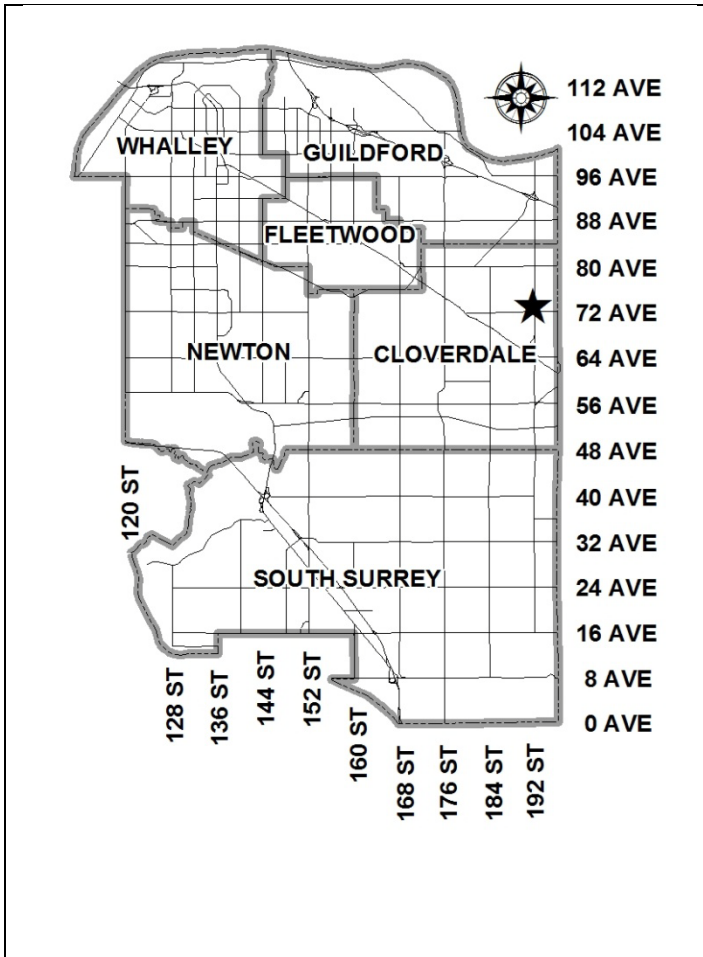


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0291-00

Planning Report Date: April 23, 2012



PROPOSAL:

- **OCP Amendment** of a portion from Suburban to Urban
- **Rezoning** from RA and RF-12C to RF-12C, RM-23 and RF
- **Development Permit**

in order to allow subdivision into 4 RF-12C lots with adjoining land, 3 RM-23 lots and 1 remainder lot.

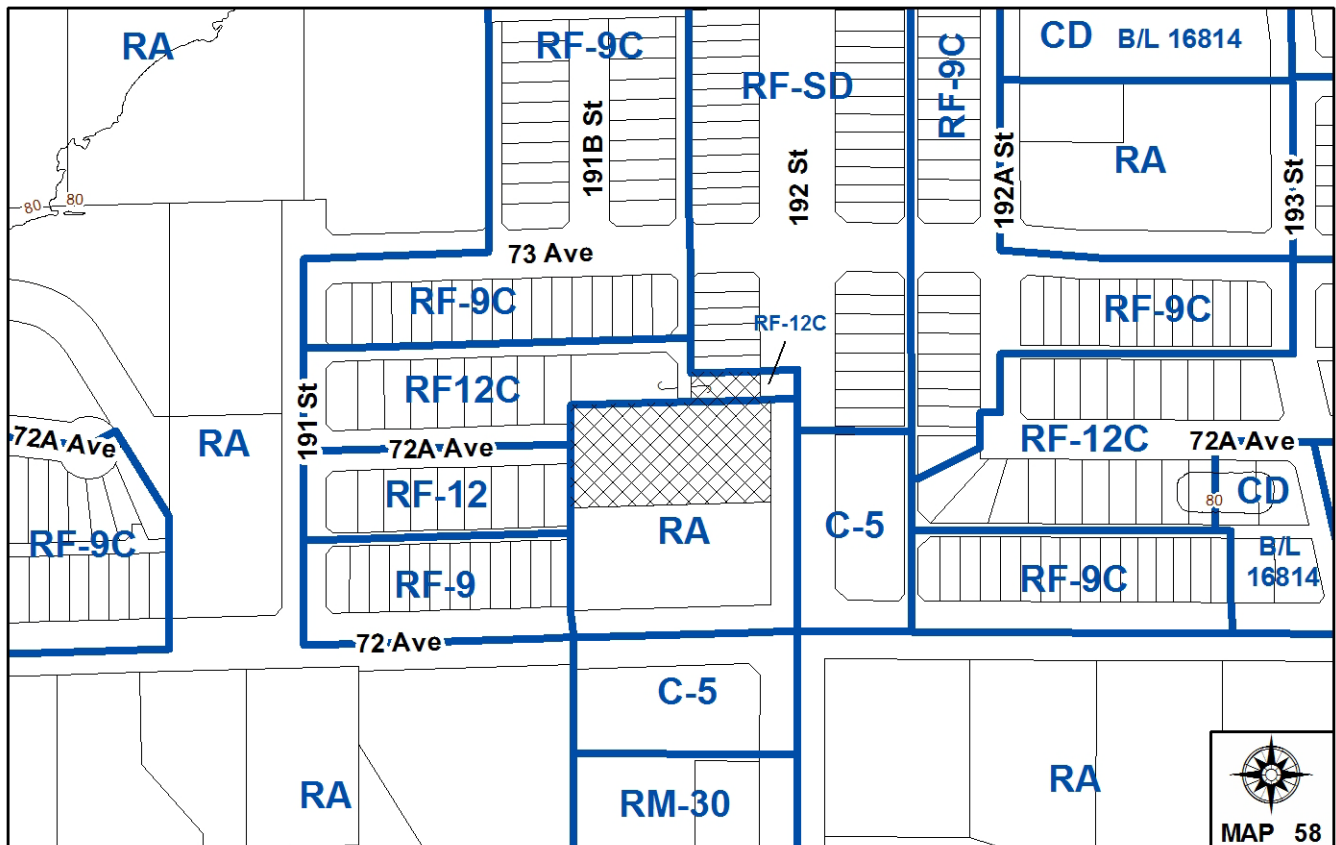
LOCATION: 7241 - 192 Street and Portion of 7259 - 192 Street

OWNER: Legendary Developments (Clayton) Ltd.

ZONING: RF-12C and RA

OCP DESIGNATION: Urban and Suburban

NCP DESIGNATION: 6-10 upa (Low Density) and 15-25 upa (Medium-High Density)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- A redesignation from Suburban to Urban is required for the southern subject property at 7241 - 192 Street to make the designation of the site consistent with the East Clayton NCP Extension – North of 72 Avenue designations and the adjoining land uses.
- Complies with the East Clayton NCP Extension – North of 72 Avenue designations of 6-10 upa (Low Density) and 15-25 upa (Medium-High Density).
- The proposed development will continue a pattern of development which has generally been established under Application Nos. 7905-0382-00 and 7910-0177-00 further north.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP for 7241-192 Street, by redesignating the property from Suburban to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone Blocks A through D as shown on the Survey Plan attached as Appendix I, as follows:
 - (a) Block A on the Survey Plan from "One-Acre Residential Zone (RA)"(By-law No. 12000) to "Single Family Residential (12) Coach House Zone (RF-12C)"(By-law No. 12000);
 - (b) Block B on the Survey Plan from "Single Family Residential (12) Coach House Zone (RF-12C)"(By-law No. 12000) to "Multiple Residential 23 Zone (RM-23)"(By-law No. 12000);
 - (c) Block C on the Survey Plan from "One-Acre Residential Zone (RA)"(By-law No. 12000) to "Multiple Residential 23 Zone (RM-23)" (By-law No. 12000); and
 - (d) Block D on the Survey Plan from "One-Acre Residential Zone (RA)"(By-law No. 12000) to "Single Family Residential Zone (RF)"(By-law No. 12000)and a date be set for Public Hearing.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping and landscape buffer plan for proposed Lots 5 to 7 and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) removal of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (f) registration of a Section 219 Restrictive Covenant for "no build" and maintenance of the 3-metre (10 ft.) landscape buffer along 192 Street on proposed Lots 5 to 7;

- (g) discharge of "no build" Restrictive Covenant No. BB2004661, currently registered on the northern subject lot at 7259 - 192 Street;
- (h) registration of a Section 219 Restrictive Covenant for "no build" on proposed Lot 8, until future consolidation with the adjacent property to the south at 19175 - 72 Avenue;
- (i) registration of a party wall and corresponding easement agreements for proposed Lots 5 to 7;
- (j) registration of a Section 219 Restrictive Covenant for a minimum 4.6-metre (15 ft.) building setback, from 192 Street property line to building face, on the proposed RM-23-zoned lots (proposed Lots 5 to 7).

REFERRALS

Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix III.

School District: **Projected number of students from this development:**

3 Elementary students at Clayton Elementary School
1 Secondary student at Clayton Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by March 2013.

Parks, Recreation & Culture: Parks has no concerns.

SITE CHARACTERISTICS

Existing Land Use: An old barn exists and will be removed.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Recently approved single family subdivision under Application No. 7910-0177-00.	10-15 upa (Medium Density), 15-25 upa (Medium-High Density) and 6-10 upa (Low Density).	RF-9C, RF-12C and RF-SD
East (Across 192 Street):	Fee simple "duplexes" and neighbourhood commercial development.	15-25 upa (Medium-High Density) and Neighbourhood Commercial.	RF-SD and C-5
South:	Single family dwelling on residential acreage.	10-15 upa (Medium Density), 15-25 upa (Medium-High Density) and 6-10 upa (Low Density)	RA
West	Single family dwellings on small lots, with and without coach houses.	10-15 upa (Medium Density) and 6-10 upa (Low Density)	RF-12C and RF-12

JUSTIFICATION OF OCP AMENDMENT

- An OCP amendment is proposed from Suburban to Urban for all of the southern subject lot at 7241 – 192 Street, as shown in Appendix VIII. The northern subject lot, at 7259 – 192 Street, is already designated Urban in the OCP, approved under Development Application No. 7910-0177-00.
- Council, on July 28, 2004, approved Stage 1 (Corporate Report No. C009), which deals with land use designations and road network in the area of the East Clayton Neighbourhood Concept Plan (NCP) Extension – North of 72 Avenue. On June 20, 2005, Council approved the corresponding Stage 2 Report (Corporate Report No. C011).
- Currently, the land use designations that are reflected in the East Clayton NCP Extension – North of 72 Avenue require corresponding OCP designation amendments from the current Suburban designation. The approved Stage 2 Report (Corporate Report No. C011) directed staff to bring forward specific OCP amendments on a site-by-site basis concurrently with site-specific rezoning applications.
- The proposed Urban designation in the OCP is consistent with the current 6-10 upa (Low Density) and 15-25 upa (Medium-High Density) designations in the NCP.

DEVELOPMENT CONSIDERATIONS

- The subject site includes two (2) properties located at 7241 and 7259 - 192 Street. The subject site is currently zoned One-Acre Residential Zone (RA) and Single Family Residential (12) Coach House Zone (RF-12C) and is located within the "East Clayton NCP

Extension – North of 72 Avenue" area. The site is approximately 4,200 square metres (1.0 ac.) in size.

- The applicant, Legendary Developments, has submitted an application for a proposed rezoning from One-Acre Residential Zone (RA) and Single Family Residential (12) Coach House Zone (RF-12C) to Single Family Residential (12) Coach House Zone (RF-12C), Multiple Residential 23 Zone (RM-23) and Single Family Residential Zone (RF), to allow for subdivision into 4 RF-12C lots, 3 RM-23 lots and 1 RF remainder lot (Appendix I).
- The 3 proposed RM-23-zoned lots will accommodate a proposed 3-unit row house development. The design of the proposed row houses has been reviewed by staff and will be secured under a Development Permit.
- Proposed Lot 8 is to be rezoned to Single Family Residential Zone (RF) and a "No Build" restrictive covenant will be registered on this lot, which will be consolidated in the future with the property to the south.
- As no parkland is required at this location, the applicant will be required to provide cash-in-lieu of the 5% parkland dedication requirement, as a condition of subdivision.

Rezoning from RA to RF-12C (Block A)

- Rezoning is proposed for a 9580-square metre (10,312 sq.ft.) portion of the site (shown as Block A) from RA to RF-12C, in order to create 4 RF-12C lots, with land which was already rezoned to RF-12C under Application No. 7910-0177-00.

Rezoning from RF-12C to RM-23 (Block B)

- Rezoning is proposed for a 396.4-square metre (4,267 sq.ft.) portion of the subject site (shown as Block B) from RF-12C to RM-23 which will allow for the creation of 3 row house fee simple lots, together with the area shown in Block C.

Rezoning from RA to RM-23 (Block C)

- Rezoning is proposed for a 650.3-square metre (7,000 sq.ft.) portion from RA to RM-23 (Block C), which will allow for the creation of 3 row house fee simple lots, together with the area shown in Block B.

Rezoning from RA to RF (Block D)

- An RF-zoned remnant lot, proposed Lot 8, which is 0.252 hectare (0.6 ac.) in size, is proposed as part of this application.
- Proposed Lot 8 will have a Section 219 Restrictive Covenant registered on it for "No Build", until the lot can be consolidated with the property to the south.

Building Design Guidelines and Proposed Lot Grading

- Proposed building design guidelines for proposed Lots 1 to 4 (to be zoned RF-12C) were prepared by Tynan Design Consulting and comply with the General Urban Design Guidelines established for the East Clayton NCP Extension North of 72 Avenue.
- The building design guidelines require additional detailing on the rear elevations of the coach houses, similar to the detailing on the principal dwelling, which will allow for visual interest in the lanes.
- A preliminary lot grading plan has been reviewed by Building Division staff and was determined to be acceptable. The proposed lots will accommodate basements.

Row House Design

- The proposed row houses, on proposed Lots 5, 6, and 7, will front 192 Street, which is consistent with the pattern of RF-SD-zoned semi-detached units to the north.
- The proposed row houses are subject to a detailed design review through the Development Permit process. See the "Design Proposal and Review" section below for additional information.

Arborist Assessment and Landscaping Plan

- An arborist assessment prepared by Guy Exley, certified arborist of ACL Arbortech Consulting Ltd. has been submitted. The report indicates that there are five mature trees on the subject site and one City tree affected by the proposed development. It is proposed that two of the on-site trees be retained.

Tree Species	Total No. of Trees (off-site trees)	Total Proposed for Retention (off-site trees)	Total Proposed for Removal (off-site trees)
Red Alder	1 (0)	0 (0)	1 (0)
Pear	2 (0)	0 (0)	1 (0)
Birch	1 (1)	1 (0)	0 (1)
Willow	1 (0)	1 (0)	0 (0)
TOTAL	5 (1)	2 (0)	2 (1)

- The Arborist Report and Tree Preservation / Replacement Plans have been reviewed by City staff and require revisions prior to consideration of Final Approval of the rezoning.
- Under the current Tree Preservation By-law, a tree replacement ratio of 1:1 for alder and cottonwood trees and a tree replacement ratio of 2:1 for all other trees is required.
- Small lots can generally only accommodate 1 tree per lot. In the case of this application, a total of 5 replacement trees are required, but 12 trees are proposed.

- As per the East Clayton NCP Extension – North of 72 Avenue, a 3.0-metre (10 ft.) wide landscape buffer is envisioned along 192 Street. This buffer was already established to the north under Application Nos. 7905-0382-00 and 7910-0177-00. This buffer is to be ultimately continued to 72 Avenue.
- A "No Build" Restrictive Covenant will be required to be registered on the three proposed lots (Lots 5 to 7) fronting 192 Street to ensure that the landscape buffer is maintained and that no structures will be constructed within the landscape buffer.

