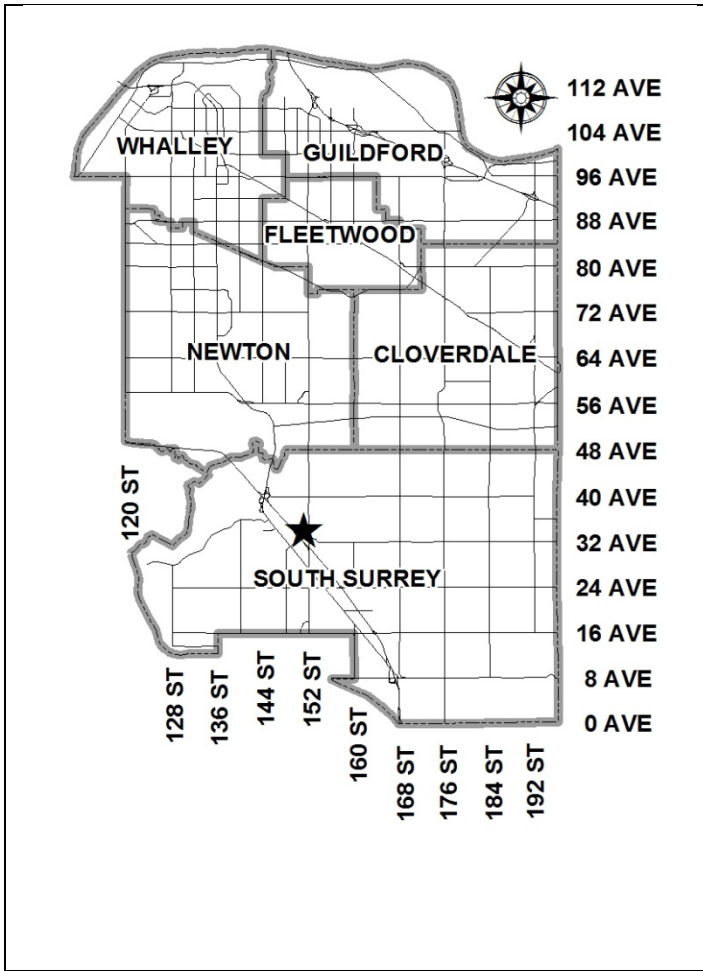


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7912-0032-00

Planning Report Date: April 23, 2012

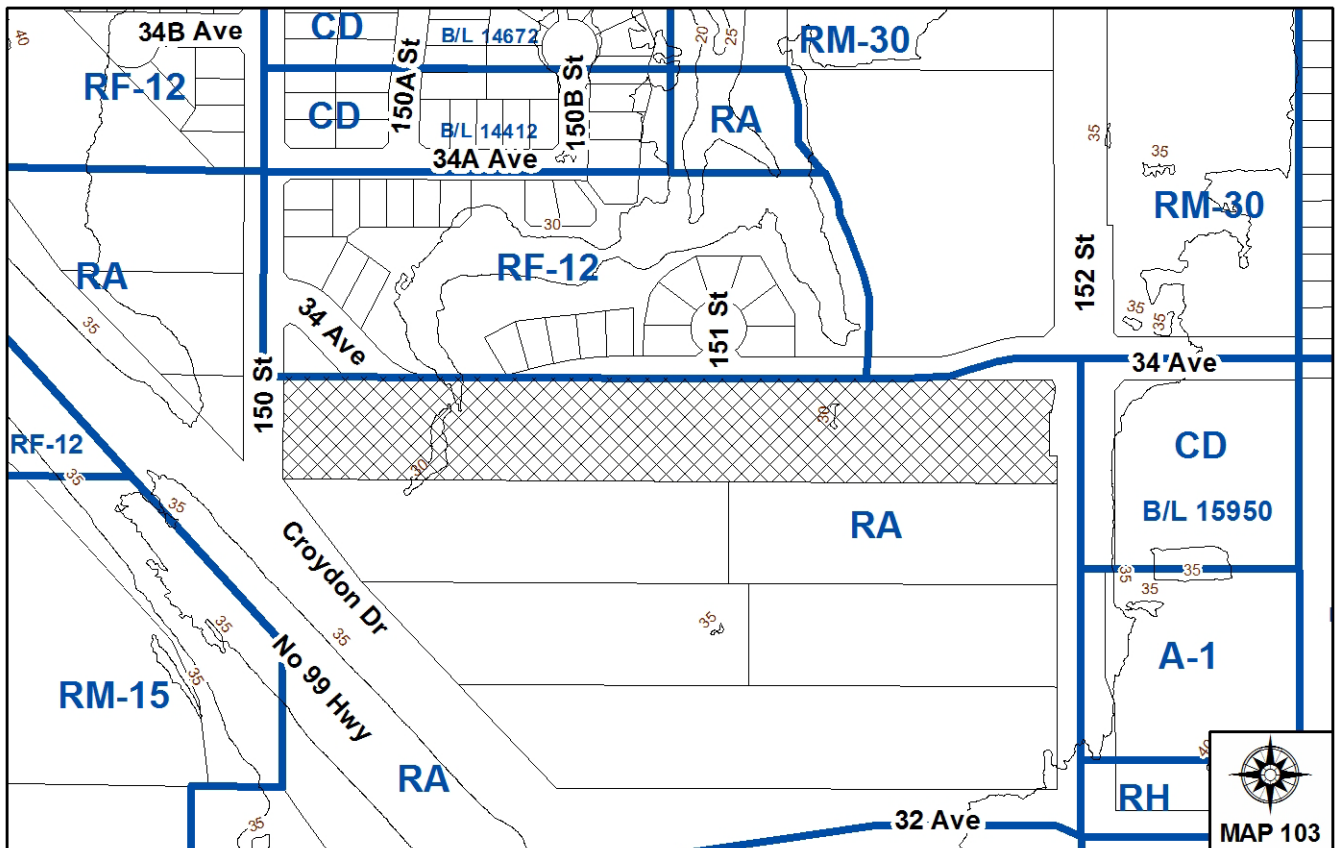


PROPOSAL:

- **Temporary Commercial Use Permit**

in order to permit the development of a temporary real estate sales centre for a proposed comprehensive development consisting of 510 apartment units, 40 townhouse units, and 743 square metres (8,000 sq.ft.) of indoor amenity space, in multiple buildings.

LOCATION: 3386 - 150 Street
OWNER: Polygon Harvard Gardens Ltd., Inc. No. 877466
ZONING: RA
OCP DESIGNATION: Multiple Residential
NCP DESIGNATION: Apartments 8-12 storey, Garden Apartments, Cluster Housing, Commercial and Preservation Area/Open Space



RECOMMENDATION SUMMARY

- Approval for Temporary Commercial Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed Temporary Commercial Use Permit (TUP) is to accommodate a sales centre for Polygon's proposed comprehensive development project on the subject site, and neighbouring properties to the south. That project is currently at Third Reading (File No. 7911-0241-00 and File No. 7911-0242-00) and includes 550 multiple residential units (510 apartments units and 40 townhouses) in multiple buildings surrounding a centrally located amenity space with indoor and outdoor amenity opportunities.
- The proposed Temporary Commercial Use Permit would allow Polygon to construct and operate the sales office in advance of their comprehensive development application receiving Final Adoption from Council.
- The Temporary Commercial Use Permit will be in effect for three (3) years, which should be sufficient time for Polygon to finalize the sales of their development.
- The applicant will post a \$5,000.00 bond to ensure the removal of the temporary building and restoration of the site to its original condition.
- The sales centre building is designed to complement the architectural character of the future residential project, with a clearly identifiable "Boston Brownstone" theme. The building features a flat roof and cladding materials include Hardie siding and brick. The area around the sales centre will be landscaped with a combination of ornamental trees, shrubs, sod, and outdoor patio areas.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Commercial Use Permit No. 7912-0032-00 (Appendix IV) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval):
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering; and
 - (b) submission of securities to ensure that the site is restored following termination of the Temporary Commercial Use Permit.

REFERRALS

Engineering: The Engineering Department has no objection to the proposed temporary use subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Department of Fisheries and Oceans (DFO): No concerns.

Ministry of Transportation & Infrastructure (MOTI): No concerns.

BC Hydro: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant land and BC Hydro Transmission Lines

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 34 Avenue):	Single family dwellings and townhouses	Urban & Multiple Residential/ Single family small lots & Garden apartments	RF-12 and RM-30
East (Across 152 Street):	Seniors care facility and vacant land	Multiple Residential/Institutional & Garden Apartments (3-storeys)	CD, A-1 and RH

Direction	Existing Use	OCP/NCP Designation	Existing Zone
South (Across 32 Avenue Diversion):	Restaurant and automotive services	Commercial	CD
West (Across Highway 99):	Single family dwellings and townhouses	Urban	RF-12 and RM-15

DEVELOPMENT CONSIDERATIONS

- The applicant (Polygon Development 272 Ltd.) has applied for a Temporary Commercial Use Permit to permit the development of a temporary real estate sales centre on the site, with associated parking.
- The proposed temporary real estate sales centre will be used as a sales office for Polygon's proposed comprehensive development project on the subject site, and neighbouring properties to the south, which includes 550 multiple residential units (510 apartments units and 40 townhouses) in multiple buildings surrounding a centrally located amenity space with indoor and outdoor amenity opportunities ("Harvard Gardens"). That development application (File No. 7911-0241-00 and File No. 7911-0242-00) received Third Reading from Council on February 20, 2012.
- The proposed Temporary Commercial Use Permit would allow Polygon to construct and operate the sales office in advance of their comprehensive development application receiving Final Adoption from Council.
- The Temporary Commercial Use Permit will be in effect for three (3) years, which should be sufficient time for Polygon to finalize the sales of their development.
- The applicant will post a \$5,000.00 bond to ensure the removal of the temporary building and restoration of the site to its original condition.
- Council previously approved an Official Community Plan (OCP) text amendment under File No. 7911-0105-00 for temporary real estate sales centres. The OCP Amendment By-law (No. 17434) allows temporary real estate sales centre on any lands designated City Centre (CC), Town Centre (TC) and Multiple Residential (RM) in the OCP. As such, an OCP amendment is not required to facilitate this proposed temporary use permit

PRE-NOTIFICATION

- Pre-notification letters were mailed on March 13, 2012 and a development proposal sign was erected on the site. Staff received one phone call and one letter in opposition to the proposed temporary use.
- One neighbouring resident was concerned about the current lack of parking in the area and the additional demand for parking that would be generated by the sales centre.

(Five (5) paved parallel parking stalls will be provided on the south side of 34 Avenue. Additional gravel surface parking for up to approximately 4 cars and a turnaround area will be provided on site.)

- One neighbouring resident requested that all of the proposed road works and improvements associated with Polygon's comprehensive development project be completed in advance of the sales centre opening.

(All of the on and off-site works will be completed in advance of any of the residential units being occupied. The on and off-site works will begin once the project receives final adoption from City Council. It is anticipated that the project will be ready for presentation to Council for final adoption within the next few months.

