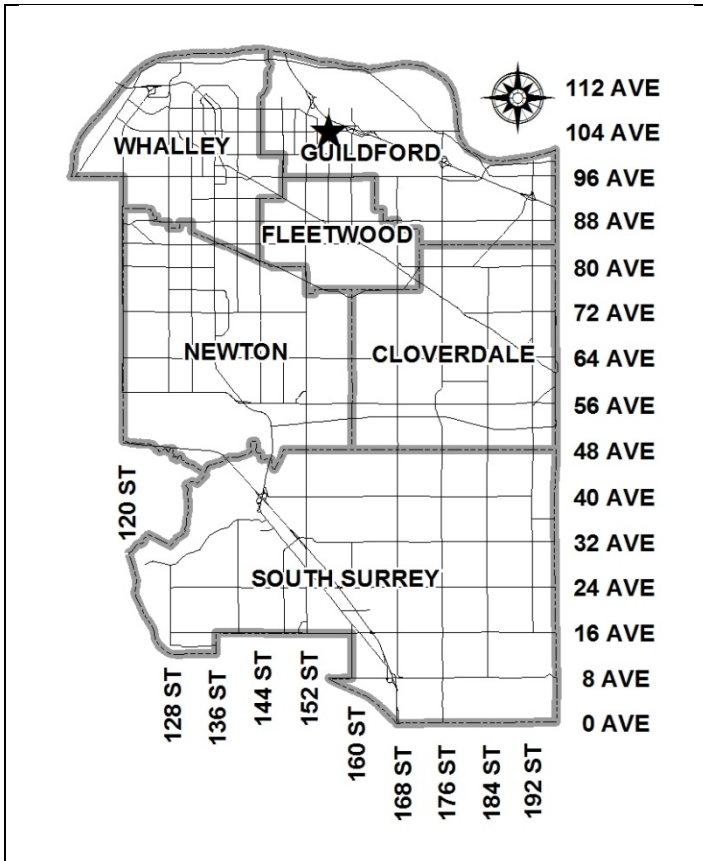


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7912-0071-00

Planning Report Date: November 26, 2012

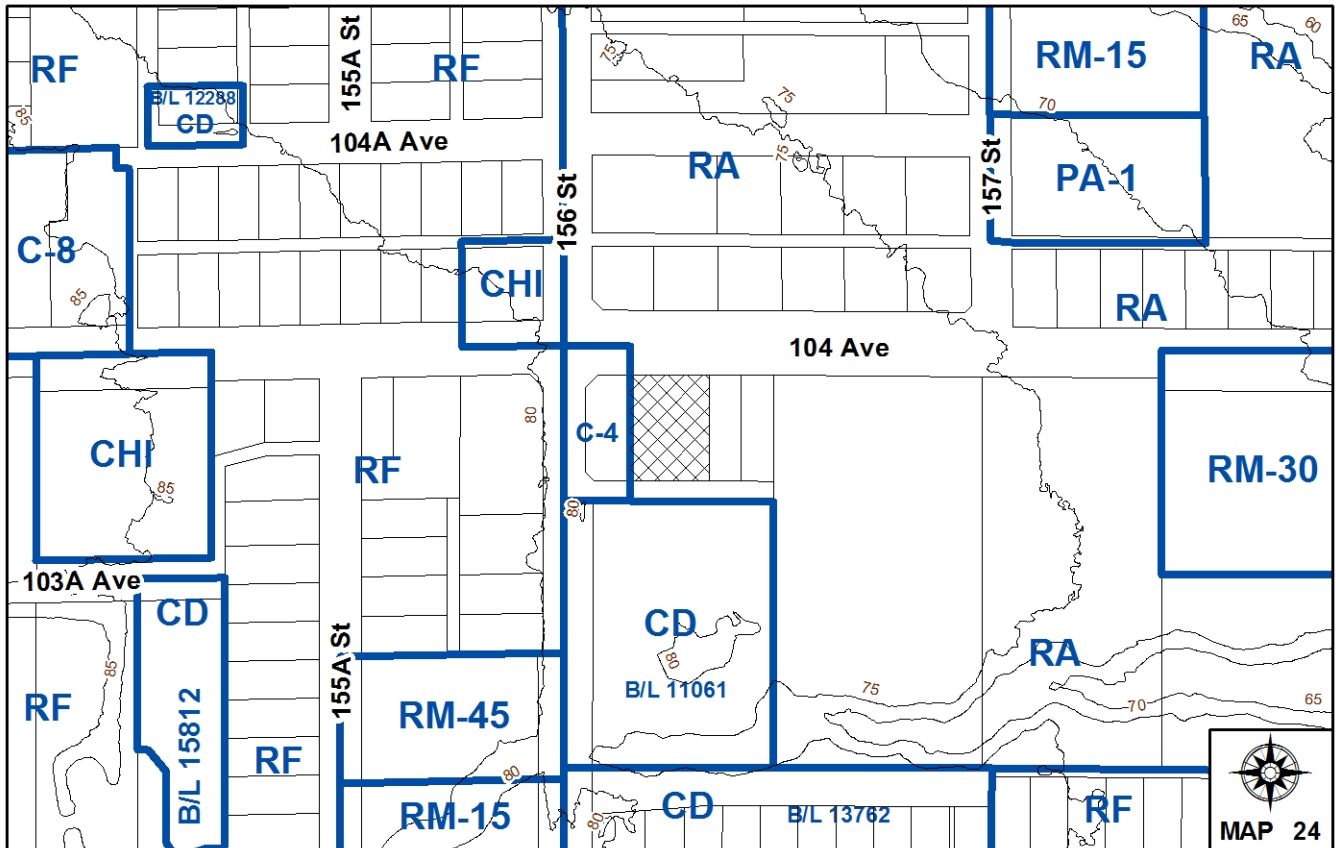


PROPOSAL:

- **OCF Amendment** from Urban to Multiple Residential
- **OCF Text Amendment**
- **Rezoning** from RA to CD (based on RM-70)
- **Development Permit**

in order to permit the development of a 4-storey, 27-unit apartment building.

LOCATION: 15622 - 104 Avenue
OWNER: Reliance Holdings Ltd.
ZONING: RA
OCF DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment;
 - OCP Text Amendment; and
 - Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The application requires an Official Community Plan (OCP) amendment from Urban (URB) to Multiple Residential (RM) and an OCP Text Amendment to increase the allowable floor area ratio (FAR) within the RM designation from 1.50 to 2.00, for the subject site.

RATIONALE OF RECOMMENDATION

- The proposed increase in density under the RM designation in the OCP for the subject site is supportable as it allows the applicant to provide a significant amount of dedication along 104 Avenue (north) and for the upgrading of the existing lane to a local road standard along the rear (south) of the subject site, while at the same time allowing the applicant to achieve a similar density to what would have been achieved prior to the provision of these new roads.
- The proposed density and building form are appropriate for this part of Guildford and will support City efforts to increase density along transit corridors. The increased density can help support transit ridership by locating increased population within walking distance to transit.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site from Urban to Multiple Residential and a date for Public Hearing be set.
2. a By-law be introduced to amend the OCP by increasing the allowable floor area ratio within the Multiple Residential designation for the subject site from 1.50 to 2.00, and a date for Public Hearing be set.
3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
4. a By-law be introduced to rezone the subject site from “One-Acre Residential Zone (RA)” (By-law No. 12000) to “Comprehensive Development Zone (CD)” (By-law No. 12000) and a date be set for Public Hearing.
5. Council approve the applicant's request to reduce the amount of required indoor amenity space from 81 square metres (872 square feet) to 36 square metres (388 square feet).
6. Council authorize staff to draft Development Permit No. 7912-0071-00 generally in accordance with the attached drawings (Appendix II).
7. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (i) the applicant adequately address the impact of reduced indoor amenity space;
- (j) registration of a shared driveway access easement in favour of the property to the west at 15618 – 104 Avenue; and
- (k) the applicant address the deficiency in tree replacement to the satisfaction of the City Landscape Architect.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

1 Elementary student at Harold Bishop Elementary School
1 Secondary student at Johnston Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by March 2014.

Parks, Recreation & Culture: There is concern about the pressure the proposed development will place on existing park facilities.

SITE CHARACTERISTICS

Existing Land Use: Vacant single family home.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 104 Avenue):	Vacant single family lots.	Urban	RA
East:	Single family home.	Urban	RA
South (Across lane):	Townhouse development.	Multiple Residential	CD (By-law No. 11061)
West:	Convenience store with caretaker suite.	Urban	C-4

JUSTIFICATION FOR PLAN AMENDMENT

- The proposal requires an amendment to the Official Community Plan (OCP) from Urban (URB) to Multiple Residential (RM) and an OCP Text Amendment to increase the maximum floor area ratio (FAR) in the Multiple Residential designation from 1.50 to 2.0 for the subject site.
- The OCP amendment from URB to RM is required to permit the development of a 4-storey apartment building, as the URB designation allows a maximum FAR of only 0.6 for multiple residential uses where there is no Neighbourhood Concept Plan.
- The proposed floor area ratio (FAR) on the site is 1.45, which is within the allowable FAR of 1.50 in the RM designation but, due to road dedication requirements for the widening of both 104 Avenue and the existing lane at the rear of the site to a local road standard, approximately 21% of the gross site area is to be dedicated for road purposes and, therefore is not included in the calculation of net FAR.
- The proposed OCP Text Amendment, to permit a floor area ratio (FAR) of 2.0 on the subject site, supports City efforts to provide increased density along transit corridors which can support transit expansion while, at the same time, allows the applicant to achieve a similar density to what they would have achieved without the additional road requirements.

