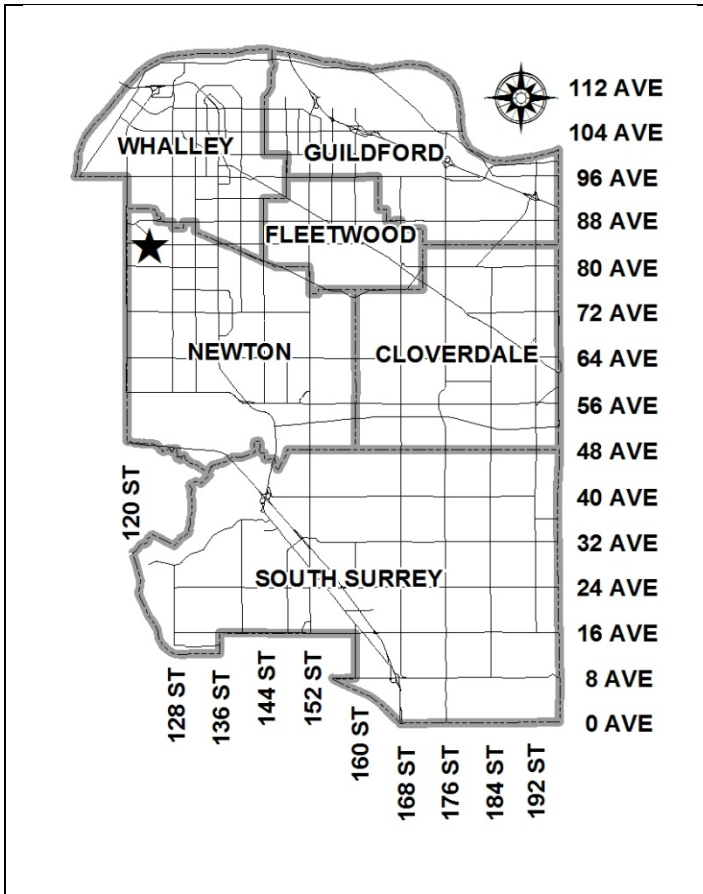


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7912-0085-00

Planning Report Date: May 28, 2012

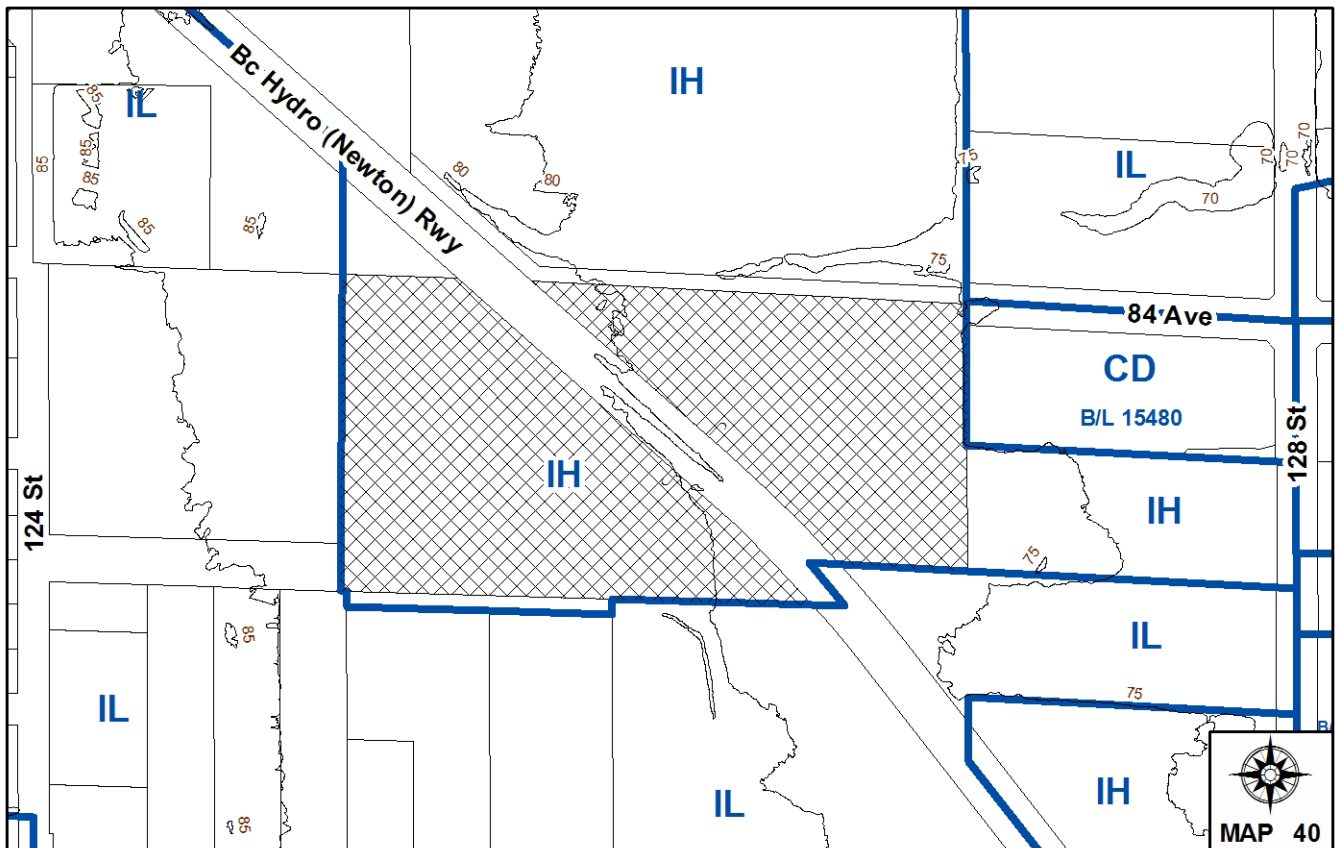


PROPOSAL:

- OCP Text Amendment
- Temporary Industrial Use Permit

in order to permit a temporary high-voltage training facility on the B.C. Hydro Surrey Campus for a period of three years.

LOCATION: 12582 – 84 Avenue
OWNER: British Columbia Hydro and Power Authority
ZONING: IH
OCP DESIGNATION: Industrial
LAP DESIGNATION: High Impact Industrial and Open Space



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for OCP Text Amendment.
- Approval for Temporary Industrial Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP designation.
- Complies with the Central Newton LAP.
- The Temporary Use Permit (TUP) is considered an appropriate means to facilitate B.C. Hydro's interim requirements for a training facility while they complete a Master Planning process for the B.C. Hydro Surrey Campus lands in North West Newton.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by declaring the subject property a Temporary Industrial Use Permit Area and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. Council approve Temporary Industrial Use Permit No. 7912-0085-00 (Appendix V) to proceed to Public Notification.
4. Council instruct staff to resolve the following issues prior to final adoption and issuance of the Temporary Industrial Use Permit:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering; and
 - (b) submission of a financial security to ensure the subject property is restored following termination of the Temporary Use Permit. The financial security will further ensure the future removal of all temporary structures located within the proposed 84 Avenue road alignment should the Engineering Department later determine that completion of 84 Avenue is required within the timeframe of the Temporary Use Permit.
5. Council direct staff to bring forward this application within 6 months (i.e. the first Council meeting after December 3, 2012) for consideration of filing, if the applicant has not addressed the conditions of approval.

REFERRALS

| | |
|------------------------------|--|
| Engineering: | The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III. |
| Parks, Recreation & Culture: | Parks, Recreation & Culture notes the future alignment of the Serpentine Greenway is located within the boundary of the subject property. The greenway will connect with the existing alignment at 82 Avenue and cross the B.C. Hydro rail corridor at 84 Avenue. The Parks, Recreation & Culture Department requests that B.C. Hydro keep a record of this conceptual alignment for future inclusion within the B.C. Hydro Surrey Campus Master Plan. |

| | |
|---|--|
| Department of Fisheries and Oceans (DOF): | The Department of Fisheries and Oceans approves of re-directing and re-classifying the Class B watercourse located on-site as well as creating an engineered wetland complete with scrubber marshes. |
| Surrey Fire Department: | No concerns. The applicant is required to ensure the proposed indoor training facility includes adequate sprinkler protection. |
| B.C. Hydro: | No concerns. |

SITE CHARACTERISTICS

Existing Land Use: Vacant parcel.

Adjacent Area:

| Direction | Existing Use | OCP/LAP Designation | Existing Zone |
|---------------------------|--|--|---------------------|
| North (Across 84 Avenue): | Ingledow sub-station. | Industrial/High Impact Industrial & Open Space | IH |
| East: | Multi-tenant industrial building. | Industrial/High Impact Industrial | IH & CD (B/L 15480) |
| South: | Outdoor/indoor storage, overflow parking, truck park and industrial buildings. | Industrial/High Impact Industrial, General Industrial & Open Space | IL |
| West: | Vacant industrial building and B.C. Hydro corridor. | Industrial/General Industrial & Open Space | IL |

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is 6.9 hectares (17 acres) in total area and located on the south side of the unopened 84 Avenue right-of-way between 124 Street and 128 Street. The property is designated "Industrial" in the Official Community Plan (OCP), "High Impact Industrial" and "Open Space" in the Central Newton Local Area Plan (LAP) and zoned "High Impact Industrial (IH)".
- The property is transected by the B.C. Hydro (Newton) railway corridor and forms part of the B.C. Hydro land holdings in Newton. At present, no permanent structures are located on the subject property. On adjacent parcels, B.C. Hydro operates the Ingledow sub-station with a number of buildings, offices and maintenance facilities located across the B.C. Hydro Surrey Campus.
- The applicant recently received approval from the Department of Fisheries and Oceans (DFO) in March, 2012 to re-classify and re-direct the existing yellow-coded watercourse located on-site by installing an engineered wetland that consists of scrubber marshes at the southwest as well as northeast corner of the subject property. Redirecting the watercourse will enable B.C. Hydro to construct the proposed training facility without encroaching into any riparian setbacks. In

addition, redirecting the watercourse further ensures the surface water will follow the natural contours which direct the water northeast and northwest through several ditches.

Proposed High-Voltage Training Facility

- B.C. Hydro is currently undergoing a Master Planning process which includes developing a strategic long-term plan for the Surrey Campus in North West Newton. At present, B.C. Hydro is working to identify a permanent location for the proposed training facility over the next four to eight years. In the meantime, B.C. Hydro is requesting a Temporary Use Permit in order to construct an interim high-voltage training facility on the B.C. Hydro Surrey Campus thereby ensuring the facility is completed on schedule by October, 2012. The proposal consists of three pre-engineered structures which include a temporary classroom, technical workshops, covered storage and truck bay as well as grass training yards with sub-station mock-ups that provide valuable hands-on experience for B.C. Hydro employees as well as transformer specialists.
- The single-storey classroom facility is capable of seating roughly 192 students and includes a lunch room, office space and small labs with a gross floor area of 2,245 square metres (24,165 sq. ft.). A heated indoor pre-fabricated building located on-site will provide roughly 788 square metres (8,482 sq. ft.) of gross floor area for workshop purposes and includes hands-on training areas reserved for transformer, regulator and capacitor training as well as designated workshop facilities devoted to power stations, machinist tool training and electronic equipment. The non-heated outdoor building provides a further 687 square metres (7,394 sq. ft.) of gross floor area and requires 13.3 metres (44 ft.) of vertical clearance with free-span areas for equipment storage, covered pole training and vehicle training with 4 truck bays along the exterior façade. Finally, the grass outdoor yards will include practice stations for hydro pole climbing, lineman repairs, underground electrical vault repair and sub-station mock-ups that provide hands-on training.
- The subject property is significantly encumbered by B.C. Hydro transmission corridors which greatly restrict the overall building footprint. Moreover, the property has limited road frontage which requires that driveway access be secured off-site through the adjacent property located at 12685 – 82 Avenue. As a result, the proposed high-voltage training facility better utilizes the property located outside the transmission corridor by proposing three structures with a grass training area which should have minimal impacts on adjacent properties. Furthermore, the B.C. Hydro Surrey Campus includes several existing office buildings, classroom structures as well as workshop facilities with experienced personnel and mock-up equipment present on-site for training purposes. Therefore, the subject property is considered an appropriate interim location for offering further high-voltage training it utilizes vacant lands while providing a convenient and centralized location for hands-on training of B.C. Hydro employees as well as transformer specialists.

Engineering Requirements and Multi-Use Pathway

- The alignment for the future connection of 84 Avenue between 124 Street and 128 Street runs through the subject property. This section of 84 Avenue is in the City's 10 Year Servicing Plan and identified under the medium term (4 – 6 year) timeframe. The preliminary road alignment impacts the location of the proposed temporary high-voltage training facility buildings (Appendix VI). Engineering has accepted B.C. Hydro's offer to provide a financial security to ensure removal of temporary structures located within the possible road right-of-way. This security would only be used should the Engineering Department determine that

construction of 84 Avenue is required within the proposed timeframe of the Temporary Use Permit, which is valid for up to three (3) years, or up to six (6) years with renewal .

- At present, the subject property obtains driveway access through 12685 – 82 Avenue. In order to formalize this arrangement, the applicant is required to register an access easement across the adjacent property to provide physical access to the subject property. The legal frontage will remain to the unopened 84 Avenue until it is constructed to the ultimate arterial road standard.
- The Surrey Zoning By-law No. 12000 requires three parking spaces for every 100 square metres (1,075 sq. ft.) of gross floor area for educational institutions and ground-floor offices as well as one parking stall for every 100 square metres (1,075 sq. ft.) of gross floor area for high impact industrial land-uses. Therefore, the proposed structures are required to provide eighty-two (82) parking stalls for students and employees. As the applicant proposes a total of eighty-two (82) parking spaces which include two accessible parking stalls, the on-site parking will comply with the zoning by-law based on a combination of institutional and high-impact industrial uses.
- The Parks, Recreation and Culture Department previously identified a possible linkage through the subject property to the Serpentine Greenway. The applicant is committed to identifying and securing a pedestrian linkage through the B.C. Hydro Surrey Campus Master Planning process.

PRE-NOTIFICATION

Pre-notification letters were sent on April 13, 2012 and staff received no comments.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, City staff have determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those individuals contacted as part of the pre-notification process.

