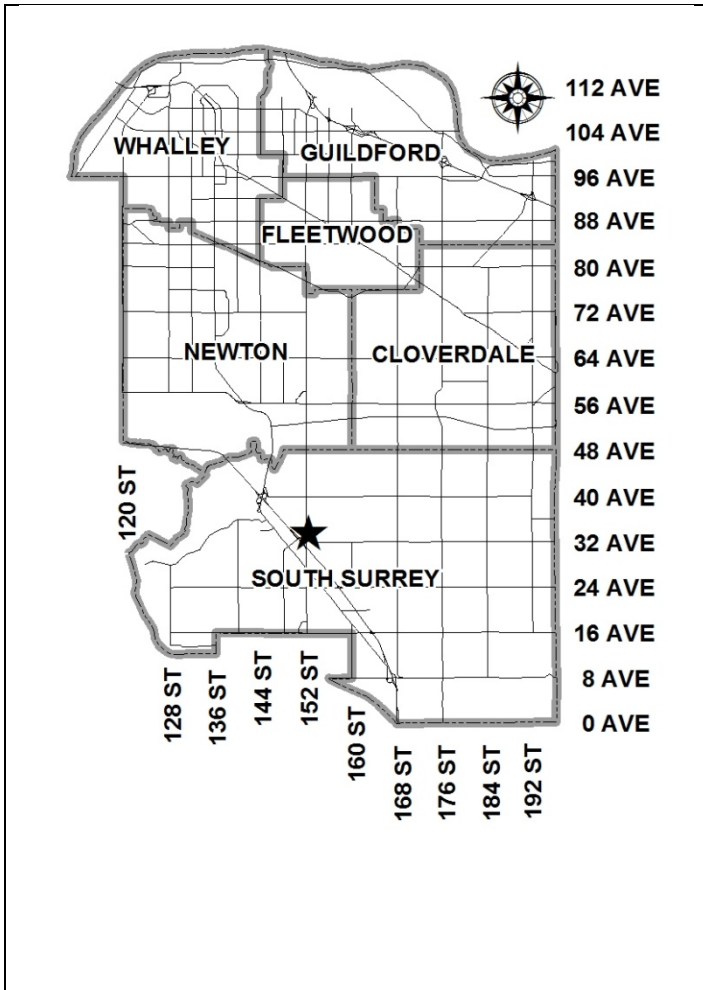


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7912-0211-00

Planning Report Date: December 10, 2012



**PROPOSAL:**

- **NCP amendment** from Garden Apartment to Residential Institutional
- **Rezoning** from CD, RH and A-1 to CD Development Permit
- **Housing Agreement Amendment**

in order to permit the expansion of a senior's complex care facility.

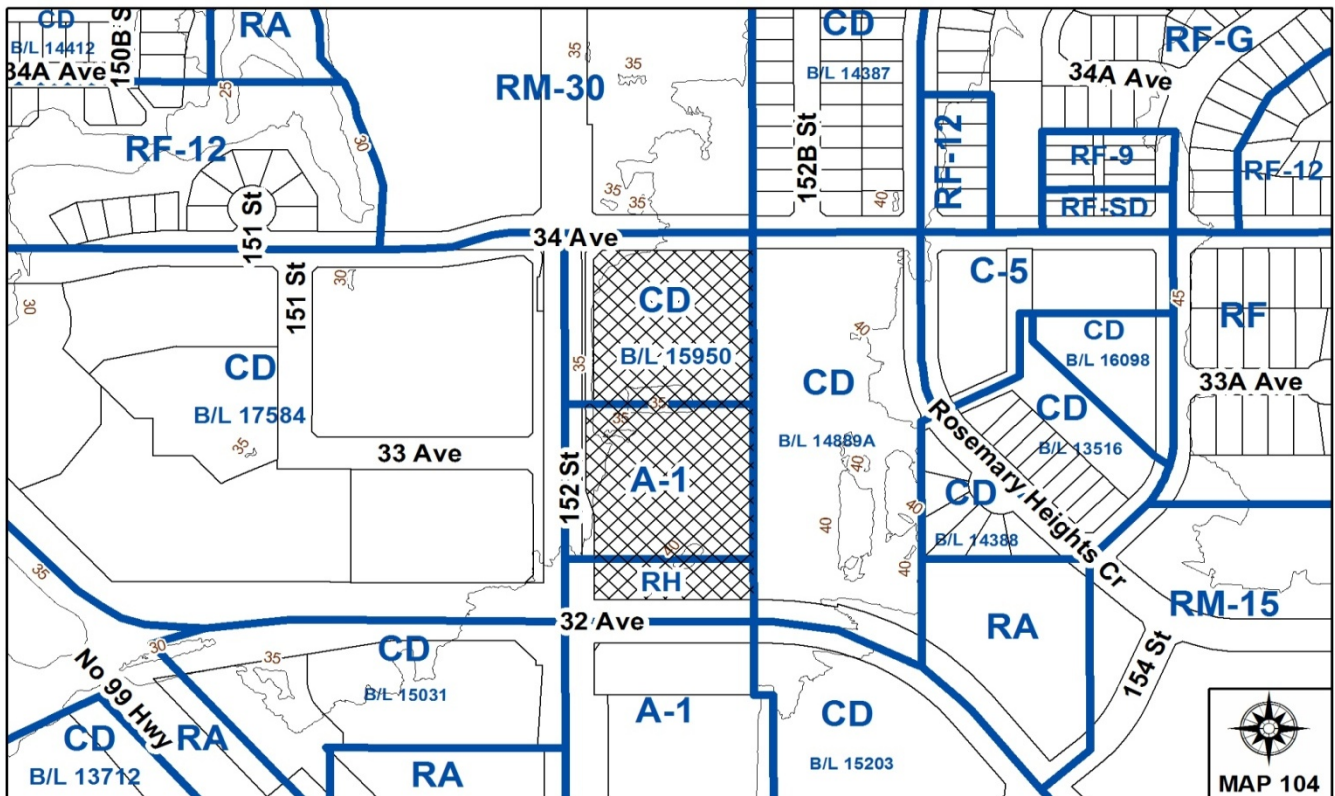
**LOCATION:** 3336 - 152 Street, 15211 - 32 Avenue and 15240 - 34 Avenue

**OWNER:** City of Surrey  
 Rosemary Heights Seniors Village Holdings Ltd.

**ZONING:** CD, A-1 and RH

**OCP DESIGNATION:** Multiple Residential

**NCP DESIGNATION:** Garden Apartment/Institutional Residential



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - Rezoning; and
  - Amendment to the Rosemary Housing Agreement
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES REGULATIONS

The application requires an amendment to the Rosemary Heights Central Neighbourhood Concept Plan (NCP), for a portion of the site, from Garden Apartment (3 Storeys) to Institutional Residential.

### RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- The developed portion of the site, which is the existing senior's care facility, is currently designated Institutional Residential.
- This property was re-designated from Garden Apartment to Institutional Residential as part of Development Application 7905-0246-00 which allowed for the care facility.
- The proposed amendment to Institutional Residential for the undeveloped portion of the site is a reasonable expansion of the existing designation to the site.
- The design of the proposed building is residential in character and is in keeping with the building form for the Garden Apartment designation.
- A Housing Agreement is registered on title for the existing assisted living units which will be amended to include the independent living units.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 15950), "General Agricultural Zone (A-1)" and "Half-Acre Residential Zone (RH)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. a By-law be introduced to amend Rosemary Housing Agreement Authorization By-law.
3. Council approve the applicant's request to reduce the amount of required outdoor amenity space from 240 sq. m (2,583 sq. ft) to 224 sq. m (2,411 sq. ft).
4. Council authorize staff to draft Development Permit No. 7912-0211-00 generally in accordance with the attached drawings (Appendix V).
5. Council instruct staff to resolve the following issue(s) prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) final approval from the Ministry of Transportation & Infrastructure;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department, including comments from the Advisory Design Panel;
  - (g) finalization of the Housing Agreement Amendment;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (i) registration of a statutory right of way through the site for public rights of passage;
  - (j) the applicant address the deficit in outdoor amenity area;
6. Council pass a resolution to amend Rosemary Heights Central NCP to redesignate a portion of the site from Garden Apartment (3 Storeys) to Institutional Residential when the project is considered for final adoption (Appendix IV).

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements]as outlined in Appendix III.
Parks, Recreation & Culture:	No concerns.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary approval granted for one year.
Surrey Fire Department:	By-law 15740, E-Comm Amplification, applies to the building. One of the internal drive-isle curb may require minor adjustment.
Realty Services:	Realty has entered into a purchase and sale agreement for 15211 -32 Ave., currently owned by the City of Surrey.