DESIGN PROPOSAL AND REVIEW

- The proposed sales centre will be a single-storey building, with a total building area of 188 square metres (2,026 sq. ft.). The building will be sited on the north portion of the site fronting 34 Avenue. The building will contain a reception and sales area, offices, washroom facilities, and a display suite.
- The building is designed to complement the architectural character of the future residential project, with a clearly identifiable "Boston Brownstone" theme. The building features a flat roof and cladding materials include Hardie siding and brick.
- The area around the sales centre will be landscaped with a combination of ornamental trees, shrubs, sod, and outdoor patio areas.
- The applicant will construct a portion of the south side of 34 Avenue, which will include parallel parking with spaces for up to 5 vehicles. In addition, a portion of the future 151 Street be constructed south of 34 Avenue to a gravel road standard to provide overflow parking for up to approximately 4 cars and a "Hammer Head" style turnaround.
- Construction of the temporary sales centre will require removal of approximately 10 mature trees. The trees to be removed were identified for removal in the arborist report for Polygon's comprehensive residential development project.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- | | |
|---------------|---|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets |
| Appendix II. | Proposed Site Plan for Temporary Real Estate Sales Centre |
| Appendix III. | Engineering Summary |
| Appendix IV | Temporary Commercial Use Permit No. 7912-0032-00 |

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

RG/kms

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DEVELOPMENT DATA SHEET

Existing Zoning: RA

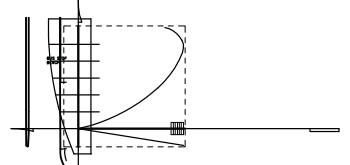
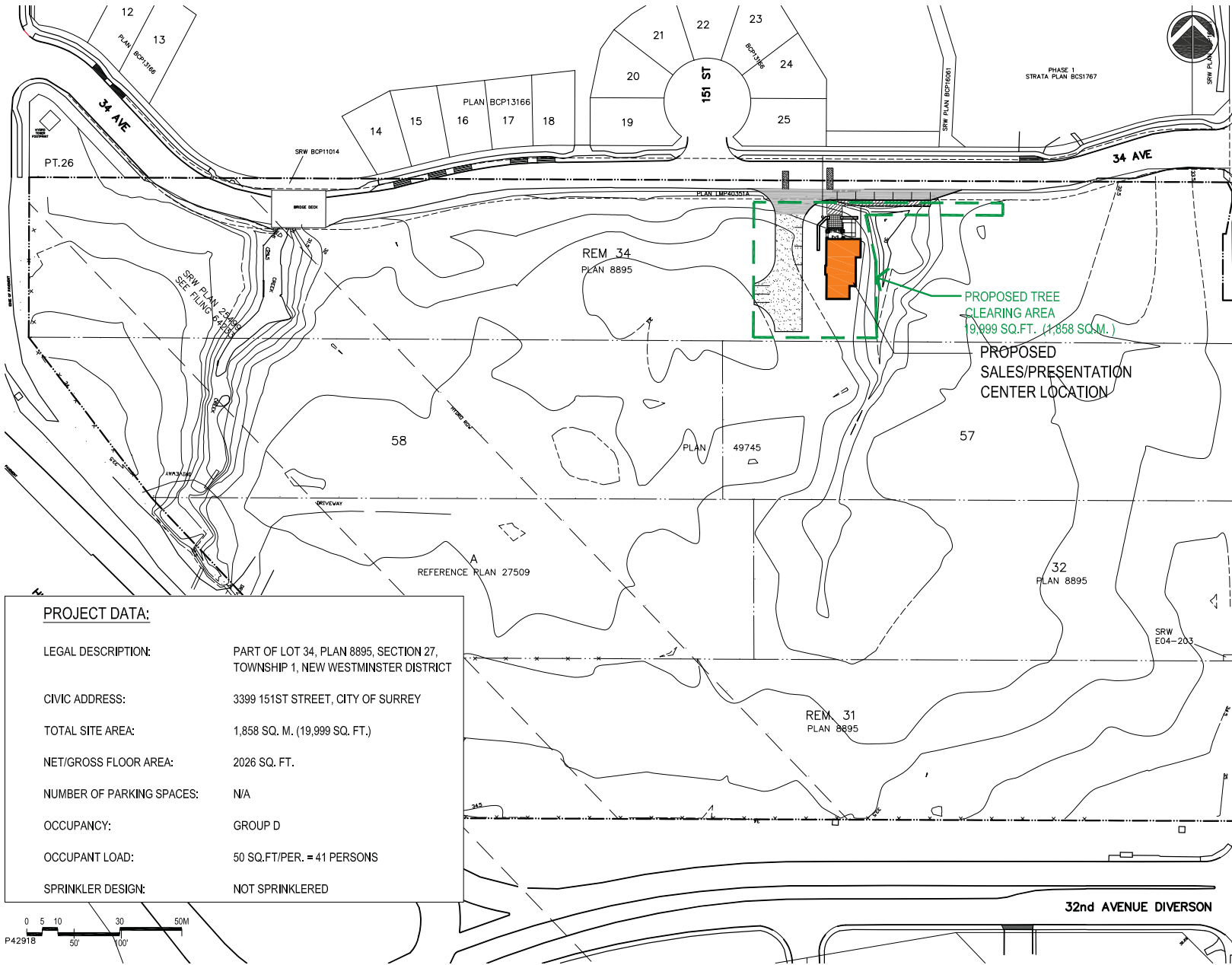
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		20,006 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front		>7.5m
Rear		>7.5m
Side #1 (N)		>7.5m
Side #2 (S)		>7.5m
BUILDING HEIGHT (in metres/storeys)		
Principal		5.5 m/ 1 storey
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		188 m ²
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		188 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)		0.01
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		5
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



**ROSITCH
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and
ASSOCIATES**
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FAX: (604) 669-1091

NO. ISSUED: 1. BPA DATE: 11 APR 2012

APRIL 11, 2012

PROJECT DATA:

LEGAL DESCRIPTION: PART OF LOT 34, PLAN 8895, SECTION 27, TOWNSHIP 1, NEW WESTMINSTER DISTRICT

CIVIC ADDRESS: 3399 151ST STREET, CITY OF SURREY

TOTAL SITE AREA: 1,858 SQ. M. (19,999 SQ. FT.)

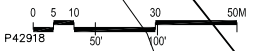
NET/GROSS FLOOR AREA: 2026 SQ. FT.

NUMBER OF PARKING SPACES: N/A

OCCUPANCY: GROUP D

OCCUPANT LOAD: 50 SQ.FT/PER. = 41 PERSONS

SPRINKLER DESIGN: NOT SPRINKLERED



PROJECT:
HARVARD GARDENS
PRESENTATION CENTRE
3399 - 151ST ST., CITY OF SURREY, B.C.

DRAWING TITLE:
PRESENTATION CENTRE
OVERALL SITE PLAN

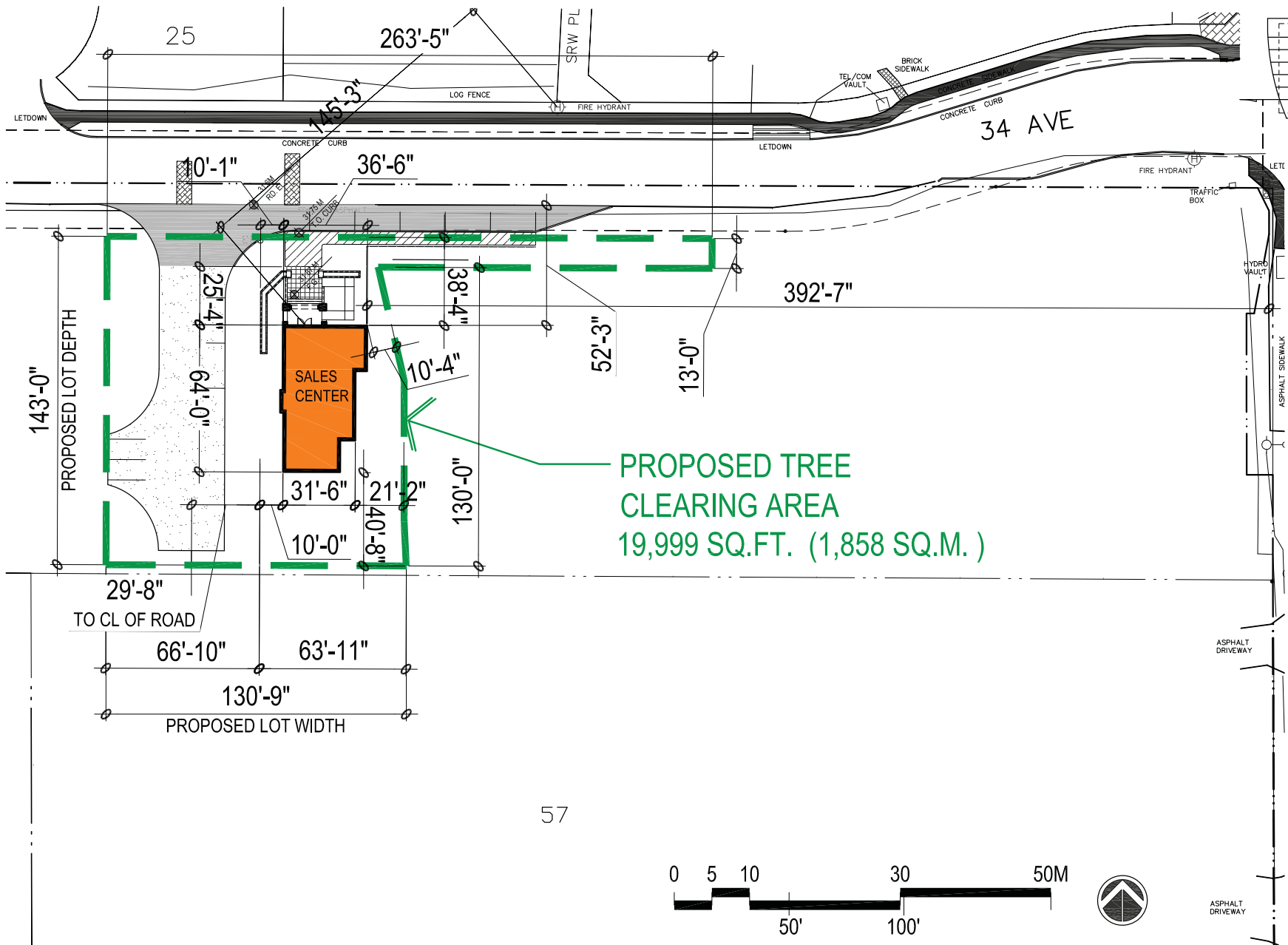
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PROJ. NO. 1208

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DATE: 11 APR 2012

APRIL 11, 2012

PROJECT:
HARVARD GARDENS
PRESENTATION CENTRE
3399 - 151st ST., CITY OF SURREY, B.C.

