDING F | |

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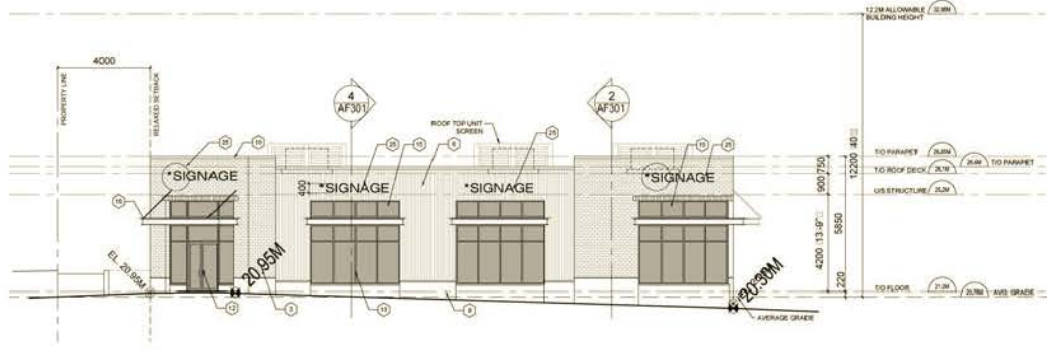
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Rezoning and Comprehensive Development Permit Submission
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ADVISORY DESIGN PANEL SUBMISSION
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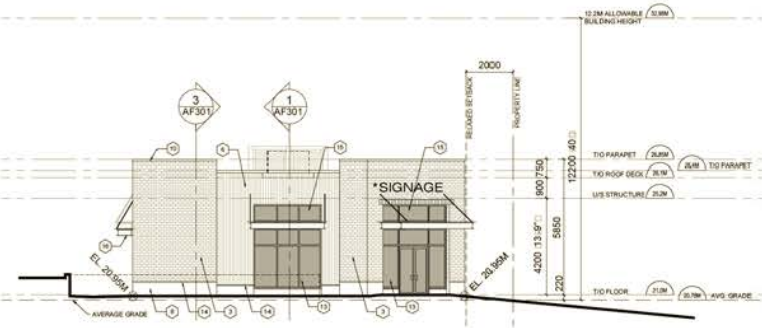
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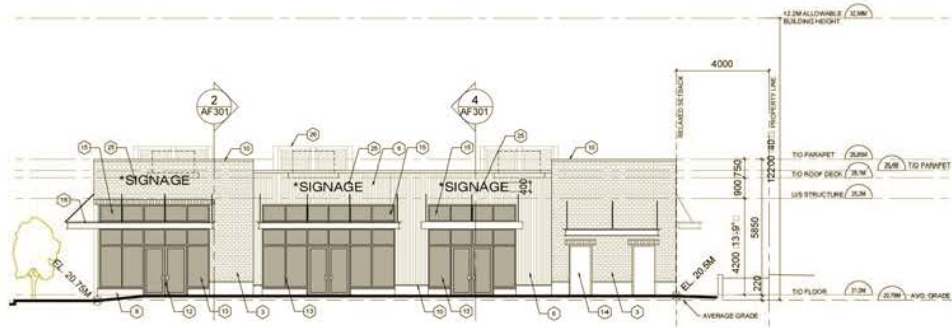
1 BUILDING F - NORTH ELEVATION
SCALE: 1:100



2 BUILDING F - EAST ELEVATION (144 STREET)
SCALE: 1:100



3 BUILDING F - SOUTH ELEVATION (63A AVENUE)
SCALE: 1:100



4 BUILDING F - WEST ELEVATION
SCALE: 1:100

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BUILDING FINISHES

- ① PAINTED STUCCO
- ② STONE VENEER
- ③ BRICK VENEER
- ④ PREFINISHED CEMENT FIBRE BOARD PANELS
- ⑤ PREFINISHED CEMENT FIBRE BOARD SIDING
- ⑥ PREFINISHED CORRUGATED METAL CLADDING
- ⑦ PREFINISHED METAL PANEL CLADDING
- ⑧ CONCRETE
- ⑨ PREFINISHED METAL TRIM
- ⑩ METAL FLASHING - PAINTED TO MATCH ADJACENT FINISH
- ⑪ PRECAST CONCRETE CAP - NATURAL GREY
- ⑫ PREFINISHED ALUMINUM THERMALLY BROKEN GLAZED DOOR
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- ⑮ OPAQUE SPANDREL GLASS PANEL
- ⑯ PREFINISHED METAL AND GLASS CANOPY
- ⑰ PREFINISHED INSULATED OVERHEAD DOOR
- ⑱ PREFINISHED METAL FASCIA TRIM
- ⑲ PREFINISHED CEMENT FIBRE TRIM
- ⑳ PAINTED BRACKET
- ㉑ TRELLIS
- ㉒ PREFINISHED ALUMINUM GUARDRAIL
- ㉓ PREFINISHED GRILL
- ㉔ SPLITFACE CONCRETE BLOCK
- ㉕ SIGNAGE - REFER TO TENANT SIGNAGE DRAWINGS FOR DETAILS
- ㉖ PREFINISHED SCREEN (ROOF TOP UNITS)
- ㉗ FABRIC AWNING
- ㉘ PREFINISHED METAL CLAD ROOF OVERHANG
- ㉙ SIGN GRAPHIC PANEL FOR SIGN COPY AREA