PRE-NOTIFICATION

Pre-notification letters were mailed to the area residents on February 7, 2012 and staff has not received any telephone calls or letters in response.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

- The proposed row housing units require an architectural design review through a Development Permit process. The applicant retained Tynan Design Ltd. to prepare the architectural design drawings and coordinate the preparation of the landscaping plans.
- The proposed row house units have been designed to provide a pedestrian-oriented streetscape along 192 Street, as well as provide a similar form and character to the existing semi-detached lots to the north.
- Proposed cladding materials consist of 7 ¼ inch horizontal hardiplank siding in iron gray and cultured stone siding in limestone charcoal. Architectural features, such as dormer windows, are proposed to be clad in hardipanel siding.
- These materials are complimented by wood trim boards in arctic white and decorative columns that frame the front doorways. "Shake profile" fibreglass laminated shingles in dual black are proposed as the roofing material.
- The proposed landscape buffer along 192 Street consists of a combination of a 4-foot high cedar fence along with trees and shrubs, including species such as Norway maple, Chinese dogwood, crabapple, pink abelia, blue and pink rhododendrons, George Vancouver rose, and salal.
- The rear yard spaces will be predominantly landscaped with sod lawn, with either a Norway maple or Chinese dogwood per yard, and fenced with a 6-foot high cedar privacy fence.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets and Survey Plan
- Appendix II. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Building Design Guidelines Summary
- Appendix VI. Summary of Tree Survey and Tree Preservation
- Appendix VII. NCP Plan
- Appendix VIII. OCP Redesignation Map

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

SAL/kms

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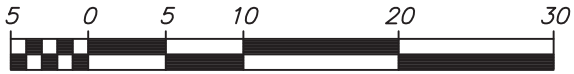
SUBDIVISION DATA SHEET

Proposed Zoning: RF-12C, RM-23 and RF

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	
Hectares	
NUMBER OF LOTS	
Existing	2
Proposed	8
SIZE OF LOTS	
Range of lot widths (metres)	
Range of lot areas (square metres)	
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	
Lots/Hectare & Lots/Acre (Net)	
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	
Estimated Road, Lane & Driveway Coverage	
Total Site Coverage	
PARKLAND	
Area (square metres)	Cash-in-lieu
% of Gross Site	Cash-in-lieu
	Required
PARKLAND	
5% money in lieu	YES
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	YES
HERITAGE SITE Retention	NO
BOUNDARY HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	YES/NO
Works and Services	YES/NO
Building Retention	YES/NO
Others	YES/NO

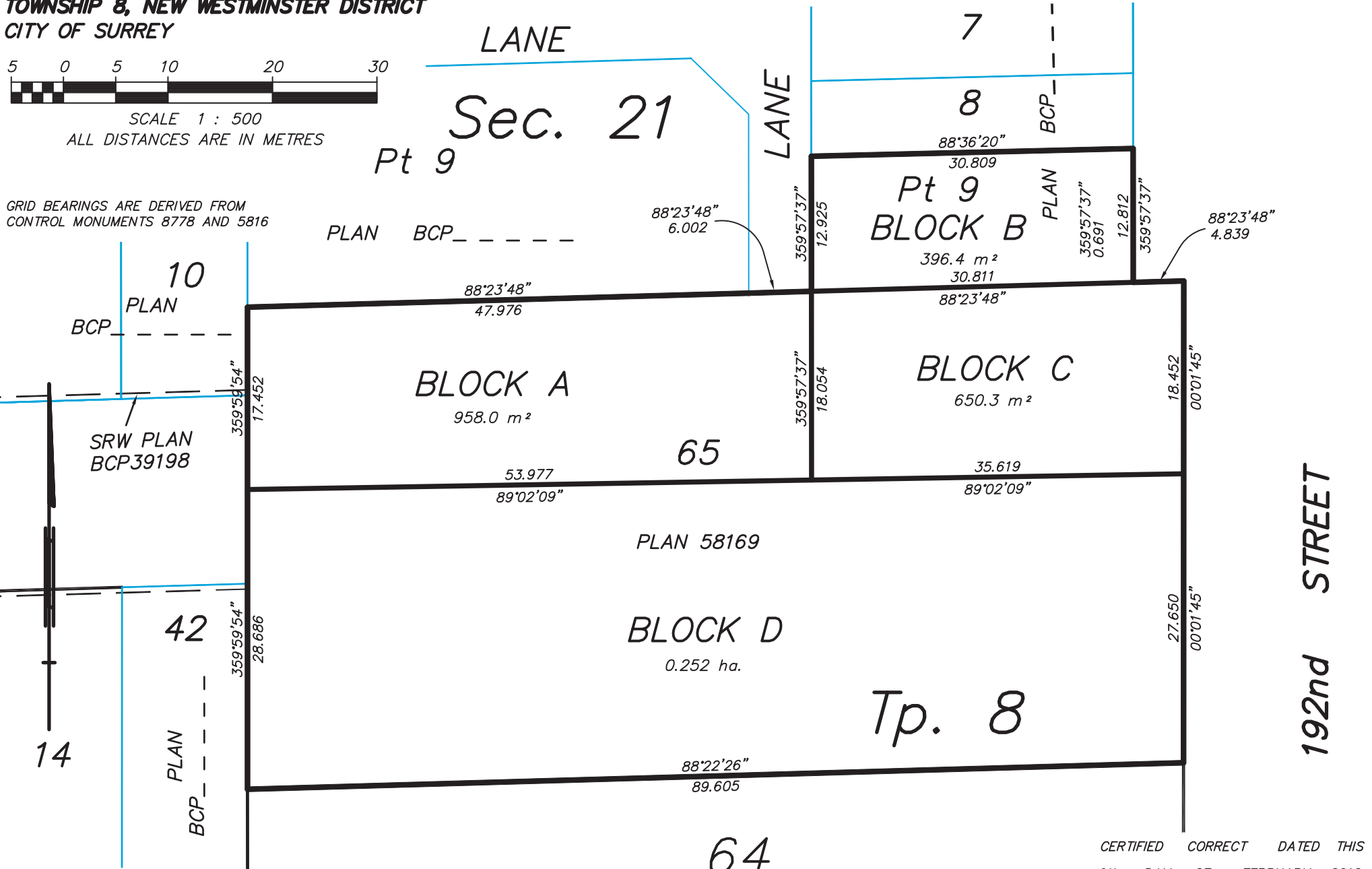
SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW # _____ OF A PORTION OF LOT 9, PLAN BCP _____ AND LOT 65, PLAN 58169, BOTH OF SECTION 21, TOWNSHIP 8, NEW WESTMINSTER DISTRICT

CITY OF SURREY



SCALE 1 : 500
ALL DISTANCES ARE IN METRES

GRID BEARINGS ARE DERIVED FROM CONTROL MONUMENTS 8778 AND 5816



MURRAY & ASSOCIATES
201-12448 82nd AVENUE
SURREY, B.C.
V3W 3E9
(604) 597-9189

64
PLAN 58169

CERTIFIED CORRECT DATED THIS
9th DAY OF FEBRUARY, 2012.

B. C. L. S.

FILE 9602-25/Block Plan



Legendary Developments
Residential Development
7241 192 Street, Surrey BC

SITE LAYOUT

SITE AREA: Approx. 1.04 ac
EXISTING ZONING:
Zoning: RA (One Acre Residential) & RF-12C (Single Family Residential Coach House)

PROPOSED ZONING:
Zoning: RF-12C
Min. Area: 320m²
Min. Width: 12m
Min. Depth: 26m

Zoning: RM-23
Min. Area: 165m² - 226m²
Min. Width: 6.3m - 8.7m
Min Depth: 28m

Zoning: RF
Min. Area: 560m²
Min. Width: 15m
Min. Depth: 28m

OFFICIAL COMMUNITY PLAN:
Existing: Suburban
Proposed: Suburban

LOT YIELD:
Existing: 2
Proposed: 7

GROSS DENSITY: 6.73 upa

NOTE:

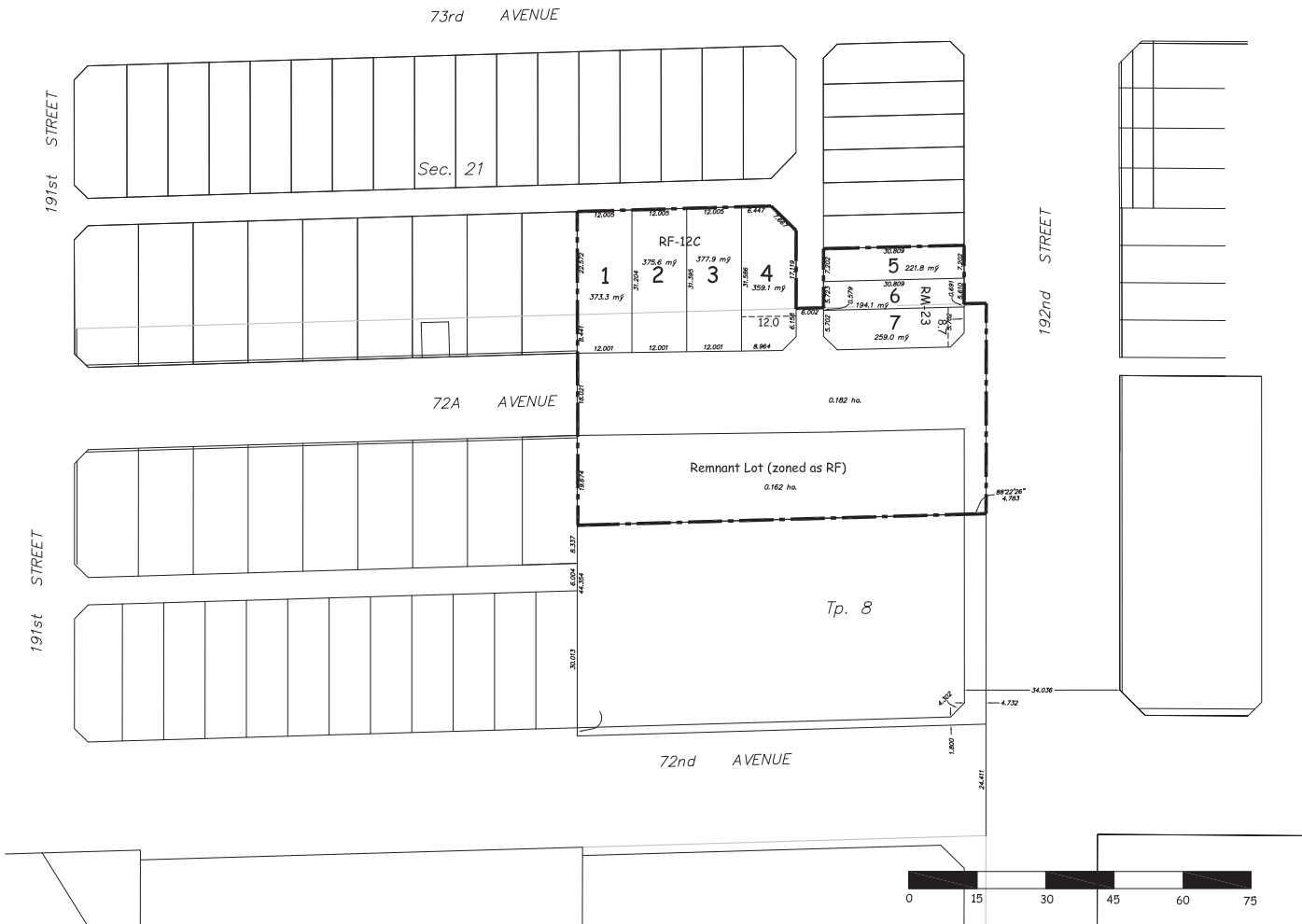
- This plan is conceptual only, is subject to change due to:
- Review and approval by appropriate municipal, regional, provincial and federal governments and outside agencies
 - Full environmental, geotechnical and soil assessments.
 - Legal and topographical survey.
 - Tree survey and assessment.
 - Park dedication requirements or cash in lieu of.
 - School site acquisition requirements and/or charges.
 - Storm water detention requirements.
 - Road dedication requirements.
 - Environmentally sensitive areas and setback requirements.
 - Building locations.
 - Right-of-way and/or easement requirements.

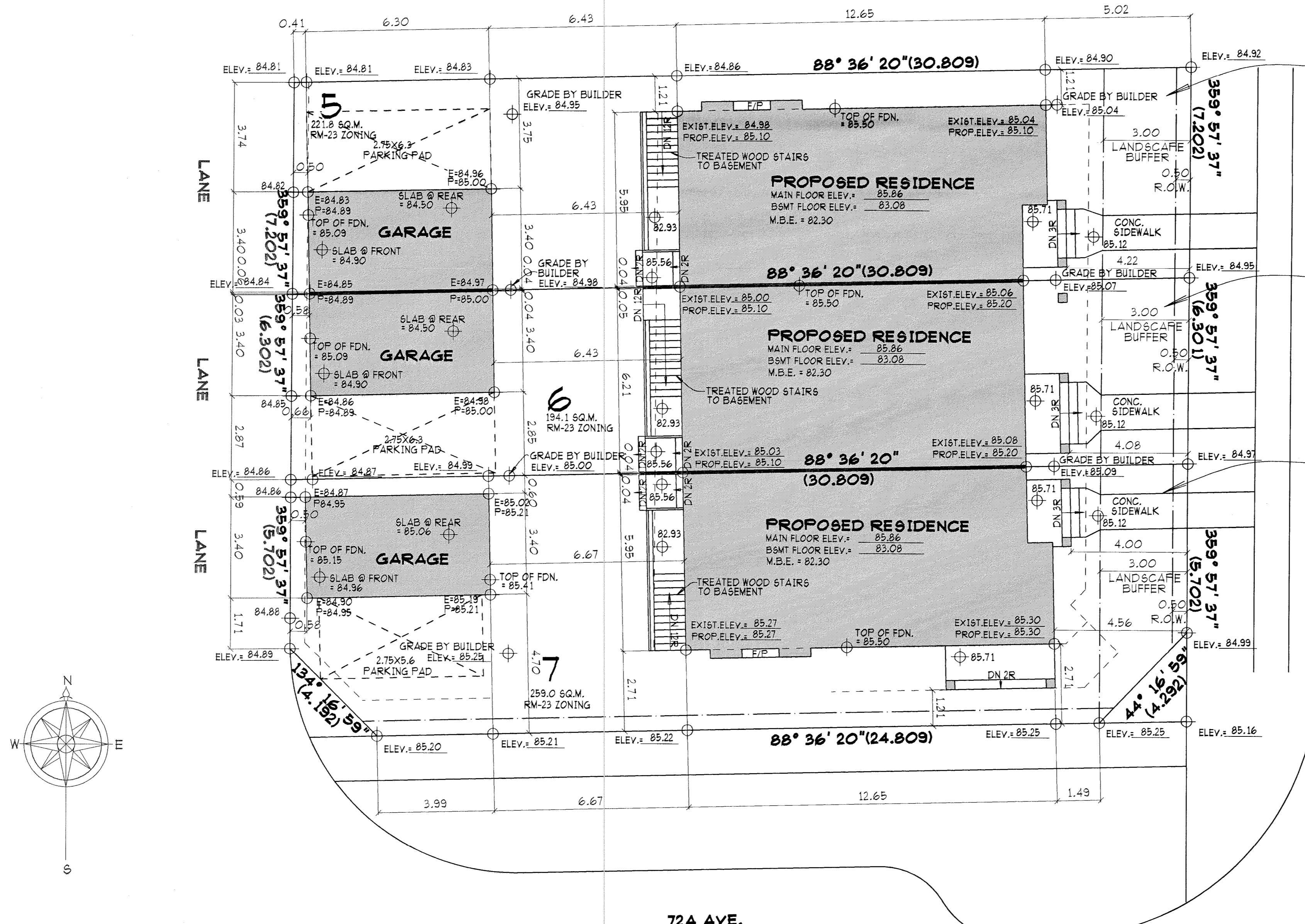
**APLIN
MARTIN**
CONSULTANTS LTD

301 - 1248 82 Avenue, Surrey, BC Canada V3W 1E9
Tel: 604 591-0000 Fax: 604 591-0001 Email: aplin@aplinc.com

Map
1

Project 11-242
09 Jan 2012





SITE PLAN
SCALE 1:100 (METRIC)

SITE PLAN
SCALE 1:100 (METRIC)

SITE PLAN
SCALE 1:100 (METRIC)

<p>LOT CALCULATIONS: (LOT 5) RM-23 ZONING</p> <p>LOT AREA = 221.8 SQ.M. (2387.4 SQ.FT.)</p> <p>FLOOR AREA RATIO: MAX. ALLOWABLE FLOOR AREA = 1550.0 SQ.FT.</p> <p>PROPOSED: HOUSE = 1548 GARAGE = 234 (COUNT 0) TOTAL = 1548 SQ.FT.</p> <p>SITE COVERAGE: MAX. ALLOWABLE @ 0.60 = 1432.4 SQ.FT. PROPOSED = 1072.3 SQ.FT.</p>	<p>LOT CALCULATIONS: (LOT 6) RM-23 ZONING</p> <p>LOT AREA = 194.1 SQ.M. (2089.3 SQ.FT.)</p> <p>FLOOR AREA RATIO: MAX. ALLOWABLE FLOOR AREA = 1550.0 SQ.FT.</p> <p>PROPOSED: HOUSE = 1550 GARAGE = 234 (COUNT 0) TOTAL = 1550 SQ.FT.</p> <p>SITE COVERAGE: MAX. ALLOWABLE @ 0.60 = 1253.5 SQ.FT. PROPOSED = 1119.7 SQ.FT.</p>	<p>LOT CALCULATIONS: (LOT 7) RM-23 ZONING</p> <p>LOT AREA = 259.0 SQ.M. (2787.8 SQ.FT.)</p> <p>FLOOR AREA RATIO: MAX. ALLOWABLE FLOOR AREA = 1550.0 SQ.FT.</p> <p>PROPOSED: HOUSE = 1548 GARAGE = 231 (COUNT 0) TOTAL = 1548 SQ.FT.</p> <p>SITE COVERAGE: MAX. ALLOWABLE @ 0.50 = 1393.9 SQ.FT. PROPOSED = 1129.5 SQ.FT.</p>
<p>UNDERGROUND BASEMENT VOLUME: AVG. EXISTING BLDG. GRADE = (84.98 + 85.04 + 85.00 + 85.06) / 4 = 85.02</p> <p>50% UNDERGROUND ACHIEVED AT SLAB LEVEL (85.02 - 1.39) = 83.63</p> <p>BASEMENT SLAB = 83.08 (69.8% UNDERGROUND EXISTING)</p>	<p>UNDERGROUND BASEMENT VOLUME: AVG. EXISTING BLDG. GRADE = (85.00 + 85.06 + 85.03 + 85.08) / 4 = 85.04</p> <p>50% UNDERGROUND ACHIEVED AT SLAB LEVEL (85.04 - 1.39) = 83.65</p> <p>BASEMENT SLAB = 83.08 (70.5% UNDERGROUND EXISTING)</p>	<p>UNDERGROUND BASEMENT VOLUME: AVG. EXISTING BLDG. GRADE = (85.03 + 85.08 + 85.27 + 85.30) / 4 = 85.17</p> <p>50% UNDERGROUND ACHIEVED AT SLAB LEVEL (85.17 - 1.39) = 83.78</p> <p>BASEMENT SLAB = 83.08 (75.2% UNDERGROUND EXISTING)</p>
<p>UNDERGROUND BASEMENT VOLUME: AVG. PROPOSED BLDG. GRADE = (85.10 + 85.10 + 85.10 + 85.20) / 4 = 85.125</p> <p>50% UNDERGROUND ACHIEVED AT SLAB LEVEL (85.125 - 1.39) = 83.73</p> <p>BASEMENT SLAB = 83.08 (73.5% UNDERGROUND PROPOSED)</p>	<p>UNDERGROUND BASEMENT VOLUME: AVG. PROPOSED BLDG. GRADE = (85.10 + 85.20 + 85.10 + 85.20) / 4 = 85.15</p> <p>50% UNDERGROUND ACHIEVED AT SLAB LEVEL (85.15 - 1.39) = 83.76</p> <p>BASEMENT SLAB = 83.08 (74.4% UNDERGROUND PROPOSED)</p>	<p>UNDERGROUND BASEMENT VOLUME: AVG. PROPOSED BLDG. GRADE = (85.10 + 85.20 + 85.27 + 85.30) / 4 = 85.217</p> <p>50% UNDERGROUND ACHIEVED AT SLAB LEVEL (85.217 - 1.39) = 83.82</p> <p>BASEMENT SLAB = 83.08 (76.8% UNDERGROUND PROPOSED)</p>

GENERAL:

THANK YOU FOR PURCHASING YOUR HOME PLANS FROM TYNAN DESIGN LTD. WE APPRECIATE YOUR ORDER AND ANY COMMENTS YOU MAY HAVE ABOUT THE QUALITY OF THE PLANS AND THE SERVICE. WE ENDEAVOR TO PROVIDE THE MOST ACCURATE AND UP TO DATE PLANS IN THE INDUSTRY. HOWEVER, AS IT IS IMPOSSIBLE TO COMPLETELY ELIMINATE HUMAN ERROR, IT IS THE RESPONSIBILITY OF THE OWNER AND BUILDER TO VERIFY ALL DIMENSIONS AND STRUCTURE BEFORE PROCEEDING WITH CONSTRUCTION, AND TO REPORT ALL ERRORS OR OMISSIONS TO TYNAN DESIGN LTD. BEFORE TAKING REMEDIAL ACTION. FAILURE TO REPORT ERRORS AND OMISSIONS WILL ABSOLVE TYNAN DESIGN LTD. OF ALL RESPONSIBILITY ASSOCIATED WITH THE CONSTRUCTION OF THIS HOME.