DEVELOPMENT CONSIDERATIONS

- The subject 0.19-hectare (0.47-acre) site is located close to the southeast corner of 156 Street and 104 Avenue in Guildford. It is designated Urban in the Official Community Plan (OCP) and is currently zoned One-Acre Residential Zone (RA).
- The application proposes the following:
 - Official Community Plan Amendment from Urban to Multiple Residential;
 - Official Community Plan Text Amendment to increase the maximum floor area ratio (FAR) within the Multiple Residential (RM) designation from 1.5 to 2.0 for the subject site only;
 - Rezoning from One-Acre Residential Zone (RA) to Comprehensive Development Zone (CD) based on the RM-70 Zone; and
 - Development Permitto facilitate the development of a 4-storey, 27-unit apartment building.
- The proposed apartment building will have a total floor area of 2,745 square metres (29,547 sq. ft.), representing a net floor area ratio (FAR) of 1.84, which exceeds the maximum 1.50 FAR permitted within the Multiple Residential designation, beyond the boundaries of Surrey City Centre.
- As part of the processing of this application, it was determined that the existing 10.0-metre wide lane (33 ft.) along the site's southern boundary was insufficient to support the City's future road network and thus should be expanded to a local road standard (103A Avenue). With the dedication of 5.0 metres (16 ft.) along the south lot line of the subject site, 103A

Avenue will be a 15.0-metre (50 ft.) wide local road at this location, which will allow for two-way travel and parking pockets adjacent the subject site.

- 103A Avenue will also provide alternate access to the school located to the east of the subject site, as a centre median presently limits left in access to the school from 104 Avenue.
- Ideally the property to the west (15618 – 104 Avenue) should be developed as part of the subject application (e.g. site layout, access) and the applicant was encouraged to include this property in the application. Unfortunately, the applicant has been unable to negotiate the inclusion of this property. The applicant has provided a concept showing how this adjacent property could develop independently in the future (Appendix II).
- To assist with the development of the adjoining site and to minimize the number of driveways from 103A Avenue, the applicant has agreed to provide a shared driveway access easement for future access from the parking ramp to the underground parking in favour of 15618 – 104 Avenue. Knock out walls will be incorporated into the parking garage of the subject project that can be removed when 15618 – 104 Avenue develops, with ramp access from the subject lot.

Arborist Report and Tree Location/Retention Plan

- The Arborist Report, prepared by Diamond Head Consulting Ltd. and dated January 16, 2012, identifies 16 mature trees, all of which are proposed to be removed either because they conflict with the future building envelope or road right of way.
- The table below provides a summary of the proposed tree retention and removal by species:

Tree Species	Number of Trees	Number to be Retained	Number to be Removed
Apple	1	0	1
Beach	1	0	1
Douglas Fir	1	0	1
Maple (Big Leaf)	9	0	9
Maple	1	0	1
Plum	1	0	1
Red Alder	1	0	1
Walnut	1	0	1
Total	16	0	16

- Surrey's Tree Protection By-law requires that all trees be replaced at a 2:1 ratio, excluding Red Alder and Black Cottonwood (to be replaced at a 1:1 ratio). The applicant proposes 17 replacement trees to be provided, which is 14 trees fewer than the 31 required under the Tree Protection By-law.
- The applicant will be required to provide cash-in-lieu for the deficiency in tree replacement.

Proposed CD By-law

- The proposed Comprehensive Development (CD) Zone is based on the Multiple Residential 70 Zone (RM-70) with modifications to the density, lot coverage, setback, building height, special regulations and parking sections.

- As noted previously, the proposed density on the site is an FAR of 2.0.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The 46% lot coverage that is proposed is appropriate for 4- to 5-storey buildings. The proposed CD Zone allows a maximum lot coverage of 48%.
- The RM-70 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines. The proposed CD By-law provides for some modifications to these setbacks as shown below:

Zone	Front Yard (North)	Rear Yard (South)	Side Yard (West)	Side Yard (East)
Proposed CD By-law	6.1 m (20 ft.)	6.8 m (22 ft.)	0 m (0 ft.)	2.1 m (7 ft.)
RM-70	7.5 m (25 ft.)	7.5 m (25 ft.)	7.5 m (25 ft.)	7.5 m (25 ft.)

- The CD Zone proposes significant front and rear yard setbacks (6.1 metres (20 ft.) and 6.8 metres (22 ft.) respectively).
- The proposed zero metre side yard (west) setback is proposed to facilitate the future development of the property to the west at 15618-104 Avenue. A similar setback (0.0 m) can be expected when this property redevelops, which should result in a seamless development that would appear as one building from the street (see Development Considerations section for additional information).
- The proposed 2.1-metre (7 ft.) side yard (east) setback pertains to the side of the building. A similar setback can be expected when the properties to the east develop.
- The RM-70 Zone has a maximum building height of 50 metres (164 ft.). The CD By-law proposes a maximum building height of 15 metres (49 ft.) which will accommodate the proposed building.
- The RM-70 Zone requires that the outdoor amenity space be provided outside of the required setback area. Due to the limited amount of land that is available for development on the site after road dedication is taken, the CD Zone proposes to allow the outdoor amenity area to be provided within the setback area.
- Zoning By-law No. 12000 requires a minimum of 40 resident parking spaces be provided (based on a rate of 1.48 parking spaces per unit), whereas the proposed CD Zone will allow for a minimum of 35 resident parking spaces (based on a rate of 1.30 parking spaces per unit). The reduction is supportable as the site is located along a transportation corridor where expanded transit opportunities are expected. It is expected that future residents will be less reliant on their automobiles as transit service becomes more readily available and practical along this route.

DESIGN PROPOSAL AND REVIEW

- The applicant proposes a 27-unit, 4-storey apartment building.

- The apartment units range in size from 53 square metres (570 sq. ft.) to 129 square metres (1,386 sq. ft.) and comprise a mix of one-, two- and three-bedroom units. It should be noted, however, that only one 53-square metre (570 sq. ft.) unit is proposed, with the majority of units proposed to be larger than 66 square metres (716 sq. ft.).
- The main entrance to the building is located along 104 Avenue, at approximately the middle of the building. The entry is surrounded by brick and further emphasized by a glass canopy that extends from the façade.
- The building form is very contemporary, utilizing vertical design features. The vertical design expression results from the repetition of 'rectilinear blocks' which extend from the building's base up to the third floor.
- The design is further complemented by the stepping back of the building's fourth floor, which reduces its massing and allows for extensive roof top patios which are partially covered by an aluminum arbor.
- The roofline will also project from the façade at the third and fourth floors, which adds additional visual interest and articulation.
- The building materials include the extensive use of vertical vinyl siding (beige colour) on the lower floors with teal coloured hardi panel proposed on the upper floor and as an accent colour on the lower floors. Additional detailing is achieved through the provision of glass railings on all balconies.

Landscaping

- The development proposes a very urban interface for the ground-oriented units along 104 Avenue. Each two-unit block has a shared gate which leads to a patio which is raised a maximum of 0.60 metre (2 ft.) above the adjoining sidewalk.
- Each residential unit has access to either a private patio or a balcony.

Indoor and Outdoor Amenity Spaces

- The indoor amenity space is proposed on the ground floor at the rear (east side) of the building. The indoor amenity space consists of a kitchen and a meeting and/or social area.
- The indoor amenity area, totalling approximately 36 square metres (388 sq. ft.), is 45 square metres (484 sq. ft.) less than the CD Zone (based on RM-70) requirement for indoor amenity space of 81 square metres (872 sq. ft.), based on the standard 3 square metres (32 sq.ft.) per dwelling unit.
- The applicant will be required to compensate for the deficient indoor amenity area in accordance with City Policy.
- A portion of the outdoor amenity area is located directly adjacent the indoor amenity space at the rear of the building, and consists of an outdoor patio area and garden plots. Significant landscaping is provided around this area to provide visual interest.

- The outdoor amenity area, totalling approximately 81 square metres (872 sq. ft.) meets the CD Zone (based on RM-70) requirement for outdoor amenity space of 81 square metres (872 sq. ft.), based on the standard 3 square metres (32 sq.ft.) per dwelling unit.

Parking

- Access to the underground parking facility (one level) is proposed from the new 103A Avenue.
- The underground parking facility will contain 35 resident and 5 visitor parking spaces.

PRE-NOTIFICATION

Pre-notification letters were sent on October 23, 2012 and the development proposal sign was installed on November 1, 2012. In response staff received a comment from the Fraser Heights Community Association (FHCA) which noted the following concern:

- There is an existing issue with traffic backing up along 156 Street adjacent 104 Avenue during peak hours. There is concern that the additional density that is proposed from the development will add to this and result in additional traffic in the area.

(Appropriate staff have been apprised of this concern and once reviewed, will be following up directly with the FHCA.)

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 19, 2012. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist:

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located adjacent 156 Street and 104 Avenue, both of which are major transit corridors.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The density is higher than what is permitted under the Multiple Residential designation in the OCP. • A variety of unit types are provided.
3. Ecology & Stewardship	<ul style="list-style-type: none"> • The following rain water management techniques are utilized: absorbent soils, cisterns/rain barrels, and the roof of the underground

Sustainability Criteria	Sustainable Development Features Summary
(C1-C4)	<p>parking structure will be a green roof.</p> <ul style="list-style-type: none"> • A recycling area, inclusive of organic waste pickup, is provided in the underground parkade.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bike parking is provided at the main entry and for each individual unit. • The development is located adjacent to offsite pedestrian and multi-use pathways and a transit stop will be located in front of the building.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED design principles are incorporated. • Both indoor and outdoor amenity areas are provided.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The applicant is targeting Build Green Silver standards. Energy Star and EnerGuide standards are incorporated into this as well.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Not applicable.

