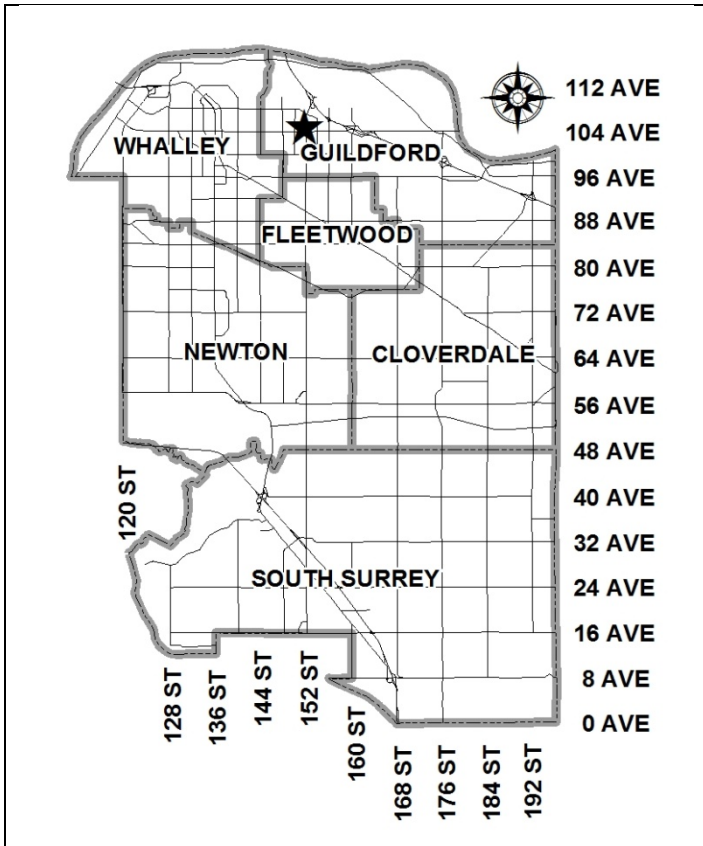


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7912-0187-00

Planning Report Date: November 26, 2012



**PROPOSAL:**

- **Development Permit**
- **Development Variance Permit**

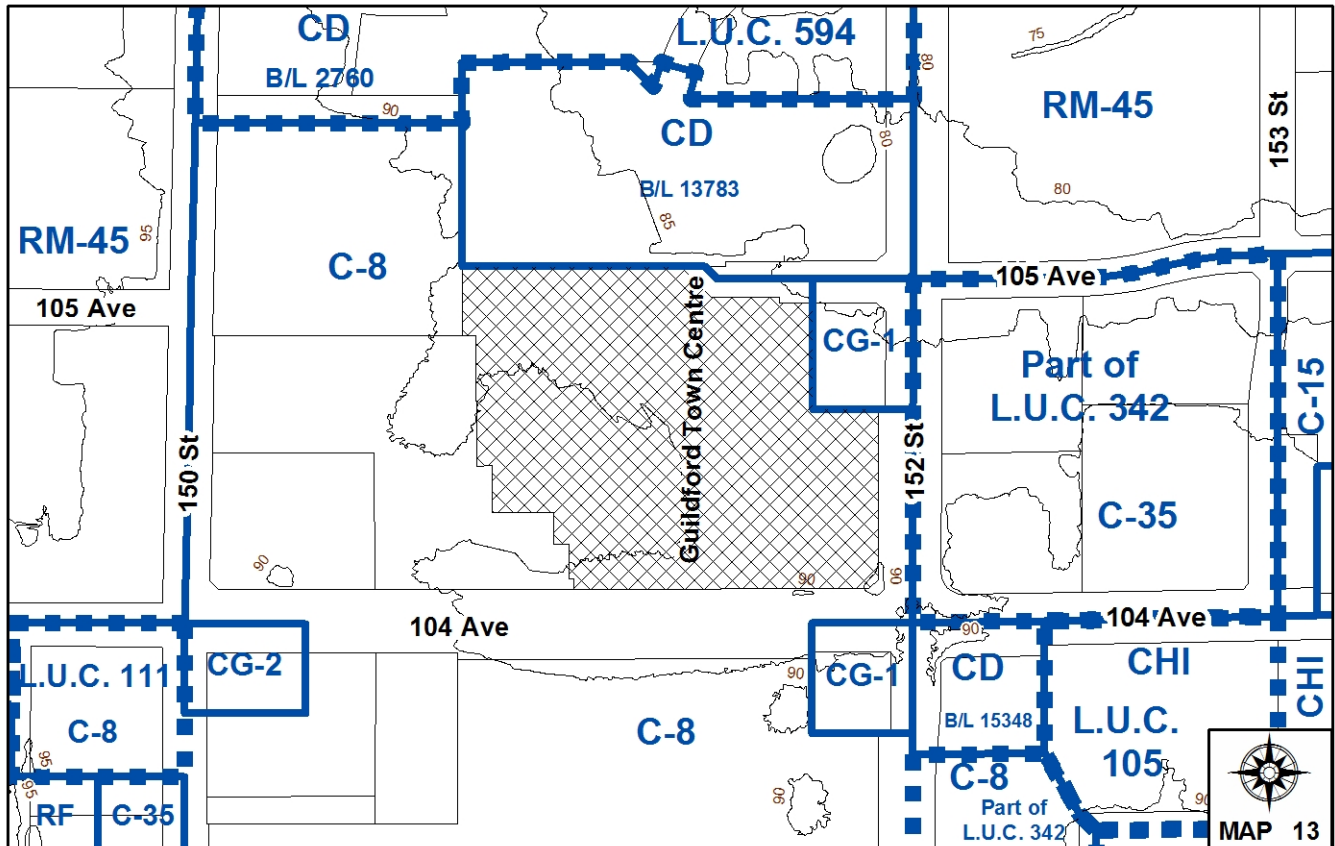
in order to permit development of a free-standing commercial building at Guildford Town Centre Mall.

**LOCATION:** 1730 Guildford Town Centre

**OWNER:** 4239431 Canada Inc.

**ZONING:** C-8

**OCP DESIGNATION:** Town Centre



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The minimum front (east) and north side setbacks are proposed to be reduced.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Proposed setbacks achieve a more urban, pedestrian streetscape.

**RECOMMENDATION**

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7912-0187-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7912-0187-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum front yard setback of the C-8 Zone from 7.5 metres (25 ft.) to 3.0 metres (9.8 ft.); and
  - (b) to reduce the minimum north side yard setback of the C-8 Zone from 7.5 metres (25 ft.) to 5.5 metres (18 ft.).
3. Council instruct staff to resolve the following issue prior to approval:
  - (a) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

**REFERRALS**

Engineering: The Engineering Department has no objection to the project as outlined in Appendix III.

**SITE CHARACTERISTICS**

Existing Land Use: Existing parking lot associated with Guildford Town Centre Mall

Adjacent Area:

<b>Direction</b>	<b>Existing Use</b>	<b>OCP Designation</b>	<b>Existing Zone</b>
North:	Existing gas station (Chevron)	Town Centre	CG-1
East (Across 152 Street):	Existing office building (Guildford Office Park)	Town Centre	LUC No. 342 (underlying C-35 Zone)
South (Portions across 104 Avenue):	Existing shopping centre (Guildford Mall), parking, decommissioned gas station	Town Centre	C-8, CG-1
West:	Existing shopping centre (Guildford Mall/Sears), parking	Town Centre	C-8

