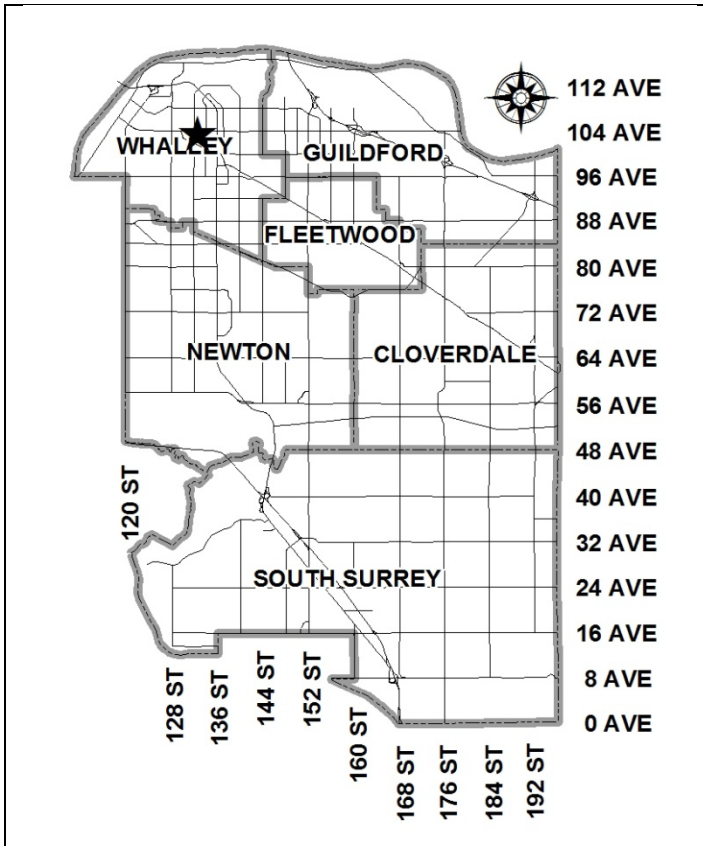


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7911-0324-00

Planning Report Date: February 6, 2012



PROPOSAL:

- **Temporary Commercial Use Permit**

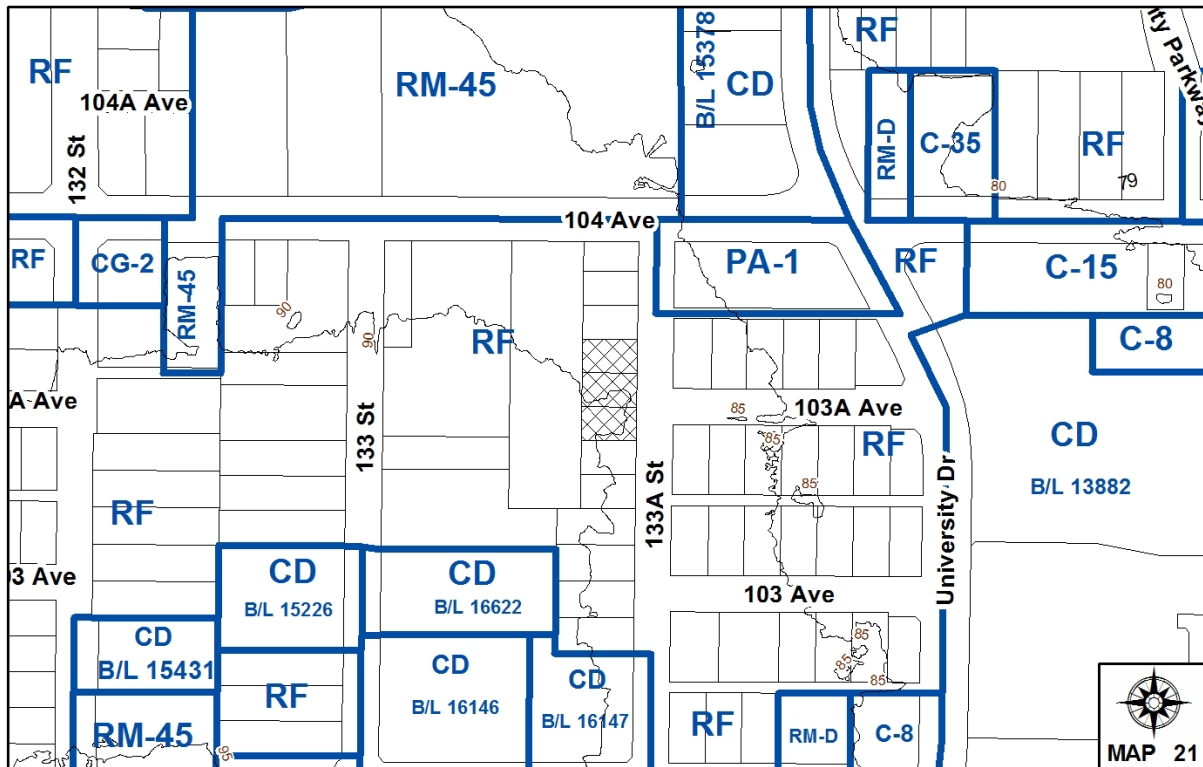
in order to permit the development of a temporary real estate sales centre for a proposed residential high-rise and townhouse project in Surrey City Centre.

LOCATION: 10363, 10353 & 10345 - 133A Street

OWNER: Weststone Properties 104 Ltd.

ZONING: RF

OCP DESIGNATION: Multiple Residential



RECOMMENDATION SUMMARY

- Approval for the Temporary Commercial Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed Temporary Commercial Use Permit (TUP) is for a real estate sales centre for the nearby Phase 3 of the "Ultra Urban Village" high-rise residential tower and townhouse project (approved Development Application No. 7906-0520-00). The Phase 3 Ultra Urban Village development site is located to the southwest of the proposed sales centre site.
- The Phase 3 Ultra Urban Village (Development Application No. 7906-0520-00) is intended to be fully excavated to provide the underground parking. Due to the excavation, the associated sales centre must be located off-site.
- The applicant will post a \$5,000.00 bond to ensure the removal of the temporary building and restoration of the site to its original condition.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Commercial Use Permit No. 7911-0324-00 (Appendix III) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering; and
 - (b) submission of security to ensure that the site is restored following termination of the Temporary Commercial Use Permit.