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 GRAHAM HOFFART ARCHITECTS
 Suite 200
 1444 Street
 Surrey, B.C. V0R 1J7
 Tel: (604) 581-8128

| | | | |
|--|--|--------------------------------|---------------------------------|
| Project Number 10-256 | Client RZ CDP | Scale AS SHOWN | Date 2013 08 11 |
| Project Name PROPOSED COMMERCIAL | Address 1444 STREET AND 14100 STREET, SURREY, B.C. | Project Number AF201 | Sheet Number 01 OF 03 |

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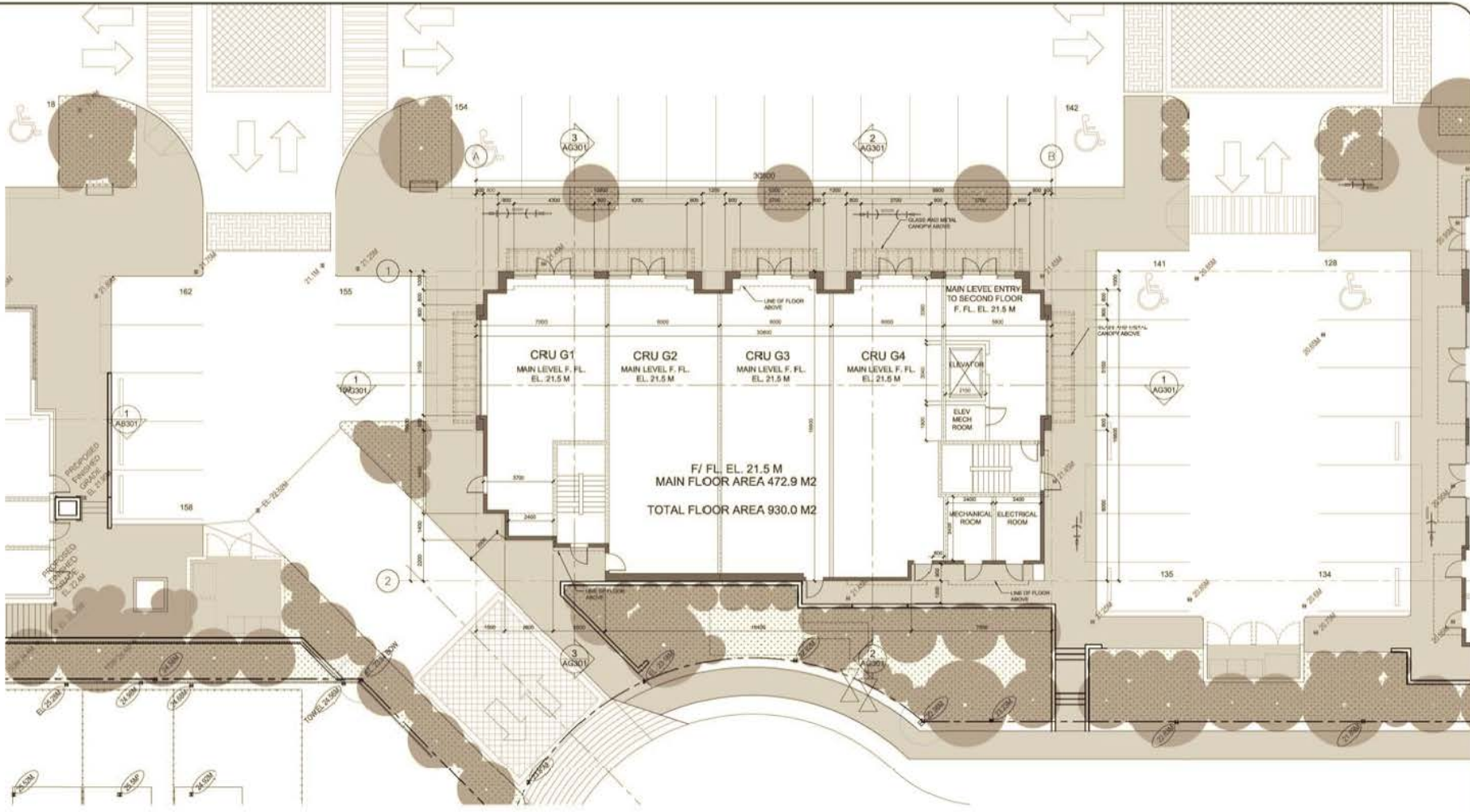
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Rezoning and Comprehensive
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NOVEMBER 09, 2011
ADVISORY DESIGN PANEL
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MARCH 15, 2012
ADVISORY DESIGN PANEL
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PLANNING SUBMISSION
AUGUST 01, 2012
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MARCH 5, 2013
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MARCH 14, 2013