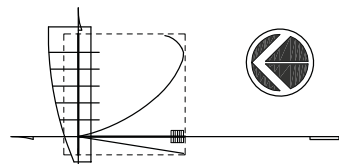
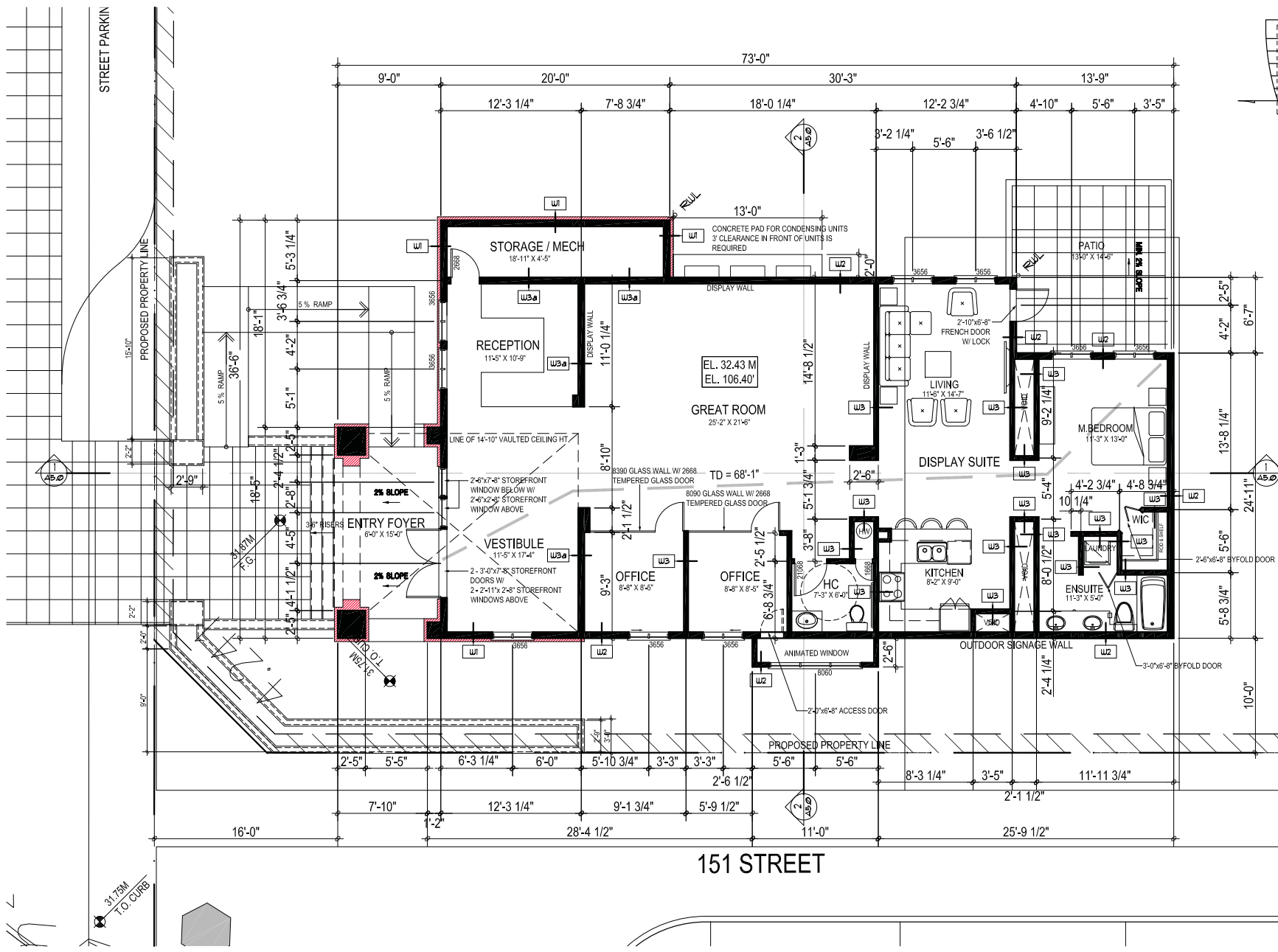
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SITE PLAN

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DRAWN: LB

PROJ. NO.: 1208

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APRIL 11, 2012

PROJECT:
HARVARD GARDENS
PRESENTATION CENTRE
3399 - 151ST ST., CITY OF SURREY, B.C.

DRAWING TITLE:
PRESENTATION CENTRE
MAIN FLOOR PLAN

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PROJ. NO.: 1208

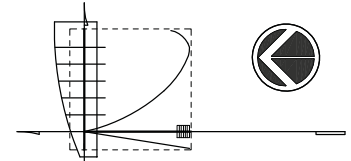
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STREET PARKIN

31.73M
TO CURB

151 STREET



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PRESENTATION CENTRE
3399 - 151st ST., CITY OF SURREY, B.C.

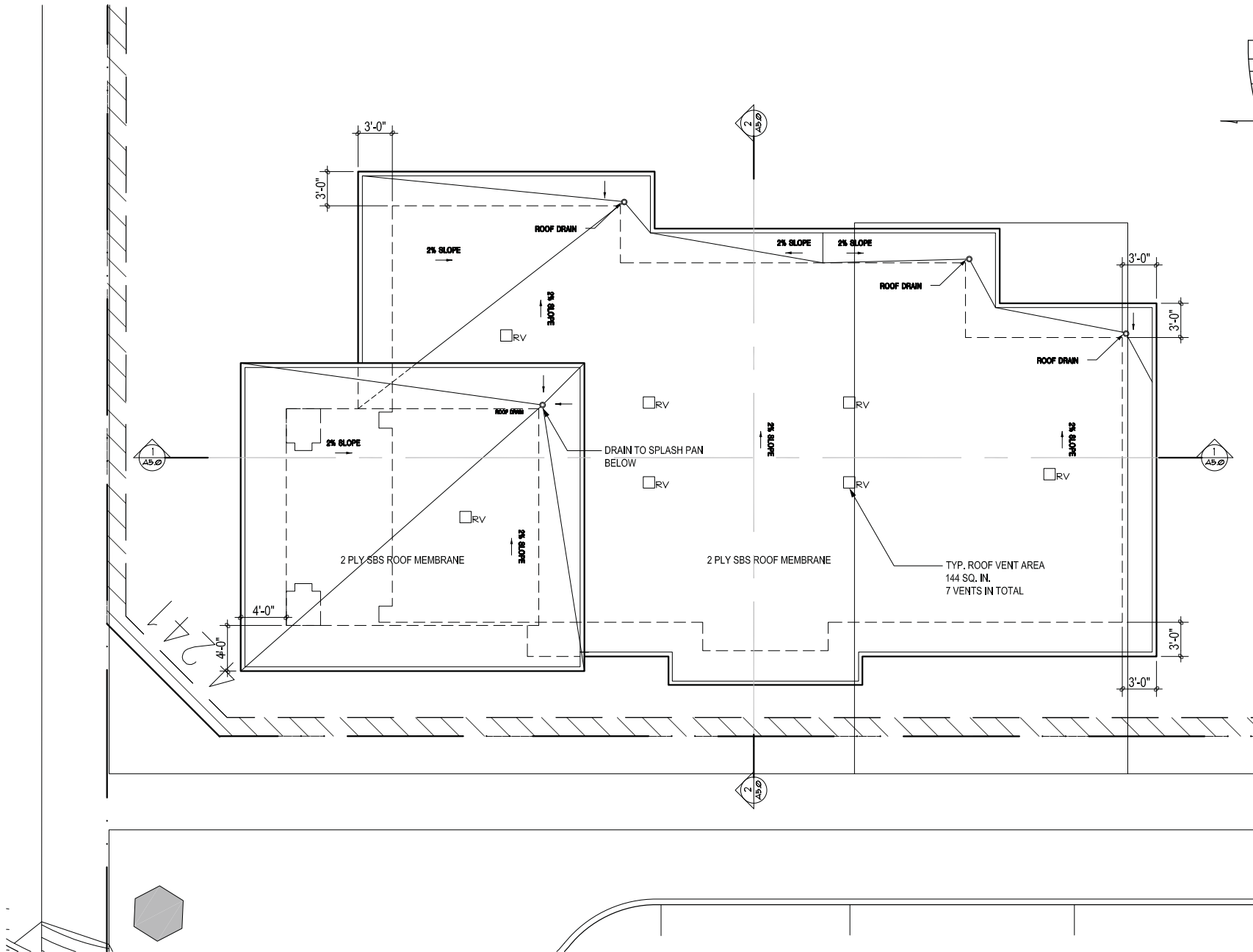
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ROOF PLAN

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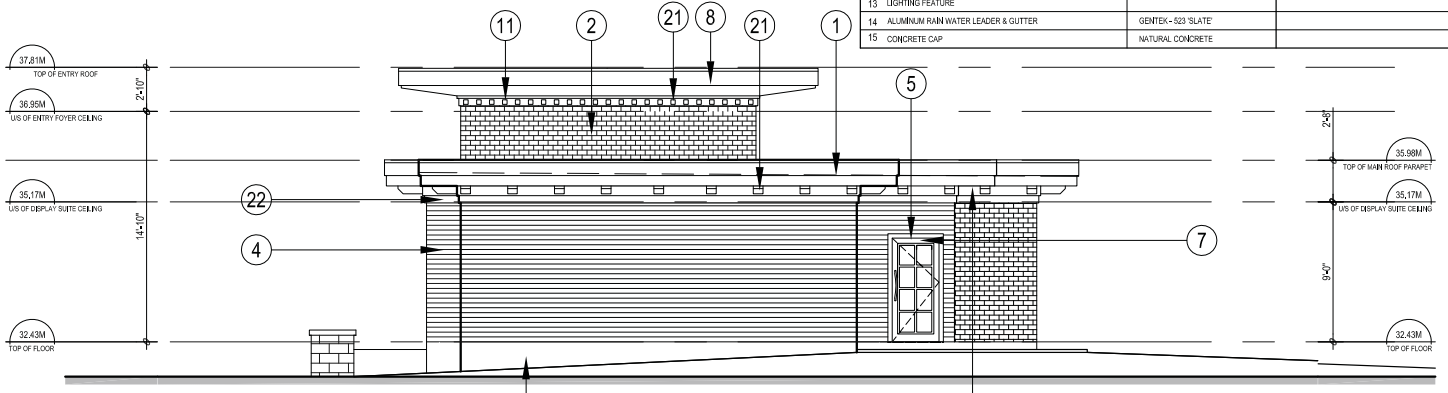
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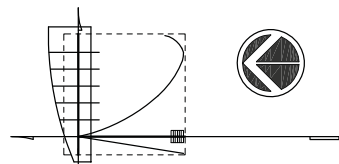


1 NORTH ELEVATION
A4.0 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		APARTMENTS			
1	ROOF FASCIA	BM OC-19 'SEAPEARL'	16	CULTURED STONE LANDSCAPE WALLS	SANDSTONE
2	BRICK CLADDING	MUTUAL MATERIALS 'INCA' MISSION	17	ALUM. LANDSCAPE GUARD PICKET GUARD & POSTS	STOCK BLACK
3	"FIBER-CROWN" OR EQUIVALENT HEADERS & SILLS AT BRICK	BM OC-60 'STONE HEARTH'	18	24 GA PREFINISHED ALUMINUM FLASHINGS	TO MATCH THE COLOUR OF FINISH MATERIAL THE FLASHING COLOURS
4	HARDE HORIZONTAL SIDING 4.5"	BM HC-168 'YENDALL CHARCOAL'	a.	AT BRICK	CASCADIA - OC2255 'WESTERN BROWN'
5	DBLE. GLAZED THERM. BROKEN VINYL WINDOW & DOOR FRAME	STOCK BLACK	b.	AT CONCRETE HEADERS & SILLS	CASCADIA - OC1750 'REGENT GRAY'
6	ALUM. STOREFRONT WINDOWS AND DOORS AT MAIN ENTRY	STOCK BLACK	c.	AT DARK GRAY HARDE SIDING	CASCADIA - OC3836 'CHARCOAL'
7	WINDOW & DOOR WOOD TRIM (AT GRAY SIDING #6a)	BM 2108-50 'SILVER FOX'	19	ANIMATED DISPLAY WINDOW	
8	CORNICE	BM OC-19 'SEAPEARL'	20	CONCRETE LOCK BLOCKS	
9	WOOD SOFFIT (W/ SPOT LIGHTING) - AT ENTRY	SANDED SMOOTH DOUGLAS FIR. SIKENS - CEILING COLOUR #117	21	TRIM BOARD DENTIL (LARGE)	BM OC-19 'SEAPEARL'
10	VINYL READED SOFFIT - TYPICAL	VYTEC - 'STORM'	22	WALL TRIM BOARD	BM OC-19 'SEAPEARL'
11	CORNICE DENTIL (SMALL SQUARES)	BM OC-19 'SEAPEARL'			
12	ALUM. BALC. RAILING & POST EXTERIOR GUARD	STOCK BLACK			
13	LIGHTING FEATURE				
14	ALUMINUM RAIN WATER LEADER & GUTTER	GENTEK - 523 'SLATE'			
15	CONCRETE CAP	NATURAL CONCRETE			



2 SOUTH ELEVATION
A4.0 SCALE: 1/8" = 1'-0"



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NO. ISSUED: 1. BPA DATE: 11 APR 2012

APRIL 11, 2012

PROJECT:
HARVARD GARDENS
 PRESENTATION CENTRE
 3399 - 151st ST., CITY OF SURREY, B.C.