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THE BUILDING SITE:

LOT GEOMETRY AND TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM SOURCES BELIEVED TO BE RELIABLE. HOWEVER, ERRORS CAN AND DO OCCUR ON LEGAL AND TOPOGRAPHICAL SURVEYS. AS WE RELY ON THIS INFORMATION, WE ARE NOT RESPONSIBLE FOR ANY ERRORS WHICH OCCUR AS A RESULT OF THE USE OF INACCURATE SITE DATA. IT IS THE OWNER'S RESPONSIBILITY TO ENSURE THAT SITE DATA IS CORRECT.

EXISTING GRADES INDICATED AT THE CORNERS OF THE STRUCTURE ARE BASED ON LINEAR INTERPOLATION OF THE TOPOGRAPHICAL DATA PROVIDED TO US. THOUGH THIS IS A GENERALLY ACCEPTED METHOD OF DETERMINING EXISTING ELEVATIONS AT THE CORNERS OF THE STRUCTURE IT IS NOT PERFECT AS THERE IS SELDOM A PERFECT LINEAR RELATIONSHIP BETWEEN ANY TWO POINTS ON THE SITE. FOR EXAMPLE, A HOLE OR DEPRESSION OCCURRING BETWEEN ANY TWO POINTS ON THE SITE WOULD NOT BE ANTICIPATED BY THE LINEAR INTERPOLATION METHOD. IF YOU REQUIRE PERFECTLY ACCURATE EXISTING GRADE INFORMATION, YOU MUST EMPLOY A REGISTERED LAND SURVEYOR TO MEASURE THE ACTUAL ELEVATION AT WHICH THE EXTERIOR CORNERS OF THE STRUCTURE INTERSECT THE LOT.

THE OWNER OR BUILDER IS TO SUPPLY ANY MISSING DIMENSIONS REQUIRED ON THE SITE PLAN IN ADDITION TO THE LEGAL DESCRIPTION NAME OF STREETS, NORTH ARROW, LOCATION OF SERVICES, ETC. ALL DIMENSIONS SHOWN ON THE SITE PLAN AND THE LOCATION OF ANY EASEMENTS OR RIGHT OF WAY'S ARE TO BE APPROVED BY BUILDING AUTHORITIES BEFORE COMMENCING CONSTRUCTION.

GRADE IS TO SLOPE A MINIMUM OF TWO PERCENT AWAY FROM THE STRUCTURE FOR SURFACE WATER RUN-OFF. THE BUILDER IS RESPONSIBLE FOR REQUIRED SWALES, AND TO ENSURE THAT ELEVATIONS SHOWN ON THE SITE PLAN ARE ACCURATE BEFORE EXCAVATION TAKES PLACE. THIS IS EXTREMELY IMPORTANT TO ENSURE THAT EXISTING OVERLAND WATER FLOW PATTERNS ARE MAINTAINED.

ANY RETAINING WALLS REQUIRED ARE TO BE BUILT ACCORDING TO GOOD PRACTICE, AND ARE ENTIRELY THE RESPONSIBILITY OF OTHERS.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST LINES, WATER TABLES, UNDERGROUND SPRINGS, BURIED STRUCTURES, OR BURIED ORGANIC MATERIAL. FOUNDATIONS SETTING DUE TO CLAY OR OTHER MATERIALS, OR FOUNDATION CRACKING DUE TO SITING A HOME ON UNEVEN BEARING.

CLIMATE AND SOIL:

CLIMATIC VALUES REQUIRED FOR THE DESIGN OF THIS STRUCTURE SHALL BE IN CONFORMANCE WITH THE VALUES ESTABLISHED BY THE AUTHORITY HAVING JURISDICTION. THESE DRAWINGS MAY NEED TO BE ALTERED IN CONSIDERATION OF GROUND SNOW LOADS, RAIN LOADS, WIND LOADS, SEISMIC ZONE, SOIL CONDITIONS, FROST PENETRATION LEVELS, AND OTHER FACTORS BEYOND THE SCOPE OF THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE OWNER TO DETERMINE THESE CONDITIONS AND TO HIRE THE APPROPRIATE LOCAL PROFESSIONAL TO MAKE ANY NECESSARY ADJUSTMENTS TO THESE PLANS.

ASSUMED VALUES:
GROUND SNOW LOAD: 60 Psf
RAIN LOAD: 8 Psf
WIND LOAD: MAX 80 KPH (50 MPH)
SEISMIC: NOT RATED-INQUIRE ABOUT UPGRADE TO U.S. SEISMIC ZONE 4 STANDARD
SOIL BEARING CAPACITY: 1500 Psf
FROST PENETRATION: 450mm (1'-6")

CIVIC ADDRESS:

BUILDING CODE:
THESE PLANS CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2006 EDITION, (OCCUPANCY GROUP C)

CUSTOMER:
LEGENDARY HOMES

DESIGN: M5

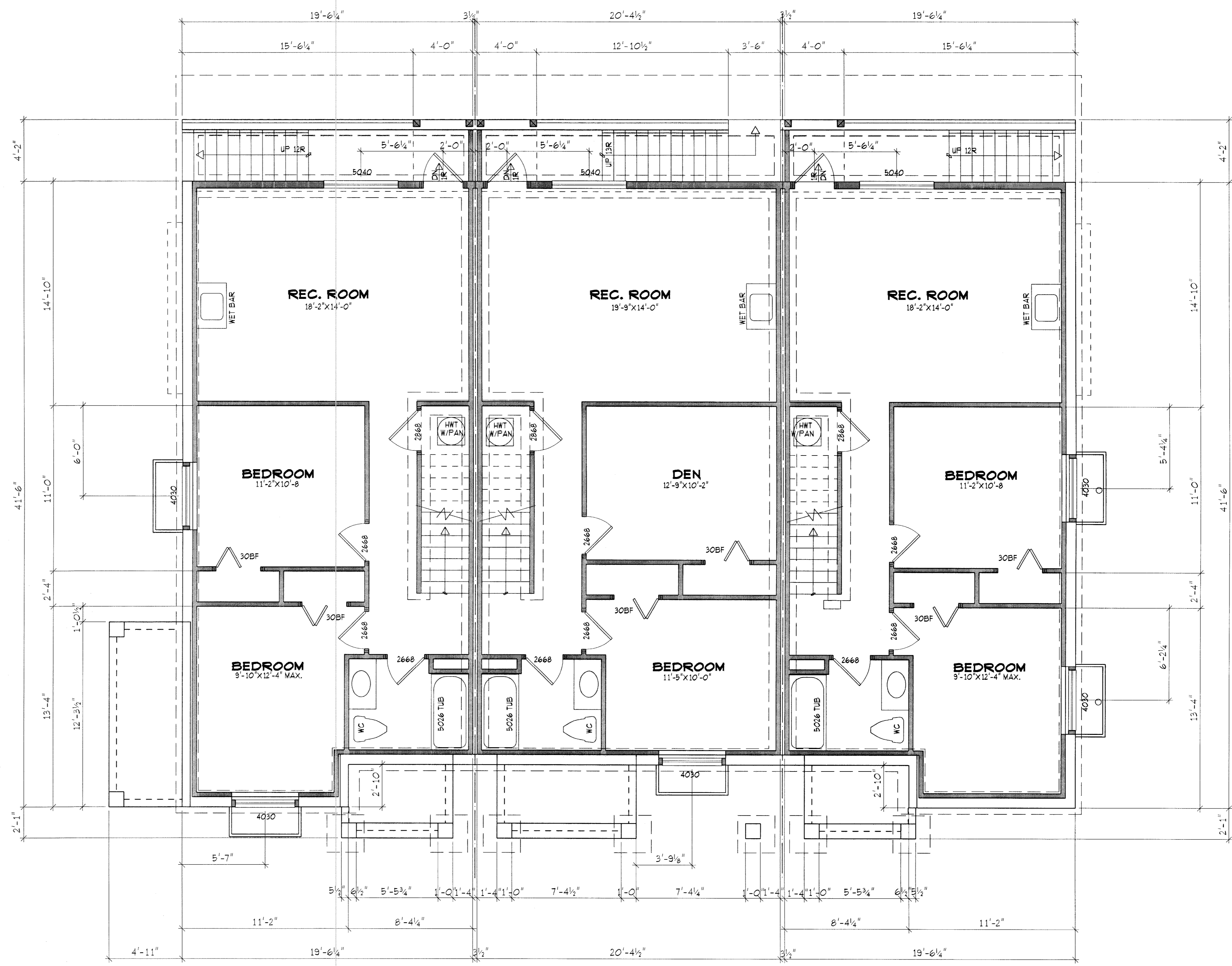
DRAWN: DV 120316

CHECKED: M5 120319

SCALE: 1:100 (METRIC)

T-100
(LOT 5 & 7)

SHEET 1 OF 6 **REV: 0**



**BASEMENT/
FOUNDATION PLAN**

SCALE 1/4"=1'-0"
792 SQ. FT.

**BASEMENT/
FOUNDATION PLAN**

SCALE 1/4"=1'-0"
799 SQ. FT.

**BASEMENT/
FOUNDATION PLAN**

SCALE 1/4"=1'-0"
792 SQ. FT.

BUILDING CODE:
THESE PLANS CONFORM TO THE
BRITISH COLUMBIA BUILDING CODE
2006 EDITION. (OCCUPANCY GROUP C)

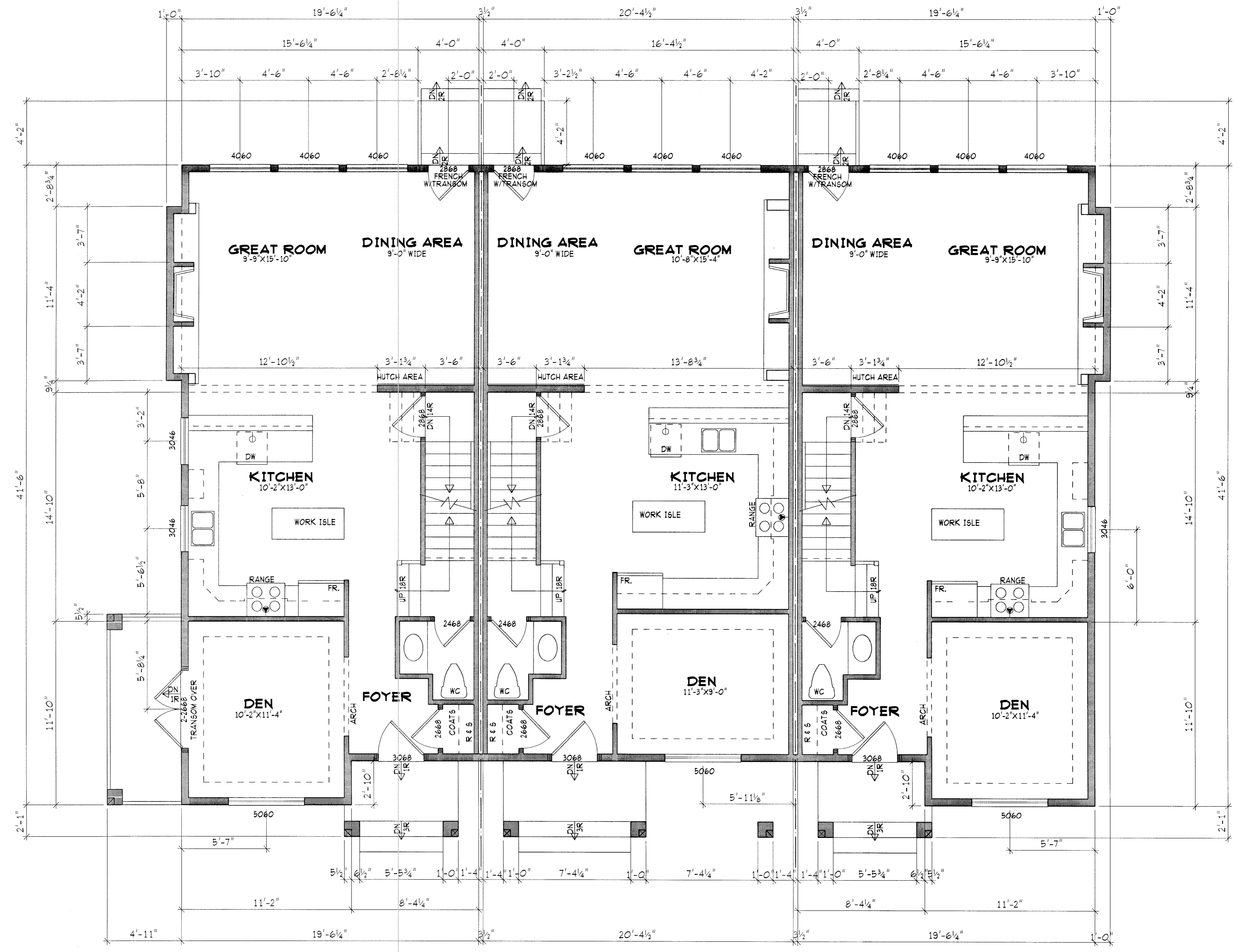
CUSTOMER:
LEGENDARY HOMES

DESIGN:	MS	
DRAWN:	DV	120316
CHECKED:	MS	120319

SCALE: 1/4" = 1'-0"

T-100
(LOTS 5,6,7)

SHEET 2 OF 6 REV: 0



MAIN FLOOR PLAN 803 803 SQ.FT.
 SCALE 1/4" = 1'-0"

TOTAL FINISHED AREA= 1548 SQ.FT.

LOT 7

MAIN FLOOR PLAN 799 799 SQ.FT.
 SCALE 1/4" = 1'-0"

TOTAL FINISHED AREA= 1550 SQ.FT.

LOT 6

MAIN FLOOR PLAN 803 803 SQ.FT.
 SCALE 1/4" = 1'-0"

TOTAL FINISHED AREA= 1548 SQ.FT.