### DEVELOPMENT CONSIDERATIONS

- The subject site under this development application is located on the Guildford Town Centre Mall site. Specifically, the subject site is on that portion of Guildford Town Centre Mall that is north of 104 Avenue, which also includes Sears, and is addressed as 1730 Guildford Town Centre. The subject site and proposed development is located on the east side of this portion of Guildford Town Centre Mall (north), along the 152 Street frontage and north of 104 Avenue (see Appendix II). An existing Chevron gas station is located immediately to the north of the subject site, on a separate lot.
- The site is currently zoned Community Commercial Zone (C-8) and designated Town Centre in the Official Community Plan (OCP).
- Guildford Town Centre Mall is currently undergoing redevelopment. This redevelopment consists of a number of phases, including Phase I under Application No. 7906-0413-00, which was approved by Council on May 17, 2010 for the construction of a new Wal-Mart south of 104 Avenue, and Phase II under Application No. 7909-0174, which was approved by Council on September 12, 2011 for further upgrades, expansion and modernization of other portions of the mall.
- These earlier phases did not include the subject site and the related application. However, perimeter landscaping along 152 Street was approved under Phase I, which has implications for the current application.
- The Guildford Town Centre Mall (north) site, in its entirety, which includes the Sears retail store, the surrounding parking lot, and the site of the proposed development, is approximately 3.4 hectares (8.4 acres) in area.
- The subject portion of the site is approximately 3,700 square metres (40,000 sq.ft.) in area. It is, at present, used for parking related to the Guildford Town Centre Mall.
- The applicant is proposing to construct an approximately 561-square metre (6,039-sq.ft.) free-standing commercial building that will be occupied by a branch of the Bank of Montreal.
- The commercial building will be oriented towards 152 Street, and will provide an appropriate streetscape along 152 Street.
- Access to the existing Chevron gas station from the mall site will be retained through a drive aisle that will be provided along the north side of the proposed commercial building.
- A second free-standing commercial building is proposed to be constructed immediately south of this commercial building, at the intersection of 104 Avenue and 152 Street in the future. This will be subject to a separate Development Permit application.
- A Development Variance Permit is required. The applicant is proposing a reduced building setback along the front (east) property line from 7.5 metres (25 ft.) to 3.0 metres (9.8 ft.), and along the north side property line from 7.5 metres (25 ft.) to 5.5 metres (18 ft.) (see By-law Variance section).

PRE-NOTIFICATION

- According to Council policy, a Development Proposal Sign was installed on the site to inform adjacent property owners about the proposed development. Staff did not receive any comments on this proposal as a result of the Development Proposal Sign.

DESIGN PROPOSAL AND REVIEW

- The applicant is proposing a single-storey commercial building, with the principal entrance located adjacent to, and oriented towards, 152 Street.
- The proposed building is in a contemporary style which incorporates significant glazing and wood timber accents. Primary façade materials consist of brick (grey), stucco (beige and taupe), and aluminum panels (blue).
- Weather protection, in the form of a cantilevered steel canopy with wood soffits, extends over the sidewalk along the building's east, south and west façades.
- Perimeter landscaping along 152 Street was secured under Application No. 7909-0174-00. Internal landscaping is proposed that is consistent with the perimeter landscaping, and consists of trees such as European Hornbeam, Purple Lily Magnolia and varieties of Maple, interspersed with Boxwood, Dogwood, Holly, Rose and other shrubs.
- Fascia signage is limited to channel lettering located on the east elevation above the principal entrance.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 21, 2012. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• Designated Town Centre in the OCP.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Infill development will replace existing parking with a retail unit and landscaping.</li> <li>• The use will incorporate a recycling program.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• Proposed development will provide pedestrian-friendly orientation and connection to 152 Street.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The retail unit will be accessible to different types of mobility.</li> </ul>

Sustainability Criteria	Sustainable Development Features Summary
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• ASHRAE 90.1 (minimum BC Building Code requirement).</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>

### ADVISORY DESIGN PANEL

This application was not referred to the ADP but was reviewed by staff and found satisfactory.

### BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum front (east) setback of the C-8 Zone from 7.5 metres (25 ft.) to 3.0 metres (9.8 ft.); and
- To reduce the minimum north side yard setback of the C-8 Zone from 7.5 metres (25 ft.) to 5.5 metres (18 ft.).

Applicant's Reasons:

- The proposed setbacks allow the retail unit to be oriented towards 152 Street, and will be consistent with other frontage setbacks along 152 Street.
- A reduced side yard setback provides for a more urban streetscape.

Staff Comments:

- The setback variances are acceptable as they allow for a better public frontage.
- Staff support the proposed variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Site Plan, Building Elevations, and Landscape Plans
- Appendix III. Engineering Summary
- Appendix IV. Development Variance Permit No. 7912-0187-00

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

CA/kms

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## DEVELOPMENT DATA SHEET

Existing Zoning: C-8

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		33,929.7
Road Widening area		
Undevelopable area		967.8
Net Total		32,961.9
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	50%	22% (incl. Sears)
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS ( in metres)		
Front (east)	7.5 m	3.0 m*
Rear (west)		185.0 m
Side #1 (north)		5.5 m*
Side #2 (south)		73.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	12 m	6.1 m
Accessory	4.5 m	
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail ( <i>related to subject building</i> )		561 m <sup>2</sup>
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA ( <i>related to subject building</i> )		561 m <sup>2</sup>

\* **Seeking variance.**

## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (related to subject building)	0.50	0.02
FAR (related to site incl. Sears)	0.50	0.22
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		454
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		454
Number of disabled stalls		17
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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# GUILDFORD TOWN CENTRE