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 PRESENTATION CENTRE
 ELEVATIONS

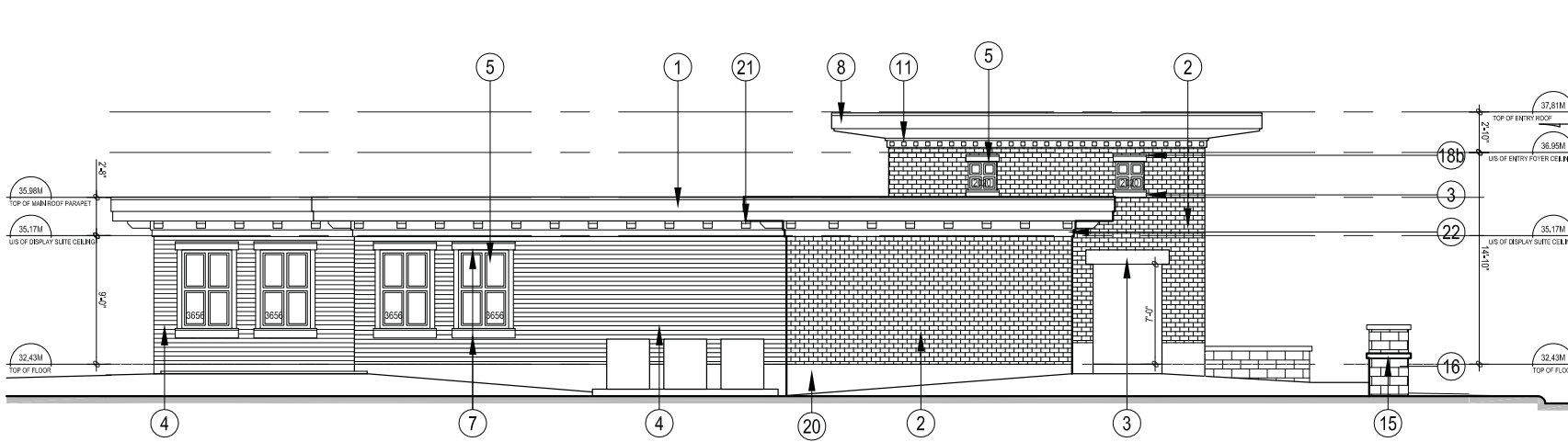
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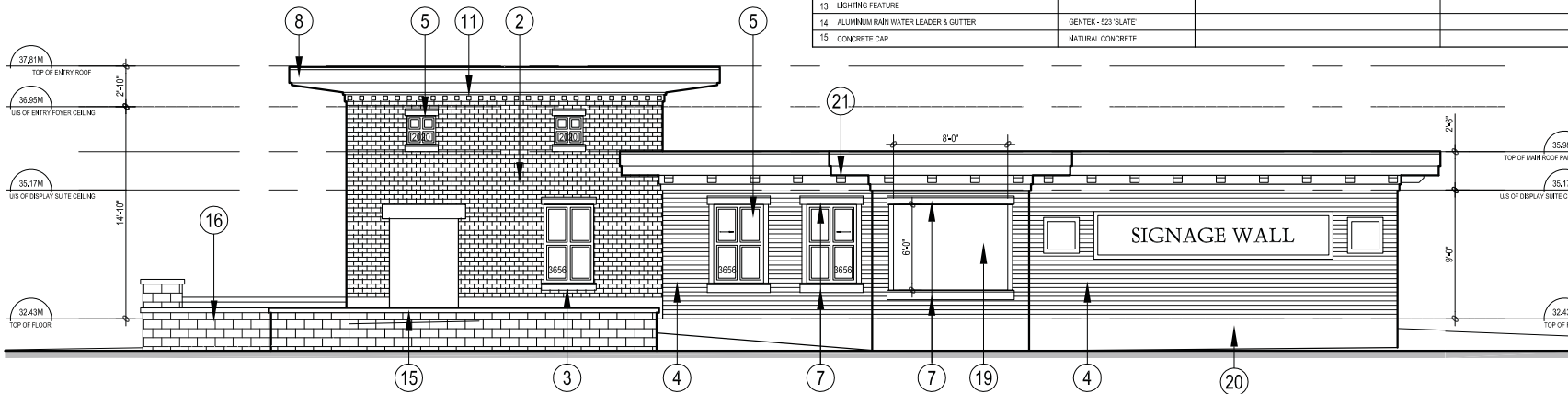




1 EAST ELEVATION

A4.1 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		APARTMENTS			
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2	BRICK CLADDING	MUTUAL MATERIALS 'INCA WISSLOW	17	ALUM. LANDSCAPE GUARD PICKET GUARD & POSTS	STOCK BLACK
3	*FIBER-CROWN OR EQUIVALENT HEADERS & SILLS AT BRICK	BM CC-490 'STONE HEARTY'	18	24 GA PREFINISHED ALUMINUM FLASHINGS	TO MATCH THE COLOUR OF FINISH MATERIAL THE FLASHING COVERS
4	HARDEE HORIZONTAL SIDING 4.5"	BM HC-166 'KENDALL CHARCOAL'	a.	AT BRICK	CASCADIA - 005228 'METRO BROWN'
5	DBLE. GLAZED THERM. BROKEN VINYL WINDOW & DOOR FRAME	STOCK BLACK	b.	AT CONCRETE HEADERS & SILLS	CASCADIA - 001793 'REGENT GRAY'
6	ALUM. STOREFRONT WINDOWS AND DOORS AT MAIN ENTRY	STOCK BLACK	c.	AT DARK GRAY HARDEE SIDING	CASCADIA - 008306 'CHARCOAL'
7	WINDOW & DOOR WOOD TRIM (AT GRAY SIDING #56)	BM 2188-58 'SILVER FOX'	19	ANIMATED DISPLAY WINDOW	
8	CORNICE	BM OC-19 'SEAPEARL'	20	CONCRETE LOCK BLOCKS	
9	WOOD SOFFIT (W/ SPOT LIGHTING) - AT ENTRY	SKINDED SMOOTH DOUGLAS FIR, SIKKENS - CETO, CEDAR BOTT	21	TRIM BOARD DENTIL (LARGE)	BM OC-19 'SEAPEARL'
10	VINYL BEADED SOFFIT - TYPICAL	VYTEC - STORM	22	WALL TRIM BOARD	BM OC-19 'SEAPEARL'
11	CORNICE DENTIL (SMALL SQUARES)	BM OC-19 'SEAPEARL'			
12	ALUM. BALC. RAILING & POST EXTERIOR GUARD	STOCK BLACK			
13	LIGHTING FEATURE				
14	ALUMINUM RAIN WATER LEADER & GUTTER	GENTEK - 523 'SLATE'			
15	CONCRETE CAP	NATURAL CONCRETE			



2 WEST ELEVATION

A4.1 SCALE: 1/8" = 1'-0"

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NO. ISSUED: 1. BPA DATE: 11 APR 2012

APRIL 11, 2012

PROJECT:
HARVARD GARDENS
PRESENTATION CENTRE
3399 - 151st ST., CITY OF SURREY, B.C.

DRAWING TITLE:
PRESENTATION CENTRE
ELEVATIONS

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PLOT DATE: APR 12 2012
DRAWN: DT

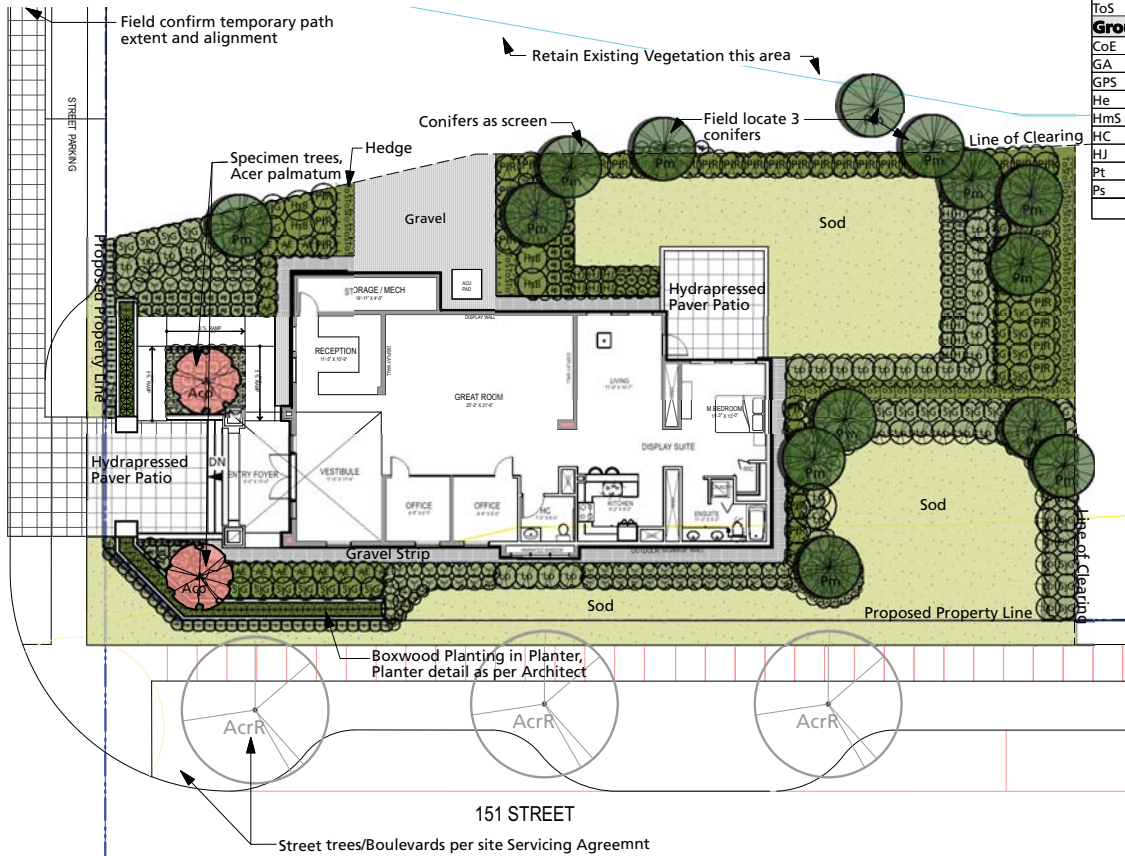
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34 AVENUE



Plant List					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
Acc	3	<i>Acer circinatum</i>	Vine Maple	2m ht.	
Acp	2	<i>Acer palmatum</i>	Japanese Maple	8cm cal.	
Pm	14	<i>Pseudotsuga menziesii</i>	Douglas Fir	2.5m ht, B&B	
Shrubs					
AE	14	<i>Abelia 'Edward Goucher'</i>	Edward Goucher Abelia	#5 pot	
BmW	36	<i>Buxus microphylla 'Winter Gem'</i>	Winter Gem Boxwood	#3 pot	
EdK	6	<i>Erica x darleyensis 'Kramer's Red'</i>	Red Flowering Heather	#2 pot	
HsB	4	<i>Hydrangea serrata 'Bluebird'</i>	Blue Bird Hydrangea	#7 pot	
Lp	54	<i>Lonicera pileata</i>	Privet Honeysuckle	#5 pot	
NdJ	79	<i>Nandina domestica 'Jaytee'</i>	Habour Belle Heavenly Bamboo	#3 pot	
PIR	47	<i>Prunus laurocerasus 'Reynvaanii'</i>	Russian Laurel	#5 pot	Hedge
SiG	57	<i>Spiraea japonica 'Goldmound'</i>	Goldmound Spirea	#3 pot	
ToS	44	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Cedar	6' ht, B&B	Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses					
CoE	5	<i>Carex oshimensis 'Evergold'</i>	Sedge	#1 pot	
GA	5	<i>Geranium 'Anne Thomson'</i>	Hardy Geranium	#1 pot	
GPS	70	<i>Geranium 'Pink Spice'</i>	Dwarf Cranesbill	#1 pot	
He	8	<i>Helleborus foetidus</i>	Stinking Hellebore	#2 pot	
HmS	47	<i>Heemerocallis 'Stella de Oro'</i>	Stella de Oro Daylily	#2 pot	
HC	18	<i>Heuchera 'Cherries Jubilee'</i>	Coral Bells	#2 pot	
HJ	21	<i>Hosta 'June'</i>	June Hosta	#2 pot	
Pt	48	<i>Pachysandra terminalis</i>	Japanese Spurge	#1 pot	Groundcover
Ps	86	<i>Polystichum setiferum</i>	Soft Shield Fern	#2 pot	
Total	671				