ADVISORY DESIGN PANEL

ADP Date: October 11, 2012

The applicant has resolved all of the issues that were raised by the ADP to the satisfaction of the Planning and Development Department.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments
Appendix VII.	OCP Redesignation Map
Appendix VIII.	OCP Text Amendment By-law
Appendix IX.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Parking Study Prepared by Creative Transportation Solutions Ltd., Dated July 20, 2012
- Complete Set of Architectural and Landscape Plans prepared by Douglas R. Johnson Architect Ltd. and M2 Landscape Architecture, respectively, dated November 20, 2012.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

SML/kms

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Douglas Johnson
 Douglas R. Johnson Architect Ltd.
 Address: 855 Greenwood Road
 West Vancouver BC
 V7S 1X8

 Tel: (604) 926-0322

2. Properties involved in the Application
 - (a) Civic Address: 15622 - 104 Avenue

 - (b) Civic Address: 15622 - 104 Avenue
 Owner: Reliance Holdings Ltd
 PID: 000-592-421
 Lot: West Half Block 1 Except Firstly: West 33 Feet Secondly; Parcel C
 (Explanatory Plan 9801) Thirdly; Parcel A (Reference Plan 10960)
 Fourthly; Parcel B (Explanatory Plan 14814) Fifthly; Part Dedicated
 Road on Plan LMP42555 Sixthly: Part in Plan BCP5565 Section 27
 Block 5 North Range 1 West New Westminster District Plan 1057

3. Summary of Actions for City Clerk's Office
 - (a) Introduce By-laws to amend the Official Community Plan and to redesignate the property.

 - (b) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (Based on RM-70)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		1,891 m ²
Road Widening area		402 m ²
Undevelopable area		
Net Total		1,489 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	48%	46%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (north)	6.1 m	6.2 m
Rear (south)	6.8 m	6.9 m
Side (east)	2.1 m	2.2 m
Side (west)	0 m	0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	15 m	13.49 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		0
One Bed		3
Two Bedroom		20
Three Bedroom +		4
Total		27
FLOOR AREA: Residential		2,745 m ²
TOTAL BUILDING FLOOR AREA	2,978 m ²	2,745 m ²

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		143 upha / 57 upa
# of units/ha /# units/acre (net)		181 upha / 73 upa
FAR (gross)		1.45
FAR (net)	2.0	1.84
AMENITY SPACE (area in square metres)		
Indoor	81 m ²	36 m ²
Outdoor	81 m ²	81 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom	4	4
2 & 3-Bed	36	31
Residential Visitors	5	5
Institutional		
Total Number of Parking Spaces	45	40
Number of disabled stalls	1	1
Number of small cars	11	3
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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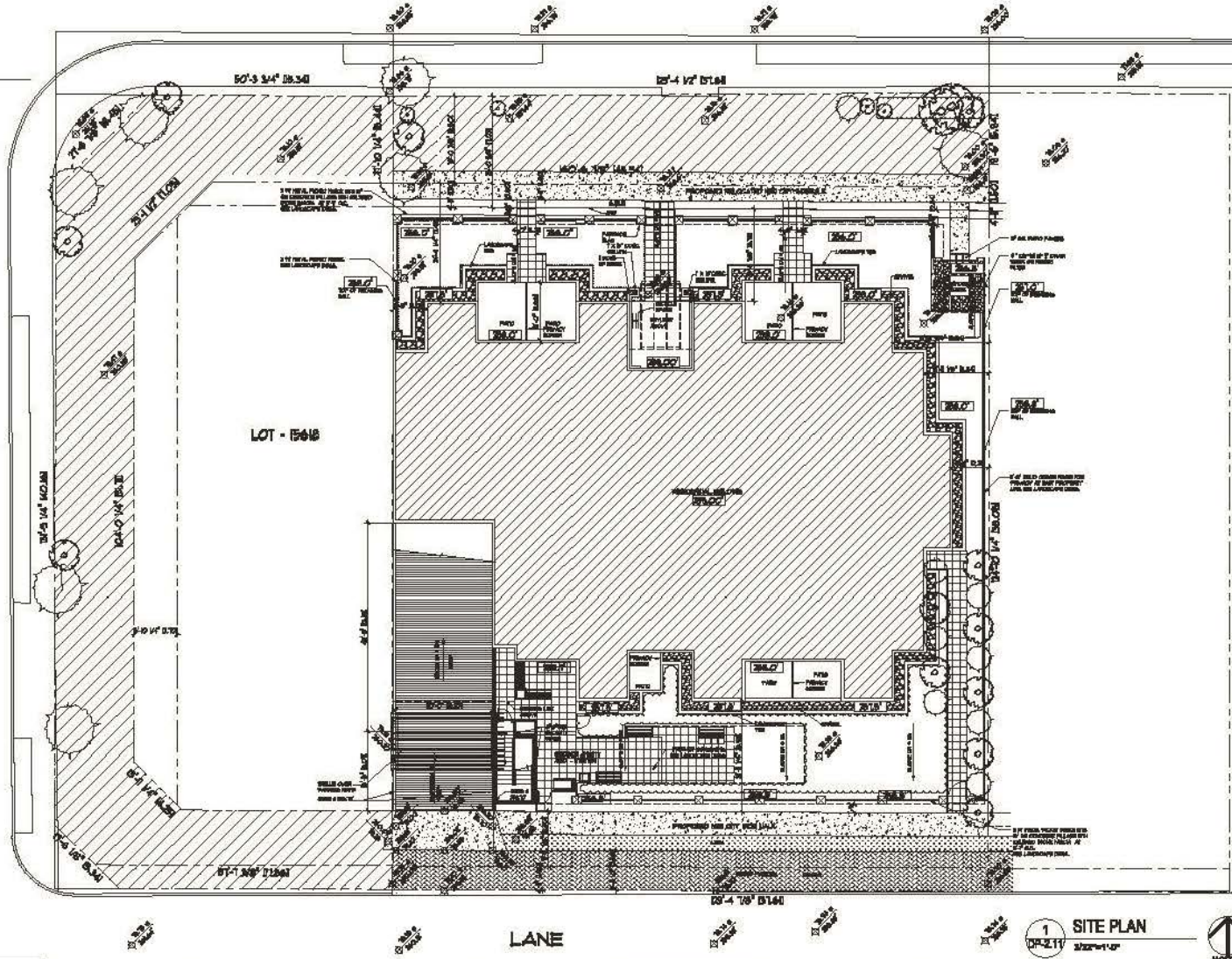


2 BICYCLE RACK @ ENTRY
DP-2.11
NTS

104th AVENUE



156th STREET



LOT - 15616

LANE

1 SITE PLAN
DP-2.11
3/20/11



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NO.	DATE	DESCRIPTION
1	01 NOV 2011	ISSUED FOR PERMIT
2	01 NOV 2011	ISSUED FOR PERMIT
3	01 NOV 2011	ISSUED FOR PERMIT
4	01 NOV 2011	ISSUED FOR PERMIT

PROJECT:
RESIDENTIAL BUILDING DEVELOPMENT
BASED - 156th AVENUE, Delta, Colorado
SHEET DESCRIPTION
SITE PLAN

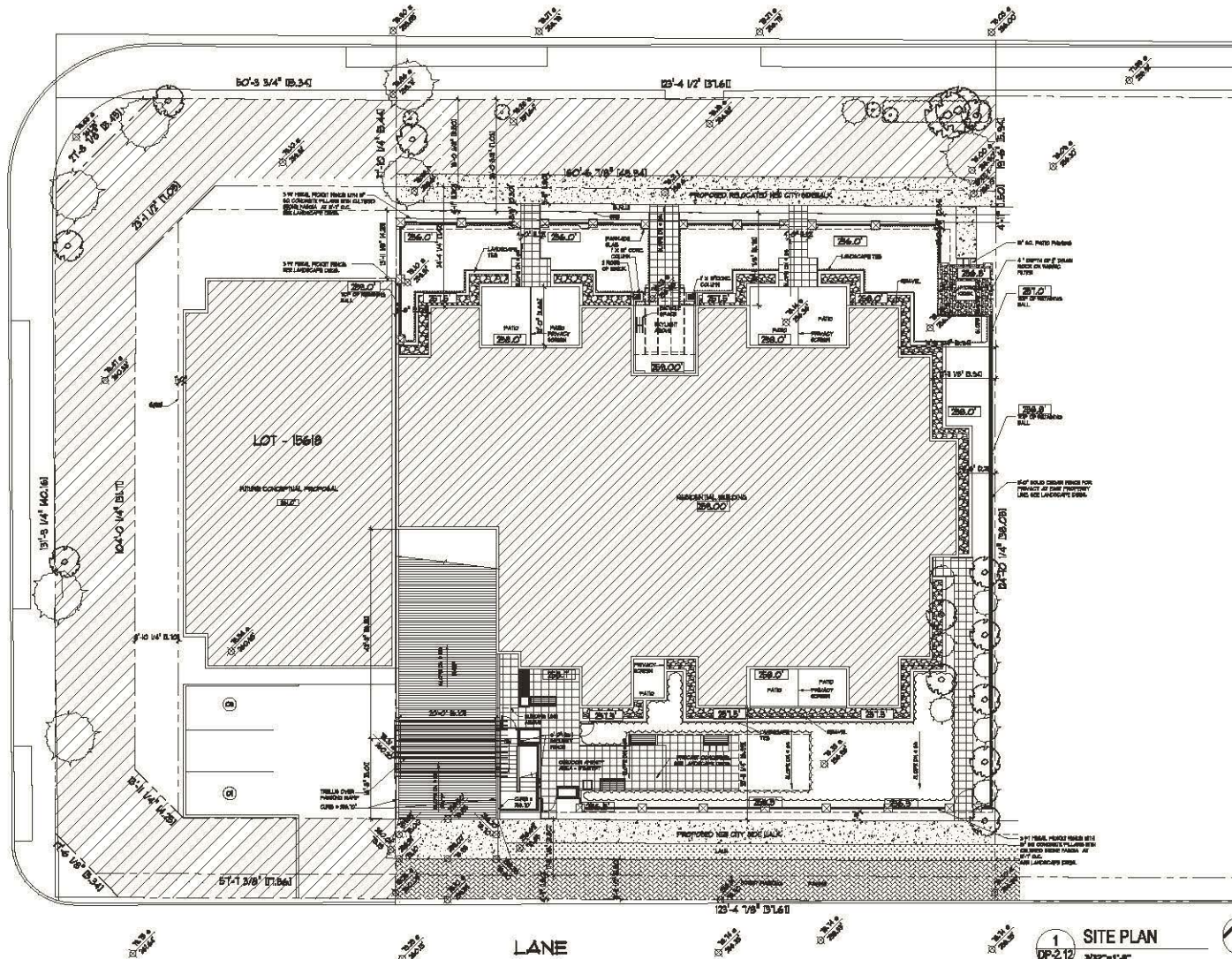
OWNER
PLANET CANADA DEVELOPMENT INC.
DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-801 WEST 3RD ST.
NORTH VANCOUVER, BC V7P 3P5
PH: (604) 996-3381
FAX: (604) 988-0217