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10150 132A Street
Surrey, B.C. V3R 1J7
Tel: (604) 581-8128



1 BUILDING G - MAIN FLOOR PLAN
SCALE: 1:100
TWO STOREY MIXED USE

| MAIN LEVEL | |
|-------------------------|-----------------------------------|
| CRU G1 | 78.00 M2 (850 SQ. FT.) |
| CRU G2 | 98.00 M2 (1,055 SQ. FT.) |
| CRU G3 | 98.20 M2 (1,057 SQ. FT.) |
| CRU G4 | 96.50 M2 (1,039 SQ. FT.) |
| SERVICE | 191.30 M2 (2,090 SQ. FT.) |
| MAIN LEVEL TOTAL | 472.00 M2 (5,091 SQ. FT.) |

| | |
|-------------------------|-----------------------------------|
| BUILDING G TOTAL | 473.00 M2 (5,091 SQ. FT.) |
| MAIN LEVEL TOTAL | 472.00 M2 (5,091 SQ. FT.) |
| UPPER LEVEL TOTAL | 157.20 M2 (1,692 SQ. FT.) |
| BUILDING TOTAL | 629.20 M2 (6,783 SQ. FT.) |

| | | | |
|----------------|---------------------|---------|--|
| Project Number | 10 258 | Scale | 1:100 |
| Client | PROPOSED COMMERCIAL | Drawn | 2013.03.05 |
| Site | RZ CDP | Checked | |
| Sheet Number | AG101 | Project | PLAN: BUILDING G - MAIN FLOOR |
| | | Client | 10150 132A Street Surrey, B.C. V3R 1J7 Tel: (604) 581-8128 |

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Mark Matheson Architects Inc.

Rezoning and Comprehensive
Development Permit Submission
NOVEMBER 09, 2011

ADVISORY DESIGN PANEL
SUBMISSION
MARCH 15, 2012

ADVISORY DESIGN PANEL
MARCH 22, 2012

PLANNING SUBMISSION
AUGUST 01, 2012

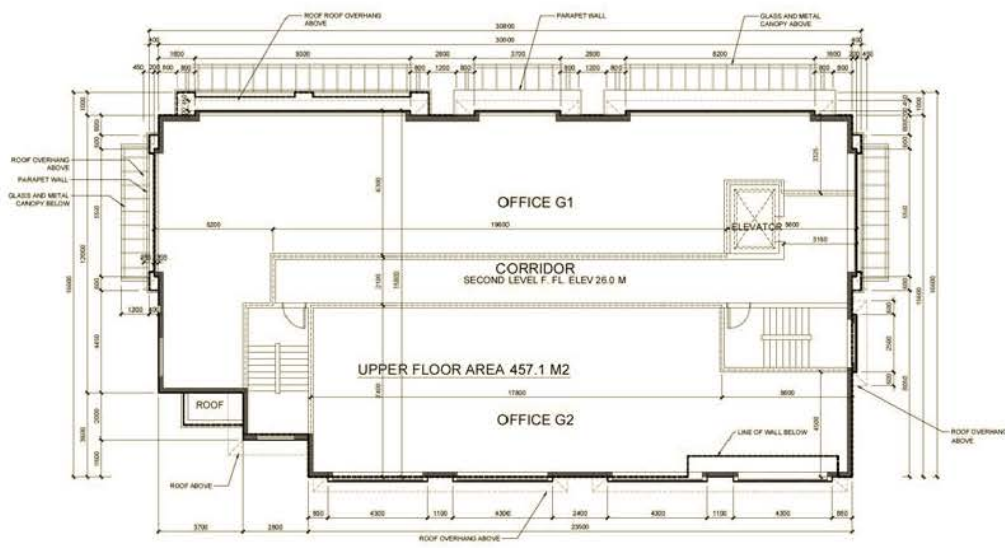
PLANNING REVIEW
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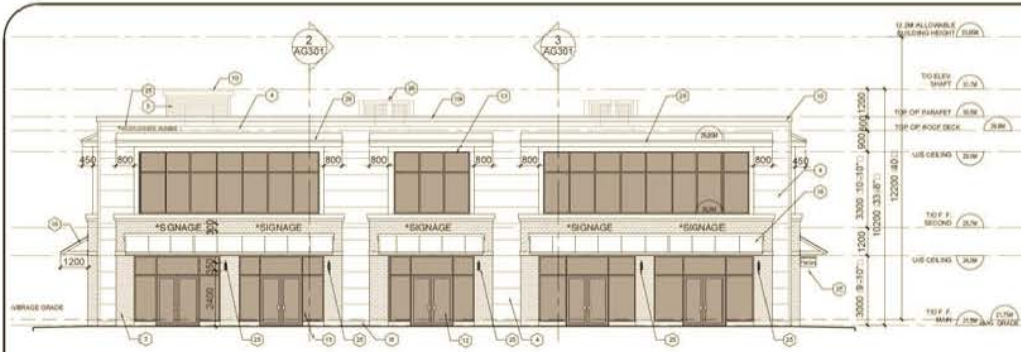