SITE CHARACTERISTICS

Existing Land Use: Senior's care facility and undeveloped land.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 34 Avenue):	Townhouse.	Multiple Residential/Garden Apartment	RM-30
East:	Townhouses.	Urban/Townhouses	CD
South (Across 32 Avenue):	Vacant land/Utility power facility.	Industrial/Business Park	A-1
West (Across 152 Street):	Undeveloped. Future medium-high density residential.	Multiple Residential/Mixed Residential	CD

JUSTIFICATION FOR PLAN AMENDMENT

- A portion of the subject site is currently designated Institutional Residential, which comprises the existing care facility, approved under Development Application No. 7905-0246-00.
- The proposed amendment from Garden Apartment (3 Storeys) to Institutional Residential is applicable to the undeveloped portion of land, as shown in Appendix IV.
- The Institutional Residential designation allows a building form similar to Garden Apartment. The existing care facility buildings are two (2) and three (3) storeys.

- There are two new buildings proposed: the residential care building is three (3) storeys and the independent living building is four (4) storeys and five (5) storeys.
- The site location of 152 Street and 32 Avenue is a major intersection with high traffic volumes.
- The surrounding land use context to the west, across 152 Street, includes an approved medium to high density residential development (Polygon). A six (6) storey apartment building is included in the approved development (approved under Development Application No. 7911-0241-00).
- Three (3) storey townhouses exist north of 34 Avenue and two (2) storey townhouses exist immediately east.
- The interface conditions with the existing two (2) storey townhouses to the east was reviewed and approved as part of the original development application for the care facility (7905-0246-00).
- The current proposal and interface has also been reviewed and endorsed by the townhouse strata to the east.
- In general, the proposed building heights are similar to the heights outlined in the Garden Apartment designation.
- Both the Rosemary Heights neighbourhood commercial development and linear trail system are located approximately one block east of the subject site. These amenities provide for the enjoyment of both residents of the facility and employees.

## DEVELOPMENT CONSIDERATIONS

### Background:

- Development Application No. 7905-0246-00, which proposed a senior's assisted living and residential care facility, received final adoption by Council on October 16, 2006.
- This portion of the site was rezoned to CD (By-law No. 15950) and approved one (1) assisted living building, consisting of 63 units and one (1) residential care building, consisting of 88 residential care beds.
- The CD Zone was based on the Special Care Housing (2) Zone (RMS-2) and Multiple Residential 45 Zone (RM-45).
- These buildings have been constructed and the care facility is presently in operation. The residential care is regulated by the Community Care and Assisted Living Act, S.B.C. 2002, c.75.
- Most of the beds and assisted living units are funded by Fraser Health Authority and BC Housing.

- A Housing Agreement was registered on title as part of this application to restrict the age of occupancy to 65 years or greater for the multiple unit residential assisted living building.

Current Proposal:

- In conjunction with the NCP amendment proposal, the applicant proposes to rezone the site from Comprehensive Development Zone (CD By-law No. 15950), General Agriculture Zone (A-1) and Half Acre Residential Zone (RH) to a new Comprehensive Development Zone (CD), in order to allow for a senior's care facility, comprising of assisted and independent living and residential care. Appendix I includes a Project Site Plan.
- There are three (3) properties that form the subject site and development application. All three (3) lots are proposed to be consolidated into one (1) lot, under one (1) CD Zone.
- The subject site is located between 32 Ave. and 34 Ave and 152 Street, and is a significant entry point into the Rosemary Heights Central neighbourhood.
- Access to the site will remain in the existing location at 34 Avenue. There will be an emergency only access along 32 Avenue.
- The combined site area, after dedication, is 1.9 ha. / 19,082 sq. m (4.7 ac / 205,404 sq.ft.).
- There are two (2) new buildings proposed, in addition to the existing buildings on the site:
  - One (1) new residential care building is proposed, consisting of 167 new residential care beds.
  - One (1) new independent living building is proposed, consisting of 80 units.
- With the two new proposed buildings, the total number of residential care beds on the site will be 255 and the total number of assisted and independent living units will be 143.
- Rosemary Heights Seniors Village seeks to provide a comprehensive campus of care model which allows residents to remain within the facility as their care requirements change.
- The current project is proposed to be phased. Phase I is proposed to be the independent living building, located at the corner of 32 Ave. and 152 St., and phase II is proposed to the residential care building.
- The independent living building is to be privately owned and operated. The units will be rental units to individuals over the age of 65. The building is not intended to be stratified or sold.
- The residential care building is subject to public funding timelines, as majority of beds are funded by Fraser Health authority and not privately funded.

### Housing Agreement

- A housing agreement is registered on title and is proposed to be amended as part of this development application. The amendment includes the additional lands included in the subject site and outlines the number allowable multiple residential units (143) and minimum age of occupant (65) (Appendix VIII).

### City-owned Land:

- 15211 – 32 Avenue, which forms part of this development application, is currently owned by the City of Surrey.
- Corporate Report No. R193, prepared by the Engineering Department, (Realty Services) recommended the sale of 15211 – 32 Ave. as surplus property.
- This recommendation was approved at the September 10, 2012 Council meeting.
- A purchase and sale agreement for this property has been prepared, with conditions including the approval and completion of Development Application No. 7912-0211-00.

### CD Zone:

- A new CD Zone is proposed that will be applied to the site, which will be one (1) lot in the future.
- The proposed CD Zone is similar to the existing CD Zone for the care facility portion of the subject site.
- The proposed CD Zone is based on a combination of the Special Care Housing 2 Zone (RMS-2) and Multiple Residential 45 Zone (RM-45).
- The zone outlines provisions generally reflective of the RMS-2 and RM-45 zone.
- The major difference is the proposed floor area ratio (FAR) of 1.30, which exceeds the allowable floor area ratio (FAR) of 1.00 in the RMS-2 Zone but matches the maximum allowed in the and RM-45 Zone. The increased FAR is supportable as the designation in the Official Community Plan (OCP) is Multiple Residential, which allows for a maximum floor area ration (FAR) of 1.50. The site is also centrally located at a major intersection.
- The proposed building setbacks range from 8m to 15m and exceed the required 7.5m of both the RMS-2 and RM-45 Zone.

### Parking:

- All of the proposed parking for the project is underground, with the exception of five (5) stalls.
- The number of existing parking stalls is 93 and the number of proposed stalls is 112. The total number of parking stalls proposed is 205.

- The number of parking stalls is in compliance with current City requirements for senior's facilities.
- The parking rates are 0.55 stalls per unit for independent living, 0.50 stalls per unit for assisted living and 0.45 stalls per residential care bed.

## DESIGN PROPOSAL AND REVIEW

### Current Proposal:

- The independent living building is proposed to be located at the corner of 32 Avenue and 152 Street and the residential care building is proposed to be located south of the existing residential care building.
- The combined floor area ratio (FAR) for the project is 1.30. The combined floor area of the proposed new buildings are 16,052 sq. m (172,499 sq. ft) The total building floor area is 24,746 sq.m (266,369 sq. ft).
- The residential care building is proposed to be 12.5m (41 ft) in height and the independent living building is 14.91m (49 ft.).
- The buildings are proposed to be setback 8.1m (26.5 ft) from the west property boundary, 8.6m (28 ft.) from the south property boundary and 15.5m (65 ft.) from the east property boundary.
- The design of the proposed buildings is similar in architectural style to that of the existing buildings.
- The character of the buildings is very much residential and blends in with the architectural character of the Rosemary Heights Central neighbourhood.
- The building is anchored at the corner of 32 Avenue and 152 Street. The corner elements and rooflines are differentiated from and scaled to meet the corner.
- The material selection and colour scheme are consistent with the existing building. Materials include hardi-board and hard-shake, concrete roof tile, wood post and beams and cultured stone. The colour scheme is earthtone, with cream and moss as prominent colours.
- Architectural articulation is addressed through variety in rooflines, building materials and colours, balconies and landscaping.
- The independent living building is required to provide outdoor and indoor amenity area as per the Zoning By-law. The proposed amount of indoor amenity area at \_ exceeds the Zoning By-law requirement of 240 sq. m (2,580 sq. ft).
- The amount of outdoor amenity area provided is 224 sq.m (2,411 sq. ft) which is 16 sq.m (172 sq. ft) less than the required 240 sq. m (2,580 sq. ft). The outdoor areas are located in



the courtyard area between the independent and assisted living building. The applicant will be required to pay cash-in-lieu for this difference.

- Statutory rights of ways are required for both the multi-use pathway along 152 Street and the Pioneer Greenway along 32 Avenue.
- A statutory right of way is required through the site in order to provide functional pedestrian connectivity in the immediate area. The right of way extends east to west and continues through the proposed independent living and residential care buildings. The location of this right of way provides direct access to the existing bus stop on 152 Street. A pergola is located at the entrance to the right of way along 152 Street.
- The applicant consulted with the existing townhouse strata to the east regarding the proposed development. A substantial building setback from the east property line, adjacent to the townhouses, is proposed as part of the Development Permit. The strata has expressed support for the proposed development.