REFERRALS

Engineering: The Engineering Department has no requirements related to the issuance of the Temporary Use Permit as outlined in Appendix II.

SITE CHARACTERISTICS

Existing Land Use: Vacant single family lots, currently occupied by a construction trailer.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling.	Multiple Residential	RF
East (Across 133A Street):	Single family dwellings.	City Centre	RF
South:	Single family dwelling.	Multiple Residential	RF
West:	Temporary water retention pond for the Ultra development site.	Multiple Residential	RF

DEVELOPMENT CONSIDERATIONS

- The subject site at 10345, 10353, and 10363 – 133A Street in City Centre is designated Multiple Residential under the Official Community Plan (OCP) and is zoned Single Family Residential Zone (RF).
- The applicant has applied for a Temporary Commercial Use Permit to permit the development of a temporary real estate sales centre on the site, with associated parking.

- The proposed temporary real estate sales centre will be used as a sales office for the high-rise residential tower and townhouse project currently under construction (called "Ultra Urban Village") located at 10290 – 133 Street (Development Application No. 7906-0520-00 approved by Council on April 12, 2010).
- The 223-square metre (2,400 sq. ft.) sales centre will contain a sales area and offices, as well as a mock-up of a one-bedroom suite.
- A surface parking lot, with spaces for 12 vehicles, will be constructed just north of the sales centre with access from two existing driveways on 133A Street. The parking lot will be surfaced with crushed gravel.
- The Temporary Commercial Use Permit will be in effect for three years, which should be sufficient time for the applicant to finalize the sale of all of the 362 apartment and 11 townhouse units for the Phase 3 of Ultra Urban Village.

PRE-NOTIFICATION

- Pre-notification letters were mailed on January 16, 2012 and the development proposal sign was installed on January 27, 2012. Staff received no telephone calls or letters in response.

DESIGN PROPOSAL AND REVIEW

- The proposed sales centre will be a single-storey building, with a total building area of 223 square metres (2,400 sq. ft.). The proposal is to convert the construction trailer, currently located on the subject site, into the sales centre.
- There are no protected trees located on the subject site.
- The building materials will include timber, and metal flat sheet siding. The front façade of the proposed building will include a raised polycarbonate roof supported by glulam posts (a structural timber product), and planter boxes with painted-out plywood with decorative batten.
- A surface parking lot, with spaces for 12 vehicles, will be constructed just north of the sales centre with access from two existing driveways on 133A Street.
- The parking lot will be surfaced with crushed gravel.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary
- Appendix II. Engineering Summary
- Appendix III. Temporary Commercial Use Permit No. 7911-0075-00 (includes Site Plan and Elevations)

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Ken Chow
 Pioneer Consultants Ltd.
 Address: 1933 West Broadway
 Vancouver, BC V6J 1Z3

 Telephone: 604-737-0333 - Work
 604-737-0333 - Cellular

2. Properties involved in the Application
 - (a) Civic Addresses: 10363, 10353, & 10345 - 133A Street

 - (b) Civic Address: 10363 - 133A Street
 Owner: Weststone Properties 104 Ltd
 PID: 011-366-974
 Lot: Lot 4, Section 27, Bock 5 North Range 2 West New Westminster District, Plan 8960

 - (c) Civic Address: 10353 - 133A Street
 Owner: Weststone Properties 104 Ltd
 PID: 011-366-991
 Lot: Lot 5, Section 27, Bock 5 North Range 2 West, New Westminster District, Plan 8960

 - (d) Civic Address: 10345 - 133A Street
 Owner: Weststone Properties 104 Ltd
 PID: 011-367-008
 Lot: Lot 6, Section 27, Bock 5 North Range 2 West, New Westminster District, Plan 8960

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Temporary Commercial Use Permit No. 7911-0324-00

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **January 31, 2012** PROJECT FILE: **7811-0324-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 10363/53/45 133A Street**

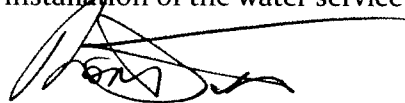
TEMPORARY USE PERMIT

There are no engineering requirements relative to issuance of the Temporary Use Permit.

The following issues are to be addressed as a condition of issuance of the subsequent Building Permit for the temporary Sales Centre application:

- Install new water and sanitary connection from the mains and abandon all existing connection as they are greater than 30 years old;
- Address on-site stormwater management, follow the City Centre drainage mitigation measures and confirm that the existing site servicing is adequate; and
- The on-site fire protection requirements must be reviewed and may require additional improvements to the building to meet the B.C. Building Code.

A Servicing Agreement is not required for the proposed Development Permit. The driveway crossing, sanitary and storm connections can be constructed subject to issuance of a City Road and Right-of-Way Permit obtainable as part of the Building Permit review and processing by Engineering which includes payment of securities and permit fees. City crews will do the installation of the water service once payment has been made and a work order has been issued.



Rémi Dubé, P.Eng.
Development Services Manager

sk

CITY OF SURREY

(the "City")

TEMPORARY COMMERCIAL USE PERMIT

NO.: 7911-0324-00

Issued To: WESTSTONE PROPERTIES 104 LTD.