Perry + Associates
 200-1558 W. 6th Avenue
 Vancouver, BC V6J 1R2
 T 604 738 4118
 F 604 738 4116

Date: 04/11/12

Scale: 1:200

Project No.: 11-040

Drawn By: jw

Checked By: rb

Project North:

Sheet No.:

Project Title:
 Harvard Gardens Sales Centre

Issue:
 Issue for BP

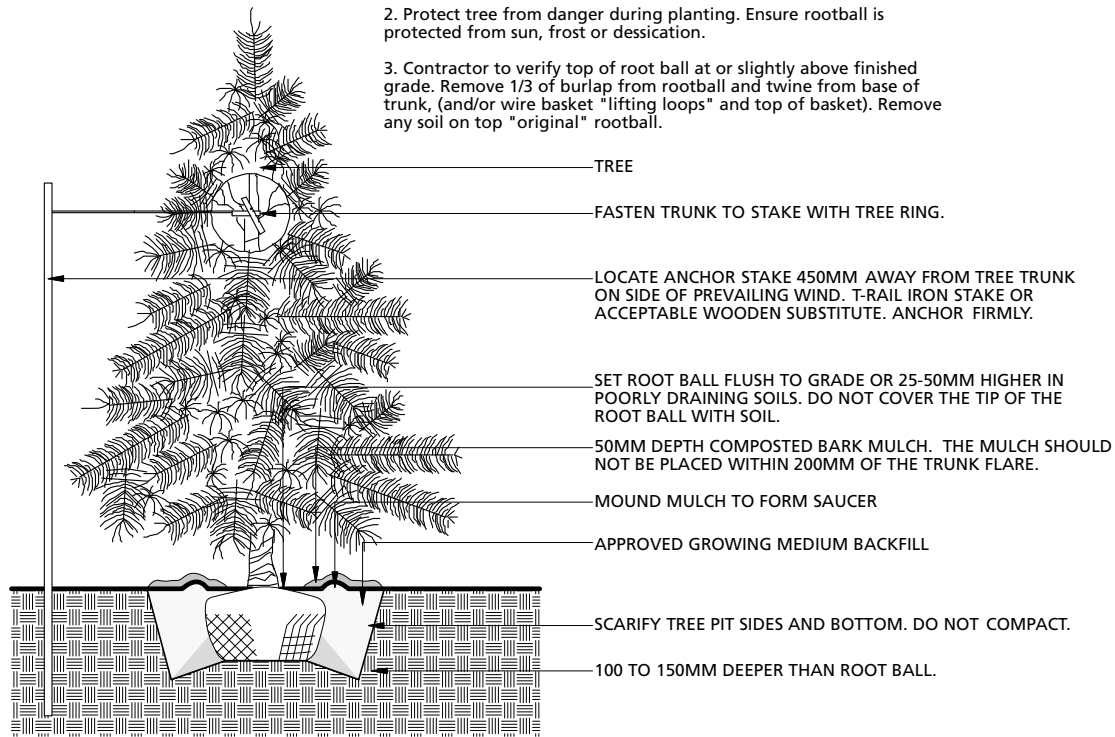


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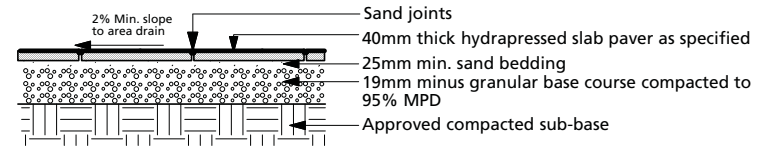
Drawing Title:
 Layout & Planting Plan

GENERAL NOTES:

1. Do not cut Leader
2. Protect tree from danger during planting. Ensure rootball is protected from sun, frost or dessication.
3. Contractor to verify top of root ball at or slightly above finished grade. Remove 1/3 of burlap from rootball and twine from base of trunk, (and/or wire basket "lifting loops" and top of basket). Remove any soil on top "original" rootball.



1 CONIFEROUS TREE PLANTING DETAIL
SCALE=1:25



On-Grade

Note:
- Minimum paver cut to be 1/3 of the size of pavers.
- Refer to grading plan and sections for the amount of build-up required over slab to final grade.

2 HYDRAPRESSED PAVING
SCALE=1:20

Handwritten signature

<p>Perry + Associates 200-1558 W. 6th Avenue Vancouver, BC V6J 1R2</p> <p>Landscape Architecture T 604 738 4118 Site Planning F 604 738 4116</p>	Date:	04/11/12	Scale:	as noted	Project No.:	11-040	Drawn By:	jw	Checked By:	rb		Sheet No.: L2.0
	Project Title:	Harvard Gardens Sales Centre					Issue:	Issue for BP				
	Drawing Title:	Details										

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 18, 2012** PROJECT FILE: **7812-0032-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 3386 150 St**

TEMPORARY USE PERMIT

There are no engineering requirements relative to issuance of the Temporary Use Permit.

Based on preliminary layouts and servicing concepts received to date the following issues are to be addressed as a condition of issuance of the subsequent Building Permit for the proposed temporary Sales Centre Application:

- Install new water (including meter) and sanitary connections from fronting mains. Sanitary main may be extended on-site in conformance with servicing plans proposed for projects 7911-0241-00 and 7911-0242-00;
- Address on-site stormwater management ensuring sufficient capacity and/or base flows to existing downstream systems and provide appropriate sediment control facilities including an ESC permit if disturbed area exceeds 2000 m²;
- On-site fire protection requirements must be reviewed and may require additional improvements to the building to meet the B.C. Building Code;
- Parallel parking along the south side of 34 Avenue will be permitted for 5 vehicles. Additional pavement width (minimum 2.5 m) fronting the sales centre with removal of No Parking signage will be required; and
- Extension of future 151 Street will be permitted for overflow parking and turn-around. A sufficiently long paved apron adjacent to 34 Avenue will be required.

A Servicing Agreement is not required for the proposed Temporary Use Permit or Building Permit. Any works on site or across City Road Right of way will be subject to all applicable City Permits prior to issuance of the Building Permit. These may include City Road and Right-of-way Permits, Erosion and Sediment Control Permits and Traffic Obstruction Permits. City crews will complete installation of the water service tie-in once payment has been made and a work order has been issued.



Rémi Dubé, P.Eng.
Development Services Manager

RD

CITY OF SURREY

(the "City")

APENDIX IV

TEMPORARY COMMERCIAL USE PERMIT

NO.: 7912-0032-00

Issued To: POLYGON DEVELOPMENT 272 LTD., INC. NO. 877466
("the Owner")

Address of Owner: 900, 1333 West Broadway
Vancouver, BC
V6H 4C2

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-356-944
Lot 34 Except: Firstly, Parcel "H" (Bylaw Plan 62662); Secondly, Part on Plan BCP6711
Section 27 Township 1 New Westminster District Plan 8895

3386 - 150 Street

(the "Land")

- 3 The Land has been designated as a Temporary Commercial Use Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
4. The temporary use permitted on the Land shall be:
 - (a) A real estate sales centre and associated parking areas.
5. The temporary use shall be carried out according to the following conditions:
 - (a) The appearance and location of the real estate sales centre, access and parking areas shall be as shown on Schedule B which is attached hereto and forms part of this permit;
 - (b) Parking is restricted to vehicles less than 5,000 kilograms [11,000 lbs.] GVW;
 - (c) Parking surfaces shall be of a dust-free material such as crushed gravel; and
 - (d) Upon the termination of this Temporary Use Permit, the real estate sales centre shall be removed and the land restored to its original condition.

6. Alternatives to standard servicing requirements as documented in the "Surrey Subdivision and Development By-law" may be approved as part of this Temporary Commercial Use Permit.
7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000.00

8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
9. An undertaking submitted by the Owner is attached hereto as Schedule A and forms part of this temporary use permit.
10. This temporary use permit is not transferable.
11. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

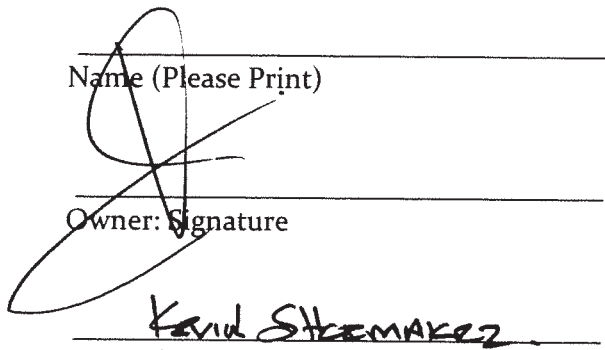
OR

Authorized Agent: Signature

Name (Please Print)

Owner: Signature

Name: (Please Print)

A handwritten signature in black ink, appearing to read "Kevin Stremaker", is written over the signature lines. The signature is somewhat stylized and overlaps the lines.

TO THE CITY OF SURREY:

We, POLYGON DEVELOPMENT 272 LTD., INC. NO. 877466 (Name of Owner)

being the owner of Lot 34 Except: Firstly, Parcel "H" (Bylaw Plan 62662); Secondly, Part on Plan BCP6711 Section 27 Township 1 New Westminster District Plan 8895
(Legal Description)

known as 3386 - 150 Street
(Civic Address)

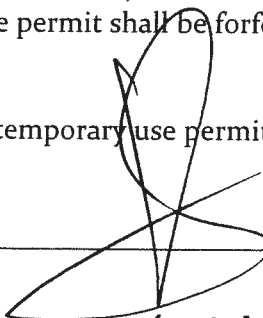
hereby undertake as a condition of issuance of my temporary use permit to:


- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

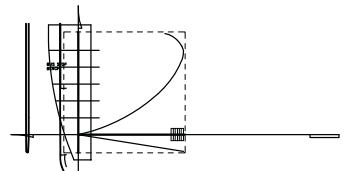
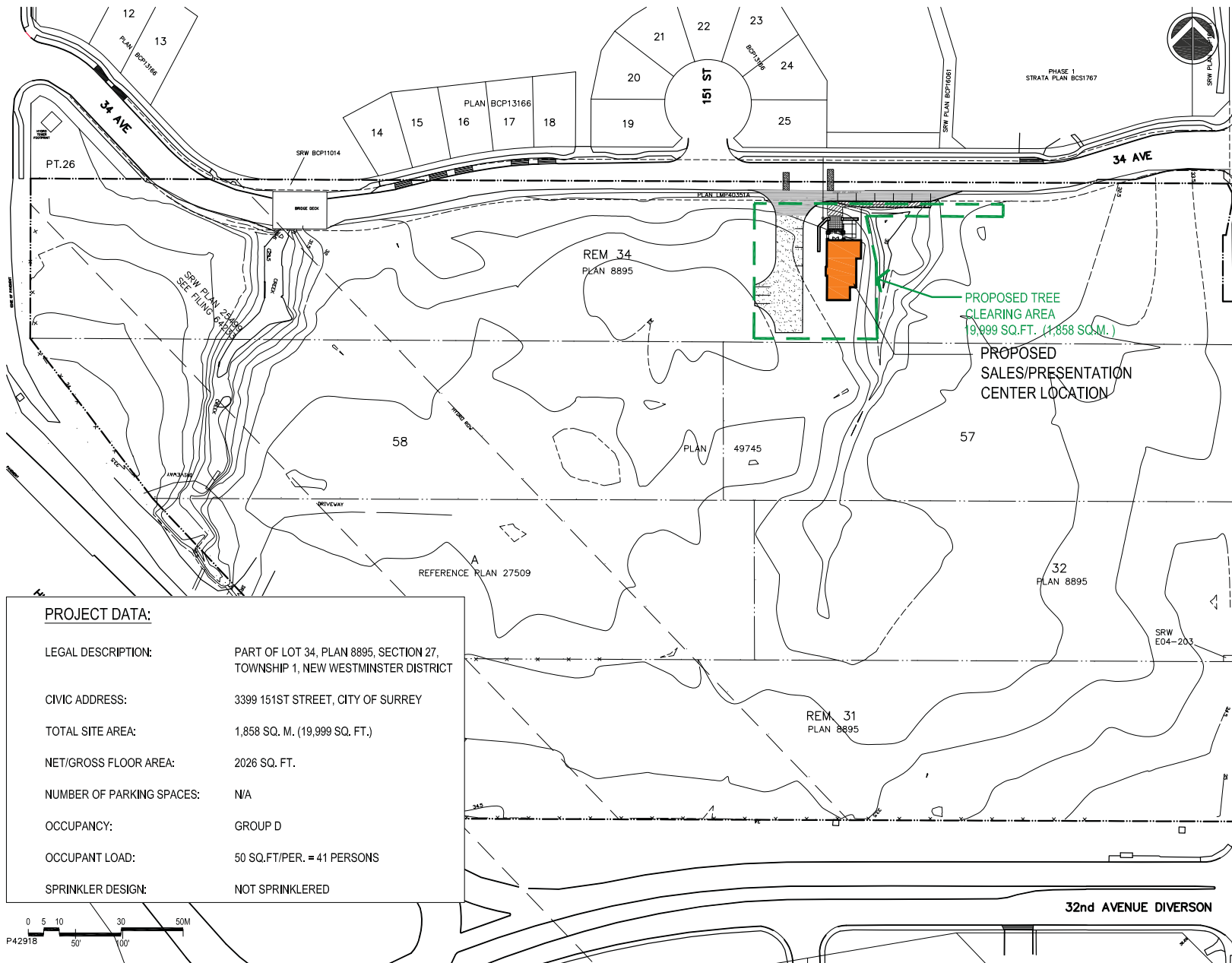
all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.


 _____ (Owner)


 _____ (Witness)



**ROSITCH
HEMPHILL
and
ASSOCIATES**
ARCHITECTS
TEL: (604) 669-6002
FAX: (604) 669-1091

NO. ISSUED: 1. BPA DATE: 11 APR 2012

APRIL 11, 2012

PROJECT DATA:

LEGAL DESCRIPTION:	PART OF LOT 34, PLAN 8895, SECTION 27, TOWNSHIP 1, NEW WESTMINSTER DISTRICT
CIVIC ADDRESS:	3399 151ST STREET, CITY OF SURREY
TOTAL SITE AREA:	1,858 SQ. M. (19,999 SQ. FT.)
NET/GROSS FLOOR AREA:	2026 SQ. FT.
NUMBER OF PARKING SPACES:	N/A
OCCUPANCY:	GROUP D
OCCUPANT LOAD:	50 SQ.FT/PER. = 41 PERSONS
SPRINKLER DESIGN:	NOT SPRINKLERED

PROJECT:
HARVARD GARDENS
PRESENTATION CENTRE
3399 - 151ST ST., CITY OF SURREY, B.C.

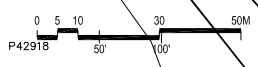
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PRESENTATION CENTRE
OVERALL SITE PLAN

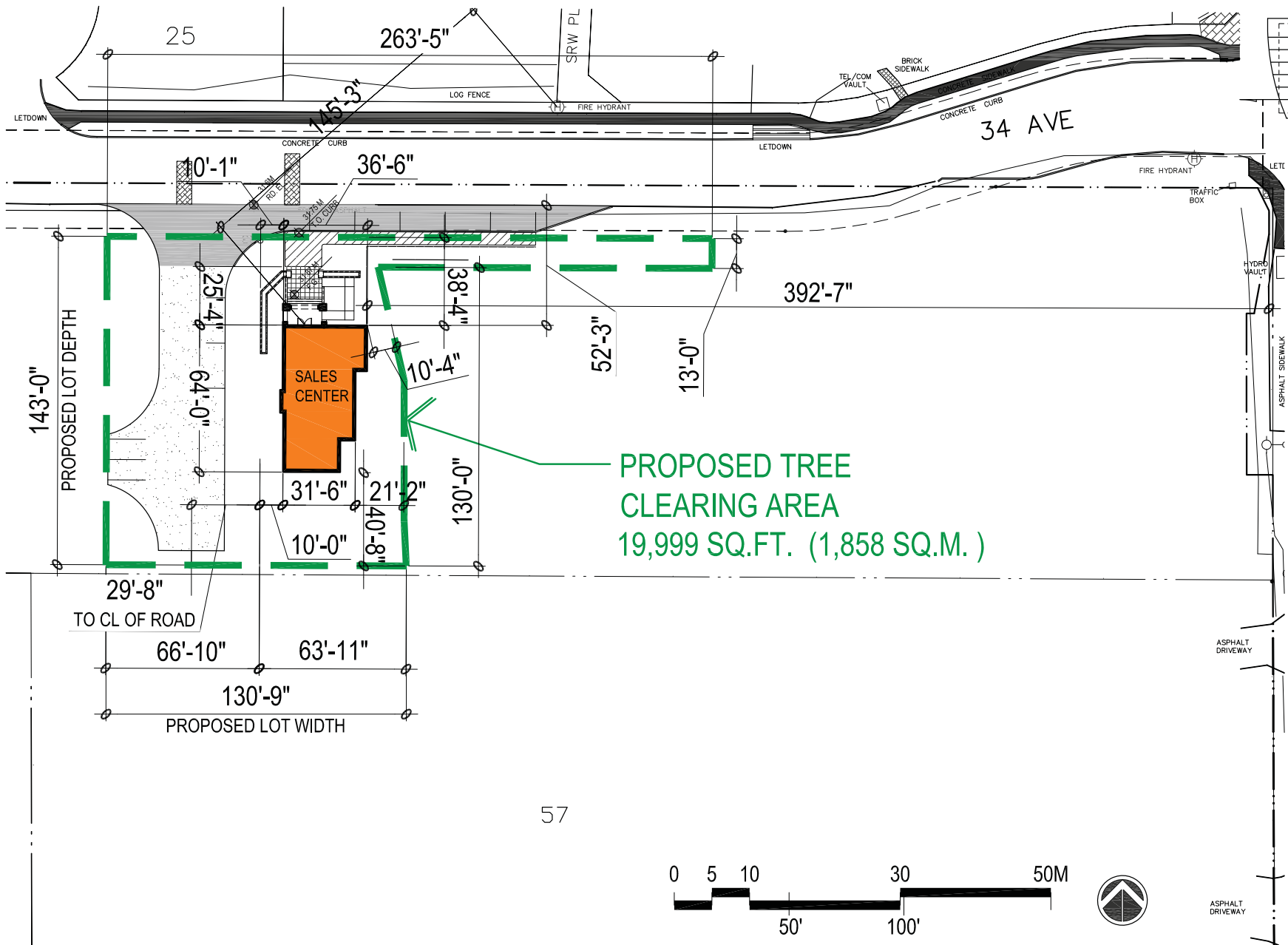
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PLOT DATE: APR 16 2012
DRAWN: LB

PROJ. NO. 1208

DWG. NO. **A1.0**

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ROSITCH
HEMPHILL
a n d
ASSOCIATES
ARCHITECTS
TEL: (604) 669-6002
FAX: (604) 669-1091

NO. ISSUED: 1. BPA DATE: 11 APR 2012

APRIL 11, 2012

PROJECT:
HARVARD GARDENS
PRESENTATION CENTRE
3399 - 151st ST., CITY OF SURREY, B.C.

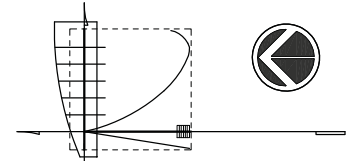
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PRESENTATION CENTRE
SITE PLAN

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DRAWN: LB

PROJ. NO. 1208

DWG. NO. **A1.2**

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**ROSITCH
HEMPHILL
and
ASSOCIATES**

ARCHITECTS
TEL: (604) 669-6002
FAX: (604) 669-1091

NO. ISSUED: DATE:
1. BPA 11 APR 2012

APRIL 11, 2012

PROJECT:
HARVARD GARDENS
PRESENTATION CENTRE
3399 - 151st ST., CITY OF SURREY, B.C.

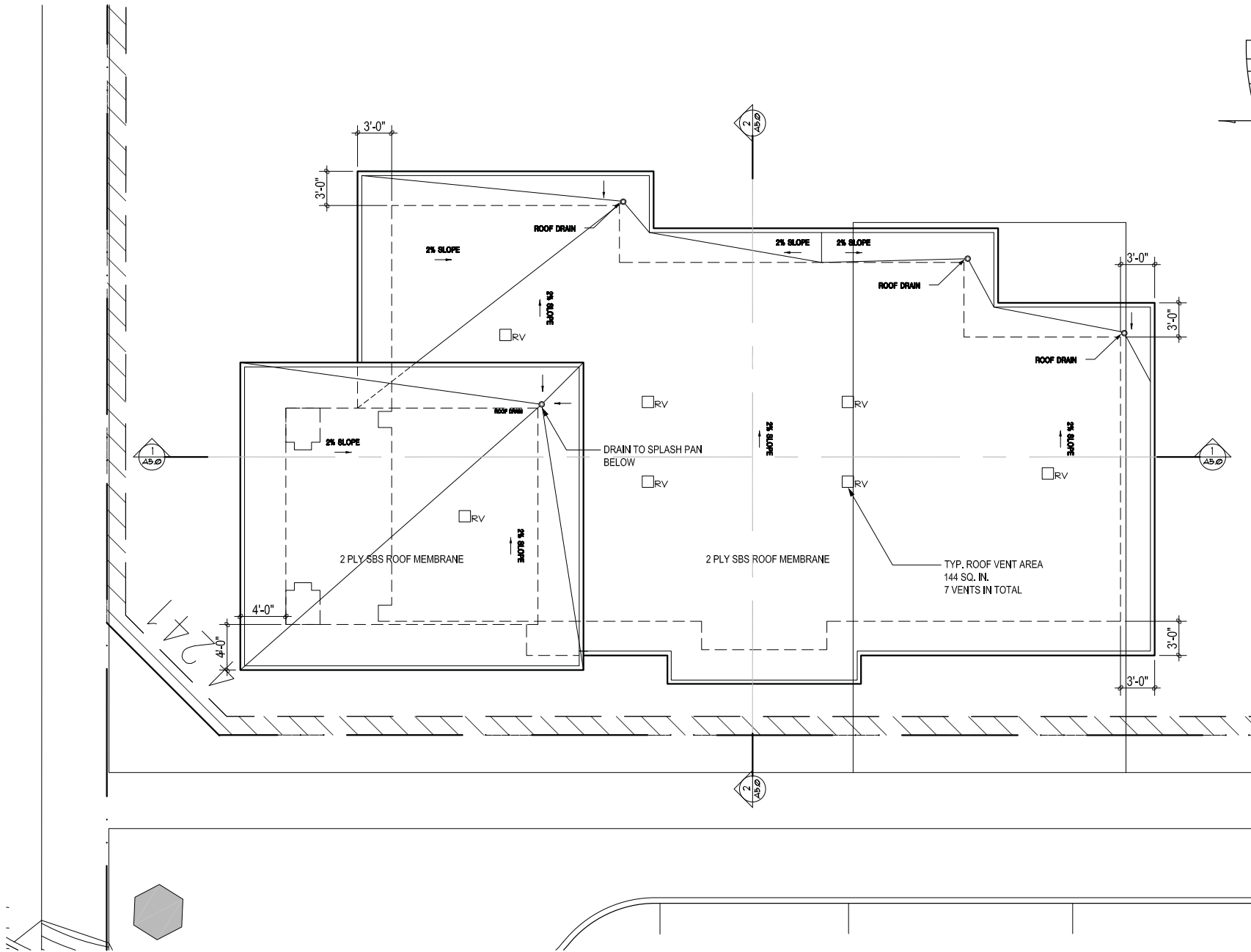
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PRESENTATION CENTRE
ROOF PLAN