### Landscape Plan

- The landscape plan was developed with particular attention to the streetscapes along 32 Avenue and 152 Street.
- There are multi-use pathways along both 152 Street and 32 Avenue, interface and grading conditions that were considered in the landscape plan and planting materials.
- There is significant planting along both 152 Street and 32 Avenue which screen the first floor of the building, soften the edge and provide privacy for the future residents.
- A water feature within the site is proposed at the corner 152 Street and 32 Avenue and provides additional visual interest for the corner.
- The landscaping plan for the internal courtyard provides for a functional and pleasant outdoor area for future residents that connect to the internal functions of the buildings.
- The landscape architect provided a letter confirming that there are no by-law size trees on the site.
- A phased landscape plan is proposed which provides fencing and planting should the independent living building be constructed prior to the residential care building.
- The landscape plan is subject to detailed comments outlined by City staff. These comments include the requirement for additional information related to tree planting within the internal courtyard and the height of planting along 152 Street.

### ADVISORY DESIGN PANEL

- This project was reviewed at the October 25, 2012 Advisory Design Panel (ADP) meeting.

- The project received comments related to the site plan, including the statutory right of way through the site, the building form and character, the livability for future residents, the outdoor amenity area and landscaping plan and the sustainable design features of the project (Draft ADP minutes attached as Appendix VI).
- The ADP recommended that the project be resubmitted to ADP, at the discretion of planning staff.
- Staff are generally satisfied with the proposed changes that were made since the October 25, 2012 ADP submission and have scheduled the project for the December 6, 2012 ADP meeting.
- Final approval of the project will be subject to additional comments provided at the December 6, 2012 ADP.

### PRE-NOTIFICATION

Pre-notification letters were mailed out on August 30, 2012 and staff received one (1) comment.

- The area resident provided the comment that a five (5) storey building was out of character for the neighbourhood and was not supportive of the height.

*(The portion of the independent living building proposed to be five (5) stories is situated at the corner of 152 Street and 32 Avenue. The building steps down to be three (3) storeys at both the east and north property boundaries.*

*An approved development, that includes a six (6) storey apartment building, is located west across 152 Street. The proposed five (5) storey building is considered reasonable in response to this future condition and the busy nature of the intersection.)*

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 18, 2012. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The site is located in the Rosemary Heights Central NCP at 32 Ave. and 152 Street, which is a major intersection and centrally located.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The FAR exceeds the density in the NCP.</li> <li>• A variety of senior's housing and care is provided with a mixture of unit sizes.</li> <li>• Senior's rental units are provided.</li> </ul>

Sustainability Criteria	Sustainable Development Features Summary
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Low Impact Development Standards (LIDS) are proposed as part of this project.</li> <li>• The site is currently bare. The project proposes significant landscaping and trees.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• A statutory right of way is proposed through the site, connecting to the bus stop on 152 Street, and to the Rosemary Heights community.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• In close proximity to transit.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• The adjacent property owners were consulted.</li> </ul>

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary, Project Data Sheets and Project Site Plan
Appendix II.	Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV	NCP Plan Amendment
Appendix V	Draft Development Permit No. 7912-0211-00
Appendix VI	ADP Comments
Appendix VII	Proposed CD By-law
Appendix VIII	Housing Agreement Amendment

### INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by CEI Architects and JHL Design Group, respectively, dated November 28, 2012.

*original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

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## DEVELOPMENT DATA SHEET

Proposed: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed (Consolidated)
<b>LOT AREA*</b> (in square metres)		
Gross Total		20,398
Road Widening area		1,315
Undevelopable area		-
Net Total		19,082
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	45%	44%
Paved & Hard Surfaced Areas		30%
Total Site Coverage		74%
<b>SETBACKS ( in metres)*Surveyed Plan</b>		
Front (North) – 34 <sup>th</sup> Avenue*	7.5	7.90
Rear (South) – 32 <sup>nd</sup> Avenue	7.5	8.69
Side #1 (East) – Existing AL Building*	7.5	16.82
Side #1 (East) – Existing RC Building*	7.5	14.86
Side #1 (East) – Proposed RC Building	7.5	16.79
Side #1 (East) – Proposed IL Building	7.5	15.51
Side #2 (West) – Existing AL Building*	7.5	9.70
Side #2 (West) – Existing RC Building*	7.5	7.99
Side #2 (West) – Proposed RC Building	7.5	8.15
Side #2 (West) – Proposed IL Building	7.5	8.15
<b>BUILDING HEIGHT (in metres/storeys)</b>		8.2m (2) to 14.9m (5)
Existing Assisted Living Building*		12.32 – 3 Levels
Existing Residential Care Building*		8.21 – 2 Levels
Proposed Residential Care Building**		12.47 – 3 Levels
Proposed Independent Living Building**		14.90 – 4 to 5 Levels
**Please refer detail calculations		
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		300
One Bed		95
Two Bedroom		3
Three Bedroom +		0
Total		398
<b>FLOOR AREA: Residential / Institutional</b>		24,746 sq.m
<b>FLOOR AREA: Commercial</b>		N/A
Retail		
Office		
Total		

Required Development Data	Minimum Required / Maximum Allowed	Proposed (Consolidated)
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		24,746 sq.m

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

## MULTIPLE BUILDINGS DATA SHEET

Required Development Data	Minimum Required / Maximum Allowed	Proposed (Consolidated)					
		MIN	UNITS	HA	AC		
DENSITY							
# of units/ha /# units/acre (gross)		179	398	2.22	5.04		
# of units/ha /# units/acre (net)		192	398	2.08	4.72		
FAR (gross)							
FAR (net)					1.3		
AMENITY SPACE (area in square metres)			AL	RC-I	RC-II	IL	
Indoor			63	88	167	80	
Outdoor			225	575	350	225	
PARKING (number of stalls)							
Commercial (Educational Space – 3/100 sq m)	15						
Industrial							
Residential Bachelor + 1 Bedroom							
2-Bed							
3-Bed							
Residential Visitors							
			0.5	0.45	0.45	0.55	
Institutional Required*	190		32	40	75	44	
*Per City of Surrey Email of August 12, 2012							
Total Number of Parking Spaces	205						
Number of disabled stalls							
Number of small cars							
Tandem Parking Spaces: Number / % of Total Number of Units							



Required Development Data	Minimum Required / Maximum Allowed	Proposed (Consolidated)					
		MIN	UNITS	HA	AC		
Size of Tandem Parking Spaces width/length							
Heritage Site							
SETBACKS (in metres)* Surveyed Plan							
Front (North) – 34 <sup>th</sup> Avenue*	7.5	7.90					
Rear (South) – 32 <sup>nd</sup> Avenue*	7.5	8.69					
Side #1 (East) – Existing AL Building*	7.5	16.82					
Side #1 (East) – Existing RC Building*	7.5	14.86					
Side #1 (East) – Proposed RC Building	7.5	16.79					
Side #1 (East) – Proposed IL Building	7.5	15.51					
Side #2 (West) – Existing AL Building*	7.5	9.70					
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Side #2 (West) – Proposed RC Building	7.5	8.15					
Side #2 (West) – Proposed IL Building	7.5	8.15					
Building Height (in metres/storeys)		8.2m (2) to 14.9m (5)					
Existing Assisted Living Building*		12.32					
Existing Residential Care Building*		8.21					
Proposed Residential Care Building**		12.47					
Proposed Independent Living Building**		14.90					
**Please refer detail calculations							
NUMBER OF RESIDENTIAL UNITS / SIZE RANGE		250					
			SIZE (sq ft)				
	NUMBERS	MIN					
Bachelor	300	250					
One Bedroom	95	530					
Two Bedroom	3	1,012					

Required Development Data	Minimum Required / Maximum Allowed	Proposed (Consolidated)					
Three Bedroom +	-						
TOTAL FLOOR AREA (sq ft)							

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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SCALE= 1 :300



500 1500 West Georgia Street  
 Vancouver, BC V6G 2Z6  
 TEL: 604 487-7888 FAX: 604 482-5398  
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SEALS:

CLIENT:



Retirement Concepts

THIS IS A CONCEPT DRAWING AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT SHALL VERIFY ALL DIMENSIONS AND MATERIALS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CLIENT SHALL VERIFY ALL DIMENSIONS AND MATERIALS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CLIENT SHALL VERIFY ALL DIMENSIONS AND MATERIALS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

METRIC

NO.	DATE	ISSUED FOR	DESCRIPTION
01	2012-07-11	SOLED FOR REVIEW	SOLED FOR REVIEW
02	2012-10-01	SUBMISSION FOR 2012/10/01 ADVISORY DESIGN PANEL, FILE NO. 112-0311-00	SUBMISSION FOR 2012/10/01 ADVISORY DESIGN PANEL, FILE NO. 112-0311-00
03	2012-11-28	SUBMISSION FOR 2012/11/28 ADVISORY DESIGN PANEL, FILE NO. 112-0311-00	SUBMISSION FOR 2012/11/28 ADVISORY DESIGN PANEL, FILE NO. 112-0311-00

PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15240-04 Avenue  
 Surrey, British Columbia

DRAWING TITLE  
**CONTEXT SITE PLAN**

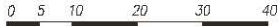
CHECKED BY: Checker DRAWN BY: Author

SCALE: 1:300 DATE: 2012.11.19

PROJECT NO. DRAWING NO.