("the Owner")

Address of Owner: #2, 5965 - 205A Street
Langley, BC V3A 8C4

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-366-974

Lot 4, Section 27 Block 5 North Range 2 West New Westminster District Plan 8960
10363 - 133A Street

Parcel Identifier: 011-366-991

Lot 5, Section 27 Block 5 North Range 2 West New Westminster District Plan 8960
10353 - 133A Street

Parcel Identifier: 011-367-008

Lot 6, Section 27 Block 5 North Range 2 West New Westminster District Plan 8960
10345 - 133A Street

(the "Land")

3. The Land has been designated as a Temporary Commercial Use Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
4. The temporary use permitted on the Land shall be:
 - (a) A real estate sales centre and associated surface parking lot.
5. The temporary use shall be carried out according to the following conditions:
 - (a) The appearance and location of the sales centre, access and parking area shall be as shown on Appendix II which is attached hereto and forms part of this permit;
 - (b) Parking is restricted to vehicles less than 5,000 kilograms [11,000 lbs.] GVW;

- (c) The parking surface shall be of a dust-free material such as crushed gravel;
 - (d) Upon the termination of this Temporary Use Permit, the real estate sales centre shall be removed and the land restored to its original condition.
6. Alternatives to standard servicing requirements as documented in the "Surrey Subdivision and Development By-law" may be approved as part of this Temporary Commercial Use Permit.
 7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000

8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
9. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
10. This temporary use permit is not transferable.
11. This temporary use permit shall lapse on or before three years from date of issuance

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor - Dianne L. Watts

City Clerk - Jane Sullivan

J. Sullivan
Feb/2017

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

Name (Please Print)

Owner: Signature

Name: (Please Print)

John Thirsd
EXECUTIVE VICE PRESIDENT
WESTSTONE PROPERTIES LTD

OR

→ Phil Feb/2010.

TO THE CITY OF SURREY:

I, John Thirral (WESTSTONE PROPERTIES Ltd) (Name of Owner)

being the owner of lots 4, 5, 6 - NEW WESTMINSTER DISTRICT PLAN 8960
(Legal Description)

known as 10363/53/45 - 133 A STREET SURREY,
(Civic Address)

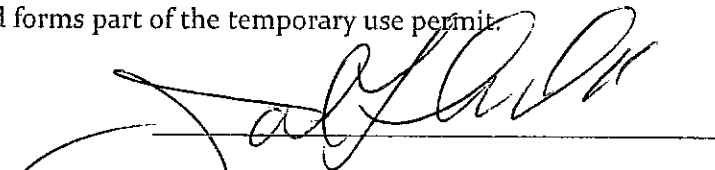
hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

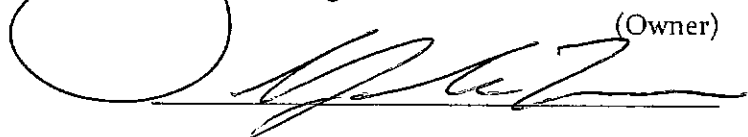
all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.


This undertaking is attached hereto and forms part of the temporary use permit.

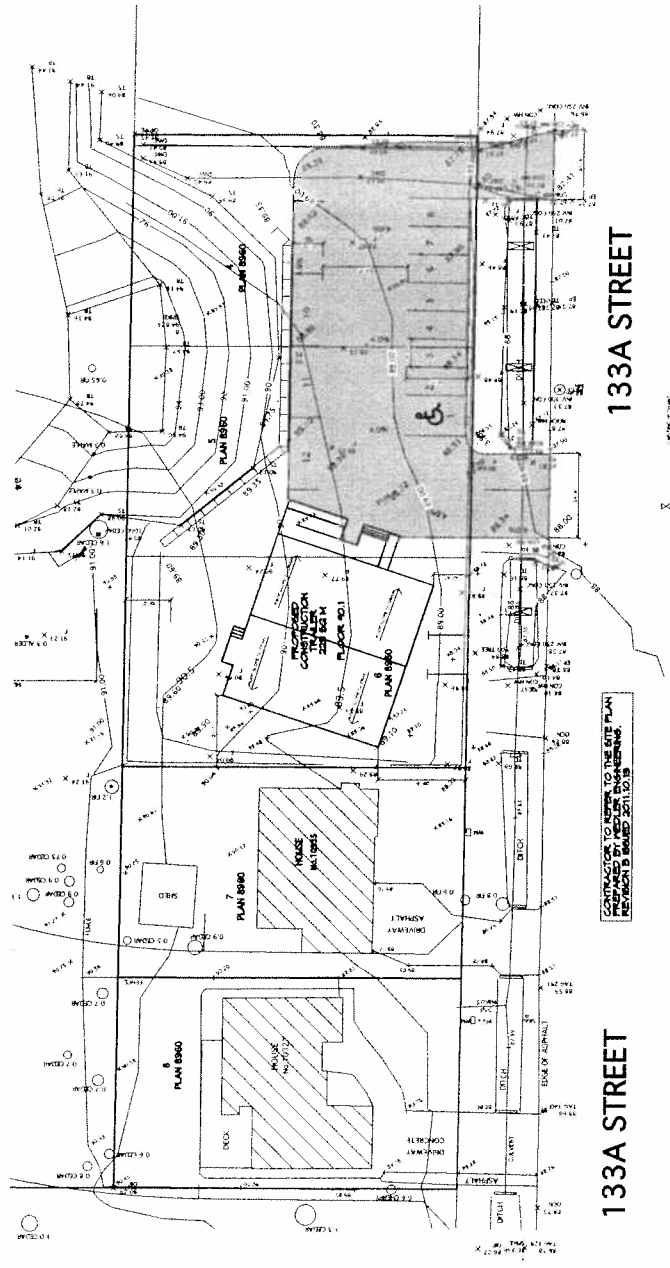


(Owner)



(Witness)

 <p>FALSE CREEK DESIGN GROUP FALSE CREEK DESIGN GROUP LTD. 1008 Main Street Vancouver, BC V6A 2W1 CANADA P 604.688.3111 F 604.688.4333</p>	DRAWN: [Blank] DATE: [Blank]
	PROJECT: [Blank] DATE: 01/28/2011 SCALE: 1" = 1'-0" DRAWN BY: BS CHECKED BY: JM
PROJECT NAME: [Blank] DATE: [Blank]	WESTSTONE ULTRA VILLAGE CONSTRUCTION TRAILER 10345 133A STREET SURREY, BC
PROJECT NO: 1373 DRAWING NO: ID.01	SITES: The SITE PLAN



133A STREET

133A STREET



FALSE CREEK DESIGN GROUP LTD.
 1008 MAIN STREET
 VANCOUVER, BRITISH COLUMBIA V6A 2M1, CANADA
 P 604-688-3131 F 604-688-4333

THIS DOCUMENT IS THE PROPERTY OF FALSE CREEK DESIGN GROUP LTD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FALSE CREEK DESIGN GROUP LTD.