ISSUED: 3/20/11	PROJECT NO.:
DATE: 01 NOV 2011	SHEET:
DRAWN: RJR	NO.:
REVISIONS:	DP-2.11

104th AVENUE

CENTER OF THE ROAD

156th STREET



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MARK	DATE	DESCRIPTION
1	18 MAR 2012	ISSUE FOR PERMIT
2	10 AUG 2012	PERMITTING
3	28 NOV 2012	PERMITTING
4		

PROJECT: RESIDENTIAL BUILDING DEVELOPMENT
 15622 - 104 AVENUE SCHEMBERT, Jordan, Columbia
 SHEET DESCRIPTION: CORNER LOT SITE PLAN

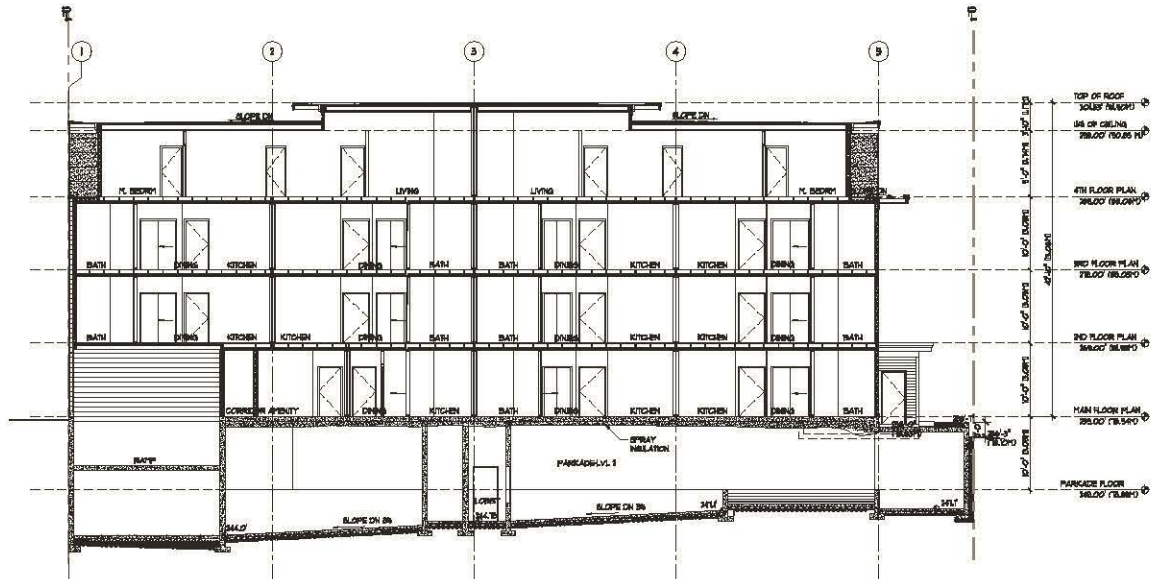
OWNER: PLANET CANADA DEVELOPMENT INC.
 ARCHITECT: DOUGLAS R. JOHNSON ARCHITECT LTD.
 #574 - 801 WEST 58th ST.
 WEST VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE: 3/32"=1'-0"	PROJECT NO: _____
DATE: 01 NOV 2011	SHEET: _____
DRAWN: RJB	REVISIONS: _____
REVISIONS: _____	DP-2.12

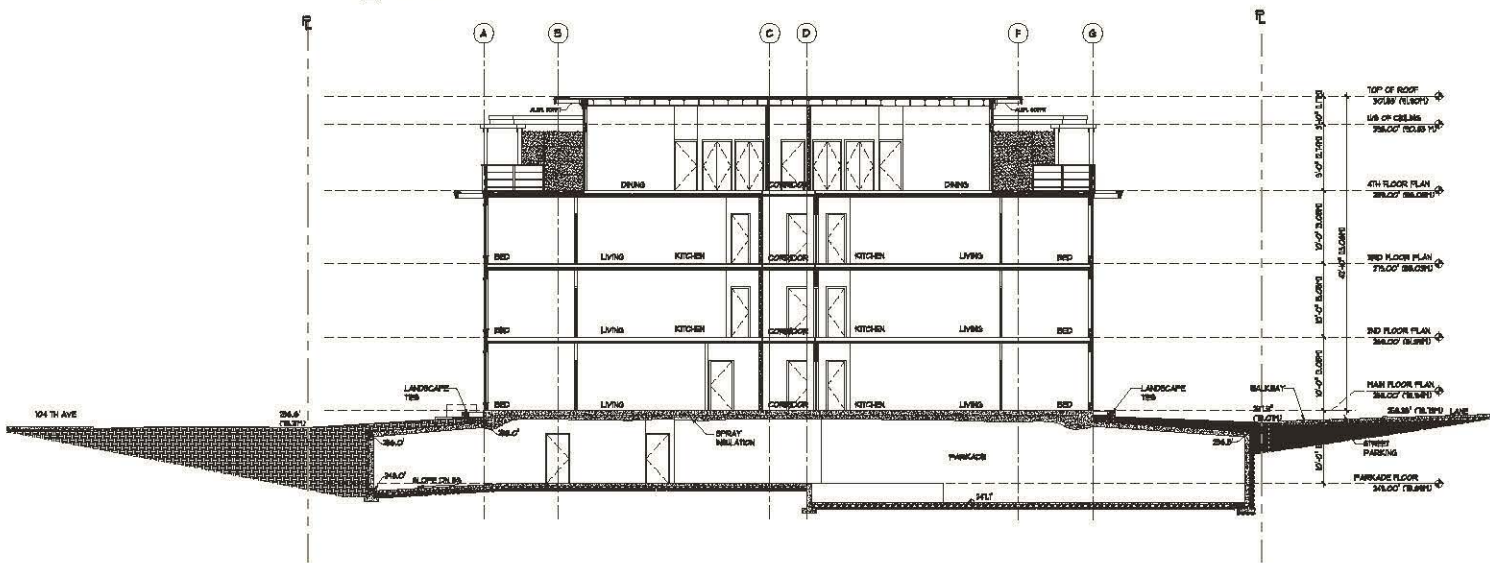
1 SITE PLAN
 DP-2.12 3/32"=1'-0"



LANE



1 BUILDING SECTION
DP-4.11
1/8"=1'-0"



2 BUILDING SECTION
DP-4.11
1/8"=1'-0"

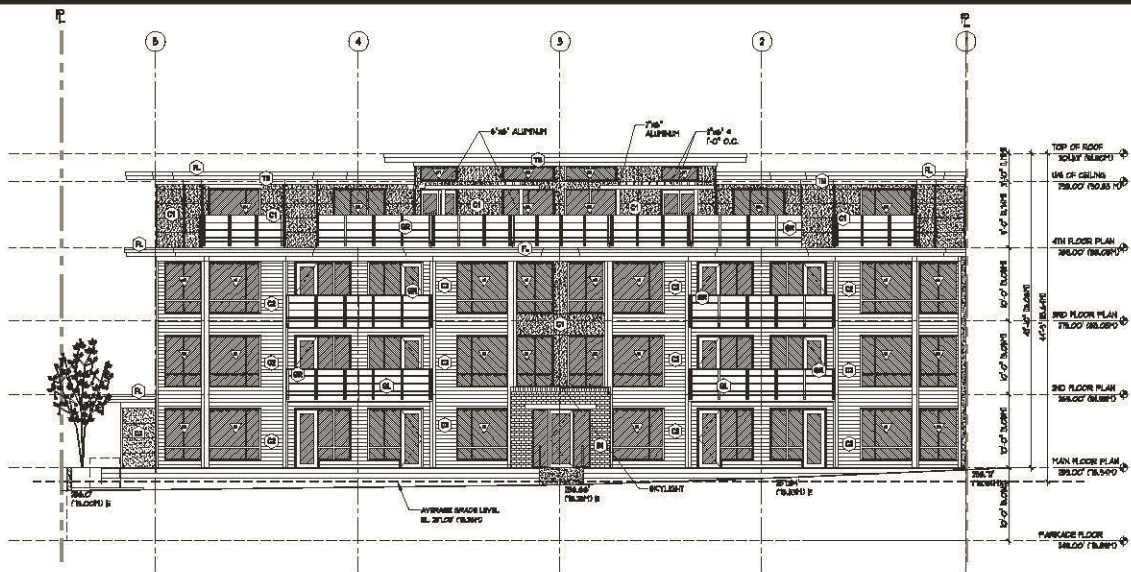
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MARK	DATE	DESCRIPTION
1	18 MAR 2012	ISSUE FOR PERMITTING
2	01 NOV 2011	PERMITTING
3	28 NOV 2012	PERMITTING
4		