2012 - 024 A1.02b

B.C. LAND SURVEYOR'S SITE SKETCH OF PROPOSED LOT 1, SECTION 26, TOWNSHIP 1, NEW WESTMINSTER DISTRICT



ALL DISTANCES IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.

The intended plot size of this plan is 279mm in width by 432mm in height (B Size) when plotted at a scale of 1:750



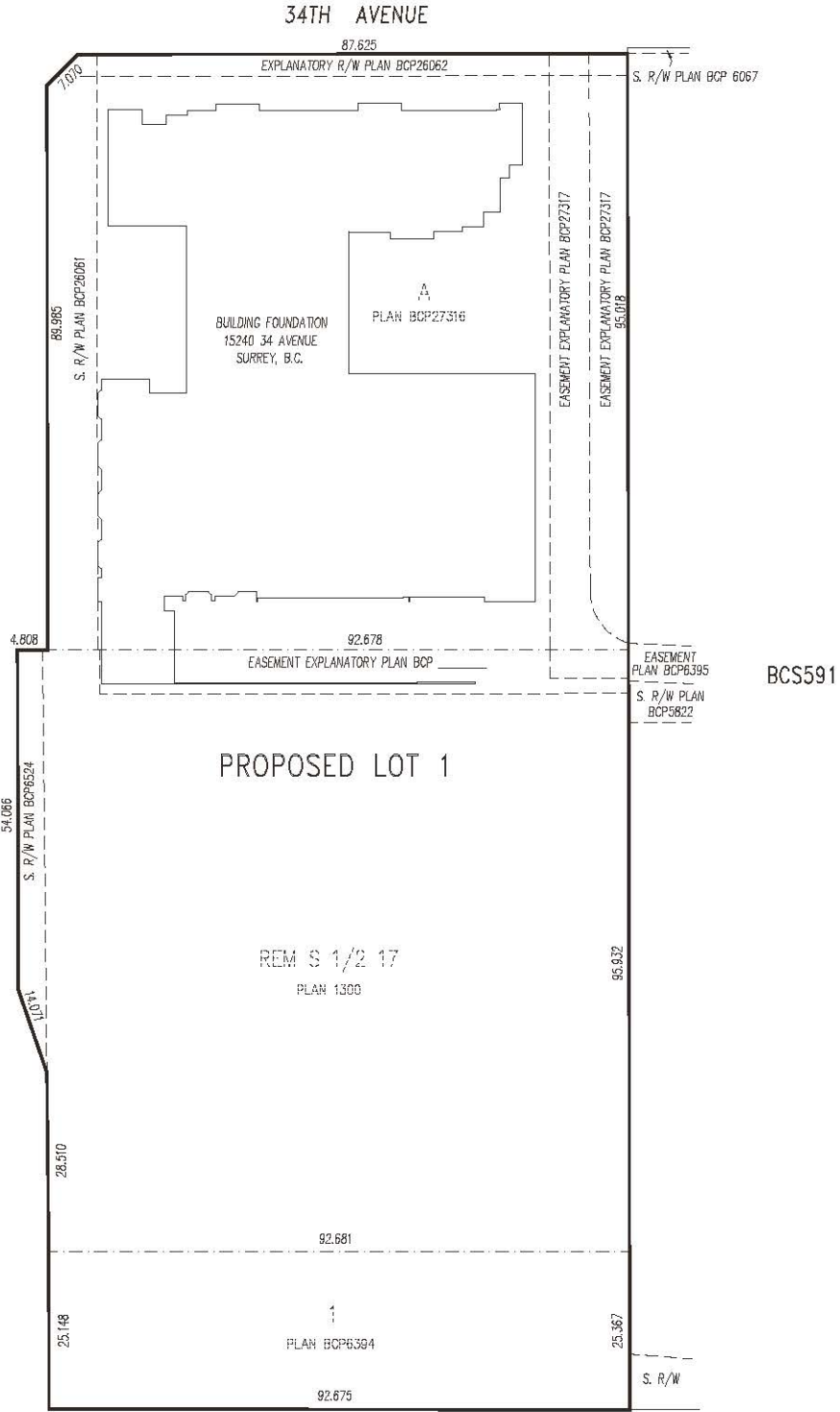
This document shows the relative location of the structures and features with respect to the boundaries of the parcel described above. It shall not be used to define property lines or property corners, and should be used in conjunction with a current title search to determine any charges which may affect land use.

LOT DIMENSIONS ARE FROM LAND TITLE OFFICE PLANS

CHARGES WHICH MAY AFFECT TITLE:

- BV416302 RIGHT OF WAY
- BA568034 RIGHT OF WAY
- BA568035 RIGHT OF WAY
- BA568036 RIGHT OF WAY
- BA214133 EASEMENT
- BA214134 EASEMENT
- BA214129 COVENANT
- BA214139 COVENANT
- BA214137 COVENANT
- BA214140 COVENANT
- BA214141 COVENANT
- BA214142 COVENANT
- BA214143 COVENANT
- BA593107 COVENANT
- BB95751 RIGHT OF WAY
- BB95752 RIGHT OF WAY

152ND STREET



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CERTIFIED CORRECT BCL'S

Dated this \_\_\_\_\_ day of \_\_\_\_\_ 2012

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 13, 2012** PROJECT FILE: **7812-0211-00**

---

RE: **Engineering Requirements (Institutional)  
Location: 15211-32 Avenue, 15240-34 Avenue & 3336-152 Street**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 4.808 metres fronting 152 Street for 34 m arterial.
- Dedicate 4.942 metres fronting 32 Avenue for 30 m arterial.
- Provide Statutory Rights-of-way (SROWs) for Mutli-use pathways fronting 152 Street and 32 Avenue.
- Provide SROWs and easements for emergency and pedestrian access as required through the site.

#### *Works and Services*

- Construct a multi-use pathway fronting 152 Street.
- Construct ADA compliant ramp and stair access.
- Construct an emergency access to 32 Avenue.
- Provide necessary service connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

LR



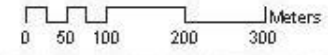
From Garden Apartment (3-Storeys) to Institutional Residential

- |                                     |  |                           |
|-------------------------------------|--|---------------------------|
| Suburban 1 Acre Residential         | Single Family Small Lot                                      | Institutional Residential |
| Suburban 1/2 Acre Residential       | Townhouses   | Buffer/Park / Open Space  |
| Single Family Residential           | Garden Apartments (3-Storeys)                                | Elementary School         |
| Compact Single Family Residential   | Neighbourhood Commercial                                     | Pond                      |
| Clustering at Single Family Density | Institutional (Religious, College, Library, Fire Hall, etc.) | Golf Course               |
| Compact Single Family/Cluster       |  |                           |

**ROSEMARY HEIGHTS CENTRAL LAND USE PLAN**

CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT

Approved by Council: May 6, 1999 Amended 17 0 d. 2012



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# ROSEMARY HEIGHTS - PHASE II

## CITY OF SURREY



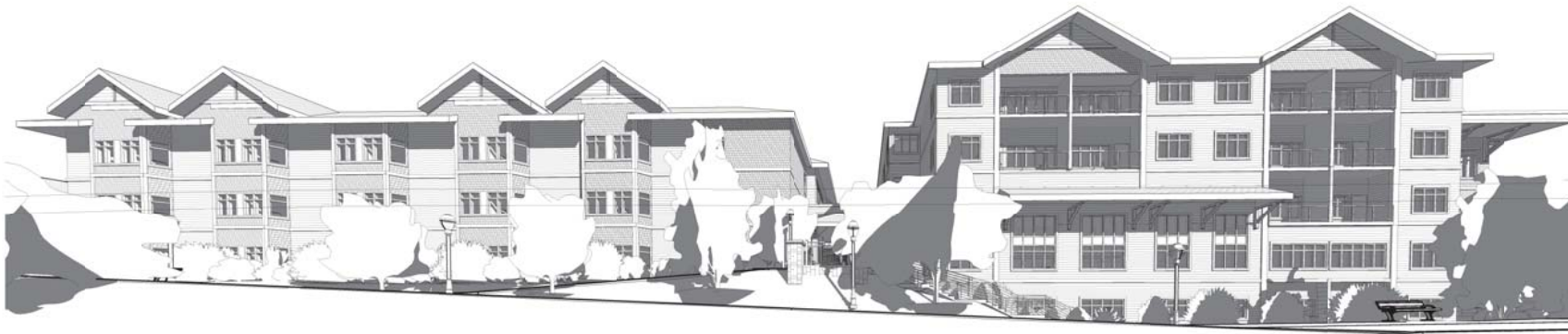
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**CONSULTANTS:**