1 BUILDING G - UPPER FLOOR PLAN
A001 SCALE: 1:100

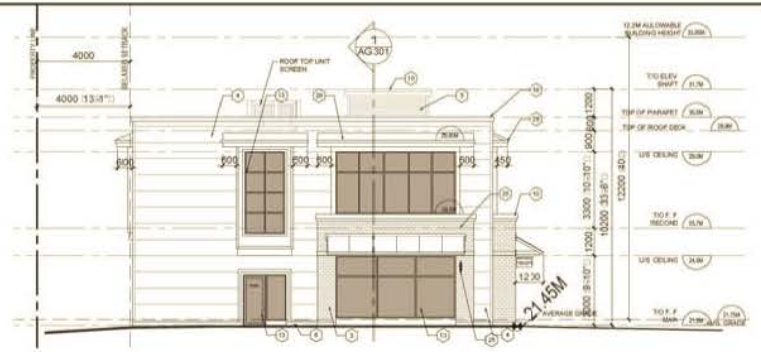
| | |
|-------------------|---------------------------|
| UPPER LEVEL | |
| OFFICE G1 | 197.55 M2 (2,126 SQ. FT.) |
| OFFICE G2 | 157.85 M2 (1,697 SQ. FT.) |
| SERVICE | 102.00 M2 (1,098 SQ. FT.) |
| UPPER LEVEL TOTAL | 457.20 M2 (4,921 SQ. FT.) |

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Tel: (604) 581-8128

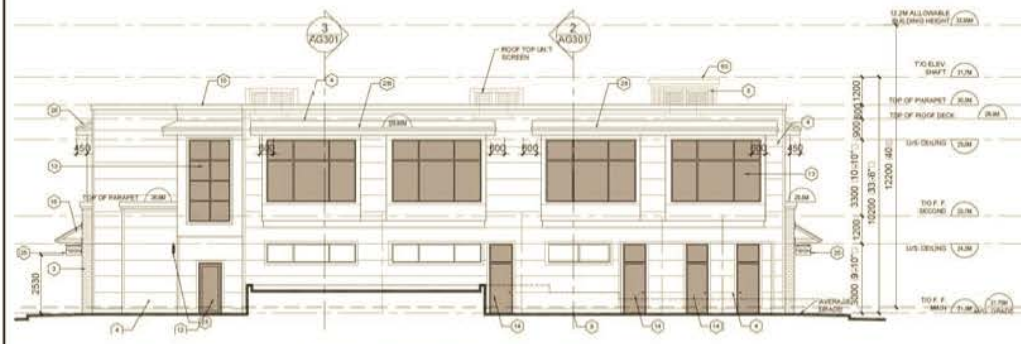
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|---------------------------------|--|-------------------------------|
| Project Number 10 256 | Client PROPOSED COMMERCIAL | Date 11/28 |
| Project Name RZ CDP | Address 4774 AVENUE AND 147TH STREET, SURREY, B.C. | Drawn By 2011/06/19 |
| Sheet Number AG102 | Plan BUILDING G - UPPER FLOOR | Scale 1:100 |



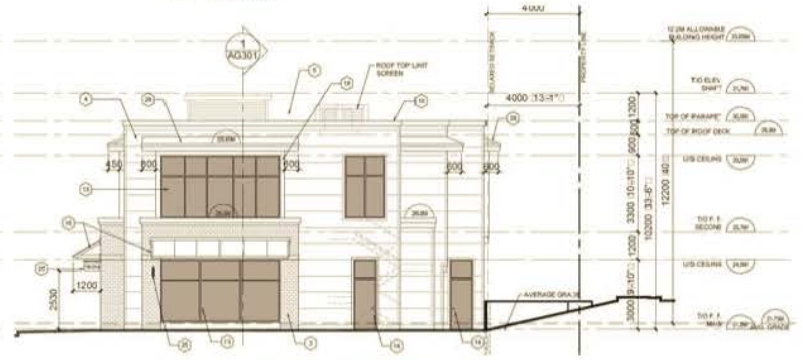
1 BUILDING G - NORTH ELEVATION
SCALE: 1:100



