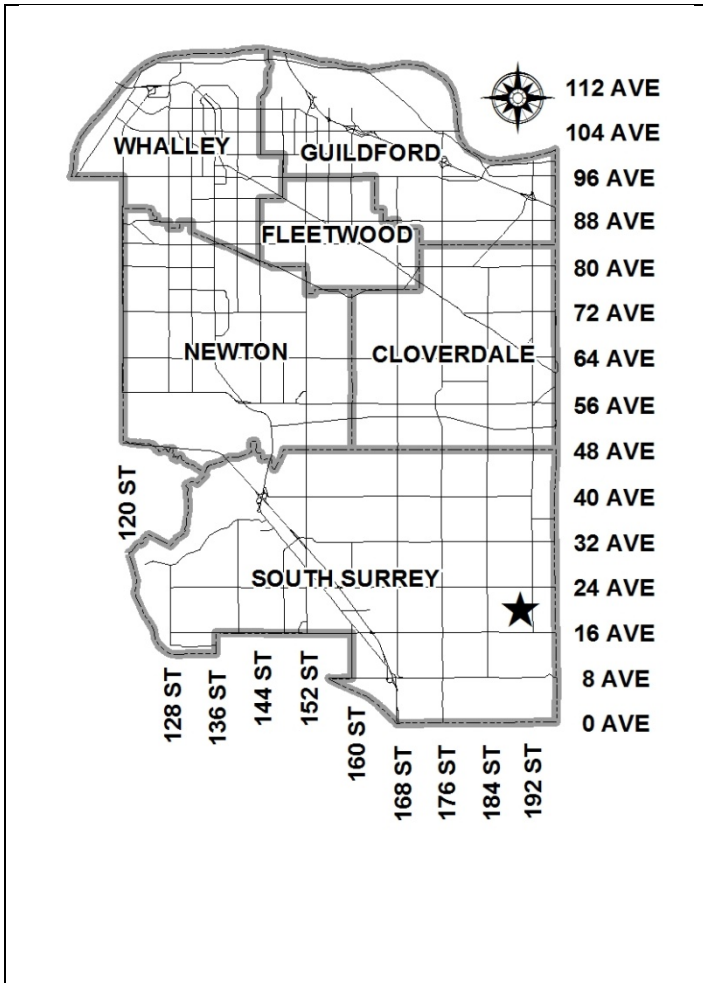


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7912-0069-00

Planning Report Date: July 22, 2013

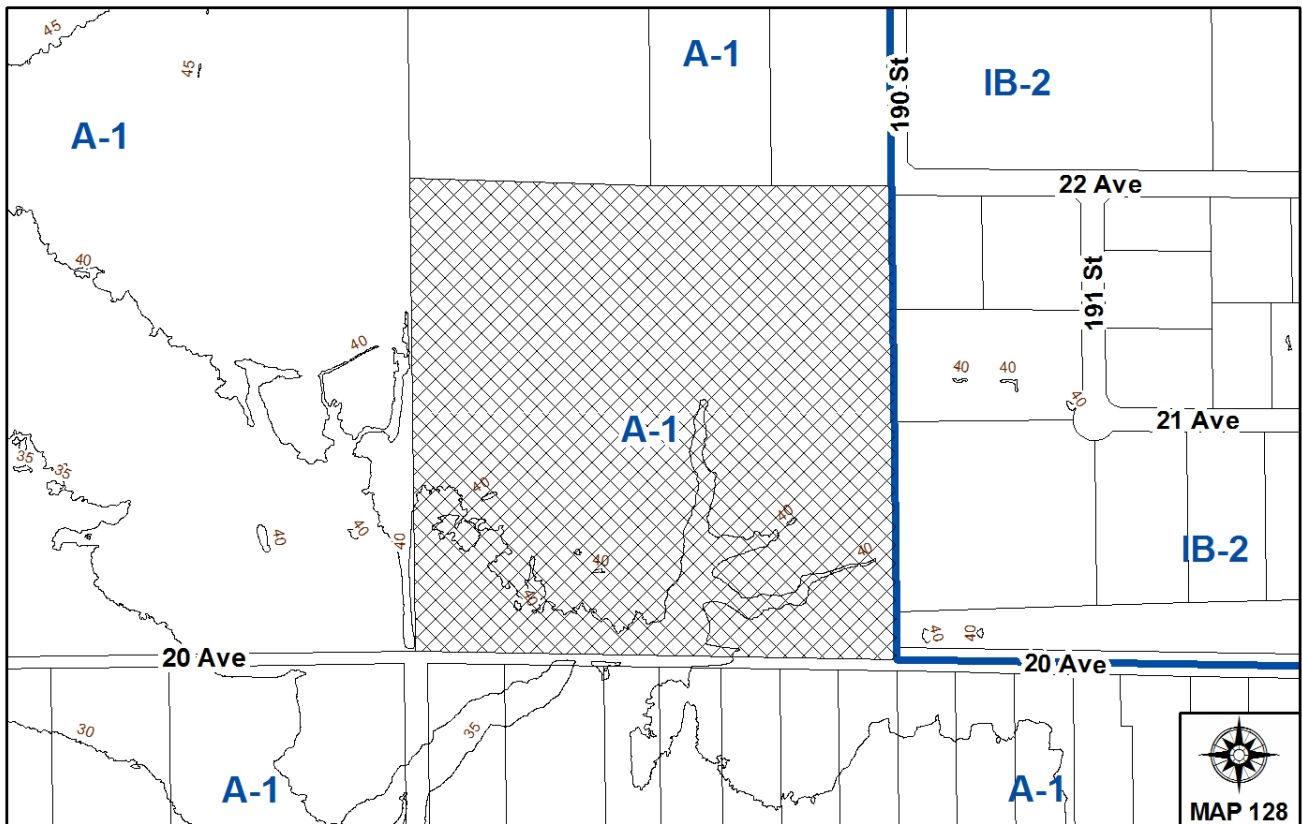


PROPOSAL:

- **Campbell Heights LAP Amendment**
- **Rezoning** from A-1 to IB-2
- **General Development Permit**

in order to permit the development of six industrial lots and one lot for the protection of the riparian area.

LOCATION: 18821 - 20 Avenue
OWNER: 0731885 BC Ltd, KVLP (Surrey) Holdings Ltd., KVLP (Campbell) Developments Ltd. & KVLP (20th) Enterprises Ltd.
ZONING: A-1
OCP DESIGNATION: Industrial
LAP DESIGNATION: Business Park, Stormwater Detention Facilities, Open Space Corridors/ Buffers & Multi-Use Trails



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed amendment to the Campbell Heights Local Area Plan (LAP) to remove a stormwater detention facility, change the location of the multi-use trail, and to adjust the open space corridors.

RATIONALE OF RECOMMENDATION

- Complies with the Industrial designation in the Official Community Plan (OCP).
- The proposed amendment to the Campbell Heights LAP is required to reflect the current servicing in the area that no longer requires the stormwater detention facility and to adjust the location of the multi-use trail and open space corridors based on current requirements.
- A General Development Permit (DP) is proposed to establish guidelines and design standards to achieve high quality development. Individual detailed DPs will be required when development occurs on the proposed six industrial lots in the future.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "General Agriculture Zone (A-1)" (By-law No. 12000) to "Business Park 2 Zone (IB-2)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7912-0069-00 generally in accordance with the attached drawings (Appendix VII).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout, including dedication of the ALR buffer and conveyance of the riparian area to the City for conservation purposes, to the satisfaction of the Approving Officer;
 - (c) input from Senior Government Environmental Agencies;
 - (d) submission of a detailed riparian planting plan and completion of a P-15 agreement are required for monitoring and maintenance of replanting in the conveyed riparian area;
 - (e) submission of a finalized landscape plan for the ALR buffer to the satisfaction of the Parks, Recreation and Culture Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (g) the applicant adequately address the shortfall in tree replacement.
4. Council pass a resolution to amend the Campbell Heights Local Area Plan to remove a stormwater detention facility, change the location of the multi-use trail and to adjust the open space corridors when the project is considered for final adoption (Appendix VI).

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Surrey Fire Department: No concerns.

Fisheries and Oceans Canada (DFO): In accordance with the Environmental Review Committee (ERC) decision dated November 21, 2012, DFO has accepted the proposed setbacks from watercourses located on the southern half of the property provided that the riparian area is conveyed to the City for conservation purposes.

Agriculture and Food Security Advisory Committee (AFSAC): This application proceeded for consideration at the March 14, 2013 AFSAC Meeting (Item D.3 in Appendix V). The Committee supported the 15m (49 ft) Agriculture Land Reserve (ALR) buffer, but requested that the walkway be located outside of the buffer area. In addition, AFSAC requested that a black chain link fence be installed between the ALR buffer and the pathway.

Parks, Recreation & Culture Department (PRC): The applicant is required to convey the riparian area to the City, without compensation, for the protection of the watercourses located on the property. Before land is accepted by PRC, it must be free of structures, hazards, invasive weeds, old fences, garbage and any other hazards. A detailed planting plan and an associated P-15 agreement are required for monitoring and maintenance of the proposed replanting in the conveyed riparian area.

PRC has a concern about the proposed ALR buffer and supports the recommendations of the AFSAC committee recommending that the Multi-use trail is located outside of the 15m (49 ft.) ALR buffer. PRC has offered to purchase the extra land required to construct the Multi-use trail outside of the buffer area. The ALR buffer and Multi-use trail is discussed in more detail in the Development Considerations section of this report.

SITE CHARACTERISTICS

Existing Land Use: Agricultural property with a large treed area at the Southern portion of the property.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North:	Agricultural properties	Industrial/ Business Park and Open Space Corridors/ Buffers	A-1
East:	Industrial business park developments	Industrial/ Business Park, Open Space Corridors/ Buffers and Multi-use Trail	IB-2
South:	Agricultural properties	Agricultural	A-1
West:	Agricultural properties	Agricultural/ Agricultural Land Reserve	A-1

JUSTIFICATION FOR PLAN AMENDMENT

- The site is designated "Industrial" in the Official Community Plan (OCP) and " Business Park", "Stormwater Detention Facilities", " Open Space Corridors/ Buffers" and "Multi-Use Trails" in the Campbell Heights Land Use Plan (LAP).
- The proposed development complies with the Industrial designation in the OCP.
- The applicant is proposing to amend the Campbell Heights LAP (Appendix VI) by:
 - Removing the stormwater detention facility;
 - Changing the location of the multi-use trail from the West side to the East side of the site; and
 - Adjusting the open space corridors.
- The applicant has been able to demonstrate that the storm water detention facility that was originally identified in the plan area in 2000 is no longer required. The Engineering Department has reviewed this request and has no concerns.
- The proposed amendment to change the location of the multi-use trail from the West side to the East side of the site is supported by the Parks, Recreation and Culture Department. The intent of the proposed change is to use the land more efficiently.
- The applicant is also proposing to adjust the open space corridors identified in the LAP in order to reflect the Environmental Review Committee (ERC) decision dated November 21, 2012. DFO has no concerns with the proposed revisions to the open space corridors.