LOT 5

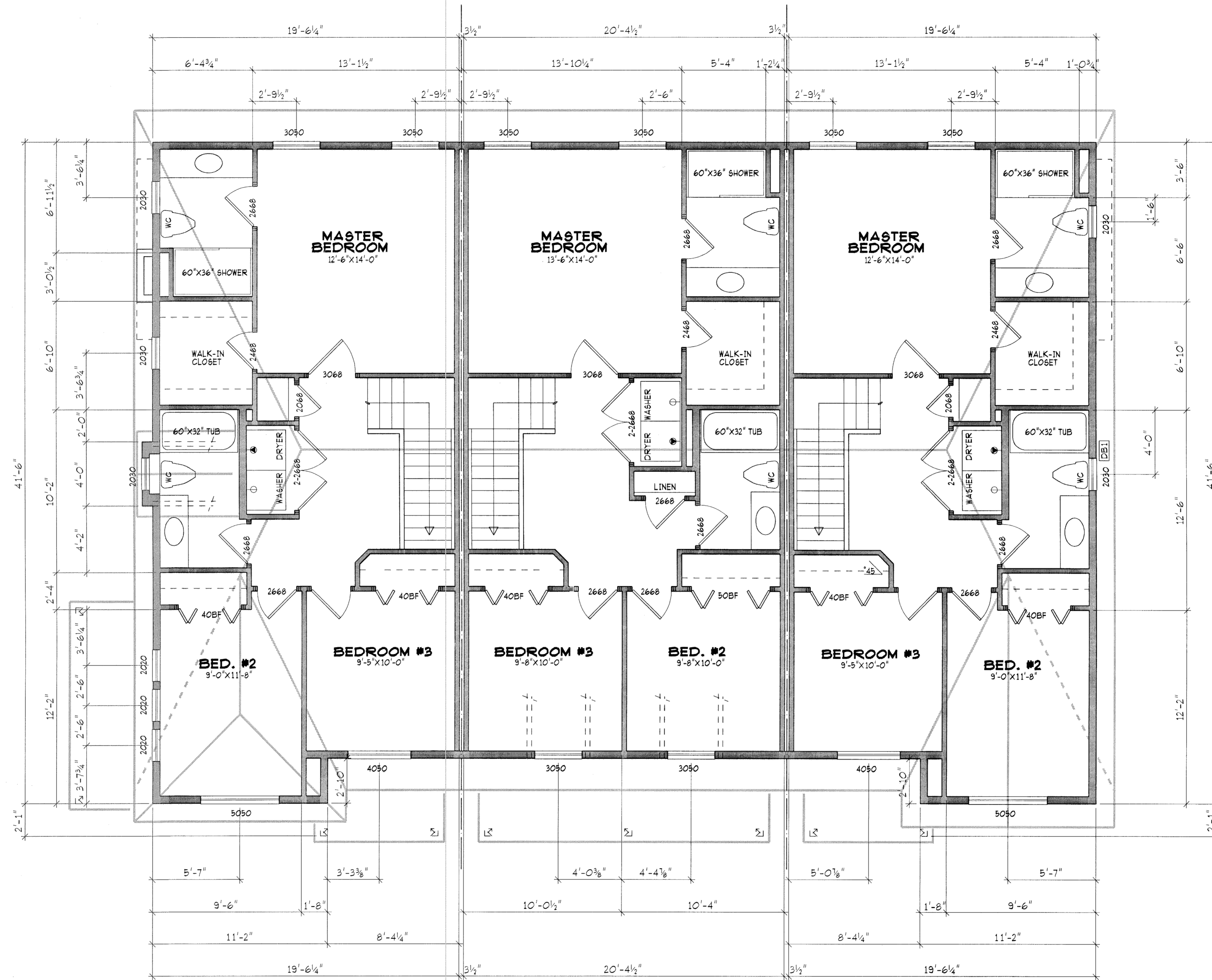
BUILDING CODE:
 THESE PLANS CONFORM TO THE
 BRITISH COLUMBIA BUILDING CODE
 2006 EDITION, OCCUPANCY GROUP G1

CUSTOMER:
LEGENDARY HOMES

DESIGN:	M5	
DRAWN:	DV	120316
CHECKED:	M5	120319

SCALE: 1/4" = 1'-0"

T-100
 (LOTS 5,6,7)

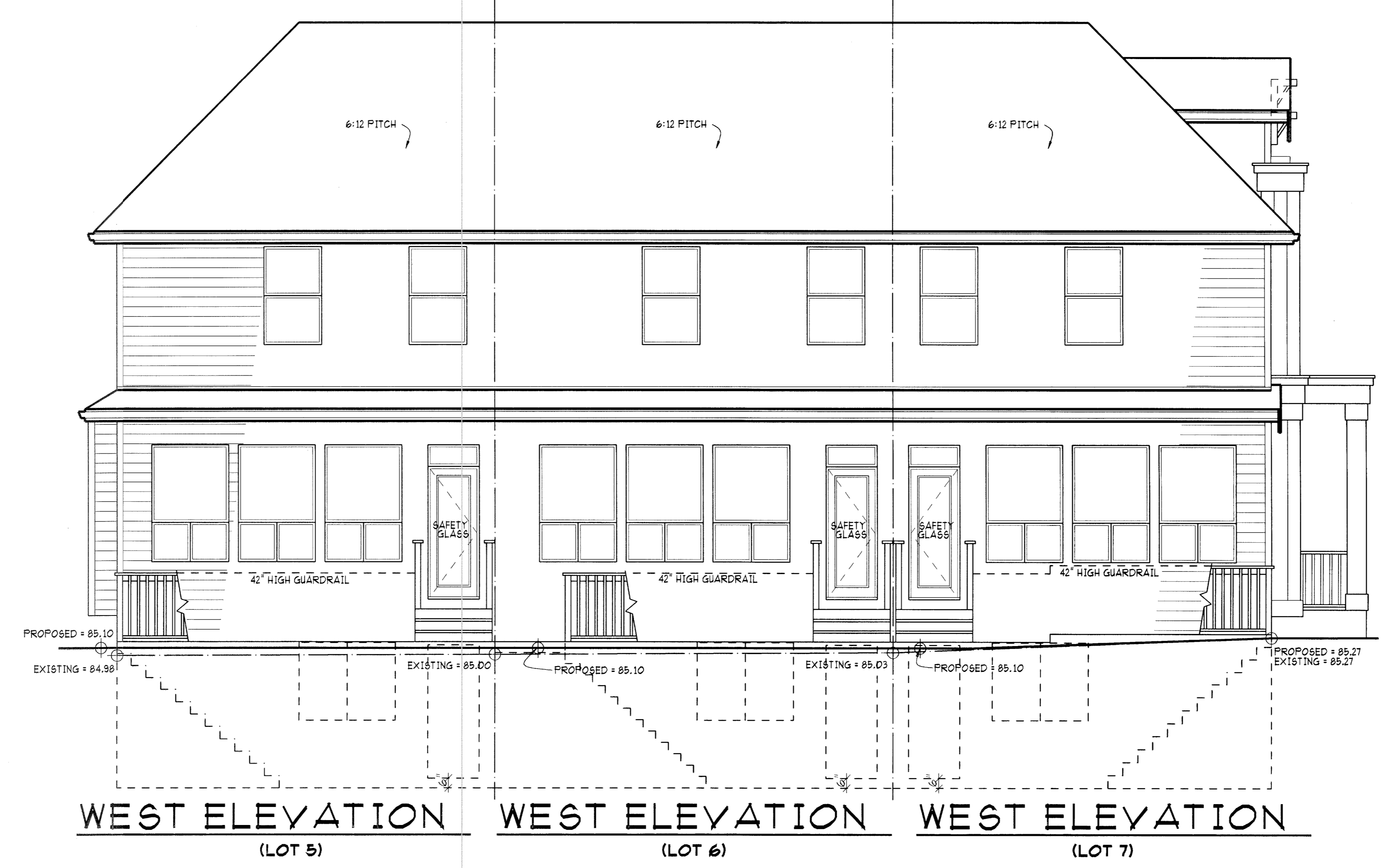


UPPER FLOOR PLAN 745 89Q.FT.
SCALE 1/4"=1'-0"

UPPER FLOOR PLAN 751 89Q.FT.
SCALE 1/4"=1'-0"

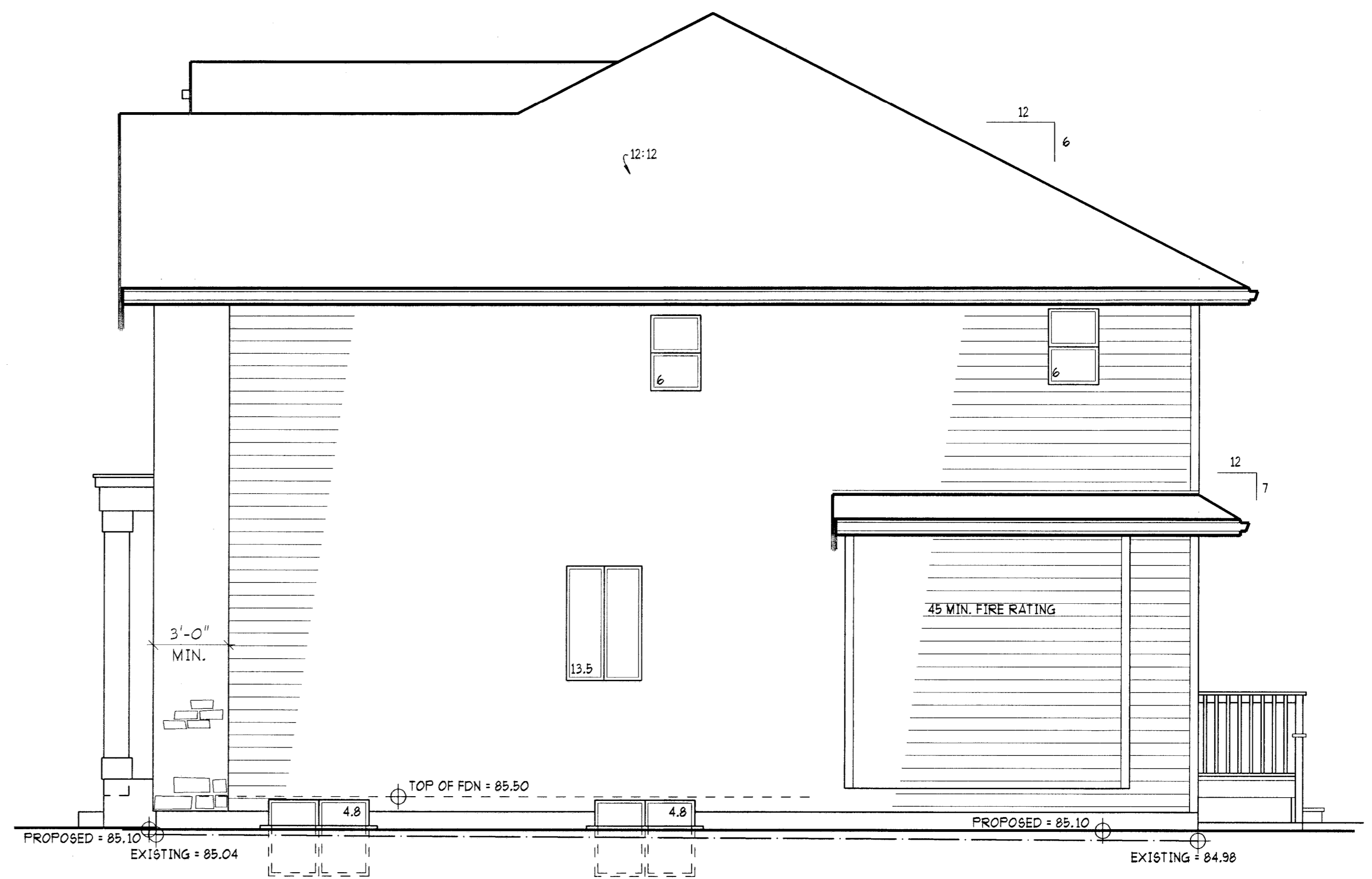
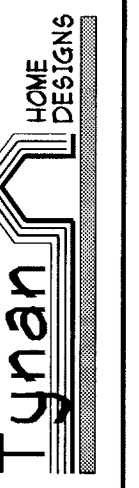
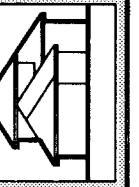
UPPER FLOOR PLAN 745 89Q.FT.
SCALE 1/4"=1'-0"

BUILDING CODE: THESE PLANS CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2006 EDITION, (OCCUPANCY GROUP C)	
CUSTOMER: LEGENDARY HOMES	
DESIGN:	M6
DRAWN:	DV 120316
CHECKED:	M6 120319
SCALE: 1/4" = 1'-0"	
T-100 (LOTS 5,6,7)	
SHEET 4 OF 6	REV: 0



BUILDING CODE:	
THESE PLANS CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2006 EDITION. (OCCUPANCY GROUP C)	
CUSTOMER:	
LEGENDARY HOMES	
DESIGN:	M5
DRAWN:	DV 120316
CHECKED:	M5 120319
SCALE: 1/4" = 1'-0"	
T-100	
(LOTS 5 & 7)	
SHEET 5 OF 6	REV: 0

REVISED: 120410



NORTH ELEVATION

SPATIAL SEPARATION CALC'S: (LOT 5)
WALL AREA = 900.2 SQ.FT. (83.6 SQ. M.)
LIMITING DISTANCE = 1.2 M.
ALLOWABLE UNPROTECTED OPENINGS @ 7.0% = 63.0 SQ. FT.
ACTUAL OPENINGS = 35.1 SQ. FT. (3.9%)



SOUTH ELEVATION

FACING 72A AVE. (LOT 7)

BUILDING CODE:
THESE PLANS CONFORM TO THE
BRITISH COLUMBIA BUILDING CODE
2006 EDITION, (OCCUPANCY GROUP C)

CUSTOMER:
LEGENDARY HOMES

DESIGN:	M6
DRAWN:	DV 120316
CHECKED:	M6 120319

SCALE: 1/4" = 1'-0"

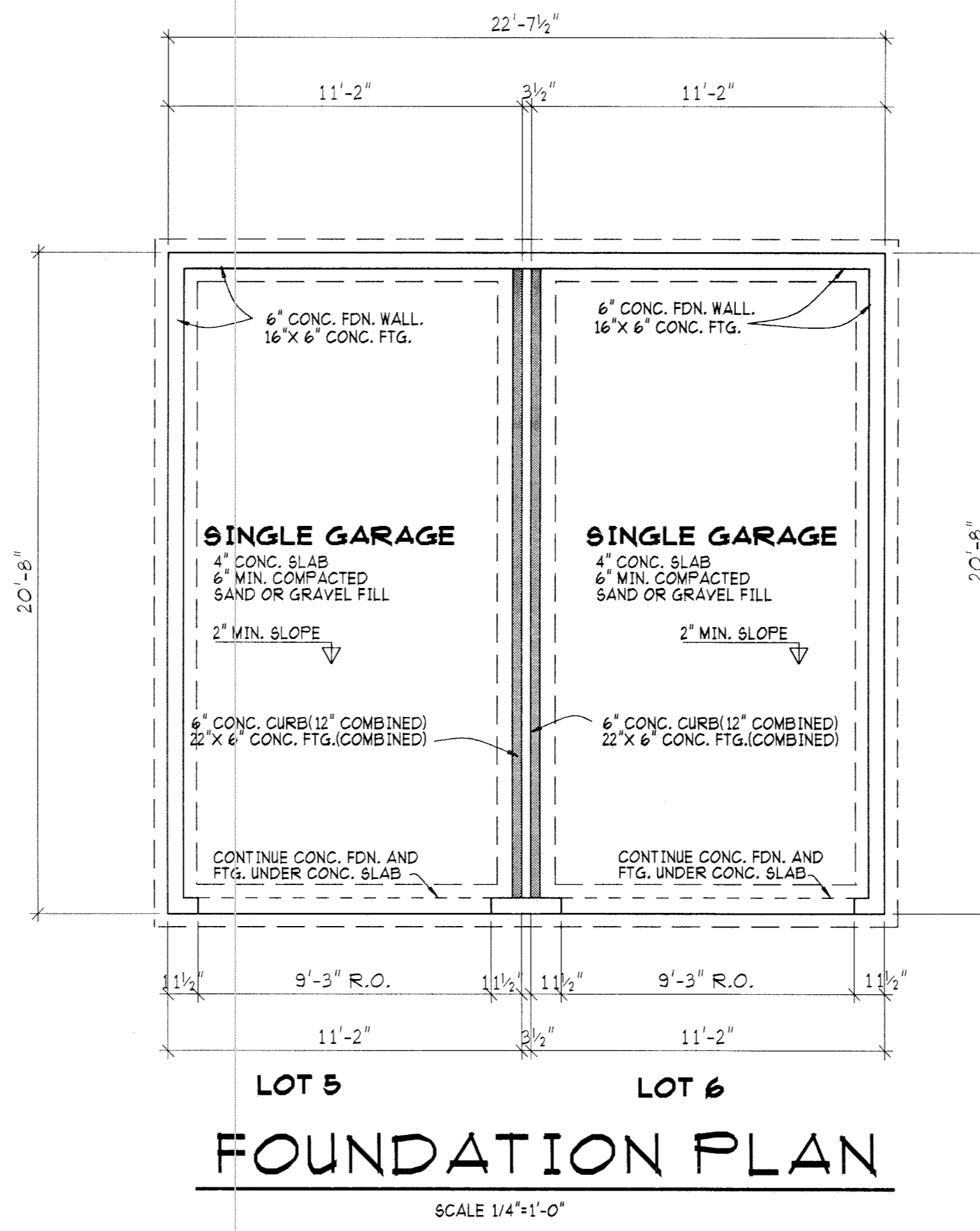
T-100
(LOTS 5,6,7)

PLAN VIEW PARTY WALL DETAIL

SCALE: 1/2" = 1'-0" (BOTH SIDES SAME)