PROJECT: RESIDENTIAL BUILDING DEVELOPMENT
14022 - 104 AVENUE, SCARBOROUGH, Ontario, Canada
SHEET DESCRIPTION: SECTIONS

OWNER: PLANET CANADA DEVELOPMENT INC.
DOUGLAS R. JOHNSON ARCHITECT LTD.
#574 - 801 WEST 58th ST.
VANCOUVER, BC V7P 3P9
PH: (604) 968-3381
FAX: (604) 968-0217

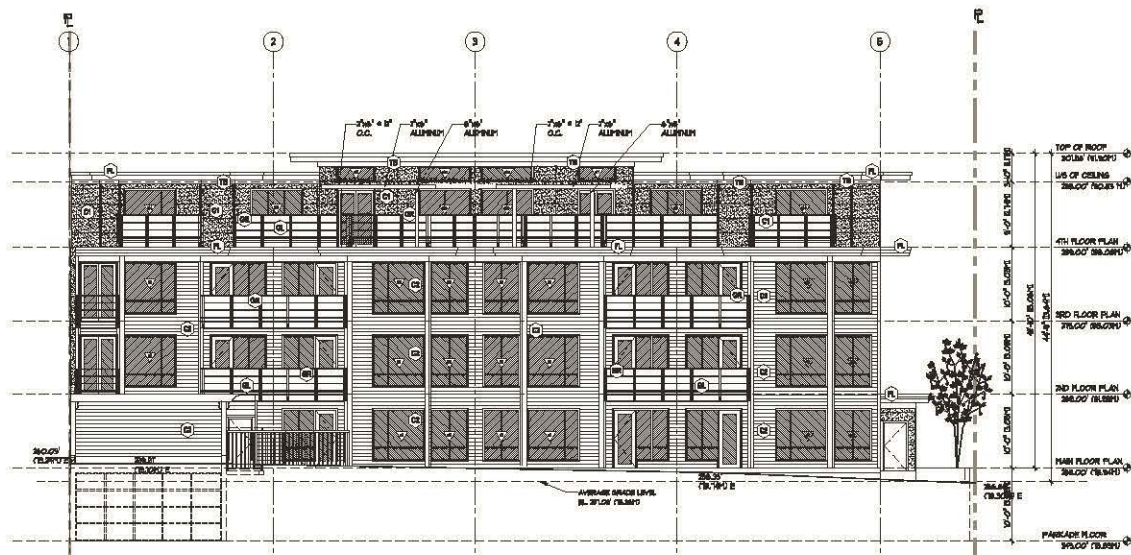
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DRAWN: RJS	SHEET:
REVISIONS:	DP-4.11



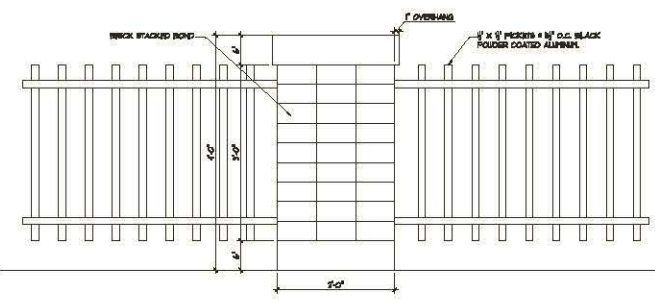
1 NORTH ELEVATION
1/8"=1'-0"

EXTERIOR FINISH SCHEDULE		
(H) HARDY PANEL	BY CEP-30	[Pattern]
(L) PLANKING	BY CEP-48	[Pattern]
(G) GUARD / RAILING	DARK GRAY BY CEP-48	[Pattern]
(B) BRICK	METAL MATERIALS REDONDO GREY	[Pattern]
(C) CONCRETE BLOCK	PAINTED BY CEP-48	[Pattern]
(V) VINYL SIDING	COLOR SPLY. TO BY CEP-40	[Pattern]
(GL) GLASS		[Pattern]
(S) SPLIT SMOOTH FACE CONCRETE BLOCK	PAINTED BY CEP-48	[Pattern]
(R) BRICKS BOND CONCRETE BLOCK	PAINTED BY CEP-48	[Pattern]
(T) TRIM BOARD	BY CEP-48	[Pattern]
(V) VINYL SIDING	BY CEP-48	[Pattern]
(A) ALUM. STOREFRONTS	WHITE	[Pattern]

AVERAGE GRADE CALCULATION $78.26 \text{ M} + 78.82 \text{ M} + 78.02 \text{ M} + 78.30 \text{ M} = 78.36 \text{ M}$
 BUILDING HEIGHT = 15.94 M



2 SOUTH ELEVATION
1/8"=1'-0"



3 FENCE DETAIL @ HYDRO KIOSK
1"=1'-0"

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MARK	DATE	DESCRIPTION
1	18 MAR 2012	ISSUE FOR PERMITS
2	10 JUL 2012	PERMITS
3	29 NOV 2012	PERMITS

PROJECT: RESIDENTIAL BUILDING DEVELOPMENT
 15622 - 104 AVE. SHERBROOK, Jordan, Columbia

CHECKED BY: [Signature]
 DRAWN BY: [Signature]

OWNER: PLANET CANADA DEVELOPMENT INC.
 DOUGLAS R. JOHNSON ARCHITECT LTD.
 #574 - 801 WEST 58th ST.
 NORTH VANCOUVER, BC V7P 3P8
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE: AS NOTED PROJECT NO: _____
 DATE: 01 NOV 2011 SHEET: _____
 DRAWN: RB SHEET: _____
 REVISIONS: _____ SHEET: _____

4 DP-5.11

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EXTERIOR FINISH SCHEDULE

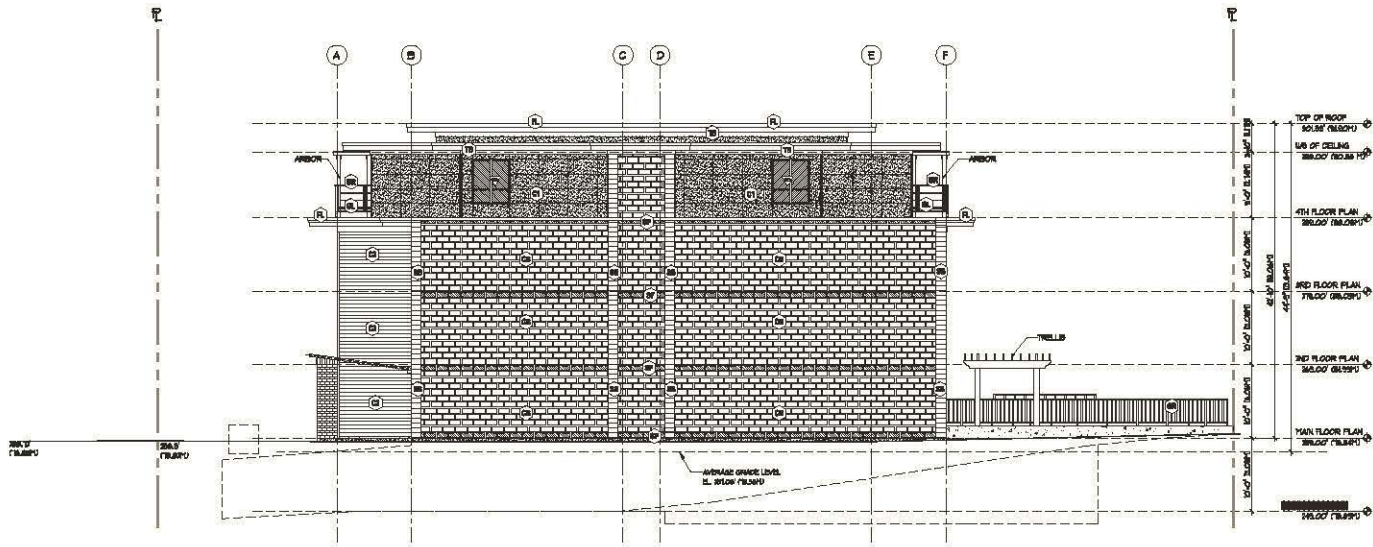
(M) MARKER PANEL	SP1 CSP-20	
(L) PLANKING	SP1 CSP-45	
(S) SIAVARD / RAALING	DARK GRAY SP1 CSP-45B	
(N) BRICK	METAL MATERIALS REDONDO QUST	
(C) CONCRETE BLOCK	PAINTED SP1 CSP-45	
(V) VINYL SIDING	COLOR SP1 TO SP1 CSP-40	
(SL) SLAB		
(R) SPLIT SMOOTH FACE CONCRETE BLOCK	PAINTED SP1 CSP-45	
(P) STACKED BOND CONCRETE BLOCK	PAINTED SP1 CSP-45	
(T) TRIM BRICK	SP1 CSP-45	
(W) VINYL SIDING	WHITE	
(A) ALUM. STOREFRONTS	WHITE	