No other agencies or organizations are considered to be affected by the proposed OCP Amendment that requires specific consultation.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|---------------|--|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets |
| Appendix II. | Site Plan and Building Elevation Drawings |
| Appendix III. | Engineering Summary |

- Appendix IV. Proposed OCP Text Amendment
- Appendix V. Temporary Industrial Use Permit No. 7912-0085-00
- Appendix VI. Possible future alignment of 84 Avenue

original signed by Nicholas Lai

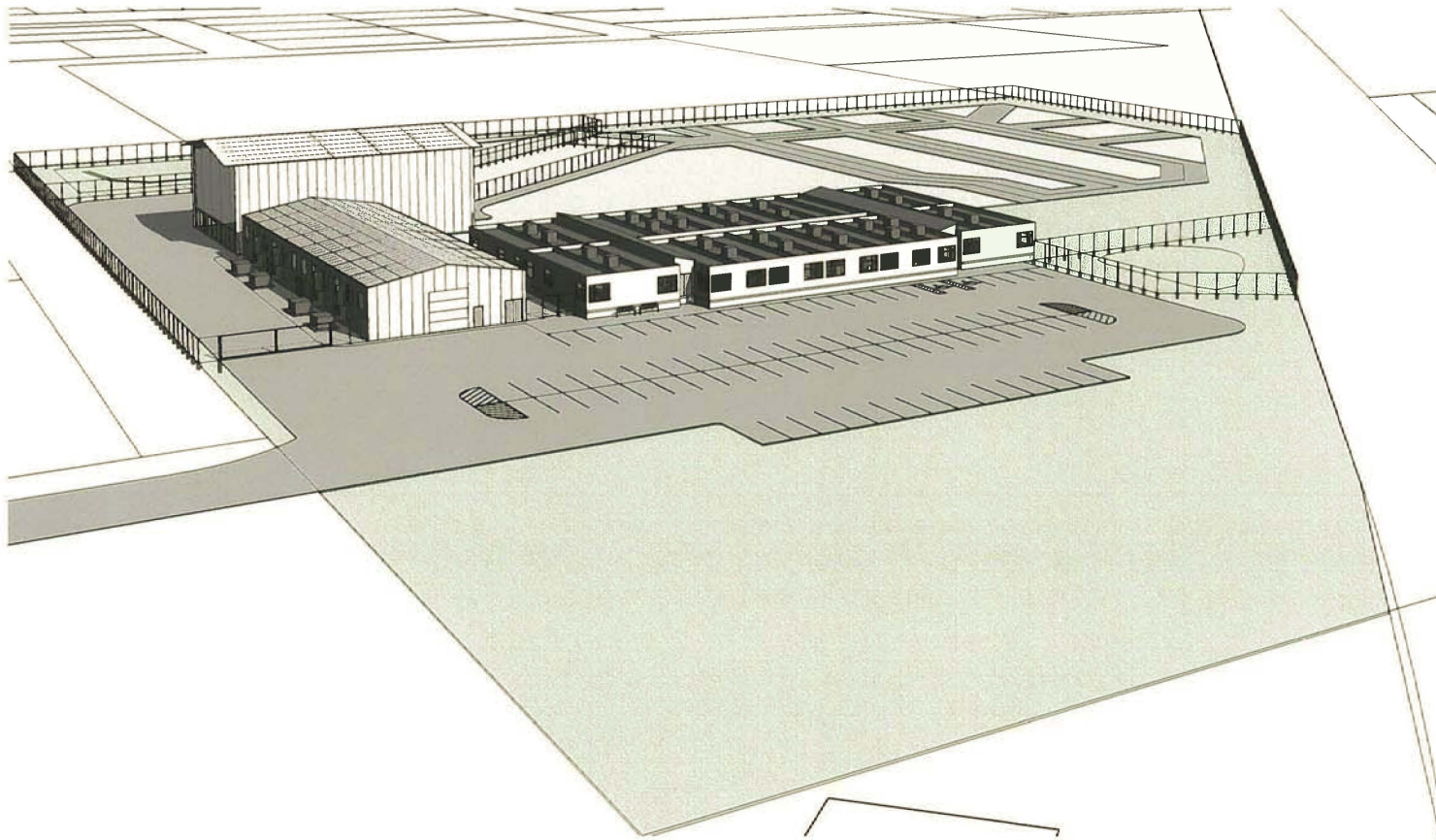
Jean Lamontagne
General Manager
Planning and Development

MRJ/kms

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. 5/24/12 9:46 AM

BC HYDRO SURREY CAMPUS TTC

12582 84th AVENUE, SURREY, BC



OMICRON

TOTAL • BUILDING • SOLUTIONS

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235 Burrard Street Telephone 604 852 1200
PO Box 4926 Vancouver, BC Telephone 604 271 2151
V7Z 1G4 Canada www.omicronbc.com

CONSULTANT

ISSUES

| Date | Remarks |
|------------|-----------------------------------|
| 1988-12-12 | ISSUED FOR PRELIMINARY USE REPORT |
| 1989-01-12 | REVISED FOR TECHNICAL USE REPORT |

REVISIONS

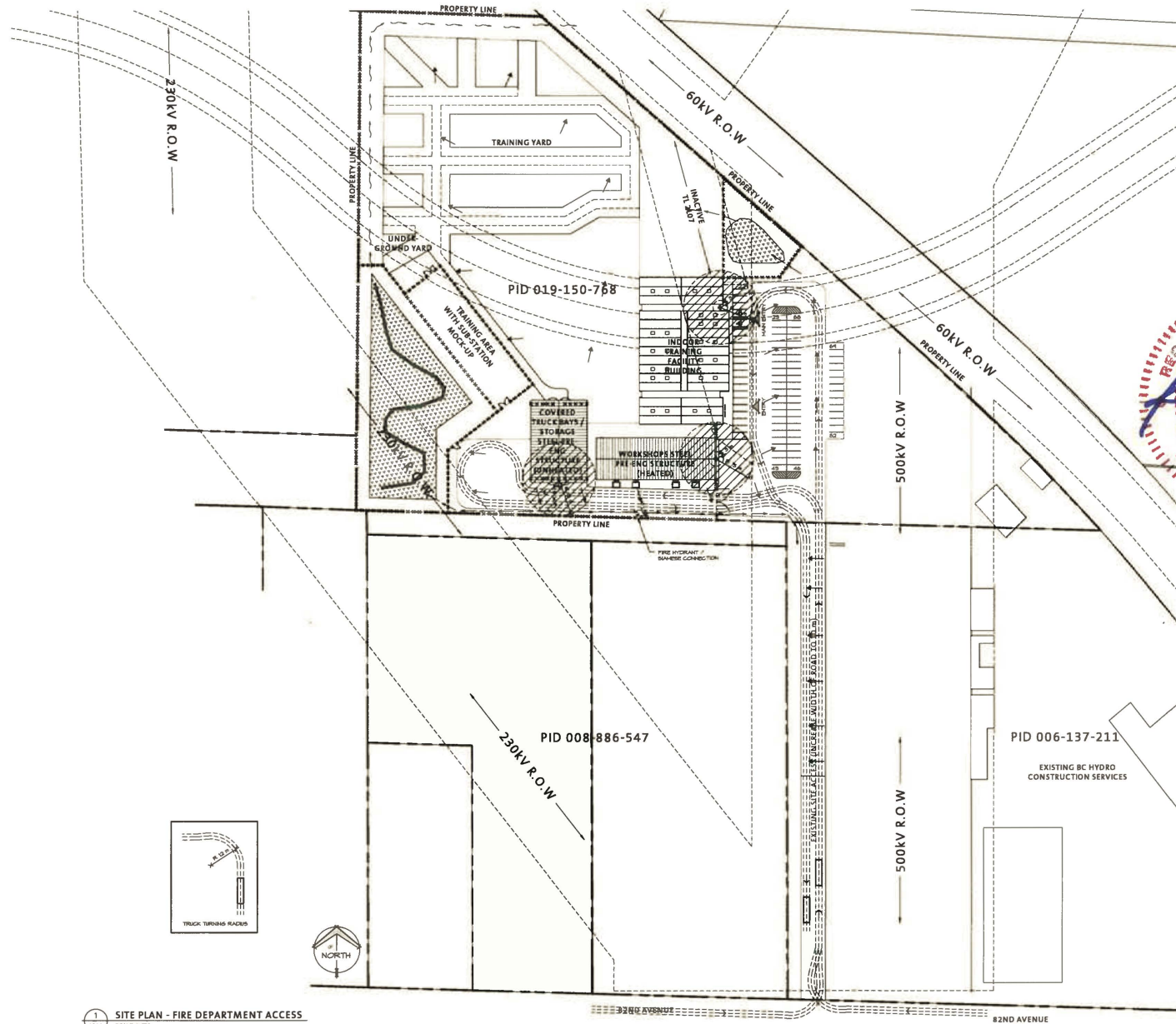
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BChydro

BC HYDRO SURREY
CAMPUS TTC
12582 84th AVENUE, SURREY, BC

10 12 014



1 SITE PLAN - FIRE DEPARTMENT ACCESS
A0.1.4 SCALE: 1:750

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8888 Hwy 1, Truss Rental Centre | Toll Free: 1-877-512-9330
555 Burrard Street | Vancouver, BC | Canada | 604-832-1300
2500 West 43rd Avenue, Richmond, BC | Canada | 604-832-1335
1775 St. Charles Street | Vancouver, BC | Canada | 604-832-1335
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ISSUED

| Date | Remarks |
|----------|------------------------------------|
| 14/05/12 | ISSUED FOR INFORMATION USE PERMIT |
| 14/05/12 | REVISED FOR INFORMATION USE PERMIT |

REVISIONS

| Date | Remarks |
|------|---------|
|------|---------|



BC hydro
BC HYDRO SURREY
CAMPUS TTC
12582, 84TH AVENUE, SURREY, BC

Drawn: EB
Checked: py
Designed: SP
Checked: [blank]
Project Number: 10 12 014

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SITE PLAN - FIRE DEPARTMENT ACCESS

A0.1.4

SYMBOL LEGEND - SITE PLAN:

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KEYNOTE LEGEND - SITE PLAN:

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PROJECT DATA

PROJECT NAME / ADDRESS:
 BC HYDRO SURREY CAMPUS TTC
 (TECHNICAL TRADES TRAINING CENTER)
 12582 84TH AVENUE, SURREY, BC

SITE AREA:
 31,512 m²

SITE DIMENSIONS:
 250.6 m x 203.1 m x 75.6 m x 206.1 m
 x 26.5 m x 51.8 m

APPLICABLE CODES:
 CITY OF SURREY ZONING BYLAWS
 BRITISH COLUMBIA BUILDING CODE, 2006
 NFPA FIRE CODE 2010

AUTHORITY HAVING JURISDICTION:
 CITY OF SURREY

LEGAL DESCRIPTION:
 M5 LINK 84709, LOT B, RBM PLAN N, IN
 PLAN LHP21915, PID 014-150-748

ZONING INFORMATION:
 IH HEAVY INDUSTRIAL

SETBACKS
 7.5 METERS

SITE INFORMATION:

BUILDING AREAS:
 INDOOR TRAINING FACILITY
 WORKSHOPS (HEATED) = 2,245 m²
 COVERED TRUCK BAYS /
 STORAGE (UNHEATED) = 1060 m²
TOTAL = 6,687 m²
 = 3,720 m²

FSE / SITE COVERAGE:
 SITE AREA = 31,512 m²
 BUILDING AREA FOOTPRINT
 SITE COVERAGE = 4.9%

PARKING REQUIREMENTS:
 INDOOR TRAINING FACILITY
 WORKSHOPS (HEATED) = 67 (1/100 m²)
 COVERED TRUCK BAYS /
 STORAGE (UNHEATED) = 8 (1/100 m²)
TOTAL REQUIRED = 75
TOTAL PROVIDED = 82

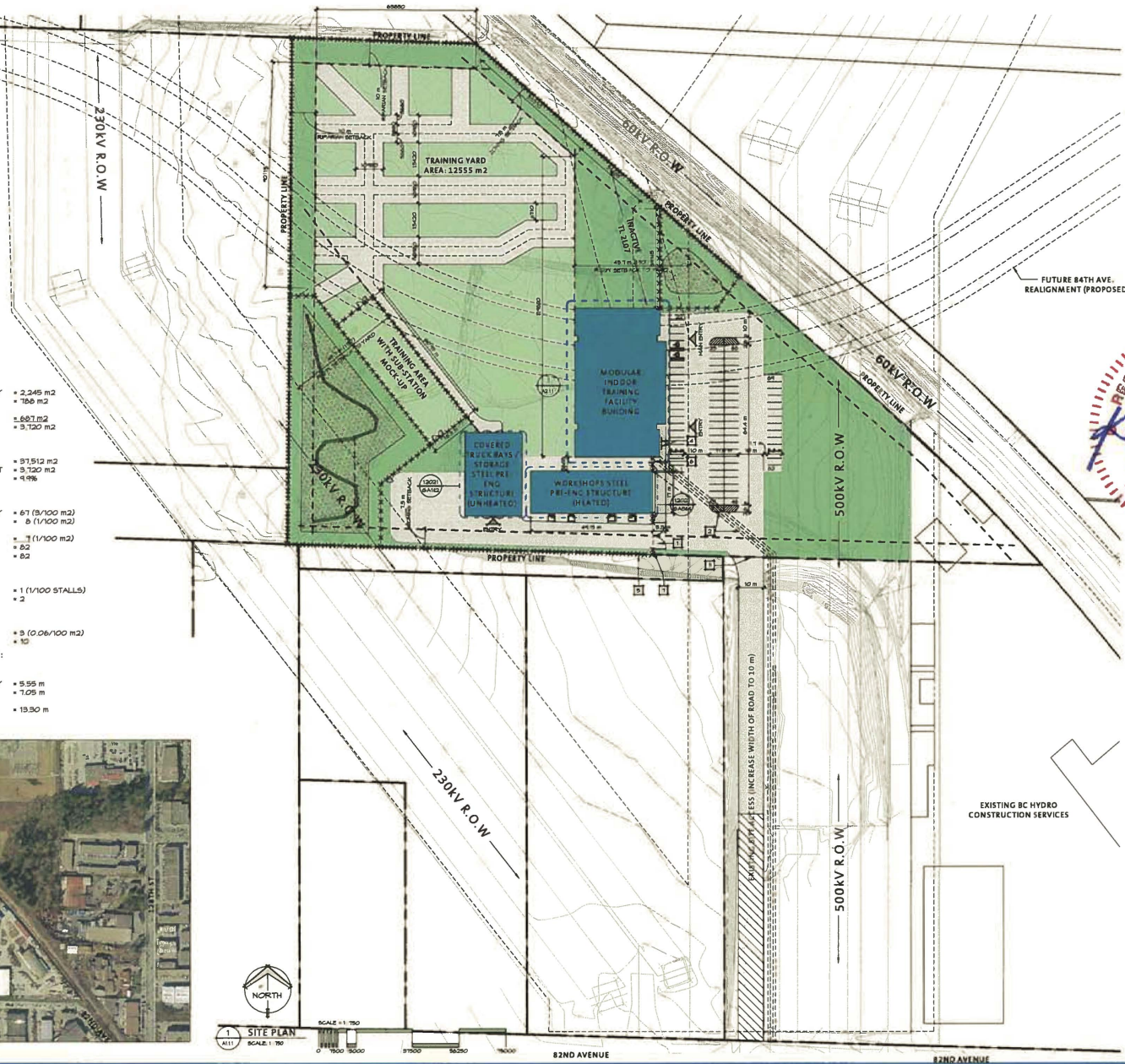
ACCESSIBLE PARKING:
 TOTAL REQUIRED = 1 (1/100 STALLS)
 TOTAL PROVIDED = 2

BICYCLE PARKING:
 TOTAL REQUIRED = 5 (0.06/100 m²)
 TOTAL PROVIDED = 10

BUILDING INFORMATION:

BUILDING HEIGHT:
 INDOOR TRAINING FACILITY
 WORKSHOPS (HEATED) = 5.55 m
 COVERED TRUCK BAYS /
 STORAGE (UNHEATED) = 7.05 m
 = 19.30 m