2 BUILDING G - EAST ELEVATION
SCALE: 1:100



3 BUILDING G - SOUTH ELEVATION (63A AVE.)
SCALE: 1:100



4 BUILDING G - WEST ELEVATION
SCALE: 1:100

NOTE
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 S U □ □ E □ S I G N B L A W
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BUILDING FINISHES

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 GMA Architects Inc.
 1000 West Beaver Creek Road
 Richmond, BC V6X 3E7
 Tel: (604) 271-8113
 Fax: (604) 271-8113
 Planning and Comprehensive Development Permit Submission NOVEMBER 09, 2011
 ADVISORY DESIGN PANEL SUBMISSION MARCH 15, 2012
 ADVISORY DESIGN PANEL MARCH 22, 2012
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 PLANNING REVIEW NOVEMBER 28, 2012
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 GMA Architects Inc.
 1000 West Beaver Creek Road
 Richmond, B.C. V6X 3E7
 Tel: (604) 271-8113

| | |
|--------------|----------------------------|
| Project No. | 10 226 |
| Client | PROPOSED COMMERCIAL RZ COP |
| Site Address | 10 226 155A Street |
| City | Surrey, B.C. V2R 1J7 |
| Scale | 1:100 |
| Drawn | 10/11 |
| Checked | 10/11 |
| Approved | 10/11 |
| Project Name | ELEVATIONS: BUILDING G |
| Sheet No. | AG201 |
| Of No. | 01 of 01 |













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TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 8, 2013** PROJECT **7811-0285-00**
FILE:

RE: **Engineering Requirements (Commercial)
Location: 14322/14308-64 Avenue**

REZONE/SUBDIVISION

Property and Statutory Right-of-Way (SRW) Requirements

- dedicate 1.5 metres for 64 Avenue and 144 Street, together with registration of adjacent 0.5 metre SRW; and
- extend existing on-site SRW to west limit of the site.

Works and Services / Financial

- address completion of deficiency works from Project 7803-0454-00 that serviced the site, with submission of as-built drawings; and
- pay sanitary and storm sewer latecomer connection charges.

A Servicing Agreement is not required for Rezone/Subdivision.

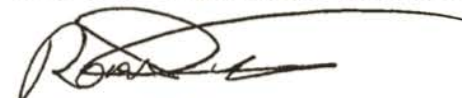
DEVELOPMENT PERMIT

The applicant will be required to address the following items, demonstrated through submission of a revised site plan with associated details:

- confirm proposal for extension of on-site sidewalk into the road right-of-way to meet City sidewalk;
- verify requirement to widen 144 Street access and modify drive aisle features, to accommodate movement of the Design Vehicles (i.e., delivery/refuse/fire emergency) anticipated to access the site; and
- implement on-site low impact development drainage features to meet the criteria in the Hyland Creek Integrated Stormwater Management Plan (ISMP).

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.



Rémi Dubé, P.Eng.
Development Services Manager

KH



GRAHAM HOFFART MATHIASSEN ARCHITECTS

300 - 10190 152A St.
Surrey BC V3R 1J7

Tel: (604) 581-8128
Fax: (604) 581-8148

2012 12 19

CITY OF SURREY
PLANNING DEPARTMENT

Attn: Keith Broersma, Planner

Dear Sir:

Re: **Proposed Commercial at 64 and 144, Surrey BC**

Project No.:10 258

CITY OF SURREY BY-LAW NO. 15705A
FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a neighbourhood shopping centre.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
14308 & 14322 - 64 Avenue
File No. 7911-0285-00

It was

Moved by N. Baldwin
Seconded by W. Francl

That the Advisory Design Panel (ADP) recommends that the applicant address the following recommendations and revise and resubmit to the Planning staff.

Carried

GHMA RESPONSE (in red) TO STATEMENT OF REVIEW COMMENTS

Context and Site Planning

- Further development of the central treed pedestrian spine required
- **The site traffic flow, pedestrian access and orientation of Buildings C and D, have been reorganized to provide a central focus with treed pedestrian spine.**
- No concept evident in overview. Consider "street" or "courtyard" concept with appropriate public realm
- **The site layout has been modified to provide a "Street" concept with emphasis on a public realm including linear pedestrian pathways with benches creating outdoor seating nodes.**
- Previous scheme had an internal street. Have now lost the central feature – replaced with a sea of parking. Need to enhance the linear pedestrian paths.
- **Linear pedestrian paths have been aligned to enhance pedestrian access.**