DATE: 09/28/2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 1373

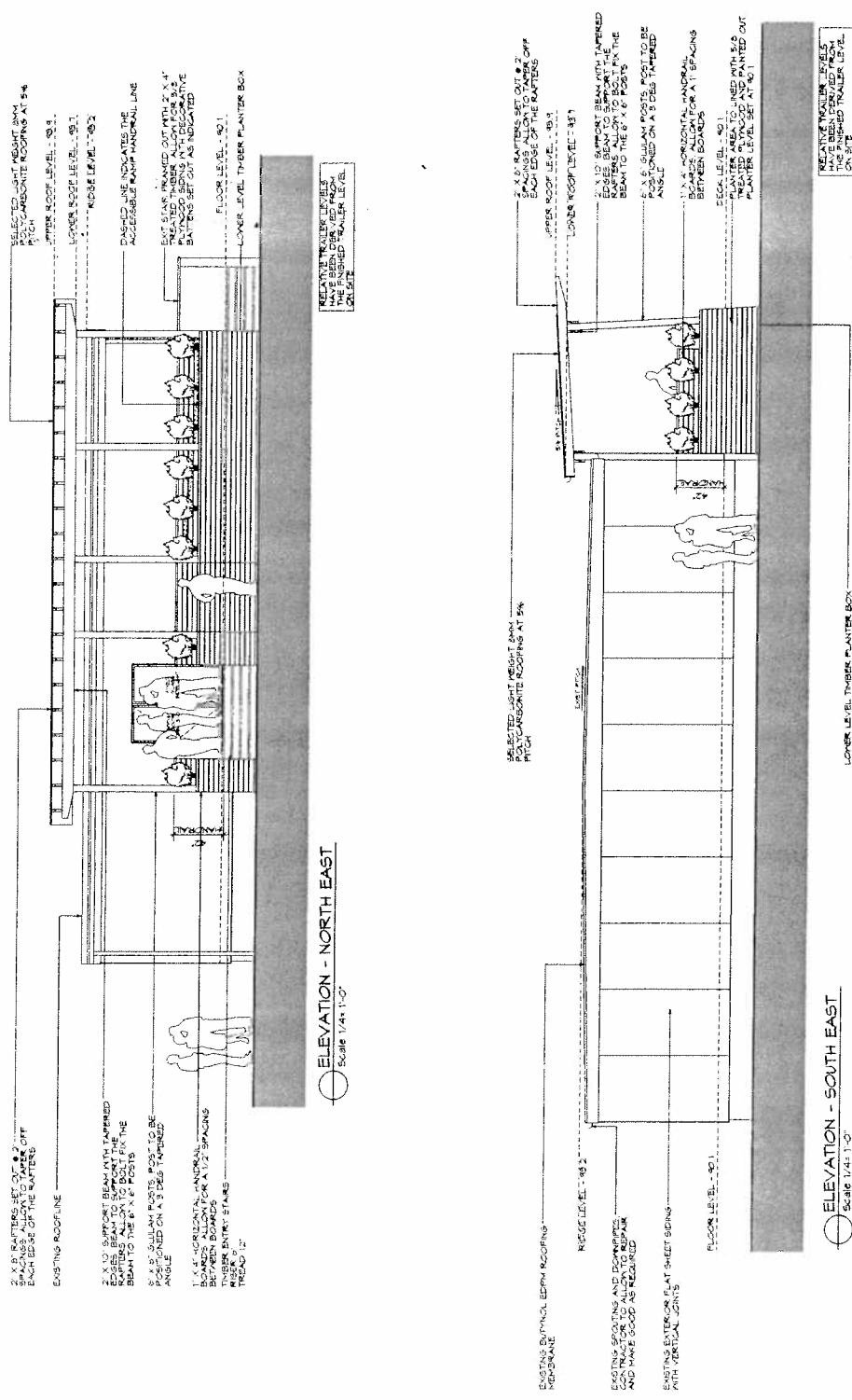
DESCRIPTION: [Blank]

WESTSTONE
 ULTRA VILLAGE
 CONSTRUCTION
 TRAILER
 10345 133A STREET
 SURREY, BC

DATE: 09/28/2011
 SCALE: 1/2" = 1'-0"
 DRAWN BY: BS
 CHECKED BY: JM

Drawing Title:
 EXTERIOR
 ELEVATIONS

Project No: 1373 ID.12
 Drawing No: [Blank]





FALSE CREEK DESIGN GROUP LTD.
 1008 Main Street
 Delta, BC, CANADA
 P 604.689.4333

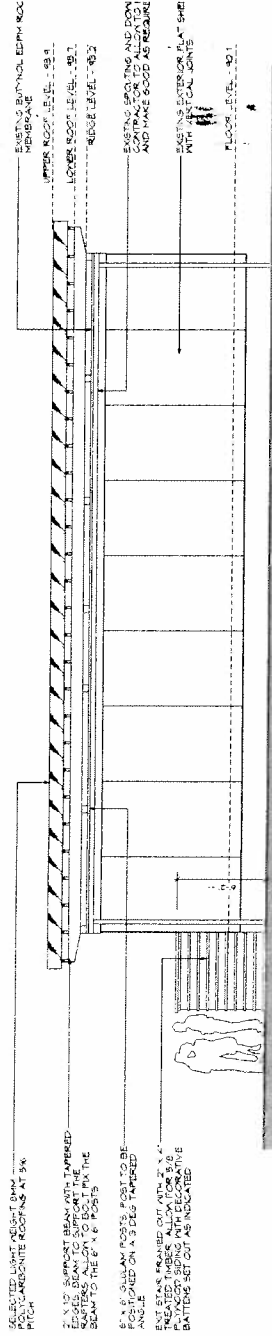
WE warrant that the work shall be performed in accordance with the applicable building codes and standards and that the work shall be completed within the time specified in the contract documents. We warrant that the work shall be free from defects in materials and workmanship at the time of completion. We warrant that the work shall be completed in accordance with the contract documents. We warrant that the work shall be completed in accordance with the contract documents.