<b>OWNER:</b> ROSEMARY HEIGHTS SENIORS VILLAGE HOLDINGS LTD. TEL: 604-662-4969 FAX: 604-662-4929 1130 West Georgia Street Vancouver, B.C. V6X 1P4	<b>CONSTRUCTION MANAGER:</b> RETIREMENT CONCEPTS DEVELOPMENTS LTD. TEL: 604-514-6688 FAX: 604-514-6899 20363 85 Ave. Langley, B.C. V2Y 3E3	<b>ARCHITECTURAL:</b> CEI ARCHITECTURE PLANNING INTERIORS TEL: 604-687-1898 FAX: 604-682-5398 500 - 1500 West Georgia Street. Vancouver, BC, V6G 2Z6	<b>LANDSCAPE:</b> JHL Design Group Inc. TEL: 604-263-8613 FAX: 1-866-277-9554 4370 Maple Street Vancouver, B.C. V6L 3W1	<b>CIVIL:</b> Wedler Engineering TEL: 604-798-4873 204-2790 Gladwin Road Abbotsford, B.C. V2T 4S8	<b>STRUCTURAL:</b> NAME: TEL: : FAX: : ADDRESS: CITY, BC, POSTAL CODE	<b>MECHANICAL:</b> NAME: TEL: : FAX: : ADDRESS: CITY, BC, POSTAL CODE	<b>ELECTRICAL:</b> NAME: TEL: : FAX: : ADDRESS: CITY, BC, POSTAL CODE	<b>GEOTECHNICAL:</b> NAME: TEL: : FAX: : ADDRESS: CITY, BC, POSTAL CODE	<b>CODE CONSULTANTS:</b> NAME: TEL: : FAX: : ADDRESS: CITY, BC, POSTAL CODE
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**PHASE II - DRAWING LIST:**

Sheet List		Sheet List		Sheet List	
A1.01	COVER PAGE	A2.02	UNIT PLANS	L-1	OVERALL REFERENCE PLAN/ SECTIONS
A1.02a	CONTEXT SITE PLAN	A2.03	UNIT PLANS	L-2	LAYOUT PLAN/ MATERIAL PLAN
A1.03a	COLOURED RENDERING	A2.04	UNIT PLANS	L-3	LAYOUT PLAN/ MATERIAL PLAN
A1.03b	COLOURED RENDERING	A2.05	RC - UNIT PLANS	L-4	LIGHTING PLAN
A1.04	SITE PLAN	A2.06	SITE SECTIONS AND DETAILS	L-5	OVERALL REFERENCE PLANT LIST PLANTING DESIGN FOR NORTH SECTION
A1.05	SITE CONTEXT	A4.01	OVERALL EXTERIOR ELEVATIONS - RC	L-5B	TEMPORARY LANDSCAPE PLAN FOR PH2
A1.06	SITE ANALYSIS	A4.02	OVERALL EXTERIOR ELEVATIONS - RC	L-6	PLANTING DESIGN FOR MIDDLE SECTION
A1.07	LEVEL 0 & LEVEL 1 OVERALL FLOOR PLANS	A4.03	OVERALL EXTERIOR ELEVATIONS - IL	L-7	PLANTING DESIGN FOR SOUTH SECTION
A1.08	LEVEL 2 & LEVEL 3 OVERALL FLOOR PLANS	A4.04	OVERALL EXTERIOR ELEVATIONS - IL	L-8	WATER FEATURE LAYOUT/ PLAN/ ELEVATIONS
A1.09	LEVEL 4 & ROOF OVERALL FLOOR PLANS	A4.05	STREETSCAPE ELEVATIONS	L-8	WATER FEATURE LAYOUT/ PLAN/ ELEVATIONS
A1.10	PHASING DIAGRAM	A4.06	ADJACENT PROPERTY ELEVATIONS	L-9	WATER FEATURE LAYOUT/ PLAN/ ELEVATIONS
A2.01	UNIT PLANS	A5.01	MATERIALS & SIGNAGE DETAILS		
		A5.02	SUN STUDY DIAGRAMS		



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**PROJECT TITLE**  
 ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2

15240-34 Avenue  
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**DRAWING TITLE**  
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BIRD'S EYE VIEW OF ROSEMARY HEIGHTS PHASE 2



VIEW FROM CORNER OF 152ND STREET AND 32ND AVENUE

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PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**  
 15240-34 Avenue  
 Surrey, British Columbia

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**2012 - 024 A1.03a**

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VIEW OF INDEPENDENT LIVING FROM THE SOUTH EAST



VIEW OF RESIDENTIAL CARE FROM THE NORTH WEST



VIEW OF RESIDENTIAL CARE FROM THE NORTH EAST



VIEW EAST FROM THE CORNER OF 152ND STREET AND 32ND AVENUE ALONG THE MULTI-USE-PATHWAY. PLANTINGS HAVE BEEN REMOVED FROM VIEW FOR CLARITY IN REPRESENTING THE CHANGE IN GRADE.



STAIRCASE ON 152ND STREET. PLANTINGS HAVE BEEN REMOVED FROM VIEW FOR CLARITY IN REPRESENTING THE CHANGES IN GRADE.



VIEW FROM 152ND STREET AND 32ND AVENUE OF PHASE 2 PART 1



VIEW FROM MUP OFF 152ND STREET OF PHASE 2 PART 1

\*PLANTINGS SHOWN ARE CONCEPTUAL IN NATURE AND ARE NOT AN ACTUAL REPRESENTATION OF THE PLANT SPECIES SPECIFIED BY LANDSCAPE ARCHITECT

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PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15040-34 Avenue  
 Surrey, British Columbia

DRAWING TITLE  
**SITE PLAN**

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 PROJECT NO. DRAWING NO.

**2012 - 024 A1.04**



**SITE PLAN LEGEND:**

	BUILDING EXIT
	BUILDING ENTRY
	CROSSWALK
	ELEVATION
	6" CURB
	ACCESSIBLE PARKING STALL
	BUS STOP

**1 SITE PLAN**  
 A1.04 SCALE: 1 : 250

32ND AVENUE DIVERSION



SEALS:

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PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15240-34 Avenue  
 Surrey, British Columbia

DRAWING TITLE  
**SITE ANALYSIS**

CHECKED BY: Checker DRAWN BY: ARJA

SCALE: DATE: 2012.11.19

PROJECT NO. DRAWING NO.

**2012 - 024 A1.06**



WIDE GREENWAY THAT WAS ESTABLISHED IN ROSEMARY HEIGHTS PHASE I HAS BEEN CARRIED THROUGH PHASE II.

VEHICLE ACCESS TO ROSEMARY HEIGHTS SENIORS VILLAGE.

ENTRANCE TO ROSEMARY HEIGHTS SENIORS VILLAGE PHASE I - ASSISTED LIVING AND RESIDENTIAL CARE

WATER FEATURE AT THE CORNER OF 152ND STREET AND 34TH AVENUE.

PARKADE ENTRANCE OF ROSEMARY HEIGHTS PHASE I IS ALSO THE PARKADE ENTRANCE OF ROSEMARY HEIGHTS PHASE II

SHARED DROP OFF FOR ENTRANCES TO BOTH PHASE II - INDEPENDENT LIVING AND RESIDENTIAL CARE

CREATING MEANING SHARED GREEN SPACE FOR RESIDENTS OF THE INDEPENDENT LIVING WAS A GUIDING PRINCIPLE.

FIRE TRUCK ACCESS

THROUGH DISCUSSIONS WITH THE CITY OF SURREY TRANSPORTATION ENGINEERING AND REAL ESTATE DEPARTMENT, THE MULTI-USE PATHWAY IS TO BE LOCATED FURTHER TO THE NORTH AND HAS BEEN INCORPORATED INTO THE DESIGN OF THE PLAN AND BUILDING ELEVATIONS.

PROPOSED MULTI-USE PATHWAY HAS BEEN DESIGNED TO CONNECT TO THE EXISTING MULTI-USE PATHWAY.

WATER FEATURE AT THE CORNER OF 152ND STREET AND 32ND AVENUE

PEDESTRIAN RIGHT OF WAY HAS BEEN DESIGNED TO PASS THROUGH THE PROJECT.

152ND STREET

32ND AVENUE

34TH AVENUE

GREENWAY THAT WAS ESTABLISHED IN ROSEMARY HEIGHTS PHASE I HAS BEEN CARRIED THROUGH PHASE II.

RESIDENTIAL CARE PORTION OF THE PROJECT HAS BEEN PLACED IN THE MIDDLE OF THE PROJECT FOR SAFETY AND SECURITY FOR THE RESIDENTS.

THE RIGHT OF WAY HAS BEEN DESIGNED TO PROVIDE A HANDICAP ACCESSIBLE ROUTE TO THE BUS STOP.

THE BUS STOP



1 PHASE II - PART 1 INCLUDES INDEPENDENT LIVING BUILDING, SITE INFRASTRUCTURE, PARKADE, AND LANDSCAPE  
A1.10 SCALE: 1:300

2 PHASE II - PART 2 INCLUDES RESIDENTIAL CARE BUILDING  
A1.10 SCALE: 1:300

SEALS:

CLIENT:



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PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15240-34 Avenue  
Surrey, British Columbia

DRAWING TITLE  
**PHASING DIAGRAM**

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SCALE: 1:300 DATE: 2012.11.19

PROJECT NO. DRAWING NO.