LOCATION PLAN



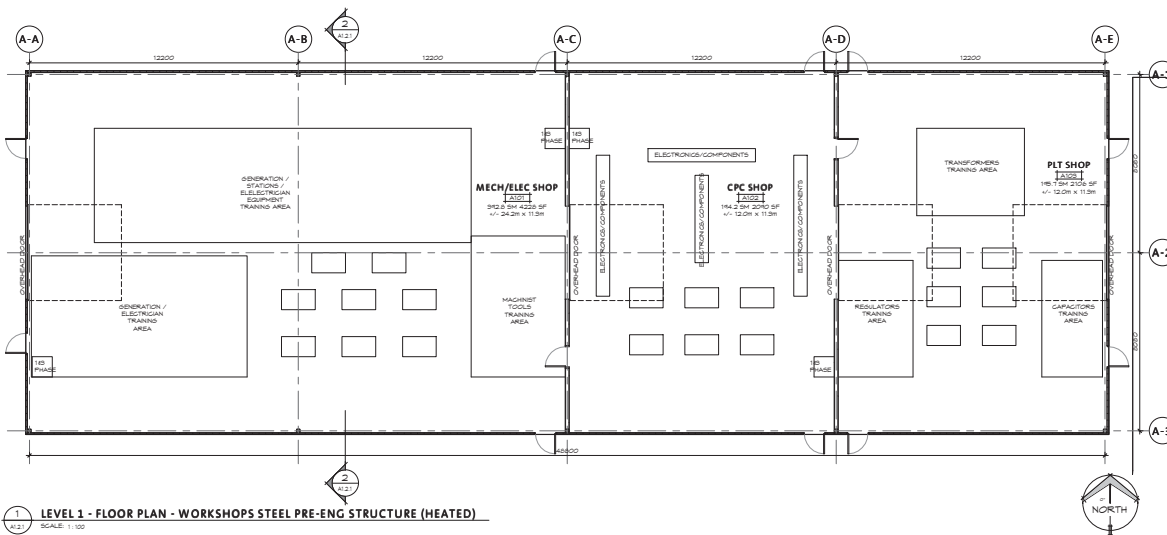
CONSULTANT

| ISSUED | Date | Remarks |
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| NOV 2012 | | REVISION FOR TENDER AND PERMIT |

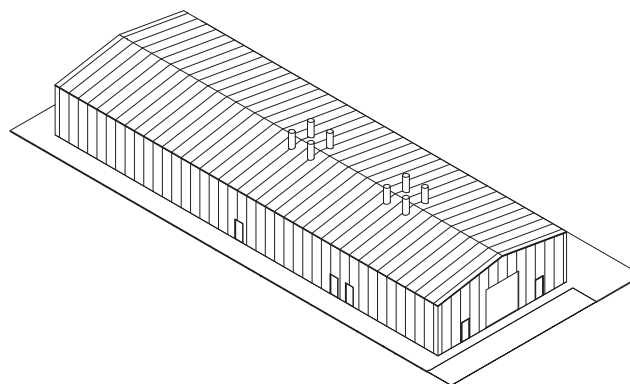
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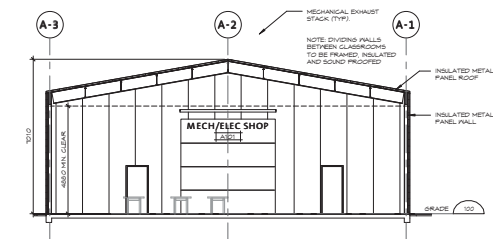
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 Designed: SP
 Checked: PY
 Project Number: 10 12 014



1 LEVEL 1 - FLOOR PLAN - WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
SCALE: 1:100



3 3D VIEW - WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
SCALE



2 BUILDING SECTION - WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
SCALE: 1:100

DRAWN BY: J. B. 2010/08/10 10:00 AM

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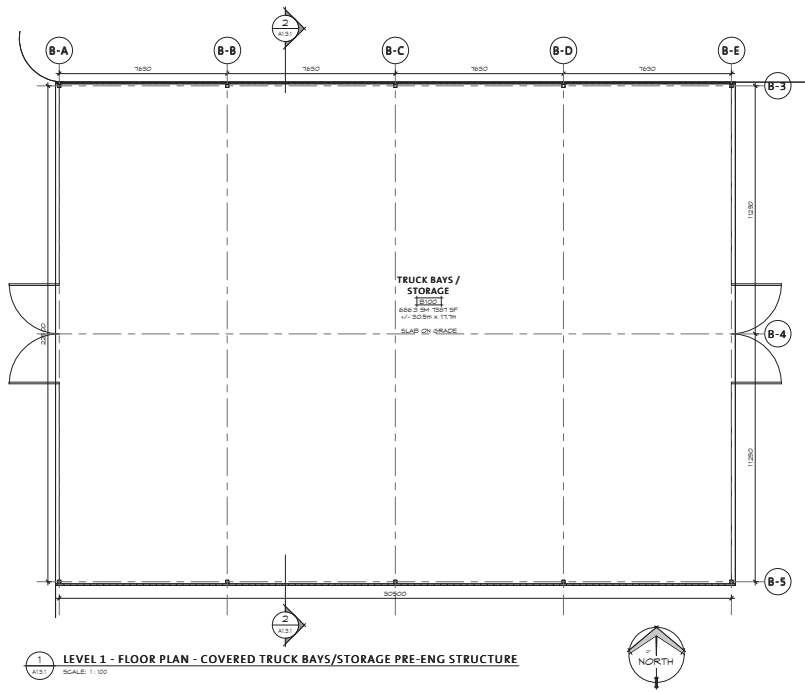
DESIGNED BY: J. B. 2010/08/10 10:00 AM
CHECKED BY: J. B. 2010/08/10 10:00 AM
PROJECT NUMBER: 10 12 014

WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED) - PLAN, SECTION & 3D VIEW

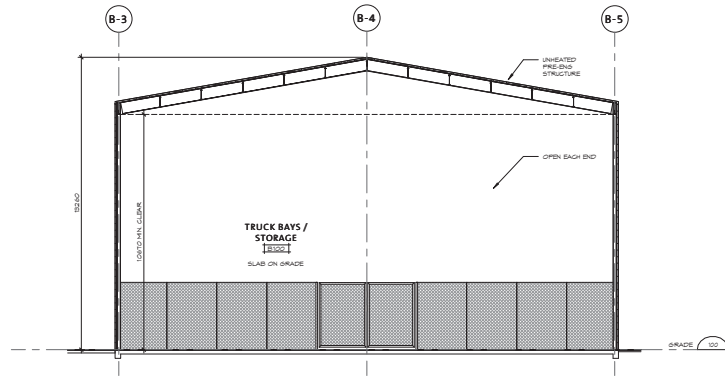
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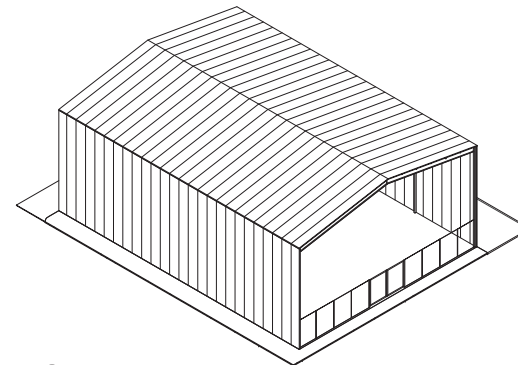
BC hydro
BC HYDRO SURREY
CAMPUS TTC
32582 84th AVENUE, SURREY, BC



1 LEVEL 1 - FLOOR PLAN - COVERED TRUCK BAYS/STORAGE PRE-ENG STRUCTURE
SCALE: 1:100



2 BUILDING SECTION - COVERED TRUCK BAYS/STORAGE PRE-ENG STRUCTURE
SCALE: 1:100



3 3D VIEW - COVERED TRUCK BAYS/STORAGE PRE-ENG STRUCTURE
SCALE

DRAWN BY: EB

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prepared in accordance with the applicable codes and standards. The Contractor shall be responsible for all discrepancies, omissions, and errors.

An acknowledgment of the design of this drawing is hereby made to the following individuals: Architect: EB, Designer: PY, Checker: PY, Project Manager: PY, Client: BC Hydro.

CONSULTANT

| ISSUED | Date | Revised |
|--------|----------|------------------------------|
| 100 | 10/12/14 | ISSUED FOR TENDER (2E FLOOR) |

| REVISIONS | Date |
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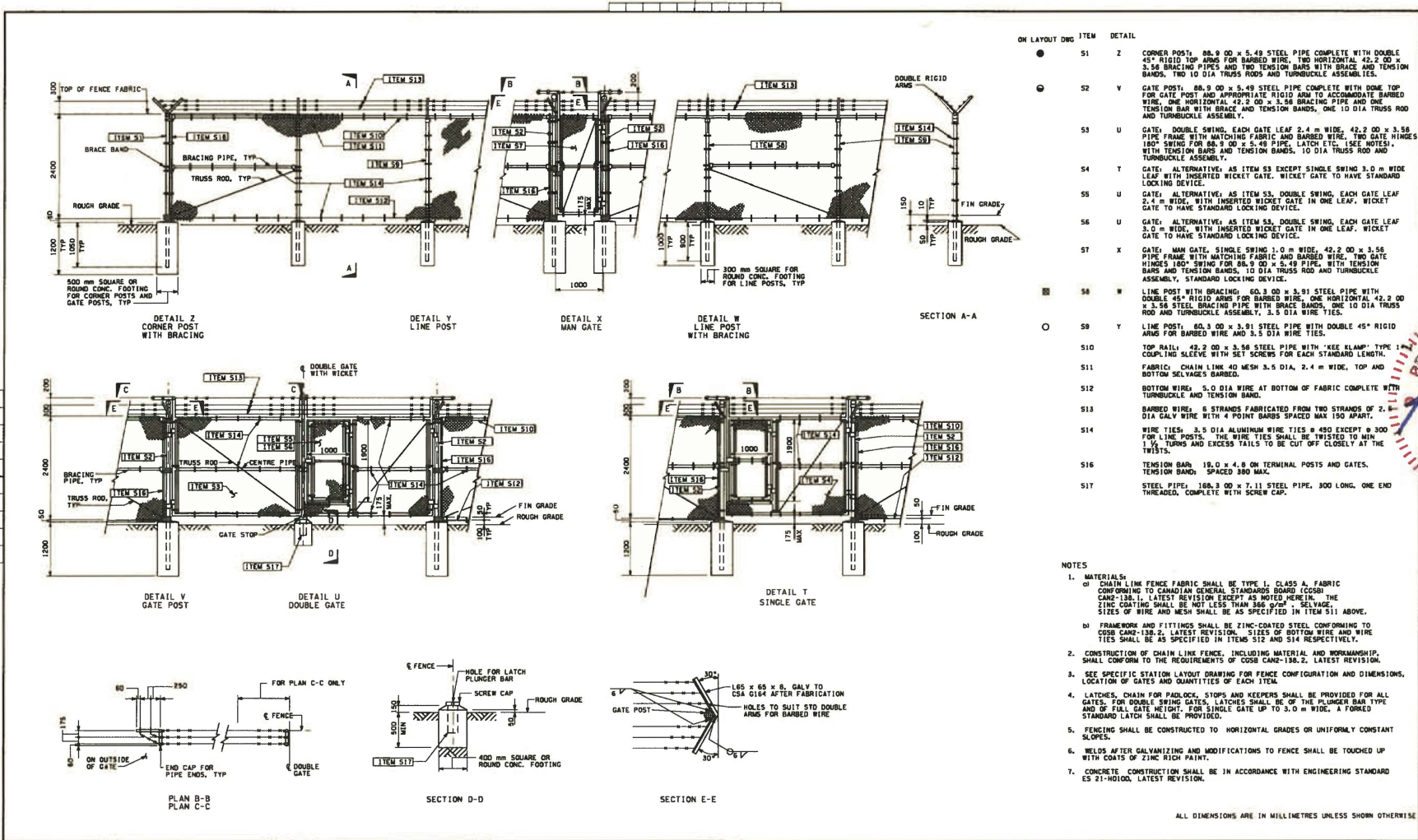
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| Checked: | PY | Checked: | PY |
| Project Number: | 10 12 014 | | |

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REVISIONS

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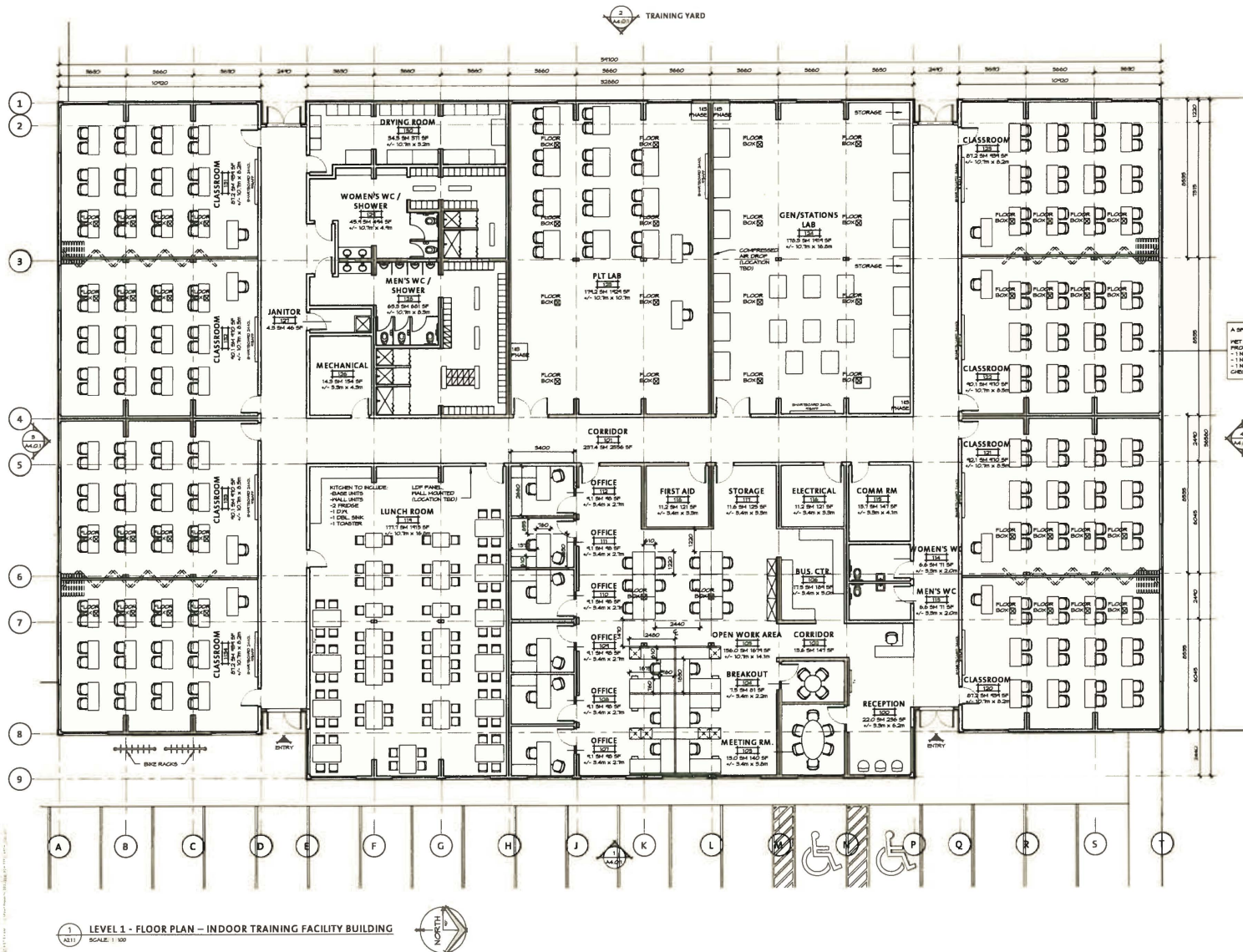