**PROJECT DATA**

**PROJECT DESCRIPTION:**  
REDEVELOPMENT OF EXISTING PARKING AREA WITHIN LOT 14 WITH  
PROVIDING PARK AND PAVING

**ZONING:**  
C1

**PROJECT ADDRESS:**  
3000 GUILDFORD TOWN CENTRE, GUILDFORD, BC V2M 1W8

**LEGAL DESCRIPTION:**  
LOT 14 (PART OF BLOCK 6) BOUND BY WEST SIDE  
OF STREET (LATERAL PLAN LAPP 4001)

**CONSULTANTS**

**GENERAL ENGINEER:**  
MERRILL ENGINEERING INC.  
200-1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1G6

**MECHANICAL ENGINEER:**  
MERRILL ENGINEERING INC.  
200-1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1G6

**ELECTRICAL ENGINEER:**  
MERRILL ENGINEERING INC.  
200-1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1G6

**LANDSCAPE ARCHITECTURE:**  
MERRILL ENGINEERING INC.  
200-1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1G6

**ARCHITECT:**  
MERRILL ENGINEERING INC.  
200-1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1G6

**LANDSCAPE ARCHITECTURE:**  
MERRILL ENGINEERING INC.  
200-1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1G6

**MECHANICAL ENGINEER:**  
MERRILL ENGINEERING INC.  
200-1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1G6

**ELECTRICAL ENGINEER:**  
MERRILL ENGINEERING INC.  
200-1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1G6

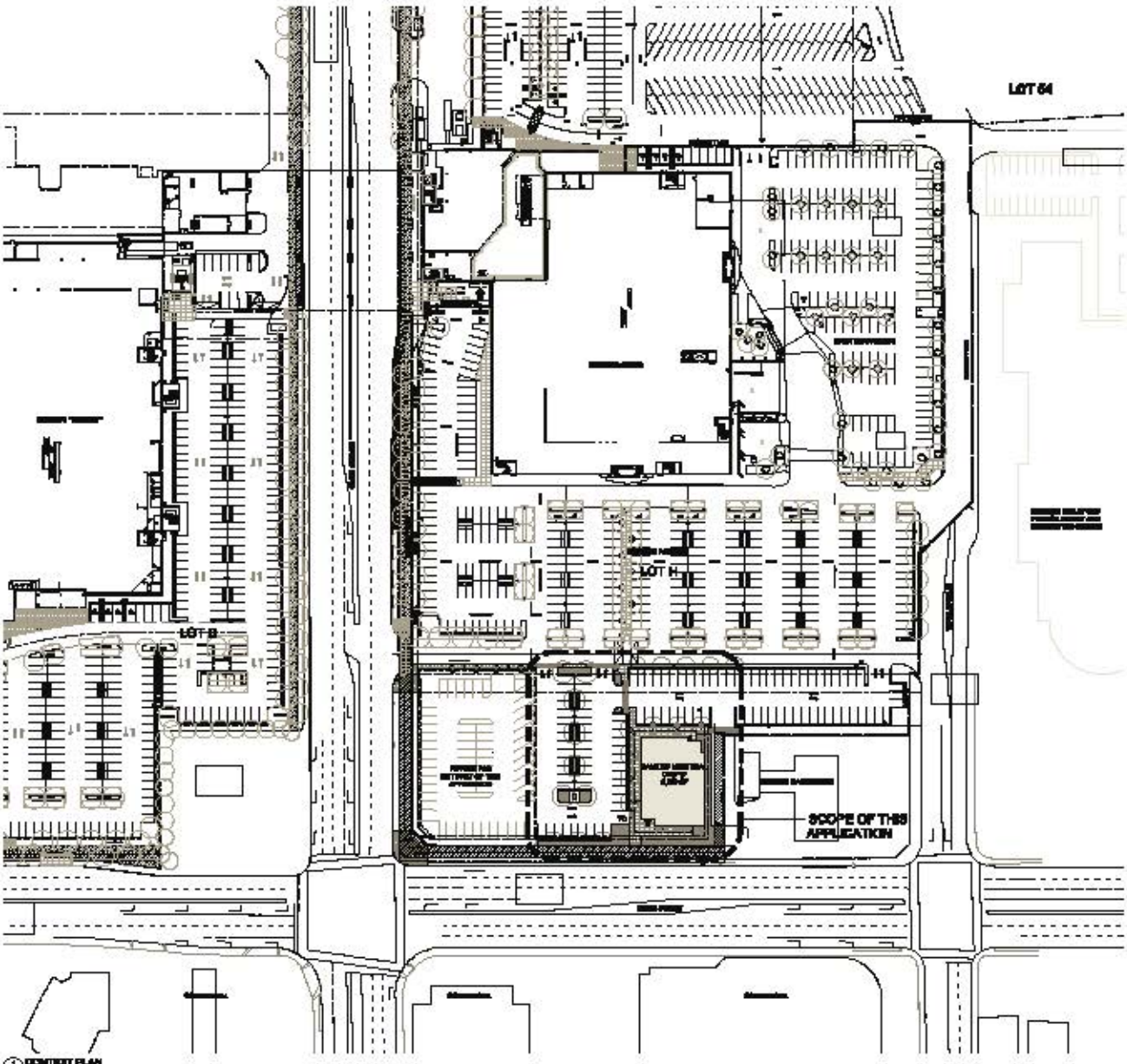
**AREA CALCULATION**

**EXISTING AREA:**

LOT 14	10,000.00
LOT 15	10,000.00
LOT 16	10,000.00
LOT 17	10,000.00
LOT 18	10,000.00
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LOT 100	10,000.00

**EXISTING AREA:**

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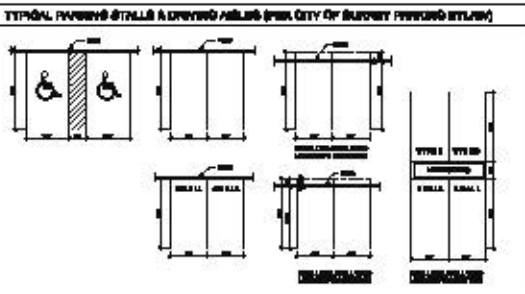
**PARKING STATISTICS**

**TOTAL PARKING AVAILABLE TO USE:**

TYPE	NUMBER	TOTAL
STANDARD	100	100
DISABLED	10	10
TOTAL	110	110

**REQUIREMENT:**

MIN	MAX	MINIMUM	MAXIMUM
100	100	100	100



**DRAWING INDEX**

NO.	DESCRIPTION	DATE
1	ARCHITECTURAL - NSMP	2023-11-11
2	ARCHITECTURAL - DMC	2023-11-11
3	LANDSCAPE	2023-11-11
4	CIVIL	2023-11-11

**MUSCOI  
CATTEL  
MACKEN  
FAYNE**

**GUILDFORD  
TOWN CENTRE  
LOT 14**

**CONTEXT & PROJECT**

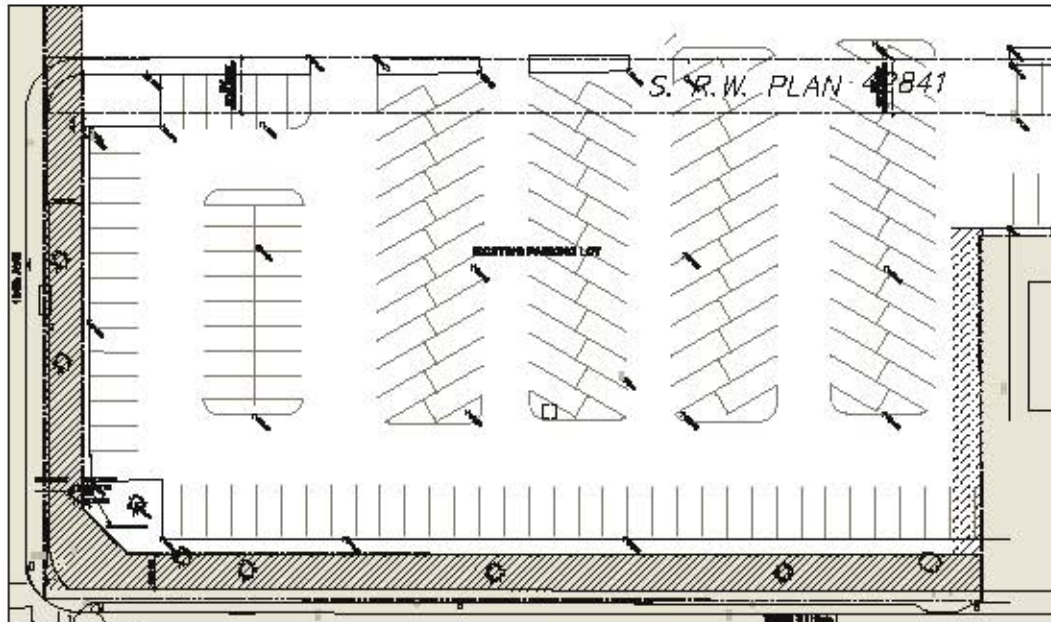
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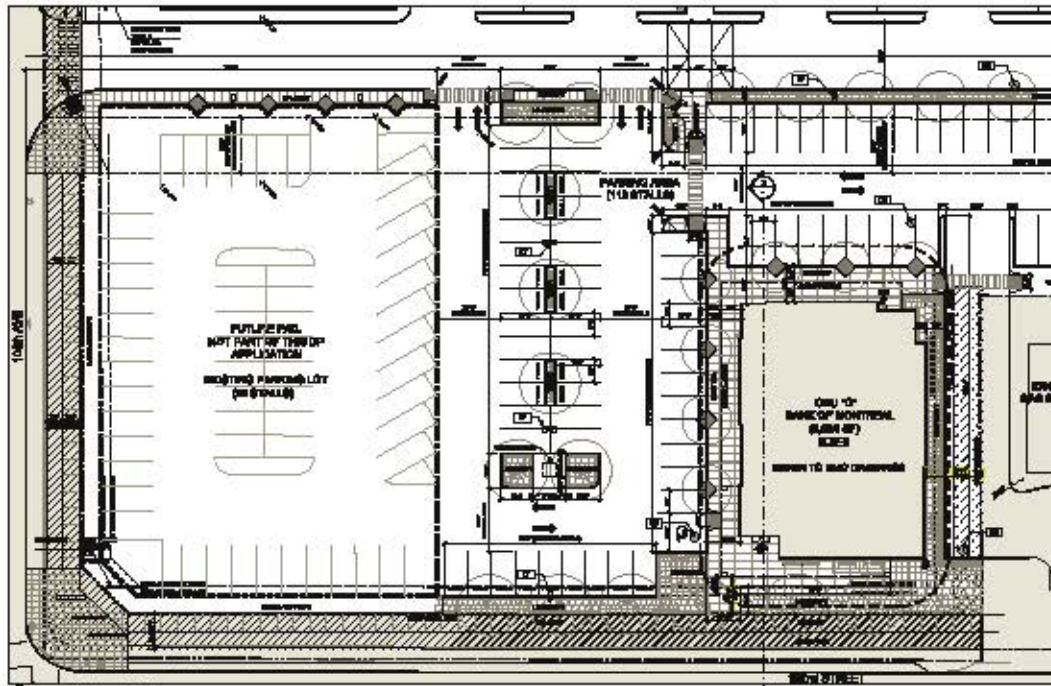
**REVISION:**

**PROJECT:**





1. EXISTING SITE PLAN



2. PROPOSED SITE PLAN



3. PROPOSED SITE / BUILDING SECTION

1. EXISTING SITE PLAN	2. PROPOSED SITE PLAN
3. PROPOSED SITE / BUILDING SECTION	

**MUSSON  
 CATTELL  
 MACKAY  
 PARTNERSHIP**  
 ARCHITECTS AND DESIGNERS

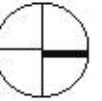
100, BRIDGE STREET  
 GUILDFORD, GU1 2LJ  
 TEL: 01494 474747  
 WWW: WWW.MCM-ARCHITECTS.CO.UK