**2012 - 024 A1.10**

Keynote Legend	
Key Value	Keynote Text
1	HARDI-BOARD SIDING (PAINT FINISH)
2	WOOD LOUVRES (PAINT FINISH)
3	HARDI-SHAKE SIDING (PAINT FINISH)
4	12" WOOD FASCIA (PAINT FINISH)
5	HARDI-TRIM (PAINT FINISH)
6	HARDI-PLANK WAISTBAND (PAINT FINISH)
7	GLAZED GUARD RAIL SYSTEM

Keynote Legend	
Key Value	Keynote Text
8	VINYL WINDOW/ ENTRY SYSTEM
9	CONCRETE ROOF TILE
10	WOOD POSTS/ BEAMS/ BRACKETS (PAINT FINISH)
11	CULTURED STONE C/W STONE WATER TABLE
12	SAFETY GLASS, GLAZING BARS
13	SAND-BLASTED FINISH
14	CULTURED STONE CAP
15	METAL SOLAR SHADE



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PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15040-34 Avenue  
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DRAWING TITLE  
**OVERALL EXTERIOR ELEVATIONS - RC**

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SCALE: 1 : 100 DATE: 2012.11.19

PROJECT NO. DRAWING NO.

**2012 - 024 A4.01**



**1 RC WEST ELEVATION**  
 A4.01 SCALE: 1 : 100



**2 RC NORTH ELEVATION**  
 A4.01 SCALE: 1 : 100

Keynote Legend	
Key Value	Keynote Text
1	HARDI-BOARD SIDING (PAINT FINISH)
2	WOOD LOUVRES (PAINT FINISH)
3	HARDI-SHAKE SIDING (PAINT FINISH)
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6	HARDI-PLANK WAISTBAND (PAINT FINISH)
7	GLAZED GUARD RAIL SYSTEM

Keynote Legend	
Key Value	Keynote Text
8	VINYL WINDOW ENTRY SYSTEM
9	CONCRETE ROOF TILE
10	WOOD POSTS/ BEAMS/ BRACKETS (PAINT FINISH)
11	CULTURED STONE C/W STONE WATER TABLE
12	SAFETY GLASS, GLAZING BARS
13	SAND-BLASTED FINISH
14	CULTURED STONE CAP
15	METAL SOLAR SHADE



1 RC SOUTH ELEVATION  
A4.02 SCALE: 1:100



2 RC EAST ELEVATIONS  
A4.02 SCALE: 1:100

SEALS:

CLIENT:



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1	HARDI-BOARD SIDING (PAINT FINISH)	
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3	HARDI-SHAKE SIDING (PAINT FINISH)	
4	12" WOOD FASCIA (PAINT FINISH)	
5	HARDI-TRIM (PAINT FINISH)	
6	HARDI-PLANK WAISTBAND (PAINT FINISH)	
7	GLAZED GUARD RAIL SYSTEM	

Key Value	Keynote Legend	Keynote Text
8	VINYL WINDOW/ ENTRY SYSTEM	
9	CONCRETE ROOF TILE	
10	WOOD POSTS/ BEAMS/ BRACKETS (PAINT FINISH)	
11	CULTURED STONE C/W STONE WATER TABLE	
12	SAFETY GLASS, GLAZING BARS	
13	SAND-BLASTED FINISH	
14	CULTURED STONE CAP	
15	METAL SOLAR SHADE	

1 IL WEST ELEVATION  
A4.03 SCALE: 1:96



2 IL NORTH ELEVATION  
A4.03 SCALE: 1:100



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13	SAND-BLASTED STONE
14	CULTURED STONE CAP
15	METAL SOLAR SHADE



1 | IL SOUTH ELEVATION  
A4.04 SCALE: 1:100



2 | IL EAST ELEVATIONS  
A4.04 SCALE: 1:100

SEALS:

CLIENT:



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01	2012-07-11	ISSUED FOR REDLINE REVIEW	
02	2012-10-01	SUBMISSION FOR 2012/10/01 ADVISORY DESIGN PANEL, FILE NO. 7912-0211-00	
03	2012-11-29	RESUBMISSION FOR 2012/12/06 ADVISORY DESIGN PANEL, FILE NO. 7912-0211-00	

PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15240-34 Avenue  
Surrey, British Columbia

DRAWING TITLE  
**OVERALL EXTERIOR ELEVATIONS - IL**

CHECKED BY: Checker DRAWN BY: ARIA

SCALE: 1:100 DATE: 2012.11.19  
PROJECT NO. DRAWING NO.

**2012 - 024 A4.04**

SEALS:

CLIENT:



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03	2012-11-29	RESUBMISSION FOR 2012/12/06 ADVISORY DESIGN PANEL; FILE NO. 7912-0211-00	

PROJECT TITLE  
**ROSEMARY HEIGHTS  
 SENIORS VILLAGE -  
 PHASE 2**

15040-34 Avenue  
 Surrey, British Columbia

DRAWING TITLE  
**STREETSCAPE ELEVATIONS**

CHECKED BY: Checker DRAWN BY: ARJA

SCALE: 1 : 300 DATE: 2012.11.19

PROJECT NO. DRAWING NO.

**2012 - 024 A4.05**



**1 OVERALL WEST ELEVATION**

A4.05 SCALE: 1 : 300



**2 OVERALL SOUTH ELEVATION**

A4.05 SCALE: 1 : 300



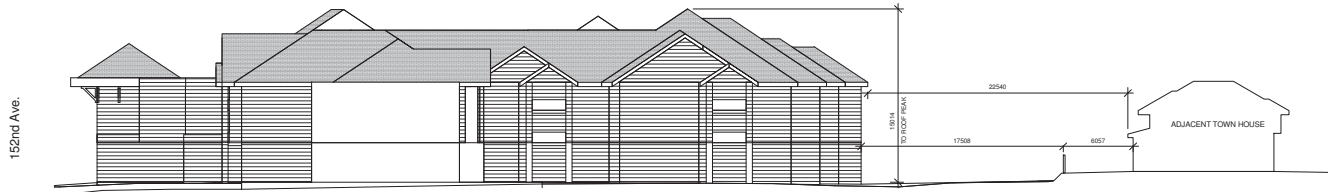
**3 OVERALL EAST ELEVATIONS**

A4.05 SCALE: 1 : 300

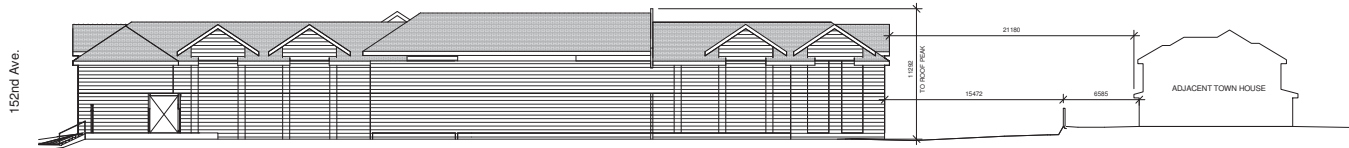


**4 OVERALL NORTH ELEVATION**

A4.05 SCALE: 1 : 300



1 ELEVATION AT EXISTING ASSISTED LIVING BUILDING  
A4.06 SCALE: 1 : 200



2 ELEVATION AT EXISTING RESIDENTIAL CARE  
A4.06 SCALE: 1 : 200



3 ELEVATION AT PROPOSED RESIDENTIAL CARE  
A4.06 SCALE: 1 : 200



4 ELEVATION AT PROPOSED INDEPENDANT LIVING  
A4.06 SCALE: 1 : 200

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02	2012-10-01	SUBMISSION FOR 2012/10/11 ADVISORY DESIGN PANEL, FILE NO. 7912-0211-00	
03	2012-11-29	RESUBMISSION FOR 2012/12/06 ADVISORY DESIGN PANEL, FILE NO. 7912-0211-00	

PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15040-34 Avenue  
Surrey, British Columbia

DRAWING TITLE  
**ADJACENT PROPERTY ELEVATIONS**

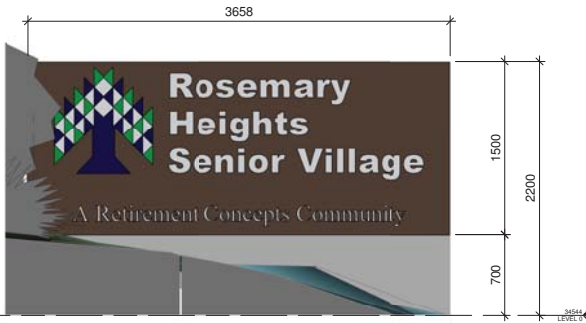
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SCALE: 1 : 200 DATE: 2012.11.19

PROJECT NO. DRAWING NO.