DEVELOPMENT CONSIDERATIONS

- The subject site is designated "Industrial" in the Official Community Plan (OCP) and is zoned "General Agriculture (A-1) Zone". The owner proposes to rezone the site to "Business Park 2 (IB-2) Zone" and seeks a General Development Permit to permit future business park development on the proposed six (6) industrial lots.

Riparian Area

- Proposed Lot 7, consisting of 2.96 hectares (7.31 acres) and representing approximately 18% of the total site is proposed to be conveyed to the City for conservation purposes, without compensation, in accordance with the Environmental Review Committee (ERC) decision dated November 21, 2012.
- A detailed riparian planting plan and an associated P-15 agreement are required for monitoring and maintenance of the proposed replanting in the conveyed riparian area prior to the final approval of this project.

Agriculture Land Reserve (ALR) Interface & Multi-Use Trail

- In accordance with the requirements of the OCP and the Campbell Heights LAP, the applicant has agreed to dedicate a 15m (49 ft) buffer adjacent to the ALR and will be required to setback all buildings at least 30 metres (100 feet) from the ALR boundary.
- The Agriculture and Food Security Advisory Committee (AFSAC) supported the 15m (49 ft) dedicated ALR buffer presented by the applicant, but requested that the multi-use trail be located outside of the buffer area. The Parks, Recreation and Culture Department (PRC) supports AFSAC's recommendation and has offered to purchase the land from the applicant in order to locate the trail outside of the buffer area.
- Despite AFSAC's recommendation, current OCP policy permits trails to be provided in the ALR buffer as long as they occupy less than one third of the buffer width, are located away from the edge of the agricultural land, and do not reduce the effectiveness and primary purpose of the landscape buffer.
- Since the OCP permits trails to be located in the ALR buffer, and the applicant has demonstrated the trail will occupy less than one third of the buffer width, and will be located away from the edge of the agricultural land (no closer than 10 m (33 ft) to the ALR), the applicant is not prepared to provide the trail outside of the buffer area. The applicant is concerned that the additional land area requested by AFSAC for the trail to be located outside of the buffer would have significant impacts on the economic feasibility of the proposed industrial development by decreasing the building square footage and impacting the rear loading and truck manoeuvring requirements. Instead, the applicant is prepared to provide an additional 1.2 m (4 ft) landscape strip adjacent to the ALR buffer on their site, which would effectively increase the width of the ALR buffer from 15 m (49 ft) to 16.2 m (53 ft).
- Overall, planning staff are of the opinion that although it would be preferable to have the trail located outside of the buffer area as requested by AFSAC and supported by PRC, trails are permitted to be located in the ALR buffer in the OCP and the applicants proposal to increase the buffer width by providing a 1.2m (4 ft) landscaping strip is a reasonable solution.

Arborist Assessment:

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates Limited prepared an Arborist Assessment for the subject property (Appendix IV). The Arborist Assessment states that there are a total of 22 protected trees on the site. Table 1 provides the breakdown by tree species on the subject site.
- Table 1 excludes the protected trees located within the riparian area. The trees within the riparian area will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.

Table 1: Summary of Tree Preservation by Tree Species

Tree Species	Total Number of Trees	Proposed for Retention	Proposed for Removal
Red Alder and Black Cottonwood	11	0	11
Apple	1	0	1
Paper Birch	1	0	1
Western Red Cedar	1	1	0
Douglas Fir	2	0	2
Bigleaf Maple	5	0	5
Walnut	1	0	1
Total	22	1	21

- Approximately 50% of the existing trees are non-retainable species such as Alder and Cottonwood trees. In addition, tree retention is challenging in industrial development as a result of the requirements for large building envelopes and associated loading and storage space. Overall, City staff is of the opinion that all reasonable options for tree preservation have been considered on the subject site.
- For the trees that cannot be retained, the applicant will be required to replant the trees on a 2 to 1 replacement basis for coniferous trees, and a 1 to 1 replacement for deciduous trees. This will require a total of 31 replacement trees on the site. Since no replacement trees can be accommodated on the site at this time, the deficit of 31 replacement trees will require a cash-in-lieu payment of \$ 9,300, representing \$300 per tree, to the City's Green Fund, in accordance with the City's Tree Protection By-law, prior to the final approval of this application.

General Development Permit

- The proposed General Development Permit (DP) was drafted based on the Official Community Plan (OCP) Guidelines for industrial developments and the Campbell Heights LAP Design Guidelines (Appendix VII). It will be used to guide future development on the subject site. Future detailed DPs will be needed for development of the subject site and the Generalized DP establishes the guidelines to evaluate the future DPs. The following specific areas are detailed in the General DP:
 - Site design, form and architectural character;
 - Transportation;
 - Landscaping;
 - Outdoor storage;
 - Signage;
 - Crime Prevention Through Environmental Design (CPTED); and
 - Sustainability.

PRE-NOTIFICATION

- Pre-notification letters were sent on February 6, 2013 to 138 properties within 100 m (328 ft) of the subject site and staff received two (2) letters of response as a result of the notification.
- The City received a letter from the Little Campbell Watershed Society (LCWS) requesting confirmation that the City's drainage and environmental standards would be followed by the applicant during development of the site.

(The Engineering Department has confirmed that all developments in the Campbell Heights LAP are required to comply with the engineering servicing requirements in the Land Use Plan document. These include on-site stormwater management of run-off from frequently occurring rain events.)

- The City also received a letter from an area resident that was concerned about the proposed development. The resident requested that the Southern half of the property not be developed since it contains significant ecological value, and that an appropriate ALR buffer is provided.

(A substantial portion of the Southern half of the property is being protected and is proposed to be conveyed to the City for conservation purposes. In addition, a 15 metre (49 ft) ALR buffer is proposed as part of this proposal.)

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on July 4, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Located within the Campbell Heights LAP. The proposed development will generate industrial employment in the community.
2. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Proposed development incorporates Low Impact Development Standards (LIDs) including: <ul style="list-style-type: none"> ○ sediment control devices; ○ perforated pipe systems; ○ infiltration ditches; and ○ subsurface detention chambers. • Conveyance of approximately 18% of the total site to the City, without compensation, for the protection of the riparian area on the Southern portion of the property.
3. Accessibility and Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed Design Guidelines include Crime Prevention Through Environmental Design (CPTED) principles in order to ensure that community safety is incorporated into the detailed design as part of the DP process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Subdivision Layout and Agriculture Land Reserve (ALR) Buffer
- Appendix III. Engineering Summary
- Appendix IV. Tree Preservation Summary
- Appendix V. Agriculture and Food Security Advisory Committee (AFSCAC) Minutes
- Appendix VI. Proposed Amendment to the Campbell Heights Land Use Plan
- Appendix VII. General Development Permit – Design Guidelines

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

CL/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Dave Gormley, Vice President, Land Development
Address: Beedie Development Group
3030 - Gilmore Diversion
Burnaby, BC V5G 3B4
Tel: 604-435-3321

2. Properties involved in the Application

(a) Civic Address: 18821 - 20 Avenue

(b) Civic Address: 18821 - 20 Avenue
Owner: Kvlp (20th) Enterprises Ltd
Kvlp (Campbell) Developments Ltd
Kvlp (Surrey) Holdings Ltd
0731885 BC Ltd
Director Information:
Ryan K. Beedie
Keith R. Beedie

Officer Information as at August 8, 2012

Keith R Beedie (Chair, Vice President)
Ryan k. Beedie (President, Secretary)

PID: 009-189-980
South West Quarter of the North East Quarter Section 16 Township 7 New Westminster
District

3. Summary of Actions for City Clerk's Office

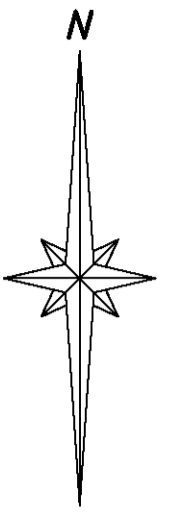
- (a) Introduce a By-law to rezone the property.