**GUILDFORD  
 TOWN CENTRE  
 LOT H**  
 2000 SQ M  
 PROPOSED

**EXISTING AND  
 PROPOSED  
 SITE PLAN &  
 SECTION**

SCALE	1/4" = 1'-0"
DATE	09/11/2016
DESIGNER	MC
REVISIONS	REV 01/16/16
PROJECT	2000 SQ M
NO.	A1.01





NOV 15, 2012  
REVISIONS

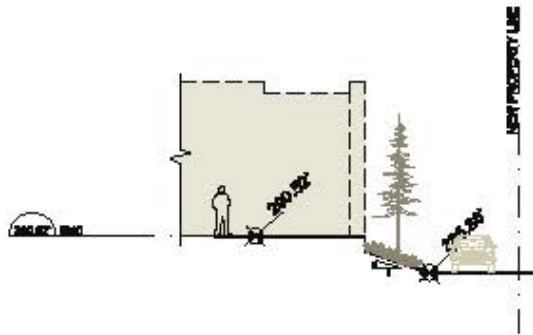
MUSSON  
CATTELL  
MACKEY  
PARTNERSHIP  
ARCHITECTS & INTERIORS

100% THIS DESIGN SHEET  
HAS BEEN REVIEWED AND APPROVED BY  
THE CLIENT FOR THE PROJECT  
DATE: NOV 15, 2012  
BY: [Signature]

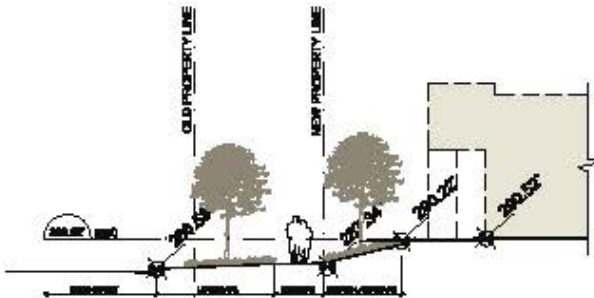
GUILDFORD  
TOWN CENTRE  
LOT H  
3000 GUILDFORD TOWN CENTRE  
BLVD, GUILDFORD, VT

PROPOSED SITE  
PLAN & SECTION  
CLARIFICATION

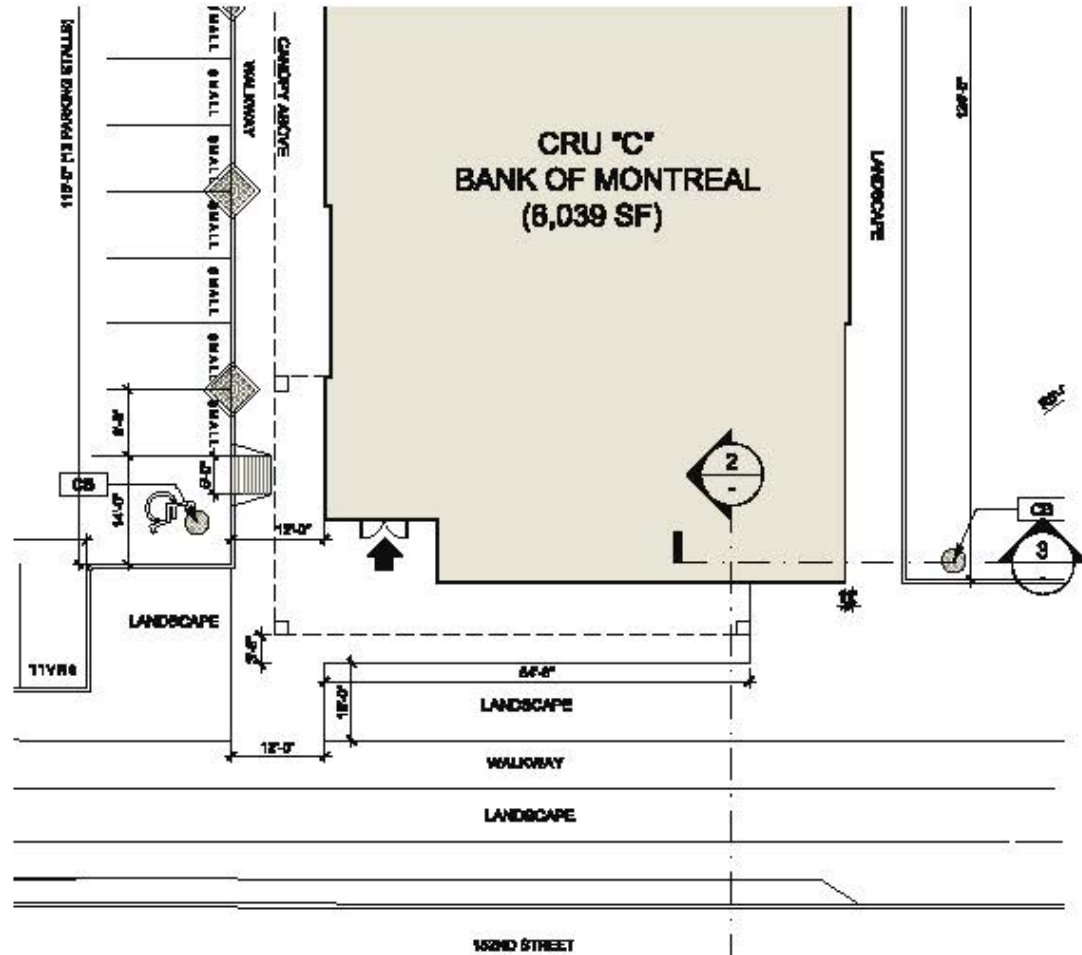
SCALE:	AS NOTED
DATE:	NOV 15, 2012
DESIGNER:	AJC
REVISION:	NOV 15, 2012
PREPARED BY:	IBBY/LLM
PROJECT:	ASK01