2012 - 024 A4.06

C:\Users\j\Documents\2012\2012-024\A4.06\2012-024\_A4.06.dwg 11/29/2012 1:42:00 PM



1 SIGNAGE  
A5.01 SCALE: 1:20



ROSEMARY HEIGHTS SENIOR VILLAGE SIGN AND WATER FEATURE



JAMES HARDIE- HARRIS CREAM JH80-10



JAMES HARDIE- TRADITIONAL RED JH90-10



JAMES HARDIE- COBBLE STONE JH10-20



BOOTHBAY BLUE JH70-20



CONCRETE ROOF TILE, EXTRUDED, INTERLOCKING- COLUMBIA CONCRETE PRODUCTS- BROWN ANTIQUE



CHERRY WOOD TO MATCH EXISTING



JAMES HARDIE- KHAKI BROWN JH20-30



JAMES HARDIE- HEATHERED MOSS JH50-20



CULTURED STONE- COUNTRY LEDGESTONE BUCKS COUNTY

SEALS:

CLIENT:



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01	2012-07-11	ISSUED FOR REDLINE REVIEW	
02	2012-10-01	SUBMISSION FOR 2012/10/01 ADVISORY DESIGN PANEL, FILE NO. 1912-011-00	
03	2012-11-29	RESUBMISSION FOR 2012/12/06 ADVISORY DESIGN PANEL, FILE NO. 1912-0211-00	

PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**  
15040-34 Avenue  
Surrey, British Columbia

DRAWING TITLE  
**MATERIALS & SIGNAGE DETAILS**

CHECKED BY: Checker DRAWN BY: ARJA

SCALE: 1:20 DATE: 2012.11.19

PROJECT NO. DRAWING NO.

2012 - 024 A5.01

\*PLANTINGS SHOWN ARE CONCEPTUAL IN NATURE AND ARE NOT AN ACTUAL REPRESENTATION OF THE PLANT SPECIES SPECIFIED BY LANDSCAPE ARCHITECT

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**METRIC** ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN MILLIMETERS

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PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15040-34 Avenue  
 Surrey, British Columbia

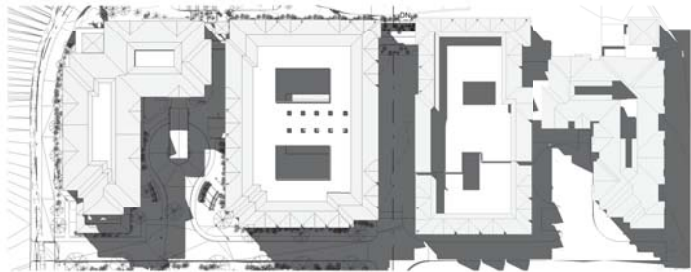
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CHECKED BY: Checker DRAWN BY: ARIA

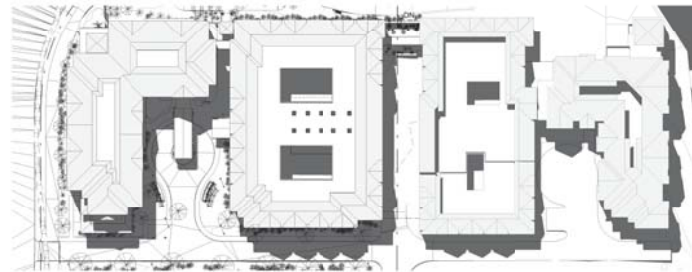
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PROJECT NO. DRAWING NO.

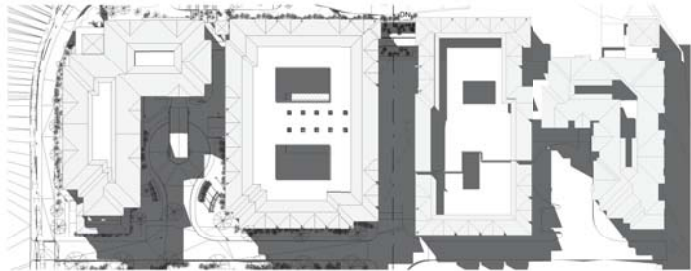
**2012 - 024 A5.02**



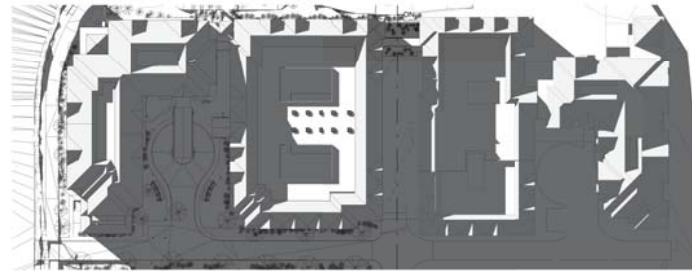
**1 SITE PLAN - MARCH**  
 A5.02 SCALE: 1 : 750



**2 SITE PLAN - JUNE**  
 A5.02 SCALE: 1 : 750

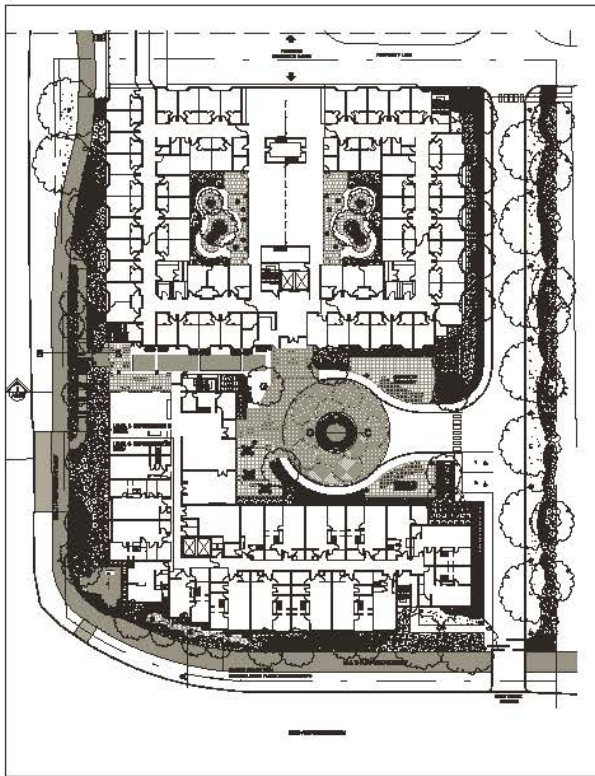


**3 SITE PLAN - SEPTEMBER**  
 A5.02 SCALE: 1 : 750

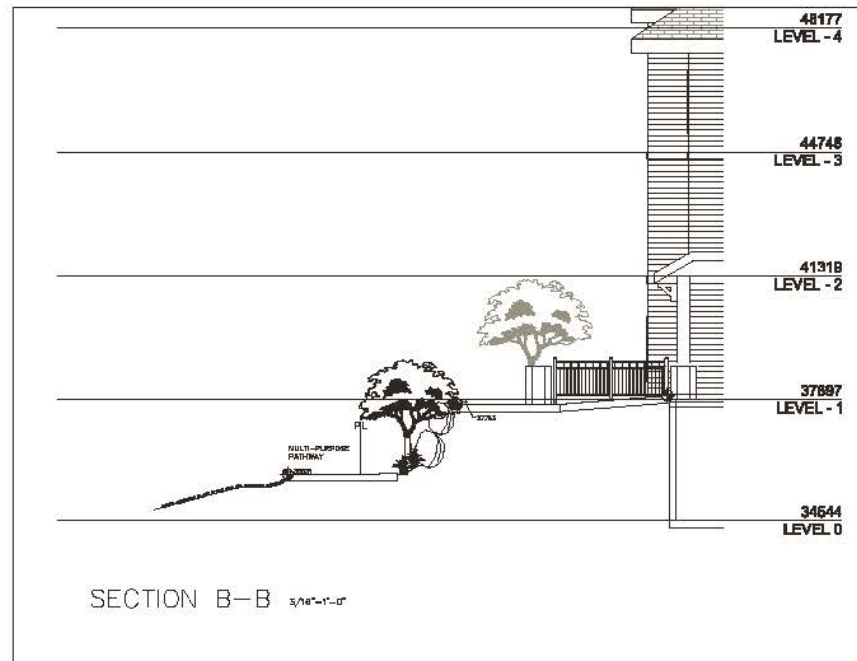
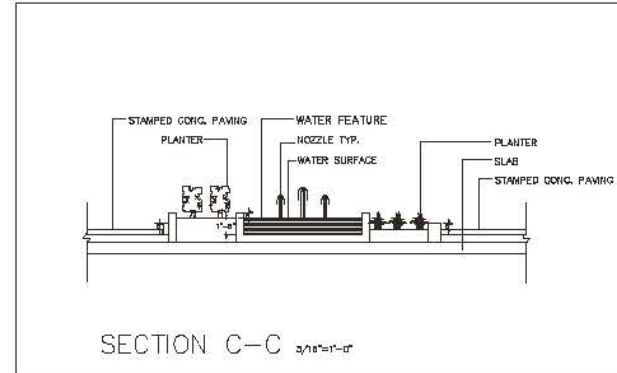
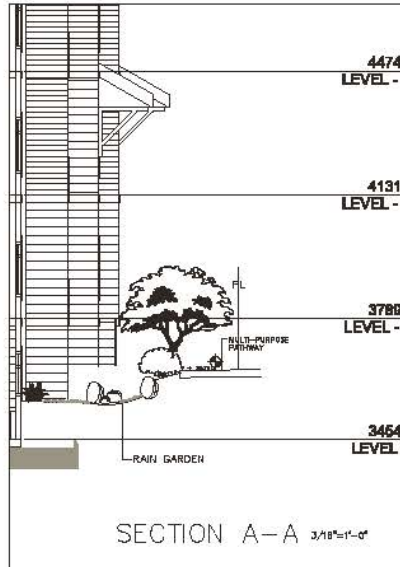