Project Name	Date
WESTSTONE	09/22/2011
ULTRA VILLAGE CONSTRUCTION TRAILER	1/7" = 1/8"
10345 133A STREET SURREY, BC	85
Checked By	JM

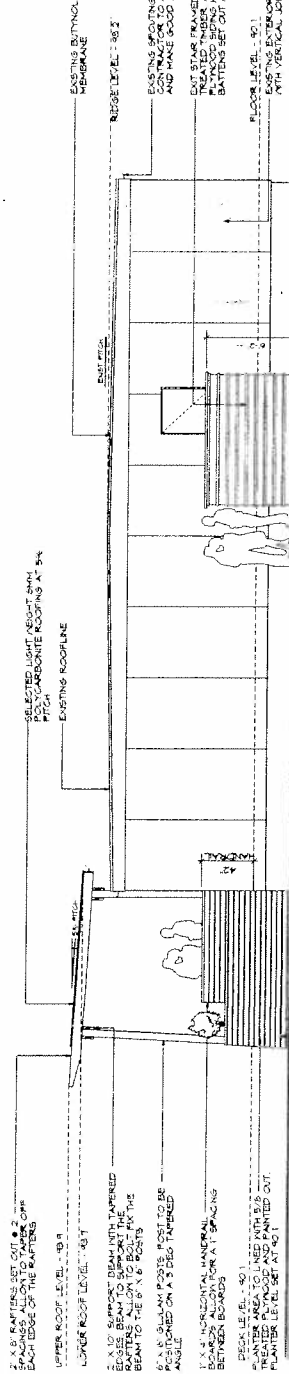
WESTSTONE
ULTRA VILLAGE CONSTRUCTION TRAILER
 10345 133A STREET SURREY, BC

EXTERIOR ELEVATIONS

Project No: **1373** ID: **13**

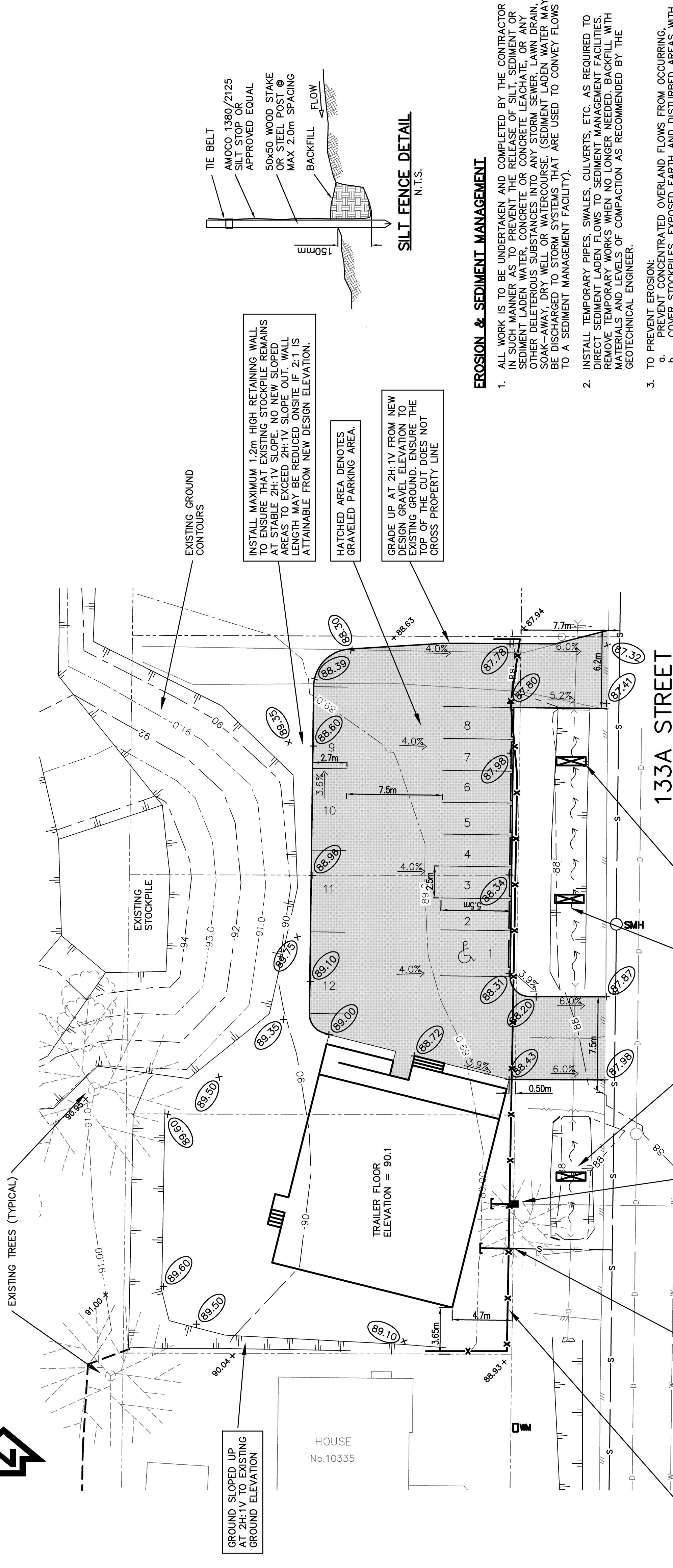


ELEVATION - SOUTH WEST
 Scale 1/4" = 1'-0"



ELEVATION - SOUTH EAST
 Scale 1/4" = 1'-0"

LOWER LEVEL TRUCK PLANTER BOX



INSTALL SILT FENCE AROUND THE LOWER PORTION OF THE SITE OR ANYWHERE SILT IS TO BE REMOVED. LEAVE THE SILT FENCE DETAIL FOR SILT FENCE DETAIL FOR ADDITIONAL DETAILS.