| ITEM | DETAIL |
|------|--|
| 51 | Z CORNER POST, 88.9 OD x 5.49 STEEL PIPE COMPLETE WITH DOUBLE 45° RIGID TOP ARMS FOR BARBED WIRE, TWO HORIZONTAL 42.2 OD x 3.56 BRACING PIPES AND TWO TENSION BARS WITH BRACE AND TENSION BANDS, TWO 10 DIA TRUSS RODS AND TURNBUCKLE ASSEMBLY. |
| 52 | Y GATE POST, 88.9 OD x 5.49 STEEL PIPE COMPLETE WITH DOME TOP FOR GATE POST AND APPROPRIATE RIGID ARM TO ACCOMMODATE BARBED WIRE, ONE HORIZONTAL 42.2 OD x 3.56 BRACING PIPE AND ONE TENSION BAR WITH BRACE AND TENSION BANDS, ONE 10 DIA TRUSS ROD AND TURNBUCKLE ASSEMBLY. |
| 53 | U GATE, DOUBLE SWING, EACH GATE LEAF 2.4 m WIDE, 42.2 OD x 3.56 PIPE FRAME WITH MATCHING FABRIC AND BARBED WIRE, TWO GATE HINGES 180° SWING FOR 88.9 OD x 5.49 PIPE, LATCH ETC. (SEE NOTES), WITH TENSION BARS AND TENSION BANDS, 10 DIA TRUSS ROD AND TURNBUCKLE ASSEMBLY. |
| 54 | T GATE, ALTERNATIVE, AS ITEM 53 EXCEPT SINGLE SWING 3.0 m WIDE LEAF WITH INSERTED WICKET GATE. WICKET GATE TO HAVE STANDARD LOCKING DEVICE. |
| 55 | U GATE, ALTERNATIVE, AS ITEM 53, DOUBLE SWING, EACH GATE LEAF 2.4 m WIDE, WITH INSERTED WICKET GATE IN ONE LEAF. WICKET GATE TO HAVE STANDARD LOCKING DEVICE. |
| 56 | U GATE, ALTERNATIVE, AS ITEM 53, DOUBLE SWING, EACH GATE LEAF 3.0 m WIDE, WITH INSERTED WICKET GATE IN ONE LEAF. WICKET GATE TO HAVE STANDARD LOCKING DEVICE. |
| 57 | X GATE, MAN GATE, SINGLE SWING, 1.0 m WIDE, 42.2 OD x 3.56 PIPE FRAME WITH MATCHING FABRIC AND BARBED WIRE, TWO GATE HINGES 180° SWING FOR 88.9 OD x 5.49 PIPE, WITH TENSION BARS AND TENSION BANDS, 10 DIA TRUSS ROD AND TURNBUCKLE ASSEMBLY, STANDARD LOCKING DEVICE. |
| 58 | W LINE POST WITH BRACING, 60.3 OD x 3.91 STEEL PIPE WITH DOUBLE 45° RIGID ARMS FOR BARBED WIRE, ONE HORIZONTAL 42.2 OD x 3.56 STEEL BRACING PIPE WITH BRACE BANDS, ONE 10 DIA TRUSS ROD AND TURNBUCKLE ASSEMBLY, 5.0 DIA WIRE TIES. |
| 59 | Y LINE POST, 60.3 OD x 3.91 STEEL PIPE WITH DOUBLE 45° RIGID ARMS FOR BARBED WIRE AND 3.5 DIA WIRE TIES. |
| 510 | TOP RAIL, 42.2 OD x 3.56 STEEL PIPE WITH 'KEE KLAMP' TYPE COMPLING SLEEVES WITH SET SCREWS FOR EACH STANDARD LENGTH. |
| 511 | FABRIC, CHAIN LINK 40 MESH 3.5 DIA, 2.4 m WIDE, TOP AND BOTTOM SELVAGES BARBED. |
| 512 | BOTTOM WIRE, 5.0 DIA WIRE AT BOTTOM OF FABRIC COMPLETE WITH TURNBUCKLE AND TENSION BAND. |
| 513 | BARBED WIRE, 6 STRANDS FABRICATED FROM TWO STRANDS OF 2.0 DIA GALV WIRE WITH 4 POINT BARBS SPACED MAX 150 APART. |
| 514 | WIRE TIES, 3.5 DIA ALUMINUM WIRE TIES @ 450 EXCEPT @ 300 FOR LINE POSTS. THE WIRE TIES SHALL BE TWISTED TO MIN 1 1/2 TURNS AND EXCESS TAILS TO BE CUT OFF CLOSELY AT THE TWISTS. |
| 516 | TENSION BARS, 18.0 x 4.8 ON TERMINAL POSTS AND GATES. TENSION BAND, SPACES 800 MAX. |
| 517 | STEEL PIPE, 100.3 OD x 7.11 STEEL PIPE, 300 LONG, ONE END THREADED, COMPLETE WITH SCREW CAP. |

- NOTES
- MATERIALS:
 - OF CHAIN LINK FENCE FABRIC SHALL BE TYPE 1, CLASS A, FABRIC CONFORMING TO CANADIAN GENERAL STANDARD BOARD (CGSB) CAN-138.1, LATEST REVISION EXCEPT AS NOTED HEREIN. THE ZINC COATING SHALL BE NOT LESS THAN 800 g/m². SELVAGE SIZES OF WIRE AND MESH SHALL BE AS SPECIFIED IN ITEM 511 ABOVE.
 - FRAMEWORK AND FITTINGS SHALL BE ZINC-COATED STEEL CONFORMING TO CGSB CAN-130.2, LATEST REVISION. SIZES OF BOTTOM WIRE AND WIRE TIES SHALL BE AS SPECIFIED IN ITEM 512 AND 514 RESPECTIVELY.
 - CONSTRUCTION OF CHAIN LINK FENCE, INCLUDING MATERIAL AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF CGSB CAN-130.2, LATEST REVISION.
 - SEE SPECIFIC STATION LAYOUT DRAWING FOR FENCE CONFIGURATION AND DIMENSIONS. LOCATION OF GATES AND QUANTITIES OF EACH ITEM.
 - LATCHES, CHAIN FOR PADLOCKS, STOPS AND KEEPERS SHALL BE PROVIDED FOR ALL GATES. FOR DOUBLE SWING GATES, LATCHES SHALL BE OF THE PLUNGER BAR TYPE AND OF FULL GATE HEIGHT. FOR SINGLE GATE UP TO 3.0 m WIDE, A FORKED STANDARD LATCH SHALL BE PROVIDED.
 - FENCING SHALL BE CONSTRUCTED TO HORIZONTAL GRADES OR UNIFORMLY CONSTANT SLOPES.
 - WELDS AFTER GALVANIZING AND MODIFICATIONS TO FENCE SHALL BE TOUCHED UP WITH COATS OF ZINC RICH PAINT.
 - CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ENGINEERING STANDARD ES 21-10100, LATEST REVISION.

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE

| NO. | DATE | BY | CHKD | APPD | REVISIONS | DATE | BY | CHKD | APPD | REVISIONS |
|-----|------|----|------|------|-----------|------|----|------|------|-----------|
| | | | | | | | | | | |
| | | | | | | | | | | |



1 LEVEL 1 - FLOOR PLAN - INDOOR TRAINING FACILITY BUILDING
SCALE: 1/100

CONSULTANT

ISSUED
Date: _____
Rev: _____
Rev: _____

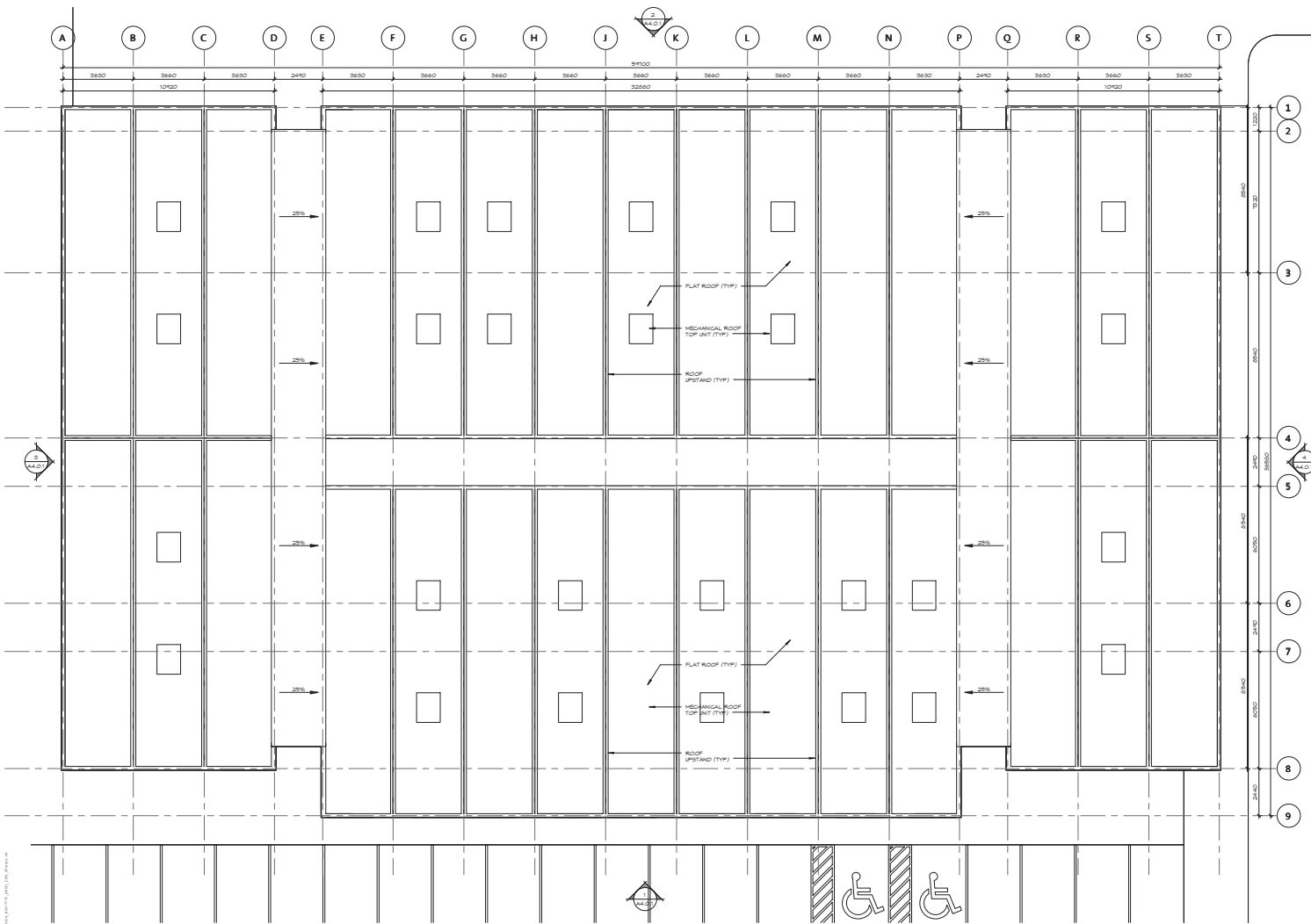
REVISIONS
Date: _____



4/05/12

A SPRINKLER SYSTEM SHALL BE PROVIDED FOR THIS BUILDING AS FOLLOWS:
NET SPRINKLER SYSTEM PER NFPA 13. SHALL INCLUDE ALL LABOR & MATERIALS.
PROTECT ALL PLUMBING & ELECTRICAL SPACES INCLUDING:
- 1 NO. BACKFLOW PREVENTION, 1/4" TANDER SWITCHES
- 1 NO. FRET FIRE SYSTEM WITH FLOOR SWITCH
- 1 NO. FIRE DEPARTMENT CONNECTION WITH 2 NO. 2 1/2" CONNECTIONS AND 1 1/2" GLOBE VALVE

Drawn: EB
Designed: SP
Checked: py
Checked: _____
Project Number: 10 12 014



1 ROOF PLAN - INDOOR TRAINING FACILITY BUILDING
SCALE: 1:100



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ROOF PLAN - INDOOR TRAINING FACILITY BUILDING

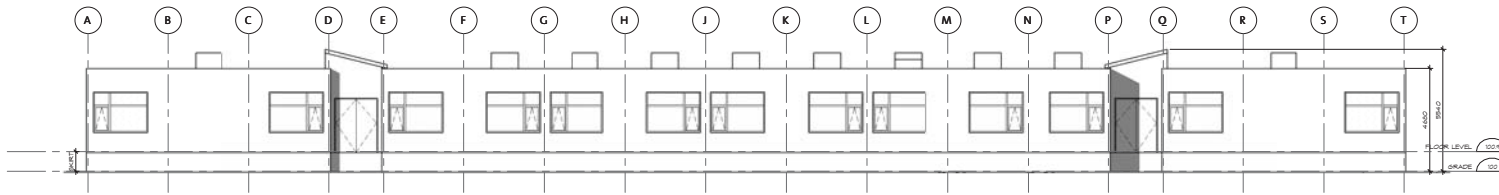
CONSULTANT

ISSUED
Date: _____
Rev: 2.1.0 (ISSUE FOR TENDER/USE ONLY)

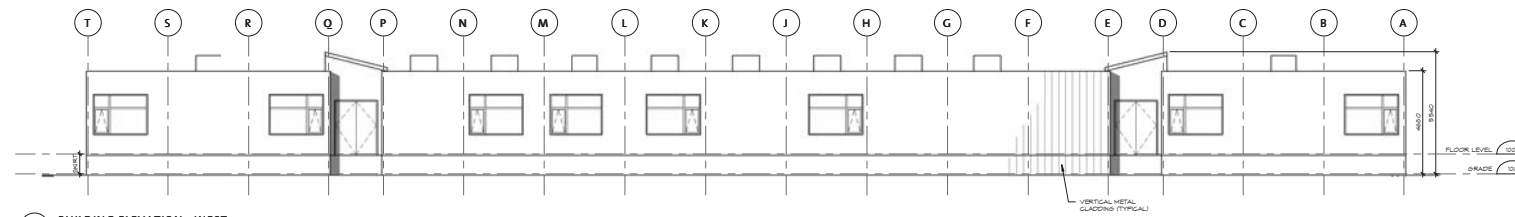
REVISIONS
A Date: _____

Drawn: EB Design: SP
Checked: PY

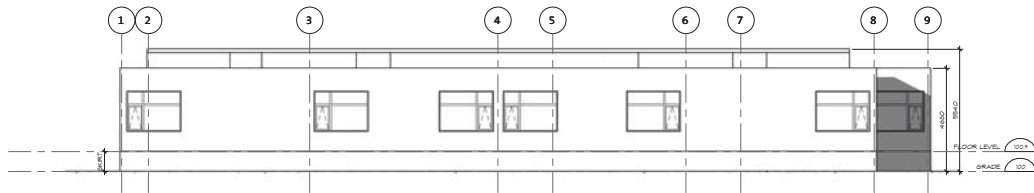
Project Number: 10 12 014



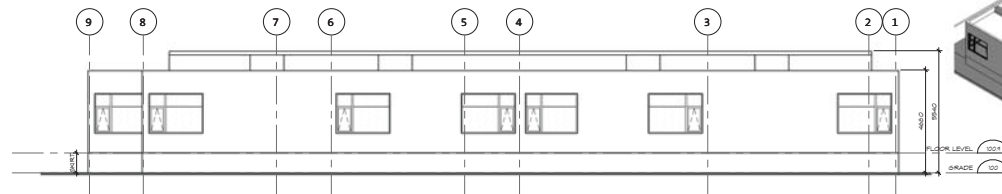
1 BUILDING ELEVATION - EAST
SCALE: 1:100



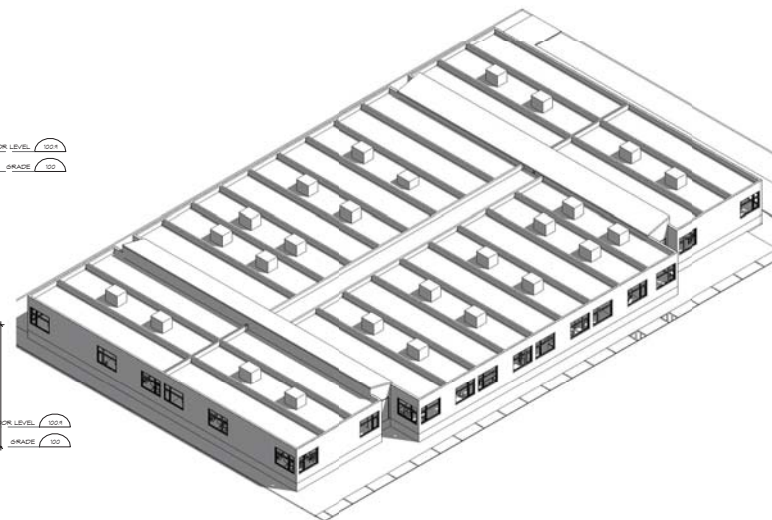
2 BUILDING ELEVATION - WEST
SCALE: 1:100



3 BUILDING ELEVATION - SOUTH
SCALE: 1:100



4 BUILDING ELEVATION - NORTH
SCALE: 1:100



5 3D VIEW - INDOOR TRAINING FACILITY BUILDING
SCALE

PROJECT NO. 10-12-014
 CONSULTANT: BC HYDRO

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permitted to execute the work. Discrepancies and variations shall be reported to the Consultant in writing immediately upon discovery. In all cases, the latest issue of the drawing shall prevail. The Consultant shall not be responsible for all discrepancies, omissions and variations.