3 PARTIAL SITE SECTION  
SCALE 1/16" = 1' - 0"



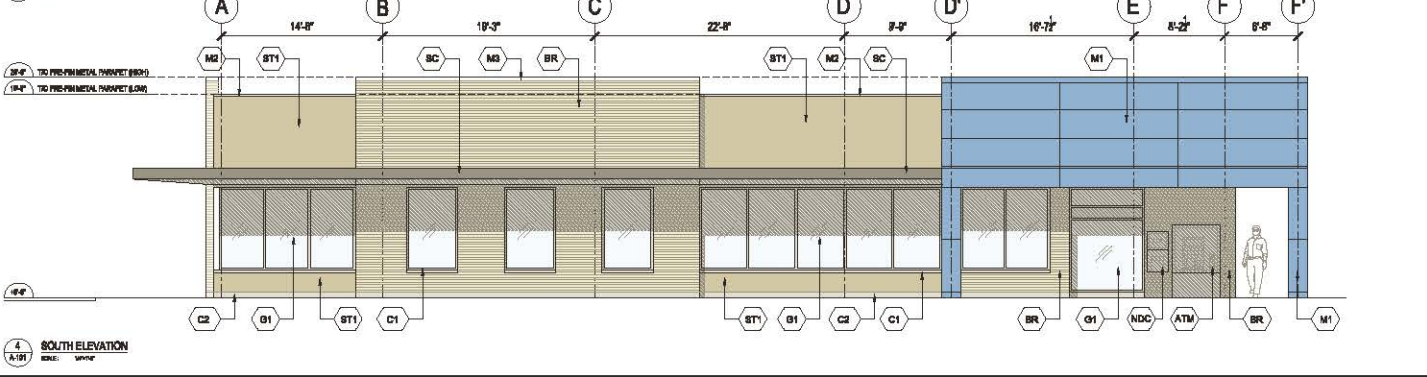
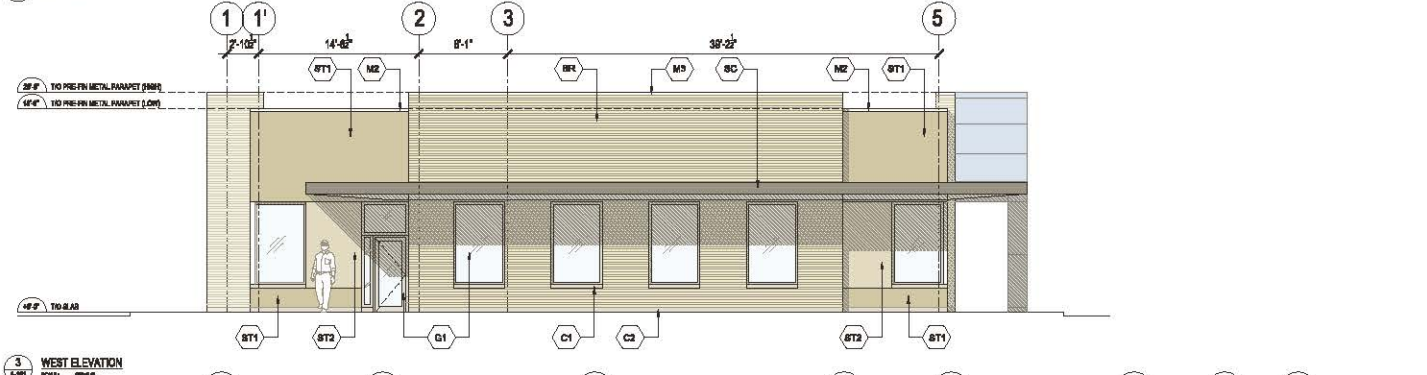
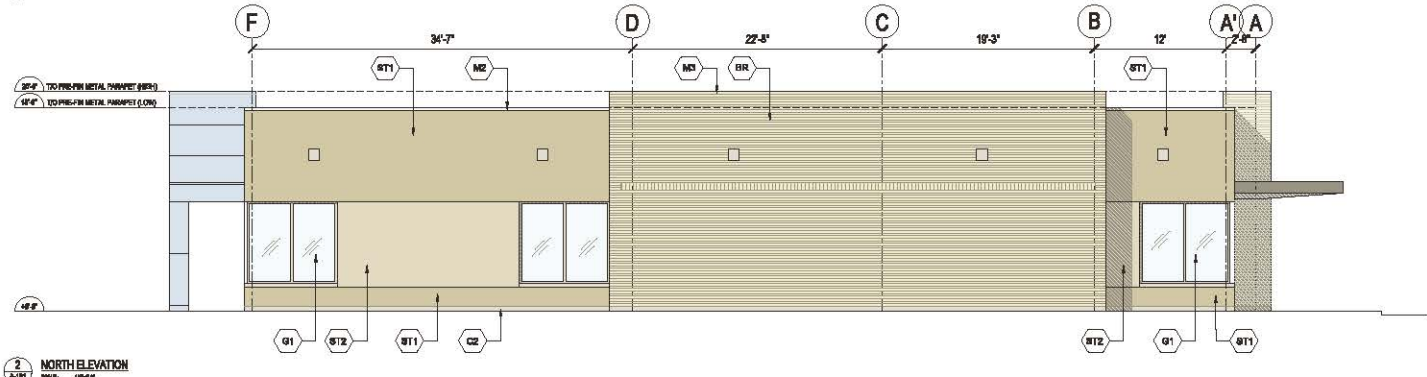
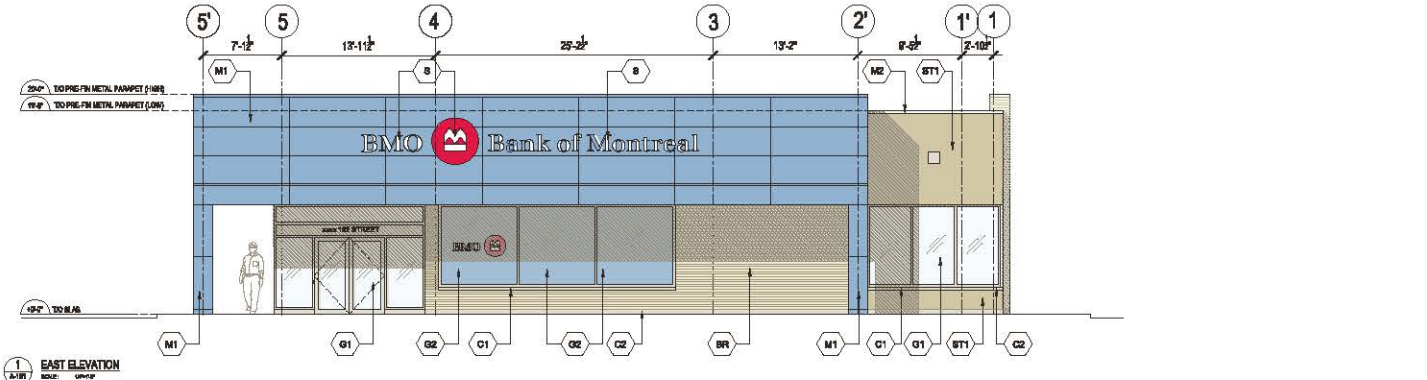
2 PARTIAL SITE SECTION  
SCALE 1/16" = 1' - 0"



1 PARTIAL SITE PLAN (NORTH EAST)  
SCALE 1/16" = 1' - 0"

**MATERIALS LEGEND**

BR	3.5" RW x 2 1/4" x 7 1/2" BRAMPTON BRICK, ARCHITECTURAL SERIES, COLOUR: GRAY, FINISH: VELOUR
BT1	STUCCO 11 DURABOND PRODUCTS, MARBLE COAT - COLOUR TO MATCH SHERRILL WILLIAMS "TOKY TAUPÉ" SW 7036
BT2	STUCCO 21 DURABOND PRODUCTS, MARBLE COAT - COLOUR TO MATCH SHERRILL WILLIAMS "ACCESSIBLE BEIGE" SW 7036
M1	ALUMINUM COMPOSITE METAL PANELS, PPO DURAGUARD PAINT, SALSABURP "MONTREAL BLUE"
M2	PRE-FINISHED METAL FLASHING TO STUCCO PARAPET - COLOUR TBD.
M3	PRE-FINISHED METAL FLASHING TO BRICK PARAPET - COLOUR TBD.
G1	EXTERIOR CURTAINWALL SYSTEM, CLEAR ANODIZED CLEAR INSULATED VISION GLASS / LOW-E GLAZING (SOLARWAT F00)
G2	EXTERIOR CURTAINWALL SYSTEM, CLEAR ANODIZED CLEAR INSULATED VISION GLASS / LOW-E GLAZING (SOLARWAT F00) WITH BLUE FILM ON EXTERIOR SIDE
B	ILLUMINATED CHANNEL LED LETTERS
BC	STEEL CANNOPY WITH WOOD SOFFIT
C1	PRECAST CONCRETE SILL
C2	IN-SITU CONCRETE UPSTAND
NDC	LIGHT DEPOSITORY WITH CLEARING SLOPE
ATM	EXTERIOR ATM MACHINE



1/4" DRAWING AND NOT TO BE SCALE

THIS IS AN APPROXIMATE REPRESENTATION OF THE PROPOSED DESIGN. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.

ISSUES

No.	Date	Description
1		ISSUE FOR PERMITS/PARTY PERMIT
2		ISSUE FOR DEVELOPMENT PERMIT