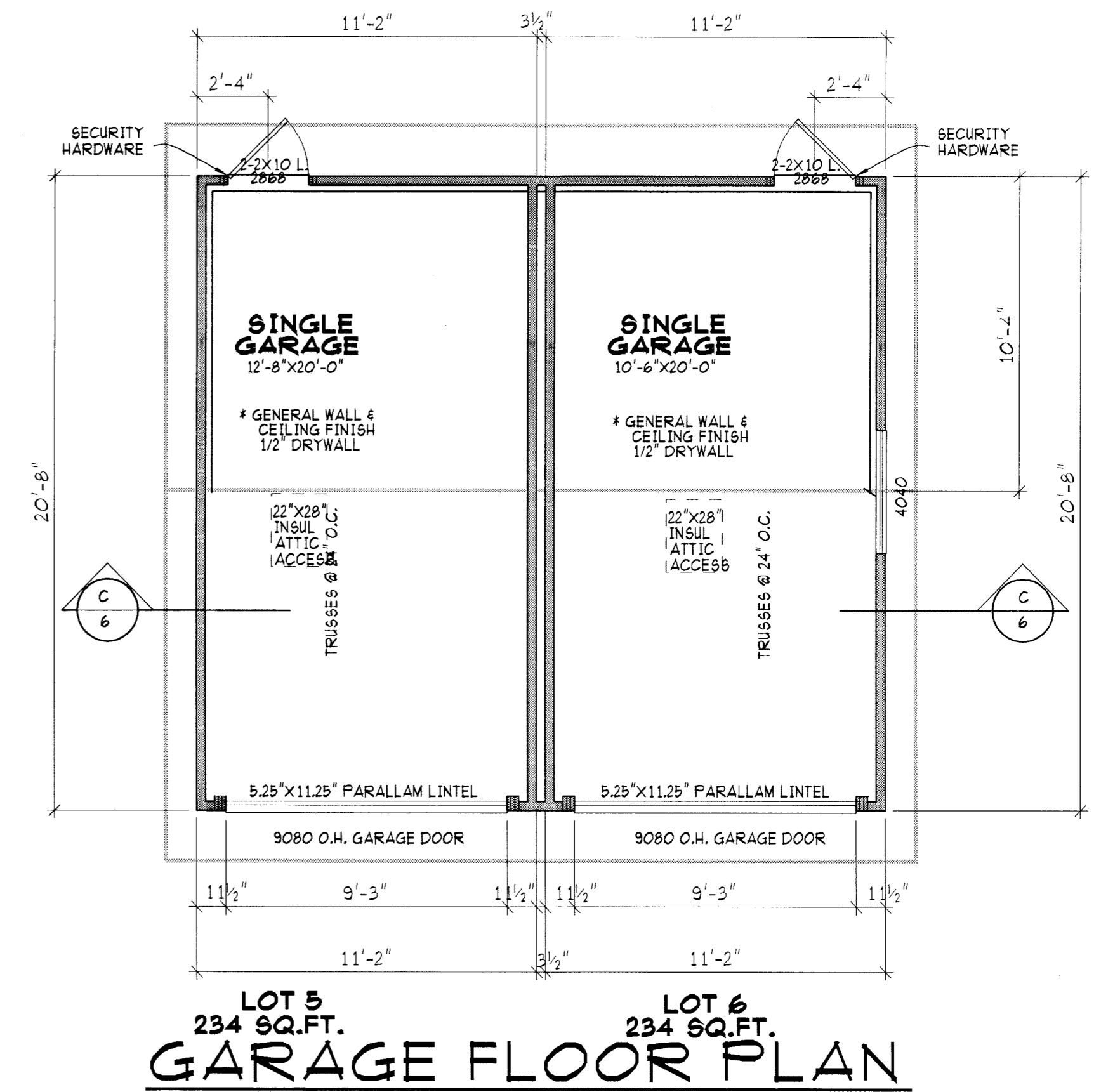
*NOTE: INSTALLATION TO BE AS PER MFR. SPECS. PARTY WALL DETAIL

(BOTH SIDES SAME)



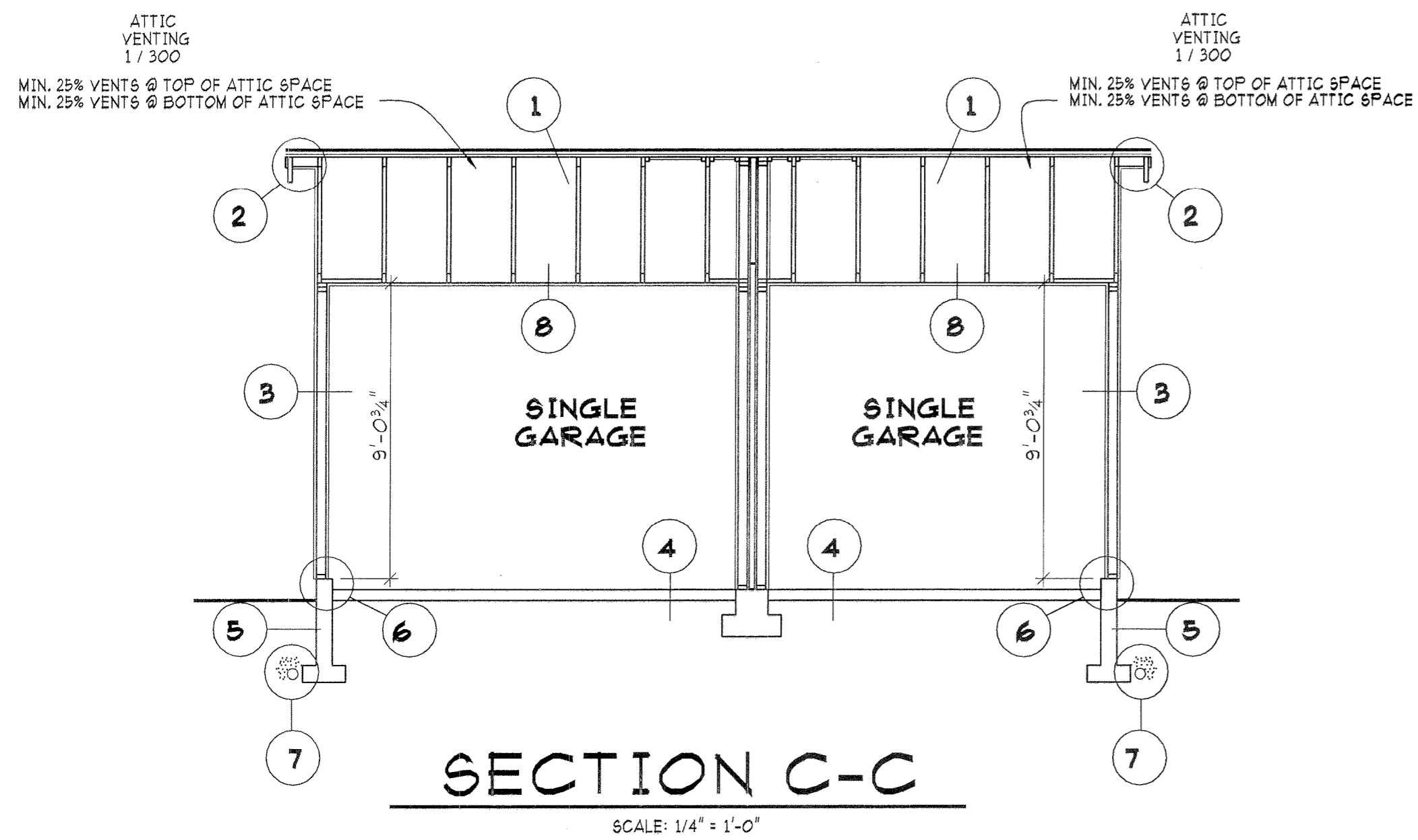
FOUNDATION PLAN

SCALE 1/4" = 1'-0"



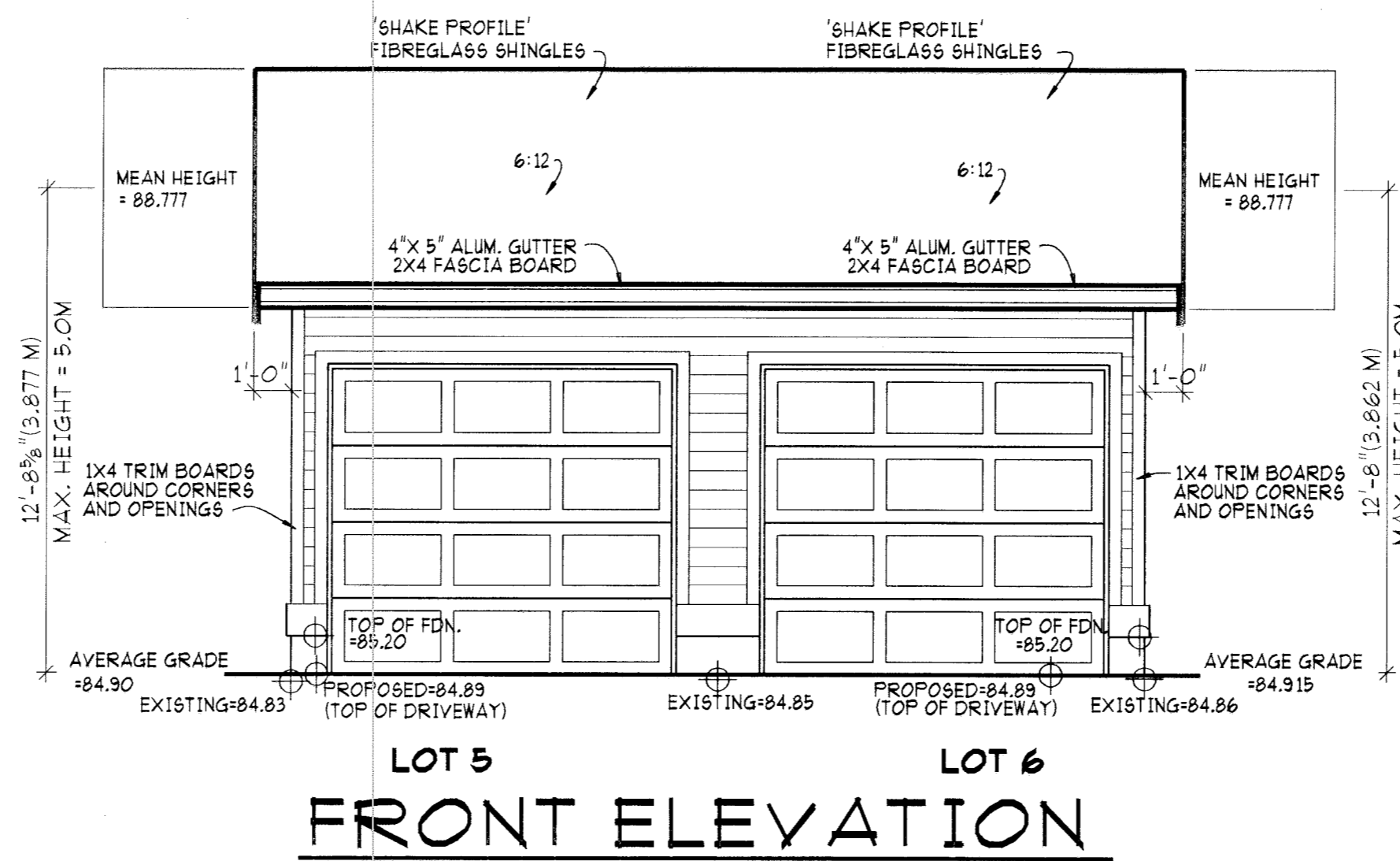
GARAGE FLOOR PLAN

SCALE 1/4" = 1'-0"

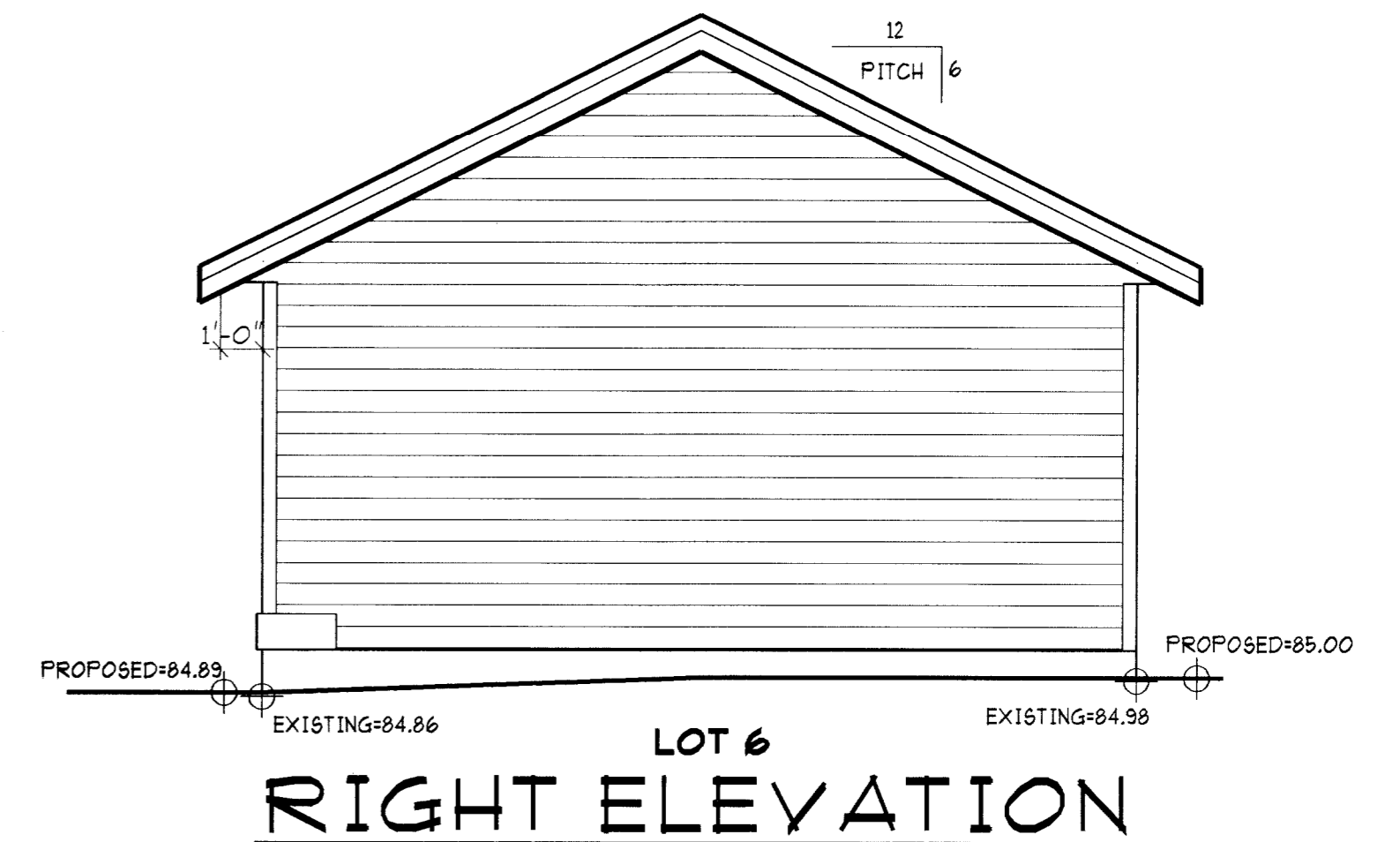


SECTION C-C

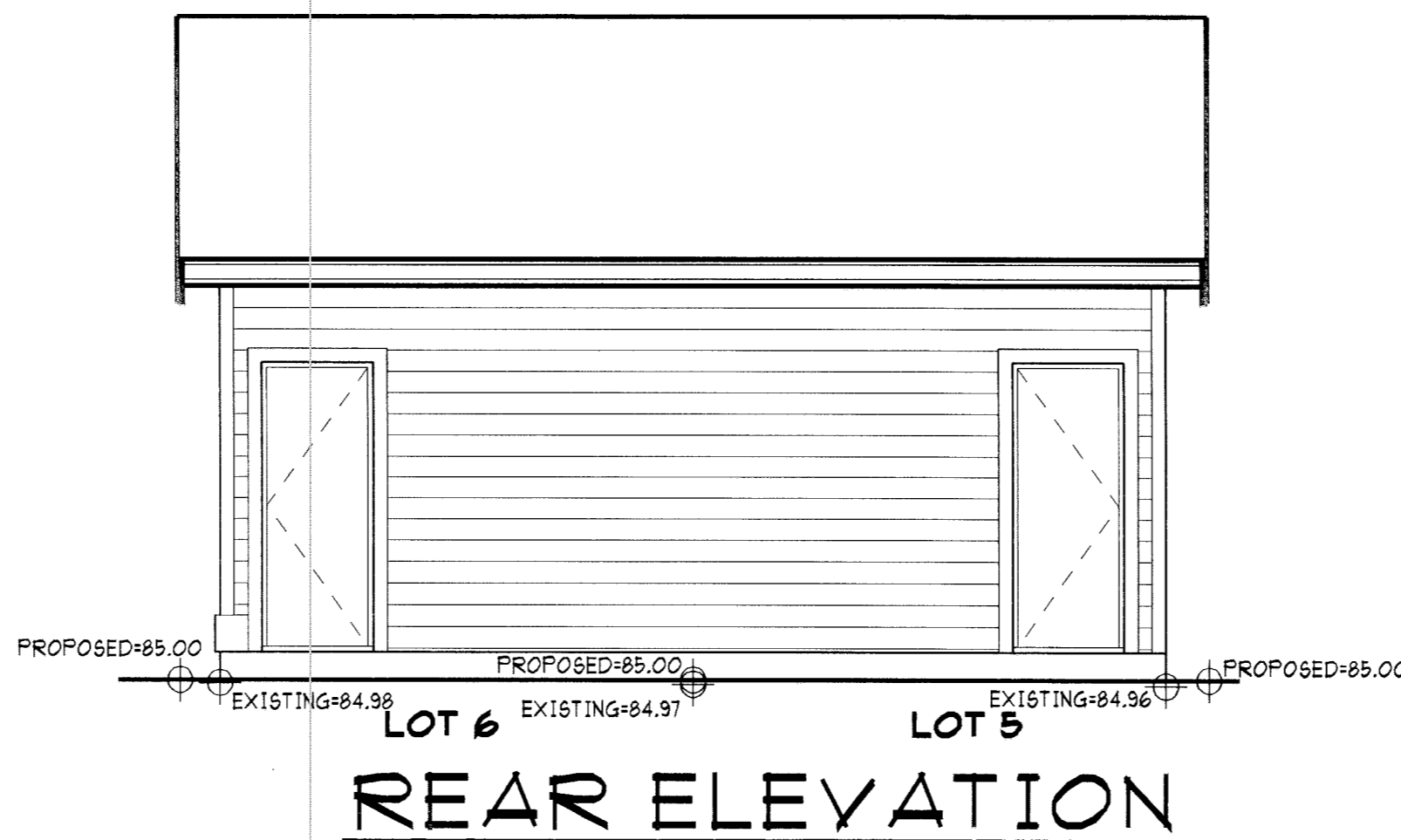
SCALE: 1/4" = 1'-0"