All work shall conform to the latest edition of local building codes and standards. The Consultant shall not be responsible for all discrepancies, omissions and variations.

Drawing shall conform to the latest edition of local building codes and standards. The Consultant shall not be responsible for all discrepancies, omissions and variations.

CONSULTANT

| ISSUED | DATE | REVISIONS |
|-----------|-----------|-------------------------------|
| 10-12-014 | 10-12-014 | ISSUED FOR TEMPORARY USE ONLY |

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

| | | | |
|-----------------|-----------|-----------|----|
| Drawn: | EB | Designed: | SP |
| Checked: | PY | Checked: | PY |
| Project Number: | 10 12 014 | | |

INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: May 16, 2012 **PROJECT FILE: 7812-0085-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 12582 84 Ave**

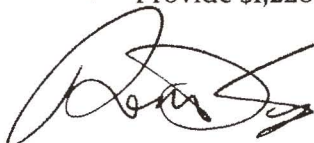
OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

TEMPORARY USE PERMIT

The following issues are to be addressed as a condition of issuance of the Temporary Use Permit:

- Provide a copy of the TUP language concerning the removal or relocation of the temporary building locations should 84 Avenue require construction within the TUP time frame.
- Provide security for the removal of the temporary buildings.
- Provide an access easement to the proposed development through lot 57.
- Provide DFO approval to cross a Yellow Coded Creek located on site.
- Provide a separate water service connection.
- Provide fire protection as approved by Fire Department.
- Provide a sanitary service connection at 82 Avenue. The applicant is advised that the sanitary main on 82 Avenue is to be video inspected before and after the temporary connection is installed. A security will be required for the removal of the connection.
- Provide a private easement through lot 57 for sanitary/water/storm.
- Provide a storm connection. The applicant is advised on-site infiltration is acceptable if a storm connection cannot be achieved.
- Provide \$1,220.80 for processing of legal documents.



Rémi Dubé, P.Eng.
Development Services Manager

LR

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend the provisions of Surrey Official Community Plan By-law, 1996, No. 12900, as amended

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Official Community Plan By-law 1996, No. 12900, as amended, is hereby further amended as follows:

Division A, Schedule B Temporary Use Permit Areas, under the heading Temporary Industrial Use Permit Areas, by adding the following section immediately following Temporary Industrial Use Permit No. ____:

Temporary Industrial Use Permit Area No. ____

Temporary B.C. Hydro High-Voltage Training Facility

Purpose: To permit a high-voltage training facility on the B.C. Hydro Surrey Campus.

Location: Parcel Identifier: 019-150-768
Lot B Section 30 Township 2 New Westminster District Plan LMP21515
12582 – 84 Avenue

- Conditions:
- (a) A security deposit is held by the City of Surrey to ensure the removal of any buildings and structures; and
 - (b) The subject property is to be used in accordance with the provisions of the Temporary Use Permit.

Expiration: The Temporary Industrial Use Permit will remain in effect until the date specified in the Temporary Industrial Use Permit.

2. This By-law shall be cited for all purposes as "Surrey Official Community Plan By-law, 1996, No. 12900, Text No. _____ Amendment By-law, 2012, No. _____."

PASSED FIRST AND SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

\\file-server1\net-data\csrc\generate\areaproduct\save\14739185094.doc
. 5/23/12 11:48 AM

CITY OF SURREY

(the "City")

TEMPORARY INDUSTRIAL USE PERMIT

NO.: 7912-0085-00

Issued To: BRITISH COLUMBIA HYDRO AND POWER AUTHORITY
("the Owner")

Address of Owner: 333 Dunsmuir Street, 9th Floor
Vancouver, B.C. V6B 5R3

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 019-150-768
Lot B Section 30 Township 2 New Westminster District Plan LMP21515

12582 – 84 Avenue

(the "Land")

3. The Land has been designated as a Temporary Industrial Use Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
4. The temporary use permitted on the Land shall be:
 - A high-voltage training facility located is permitted for a period not to exceed three years.
5. The temporary use shall be carried out according to the following conditions:
 - (a) Temporary structures including classroom facilities, technical workshops, covered storage and truck bays as well as grass training fields are permitted in accordance with the siting shown on the attached Schedule A, which is attached hereto and forms part of the permit.
 - (b) All temporary structures must satisfy B.C. Building Code requirements.
 - (c) A Building Permit is required for temporary structures installed on the Land.

- (d) The owner covenants and agrees to remove the temporary structures and grass training yards, as shown on the attached Schedule A, within 90 days of a written request to do so from the City in the event the City, acting in its sole discretion, determines that completion of 84 Avenue across the Land is required within the term of this Permit and said temporary structures and grass training yards interfere with the City's plans to complete 84 Avenue.
- (e) Upon the termination of this temporary use permit, the high-voltage training facility shall be removed and the land restored to its previous condition prior to issuance of the Temporary Use Permit.

- 6. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). In the event there is a shortfall, the Owner agrees to pay the City the balance owing within 30 days of the City's written request. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

An Irrevocable Letter of Credit, in a form acceptable to the City or cash in the amount of \$400,000.00.

- 7. The Owner hereby releases, indemnifies and saves harmless the City, its elected and appointed officials, employees and agents from and against any and all liability, actions, causes of actions, claims, damages, expenses, costs, debts, demands or losses suffered or incurred by the City arising from the granting of this agreement, from the performance by the Owner of this agreement or any default of the Owner under or in respect of this agreement. In particular, the Owner agrees to indemnify and save harmless the City from any actions the City may have to take to enforce its rights under this Permit including anything the Owner does to prevent construction of 84 Avenue.
- 8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
- 9. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
- 10. This temporary use permit is not transferable.

11. This temporary use permit shall lapse on or before three years from date of issuance

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

Name (Please Print)

OR

B Amer
Owner: Signature

BASHAR AMER
Name: (Please Print)

TO THE CITY OF SURREY:

I, Bashar Amer

being the owner of Lot B Section 30 Township 2 New Westminster District Plan LMP 21515

(Legal Description)

known as 12582 - 84 Avenue

(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to all terms and conditions of the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

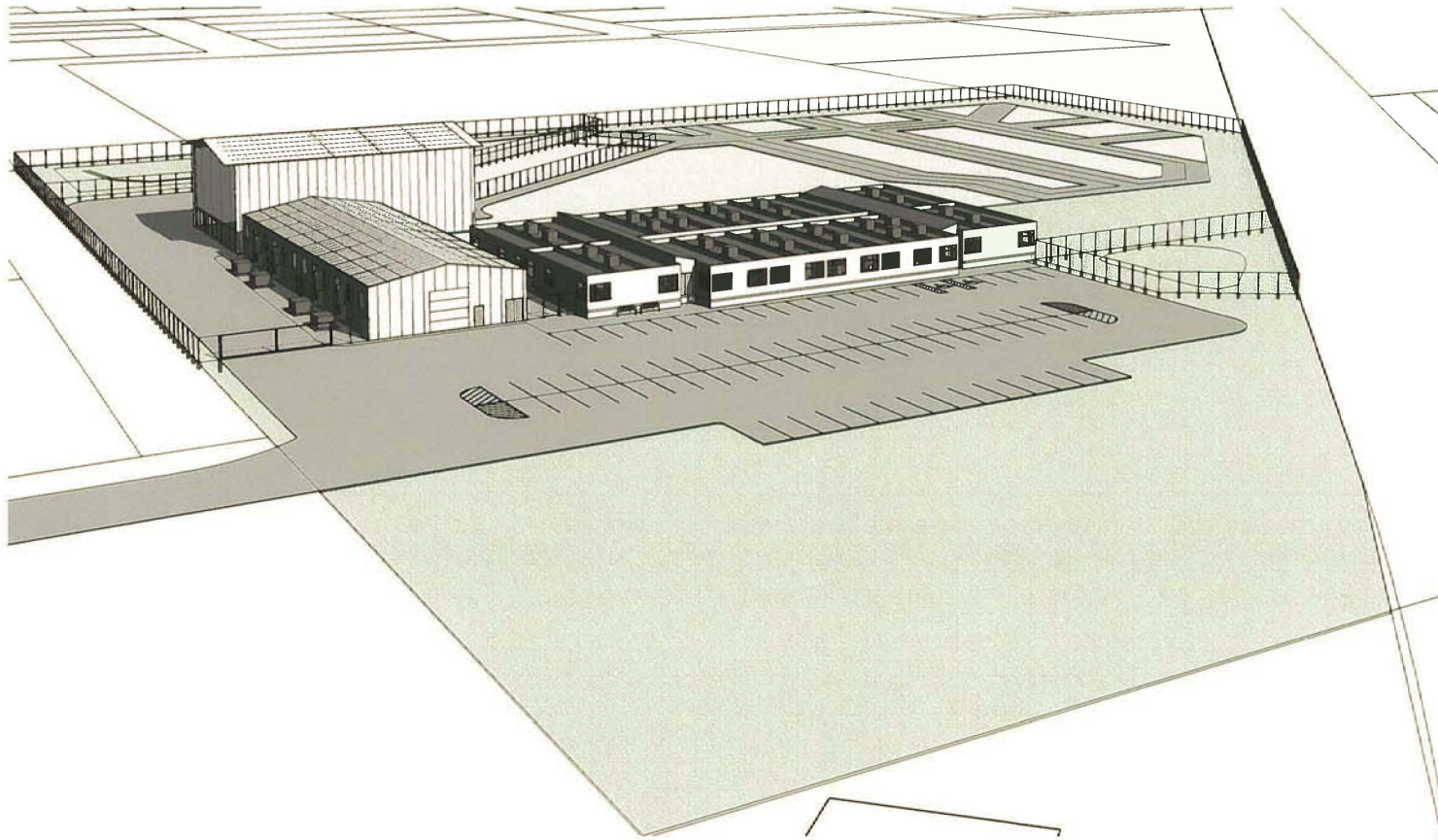
This undertaking is attached hereto and forms part of the temporary use permit.

B Amer
(Owner)

Mr. Jacobs
(Witness)

BC HYDRO SURREY CAMPUS TTC

12582 84th AVENUE, SURREY, BC



OMICRON
TOTAL • BUILDING • SOLUTIONS

2750 Hwy. 7 Three Bents Centre Telephone 1 877 432 3339
210 Burnside Street Phone 604 852 1200
PO Box 4926 Vancouver, BC Phone 604 271 2151
V7E 1A4 Canada www.omicronbc.com

CONSULTANT

ISSUED

| Date | Remarks |
|----------|-------------------------------------|
| May 2012 | ISSUED FOR TO-EXHIBIT USE REPORT |
| Nov 2012 | REVISION FOR THE EXHIBIT USE REPORT |

REVISIONS

| Date | Remarks |
|------|---------|
|------|---------|



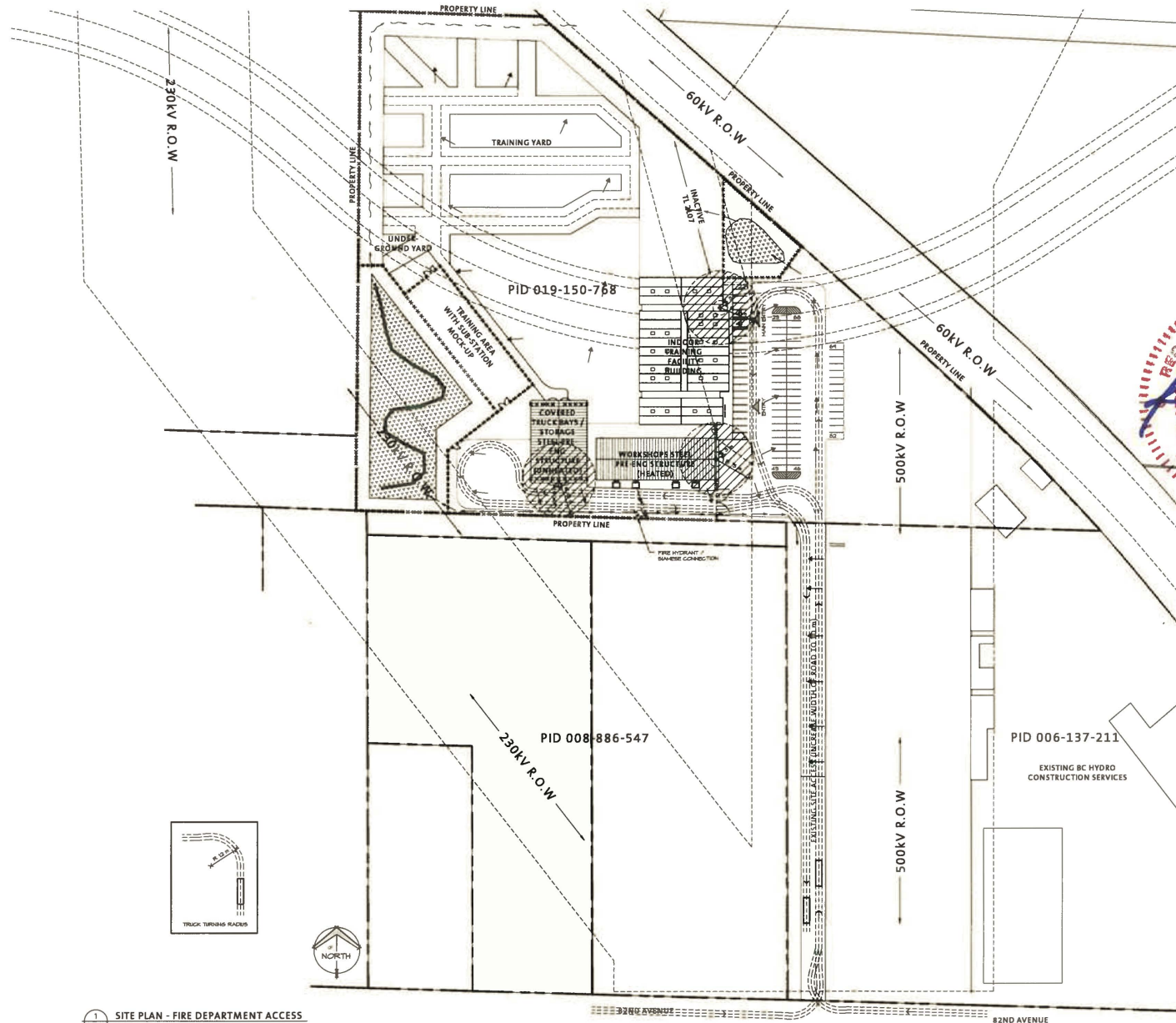
BChydro

BC HYDRO SURREY
CAMPUS TTC
12582 84th AVENUE, SURREY, BC

10 12 014

COVER SHEET

Schedule A



1 SITE PLAN - FIRE DEPARTMENT ACCESS
A0.1.4 SCALE: 1:750

OMICRON
TOTAL • BUILDING • SOLUTIONS
8888 Hwy 1, Truss Rental Centre | Toll Free: 1-877-312-3330
555 Burrard Street | Phone: 604-832-1300
850 Burrard Street | Phone: 604-832-1300
1775 St. Johns Street | Phone: 604-832-1300
V7E 1A4 CANADA | www.omicronbc.com