SUBDIVISION DATA SHEET

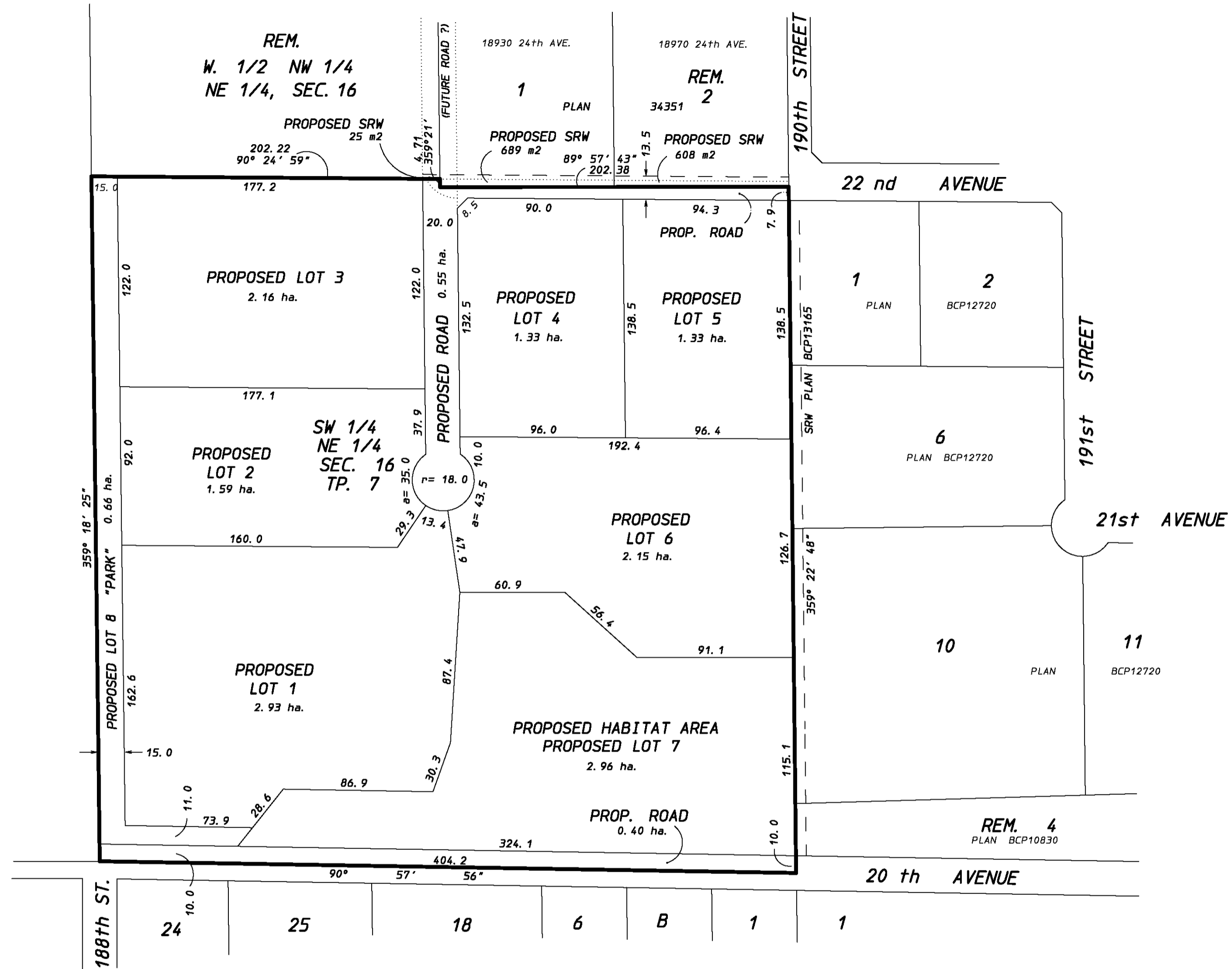
Proposed Zoning: IB-2

Requires Project Data	Proposed
GROSS SITE AREA	16.06 ha
Road dedication	0.95 ha
Riparian area dedication	2.96 ha
Parkland dedication	0.66 ha
NET SITE AREA	11.49 ha
NUMBER OF LOTS	
Existing	1
Proposed	6 industrial lots + 1 riparian protection lot
SIZE OF LOTS	
Range of lot areas (hectares)	1.33 to 2.93 hectares
PARKLAND	
Area (square metres)	0.66 ha
% of Gross Site	5% excluding riparian area dedication
	Required
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	NO
HERITAGE SITE Retention	NO
BOUNDARY HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

PRELIMINARY ONLY



SW 1/4, NE 1/4
SEC. 16, TP. 7



THIS PLAN MAY BE AFFECTED BY THE FOLLOWING REGISTERED DOCUMENTS:

** THIS PLAN WAS PREPARED FOR MUNICIPAL PURPOSES AND IS FOR THE EXCLUSIVE USE OF OUR CLIENT. WITHOUT THE CONSENT OF THE SIGNATORY.
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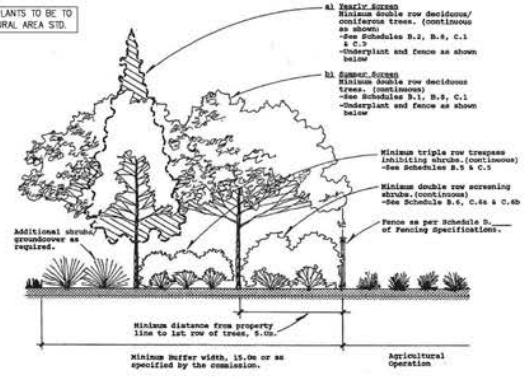
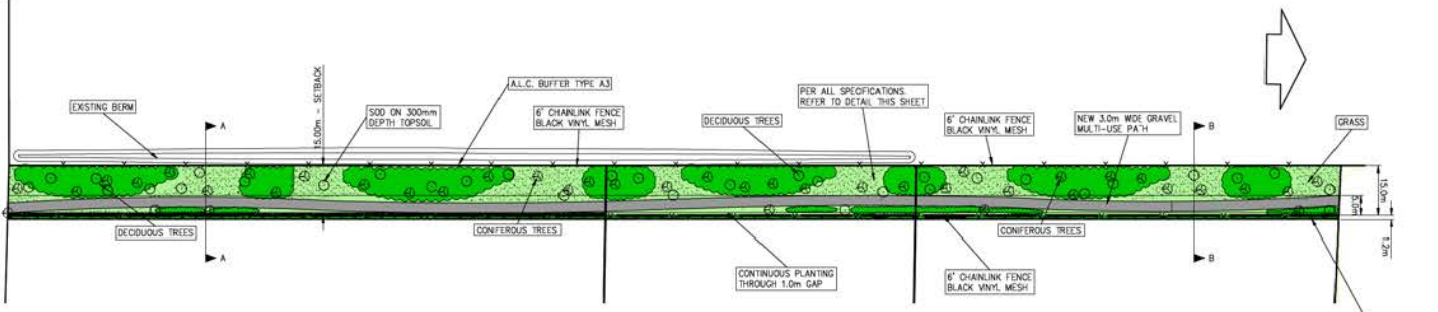
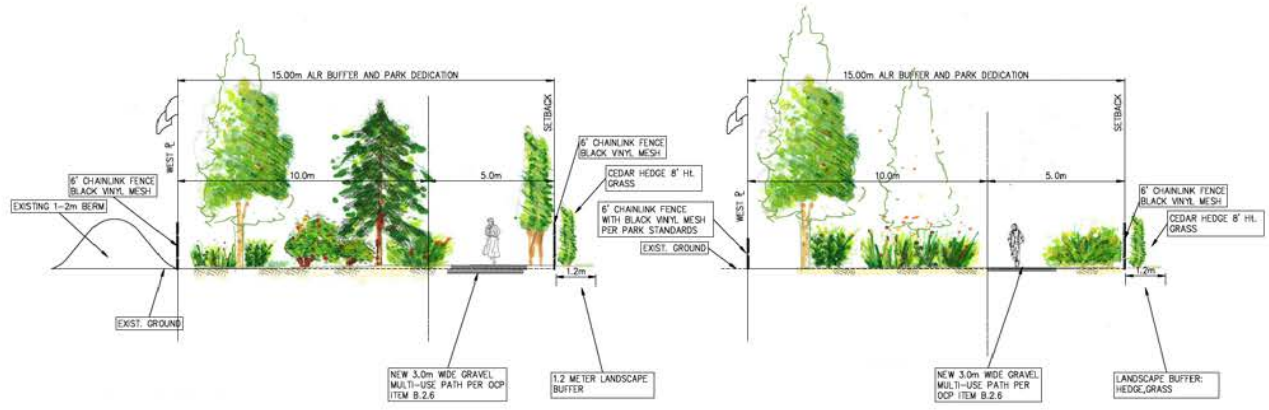
** THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE OR ACTIONS TAKEN BASED ON THIS DOCUMENT.
 ** THIS DOCUMENT SHOWS THE RELATIVE LOCATION OF BOUNDARIES AND IS SUBJECT TO AMENDMENTS AND REVISIONS AS CHANGES EVOLVE.

SKETCH SHOWING PROPOSED SUBDIVISION OF SOUTH WEST QUARTER OF NORTH EAST QUARTER, SECTION 16, TOWNSHIP 7, N. W. D.
 CITY OF SURREY
 PID: 009-189-980

SCALE: 1: 2000



CIVIC ADDRESS: 18821 - 20th AVENUE, SURREY, B. C.



NOTE: ALL PLANTS TO BE TO PARK'S NATURAL AREA STD.

PRELIMINARY

NOTICE: LEGAL AND EXISTING UTILITY INFORMATION BASED ON GIS DATA AND SHOWN FOR DISCUSSION PURPOSES ONLY

No.	DATE	REVISION	BY
3	JUL 03/13	REVISED AS PER CITY COMMENTS	SG
2	APR 09/13	REVISED AS PER CITY COMMENTS	AS
1	JAN 22/12	REVISED AS PER CLIENT COMMENTS	PT

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R.F. Binnie & Associates Ltd.
205 - 4946 Canada Way
Burnaby, BC V5G 4H7
P: 604-420-1721
F: 604-420-4743
www.binnie.com

CLIENT: **BEEIDIE CONSTRUCTION**
3030 GILMORE DIVERS, BURNABY, BC, V5G 3B4

DRAWING DESCRIPTION: **CAMBELL HEIGHTS DEVELOPMENT PARKLAND DEDICATION PLAN AND SECTIONS**

SURVEYED BY: SG
DRAWN BY: GR
DESIGNED BY: GR
CHECKED BY: TR

DATE: 2013-01-22
DRAWING No.: **11-301-D1**

SCALES: AS SHOWN

SHEET 2 OF 2
REV. 2

THE CITY OF SURREY

SCALE: FOR AS SHOWN VIEW
CHECKED: P.W. P.J.
SURREY PROJECT No.
SURREY DRAWING No.

City of SURREY

• Burnaby • Courtenay • Qalicum Beach • Prince George • Sechelt • Squamish • Surrey •

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: July 17, 2013

PROJECT FILE: 7812-0069-00

**RE: Engineering Requirements (Commercial/Industrial)
Location: 18821 20 Ave**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 10.000 metres fronting 20 Avenue for total 20 m road allowance
- provide 0.50 metre SROW fronting 20 Avenue.
- dedicate 7.90 metres fronting 22 Avenue for ultimate 22 m road allowance.
- provide 5.60 metre offsite SROW fronting 22 Avenue.
- provide 0.50 metre SROW fronting 22 Avenue.
- dedicate 6.0m x 6.0m corner cut at the intersection of 22 Avenue and 189 Street.
- dedicate 20.000 metres for 189 Street.
- provide 0.50 metre SROW fronting 189 Street.
- dedicate 17.00 metre radius for cul de sac.

Works and Services

- construct south side of 22 Avenue.
- construct 189 Street.
- construct water main, storm and sanitary sewers to service the proposed Development.
- Pay 100% DCC charges at subdivision.

A Servicing Agreement is required prior to Rezone/Subdivision.



Rémi Dubé, P.Eng.
Development Services Manager

LR

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

SURREY TREE PRESERVATION SUMMARY

Surrey Project No: 12-0069-00
Project Location: 18821 - 20 Avenue, Surrey, BC
Arborist: Peter Mennel ISA (PN-5611A)

Detailed Assessment of the existing trees or an Arborist's Report is submitted on file.
The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment

The vast majority of the developable portion of the site has been cleared for past land uses and is devoid of trees. The few "protected" trees that exist are generally found within a young age class stand (<30cm DBH) of red alder that borders the "Habitat Area". The broadleaf trees (Primarily bigleaf maple) are generally of moderate structure and good health. Dominant trees on the developable portion include two Douglas-fir and one western redcedar.

2. Summary of Proposed Tree Removal and Replacement

Number of Protected Trees identified	(A) 22
Number of Protected Trees declared hazardous due to natural causes	(B) 0
Number of Protected Trees to be removed	(C) 21
Number of Protected Trees to be retained (A-C)	(D) 1
Number of Replacement Trees required (11 x alder and cottonwood X 1 and 10 others X 2)	(E) 31
Number of Replacement Trees proposed	(F) 0
Number of Replacement Trees in deficit (E-F)	(G) 31
Total number of Prot. and Rep. Trees on site (D+F)	(H) 1
Number of lots proposed in the project	(I) 6
Average number of Trees per Lot	(H/I) .17

We note that more than the required 31 trees will be installed with future Development Permits for the individual lots.