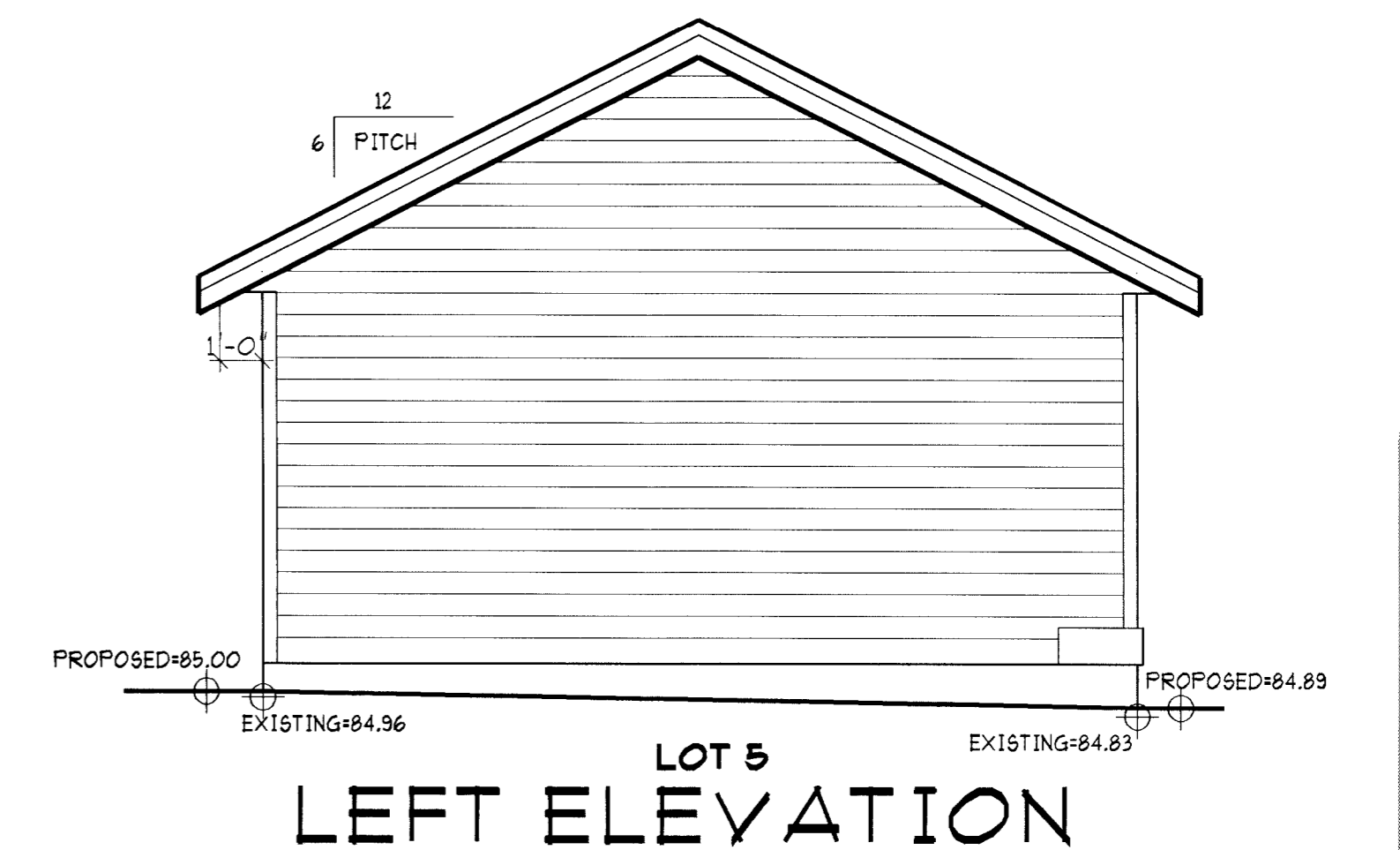
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

SPECIFICATIONS:

- 1 ROOF (TRUSSES):
SHAKE PROFILE FIBREGLASS SHINGLES
FELT UNDERLAY
1/2" PLYWOOD SHEATHING
ROOF TRUSSES @ 24" O.C.
- 2 FASCIA/SOFFIT:
4" x 5" ALUM. GUTTER (OR AS NOTED)
2x4 FASCIA BOARD
VENTED ALUM. OR VINYL SOFFIT
(NOTE: PROVIDE INSULATION BAFFLES BETWEEN EACH TRUSS W/ MIN 2.1/2" CLEAR AIRSPACE)
- 3 EXTERIOR WALL:
FINISH MATERIAL - SEE ELEVATION
STRAPPING AS PER 2006 CBC
BUILDING PAPER
3/8" PLYWOOD SHEATHING
R-14 BATT INSULATION (OPTIONAL)
2x4 STUDS @ 16" O.C.
- 4 GARAGE FLOOR:
4" CONC. SLAB (MIN 4" BELOW TOP OF FDN WALL)
6" MIN COMPACT SAND OR GRAVEL FILL
- 5 EXTERIOR FOUNDATION WALL:
APPROVED WATERPROOF MEMBRANE - APPLY TO EXTERIOR PERIMETER UP TO GRADE
6" CONCRETE FOUNDATION WALL (OR AS NOTED)
16" x 6" CONCRETE FOOTING
- 6 PLATE TO FOUNDATION CONNECTION:
2x6 (OR 2x4 AS REQ'D) SILL PLATE
6 MIL POLY OR 45# FELT DAMP-PROOFING
1/2" DIA ANCHOR BOLTS @ 6'-0" O.C. MAX
- 7 DRAINAGE:
4" DRAIN TILE
12" MIN DRAIN ROCK
- 8 CEILING:
MIN R-40 BATT OR LOOSE-FILL INSULATION (OPTIONAL)
MIN 6 MIL POLY V.B.
5/8" GYPSUM BOARD

BUILDING CODE:
THESE PLANS CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2006 EDITION, (OCCUPANCY GROUP C)

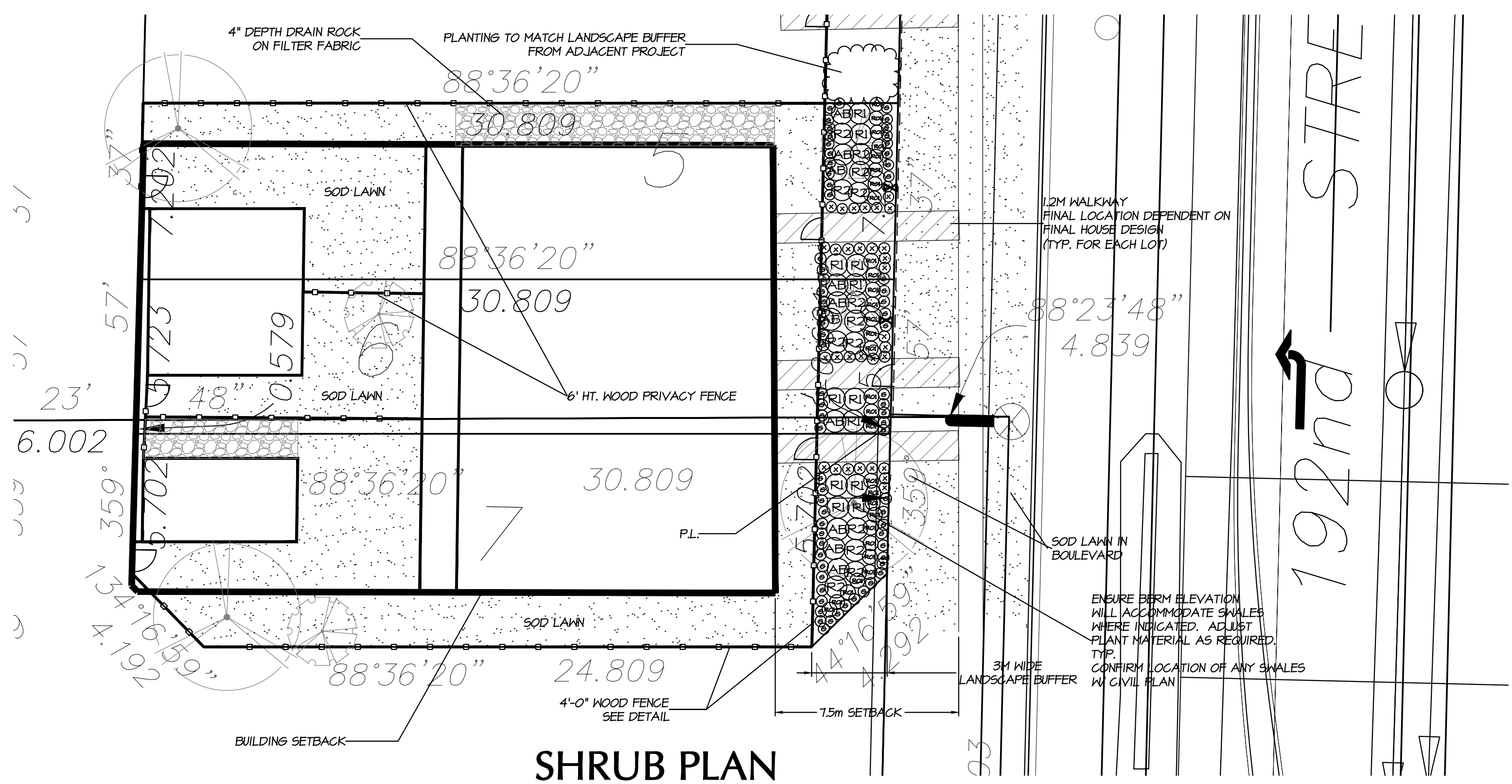
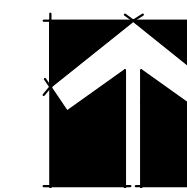
CUSTOMER:
LEGENDARY HOMES

DESIGN:	MS
DRAWN:	DV 111201
CHECKED:	MS 111205

SCALE: 1/4" = 1'-0"

T-100
(LOT 5-6)

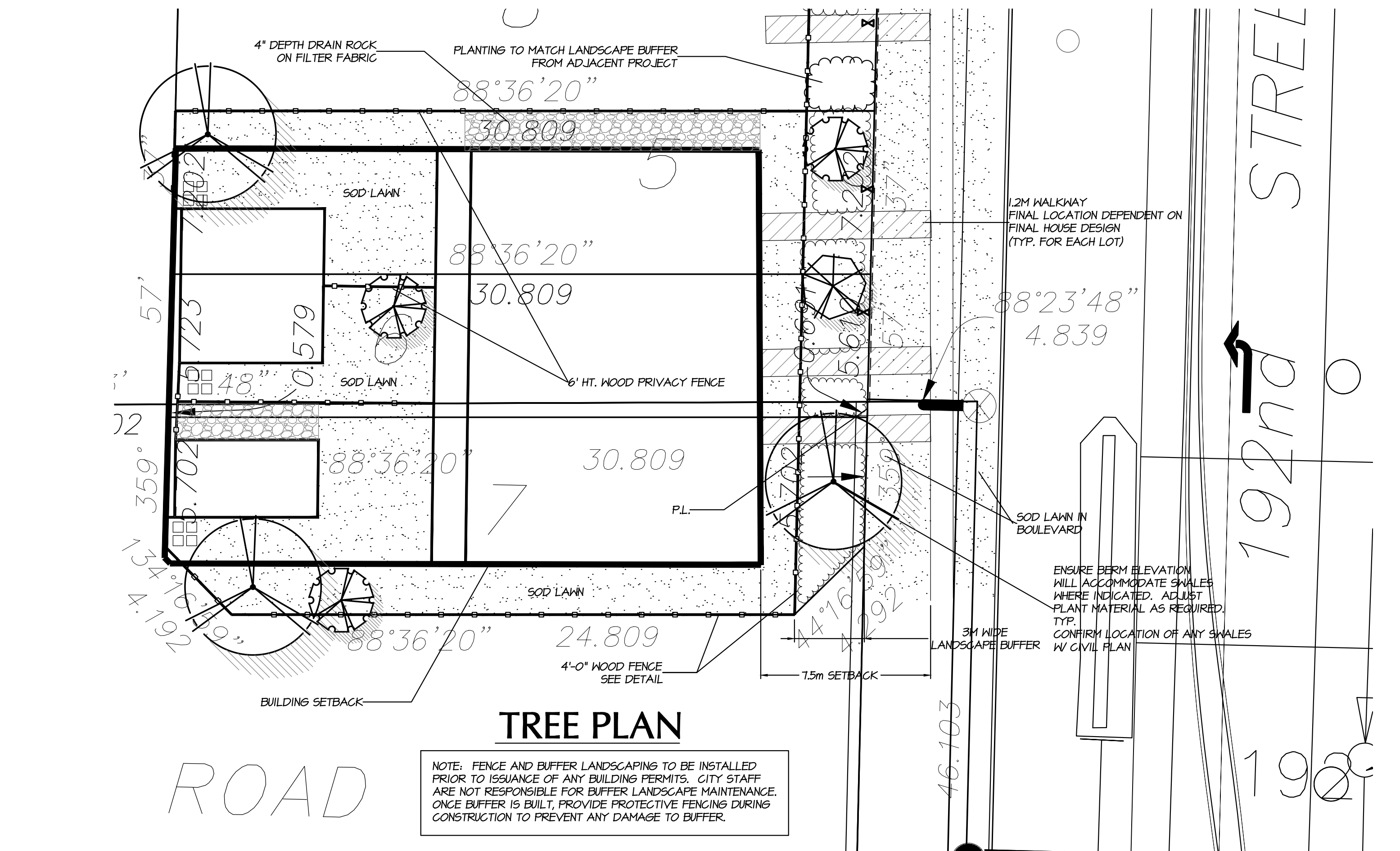
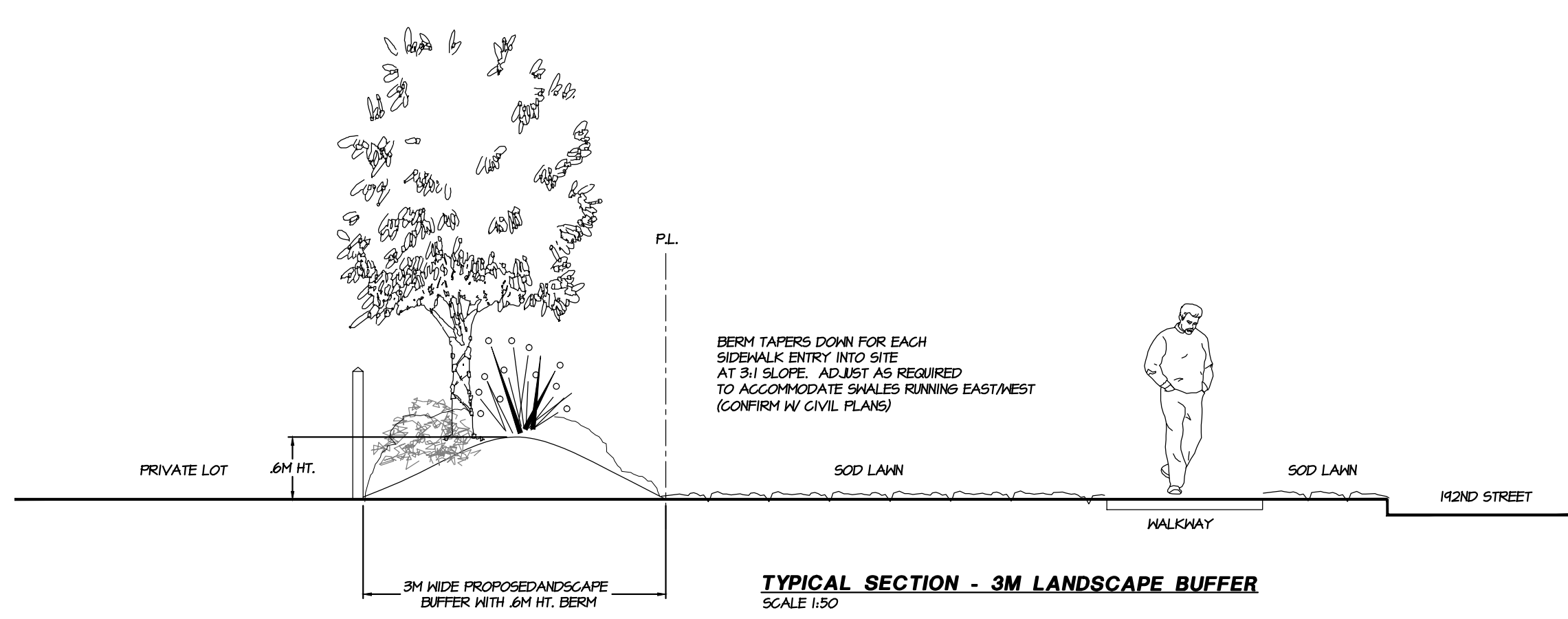
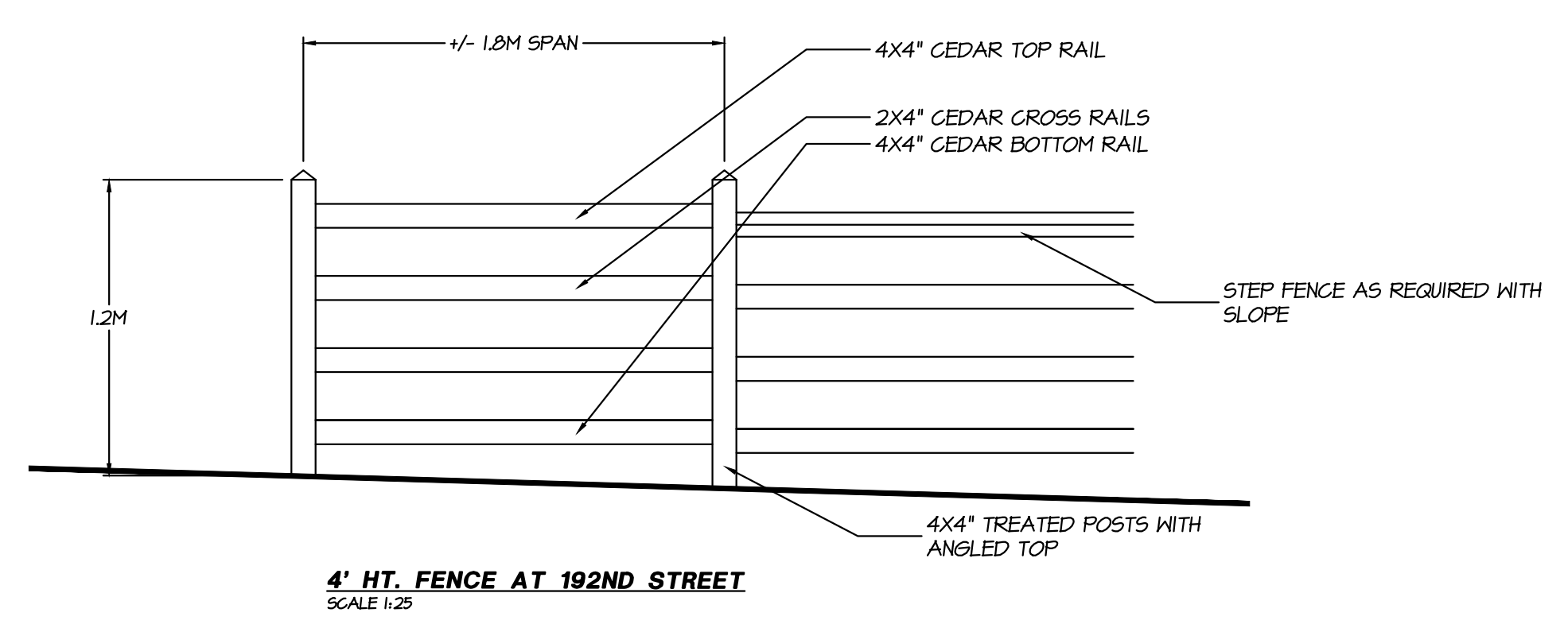
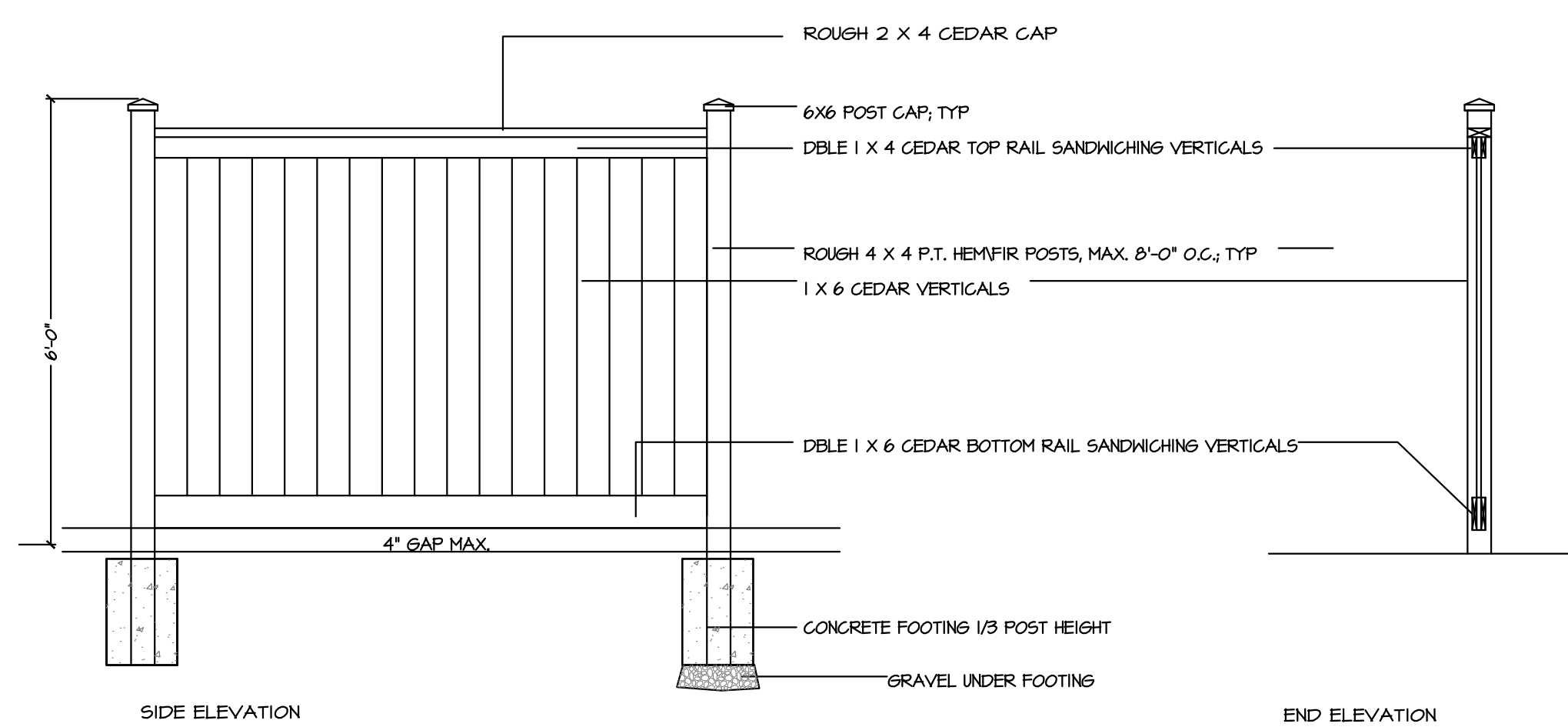
SHEET 6 OF 6 REV: 0