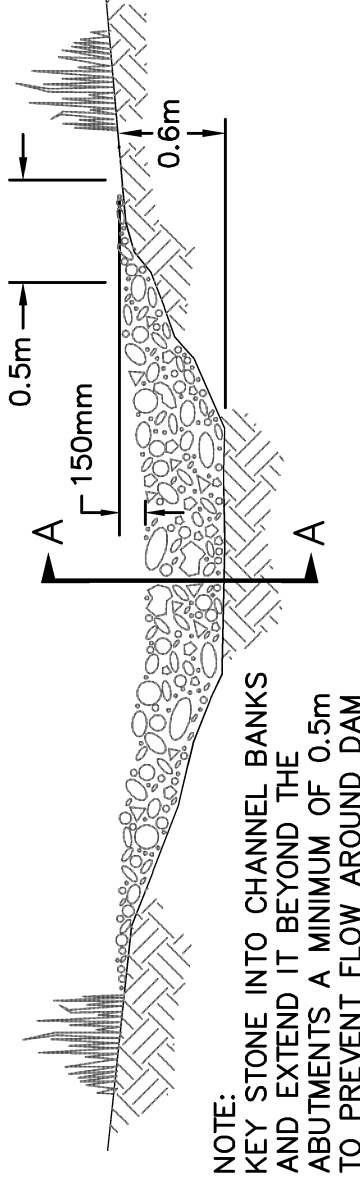
LOCATE EXISTING SANITARY SEWER CONNECTION AT PROPERTY LINE AND EXTEND TO TRAILER FOR SERVICE HOOK UP. FLUSH EXISTING SERVICE CONNECTION BEFORE FINAL HOOK UP.

TEMPORARY BENCHMARK: SPIKE IN POWER POLE SET AT ELEVATION 87.95

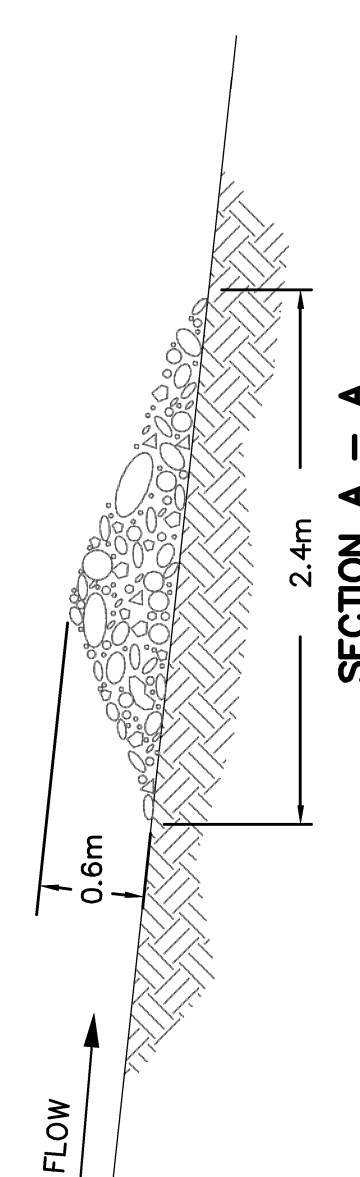
ROOF RAINWATER LEADERS TO USE DOWN SPOUTS WITH SPLASH PADS. AND SURFACE DRAIN TO EXISTING DITCH.

MANTAIN EXISTING WATER AND SANITARY SERVICE LINES TO SERVICE NEW BUILDING. ENSURE EXISTING SERVICES ARE IN GOOD WORKING ORDER.

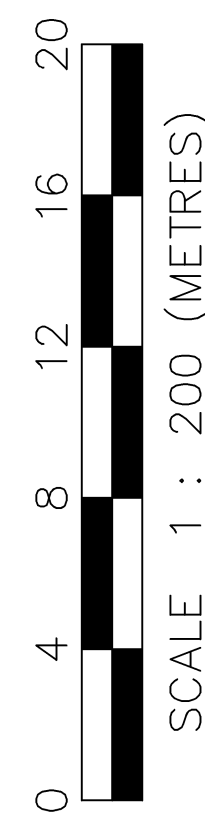
INSTALL (3) ROCK DAMS ALONG EXISTING DITCH AS PER DETAIL BELOW



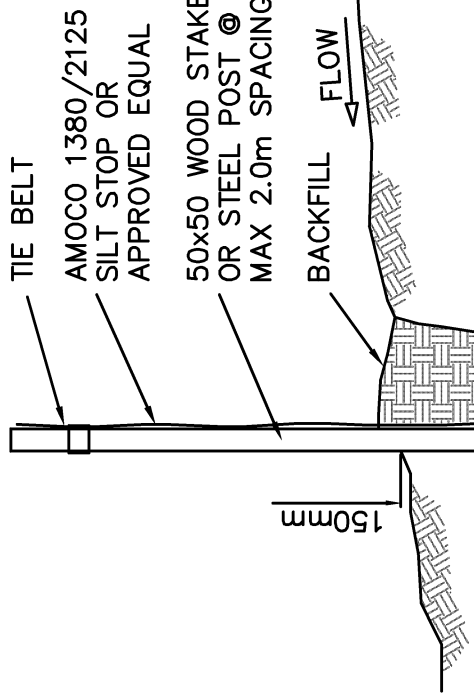
VIEW LOOKING UPSTREAM



L' = THE DISTANCE SUCH THAT POINTS 'A' AND 'B' ARE OF EQUAL ELEVATION.



ROCK CHECK DAM DETAIL N.T.S.



SILT FENCE DETAIL N.T.S.