3. Tree Survey and Preservation/Replacement Plan

Tree Survey and Removal Plan is attached.

Summary and plan prepared and submitted by Mike Fadum and Associates Ltd.

Date: July 11, 2013



Agriculture and Food Security Advisory Committee Minutes

Present:

Chairperson – Councillor Hepner
M. Bose
D. Arnold
P. Harrison
M. Hilmer
B. Sandhu
J. Sandhar
K. Thiara
S. VanKeulen

Regrets:

T. Pellett, Agricultural Land
Commission

Staff Present:

R. Dubé, Engineering
C. Stewart, Planning & Development
M. Kischnick, Planning & Development
L. Anderson, Legislative Services

Environmental Advisory**Committee Representative:**

B. Stewart

Agency Representatives:

K. Zimmerman, Ministry of Agriculture

Guest Observers:

R. Grieve, HyLine Construction
G. Rice

A. ADOPTION OF MINUTES

It was

Moved by P. Harrison

Seconded by M. Bose

That the Agriculture and Food Security Advisory

Committee adopt the minutes of the February 7, 2013 meeting.

Carried

B. DELEGATIONS**1. S. Godwin, Environmental Coordinator**

Re: Surrey Biodiversity Conservation Strategy (BCS)

S. Godwin, Environmental Coordinator, was in attendance to provide an update on the City's Biodiversity Conservation Strategy and to respond to any questions the Committee may have. A PowerPoint presentation included a brief background on the City's previous Ecosystem Management Study and updated the Committee on the second stage, including draft mapping and policy recommendations of the BCS. The update included information on the purpose and goals of the BCS, consultation and engagement plan, and the expected outcomes of the study. The BCS is intended to: identify and quantify biodiversity and wildlife habitat resources; set objectives for species and populations of wildlife (Targets); and determine habitat criteria such as corridor widths, sites and hubs to maintain biodiversity.

Draft mapping was presented, including the Biodiversity Management Areas and the proposed city wide Green Infrastructure Network, of existing and high priority habitat areas with regional and local corridor connections. It is expected that the draft BCS will be presented at a Public Open House in the spring of 2013, before being brought to Council for endorsement in the summer of 2013.

There were questions from the Committee regarding the intent of the BCS within ALR lands in the city. It was noted that the City has limited planning/management authority on ALR lands and that the ALR is primarily intended for farming and farm activities.

It was noted that the BCS plan will look to work voluntarily and proactively with farmers, and help promote sustainable agricultural practices and development on ALR land to support biodiversity within existing ALR legislation and provincial guidelines.

It was Moved by M. Bose
Seconded P. Harrison
That the Agriculture and Food Security Advisory
Committee receive the presentation "Surrey Biodiversity Conservation Strategy" from
S. Godwin, Environmental Coordinator, as information.
Carried

C. OUTSTANDING BUSINESS

D. NEW BUSINESS

1. **Agricultural Land Fill Application**
4764 - 184 Street
Soil File: 4520-80(4784-18400)
Permit Application #S3-13 011387-00

L. Thompson, Engineering Technologist, was in attendance to review his memo dated February 15, 2013, regarding the above subject line. The application is for a deposit of 18,000 cubic metres of fill at 4784 - 184 Street, for the purposes of providing an outdoor exercise and feeding area for dairy cattle herd, to comply with Canadian Organic Standards. Comments were as follows:

- Background: In May 2007, the ALC and the City approved a soil fill application for the introduction of 25,000 cubic metres of fill material to support the construction of an outdoor dairy feed lot facility on the property, that was required by the farm in order to comply with Organic Certification Standards of Canada
- The impact for drainage, if any, has not yet been reviewed, however it was mentioned in the Agrologist's report that it is likely to have little effect.
- The proposed and cumulative area proposed to be filled, exceeds what the City is authorized to permit for the overall scope of the project. As such, comments from the Committee regarding the application are being sought to include with the application going forward to the ALC.

The Committee commented as follows:

- There is concern with the pile of concrete located at the back of the property. Apparently it was demolition from buildings on the property (not fill) however the concrete is not supposed to be there and should be trucked away.

- This is a legitimate operation, a legitimate practice, it is just that it is over and above the allowable fill. If the application was for a barn, the barn would have to be raised up for the purposes of flood protection and a fill permit to build the barn would be granted. In this case it is not a barn, but it is a legitimate operation.
- It was noted that crushed concrete can be used for the drive and feed alleys, however, City by-laws do not permit the processing and crushing of concrete on this site. If the applicant wants to use this concrete for the expansion of this ag operation, the processing and crushing of this concrete would have to take place off-site.

It was

Moved by S. Van Keulen

Seconded B. Stewart

That the Agriculture and Food Security Advisory

Committee recommends to the G.M. Engineering that Soil Permit Application

#S3-13 011387-00, move forward to the ALC for consideration.

Carried

2. Development Variance Permit Application

1440 - 184 Street

File No.: 7913-0034-00

The memo from D. Sturgeon, Planning Technician, dated March 6, 2013, regarding the above subject line was reviewed. Details of the property, its buildings and residential footprint were provided, noting that the 10 acre property is in the ALR, but has not had "farm status" with BC Assessment since 2005. Additional comments were as follows:

- This is the first Development Variance Permit (DVP) application the City has received to vary the farm residential footprint and maximum setback.
- The application is to relax the maximum size of the farm residential footprint (3000m²) and the maximum setback of the A-1 Zone (60m) in order to permit the construction of a 375m² accessory structure containing an indoor pool, sauna, washrooms/change rooms, exercise room, mechanical room and "planting room" (greenhouse).
- The existing residential structures on the subject property exceed the farm residential footprint and maximum setbacks by 3,500m² and 65m, respectively (including the proposed structure).
- The proposed structure will increase the farm residential footprint by approximately 500m². (A detailed map was provided on table.)
- The DVP would apply only to the proposed structure. Any additional residential structures proposed on the subject property would also require a DVP.
- The existing buildings that do not comply with the minimum setbacks and farm residential footprint would remain as legal non-conforming structures if the proposed structure was permitted to be built.
- A recent site visit (March 4, 2013) noted that the land where the structure is proposed to be located has been disturbed/excavated.
- With respect to the assessment details, presently the gross improvements are valued at over \$1 million.

The Committee commented as follows:

- Being a non-farm use, this application would also be required to go to the ALC. (Staff noted it is a permitted accessory building under the bylaw and will check on the requirement for the ALC).
- It is impossible to bring the existing footprint in to conformance as it is over the maximum allowable already by double.
- Is there anything that suggests how this will enhance the viability of agriculture? The value of these residential buildings has to be looked at as the value of the whole property. If the residence starts to make 75% of the value of the whole property, then farmers are affected by that, it is a problem for the future viability of the farm. As such, the application should be denied.
- When the Ministry of Agriculture developed the home plate guidelines, it was because there is a significant impact to the viability of economic land for farmers being able to buy land. It impacts future viability of the land base; less land to farm. It is unfortunate there was work undergoing, but it seems there was a month between the effective date of the new bylaw and the date the application was submitted.
- It is suggested that if the applicant wants to intensify within the existing construction, there are areas available to build the structure without taking more land (e.g. area between the secondary building).

It was

Moved by M. Bose

Seconded P. Harrison

That the Agriculture and Food Security Advisory

Committee recommend to the G.M. Planning and Development, denial of Application No. 7913-0034-00 based on the concern that adding additional residential buildings will further increase the value of the entire property making it difficult to acquire for future farming opportunities.

Carried

with S. Van Keulen and B. Stewart opposed

The Chair granted Ryan Grieve, principal owner of HyLine Construction (the agent representing the property owners), permission to comment as follows:

- There has been a significant amount of investment and time as a result of the date and the overlapping time of when the application was submitted and the change to the bylaw. Once the design was ready, every effort was made to get all of the work done, however during that time the bylaw changed.
- Once we receive a set of drawings from a contractor we then order a feasibility study from engineers in order to make the application. We got the set of drawings that were valid up until the change. A significant amount of work was needed to be done in order to complete the application for the permit.
- Prior to the change of the bylaw it was noted that those that were in the process would continue in process based on the existing bylaw then.

The Chair asked Mr. Grieve if the permit been applied for prior to the change of the bylaw (November 4, 2012). In response, Mr. Grieve reported that their full submission, with all the necessary documents, was made on December 6, 2012.

Committee member S. Van Keulen expressed concern with the motion noting that, in the sense that the intent of what the Committee is trying to do with the residential

footprint is to make the farm home plate a way of protection of the agricultural land, the pre-existing non-conformance of this property is already non-conforming to what the intent of the farm home plate is presently. It almost fits into the pre-existing non-conforming home plate, and as such this portion of the bylaw shouldn't be used because this is not encroaching on any other agricultural land outside of the home plate that is there right now.

The Chair called for a vote on the motion and S. Van Keulen and B. Stewart noted their opposition.

3. **Proposed Rezoning, Subdivision and Local Area Plan Amendment
18821 – 20 Avenue**

File No.: 7912-0069-00

The memo from I. Matthews, Planner, dated March 6, 2013, regarding the above subject line was reviewed. An overview of Beedie Construction's proposal to subdivide for the creation of six industrial business park lots was provided, including a partial amendment to the Campbell Heights LAP to amend the stormwater management plan. Dedication of parkland and an area for riparian habitat protection was also highlighted and additional comments were as follows:

- The parkland on the west portion of the site is proposed to be 15m wide which complies with OCP guidelines for the width requirement along the agricultural edge. Parks planning have noted they would like to see a walkway that extends north on the west side of the site, not required to be within the 15m buffer, to create a continuous walkway. The proponent is proposing to have the walkway within that 15m, meandering within the buffer.
- The Committee questioned having a meandering path and the need for consistency, noting a previous application north of 24 Avenue that was similar, with a 50m buffer for the purposes of providing a wildlife corridor. Staff reported that the 50m buffer for that subdivision plan was acquired for tree preservation purposes for that particular site.
- Concern was expressed regarding Lot 8 and the 10m wildlife corridor, noting the inconsistency with what happens along the east portion of the property; the 10m corridor is not enough for wildlife, a 30m corridor would make more sense in light of the significant wildlife.
- It was reported that there are water quality issues that need to be addressed.
- The Campbell Heights LAP identifies a portion of this site for Stormwater Management Facilities with a pond feature. The proposed stormwater management plan is a combination of on-site and off-site infiltration.
- The Committee noted that residents south of 20 Avenue are on wells and as such, stormwater for this site should be dealt with on site as there is an aquifer and it is important to know what the potential contamination to the adjacent aquifer would be and what would be draining into the aquifer.
- Staff noted that the pond was left there knowing that it would come out of there at some point, certainly not because it will be redeveloped. Removing the pond, from a drainage perspective, was never intended to enable development down to 20 Avenue. The Committee requested further information on this.
- It was reported that Park's planning is not proposing the walkway within the buffer, it is the applicant that is proposing the walkway within the buffer.