ISSUED

| DATE | REVISIONS |
|----------|---------------------------------|
| 14/05/12 | PROJ FOR 10-10-12 USE PERMIT |
| 14/05/12 | REVISED FOR 10-10-12 USE PERMIT |



BC hydro
BC HYDRO SURREY
CAMPUS TTC
12582, 84TH AVENUE, SURREY, BC

Drawn: EB
Checked: py
Designed: SP
Checked: [blank]
Project Number: 10 12 014

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SITE PLAN - FIRE DEPARTMENT ACCESS

A0.1.4

SYMBOL LEGEND - SITE PLAN:

| | |
|--|--|
| | |
| | |
| | |

KEYNOTE LEGEND - SITE PLAN:

| | |
|--|--|
| | |
| | |
| | |
| | |

PROJECT DATA

PROJECT NAME / ADDRESS:
 BC HYDRO SURREY CAMPUS TTC
 (TECHNICAL TRADES TRAINING CENTER)
 12582 84TH AVENUE, SURREY, BC

SITE AREA:
 91,512 m²

SITE DIMENSIONS:
 250.6 m x 203.1 m x 79.8 m x 208.1 m
 x 208.9 m x 91.8 m

APPLICABLE CODES:
 CITY OF SURREY ZONING BYLAW
 BRITISH COLUMBIA BUILDING CODE, 2006
 NFPA FIRE CODE 2010

AUTHORITY HAVING JURISDICTION:
 CITY OF SURREY

LEGAL DESCRIPTION:
 M5 LINK B-402B, LOT B, RBM PLAN N, IN
 PLAN LHM21915, PID 014-150-768

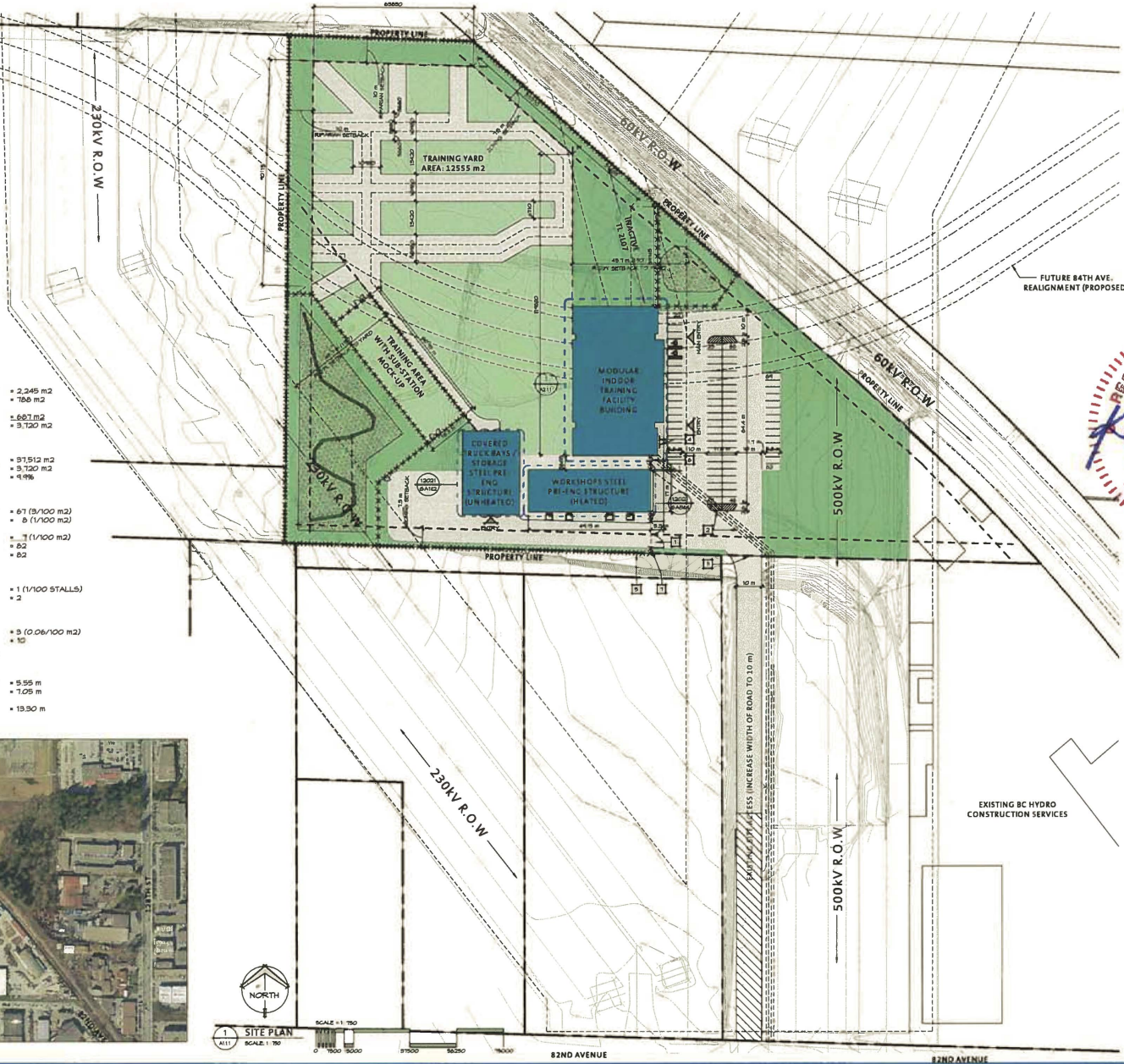
ZONING INFORMATION:
 IH HEAVY INDUSTRIAL

SETBACKS
 7.5 METERS

SITE INFORMATION:

- BUILDING AREAS:**
- INDOOR TRAINING FACILITY = 2,245 m²
 - WORKSHOPS (HEATED) = 700 m²
 - COVERED TRUCK BAYS / STORAGE (UNHEATED) = 6,687 m²
 - TOTAL = 9,720 m²
- FSE / SITE COVERAGE:**
- SITE AREA = 91,512 m²
 - BUILDING AREA FOOTPRINT SITE COVERAGE = 4.9%
- PARKING REQUIREMENTS:**
- INDOOR TRAINING FACILITY = 67 (1/100 m²)
 - WORKSHOPS (HEATED) = 8 (1/100 m²)
 - COVERED TRUCK BAYS / STORAGE (UNHEATED) = 3 (1/100 m²)
 - TOTAL REQUIRED = 82
 - TOTAL PROVIDED = 82
- ACCESSIBLE PARKING:**
- TOTAL REQUIRED = 1 (1/100 STALLS)
 - TOTAL PROVIDED = 2
- BICYCLE PARKING:**
- TOTAL REQUIRED = 5 (0.06/100 m²)
 - TOTAL PROVIDED = 10
- BUILDING INFORMATION:**
- BUILDING HEIGHT:**
- INDOOR TRAINING FACILITY = 5.95 m
 - WORKSHOPS (HEATED) = 7.05 m
 - COVERED TRUCK BAYS / STORAGE (UNHEATED) = 19.30 m

LOCATION PLAN



OMICRON

TOTAL + BUILDING + SOLUTIONS
 5750 Hwy 7, Suite 200, Richmond, BC
 604-273-1234
 1000-1030
 1000-1030
 1000-1030

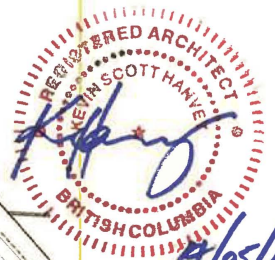
CONSULTANT

ISSUED

| Date | Remarks |
|------------|-------------------------------|
| 2012.05.15 | ISSUED FOR PERMIT AND REPORT |
| 2012.05.15 | REVISED FOR PERMIT AND REPORT |

REVISIONS

Date



A/05/12

BC hydro
 BC HYDRO SURREY
 CAMPUS TTC
 12582 84TH AVENUE, SURREY, BC

| | | | |
|----------|----|-----------|----|
| Drawn: | EB | Designed: | SP |
| Checked: | py | Checked: | |

Project Number: 10 12 014

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SITE PLAN

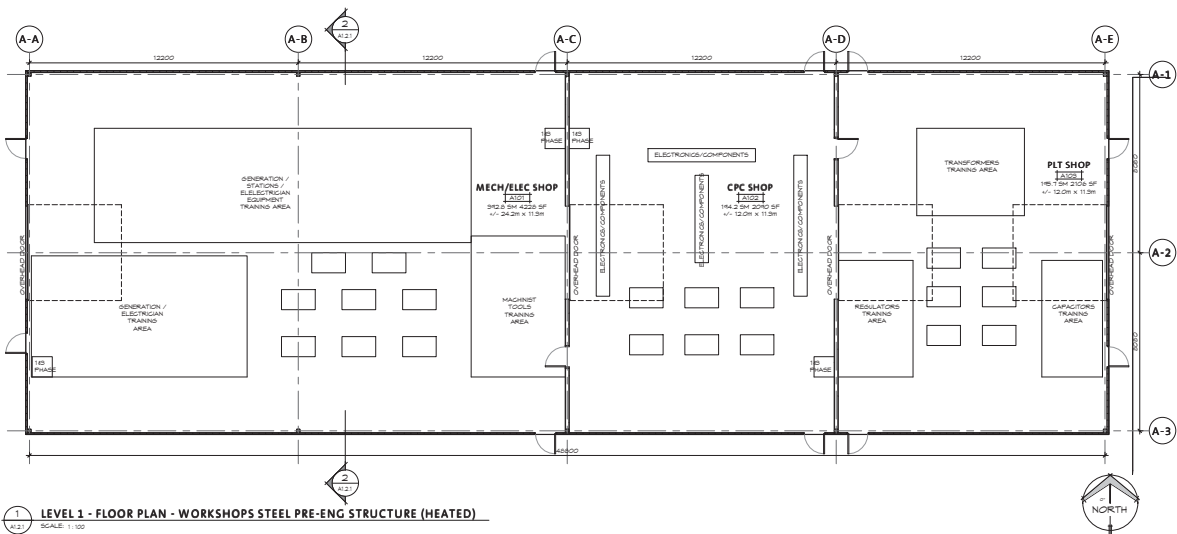
A1.1.1

CONSULTANT

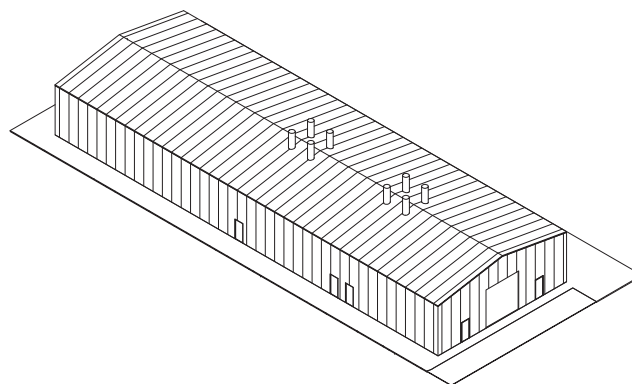
ISSUED
Date: _____
Rev: 2/10 ISSUED FOR TENDER (2014) BY: _____

REVISIONS

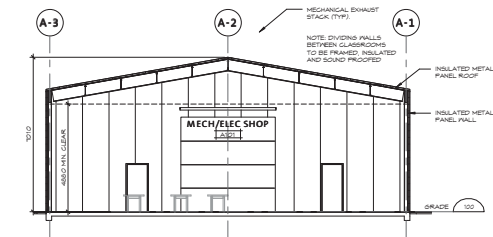
▲ Date



1 LEVEL 1 - FLOOR PLAN - WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
SCALE: 1:100



3 3D VIEW - WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
SCALE



2 BUILDING SECTION - WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
SCALE: 1:100

DRAWN BY: J. W. W. CHECKED BY: J. W. W. DATE: 10/12/14

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DESIGNED BY: J. W. W. CHECKED BY: J. W. W. DATE: 10/12/14

PROJECT NO: 1012014
PROJECT NAME: WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
PROJECT ADDRESS: 32582 84th Avenue, Surrey, BC
PROJECT CLIENT: BC Hydro
PROJECT PHASE: CONSTRUCTION

PROJECT NO: 1012014
PROJECT NAME: WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
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PROJECT PHASE: CONSTRUCTION

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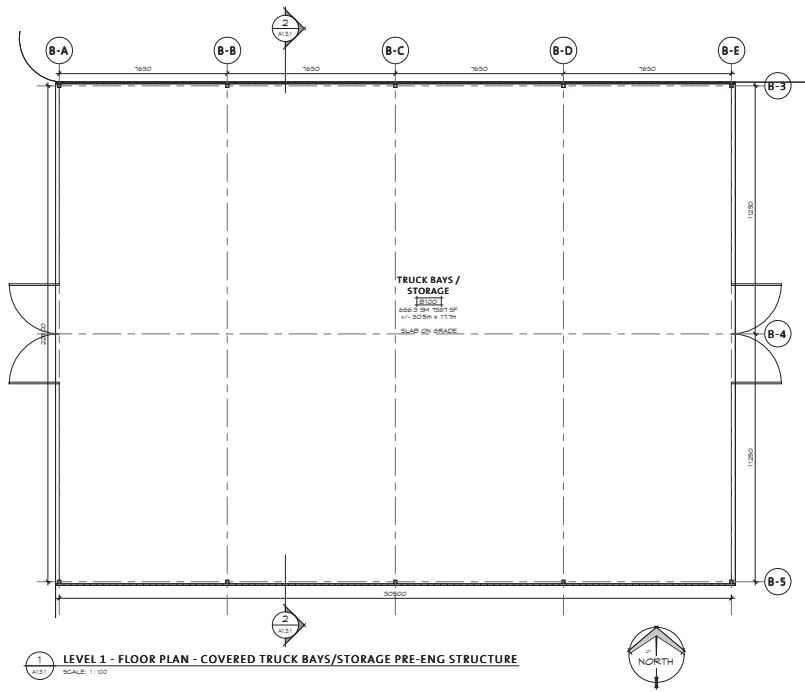
PROJECT NO: 1012014
PROJECT NAME: WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED)
PROJECT ADDRESS: 32582 84th Avenue, Surrey, BC
PROJECT CLIENT: BC Hydro
PROJECT PHASE: CONSTRUCTION