EROSION & SEDIMENT MANAGEMENT

- ALL WORK IS TO BE UNDERTAKEN AND COMPLETED BY THE CONTRACTOR IN SUCH MANNER AS TO PREVENT THE RELEASE OF SILT, SEDIMENT OR SEDIMENT LADEN WATER, CONCRETE OR CONCRETE LEACHATE, OR ANY OTHER DELETERIOUS SUBSTANCES INTO ANY STORM SEWER, LAWN DRAIN, SOAK-AWAY, DRY WELL OR WATERCOURSE. (SEDIMENT LADEN WATER MAY BE DISCHARGED TO STORM SYSTEMS THAT ARE USED TO CONVEY FLOWS TO A SEDIMENT MANAGEMENT FACILITY).
- INSTALL TEMPORARY PIPES, SWALES, CULVERTS, ETC. AS REQUIRED, TO DIRECT SEDIMENT LADEN FLOWS TO SEDIMENT MANAGEMENT FACILITIES. REMOVE TEMPORARY WORKS WHEN NO LONGER NEEDED. BACKFILL WITH MATERIALS AND LEVELS OF COMPACTION AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- TO PREVENT EROSION:
 - PREVENT CONCENTRATED OVERLAND FLOWS FROM OCCURRING, STRAW OR BY OTHER COVERINGS.
 - LIMIT CLEARING AS MUCH AS POSSIBLE TO AREAS TO BE IMMEDIATELY WORKED.
- PREVENT WIND BLOWN EROSION BY WATERING, COVERING EXPOSED EARTH OR BY OTHER APPROVED MEASURES.
- EROSION & SEDIMENT MANAGEMENT WORKS SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO ANY WORK IN THE AREA FOR WHICH THE EROSION & SEDIMENT MANAGEMENT WORKS ARE INTENDED, INCLUDING CLEARING AND EARTHWORKS.
- ALL EROSION & SEDIMENT MANAGEMENT WORKS TO BE MAINTAINED BY THE CONTRACTOR AT ALL TIMES TO ASSURE PROPER OPERATION. REPLACEMENT OF FENCES AND/OR BERMS, THE FLUSHING OF SEWERS AND THE CLEANING OF PUMPS MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.
- REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT FROM SEDIMENT MANAGEMENT FACILITIES ON OR BEFORE SEDIMENT REACHING ONE THIRD THE HEIGHT OF THE FACILITY.
- MONITOR EROSION AND SEDIMENT MANAGEMENT WORKS AT LEAST ONCE PER WEEK AND AFTER HEAVY RAIN OR SNOW MELT EVENTS.
- PRIOR TO CONSTRUCTION ACTIVITIES, CONTRACTOR TO CLEAN EXISTING SUMPS AND FIT EXISTING CATCH BASINS & LAWN DRAINS WITH A FILTEREX INLET SOXX OR APPROVED EQUIVALENT TO PREVENT SEDIMENT FROM ENTERING ANY STORM SYSTEMS. DO NOT USE FILTER FABRIC.
- IMMEDIATELY UPON INSTALLATION, THE CONTRACTOR SHALL FIT ALL NEW CATCH BASINS WITH A FILTEREX INLET SOXX OR APPROVED EQUIVALENT TO PREVENT SEDIMENT FROM ENTERING ANY STORM SYSTEMS (UNLESS THE STORM SYSTEM IS USED TO CONVEY FLOWS TO A SEDIMENT MANAGEMENT FACILITY). DO NOT USE FILTER FABRIC.
- DURING CONSTRUCTION THE CONTRACTOR MAY NEED TO EMPLOY ADAPTIVE MEASURES, AND/OR ADDITIONAL MEASURES, AND/OR ADJUST THE INSTALLED EROSION AND SEDIMENT MANAGEMENT WORKS TO PREVENT THE RELEASE OF SEDIMENT LADEN WATER AS SITE CONDITIONS CHANGE.
- ALL EROSION & SEDIMENT MANAGEMENT WORKS ARE TO REMAIN IN PLACE UNTIL BUILDING ACTIVITIES ARE 90% COMPLETE AND UNTIL VEGETATION HAS DEVELOPED ON EXPOSED AND DISTURBED AREAS WHICH CONTRIBUTE FLOWS TO THE EROSION & SEDIMENT MANAGEMENT WORKS.