REV. DATE DESCRIPTION

REVISIONS

KEY PLAN

CONSULTANTS

A	
S	
M	
E	

CONSTRUCTION NORTH

TRUE NORTH

PROJECT

**BMO**  
Surrey Guilford

2685 Guilford Town Centre,  
Surrey, BC

**ZAS** ARCHITECTURE  
INTERIOR TRANSPORTATION  
PLANNING  
A GROUP OF COMPANIES

658 Granville Street, Suite 210  
Vancouver, British Columbia  
Canada V6C 1W8

7799 322 1111  
7799 322 1118

SCALE: 1/4" = 1'-0" MC DRAWN BY

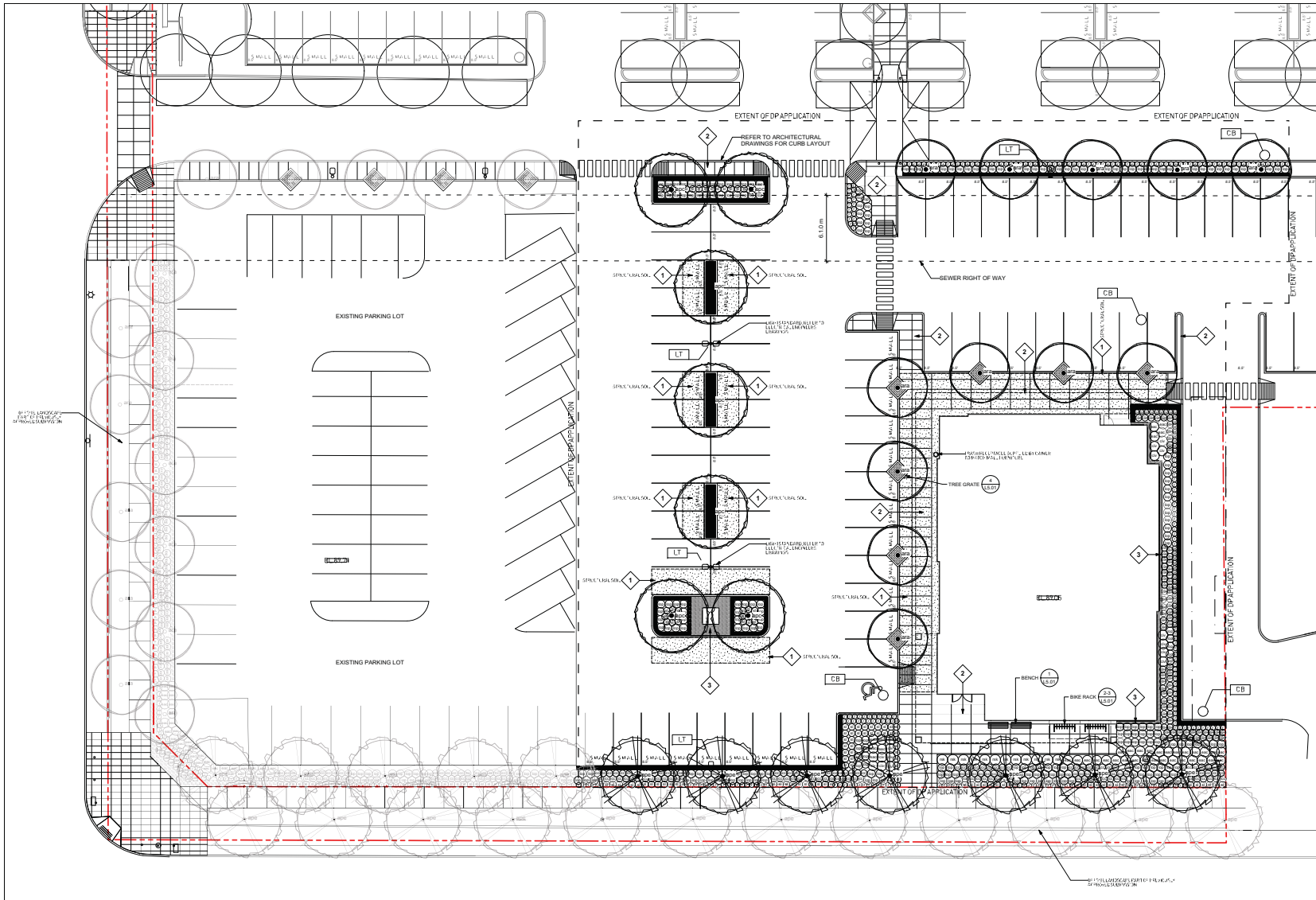
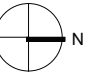
DATE: REV. NO.

TITLE

NORTH, SOUTH,  
EAST AND WEST  
ELEVATIONS

DRAWING NO. PROJECT NO.

A-101 022-12



MATERIALS LEGEND	DESCRIPTION
◊	1/2" x 1/2" x 1/2" concrete pavers
◊	CONCRETE FINISH: 1. POLISHED 2. STAIN 3. STAIN WITH GLOSS COATING
◊	ASPHALT DRIVEWAY

NOTE: SOME OF THE WORK THAT IS SHOWN IN THIS SUBMISSION HAS BEEN COVERED BY A PRE-EXISTING DEVELOPMENT PERMIT.

Plant List	ID	Qty	Botanical Name	Common Name	W x H	Season	Remarks
Plant 1	1	1	...	...	...	...	...
Plant 2	2	1	...	...	...	...	...
Plant 3	3	1	...	...	...	...	...
Plant 4	4	1	...	...	...	...	...
Plant 5	5	1	...	...	...	...	...
Plant 6	6	1	...	...	...	...	...
Plant 7	7	1	...	...	...	...	...
Plant 8	8	1	...	...	...	...	...
Plant 9	9	1	...	...	...	...	...
Plant 10	10	1	...	...	...	...	...
Plant 11	11	1	...	...	...	...	...
Plant 12	12	1	...	...	...	...	...

- PLANTING GENERAL NOTES**
1. ALL PLANTS ARE TO BE SPECIALLY SELECTED AND SPECIFIED IN THE 'PLANTING' SECTION OF THE ARCHITECTURAL DRAWINGS.
  2. SEARCH FOR 'PLANT' MATERIALS TO ALL OF ALL OF WESTERN NORTH AMERICA.
  3. PLANT MATERIALS FROM OTHER COUNTRIES ARE NOT TO BE USED UNLESS THEY ARE KNOWN TO BE ACCEPTABLE.
  4. PLANTS SHALL BE ESTABLISHED AND MAINTAINED IN PLACE.
  5. PLANTS SHALL BE SPECIALLY SELECTED AND SPECIFIED IN THE 'PLANTING' SECTION OF THE ARCHITECTURAL DRAWINGS.
  6. THE CONTRACTOR SHALL PROVIDE A SHOW AND TELL DEMONSTRATION TO THE ARCHITECT AND OWNER BEFORE THE PLANTING BEGINS. THE CONTRACTOR SHALL PROVIDE A SHOW AND TELL DEMONSTRATION TO THE ARCHITECT AND OWNER BEFORE THE PLANTING BEGINS.
  7. CONTRACTOR SHALL PROVIDE A SHOW AND TELL DEMONSTRATION TO THE ARCHITECT AND OWNER BEFORE THE PLANTING BEGINS.
  8. PLANTING SHALL BE DONE IN ACCORDANCE WITH THE 'PLANTING' SECTION OF THE ARCHITECTURAL DRAWINGS.
  9. THE CONTRACTOR SHALL PROVIDE A SHOW AND TELL DEMONSTRATION TO THE ARCHITECT AND OWNER BEFORE THE PLANTING BEGINS.
  10. ALL PLANT MATERIALS, INCLUDING SOILS, SHALL BE SPECIALLY SELECTED AND SPECIFIED IN THE 'PLANTING' SECTION OF THE ARCHITECTURAL DRAWINGS.
  11. ALL TREES SHOWN TO BE 'PLANTING' SHALL HAVE TO BE APPROVED BY THE ARCHITECT AND OWNER BEFORE THE PLANTING BEGINS.
  12. ALL TREES SHOWN TO BE 'PLANTING' SHALL HAVE TO BE APPROVED BY THE ARCHITECT AND OWNER BEFORE THE PLANTING BEGINS.

01 Nov 13 2012  
 02 Oct 04 2012  
 03 May 18 2012

**MUSSON  
 CATTELL  
 MACKEY  
 PARTNERSHIP**  
 ARCHITECTS DESIGNERS PLANNERS

1600 - THIRD BAYVIEW CENTRE  
 100 BAYVIEW STREET SUITE 1000 MARKHAM ONTARIO  
 CANADA M3R 2V8  
 TEL: 416-487-2995 FAX: 416-487-1771  
 www.mcm-partnership.com

**GUILDFORD TOWN CENTRE  
 LOT H**

PLAN

SCALE: 3/32" = 1'  
 DATE: NOV 08, 2012  
 DRAWN: SD  
 REVISION:   
 PROJECT: 1221  
 SHEET: LDP 1.00







CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7912-0187-00

Issued To: 4239431 CANADA INC., INC. NO. A62628  
("the Owner")

Address of Owner: Unit 300, 95 Wellington Street W  
Toronto, ON  
M5J 2R2

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 025-002-228

Lot 2 Section 20 Block 5 North Range 1 West New Westminster District Plan LMP49621  
Except Plan BCP49413

1730 Guildford Town Centre

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section F of Part 36 Community Commercial Zone (C-8), the minimum setback from the east lot line is reduced from 7.5 metres (25 ft.) to 3.0 metres (9.8 ft.).
  - (b) In Section F of Part 36 Community Commercial Zone (C-8), the minimum setback from the north lot line is reduced from 7.5 metres (25 ft.) to 5.5 metres (18 ft.).
4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
5. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20      .  
ISSUED THIS      DAY OF      , 20      .