Drawn: EB Designed: SP
Checked: PY Checked: PY
Project Number: 10 12 014

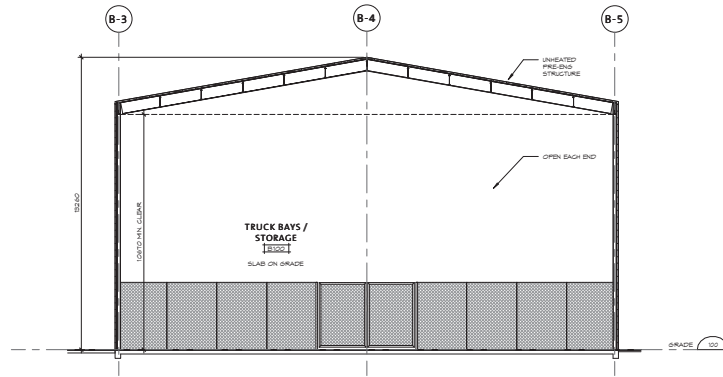
A1.2.1

WORKSHOPS STEEL PRE-ENG STRUCTURE (HEATED) - PLAN, SECTION & 3D VIEW

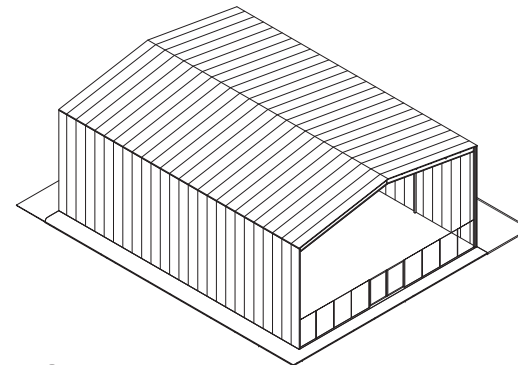
BC hydro
BC HYDRO SURREY
CAMPUS TTC
32582 84th Avenue, Surrey, BC



1 LEVEL 1 - FLOOR PLAN - COVERED TRUCK BAYS/STORAGE PRE-ENG STRUCTURE
SCALE: 1:100



2 BUILDING SECTION - COVERED TRUCK BAYS/STORAGE PRE-ENG STRUCTURE
SCALE: 1:100



3 3D VIEW - COVERED TRUCK BAYS/STORAGE PRE-ENG STRUCTURE
SCALE

DRAWN BY: EB

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Drawings are prepared in accordance with the British Columbia Building Code and the National Building Code of Canada. The drawings shall be used in accordance with the Building Code of Canada and the National Building Code of Canada. The Contractor shall verify all dimensions and details on site and be responsible for all discrepancies, omissions and variations.

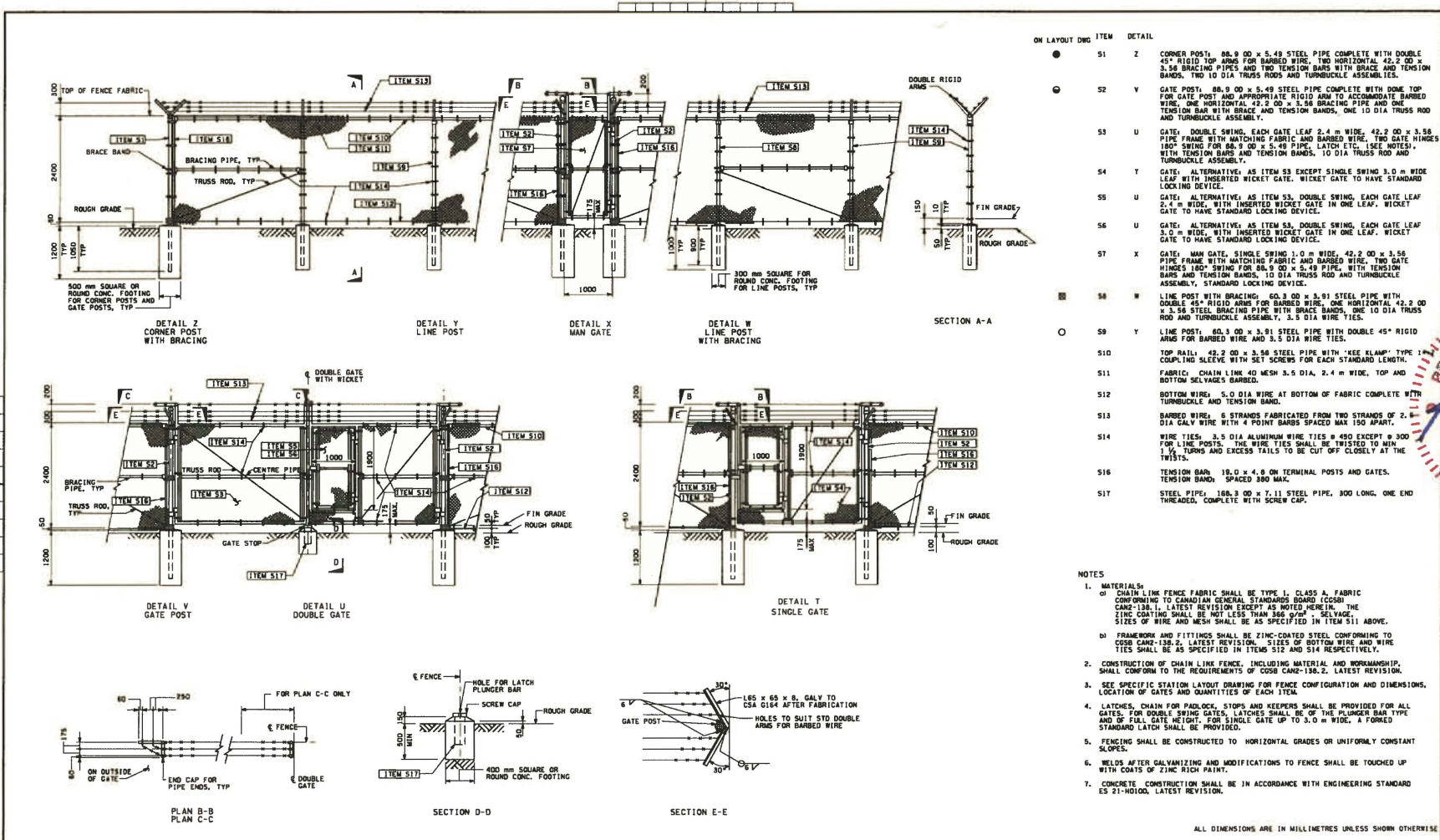
Drawings are prepared in accordance with the British Columbia Building Code and the National Building Code of Canada. The drawings shall be used in accordance with the Building Code of Canada and the National Building Code of Canada. The Contractor shall verify all dimensions and details on site and be responsible for all discrepancies, omissions and variations.

CONSULTANT

| ISSUED | Date | Revised |
|--------|----------|------------------------------|
| 100 | 10/12/14 | ISSUED FOR TENDER (2E FLOOR) |

| REVISIONS | Date |
|-----------|------|
| 1 | |

| | | | |
|-----------------|-----------|-----------|----|
| Drawn: | EB | Designed: | SP |
| Checked: | PY | Checked: | PY |
| Project Number: | 10 12 014 | | |



| ITEM | DETAIL |
|------|--|
| 51 | Z CORNER POST, 88.9 OD x 5.49 STEEL PIPE COMPLETE WITH DOUBLE 45° RIGID TOP ARMS FOR BARBED WIRE, TWO HORIZONTAL 42.2 OD x 3.56 BRACING PIPES AND TWO TENSION BARS WITH BRACE AND TENSION BANDS, TWO 10 DIA TRUSS RODS AND TURNBUCKLE ASSEMBLY. |
| 52 | Y GATE POST, 88.9 OD x 5.49 STEEL PIPE COMPLETE WITH DOME TOP FOR GATE POST AND APPROPRIATE RIGID ARM TO ACCOMMODATE BARBED WIRE, ONE HORIZONTAL 42.2 OD x 3.56 BRACING PIPE AND ONE TENSION BAR WITH BRACE AND TENSION BANDS, ONE 10 DIA TRUSS ROD AND TURNBUCKLE ASSEMBLY. |
| 53 | U GATE, DOUBLE SWING, EACH GATE LEAF 2.4 m WIDE, 42.2 OD x 3.56 PIPE FRAME WITH MATCHING FABRIC AND BARBED WIRE, TWO GATE HINGES 180° SWING FOR 88.9 OD x 5.49 PIPE, LATCH ETC. (SEE NOTES), WITH TENSION BARS AND TENSION BANDS, 10 DIA TRUSS ROD AND TURNBUCKLE ASSEMBLY. |
| 54 | T GATE, ALTERNATIVE, AS ITEM 53 EXCEPT SINGLE SWING 3.0 m WIDE LEAF WITH INSERTED WICKET GATE. WICKET GATE TO HAVE STANDARD LOCKING DEVICE. |
| 55 | U GATE, ALTERNATIVE, AS ITEM 53, DOUBLE SWING, EACH GATE LEAF 2.4 m WIDE, WITH INSERTED WICKET GATE IN ONE LEAF. WICKET GATE TO HAVE STANDARD LOCKING DEVICE. |
| 56 | U GATE, ALTERNATIVE, AS ITEM 53, DOUBLE SWING, EACH GATE LEAF 3.0 m WIDE, WITH INSERTED WICKET GATE IN ONE LEAF. WICKET GATE TO HAVE STANDARD LOCKING DEVICE. |
| 57 | X GATE, MAN GATE, SINGLE SWING, 1.0 m WIDE, 42.2 OD x 3.56 PIPE FRAME WITH MATCHING FABRIC AND BARBED WIRE, TWO GATE HINGES 180° SWING FOR 88.9 OD x 5.49 PIPE, WITH TENSION BARS AND TENSION BANDS, 10 DIA TRUSS ROD AND TURNBUCKLE ASSEMBLY, STANDARD LOCKING DEVICE. |
| 58 | W LINE POST WITH BRACING, 60.3 OD x 3.91 STEEL PIPE WITH DOUBLE 45° RIGID ARMS FOR BARBED WIRE, ONE HORIZONTAL 42.2 OD x 3.56 STEEL BRACING PIPE WITH BRACE BANDS, ONE 10 DIA TRUSS ROD AND TURNBUCKLE ASSEMBLY, 5.0 DIA WIRE TIES. |
| 59 | Y LINE POST, 60.3 OD x 3.91 STEEL PIPE WITH DOUBLE 45° RIGID ARMS FOR BARBED WIRE AND 3.5 DIA WIRE TIES. |
| 510 | TOP RAIL, 42.2 OD x 3.56 STEEL PIPE WITH 'KEE KLAMP' TYPE COMPLING SLEEVES WITH SET SCREWS FOR EACH STANDARD LENGTH. |
| 511 | FABRIC, CHAIN LINK 40 MESH 3.5 DIA, 2.4 m WIDE, TOP AND BOTTOM SELVAGES BARBED. |
| 512 | BOTTOM WIRE, 5.0 DIA WIRE AT BOTTOM OF FABRIC COMPLETE WITH TURNBUCKLE AND TENSION BANDS. |
| 513 | BARBED WIRE, 6 STRANDS FABRICATED FROM TWO STRANDS OF 2.0 DIA GALV WIRE, WITH 4 POINT BARRIS SPACED MAX 150 APART. |
| 514 | WIRE TIES, 3.5 DIA ALUMINUM WIRE TIES @ 450 EXCEPT @ 300 FOR LINE POSTS. THE WIRE TIES SHALL BE TWISTED TO MIN 1 1/2 TURNS AND EXCESS TAILS TO BE CUT OFF CLOSELY AT THE TWISTS. |
| 516 | TENSION BAR, 18.0 x 4.8 ON TERMINAL POSTS AND GATES. TENSION BAND, SPACES 800 MAX. |
| 517 | STEEL PIPE, 100.3 OD x 7.11 STEEL PIPE, 300 LONG, ONE END THREADED, COMPLETE WITH SCREW CAP. |

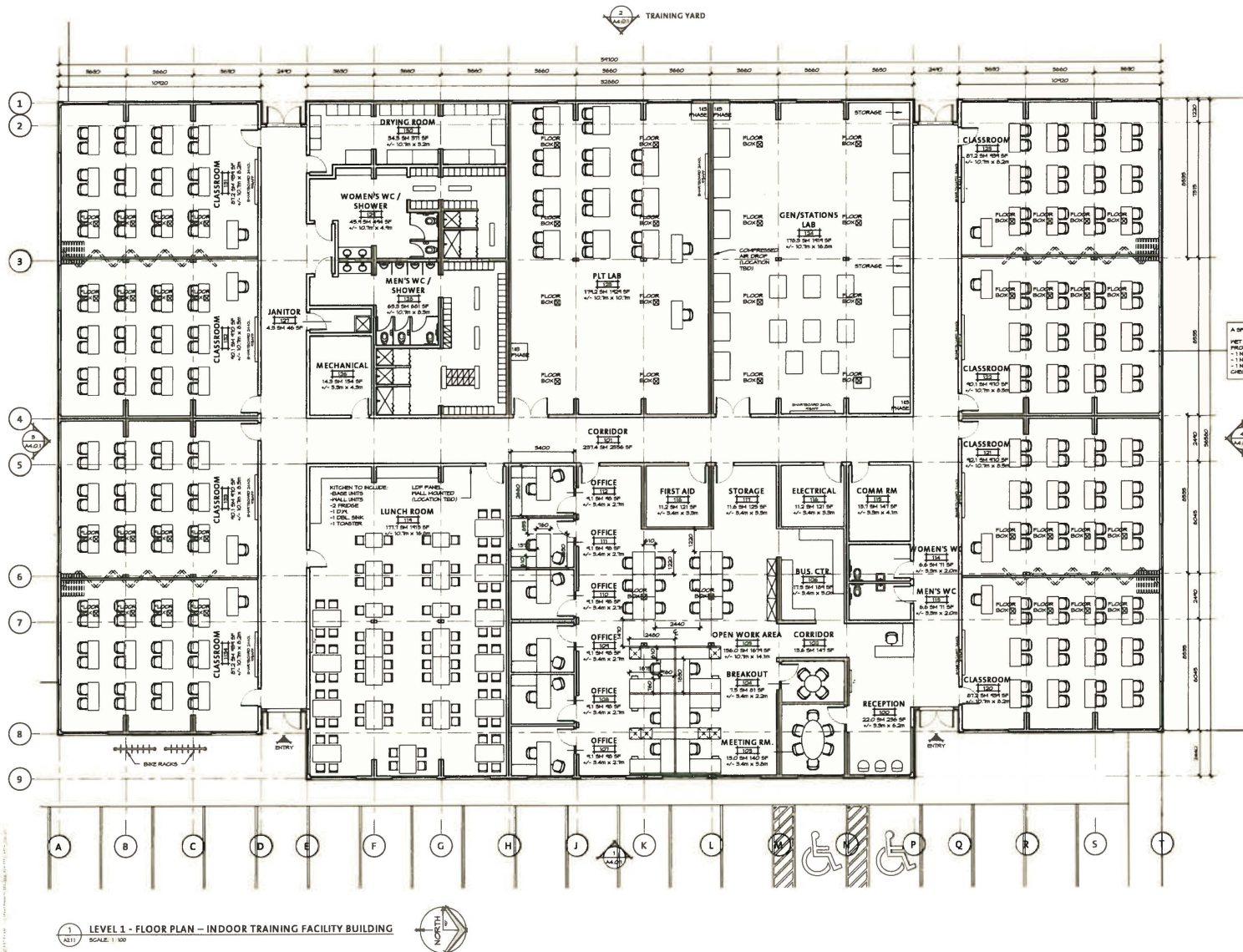
- NOTES
- MATERIALS:
 - a) CHAIN LINK FENCE FABRIC SHALL BE TYPE 1, CLASS A, FABRIC CONFORMING TO CANADIAN GENERAL STANDARD BOARD (CGSB) CAN-138.1, LATEST REVISION EXCEPT AS NOTED HEREIN. THE ZINC COATING SHALL BE NOT LESS THAN 800 g/m². SELVAGE SIZES OF WIRE AND MESH SHALL BE AS SPECIFIED IN ITEM 511 ABOVE.
 - b) FRAMEWORK AND FITTINGS SHALL BE ZINC-COATED STEEL CONFORMING TO CGSB CAN-130.2, LATEST REVISION. SIZES OF BOTTOM WIRE AND WIRE TIES SHALL BE AS SPECIFIED IN ITEMS 512 AND 514 RESPECTIVELY.
 - CONSTRUCTION OF CHAIN LINK FENCE, INCLUDING MATERIAL AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF CGSB CAN-130.2, LATEST REVISION.
 - SEE SPECIFIC STATION LAYOUT DRAWING FOR FENCE CONFIGURATION AND DIMENSIONS. LOCATION OF GATES AND QUANTITIES OF EACH ITEM.
 - LATCHES, CHAIN FOR PADLOCKS, STOPS AND KEEPERS SHALL BE PROVIDED FOR ALL GATES. FOR DOUBLE SWING GATES, LATCHES SHALL BE OF THE PLUNGER BAR TYPE AND OF FULL GATE HEIGHT. FOR SINGLE GATE UP TO 3.0 m WIDE, A FORKED STANDARD LATCH SHALL BE PROVIDED.
 - FENCING SHALL BE CONSTRUCTED TO HORIZONTAL GRADES OR UNIFORMLY CONSTANT SLOPES.
 - WELDS AFTER GALVANIZING AND MODIFICATIONS TO FENCE SHALL BE TOUCHED UP WITH COATS OF ZINC RICH PAINT.
 - CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ENGINEERING STANDARD ES 21-10100, LATEST REVISION.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE

| NO. | DATE | BY | CHKD | APPD | REVISIONS | |
|---------------------------------|-------|---------|------|------|-----------|-----|
| 2 | 05-08 | M. FONG | ASP | RFM | JUN 08 | CDR |
| 1 | 05-10 | RF | VZ | BJJ | 05-10 | CDR |
| 1. NOTE 1G REVISED. | | | | | | |
| 2. REDRAWN ON CAD. STD CHANGED. | | | | | | |

| NO. | DATE | BY | CHKD | APPD | REVISIONS | |
|---------------------------------|-------|---------|------|------|-----------|-----|
| 2 | 05-08 | M. FONG | ASP | RFM | JUN 08 | CDR |
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|---------------------------------|-------|---------|------|------|-----------|-----|
| 2 | 05-08 | M. FONG | ASP | RFM | JUN 08 | CDR |
| 1 | 05-10 | RF | VZ | BJJ | 05-10 | CDR |
| 1. NOTE 1G REVISED. | | | | | | |
| 2. REDRAWN ON CAD. STD CHANGED. | | | | | | |



1 LEVEL 1 - FLOOR PLAN - INDOOR TRAINING FACILITY BUILDING
SCALE: 1:100

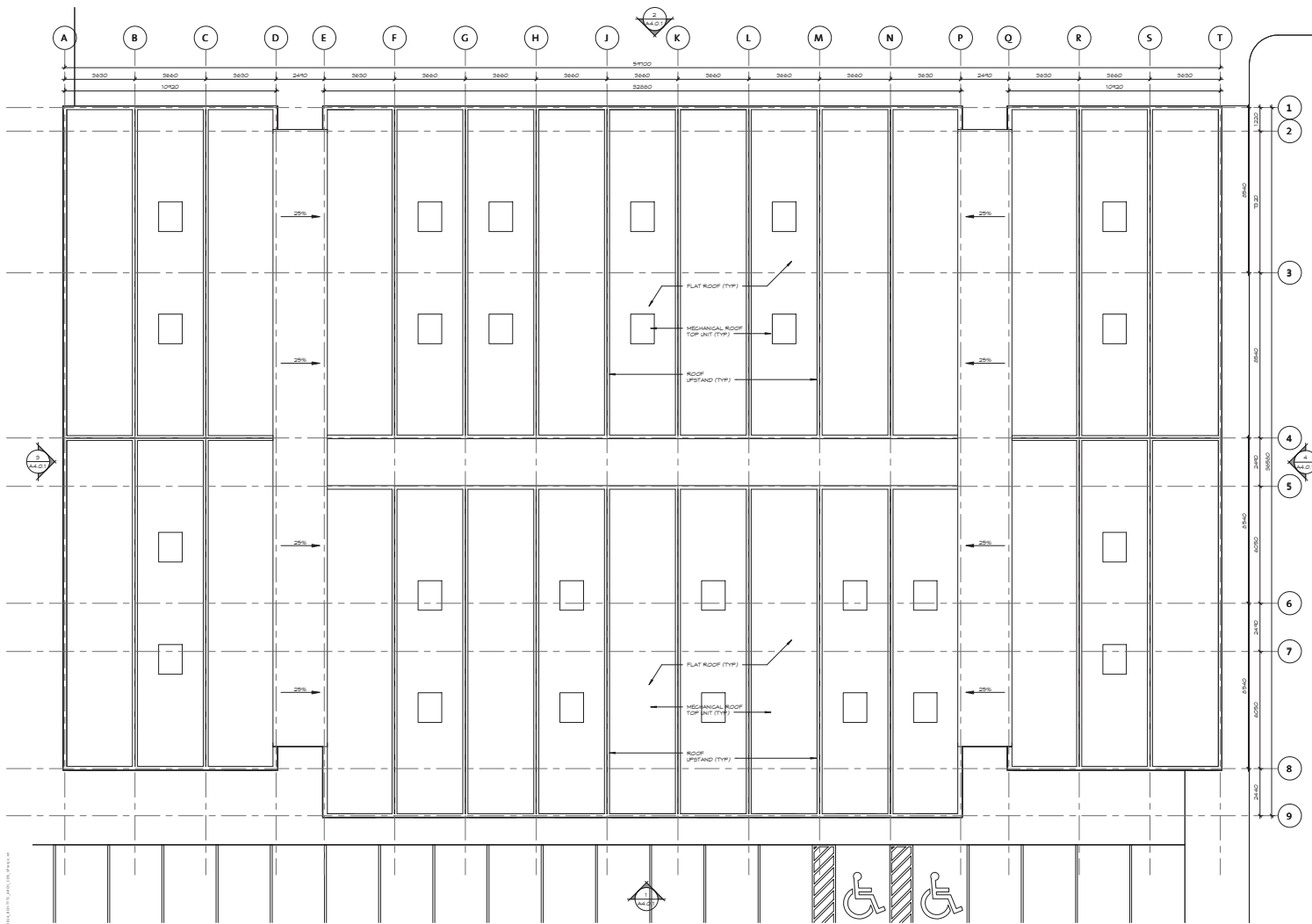
ISSUED: _____
Date: _____
Rev: _____
Remarks: _____

APPROVED: _____
Date: _____



A SPRINKLER SYSTEM SHALL BE PROVIDED FOR THIS BUILDING AS FOLLOWS:
NET SPRINKLER SYSTEM PER NFPA 13. SHALL INCLUDE ALL LABOR & MATERIALS.
PROTECT ALL PLUMBING & ELECTRICAL SPACES INCLUDING:
- 1 NO. BACKFLOW PREVENTION, 1/4" TAMPON SWITCHES
- 1 NO. FRET FIRE SYSTEM C-111 FLOOR SWITCH
- 1 NO. FIRE DEPARTMENT CONNECTION WITH 2 NO. 2 1/2" CONNECTIONS AND 1 1/2" GLOBE VALVE

Drawn: EB Designed: SP
Checked: py Checked: _____
Project Number: 10 12 014



1 ROOF PLAN – INDOOR TRAINING FACILITY BUILDING
SCALE: 1:100

CONSULTANT

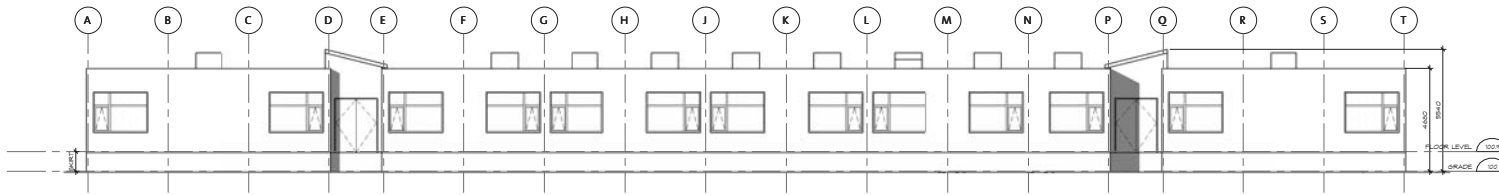
| ISSUED | Date | Revised |
|--------|----------|----------|
| 1 | 10/12/14 | 10/12/14 |

REVISIONS

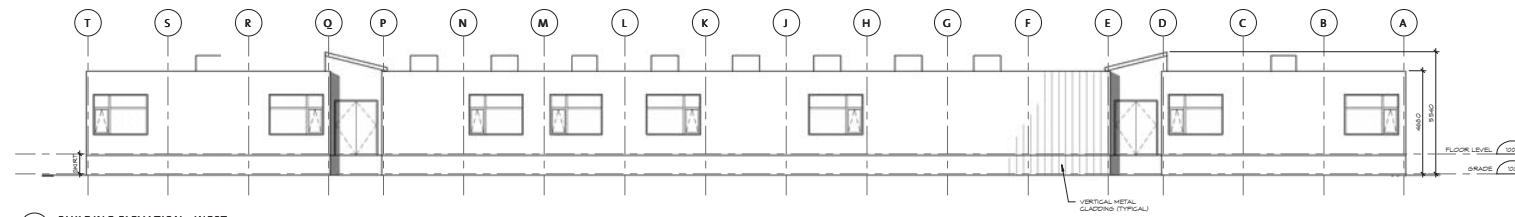
| Date | Revised |
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| Drawn: | EB | Designed: | SP |
| Checked: | PY | Checked: | PY |
| Project Number: | 10 12 014 | | |

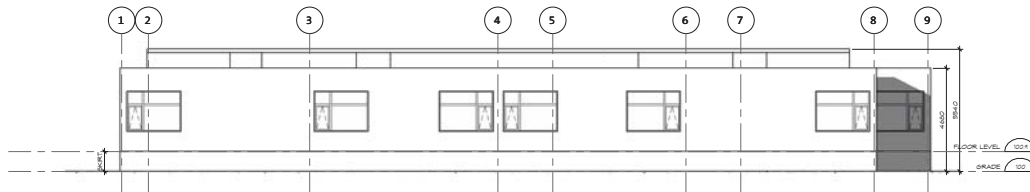
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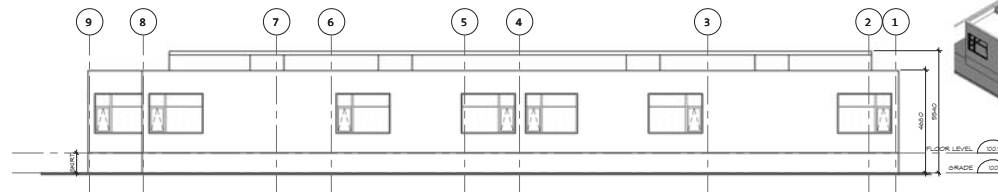
1 BUILDING ELEVATION - EAST
SCALE: 1:100



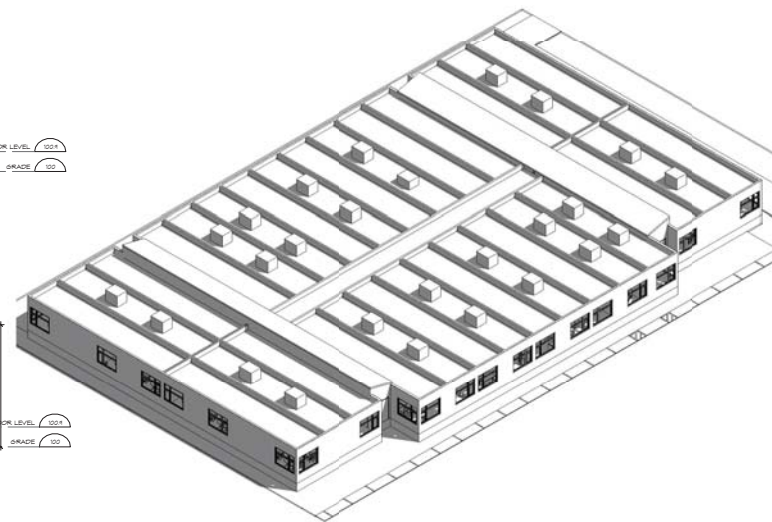
2 BUILDING ELEVATION - WEST
SCALE: 1:100



3 BUILDING ELEVATION - SOUTH
SCALE: 1:100



4 BUILDING ELEVATION - NORTH
SCALE: 1:100



5 3D VIEW - INDOOR TRAINING FACILITY BUILDING
SCALE

DRAWN BY: J. B. / CHECKED BY: J. B. / DATE: 10/12/14

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2 - Structural Engineer
3 - Mechanical Engineer
4 - Electrical Engineer
5 - Civil Engineer
6 - Landscape Architect
7 - Geotechnical Engineer
8 - Surveyor
9 - Other

CONSULTANT

| ISSUED | DATE | REVISIONS |
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| 10/12/14 | 10/12/14 | ISSUED FOR TEMPORARY USE PERMIT |

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DRAFT



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| | |
|----------------------------|--|
| CLIENT | City of Surrey #14245 - 56th Avenue, Surrey, B.C., Canada V3X 3A2 |
| DRAWING DESCRIPTION | 84 AVENUE 124 STREET TO 128 STREET |

| | | | |
|--|--------|--------------------|---------------------|
| SURVEYED BY | HC | DATE | AUGUST 2008 |
| DRAWN BY | HC | DRAWING No. | 08400 - 12400/12800 |
| CHECKED BY | RA | SHEET | 1 OF 1 |
| SCALES | | REV. | |
| HORIZONTAL | 1:1250 | | |
| VERTICAL | | | |
| <small>DESTROY ALL PRINTS BEARING PREVIOUS No.</small> | | | |

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| THE CITY OF SURREY | |
| TITLE | |
| SCALE: HOR. 1:1250 VER. | SURREY PROJECT No. |
| CHECKED: P.M. PUL | SURREY DRAWING No. |