MARK	DATE	DESCRIPTION
1	18 MAR 2012	ISSUE FOR PERMIT
2	10 AUG 2012	PERMITTING
3	28 NOV 2012	PERMITTING

PROJECT: RESIDENTIAL BUILDING DEVELOPMENT
 14622 - 104 AVENUE SEASIDEY, Jordan, Columbia
 SHEET DESCRIPTION: ELEVATIONS

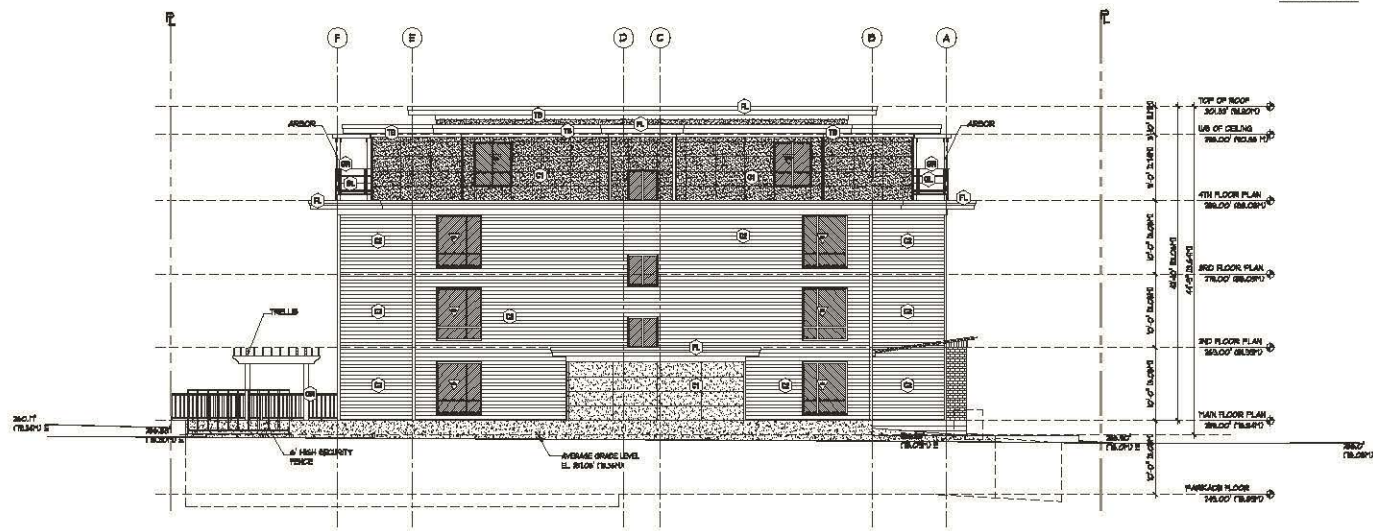
OWNER: PLANET CANADA DEVELOPMENT INC.
 ARCHITECT: DOUGLAS R. JOHNSON ARCHITECT LTD.
 #574 - 801 WEST 58th ST.
 WEST VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE: 1/8"=1'-0"	PROJECT NO: _____
DATE: 01 NOV 2011	DRAWN: _____
DRAWN: RLB	SHEET: _____
REVISIONS:	DP-5.21

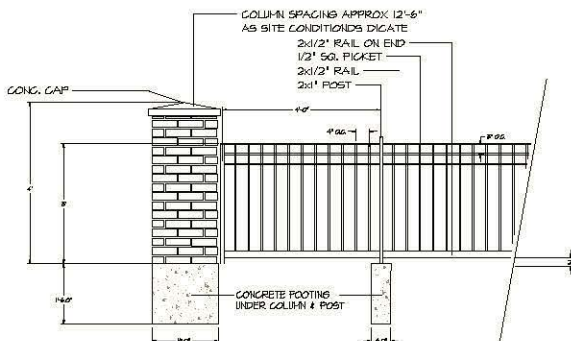


1 WEST ELEVATION
 DP-5.21
 1/8"=1'-0"

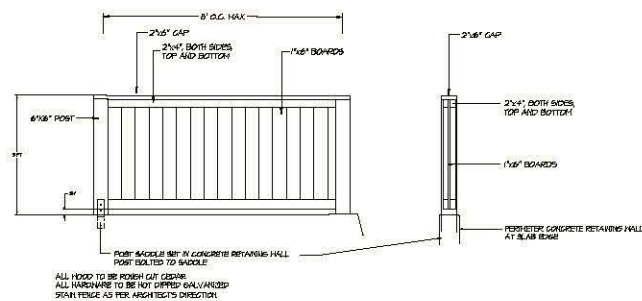
AVERAGE GRADE CALCULATION: $\frac{19.36 \text{ M} + 19.82 \text{ M} + 19.02 \text{ M} + 19.30 \text{ M}}{4} = 19.36 \text{ M}$
 BUILDING HEIGHT: 15.94 M



1 EAST ELEVATION
 DP-5.21
 1/8"=1'-0"



**DETAIL 'A': WELDED ALUMINUM TUBE FENCE
W/CULTURED STONE POST**



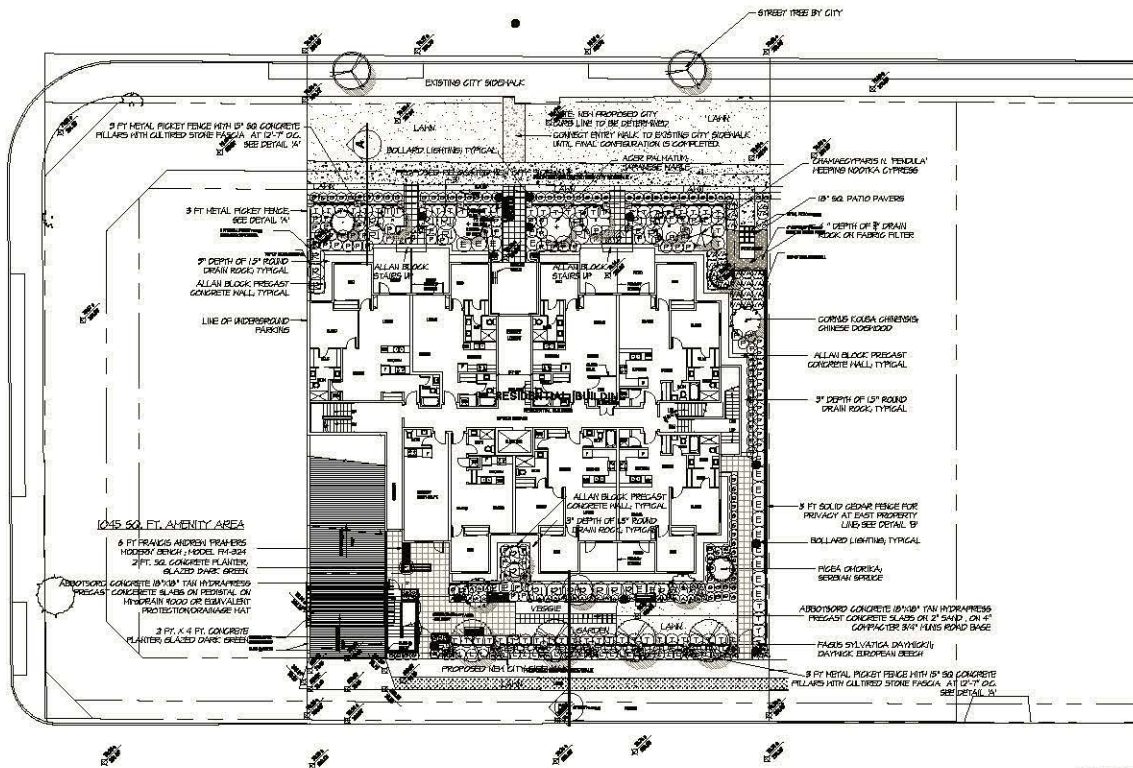
DETAIL 'B': 5 FOOT HT PERIMETER FENCE ON CONCRETE RETAINING WALL

PLANT SCHEDULE

			M2 JOB NUMBER: 12-037	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREES				
1	4	ACER PALMATUM	JAPANESE MAPLE	6CM GALL, 2H HT, B&B
2	4	CHAMAECYPARIS NODIKATENSIS PENDULA'	WEEPING NOOTKA CYPRESS	3H HT, B&B
3	6	CORUS KOLBA CHENSIS'	CHINESE DOGWOOD	2.5H HT, BUSH FORM, B&B
4	4	FAGUS SYLVATICA 'DANHYOKI'	DAHLYK BEECH	6CM GALL, B&B
5	3	PICEA CHORICA	SERBIAN SPRUCE	3H HT, B&B
6	2	STREET TREE BY CITY		
SHRUBS				
7	14	ISCIANTHUS CAMPAULATUS	ISCIANTHUS	1/3 POT, 50GH
8	39	LONGERA NITIDA	BOXLEAF HONEYSUCKLE	1/3 POT, 30CM
9	16	RHOODOENDRON 'LALIQUE'	RHOODOENDRON YELLOW, APRIL	1/3 POT, 30CM
10	10	ROSA 'BONICA MEIDLAND'	BONICA MEIDLAND ROSE, PINK	1/3 POT, 40GH
11	64	TAXUS X MEDIA 'HICKSII'	HICKS YEN	1/3 POT, 30GH
12	30	VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY	1/2 POT, 50GH
GRASS				
13	2	FESTUCA CINEREA 'FRIEHLINGBLAU'	BLUE FESTUCA	1/1 POT
14	30	Pennisetum orientale	ORIENTAL FOUNTAIN GRASS	1/1 POT
PERENNIAL				
15	2	CRDOSSOMA LUCIFER	RED CRDOSSOMA	1/1 POT, 30GH
GC				
16	30	ARGOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	KINKKINICK	1/1 POT, 20GH
17	16	GAILTHERIA SWALLON	SALAL	1/1 POT, 20GH
18	86	POLYSTICHUM HUNTING	WESTERN SHROD FERN	1/1 POT, 25GH