- The Committee again expressed their concern with respect to the 10m section of the buffer and also the walkway within the buffer. The meandering walkway is right up against the ALR edge, which would be a challenge to keep people off or away from the ALR. If there must be a walkway, it is suggested that it not be within the dedicated buffer and that it is right up against the development edge.
- In the past, the Committee has been consistent with buffers, fencing, etc. If there is going to be a pathway, it should be outside the buffer, then it is consistent with everything else.
- Concern was expressed regarding the 10m boundary, again noting that 10m is insufficient as a corridor and should be noted with the application.
- This application should be provided to the Environmental Sustainability Advisory Committee (ESAC) in order to provide comments relative to the EMS.
- It was noted that a checklist outlining the proposal, as provided to the Committee in the past, would be beneficial.

It was

Moved by M. Bose

Seconded P. Harrison

That the Agriculture and Food Security Advisory

Committee recommends to the G.M. Planning and Development, support of Application No. 7912-0069-00, to include:

1. a 15m ALR protection buffer, with a walkway to be located outside the buffer;
2. a black chain link fence be installed between the ALR protection buffer and the pathway; and
3. the application be referred to the Environmental Sustainability Advisory Committee (ESAC) for comments relative to the EMS.

Carried

E. ITEMS REFERRED BY COUNCIL

F. CORRESPONDENCE

1. Portobello Organic Hay Farms

The correspondence, dated February 20, 2013, from Portobello Organic Hay Farms, was reviewed.

It was

Moved by M. Bose

Seconded P. Harrison

That the Agriculture and Food Security Advisory

Committee receive the correspondence, dated February 20, 2013, from Portobello Organic Hay Farms, as information.

Carried

G. INFORMATION ITEMS

- 1. Proposed Development Permit and Development Variance Permit for Two Industrial Buildings**
17656 – 66A Avenue
File No.: 7912-0326-00

The memo from G. Gahr, Acting Current Planning Manager – North, dated February 20, 2013, regarding the above subject line, was reviewed.

It was
Moved by M. Bose
Seconded M. Hilmer
That the Agriculture and Food Security Advisory
Committee receive the memo regarding Application No. 7912-0326-00, from G. Gahr,
Acting Current Planning Manager – North, dated February 20, 2013, as information.
Carried

H. INTEGRITY OF THE AGRICULTURE LAND

An update of the current status of previously noted concerns was provided.

I. OTHER BUSINESS

- 1. Environmental Advisory Committee (EAC) Update**

It was noted that there were no items pertaining to agriculture at the EAC meeting of, February 27, 2013.

J. NEXT MEETING

The next meeting of the Agriculture and Food Security Advisory Committee will be held on **Thursday, April 11, 2013**, in the **Executive Boardroom**.

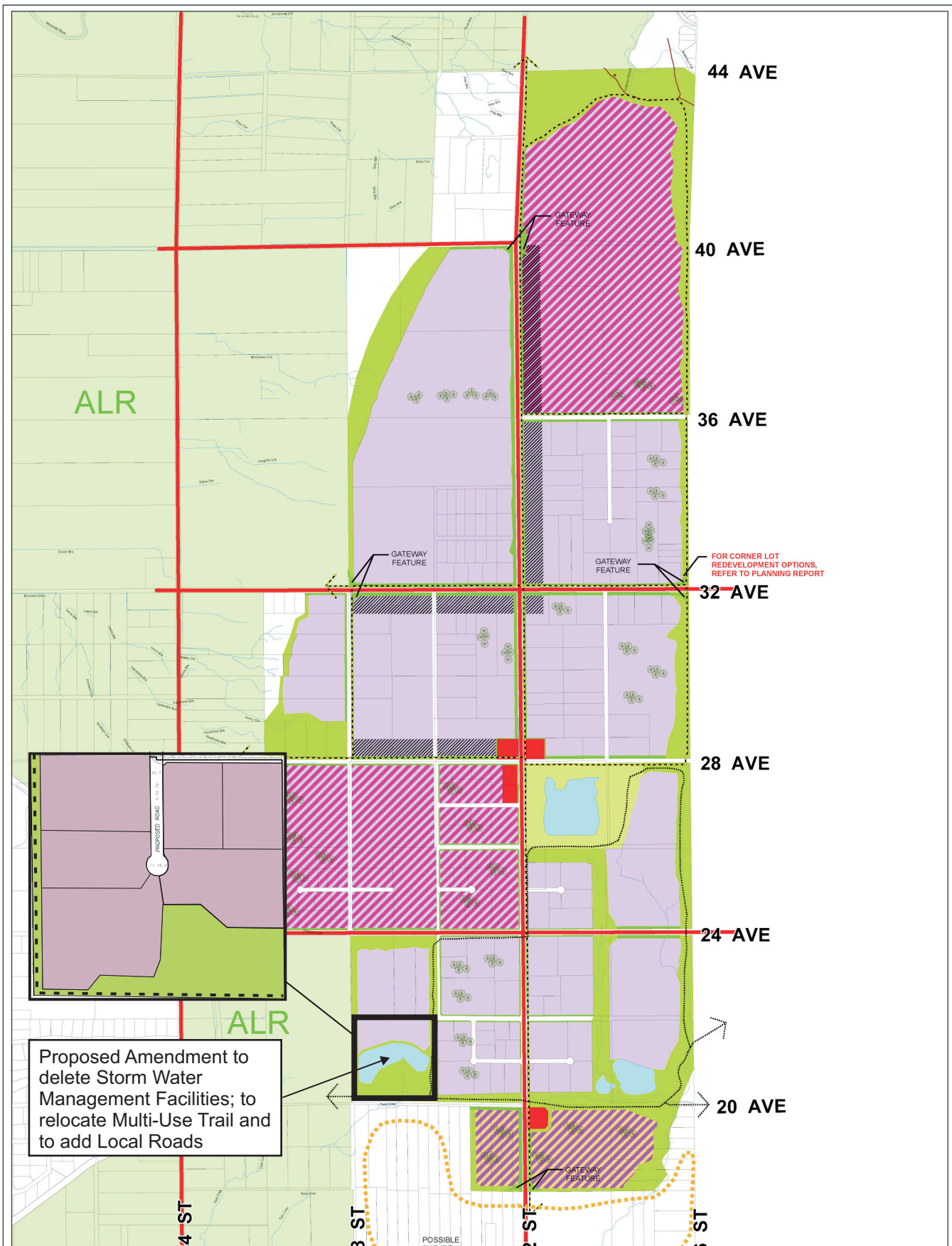
K. ADJOURNMENT

It was
Moved by M. Bose
Seconded by P. Harrison
That the Agriculture and Food Security Advisory
Committee do now adjourn.
Carried

The Agriculture and Food Security Advisory Committee adjourned at 11:22 a.m.

Jane Sullivan, City Clerk

Councillor Linda Hepner, Chairperson
Agriculture and Food Security Advisory Committee



Proposed Amendment to delete Storm Water Management Facilities; to relocate Multi-Use Trail and to add Local Roads

CAMPBELL HEIGHTS LAND USE PLAN

City of Surrey Planning & Development Department

Legend

- Campbell Heights Local Area Plan
- Business Park (Office)
- Business Park
- Technology Park or Business Park
- Business Park or Live/Work in Cluster Housing Form
- Commercial

- Campbell Heights Local Area Plan, City Park
- Open Space Corridors/Buffers
- Landscaping Strips
- Stormwater Management Facilities
- Creeks and Rivers

- ALR Boundary
- Tree Preservation Opportunities
- Multi-Use Trail (Walking, Cycling and Horseback Riding)
- Walking and Cycling Pathways
- Arterial Roads



Approved by Council: December 11, 2000
Amended: 10 Dec. 2012

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CAMPBELL HEIGHTS SOUTHWEST BUSINESS PARK

DESIGN GUIDELINES

July 11, 2013



Campbell Heights
Southwest
Business Park

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1.0 APPLICATION AND INTENT

1.1 Intent

- The intent of these guidelines is to provide overall direction, guidance and context to the planning and design of Campbell Heights Southwest Business Park (hereafter Campbell Heights Southwest) in order to promote a sustainable, cohesive, high quality business park.

1.2 Application

- These guidelines will assist the design of individual developments within the Campbell Heights Southwest to ensure the compatibility of the overall urban design concept and principles with development on adjacent lands.
- These guidelines are to be used in conjunction with:
 - The development policies and design guidelines for the Campbell Heights industrial area contained within the Campbell Heights Local Area Plan; and
 - The Development Permit Area Guidelines contained in the Surrey Official Community Plan.