PLANT SCHEDULE				DMG JOB NUMBER: 12-043
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	3	ACER PLATANOIDES	NORWAY MAPLE	6CM CAL; 1.0M STD; B4B
	3	CORNUS KOUSA 'CHINENSIS'	CHINESE DOGWOOD	2.75M HT; BUSH FORM; B4B
	1	MALUS FLORABUNDA	CRABAPPLE	6CM CAL; 1.5M STD; B4B
SHRUB	AB	ABELIA EDWARD GOUCHER	PINK ABELIA	#3 POT; 50CM
	R2	RHODODENDRON 'BLUE DIAMOND'	RHODODENDRON; BLUE; APRIL	#2 POT; 20CM
	RI	RHODODENDRON 'BON BELLS'	RHODODENDRON; PINK	#2 POT; 20CM
	ROI	ROSA EXPLORER 'GEORGE VANCOUVER'	GEORGE VANCOUVER ROSE; DEEP FUSCHIA	#2 POT; 40CM
GC	X	ARGYOSTAPHYLOS UVA-URSI	KINKINNICK	#1 POT; 20CM
	G	GAULTHERIA SHALLON	SALAL	#1 POT; 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



NO.	DATE	REVISION DESCRIPTION	DR.
1	12/MAR/23	REV. PER CITY COMMENTS	BA

SEAL:



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011; f: 604 294-0022

PROJECT:
3 LOT SUBDIVISION
72nd Ave & 192nd STREET
SURREY, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 11/FEB/21	DRAWING NUMBER:
SCALE: 1/150	L1
DRAWN: BA	
DESIGN: BA	
CHKD: PCM	
DMG PROJECT NUMBER: 12043-12p	OF 2 12-043



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **March 23, 2012** PROJECT FILE: **7811-0291-00**

RE: **Engineering Requirements
Location: 7241/7287 192 St.**

OCP AMENDMENT

There are no engineering requirements relative the OCP Amendment.

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 4.808 metres on 192 Street for a total of 34.000 metres from 7241 – 192 Street;
- Dedicate 6.942 metres on 192 Street for a total of 34.000 metres from 7287 – 192 Street;
- Dedicate 18.000 metres for 72A Avenue;
- Dedicate 6.000 metres for north-south lane;
- Dedicate 3.0m x 3.0m corner cuts at the intersection of 72A Avenue and north-south lane;
- Dedicate 3.0m x 3.0m corner cuts at the intersection 192 Street and 72A Avenue;
- Provide 0.5 metre wide statutory right-of-way (SROW) on both sides of 72A Avenue.
- Provide 0.5 metre wide SROW along 192 Street new property line;

Works and Services

- Construct 72A Avenue Through Local standard;
- Construct north-south lane;
- Construct Multi-Use-Pathway on 192 Street under Development Coordinated Works;
- Construct sanitary sewer main, storm sewer main and watermain to service the development;
- Pay applicable DCC frontender and latecomer payments;
- Double bond for off-site works, as required.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

Bob Ambardar, P.Eng.
Development Project Engineer

HB



Tuesday, April 10, 2012
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 7911 0291 00

SUMMARY

The proposed 7 Single family lots are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	3
Secondary Students:	1

September 2011 Enrolment/School Capacity

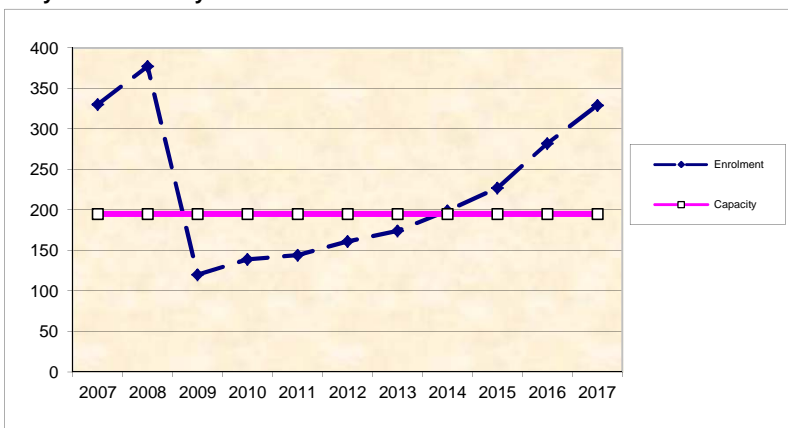
Clayton Elementary	
Enrolment (K/1-7):	21 K + 123
Capacity (K/1-7):	20 K + 175
Clayton Heights Secondary	
Enrolment (8-12):	1263
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12):	1080

School Enrolment Projections and Planning Update:

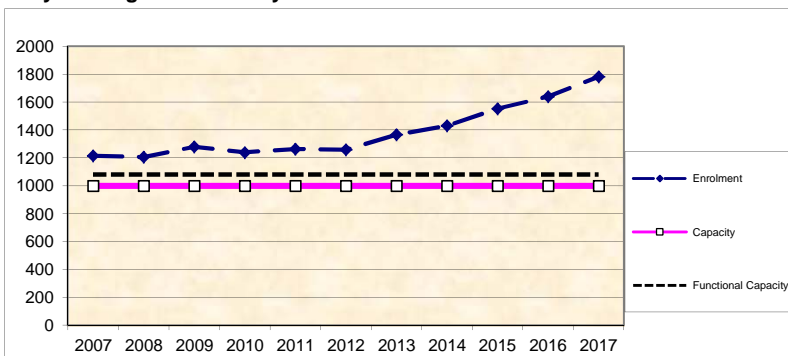
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

A new elementary school (Hazelgrove Elementary Site #203) opened in September 2009 resulting in enrolment moves from Clayton/East Clayton. Enrolment from Clayton Elementary catchment is projected to grow due to the expansion of E. Clayton NCP Area and anticipated growth of the West Clayton NCP Area (under review). The school district has received capital plan approval of it's #1 capital plan priority, a new elementary school on Site #201 in the E. Clayton NCP Area. The new elementary school is expected to open by 2014 and will relieve overcrowding at Hazelgrove and Clayton. Additional school sites are also being assembled north of 72 Avenue including two new elementary school sites and a new secondary school in the North Clayton Area. The construction of a new elementary and future secondary school North of 72 Ave are subject to capital funding approval by the Province. The proposed development will not have an impact on the long term projections.

Clayton Elementary



Clayton Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7911-0291-00
Project Location: 7241 - 192 Street, Surrey, B.C.
Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is located in a strong new growth area in East Clayton, which has become defined by hundreds of single family residential compact lot homes in the RF-12, RF-12C, RF-9, and RF-9C zones, in addition to zero lot line dwellings developed under the RF-SD zone. These dwellings are all constructed within the context of the greater sustainable development region in East Clayton which also includes numerous multifamily zonings as well as local light commercial zones. The form and character of East Clayton is now well defined and all new residential developments must now be treated as infill developments to ensure continuity within East Clayton.

East of the subject site (east side of 192 Street) is a C-5 (Neighbourhood Commercial Zone) property that has not yet developed (the site is vacant). Also on the east side of 192 Street, but north of the C-5 site, is a recently completed RF-SD development. The dwellings are all new (year 2010) RF-SD zoned side-by-side zero-lot-line dwellings. These homes can all be considered desirable manifestations of the "Neo-Heritage" style. Each dwelling has a single storey front entrance veranda. The homes have desirable asymmetrical massing designs that makes the structures appear as though two dwellings are one larger single family dwelling. The homes have a 6:12 pitch main common hip roof with street facing gable projections at slopes ranging from 12:12 to 14:12. All homes have a shake profile asphalt shingle roof surface. The homes are clad in vinyl cladding, and have either Hardi-shingles or vertical wood battens over Hardipanel at the gable ends. The trim and detailing standards are high. There is a transparent cross-brace fence design at the front lot line with shrubs forward of fence. These dwellings provide excellent architectural context for the CD dwellings proposed to be located on lots 5,6,7 fronting 192 Street.

Adjacent to the west side of the subject site is a proposed new RF-12 zone development. The property adjacent to the north side of the subject site is a 39 lot RF-9C, RF-12C and RF-SD site, that can be considered Phase 1, with the subject site considered phase 2 of a two phase project. Therefore, to ensure continuity, regulations context for the subject site will be derived from the building scheme for Surrey project 7910-0177-00.

1.2 Prevailing Features of the Existing and Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) Context Homes : Context for RF-12C and RF-9C homes can be found throughout East Clayton. Building scheme regulations for the subject site will be derived substantially from building scheme regulations at the adjacent site to the north; 7910-0177-00.
- 2) Style Character : “Neo-Traditional”, “Neo-Heritage” and "Craftsman Heritage" styles define the character of East Clayton including areas near the subject site.
- 3) Home Types : Dominance of Two-Storey home type. All homes in the surrounding area are Two-Storey type. There are no Basement Entry homes in this area.
- 4) Massing Designs : Surrounding new homes provide desirable massing context. The homes are well balanced and correctly proportioned.
- 5) Front Entrance Design : RF-12 and RF-12C homes in the surrounding area have entrances ranging from one to 1 ½ storeys in height.
- 6) Exterior Wall Cladding : Vinyl is clearly dominant. All homes have gable ends articulated with cedar shingles, Hardi shingles, or vertical 1x4 or 1x6 wood battens over Hardipanel.
- 7) Roof surface : All homes have a shake profile asphalt shingle roof surface.
- 8) Roof Slope : Roof pitch on the upper floor roof ranges from 6:12 to 8:12. Roof slopes on street facing feature gable projections range from 8:12 to 14:12.

Dwelling Types/Locations:	Two-Storey.....	100%
	Basement Entry/Cathedral Entry	0%
	Rancher (bungalow).....	0%
	Split Levels.....	0%

Exterior Treatment /Materials: Context homes are clad in vinyl with wood wall shingles or Hardipanel with 1x4 vertical wood battens at gable ends.

Roof Pitch and Materials: All homes at context site have a shake profile asphalt shingle roof.

Window/Door Details: Rectangular dominant.

Streetscape: North, west, and south of the subject site are either large land parcels, or vacant lots soon to be developed. East of the subject site are several "Neo-Heritage" style pairs of zero lot line dwellings that have been designed to appear as a larger single family home (rather than appear as a mirror image duplex). The homes have mid-scale massing designs with mass allocations distributed in a proportionally correct and balanced manner across the façade. The homes all have covered entrance verandas. Main roof forms are common hip or common gable at a 6:12 to 8:12 slope. All homes have common gable projections at slopes ranging from 12:12 to 14:12 articulated with either cedar shingles or with Hardiboard and 1x4 vertical wood battens. All homes have a shake profile asphalt shingle roof and all are clad in vinyl. The colour range includes only natural and neutral hues. Landscaping meets a common standard.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: “Neo-Traditional”, “Neo-Heritage”, or “Craftsman-Heritage”. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

New RF-12C homes shall be consistent with other new RF-12C homes in the surrounding area. Homes will therefore be “Neo-Traditional”, “Neo-Heritage”, and “Craftsman Heritage” styles only. New homes will have: similar home types and sizes, similar massing characteristics, similar roof types, roof pitch, roofing materials, and similar siding materials.

Exterior Materials/Colours:

Stucco, Cedar, Vinyl, Hardiplank, Brick, and Stone. “Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. “Primary” colours in subdued tones such as navy blue or colonial red can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, or neutral.

Roof Pitch:

Minimum 8:12.

Roof Materials/Colours:

Only Shake profile asphalt shingles with a raised ridge cap. Minimum 30 year warranty. Grey or brown only.

In-ground basements:

Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.

Treatment of Corner Lots:

There are no corner lots.