- The 2 storey building should be on the main street. Needs a central feature – the one
- in the middle should be the central focus with a green space. These changes would make it more like a place.
- **Central feature of treed boulevard provided to create a sense of place. Siting Building G, a two storey building along the south property line allows the significant grade change to transition at the rear of the building.**

-

Vehicle Circulation

- Resolve vehicular conflict between Buildings D and E with the counter flow (up, down, up). Traffic going in three directions. Two north bound lanes on either side of south bound lane at bank drive in. Traffic going counter clockwise on Building D and clockwise in Building A (shown on left hand side of Drawing A003)
- **Direction of vehicular traffic flow between Buildings D and E clarified with arrows on A006 Site Plan.**
- Move stall marked #132 to adjacent to #182 to improve pedestrian access from building D to the west.
- **Manoeuvring aisles and parking stalls have been revised to improve pedestrian access from Building D to the west.**
- Dislike drive throughs at Building D and Building E. Can do it without.
- **Original Development Permit included two Drive Through businesses. The developer wishes to include these in the revised development.**
- Access to townhouses on 63A is ill conceived. It is a band aid for poor traffic planning.
- **Access to townhouses on 63A as designed for the original Comprehensive Development Bylaw 15705A. No change has been made to 63A access by developer.**

-

Pedestrian Circulation

- Building on a good start creating legible, continuous pedestrian paths.
- **Continuous linear pedestrian paths with raised cross walks improve safety, elevating pedestrians and making them more visible.**
- Raised crosswalks are good.
- **Raised crosswalks enhance accessibility and provide traffic calming.**
- Enhance pedestrian permeability from perimeter of site.
- **Pedestrian access provided from perimeter of site where suitable.**
- Move street fronts of building closer to the property line to improve the continuity of the east west pedestrian path through the site.
- **Building C moved closer to the North property line and Building D redesigned and moved closer to the North Property Line to improve the continuity of the east west pedestrian path through the site.**
- Take parking stalls from in front of bank so site is about walking through it.
- **Manoeuvring aisles and parking stalls revised to improve pedestrian access from Bus Stop past Building E and through to the west.**
- Improve pedestrian access (diminish driveway width from 63A Avenue).
- **2.0m wide Sidewalk provides pedestrian access from Residential Development south of 63A Avenue to Neighbourhood Shopping Center. Access to townhouses on 63A is**

as designed for the original Comprehensive Development Bylaw 15705A. No change has been made to 63A access by developer.

- Need access for pedestrians, not a shortcut from 63A to be reinforced - they should walk.
- Access to townhouses on 63A is as designed for the original Comprehensive Development Bylaw 15705A. No change has been made to 63A access by developer. Align sidewalks with the alignment of the crosswalks.
- Linear pedestrian paths have been aligned with raised crosswalks.

Form and Character

- Increase continuous street wall buildings where possible and make it active on the street side.
- Building C moved closer to the North property line and Building D redesigned and moved closer to the North Property Line.. Buildings A, E, F and G were close to Streets and all have active access where ever suitable, and where not suitable, have storefront with opaque spandrel panels to provide more attractive facades with interesting fenestration.
- Building A requires better facade treatment and more windows on property line side.
- Windows have been added to the West Elevations of Buildings A and B. More masonry has been added to provide a more attractive facade for the West Elevation of Building A.
- Simplify and consolidate facades on Building C.
- Individual CRU facades have been simplified and consolidated on Building C.
- Consider fewer individual store fronts with simpler treatment.
- Individual CRU facades have been simplified and consolidated on Building B and C.
- Consider more consistent detailing across all buildings. Reduce number of exterior materials. Aggregate facades or pair them.
- Individual CRU facades have been simplified and consolidated on Building B and C. Fewer exterior materials have been used.
- Consolidate mechanical units and screening on roof; share a screen around the pairs of units.
- Mechanical roof top units will be paired where ever possible in order to share a screen.

Landscaping

- Would have liked an attempt to do retail with the trees.
- Trees and landscaping have been provided in sidewalk locations adjacent to retail accesses.
- Create a stronger differentiation of massing in important locations.
- Trees have been massed in important locations.
- Enlarge the central plaza area so that the pedestrian paths align.
- Linear pedestrian paths have been aligned with raised crosswalks to improve pedestrian access and create a sense of place.
- Express the facade at the ground plane, e.g., in seating nodes.

- Benches have been provided in landscaped areas to provide seating nodes.
- Maximize pedestrian permeability from the street.
- Pedestrian access provided from perimeter of site where suitable.
- Consider site lighting.
- A variety of of site lighting will be provided where suitable.