Campbell Heights Southwest - Existing

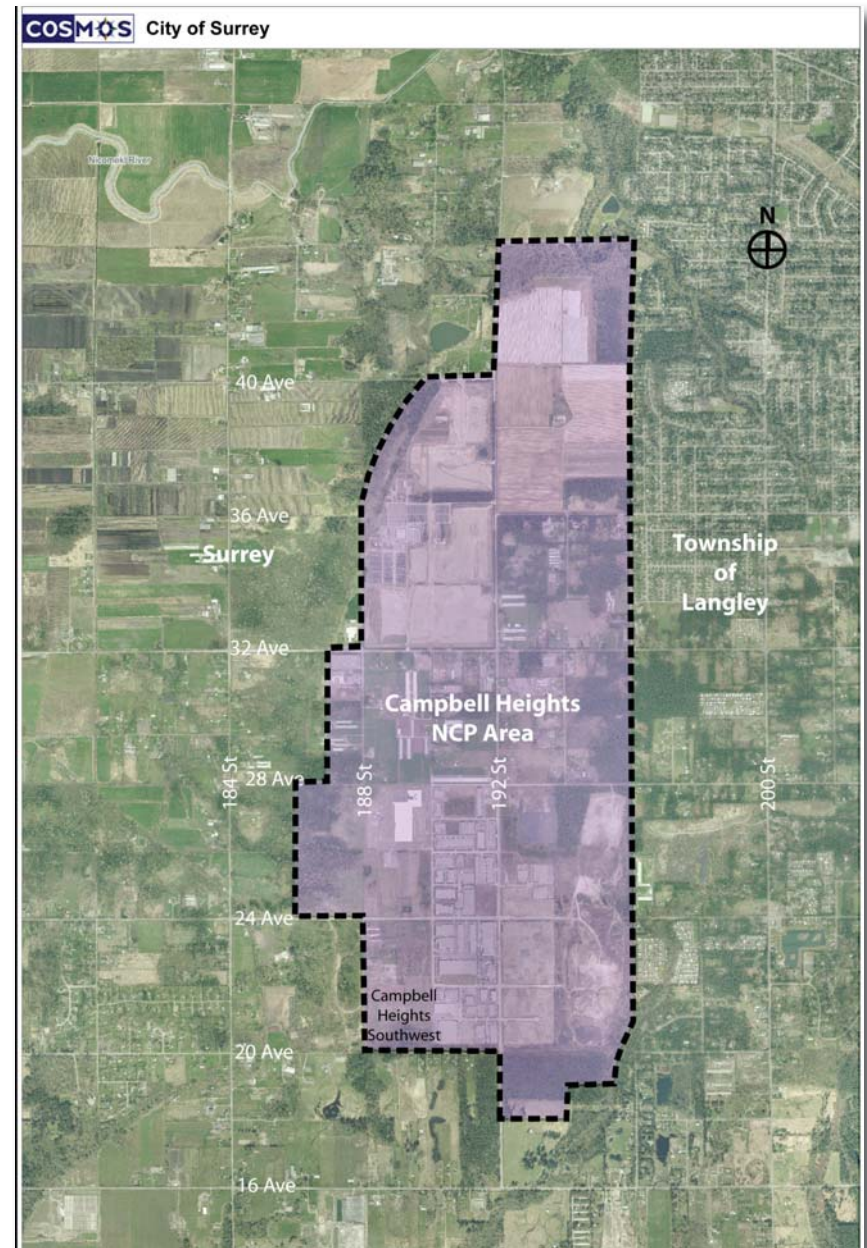
2.0 BACKGROUND

Campbell Heights Southwest Business Park is located in the South-East area of Surrey, BC. It is located within the Greater Vancouver Regional District, and is part of the larger Campbell Heights Industrial area.

Comprised of approximately 40 acres of land, it is bounded generally by 20 Avenue to the south, ALR to the west, newly constructed industrial to the east and future industrial to the north. The objective of the City with the Campbell Heights Industrial Plan Area is to create an industrial business park that is competitively positioned and marketed to be a catalyst for significant business investment and job creation in the City of Surrey.



Regional Context



Local Area Context

3.0 VISION

3.1 Development Concept

- The overall development concept for Campbell Heights Southwest is to create a high quality, sustainable, eco-industrial/business park environment that:
 - Provides functional, yet modern light impact industrial uses in a landscape setting that will contribute to the overall identity of the business community;
 - Supports a mix of warehouse and service functions for the various users;
 - Provides for employment and business investment opportunities;
 - Reflects and is compatible with the natural characteristics of its setting and adjacent land uses;
 - Is aesthetically pleasing, through quality design, architecture and landscaping; and
 - Contributes to a balanced resident to business property tax base ratio in the City of Surrey.
- To optimize flexibility and accommodate a range of uses and building types, the plan for Campbell Heights Southwest provides for a variety of lot sizes and configurations. Lots may be consolidated or reconfigured by the developer in concert with the City to accommodate specific site requirements which are appropriate to the zoning and individual needs of businesses.



Conceptual Subdivision Plan

3.2 Design Objectives

The design objectives for the Campbell Heights Southwest are to:

- Promote business investment and increase the attractiveness of Campbell Heights through high quality sustainable design, and good planning principles.
- Accommodate a wide range of user types within the context of the Campbell Heights Land Use Plan.
- Maintain a high quality standard in landscape and building design.
- Integrate urban design and environmental stewardship within the development process by maintaining, preserving and enhancing the natural environment where possible.
- Encourage a pedestrian-friendly environment.
- Coordinate and maintain the continuity of wildlife corridors, buffers, landscaped strips, and multi-use trails from one development site to another.
- Ensure appropriate and compatible interfacing with adjacent non-industrial land uses.
- Promote a harmonious and cohesive character of development.
- Ensure that the integrity of the public and private domains within the park are not compromised by the development of any particular lot.

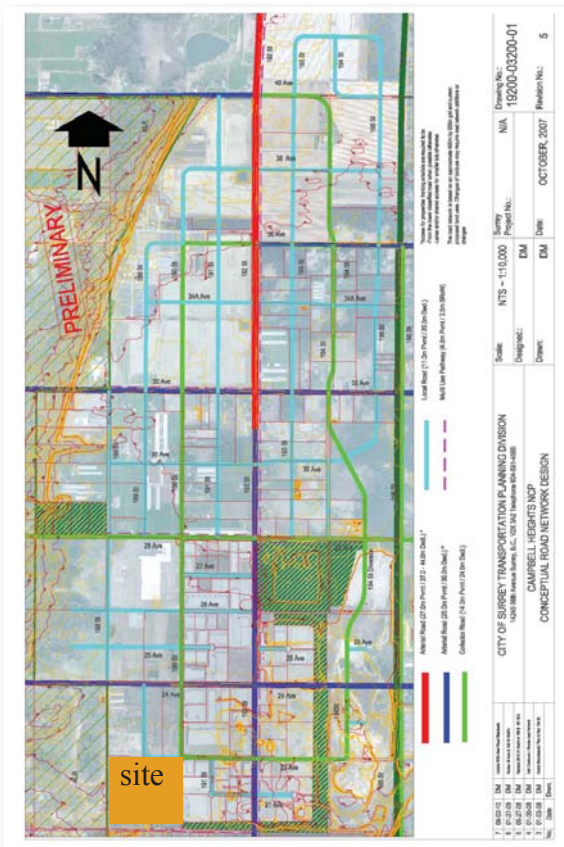


4.0 TRANSPORTATION

4.1 Campbell Heights Road Network

The Campbell Heights area is served by a number of arterial roads, including 40 Avenue, 32 Avenue, 24 Avenue and 16 Avenue for east-west traffic, and 192 Street and 184 Street for north-south movement.

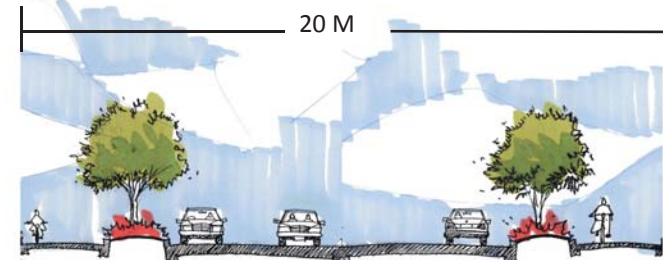
The proposed Campbell Heights Southwest Business Park will provide pedestrian walkways along 189 Street.



Campbell Heights Conceptual Road Network

4.2 Street Types

- Roads shall be designed and built in accordance with City of Surrey Engineering Department standards and requirements.
- 22 Avenue and future 189 Street are designated as local roads with a 20 metre dedication width.



Conceptual Cross-section of A Local Industrial Road

4.3 Boulevards

- The landscape concept for local roads is a regular row of street trees at intervals within a grassed boulevard strip. Tree planting is constrained at the cul-de-sac ends due to driveway access locations.
- Street trees shall be installed at an interval of 10 metres on centre, with minor variations to suit entry driveways and site servicing.



5.0 SITE DESIGN

This section is intended to assist developers in the planning and design of individual sites within the Campbell Heights Southwest Business Park.

It will provide guidance towards creating an aesthetically pleasing and functional relationship between physical site elements such as buildings, parking, loading areas, landscaping, and open spaces.

Overall, the design of new development shall be reflective of the characteristics of surrounding development while enhancing the area through quality architecture, landscaping and site layout.



5.1 Site Layout

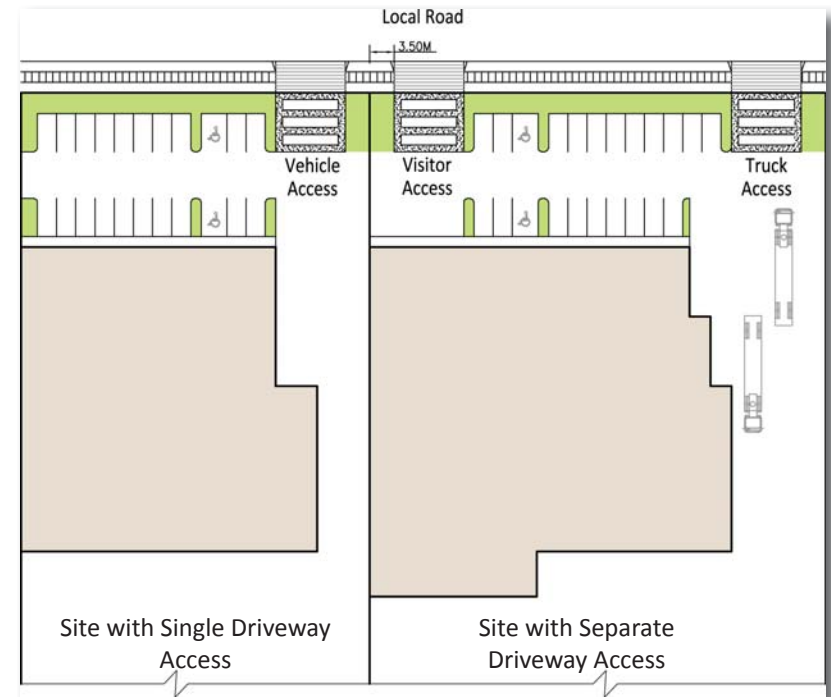
- A greater architectural emphasis should apply to building articulation, facade elements and building entry which address the fronting streets.
- On corner sites, the principal building shall be anchored at the corner and designed to be visually attractive from both abutting streets.
- Buildings shall be oriented towards the street with the primary public functions located at the front of the building.
- Cooperation and coordination is encouraged between sites in terms of layout and design to ensure a harmonious and compatible interface.
- Building locations on site shall be determined in accordance with the setbacks outlined in the Surrey Zoning Bylaw. A minimum 30 m setback shall be provided between buildings and adjacent ALR lands where applicable.
- Main building entries are to be clearly identifiable from public roads and on-site car parking areas.
- Outdoor amenities are encouraged such as small plazas with seating where appropriate, in order to enhance the environment for workers by providing areas to eat lunch, etc.
- Protect the environmental buffer along the new west property line with a fence. Fencing requirements will be identified at the Development Permit stage.
- Outdoor storage and loading bays will not be visible to public view.

5.2 Site Access

- All site access points shall conform to City of Surrey Engineering standards, and be located to provide the most efficient and functional flow of traffic while mitigating potential conflicts with adjacent streetscapes, intersections, and site features.
- Truck access and vehicle access may be separated as required.
- Common, shared entrances between adjacent sites may be required to accommodate circulation requirements.