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER HAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



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220-26 Lorne Mews
New Westminster, British Columbia
V3M 3J7
Tel: 604.553.0044
Fax: 604.553.0045

NO.	DATE	REVISION DESCRIPTION	DR.
1	02/24/24	REV. CITY COMMENTS, B&B FOR GP	JC
2	02/24/24	REV. 4 ISSUED FOR GP	JC
3	02/24/24	CITY COMMENTS & REV SITE PLAN	JC
4	02/24/24	ISSUED FOR GP	JC

PROJECT:
RESIDENTIAL DEV.
15822 104th AVENUE
SURREY, BC

LANDSCAPE PLAN

DATE:	02/24/24	DRAWING NUMBER:	
SCALE:	1/8" = 1'-0"		
DRAWN:	JC		
DESIGN:	JC		
CHKD:	NM		
M2LA PROJECT NUMBER:	12-037		

L1

OF 8



Wednesday, November 14, 2012
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 12 0071 00

SUMMARY

The proposed 26 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	1
Secondary Students:	1

September 2012 Enrolment/School Capacity

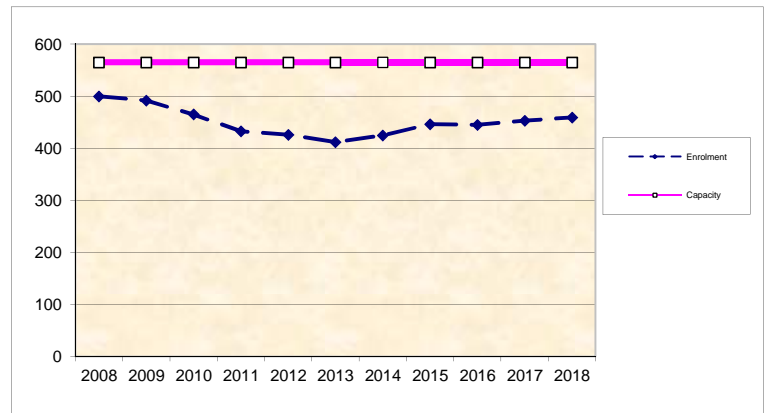
Harold Bishop Elementary	
Enrolment (K/1-7):	43 K + 383
Capacity (K/1-7):	40 K + 525
Johnston Heights Secondary	
Enrolment (8-12):	1446
Nominal Capacity (8-12):	1450
Functional Capacity*(8-12):	1566

School Enrolment Projections and Planning Update:

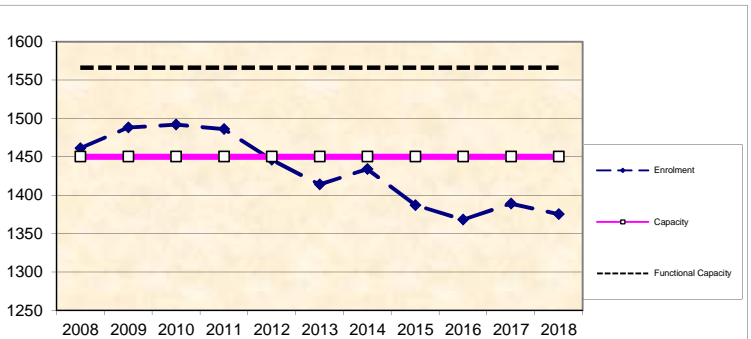
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

New housing would help fill surplus capacity at Harold Bishop Elementary and at Johnston Heights Secondary. There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school.

Harold Bishop Elementary



Johnston Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

TREE PRESERVATION SUMMARY

Project Location: 15622 104th Ave Surrey, BC
 Registered Arborist: Trevor Cox, MCIP
 ISA Certified Arborist (PN1920A)
 Certified Tree Risk Assessor (43)
 BC Parks Wildlife and Danger Tree Assessor

Detailed Assessment of the existing trees of an Arborist's Report is submitted on file. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site: Almost half acre site with abandoned residence upon it.

2. Summary of Proposed Tree Removal and Placement:

The summary will be available before final adoption.


Number of Protected Trees Identified	16	(A)
Number of Protected Trees declared high risk due to natural causes	1	(B)
Number of Protected Trees to be removed	16	(C)
Number of Protected Trees to be Retained (A-B-C)	0	(D)
Number of Replacement Trees Required (C-B) x 2	31	(E)
Number of Replacement Trees Proposed	17	(F)
Number of Replacement Trees in Deficit (E-F)	14	(G)
Total Number of Protected and Replacement Trees on Site (D+F)	17	(H)
Number of Lots Proposed in the Project	1	(I)
Average Number of Trees per Lot (H / I)	17	

3. Tree Survey and Preservation / Replacement Plan

Tree Survey and Preservation / Replacement Plan is attached

This plan will be available before final adoption

Summary prepared and submitted by:



 Arborist

March 15, 2012

 Date

Advisory Design Panel Minutes

PRC₁
 City Hall
 14245 - 56 Avenue
 Surrey, B.C.
THURSDAY, OCTOBER 11, 2012
 Time: 4:00 pm

Present:

Chair - L. Mickelson

Panel Members:

T. Wolf
 B. Shigetomi
 S. Vincent
 B. Heaslip
 J. Makepeace
 M. Searle

Guests:

Mark Lesack, Ankenman Associates Architects Inc.
 Meredith Mitchell, M2 Landscape Architecture
 Doug Johnson, Douglas Johnson Architect Ltd.

Staff Present:

M. Rondeau, Acting City Architect,
 Planning & Development
 H. Dmytriw, Legislative Services

B. SUBMISSION**2. 4:50 PM**

<i>File No.:</i>	7912-0071-00
<i>New or Resubmit:</i>	New
<i>Description:</i>	OCP amendment, Rezoning and DP for a 4-storey 27 unit apartment building in Guildford
<i>Address:</i>	15622-104 th Avenue
<i>Developer:</i>	Surinder Sanghera, Reliance Holdings Ltd.
<i>Architect:</i>	Doug Johnson, Douglas Johnson Architect Ltd.
<i>Landscape Architect:</i>	Meredith Mitchell, M2 Landscape Architecture
<i>Planner:</i>	Shawn Low
<i>Urban Design Planner:</i>	Mary Beth Rondeau

The **Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- 104 Avenue has been targeted for further rapid transit which is the reason for the large dedication. Also, along the south, an existing road provides access to the school east of the site.
- The adjacent westerly site is very small and will need to extend the greenway along the 156 Avenue frontage, therefore this site has provided shared access to underground parking.
- Use, form and density generally meet City's policy and staff have no specific issues.

The **Project Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The site is well served by transit with busses every 5 minutes.
- An older convenience store is on the corner adjacent site. Anticipate a similar building to the east. A commercial site; there are stacked townhouses; ramp on north side providing access to underground parking in future.

- Horizontal siding, brick at entry, hardi panel on upper floor with punchier colours. Tonal colours on rest of building.
- Arbour detail in metal – contemporary
- 27 units, 2 bedroom, 750 sq.ft.
- Upper floor – 3 bedrooms, 1,000 sq.ft, stepped back, balconies.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- A constrained site.
- New sidewalk aligned to street frontage.
- City sidewalk, hedges for privacy, elevated slightly.
- Existing plantings on top of slab; concrete upstand walls; Allan blocks.
- At back play area is separated out and a lawn area that connects with walkway.
- Door goes into stair structures. Lockable. Entry on south with locking gate. Perimeter fence.
- Vestibule is fully covered, outside, projecting glass.
- Hydro kiosk on northwest corner.

In response to questions the following information was provided by the **project architect**:

- Horizontal side is hardi panel.
- Windows are casement windows – opening.
- Privacy frosted glass separators at patios.
- Wall mounted bicycle storage at every parking stall.
- Front parking lot has patios tucked inside. Look at possibly extending the patios to the public space.
- Being built to LEED Silver equivalent.
- Heating system is still to be determined.
- Height – 4 stories, minimum grade is at 4.6'; sidewalk at 2'.
- Site slopes down towards the east.
- Parkade is secured. 40 parking stalls, 1 accessible stall, and 3 small cars. No surface parking. Visitors and residents parking is co-mingled. Handicapped stall is adjacent to elevator.
- Underground exit goes to outside amenity area and locked gates at street frontage within enclosure. Small amenity space in back. Nearest play area is at the school.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
OCP amendment, Rezoning and DP for a 4-storey 27 unit apartment
building in Guildford
File No. 7912-0071-00

It was Moved by B. Shigetomi
Seconded by S. Vincent
That the Advisory Design Panel (ADP)
recommends that the applicant address the following recommendations and
revise and resubmit to the Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Site

- A good project that will enhance 104 Avenue. Accessible to transportation.
- Provide more programmed amenity space for families.

Form and Character

- No issue with massing. Colour weak. Top celebrates but lower proportion is repetitive and weak. Building sits low compared to the street/sidewalk elevation. Look at how the building may be raised slightly and/or pull the lower patios out to provide a more 'open' front.

(The building main floor elevation has been raised 6 inches. The building is not sitting below the street, that is an illusion created by the 3D model. The teal accent color now runs vertically down the building to the main entrance and is also used on the exit stair element on the east side of the building.)