Accessibility

- Support the project.
- Accessibility is ensured for all buildings.
- Ensure sidewalks are minimum 6 ft. wide.
- Sidewalks are typically 3.0m or more, and a minimum of 1.8m as required.
- Disabled parking spaces - add a space near Building B.
- A total of 14 - 3.7m wide Accessible parking stalls have been provided for the 8 buildings.
- Let downs to be provided at each building/walkway.
- Letdowns or raised pedestrian cross walks have been provided at all building entrances or walkways.
- Power doors - provide at entrances.
- Power Doors to be provided where suitable.
- Walkways - level and wheelchair accessible.
- Raised pedestrian cross walks have been provided at aligned pedestrian pathways to ensure wheelchair accessibility
- Elevator buttons and washrooms - accessible.
- Accessible elevator buttons and washrooms to be provided where suitable.

Sustainability

- No sustainability mentioned by the applicant.

The Developer made the following comments on the Statement of Review:

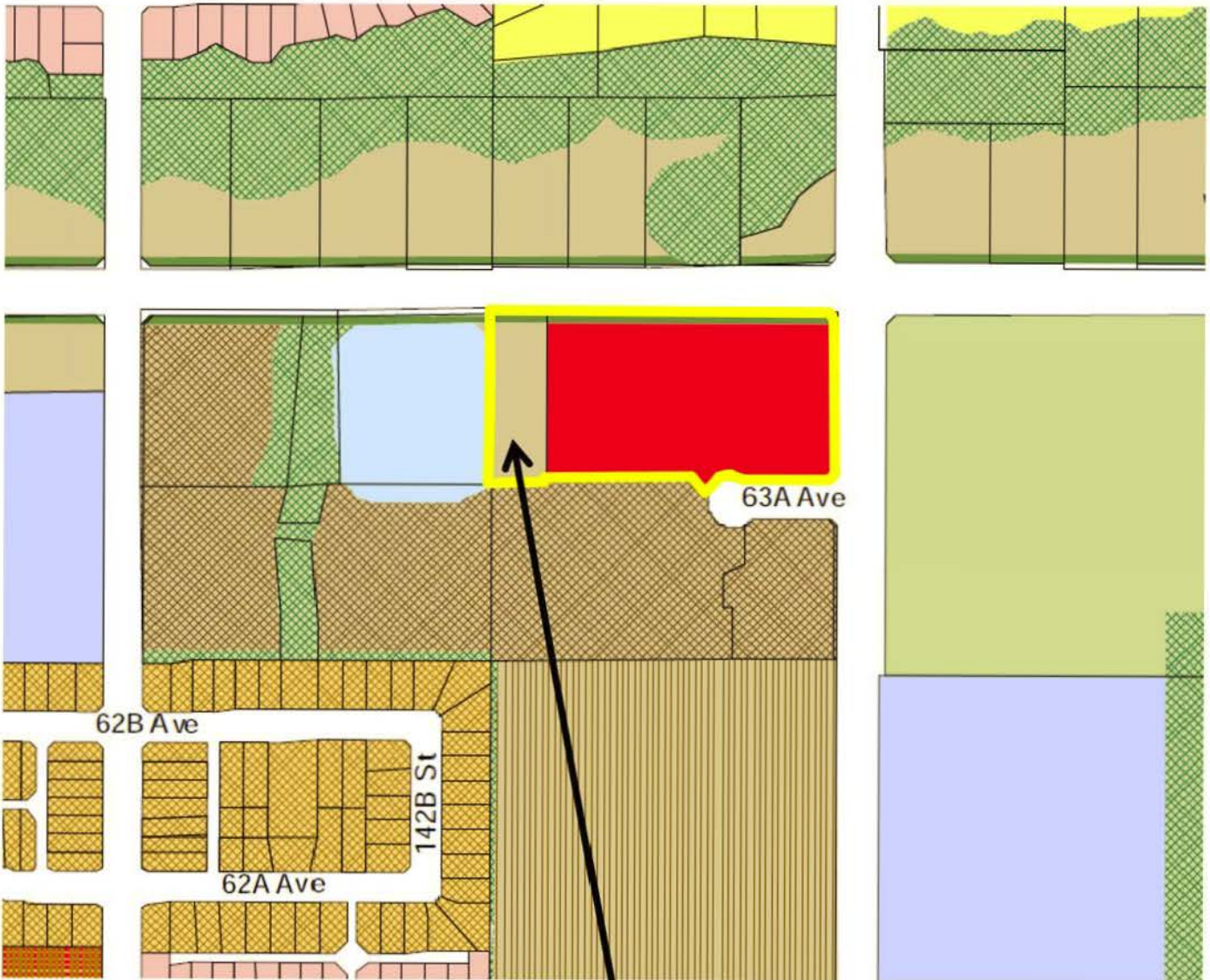
- All comments were good and will be taken into consideration.