Single Driveway Access



5.3 On-Site Circulation

- Parking lots and driveways shall be designed so as to minimize conflicts between vehicles and pedestrians.
- All truck turning movements must be accommodated on site.
- Different colour or texture shall be used to define primary pedestrian access from the fronting street.
- Walkways shall be provided for pedestrian movement to and from entrances, connecting to parking areas and public sidewalks.



5.4 Parking Requirements

- Parking should be provided in accordance with the City of Surrey Off-Street Parking and Loading/Unloading requirements.
- Parking spaces at the end of the row shall be protected from turning movements of other vehicles by a curbed landscaped area with a minimum of 1.5 metres width.
- Parking for persons with disabilities shall be located near building entrances.
- Bicycle storage area.



5.5 Off Street Loading

- Loading areas in the front yard setback and flanking side yard setback on arterial roads are prohibited. Loading areas are permitted in the rear or side yards of buildings and flanking side yards on collector and local roads only.
- Loading areas shall be screened to a height of at least 2.5 metres by buildings, a landscape screen, a solid decorative fence, or a combination thereof (see Section 7.0 – Landscaping).
- Loading areas on flanking side streets should be recessed into the building.



Typical loading bays at the back

6.0 ARCHITECTURAL DESIGN

6.1 Architectural Design Integrity

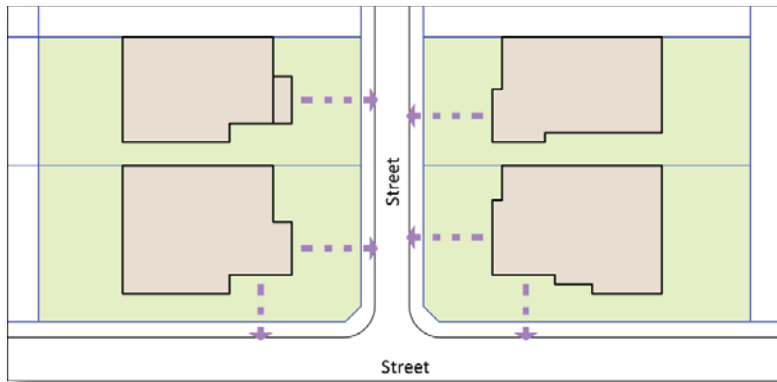
This section is intended to guide owners and their consultants in the design of buildings to ensure that the built form of Campbell Heights is of the highest possible quality within the framework of functional requirements and cost effectiveness so as to create a positive and unique built environment.

- Building design in terms of scale, architectural character, rooflines and building mass shall be compatible with other buildings on neighbouring sites.
- Ancillary or secondary buildings shall be designed and constructed consistent with the architecture of the principal building.
- The exterior of buildings shall be coordinated in design on all elevations with regard to colours, materials, architectural form and detailing to achieve design harmony and continuity. All doors and windows should be trimmed whenever such treatment would be compatible with the architectural style of the buildings. Painted or false detailing that detracts from the integrity of structures should be avoided.
- Blank walls facing a street must be avoided. Windows and glazing to allow for a visual connection to the interior space from outside should be considered.



- Building facades should be given special attention by:
 - Articulating the facade alignment and height;
 - Varying the materials and colours;
 - The use of sun shading devices;
 - Appropriate sized roof overhangs;
 - Cantilevered or overhanging elements;
 - Expressing the interior function;
 - Breaking up the facade with windows or the use of structural features.
- Building design should be appropriate to the use intended and responsive to site opportunities and conditions.
- Facades facing the street in particular must be articulated to establish scale and identity.
- Developments should avoid the use of large, undifferentiated wall areas; therefore, textures, patterns, colours, secondary materials and/or building form variations should be incorporated into expansive building elevations.

6.2 Building Orientation



A greater architectural emphasis should apply to building articulation, facade elements and building entry which address the fronting streets

6.3 Building Entry



Architectural elements defining the building entry

6.4 Street Facade Design



Glazing on portion of walls encouraged along street front

6.5 Facade Material and Finish



Building façade design made architecturally interesting with materials

7.0 LANDSCAPING

This section is intended to assist owners and their consultants in the design and installation of landscape works that will enhance the character of Campbell Heights Southwest. The general landscape intent for private lots is to create a coherent landscape which responds to and reinforces the character of adjacent streetscapes and open spaces. Of particular importance will be maintaining and enhancing tree retention at the edge of the park area.

7.1 Front yard Landscaping

- A continuous landscape strip of not less than 3.0 metres (10 feet) in width shall be provided within the lot along the developed side of properties fronting all roadways.
- Areas not surfaced with driveway or walkway paving or ornamental planting shall be lawn.
- Highlight trees, highlight shrubs, and perennials/annuals shall be installed adjacent to signage, entry plazas, drive aisle entries, and pedestrian accesses from the sidewalk.



Landscaping defining property entries

7.2 General

- Consider the mature state of plants in terms of long term maintenance.
- Selection of plant materials to be based on their year-round interests as well as their form, texture and shape. The use of native species that enhance environmental qualities and provide wildlife habitat is encouraged.
- Retain existing significant trees on lots where applicable. Consideration should be given to tree retention along the edge of the buffer if such area is not utilized for parking or operations.
- Landscaping adjacent to places where people move should have a clear zone from 1 metre above the ground to 2.5 metre in order to promote visibility.

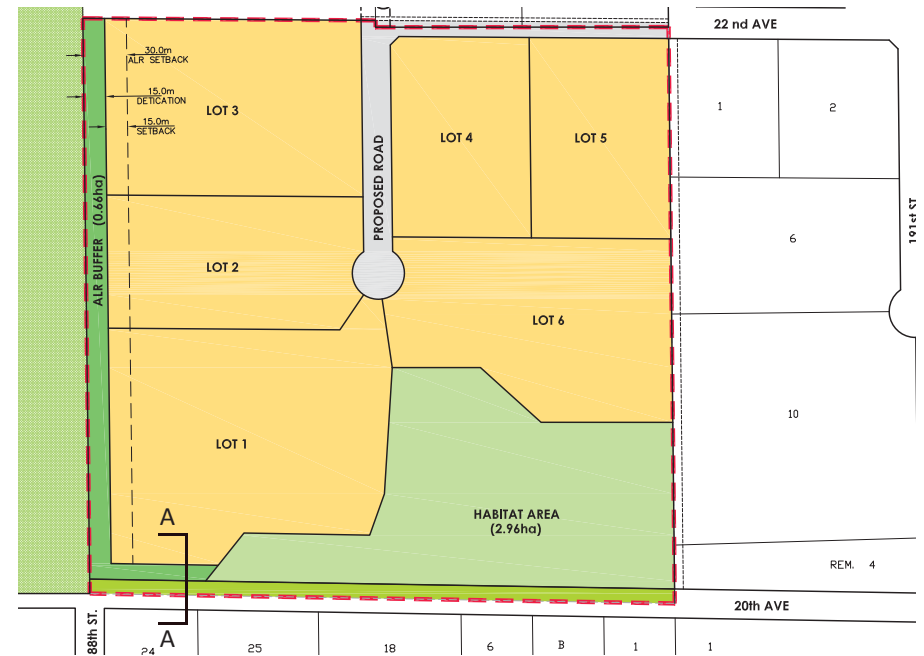


- Deciduous and coniferous planting should be alternated for variety.
- Shrubs, flowers, and ground covers are encouraged to be grouped together in clusters rather than in individual scattered locations.
- Site elements such as outdoor lighting, signage, garbage disposal and fencing should be included on the landscaping plans since they are integral elements.
- All landscape and plant materials shall meet B.C. Society of landscape Architect/B.C. Nursery Trades Association Standards.
- All landscape work shall be completed within one year of the start of construction.

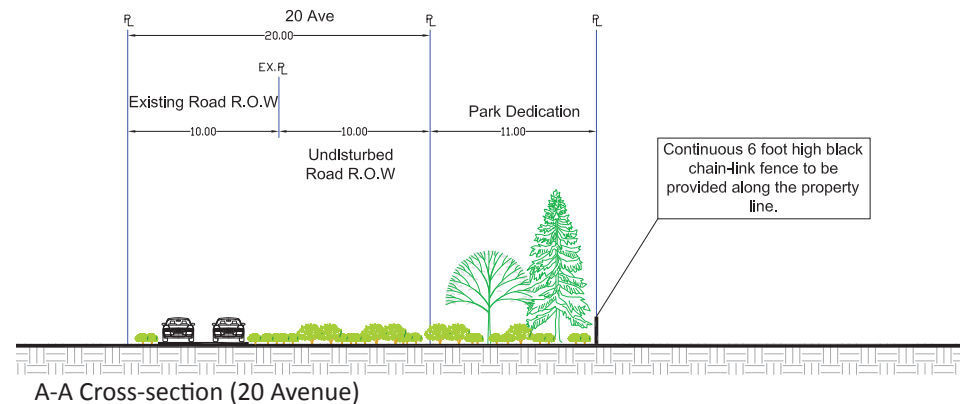
7.3 Habitat Area

Approximate 2.96 ha. of land is protected and dedicated to the City of Surrey as part of the Habitat Area.

- Continuous 6 foot black chain-link fence required for the perimeter of the habitat area adjacent to the industrial lots.



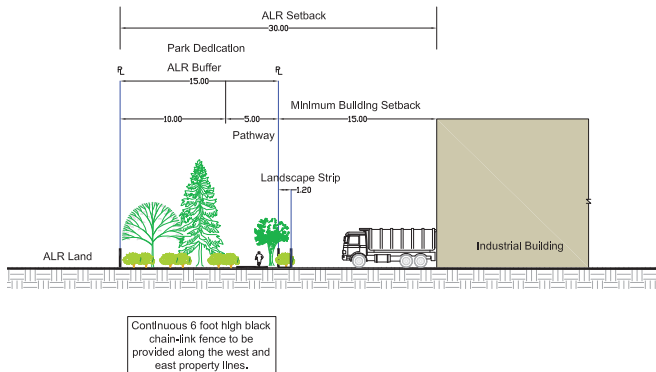
Habitat Area



7.4 ALR Buffer

Additional setbacks along the ALR boundary to provide a buffer between the Industrial development and the ALR. Minimum building setback from ALR is 30 m [100 ft]. See below cross section, fence height requirements, and high tensile fencing example.