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Mayor – Dianne L. Watts

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City Clerk – Jane Sullivan



# GUILDFORD TOWN CENTRE

### PROJECT DATA

**PROJECT DESCRIPTION:**  
DEVELOPMENT OF EXISTING PARKING AREA WITHIN LOT H INTO FREE-STANDING PADS AND PARKING

**ZONING:**  
C8

**PROJECT ADDRESS:**  
2695 GUILDFORD TOWN CENTRE, SURREY, BC - V3R 7C1

**LEGAL DESCRIPTION:**  
LOT 2 SECTION 20 BLOCK 5 NORTH RANGE 1 WEST NEW WESTMINSTER DISTRICT PLAN LMP 48621

### CONSULTANTS

**OWNER / CLIENT**  
IVANHOE CAMBRIDGE INC.  
NORTH OFFICE TOWER  
700 - 150 WEST 41 AVENUE  
VANCOUVER, BC V6Z 2M9 CANADA

**MALL OPERATIONS MANAGER:**  
KEN NICOLSON, PHONE 604.287.4241

**ARCHITECT**  
MUSSON CATTELL MACKEY PARTNERSHIP  
1800 - TWO BENTALL CENTRE,  
555 BURBARD STREET  
VANCOUVER, BC V7X 1M9 CANADA

**BMO**  
BMO CORPORATE REAL ESTATE  
695 BURBARD STREET, SUITE 204  
VANCOUVER, BC - V7X 1T1, CANADA

**CIVIL ENGINEER**  
JPLIN AND MARTIN CONSULTANTS LTD.  
201 - 12448 82 AVENUE  
SURREY, BC V3W 3E9 CANADA

**ELECTRICAL ENGINEER**  
FALCON ENGINEERING LTD.  
338 - 1400 ROBERTS STREET  
434.407.0000 SF  
SURREY, BC V3S 4E1 CANADA

**LANDSCAPE CONSULTANT**  
IWL PARTNERSHIP  
5TH FLOOR, EAST ASHBY HOUSE  
1201 WEST PENNER STREET  
VANCOUVER, BC V6C 2V2 CANADA

**BMO - ARCHITECT**  
240 ARCHITECT'S INTERIORS  
626 GRANVILLE STREET - SUITE 210  
VANCOUVER, BC - V6C 1W6, CANADA

### AREA CALCULATION

EXISTING MALL - LOWER LEVEL		EXISTING MALL - UPPER LEVEL	
EXIST. SOUTH TO REMAIN	342,181.00 SF	31,789.66 M <sup>2</sup>	
EXIST. NORTH TO REMAIN	92,079.98 SF	8,554.42 M <sup>2</sup>	
EXISTING BASEMENT	12,372.05 SF	1,146.40 M <sup>2</sup>	
EXISTING WHITE SPOT	6,203.72 SF	573.34 M <sup>2</sup>	
EXIST. HARDY WORK ROOM	30,303.00 SF	2,816.54 M <sup>2</sup>	
EXISTING RED ROBIN	6,761.00 SF	626.12 M <sup>2</sup>	
APPROVED PHASE 1	434,407.00 SF	40,365.16 M <sup>2</sup>	
APPROVED PHASE 2	237,073.00 SF	22,024.80 M <sup>2</sup>	
<b>TOTAL</b>	<b>1,151,542.80 SF</b>	<b>106,961.55 M<sup>2</sup></b>	
<b>NEW CONSTRUCTION - LOWER LEVEL</b>			
CRU "C" (8) LOT H1 - BMO	6,039.00 SF	561 M <sup>2</sup>	
	6,039.00 SF	561 M <sup>2</sup>	
<b>AREA TOTAL</b>	<b>1,903,284.80 SF</b>	<b>176,821.58 M<sup>2</sup></b>	



### PARKING STATISTIC

**TOTAL FSR UPON COMPLETION OF CRU "C", BMO**

RETAIL	1,794,229.72 SF	166,689.30 M <sup>2</sup>
CINEMAS	75,458.00 SF	7,010.28 M <sup>2</sup>
RESTAURANT	27,562.72 SF	2,560.88 M <sup>2</sup>
OFFICE (BANK)	6,039.00 SF	561.00 M <sup>2</sup>
<b>TOTAL</b>	<b>1,903,289.44 SF</b>	<b>176,821.58 M<sup>2</sup></b>

**PARKING BY-LAW REQUIREMENTS**

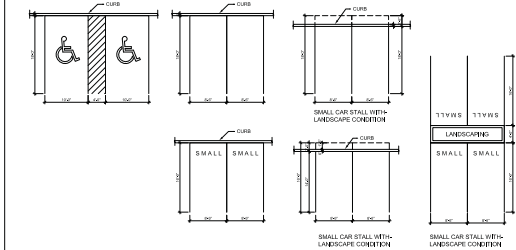
USES	GFA / SEATS	RATIO	REQUIRED	PROVIDED
RETAIL	186,686.30 M <sup>2</sup>	2.5 / 100 M <sup>2</sup>	4,167	
CINEMAS	3,399 SEATS	1 / 6 SEATS	678	
RESTAURANT	2,560.88 M <sup>2</sup>	10 / 100 M <sup>2</sup>	257	
OFFICE (BANK)	561.00 M <sup>2</sup>	3 / 100 M <sup>2</sup>	6	
<b>TOTAL</b>			<b>5,108</b>	<b>5,473</b>

**BICYCLE PARKING REQUIREMENTS**

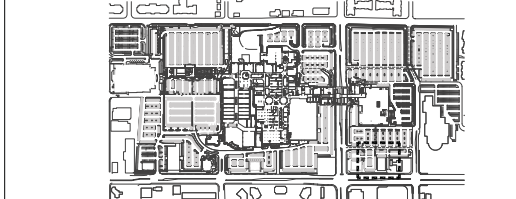
GFA	RATIO	REQUIRED	PROVIDED
176,689.32 M <sup>2</sup>	0.1 BPS / 100 M <sup>2</sup>	179	179