Sincerely,

Cyndi Condon Moore, AT AIBC
Graham Hoffart Mathiasen Architects

email: cyndi.moore@ghma.com

NCP Amendment Map 7911-0285-00



NCP Amendment from
"Townhouses 15 upa max" to
"Commercial"

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

- (a) FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 002-378-299
 Lot "E" Except: Part Dedicated Road on Plan BCP16739; Section 9 Township 2 New Westminster District Plan 19949

14308 – 64 Avenue

- (b) FROM: COMPREHENSIVE DEVELOPMENT ZONE (CD) BY-LAW NO.15705A (SURREY ZONING BY-LAW, 1993, NO.12000, AMENDMENT BY-LAW, 2005, NO. 15705A)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 027-724-247
 Lot 1 Section 9 Township 2 New Westminster District Plan BCP38998

14322 – 64 Avenue

(both 1(a) and (b) shall hereinafter be referred to as the "Lands")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a community shopping centre, where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Retail stores* excluding *adult entertainment stores*, auction houses and *secondhand stores* and *pawnshops*;
2. *Personal service uses* excluding *body rub parlours*;
3. *General service uses* excluding funeral parlours;
4. *Beverage container return centres* provided that:
 - (a) The use is confined to an enclosed *building*; and
 - (b) The *beverage container return centre* is a maximum of 279 square metres [3,003 sq.ft.].
5. *Eating establishments* including *drive-through restaurants*;
6. *Neighbourhood pubs*;
7. *Liquor store*;
8. Office uses excluding *social escort services* and *methadone clinics*;
9. *Entertainment uses* excluding *arcades* and *adult entertainment stores*;
10. *Child care centres*;
11. One *dwelling unit* per *lot* provided that the *dwelling unit* is:
 - (a) Contained within the *principal building*; and
 - (b) Occupied by the owner or the owner's employee, for the protection of the businesses permitted on the *lot*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a *building area* of 300 square metres [3,230 sq.ft.], whichever is smaller.

2. The maximum *density* may be increased to a maximum *floor area ratio* of 0.35 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.

E. Lot Coverage

The maximum *lot coverage* shall be 50%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

1. *Front Yard* 2.0 metres [7 ft.];
2. *Rear Yard* 1.5 metres [5 ft.].
3. *Side Yard* 4.0 metres [13 ft.]; and
4. *Side Yard on Flanking Street* 1.2 metres [4 ft.].

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 12.5 metres [41 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

Parking shall be provided as per Table C.2, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, with the exception that a minimum of 175 *parking spaces* shall be provided.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.2 metres [5 ft.] in width shall be provided within the *lot*.

3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot* except at *driveways*.
4. Except in those portions where a *building* abuts the *lot line*, screen planting at least 1.5 metres [5 ft.] high in a strip at least 1.5 metres [5 ft.] wide and a solid decorative fence at least 1.5 metres [5 ft.] high shall be provided along all *lot lines* separating the developed portion of the *lot* from any *residential lot*.
5. Loading areas, garbage containers and *passive recycling containers* shall be screened from any adjacent *residential lot*, to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.
6. Open display or storage shall be completely screened to a height of at least 2.5 metres [8 ft.] by *buildings* and/or solid decorative fence and/or substantial *landscaping* strips of not less than 1.5 metres [5 ft.] in width. No display or storage of material shall be piled up to a height of 2.5 metres [8 ft.] within 5 metres [16 ft.] of the said screens and in no case shall these materials be piled up to the height of more than 3.5 metres [11.5 ft.].

J. Special Regulations

1. Garbage containers and *passive recycling containers* shall not be located within any required *setback* adjacent to any *residential lot*.
2. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this Zone.
3. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
4. *Land* and *structures* shall be used for the uses permitted in this Zone only if such uses do not emit noise in excess of 60 dB measured at any point on any boundary of the *lot* on which the use is located.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

| <i>Lot Size</i> | <i>Lot Width</i> | <i>Lot Depth</i> |
|----------------------------|------------------------|------------------------|
| 2,000 sq. m. [0.5 acre] | 30 metres [100 ft.] | 30 metres [100 ft.] |

Dimensions shall be measured in accordance with Section E.21, Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-8 Zone.
3. General provisions are as set out in Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Parking and Loading/Unloading, of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. *Sign* regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended, and the Surrey Development Cost Charge By-law, 2013, No. 17856, as amended, and the development cost charges shall be based on the C-8 Zone.
8. Surrey Tree Preservation By-law, 2006, No. 16100 as amended.
9. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
10. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act SBC, 2002, c. 75, as amended, and the Regulations pursuant thereto.
11. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, chapter 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____"

READ A FIRST AND SECOND TIME on the _____ day of _____, 20____.

PUBLIC HEARING HELD thereon on the _____ day of _____, 20____.

READ A THIRD TIME ON THE _____ day of _____, 20____.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, 20____.

_____ MAYOR

_____ CLERK

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