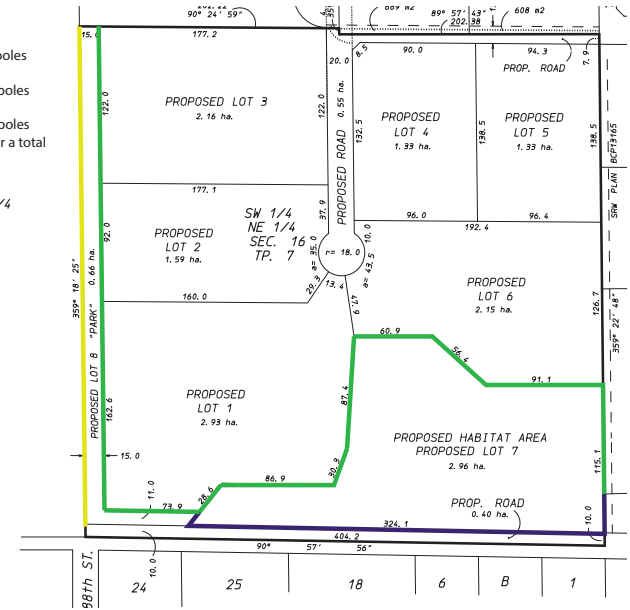
- Within the 15 metre wide ALR buffer (park dedication) along the West property line, a 3 metre wide meandering gravel path will be installed.
- A six foot high black chain link fence (on private property) is required on the west property line-separating the industrial use from the ALR buffer.
- A six foot high black chain link fence (as per Parks Department comments) is required along the west Property line abutting the ALR. High tensile fencing may be used.
- Landscape strip adjacent to the west property line.



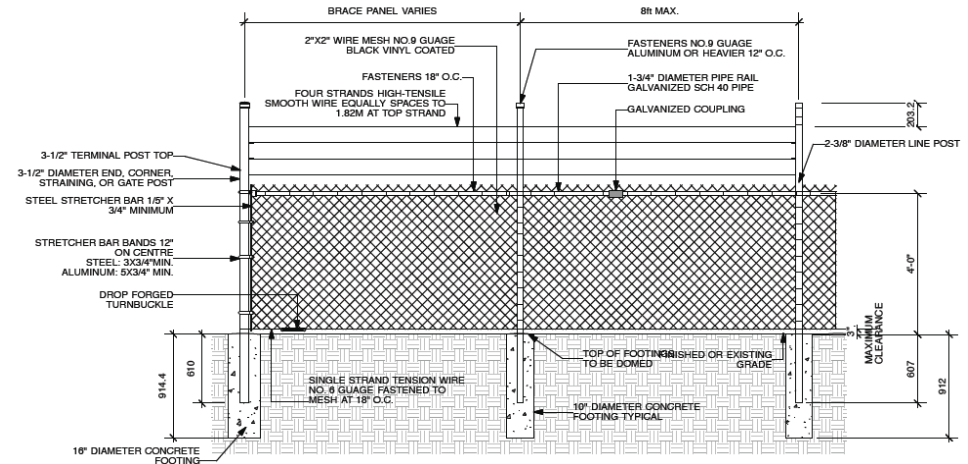
Typical Cross-section of ALR Setback for Lots 1, 2 & 3

Green = 6 ft black vinyl chain link, black poles and rails.
 Purple = 4 ft black vinyl chain link, black poles and rails.
 Yellow = 4 ft black vinyl chain link, black poles and rails with 2 ft high tensile wires up for a total of 6 ft.

SW 1/4, NE 1/4
 SEC. 16, TP. 7



Fence height requirements



6 CHAIN LINK FENCE ALONG THE RESTRICTIVE COVENANT AREA (OFF SITE FOR ALR)
 Scale: 1:25 NOTE - ALL POSTS AND HARDWARE TO BE PAINTED BLACK

High tensile fencing example

7.5 Pedestrian Walkway / Cyclist Connection & Separation

- Different colour or texture material shall be used to define primary pedestrian access ways on site.
- Pedestrian access ways and vehicles access ways are to be separate, where practical, and clearly distinguishable.
- Consideration of pedestrian movement should be considered in the design of individual sites. On-site walkways should be linked to public sidewalks by well-defined paths, where practical to minimize conflict with vehicular traffic.
- Bicycle storage should be provided close to building entrances in areas with good lighting and visibility.



Pedestrian connection

7.6 Outdoor Amenities

Provisions are also encouraged to be made for the allocation of outdoor pedestrian space such as small plazas with seating where appropriate, in order to enhance the environment for workers by providing areas to eat lunch, etc.



Break out spaces for employees

7.7 Outdoor Storage

- Outdoor storage shall not be located within any front or side yard.
- The outdoor storage area shall not exceed the total area of the principal building.
- All outdoor storage shall be screened by a building, landscaping or solid decorative fence a minimum height of 2.5 metres.
- No materials shall be piled up to a height of 2.5 metres within 5 metres of the screening.
- Outdoor storage of goods cannot exceed 3.5 metres (12 ft) in height.

8.0 SIGNAGE

This section is intended to assist owners and their consultants in accommodating development signage requirements within an overall signage system that will both contribute to and reinforce the character and image of the Business Park.

- All signage shall meet the requirements of the City of Surrey.
- Integrate signs into the building design and design signs to present a unified appearance.
- Avoid backlit acrylic or plastic “box” type signs unless they are integrated into the overall building design. Avoid locating illuminated signs next to residential sites.
- The signage system for any development shall integrate the various types of signs into a single aesthetic concept.
- Animated electronic signs are not permitted.
- Building facade signs shall be oriented to a single fronting street. Double-fronting developments are anomalies and signage may be oriented accordingly subject to the requirements of the Surrey Sign By-law.
- The area of a building facade sign shall reflect the scale and proportion of the building subject to the requirements of the Surrey Sign By-law.
- Free standing signs should be integrated into the site landscaping and designed to complement the architecture of the buildings on site.
- Both single and double pole freestanding pylon signs are not permitted.

- The maximum height of any free-standing sign is 2.4 metres (8 feet) above grade. The grade at the base of the sign should not exceed the average adjacent grade by more than 0.6 metres (2 feet).



Proportional building façade sign



Free standing sign integrated into landscaping

9.0 Sustainability

9.1 Water Efficiency

Water Efficient Landscaping

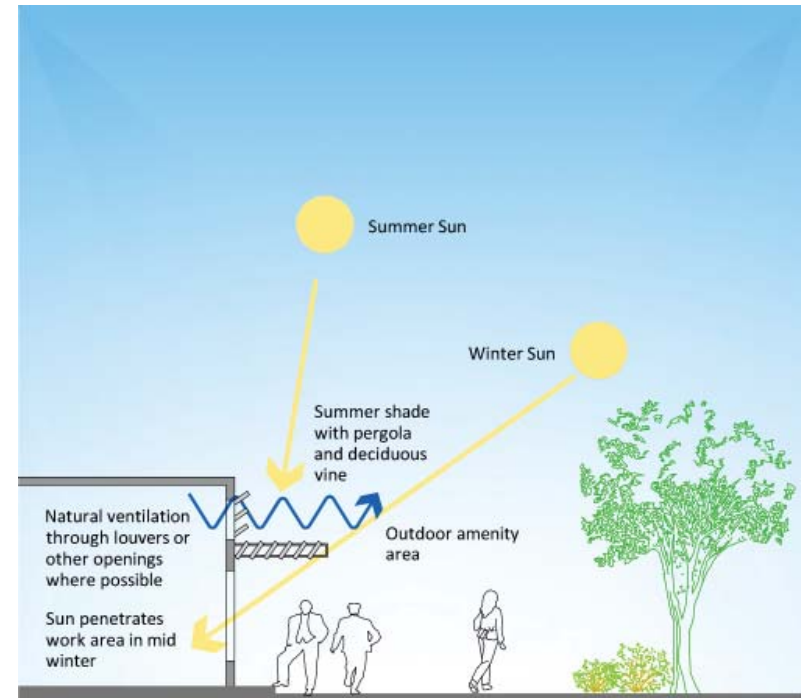
- Limit the use of potable water for landscape irrigation by incorporating drought-tolerant and/or native plants.

Indoor Water Conservation

- Minimize wastewater by using low-flush toilets, low-flow faucets and other water conserving fixtures.

9.2 Energy Efficiency

- Consider passive design strategies, such as building shape and orientation, passive solar design, and the use of natural lighting. In passive solar building design, windows, walls, and floors are made to collect, store, and distribute solar energy in the form of heat in the winter and reject solar heat in the summer.
- Install high-efficiency lighting systems with advanced lighting controls.
- Use a properly sized and energy-efficient heat/cooling system in conjunction with a thermally efficient building shell. Specify that heating, ventilation and air conditioning (HVAC) and fire suppressions systems are free of chlorofluorocarbons (CFCs), halons and hydrofluorocarbons (HCFCs), which are known to be harmful to the ozone layer.
- Minimize the electric loads from lighting, equipment and appliances.



9.3 Stormwater Management

Stormwater management is an important component of sustainable land development, and best management practices ('BMP') typically include some form of peak flow control, volume reduction, water quality improvement, construction erosion control and various other measures all designed to mitigate the negative impact of high intensity land use on adjacent ecosystems and local receiving waters.

The relatively free-draining soils native to the Campbell Heights lands present a very unique opportunity from stormwater management perspective, which the City of Surrey has taken advantage of to implement a storm drainage system that relies, for the most part, on ground water recharge as the sole means of drainage disposal for design storms up to the 1 in 100 year event. It is noted that the Campbell Heights Southwest (CHSW) lands do not have the same infiltration capacity as other lands in Campbell Heights. At CHSW individual lots are to use bioswales, Storm-Tech infiltration chambers or similar drainage systems where appropriate to ensure that the 5-year post development stormwater flows are captured and infiltrated onsite.

A new storm sewer may be required to convey the 5-year post development flows.

- Reduce stormwater run-off and maximize pervious surfaces through the uses of features such a bio-swales and rain gardens. The onsite stormwater management plan shall be developed as a comprehensive plan and integrated with the landscape design.
- Permeable materials for outdoor surfaces such as parking areas may not be appropriate for CHSW given the high water table.

9.4 Alternative Transportation Options

- Consider dedicated, designated parking for carpools near the main entrance. Encourage employees to carpool by providing (e.g. Emergency Ride Home programs – reimburse cost of a one-way taxi ride in the event of sickness or an emergency), and advertise ride matching services such as Jack Bell Rideshare or Carpool.ca among employees to promote carpooling.
- Consider pre-wiring to provide rough in ducts for installing electric vehicle charging stations to encourage the use of alternative fuel vehicles.
- Provide bicycle storage.



10.0 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

Design of the built environment has a significant impact on crime, nuisance behaviour and citizens' sense of well-being. Implementing Crime Prevention Through Environmental Design (CPTED) principles is a proactive approach to addressing crime-related issues at the design stage.

- To address CPTED concerns, consideration at the design stage should occur towards building massing, location of windows, bollards, window grilles and landscaping etc. Some general recommendations from the Surrey OCP are:
 - Minimize opportunity for climbing onto the roof in industrial and commercial/industrial warehouse buildings.
 - On-grade parking areas not readily visible from the street should be designed with gate(s) to restrict access after-hours.
 - Consider security cameras at main lobby entrances and parking lot.
 - Open Space areas should be designed with reference to CPTED principles.