**LOADING**  
PROVIDED = 20

### TYPICAL PARKING STALLS & DRIVING AISLES (PER CITY OF SURREY PARKING BYLAW)

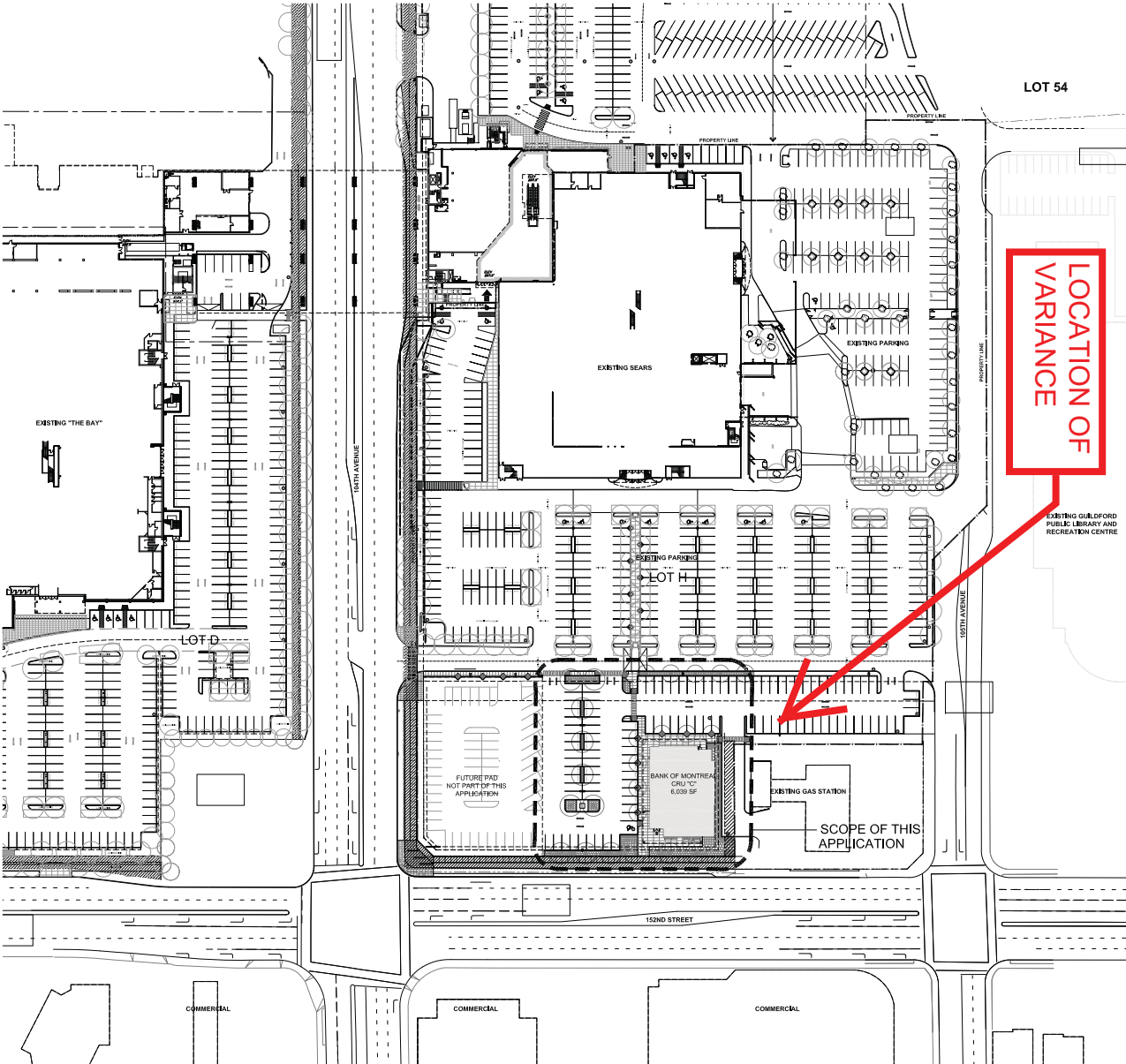


### KEYPLAN



### DRAWING INDEX

SHEET #	DRAWING DESCRIPTION	SCALE	DATE	STATUS
A-01	CONCEPT PLAN & PROJECT DATA	AS NOTED	2012-05-25	APPROVED
A-02	EXISTING AND PROPOSED SITE PLAN & SECTION	AS NOTED	2012-05-25	APPROVED
<b>ARCHITECTURAL - BMO</b>				
A-03	FOUNDATION PLAN AND ELEVATION	AS NOTED	2012-05-25	APPROVED
A-04	ROOF PLAN	AS NOTED	2012-05-25	APPROVED
A-05	MECHANICAL PLAN	AS NOTED	2012-05-25	APPROVED
A-06	ELECTRICAL PLAN	AS NOTED	2012-05-25	APPROVED
A-07	PLUMBING PLAN	AS NOTED	2012-05-25	APPROVED
A-08	MECHANICAL PLAN	AS NOTED	2012-05-25	APPROVED
<b>LANDSCAPE</b>				
L-01	SOFT LAYOUT PLAN	AS NOTED	2012-05-25	APPROVED
<b>CIVIL</b>				
C-01	CONCEPT SITE PLAN FOR PHASE 2	AS NOTED	2012-05-25	APPROVED



LOCATION OF VARIANCE

SCOPE OF THIS APPLICATION

CONTEXT PLAN

Schedule A

NOV 15 2012 REVISION FOR DEVELOPMENT PERMIT  
OCT 06 2012 REVISION FOR DEVELOPMENT PERMIT  
JUNE 19 2012 ISSUE FOR DEVELOPMENT PERMIT

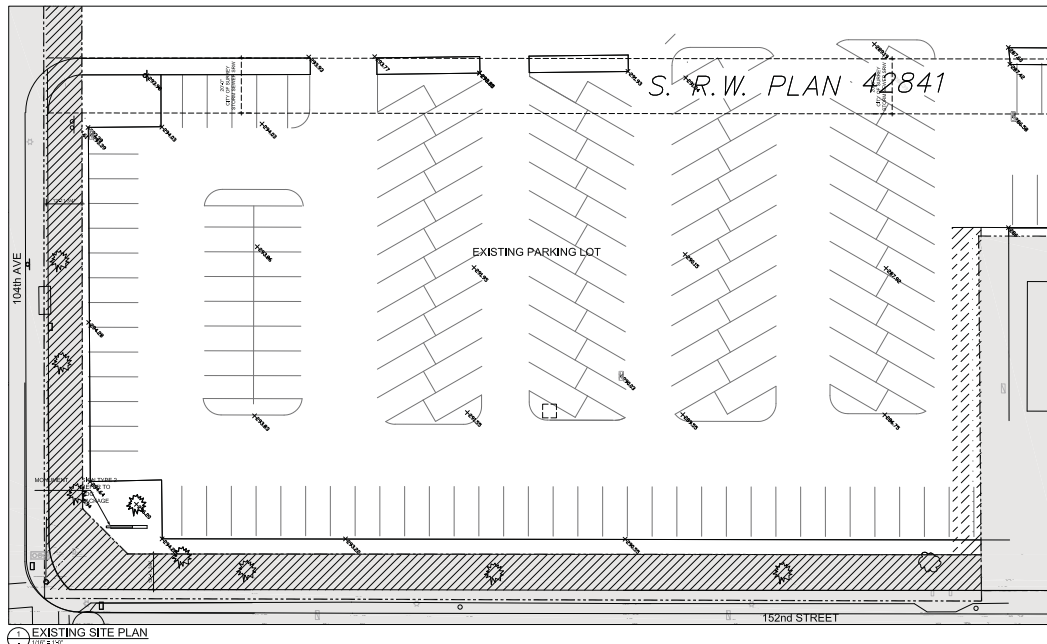
**MUSSON CATTELL MACKEY PARTNERSHIP**  
ARCHITECTS DESIGNERS PLANNERS

480 - TWO BENTALL CENTRE  
555 BURBARD STREET VANCOUVER BC  
CANADA V7X 1M9 TEL: 604.481.1771  
mcp@mussoncattellmackey.com  
www.mussoncattellmackey.com

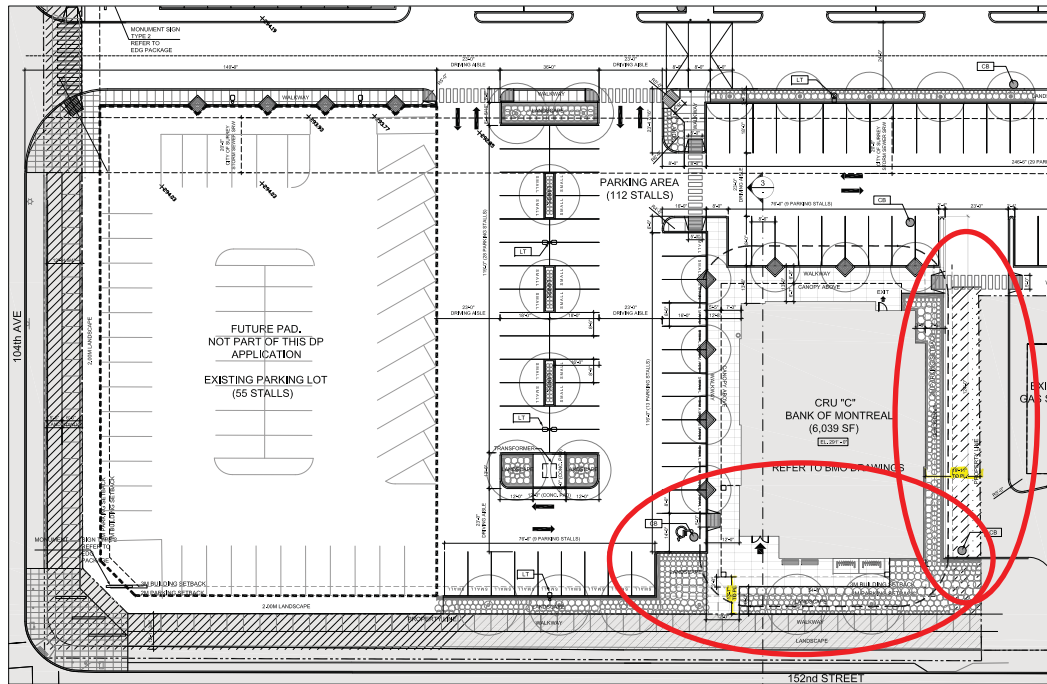
**GUILDFORD TOWN CENTRE LOT H**  
2695 GUILDFORD TOWN CENTRE  
SURREY BC

**CONTEXT PLAN & PROJECT DATA**

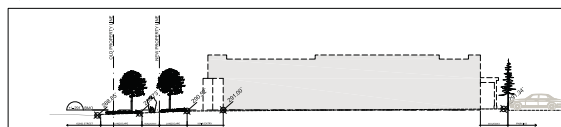
SCALE: NTS  
DATE: MAY 25, 2012  
DRAWN: AKK  
REVISION: NOV 13, 2012  
PROJECT: 20610.34  
SHEET: A0.01



1 EXISTING SITE PLAN  
Sheet 1 of 3



2 PROPOSED SITE PLAN  
Sheet 2 of 3



3 PROPOSED SITE / BUILDING SECTION  
Sheet 3 of 3

PROPOSED VARIANCES