NOTES

GENERAL

- FOR BUILDING LAYOUT DIMENSIONS, REFER TO ARCHITECTURAL SITE PLANS.
- ALL ELEVATIONS ARE SHOWN IN METERS RELATED TO GEODETIC SURVEY OF CANADA.
- ALL DIMENSIONS ARE SHOWN IN METERS, PIPE DIAMETERS ARE SHOWN IN MILLIMETERS.
- ALL WORKS, MATERIALS AND TESTING SHALL BE IN ACCORDANCE WITH THE CITY OF SURREY SPECIFICATIONS AND THE B.C. PLUMBING CODE AS APPLICABLE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TO WEDLER ENGINEERING A DIGITAL VIDEO AND PHOTOGRAPHIC RECORD IDENTIFYING ANY AND ALL EXISTING UTILITIES, TRENCHES, CURBS, SIDEWALKS, FENCES OR ANY OTHER FEATURES AFFECTED BY THE CONSTRUCTION WORKS TO ORIGINAL CONDITIONS OR BETTER, AND TO THE SATISFACTION OF THE CITY OF SURREY AND WEDLER ENGINEERING.
- THE CONTRACTOR MUST CONTACT THE CITY OF SURREY AND WEDLER ENGINEERING PRIOR TO CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING AND INSPECTIONS WILL BE DISCUSSED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT.
- CHANGES TO THE DESIGN MUST BE APPROVED IN WRITING BY WEDLER ENGINEERING. FAILURE TO NOTIFY WEDLER ENGINEERING IN ADVANCE OF CHANGES MAY RESULT IN REJECTION OF WORK.
- SUBSTITUTION OF ANY MATERIAL SPECIFIED WITH A MATERIAL EQUAL OR BETTER IN QUALITY OR PERFORMANCE WILL BE PERMITTED ONLY WITH THE EXPRESS WRITTEN APPROVAL OF WEDLER ENGINEERING. WEDLER ENGINEERING'S DETERMINATION FOR THE EQUAL OR BETTER SHALL BE FINAL AND BINDING.
- THE CONTRACTOR SHALL NOTIFY WEDLER ENGINEERING A MINIMUM OF 2 WORKING DAYS PRIOR TO REQUIRED INSPECTIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - DURING PIPE LAYING
 - DURING CONSTRUCTION OF DETENTION STRUCTURE
 - TESTING OF ALL UTILITIES
 - AFTER COMPLETION OF ALL WORK
- TRENCHES ACROSS EXISTING PAVEMENT, CURBS, SIDEWALK AND BOULEVARDS SHALL BE REINSTALLED IN COMPLIANCE WITH CITY OF SURREY SPECIFICATIONS AND MASTER MUNICIPAL CONSTRUCTION DOCUMENTS STANDARD DETAIL DRAWINGS AND ANY RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ALL MUNICIPAL AND STRATA ROADS PROVIDING ACCESS TO THE CONSTRUCTION SITE AND ARRANGE FOR ADEQUATE STREET CLEANING DURING TIMES OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN SERVICES AND ACCESS TO EXISTING RESIDENCES AND BUSINESSES AT ALL TIMES. ANY DISRUPTIONS THAT ARE UNAVOIDABLE WILL REQUIRE A MINIMUM OF 48 HOURS NOTICE. AS A MINIMUM, SINGLE LANE TRAFFIC SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ADEQUATE TRAFFIC CONTROL TO ENSURE THE CONVENIENCE AND SAFETY OF THE TRAVELING PUBLIC. THE SAFETY OF THE WORKERS ON THE PROJECT AND THE PROTECTION OF THE WORK OF THE CHILLIWACK SATISFACTION OF WEDLER ENGINEERING AND THE CITY OF CHILLIWACK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROPRIATE MEASURES TO ENSURE THE SAFETY OF PEDESTRIANS, CYCLISTS AND MOTORISTS, AND THE SECURITY OF THE WORK AREA DURING CONSTRUCTION. ALL EXCAVATION LEFT OPEN DURING NON-CONSTRUCTION AND UNSUPERVISED PERIODS SHALL BE ADEQUATELY FENCED AND BARRICADED.
- THE CONTRACTOR SHALL RECORD ON A CURRENT SET OF PLANS IN A NEAT MANNER, ALL CHANGES, ADDITIONS AND DELETIONS TO REFLECT THE "AS BUILT" CONDITIONS OF THE WORKS AND PROVIDE TO THE ISSUANCE OF SUBSTANTIAL PERFORMANCE. ANY ADDITIONAL SURVEY REQUIRED TO COMPLETE THE RECORD DRAWINGS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

EXISTING STRUCTURES AND UTILITIES

- INFORMATION ON THE DRAWINGS REGARDING EXISTING UTILITIES WAS COMPILED FROM MUNICIPAL RECORD DRAWINGS, CONSTRUCTION DRAWINGS AND FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE. IT IS THE BURDEN OF THE CONTRACTOR TO IMMEDIATELY REPORT ANY DISCREPANCIES TO WEDLER ENGINEERING PRIOR TO CONSTRUCTION. ALL TIE-IN INVERTS SHALL BE CONFIRMED, AND EXPOSURES PERFORMED WHERE THERE IS POTENTIAL FOR CONFLICTS BETWEEN EXISTING UTILITIES AND NEW SERVICES. ANY TIE-IN WORKS RESULTING FROM THE CONTRACTOR'S FAILURE TO DO SO SHALL BE AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO ANY WORKS THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXACT LOCATION OF BOUNDARIES OF LEGAL PROPERTIES, RIGHTS-OF-WAY OR EASEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT OR MATERIALS REQUIRED TO PERFORM ANY WORKS FORMING PART OF THIS CONTRACT WITHOUT ENCRUCHING ON OR CAUSING DAMAGE TO OTHER PROPERTY, SHALL BE INCLUDED IN THE CONTRACT PRICE, AND NO ADDITIONAL PAYMENT WILL BE MADE FOR SUCH WORKS.

QUALITY CONTROL

- ALL TESTING SHALL BE PERFORMED BY A CERTIFIED TESTING COMPANY AT EXPENSE TO THE CONTRACTOR.
- ALL MATERIALS TESTING OF THE SUBGRADE, GRANULAR MATERIALS, CONCRETE, ASPHALT, TOPSOIL AND COMPACTION TESTS REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR. THE COSTS ASSOCIATED WITH MATERIALS TESTING TO BE BORNE BY THE CONTRACTOR.
- THE COSTS FOR ALL CLEANING, FLUSHING, PRESSURE AND LEAKAGE TESTING, VIDEO INSPECTION, DISINFECTION AND BACTERIOLOGICAL TESTING AS REQUIRED FOR WATER, SANITARY AND DRAINAGE SYSTEMS TO BE BORNE BY THE CONTRACTOR.
- IN ADDITION TO THE REQUIREMENTS OF GENERAL CONDITION 4.12.6, THE CERTIFICATE OF SUBSTANTIAL PERFORMANCE WILL NOT BE ISSUED PRIOR TO RECEIPT BY WEDLER ENGINEERING OF COPIES OF ALL REQUIRED CERTIFICATES, INSPECTION AND TESTING REPORTS.

GEOTEXTILE

- ALL DRAINAGE GEOSYNTHETICS TO BE NILEX PROPEX 4551 CLASS 2 NON-WOVEN GEOTEXTILE, OR APPROVED EQUIVALENT, UNLESS OTHERWISE SPECIFIED

GEOTECHNICAL

- ALL SLOPES AND RETAINING WALLS TO BE DESIGNED AND APPROVED BY GEOTECHNICAL ENGINEER.

LEGAL:		PROJ. NO. TU		DESIGN/DRAWN ERS		PEER REVIEWED ERS		ISSUED FOR PERMIT APPROVAL 2011/12/19 ERS		CHANGES TO BUILDING ORIENTATION 2011/10/13 ERS		ISSUED FOR REVIEW 2011/09/21 ERS		NO.		BY			
BENCHMARK:		WESTSTONE		ULTRA CONSTRUCTION SITE OFFICE		SITE GRADING PLAN		WESTON GROUP		THE WEDLER GROUP		1.694.852.7900		1.694.792.0651		1.694.591.1915		1.790.232.4252	
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