- Project would benefit if the patios in the front on the ground floor were extended to provide a more useable space.

(The patio areas facing 104th have been increased 50% in size.)

- Consider redesigning the entry element to appear as a stronger architectural form.

(The entrance brick now extends forward on both sides of the entry and projects out past the building face to frame an outside entry court. The glass canopy flies over the entry brick detail. The brick detailing of the entry is reflected in the fence enclosure along the street. The strong teal color now extends vertically down the north façade to the main entry.)

- Consider improving east elevation. Windows?

(Windows have been added to the exit stair landings and the strong teal color is being used on the projecting exit stair element.)

- Consider either eliminating small area of brick at the entrance or use brick as a base on the building.

(The extent of the entry brick has been significantly increased and is an important part of the entry detailing. The brick also ties into the project fencing detail.)

- Look at bringing the 'green' colour down vertically to get rid of the 'wedding cake' look.

(The teal color now runs vertically on the building at the main entry.)

- Look at expanding roof decks to be able to use more of the floor.

(Roof decks have been added off the level 4 bedrooms on the west and east ends of the building.)

- Trellis on 4th floor tucked under roof. Expand deck areas out and expand trellis out to be more visible.

(4th Floor trellis work has been moved out from the building.)

- Consider windows at each stair for natural light as well as improving exterior elevation.

(Windows at the landings have been added to the east exit stair.)

- Take detail at building front/back against firewall and then bending.

(Firewall detailing has been revised to provide vertical patterning in addition to the horizontal patterning.)

- Repetitive window details: top floor colour good; floors 1-3 are bland.

(The strong teal color now extend vertically and is also used on the exit stair element on the east side of the building.)

- Garbage – look at compactor to eliminate bins being dragged up ramp and left at street curb.

(Compactor will be reviewed during BP process.)

- Consider improving parking circulation and security and separating visitors and residents parking. Have an entry phone at ramp.

(The parkade has been revised to incorporate an additional security gate. This will allow the separation of the visitor parking area from the tenant parking. During access hours the first gate can be left up allowing visitor access.)

Landscaping

- Like plantings, layering and variety.
- Like the garden plots on the south side.

CPTED

- See comment regarding access to parkade. Recommend main parkade gate be up ramp to present securing issue. Add enter phone at ramp to access parkade.

(The revised parking layout addresses the concern that visitors might be stuck on the ramp if the tenant is not home.)

- Concerns regarding garage layout and vestibules and how stairways interact and come out. Building being buttressed by other developments seems to work.

(The revised parking layout addresses these concerns.)

- Ensure clear entries and way finding around building.

(Acknowledged.)

Accessibility

- No accessible visitor stall?

(Parking stall 7 is adjacent to a pedestrian access aisle. We can designate it as such.)

- Recommend 3-4 units be wheelchair accessible.

(We will develop 3 units to accessible standards during the BP process.)

- Elevators and call panels to be vertical.

(Acknowledged.)

- Provide power doors at entrances.

(Acknowledged.)

- Amenity unit to be wheelchair washrooms.

(Acknowledged.)

Sustainability

- Proposal states project is proposed to be built green LEED Silver or better. This is a good goal and hopefully this is achieved.

(Acknowledged.)

- Recommend not using electric heating. Consider using hot water radiant floor with high efficiency boilers or similar high efficiency heating system.

(Acknowledged.)

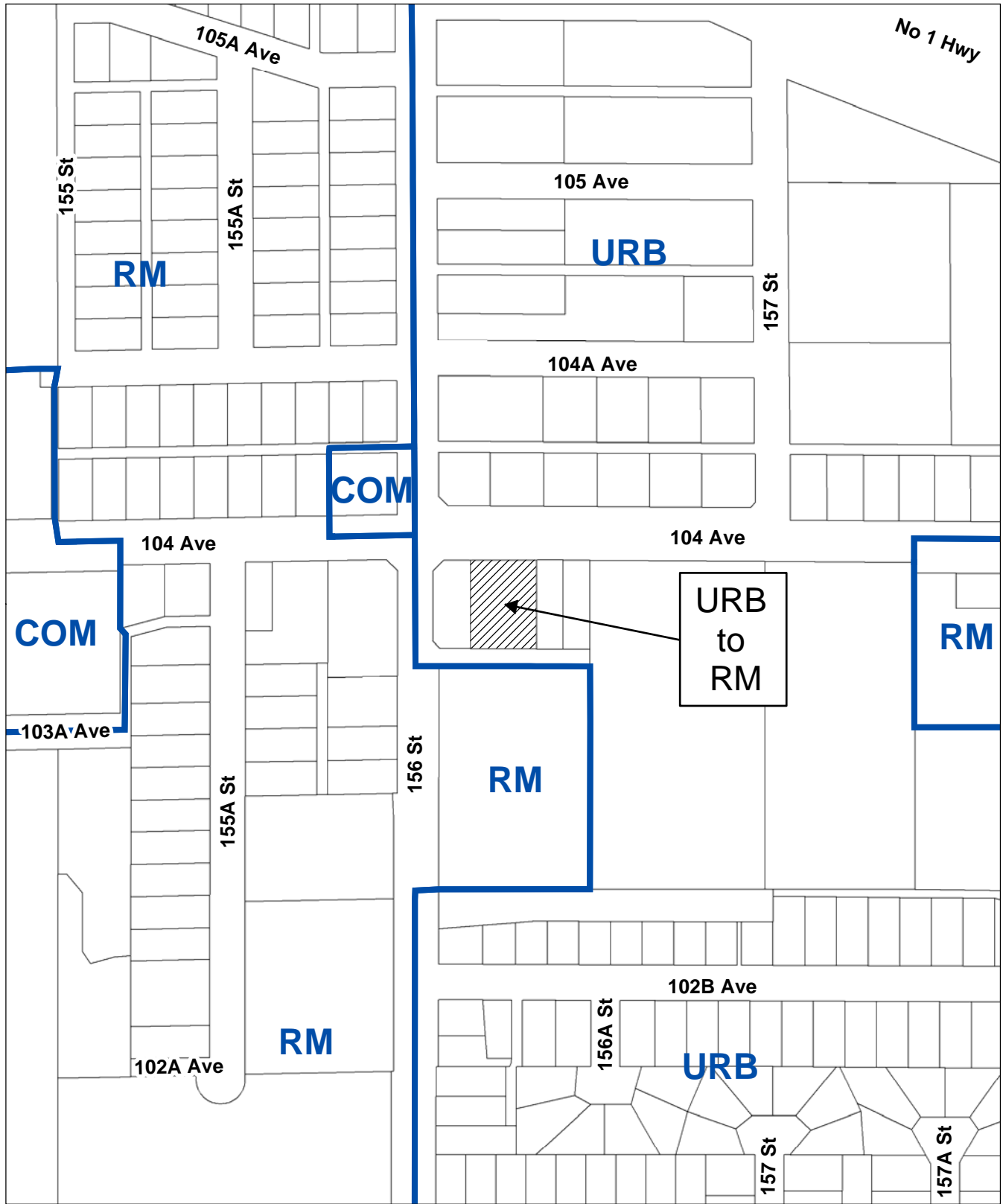
- Recommend consider using heat recovery ventilation HRV for each unit. This improves air quality and energy efficiency.

(Acknowledged.)

- Gas cook tops, and gas fireplaces on top floor should all be high efficiency and separately metered.

(Acknowledged.)

The **Developer** thanked the panel for the comments provided at the Statement of Review.



OCP Amendment

Proposed amendment from Urban to Multiple Residential



CITY OF SURREY

BY-LAW NO. _____

A by-law to amend the provisions of "Surrey Official
Community Plan By-law, 1996, No. 12900" as amended

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Official Community Plan By-law, 1996, No. 12900, as amended, is hereby further amended as follows:

Section 3.6 Land Use Designations: Allowable Density is amended by amending the first footnote (*) below the table by inserting "and 16522-104 Avenue" after the last address.

- 2. This By-law shall be cited for all purposes as "Surrey Official Community Plan By-law, 1996, No. 12900, Text No. ____ Amendment By-law, 2012, No. ____."

PASSED FIRST AND SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 000-592-421

West Half Block 1 Except Firstly: West 33 Feet Secondly; Parcel C (Explanatory Plan 9801) Thirdly; Parcel A (Reference Plan 10960) Fourthly; Parcel B (Explanatory Plan 14814) Fifthly; Part Dedicated Road on Plan LMP42555 Sixthly: Part in Plan BCP5565 Section 27 Block 5 North Range 1 West New Westminster District Plan 1057

15622 - 104 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, multiple unit residential buildings, ground-oriented multiple unit residential buildings* and related *amenity space*, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*

2. *Child care centres*, provided that such centres:
 - (a) Do not constitute a singular use on the *lot*; and
 - (b) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *floor area ratio* shall not exceed 2.0.
2. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 48%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard (North)</i>	<i>Rear Yard (South)</i>	<i>Side Yard (West)</i>	<i>Side Yard (East)</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		6.1 m [20 ft.]	6.8 m [22 ft.]	0 m [0 ft.]	2.1 m [7 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 15 metres [49 ft].

2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Notwithstanding Section H.1 above, a minimum of 35 *parking spaces* shall be provided for resident parking only.
3. All required resident *parking spaces* shall be provided as *underground parking*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall be permitted within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.

3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1,450 sq. m. [0.36 acre]	36.0 metres [118 ft.]	36.0 metres [118 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.

8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2012, No. 17539, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

READ A THIRD TIME ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

MAYOR

CLERK