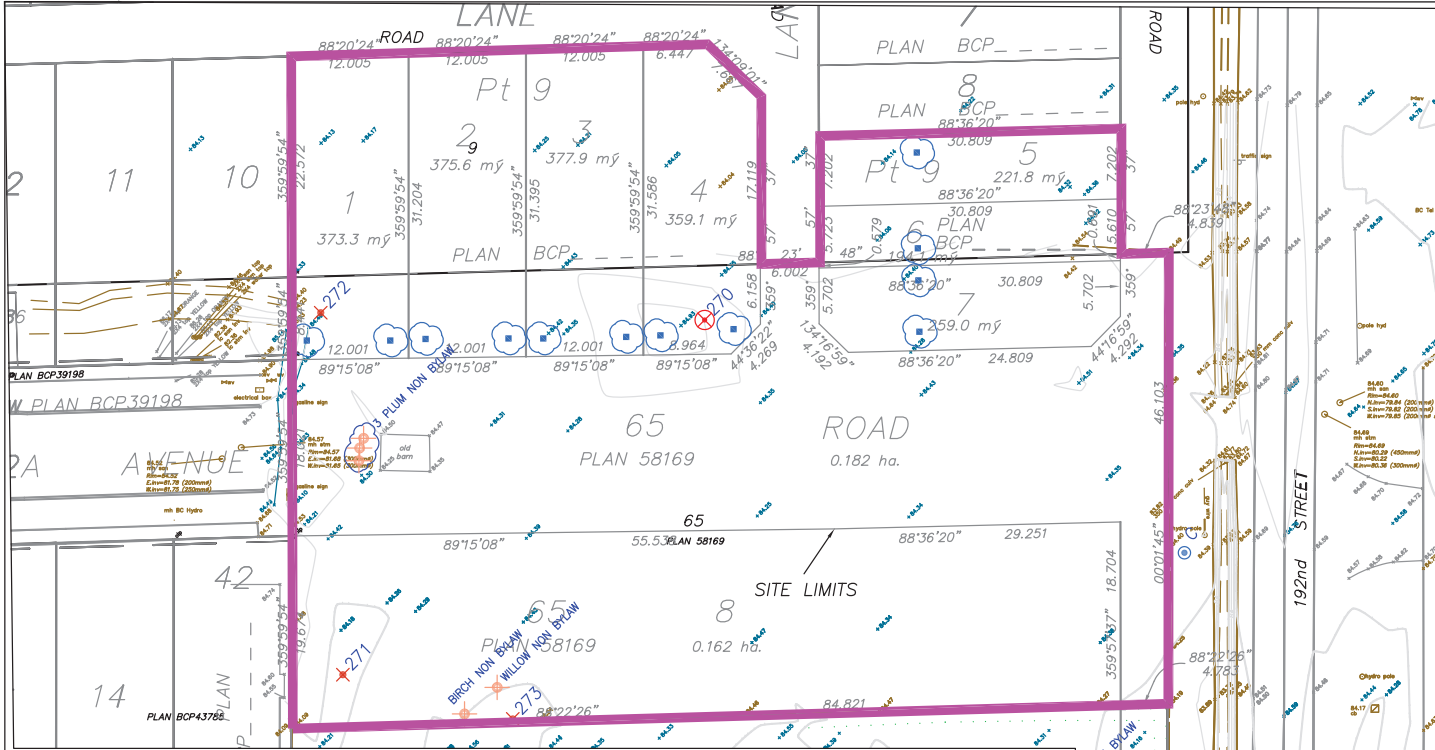
Landscaping:

Moderate modern urban standard: Tree planting as specified on Tree Replacement Plan plus minimum 15 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways (all are rear lane access): exposed aggregate, interlocking masonry pavers, stamped concrete, and broom finish concrete.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. Date: Dec 15, 2011

Reviewed and Approved by:  Date: Dec 15, 2011



PLANT LIST:
Please use BOTANICAL NAME when ordering plant material.

SMALL MATURE SIZE:			
CODE	CAL/HT	BOTANICAL NAME	COMMON NAME
AC	2.0m	Acer circinatum	Wine Maple
APALM	5cm col.	Acer palmatum	Japanese Maple
CF	5cm col.	Cornus florida	Flowering Dogwood
CC	5cm col.	Cercis canadensis	Saleoster
CK	5cm col.	Cornus kousa	Kousa dogwood
CM	3.0m	Corylus maxima var. purpurea	Purple Giant Filbert
MAG	3.0m	Magnolia spp.	Magnolia
SJ	5cm col.	Styrax japonicus	Japanese snowbell
MEDIUM MATURE SIZE:			
CODE	CAL/HT	BOTANICAL NAME	COMMON NAME
ACM	5cm col.	Acer composte	Winged Maple
ACAP	5cm col.	Acer oppositifolium	Colliseum Maple
AGRI	5cm col.	Acer griseum	Paperbark Maple
AR	5cm col.	Acer rubrum	Red Maple
AT	5cm col.	Acer teguminosum	Snakebark Maple
CB	5cm col.	Corpinus betulus 'Fastigiata'	Fastigiata hornbeam
CJ	5cm col.	Cercidiphyllum japonicum	Kotsuratsue
CNP	3.0m	Chamaecyparis nootkatensis 'Pan'	Weeping Yellow Cedar
FSD	5cm col.	Fagus sylvatica 'Dawyli'	Fastigiata Beech
OT	5cm col.	Ostrya tinctoria 'Inermis'	Honey locust var
LL	3.0m	Larix laricina	Tamarack
SW	5cm col.	Stewartia pseudocamellia	Japanese Stewartia
PO	3.0m	Picea canadica	Serbian spruce
ZS	5cm col.	Zelkova serrata	Japanese Zelkova

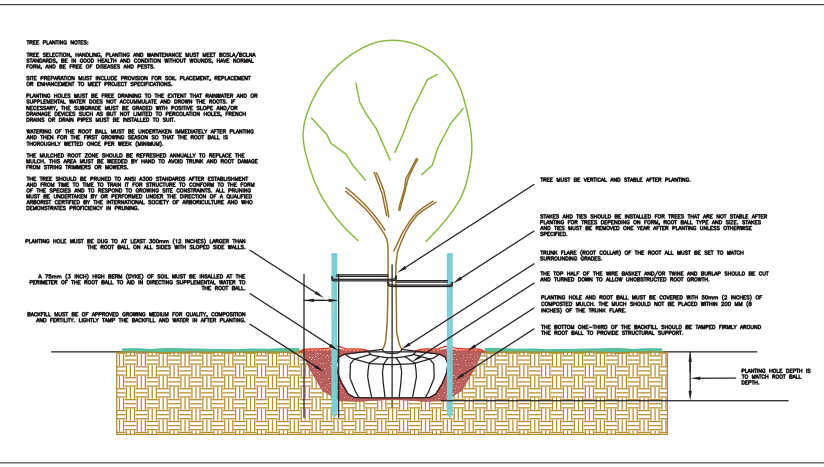
TREE ASSESSMENT AND REPLACEMENT DRAWING - PH4 SF

Client: LEGENDARY DEVELOPMENT
Project: PROPOSED RESIDENTIAL DEVELOPMENT
Address: 7241/7287 192nd Street, Surrey
Date: 12 JANUARY 2012
Our File: 11-1324

Muni File: _____
Scale 1:500

PLANTING NOTES:

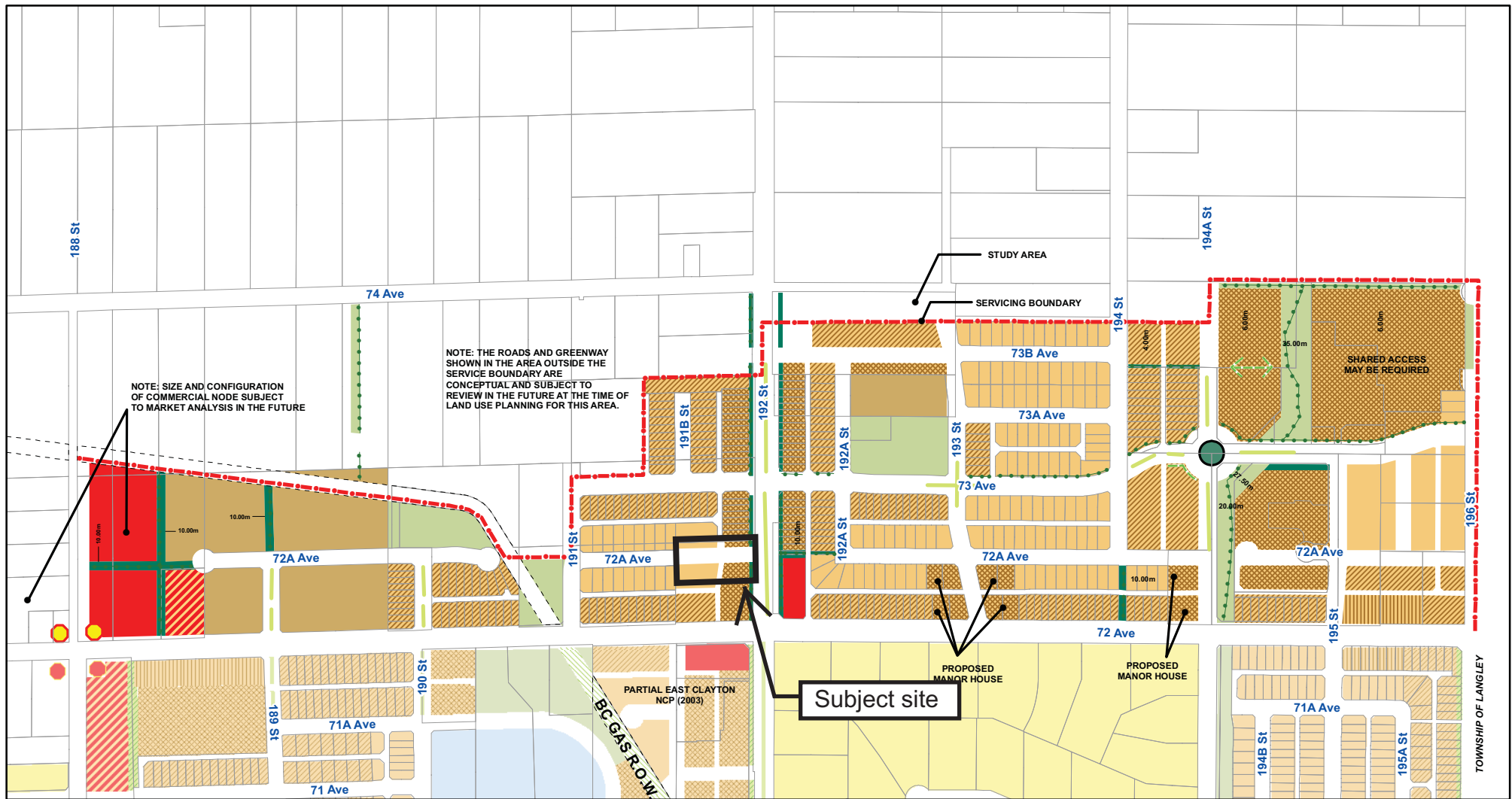
- This plan is a conceptual schematic of replacement tree planting requirements. Actual selections of species and siting must conform to the Municipal standards. Replacement trees should be planted at least 1.0 m from any property line and at least 2 m from any roads, lanes, catch basins, lawn drains and other infrastructure, and at least 3 m from buildings.
- The species choices are for consideration only. If alternate species are desired by the owner, the species must conform to the municipal standards, and should conform to the size and form of the tree species that is recommended for that location (i.e. small, medium or large at maturity and/or columnar, pyramidal or wide spreading crown).
- Trees are to conform to current BCSLA/BCNTA standards covering specifications for quality, selection, site preparation, handling of plants, planting methods, staking and establishment maintenance. On disturbed sites such as new subdivisions, the underlying soil is usually heavily compacted and organic stripped and by construction activities. Preparation of the subsoil by ensuring positive drainage and reducing compaction by tilling is strongly recommended. Addition of suitable growing medium and/or soil amendments with incorporation into the existing subsoil are good strategies to help to provide a productive growing environment for the establishment and long life of the planted trees. Planting holes should be free draining, if the site has clayey or other highly compacted sub-soils, some drainage provisions to avoid saturated root balls must be taken. These may consist of trench drains or similar features.
- Watering of the root ball on a frequency suitable to the weather is required for at least one growing season after planting. The intent is to water sufficiently that the root ball is kept moist, but not too wet. All stakes and related hardware should be removed within one year of planting.
- Trees must have the wire or twine removed and burlap turned down from the top half of the root ball, even if the nursery supplier recommends that it be kept intact.
- The planting site for replacement trees would ideally be finished as planting beds with additional shrubs and/or herbaceous ground cover (i.e. not grass lawn) to complement the trees. If trees are planted within a lawn area, the grass should be excluded from a much circle of at least 1.0m radius around each tree, where hand weeding is favoured over string trimmers and mowers due to the potential for trunk and root damage from such mechanical devices. The owner should note that trees correctly planted will not usually require supplemental irrigation after the one year establishment period. Watering of lawns and shrubs in the vicinity of trees will actually promote the development of shallow and surface oriented roots, making the trees more susceptible to drought stress and cause potential for roots to be damaged by mowers in the long term.
- Future tree maintenance should include a review of structural pruning requirements within the first five years. The trees should not be topped or headed back. All pruning cuts should be made to proper arboricultural standards. It is recommended that any treatment to replacement trees be undertaken by a qualified ISA certified arborist who can demonstrate pruning proficiency.



LEGEND - TREE RETENTION

- 8 denotes TREE NUMBER. Refer to tree inventory for type, size and condition.
- denotes BYLAW tree to be RETAINED.
- ✗ denotes BYLAW tree to be REMOVED.
- ⊗ denotes BYLAW ALDER/COTTONWOOD tree to be REMOVED.
- + denotes UNDER BYLAW SIZE TREE to be REMOVED. Species and size as noted. (subject to city review of protected tree status)
- denotes OFFSITE tree requiring REFERRAL to CITY PARKS DEPARTMENT for removal (see Report)
- ⊙ denotes REPLACEMENT TREE to be planted. Refer to plant list for species and site specifications.

Plan Note:
1. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provided by the owners' Engineer (P Eng) and/or Design Consultants.
2. This plan is provided for content only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original plans for those purposes.



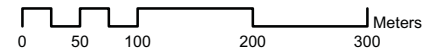
- 6-10 u.p.a. (Low Density)
- 22-45 u.p.a. (High Density)
- 10-15 u.p.a. Special Residential
- Neighbourhood Commercial
- 10-15 u.p.a. (Medium Density)
- Commercial / Residential
- 15-25 u.p.a. (Medium-High Density)
- Special Treatment of Street, Traffic Calming

- Public Open Space / Park
- Special Setback, Landscaping Buffers or Corridors (Landscaping Areas on Private Property)
- Urban Landmark
- Multi-Use Pathway on Public Land or on Private Property with a Public Use Right-of-Way
- Pedestrian Corridor on Private Property (Internal)

EAST CLAYTON NCP EXTENSION - NORTH OF 72 AVENUE LAND USE PLAN

CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT

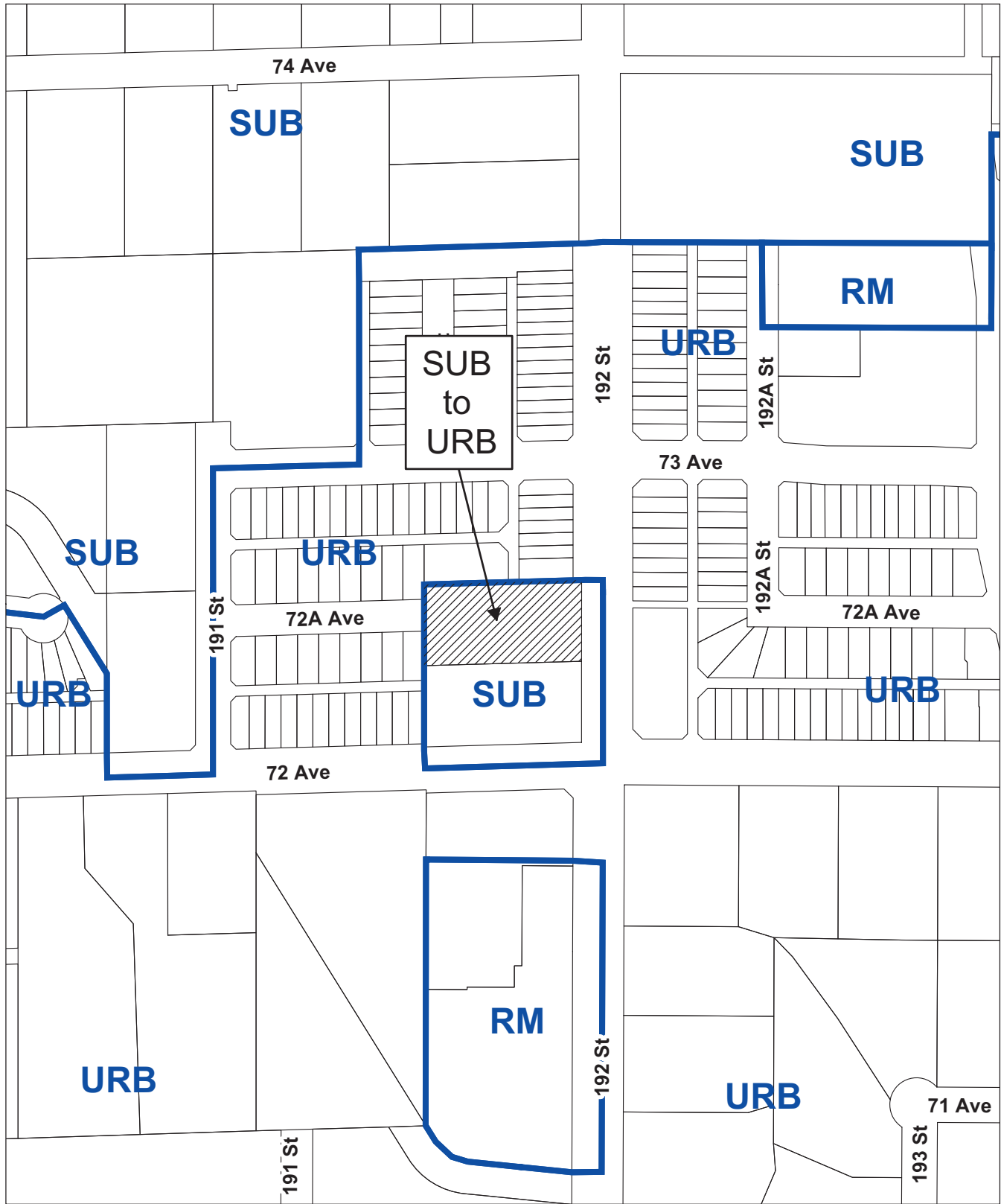
Approved By Council on June 27, 2005
Amended 14 Dec 2011



Printed: March 8, 2009

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OCP Amendment

Proposed amendment from Suburban to Urban