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DRAWN: DT

PROJ. NO. 1208

DWG. NO. **A2.1**

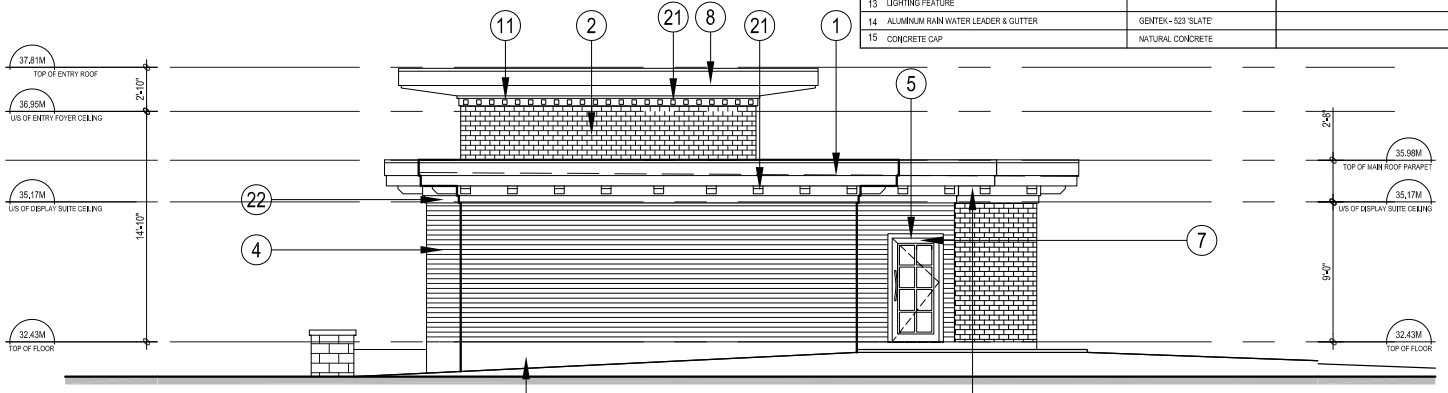
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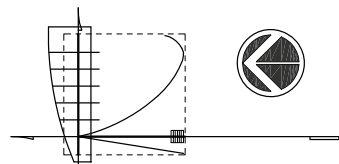


1 NORTH ELEVATION
A4.0 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		APARTMENTS			
1	ROOF FASCIA	BM OC-19 'SEAPEARL'	16	CULTURED STONE LANDSCAPE WALLS	SANDSTONE
2	BRICK CLADDING	MUTUAL MATERIALS 'INCA' MISSION	17	ALUM. LANDSCAPE GUARD PICKET GUARD & POSTS	STOCK BLACK
3	"FIBER-CROWN" OR EQUIVALENT HEADERS & SILLS AT BRICK	BM OC-60 'STONE HEARTH'	18	24 GA PREFINISHED ALUMINUM FLASHINGS	TO MATCH THE COLOUR OF FINISH MATERIAL THE FLASHING COLOURS
4	HARDE HORIZONTAL SIDING 4.5"	BM HC-168 'YENDALL CHARCOAL'	a.	AT BRICK	CASCADIA - OC2255 'WESTERN BROWN'
5	DBLE GLAZED THERM. BROKEN VINYL WINDOW & DOOR FRAME	STOCK BLACK	b.	AT CONCRETE HEADERS & SILLS	CASCADIA - OC1750 'REGENT GRAY'
6	ALUM. STOREFRONT WINDOWS AND DOORS AT MAIN ENTRY	STOCK BLACK	c.	AT DARK GRAY HARDE SIDING	CASCADIA - OC3836 'CHARCOAL'
7	WINDOW & DOOR WOOD TRIM (AT GRAY SIDING #6a)	BM 2108-50 'SILVER FOX'	19	ANIMATED DISPLAY WINDOW	
8	CORNICE	BM OC-19 'SEAPEARL'	20	CONCRETE LOCK BLOCKS	
9	WOOD SOFFIT (W/ SPOT LIGHTING) - AT ENTRY	SANDED SMOOTH DOUGLAS FIR, SIKENS - CE103, COOLAN WHITE	21	TRIM BOARD DENTIL (LARGE)	BM OC-19 'SEAPEARL'
10	VINYL BEADED SOFFIT - TYPICAL	VYTEC - 'STORM'	22	WALL TRIM BOARD	BM OC-19 'SEAPEARL'
11	CORNICE DENTIL (SMALL SQUARES)	BM OC-19 'SEAPEARL'			
12	ALUM. BALC. RAILING & POST EXTERIOR GUARD	STOCK BLACK			
13	LIGHTING FEATURE				
14	ALUMINUM RAIN WATER LEADER & GUTTER	GENTEK - 523 'SLATE'			
15	CONCRETE CAP	NATURAL CONCRETE			



2 SOUTH ELEVATION
A4.0 SCALE: 1/8" = 1'-0"



**ROSITCH
 HEMPHILL
 a n d
 ASSOCIATES**
 ARCHITECTS
 TEL: (604) 669-6002
 FAX: (604) 669-1091

NO. ISSUED: 1. BPA
 DATE: 11 APR 2012

APRIL 11, 2012

PROJECT:
HARVARD GARDENS
 PRESENTATION CENTRE
 3399 - 151st ST., CITY OF SURREY, B.C.

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 PRESENTATION CENTRE
 ELEVATIONS

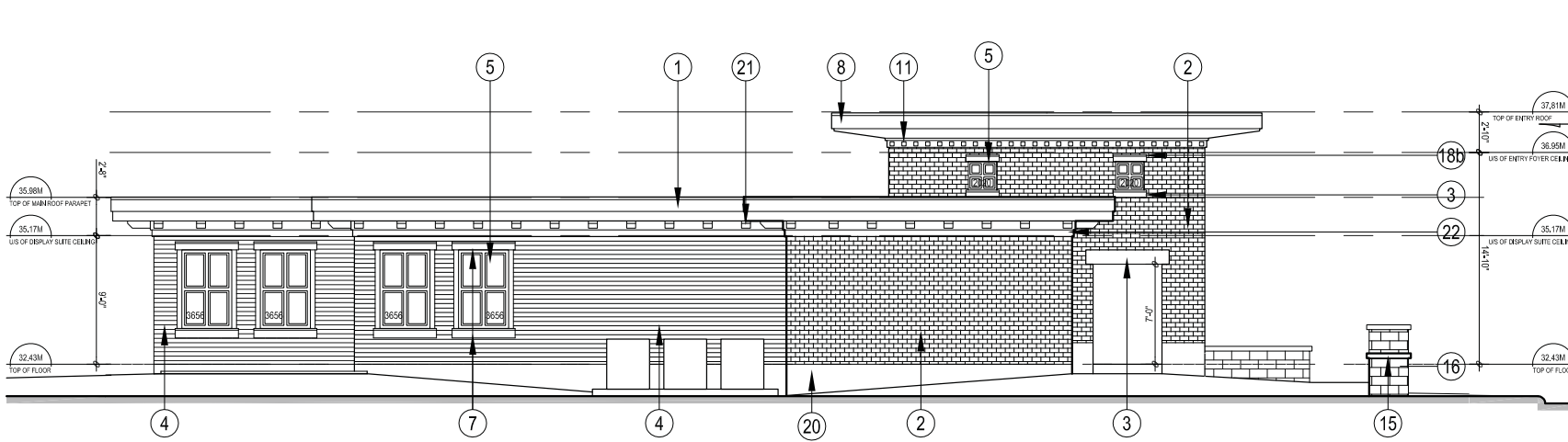
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 DRAWN: DT

PROJ. NO. 1208

DWG. NO. **A4.0**

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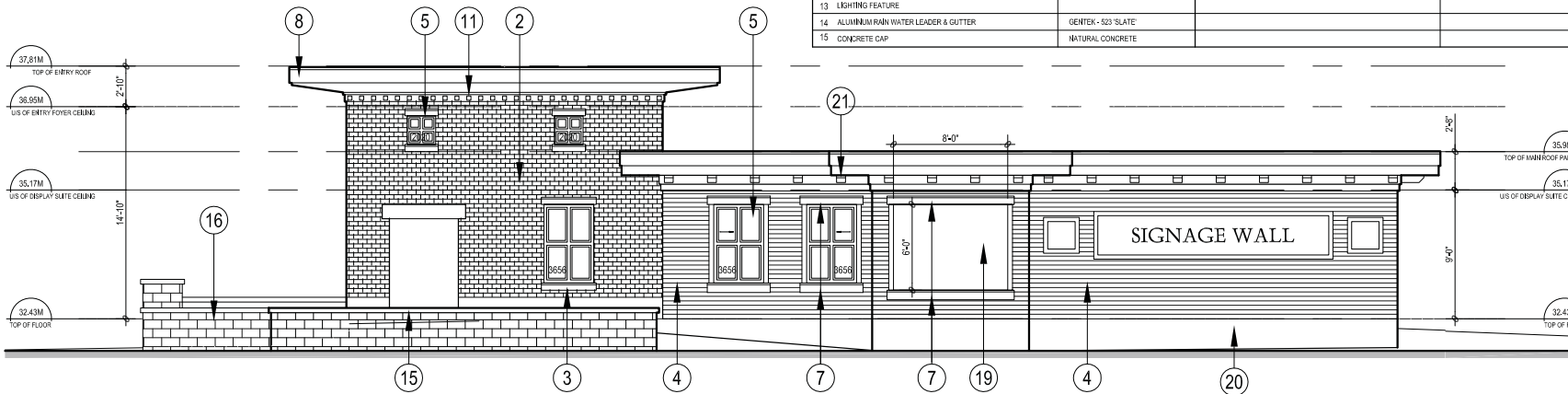




1 EAST ELEVATION

A4.1 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		APARTMENTS			
1	ROOF FASCIA	BM OC-19 'SEAPEARL'	16	CULTURED STONE LANDSCAPE WALLS	SANDSTONE
2	BRICK CLADDING	MUTUAL MATERIALS 'INCA WISSLOW	17	ALUM. LANDSCAPE GUARD PICKET GUARD & POSTS	STOCK BLACK
3	*FIBER-CROWN OR EQUIVALENT HEADERS & SILLS AT BRICK	BM CC-490 'STONE HEARTY'	18	24 GA PREFINISHED ALUMINUM FLASHINGS	TO MATCH THE COLOUR OF FINISH MATERIAL THE FLASHING COVERS
4	HARDEE HORIZONTAL SIDING 4.5"	BM HC-166 'KENDALL CHARCOAL'	a.	AT BRICK	CASCADIA - 00528 'METRO BROWN'
5	DBLE. GLAZED THERM. BROKEN VINYL WINDOW & DOOR FRAME	STOCK BLACK	b.	AT CONCRETE HEADERS & SILLS	CASCADIA - 00170 'REGENT GRAY'
6	ALUM. STOREFRONT WINDOWS AND DOORS AT MAIN ENTRY	STOCK BLACK	c.	AT DARK GRAY HARDEE SIDING	CASCADIA - 00836 'CHARCOAL'
7	WINDOW & DOOR WOOD TRIM (AT GRAY SIDING #56)	BM 2188-58 'SILVER FOX'	19	ANIMATED DISPLAY WINDOW	
8	CORNICE	BM OC-19 'SEAPEARL'	20	CONCRETE LOCK BLOCKS	
9	WOOD SOFFIT (W/ SPOT LIGHTING) - AT ENTRY	SKINDED SMOOTH DOUGLAS FIR, SIKKENS - CETO, CEDAR BOTT	21	TRIM BOARD DENTIL (LARGE)	BM OC-19 'SEAPEARL'
10	VINYL BEADED SOFFIT - TYPICAL	VYTEC - STORMF	22	WALL TRIM BOARD	BM OC-19 'SEAPEARL'
11	CORNICE DENTIL (SMALL SQUARES)	BM OC-19 'SEAPEARL'			
12	ALUM. BALC. RAILING & POST EXTERIOR GUARD	STOCK BLACK			
13	LIGHTING FEATURE				
14	ALUMINUM RAIN WATER LEADER & GUTTER	GENTEK - 523 'SLATE'			
15	CONCRETE CAP	NATURAL CONCRETE			



2 WEST ELEVATION

A4.1 SCALE: 1/8" = 1'-0"

**ROSITCH
HEMPHILL
a n d
ASSOCIATES**
ARCHITECTS
TEL: (604) 669-6002
FAX: (604) 669-1091

NO. ISSUED: 1. BPA DATE: 11 APR 2012

APRIL 11, 2012

PROJECT:
HARVARD GARDENS
PRESENTATION CENTRE
3399 - 151st ST., CITY OF SURREY, B.C.

DRAWING TITLE:
PRESENTATION CENTRE
ELEVATIONS

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DRAWN: DT

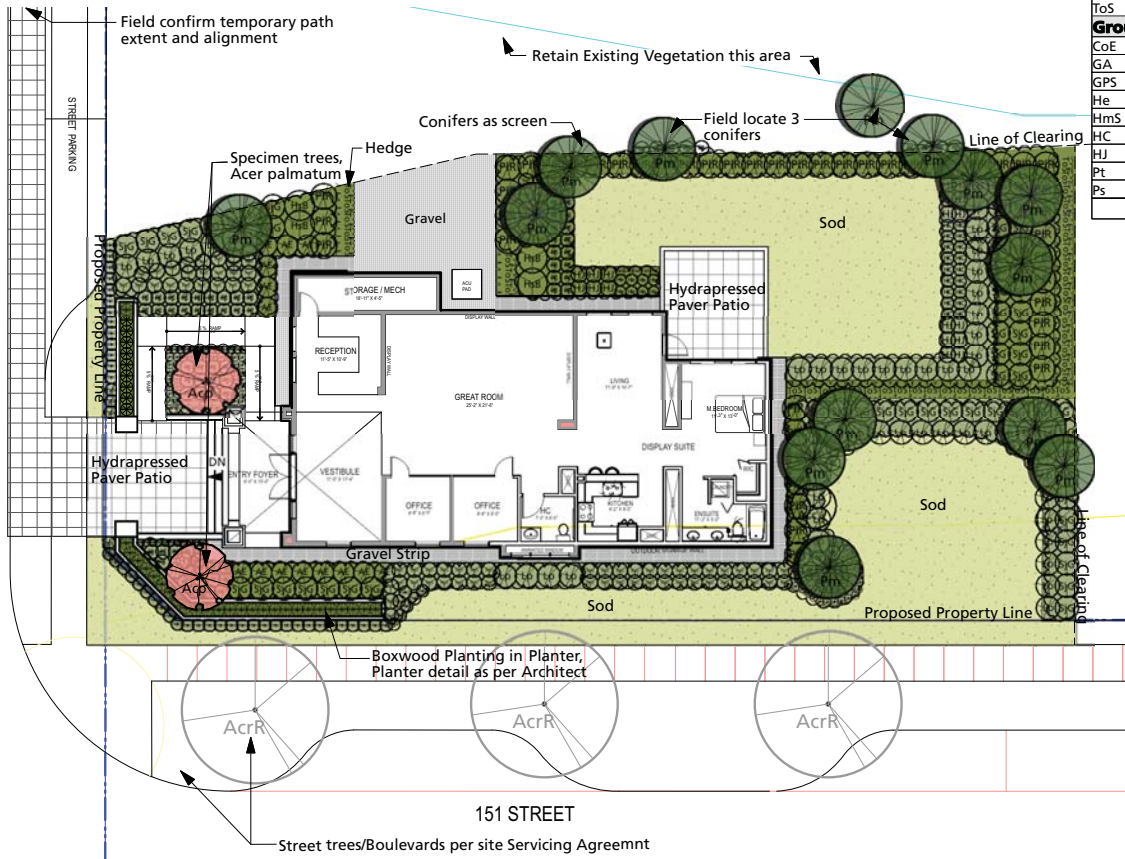
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DWG. NO. **A4.1**

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34 AVENUE



Plant List					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
Acc	3	<i>Acer circinatum</i>	Vine Maple	2m ht.	
Acp	2	<i>Acer palmatum</i>	Japanese Maple	8cm cal.	
Pm	14	<i>Pseudotsuga menziesii</i>	Douglas Fir	2.5m ht, B&B	
Shrubs					
AE	14	<i>Abelia 'Edward Goucher'</i>	Edward Goucher Abelia	#5 pot	
BmW	36	<i>Buxus microphylla 'Winter Gem'</i>	Winter Gem Boxwood	#3 pot	
EdK	6	<i>Erica x darleyensis 'Kramer's Red'</i>	Red Flowering Heather	#2 pot	
HsB	4	<i>Hydrangea serrata 'Bluebird'</i>	Blue Bird Hydrangea	#7 pot	
Lp	54	<i>Lonicera pileata</i>	Privet Honeysuckle	#5 pot	
NdJ	79	<i>Nandina domestica 'Jaytee'</i>	Habour Belle Heavenly Bamboo	#3 pot	
PIR	47	<i>Prunus laurocerasus 'Reynvaanii'</i>	Russian Laurel	#5 pot	Hedge
SiG	57	<i>Spiraea japonica 'Goldmound'</i>	Goldmound Spirea	#3 pot	
ToS	44	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Cedar	6' ht, B&B	Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses					
CoE	5	<i>Carex oshimensis 'Evergold'</i>	Sedge	#1 pot	
GA	5	<i>Geranium 'Anne Thomson'</i>	Hardy Geranium	#1 pot	
GPS	70	<i>Geranium 'Pink Spice'</i>	Dwarf Cranesbill	#1 pot	
He	8	<i>Helleborus foetidus</i>	Stinking Hellebore	#2 pot	
HmS	47	<i>Hemerocallis 'Stella de Oro'</i>	Stella de Oro Daylily	#2 pot	
HC	18	<i>Heuchera 'Cherries Jubilee'</i>	Coral Bells	#2 pot	
HJ	21	<i>Hosta 'June'</i>	June Hosta	#2 pot	
Pt	48	<i>Pachysandra terminalis</i>	Japanese Spurge	#1 pot	Groundcover
Ps	86	<i>Polystichum setiferum</i>	Soft Shield Fern	#2 pot	
Total	671				

W.A. Brown

P+A
 Perry + Associates
 200-1558 W. 6th Avenue
 Vancouver, BC V6J 1R2
 T 604 738 4118
 F 604 738 4116

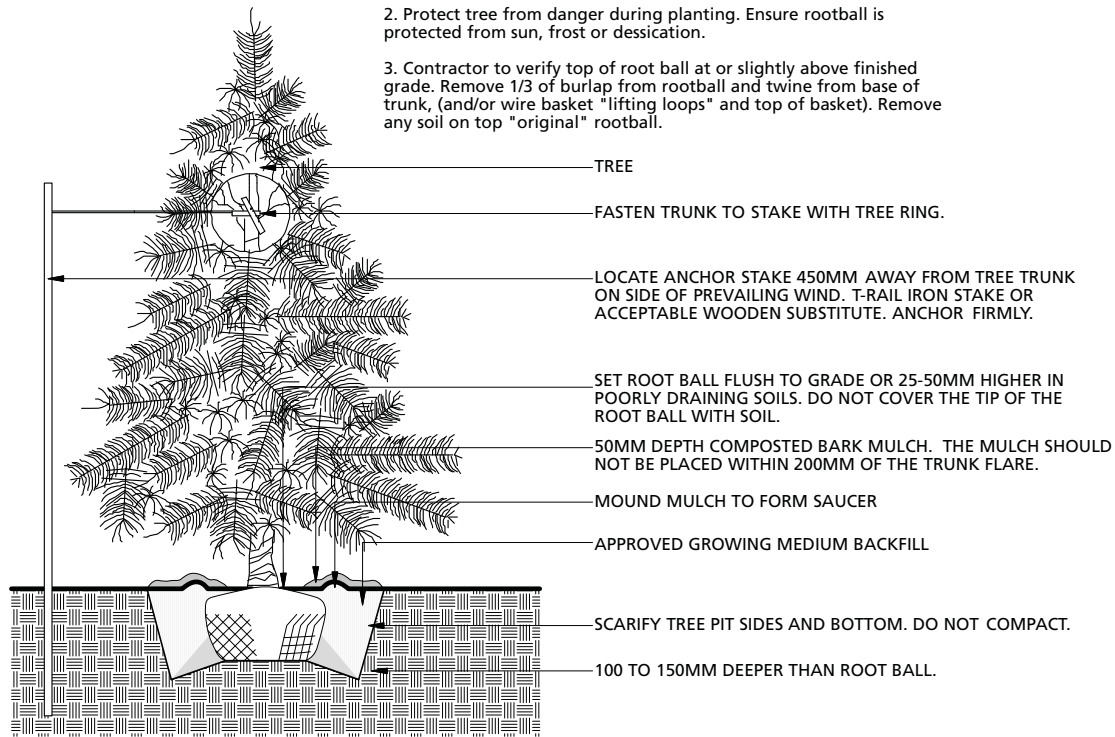
Date: 04/11/12
 Scale: 1:200
 Project No.: 11-040
 Project Title: Harvard Gardens Sales Centre
 Drawing Title: Layout & Planting Plan

Drawn By: jw
 Checked By: rb
 Issue: Issue for BP

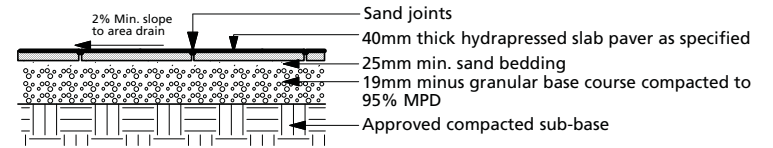
Project North:
 Sheet No.: L1.0

GENERAL NOTES:

1. Do not cut Leader
2. Protect tree from danger during planting. Ensure rootball is protected from sun, frost or dessication.
3. Contractor to verify top of root ball at or slightly above finished grade. Remove 1/3 of burlap from rootball and twine from base of trunk, (and/or wire basket "lifting loops" and top of basket). Remove any soil on top "original" rootball.



1 CONIFEROUS TREE PLANTING DETAIL
SCALE=1:25



On-Grade

Note:
- Minimum paver cut to be 1/3 of the size of pavers.
- Refer to grading plan and sections for the amount of build-up required over slab to final grade.

2 HYDRAPRESSED PAVING
SCALE=1:20

Handwritten signature

<p>Perry + Associates 200-1558 W. 6th Avenue Vancouver, BC V6J 1R2</p> <p>Landscape Architecture T 604 738 4118 Site Planning F 604 738 4116</p>	Date:	04/11/12	Scale:	as noted	Project No.:	11-040	Drawn By:	jw	Checked By:	rb	Project North:		Sheet No.: L2.0	
	Project Title:	Harvard Gardens Sales Centre					Issue:	Issue for BP						
	Drawing Title:	Details												