**4 SITE PLAN - DECEMBER**  
 A5.02 SCALE: 1 : 750





OVERALL REFERENCE PLAN



REV.	DATE	ISSUED FOR	DESCRIPTION
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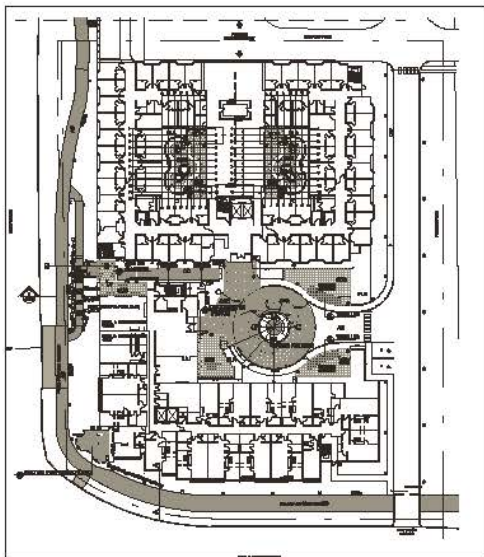
PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

13240-24 Avenue  
Surrey, British Columbia

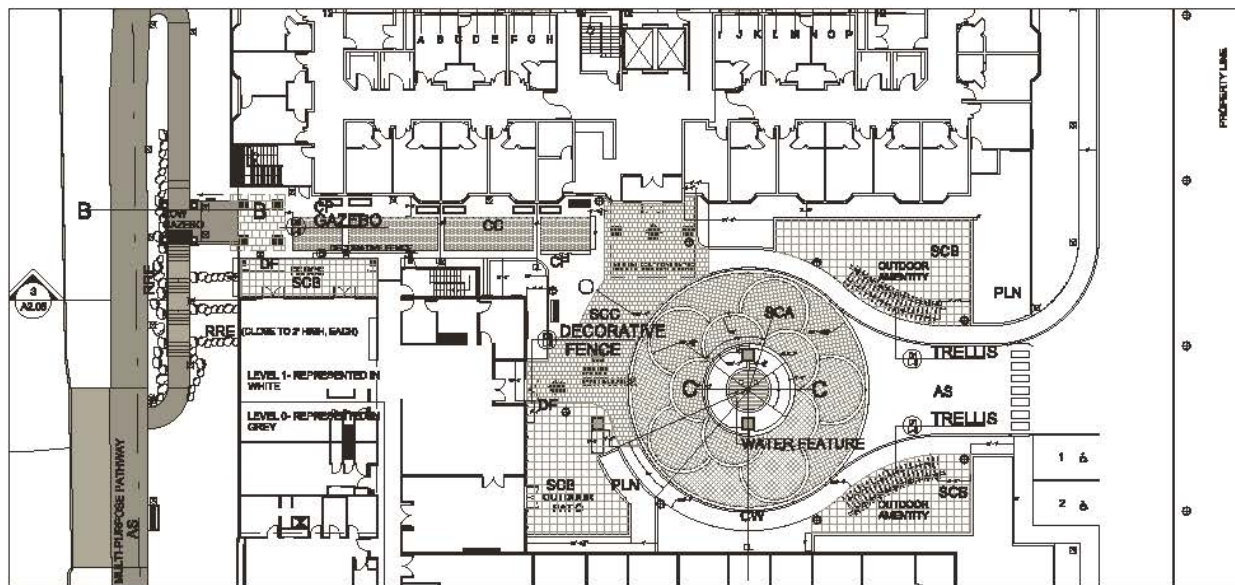
DRAWING TITLE  
**OVERALL REFERENCE PLAN/ SECTIONS**

CHECKED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_  
SCALE: 3/16"=1'-0" DATE: 08/28/24  
PROJECT NO. \_\_\_\_\_ DRAWING NO. \_\_\_\_\_

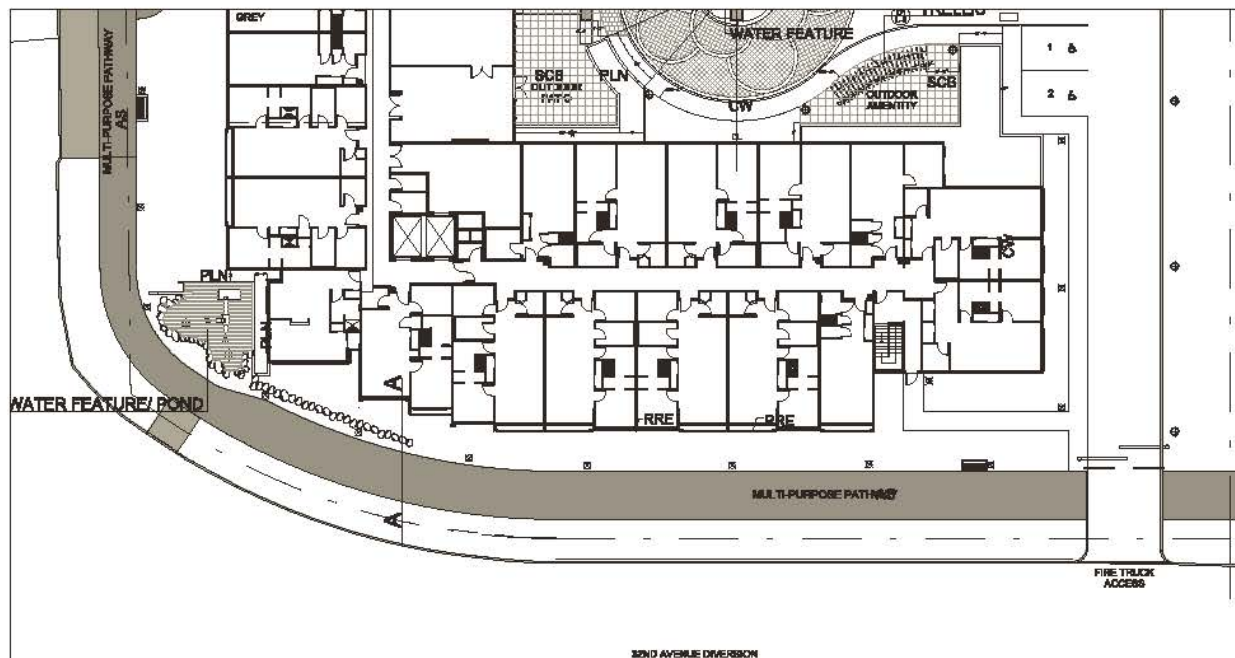




OVERALL REFERENCE PLAN



MIDDLE SECTION 1/16"=1'-0"



SOUTH SECTION 1/16"=1'-0"

**LEGEND**

- CW CONCRETE WALKWAY
- SCA STAMPED CONC. PAVING-TYPE A (COLOR AND PATTERN, MATCH PH1)
- SCB STAMPED CONC. PAVING-TYPE B (COLOR: EARTH TONE)
- SCC STAMPED CONC. PAVING-TYPE C (COLOR: MEDIUM GREY)
- CF CONC. PAVING
- OC COLORED CONC. PAVING (COLOR: EARTH TONE)
- PLN CONC. PLANTER, 2.5' HIGH, 6' WIDE
- PLA ALLAN BLOCK PLANTER, 2.5' HIGH, 1' WIDE
- BENCH (MATCH PH1)
- ROCK
- BOLLARD LIGHTING, 2' HIGH (MATCH PH1)
- 14' HIGH LIGHTING POLE (MATCH PH1)
- GUBBERBLEE POND LIGHT
- DF DECORATIVE FENCE
- PRE-MADE CONC. PLANTER 2X 6' X
- PRE-MADE CONC. PLANTER 4' DIA, 3' HIGH
- MOVABLE TABLE AND CHAIRS
- MOVABLE CHAIR
- LAWN
- RE RETAINING WALL-SEE CIVIL ENG. PLANS FOR DETAILED INFO
- RRE ROCK RETAINING WALL-SEE CIVIL ENG. PLANS FOR DETAILED INFO
- CU CONC. CURB, 6" HIGH
- AS ASPHALT PAVING

NO.	DATE	ISSUED FOR	DESCRIPTION
1.	2012-09-14	ISSUED FOR 3P	

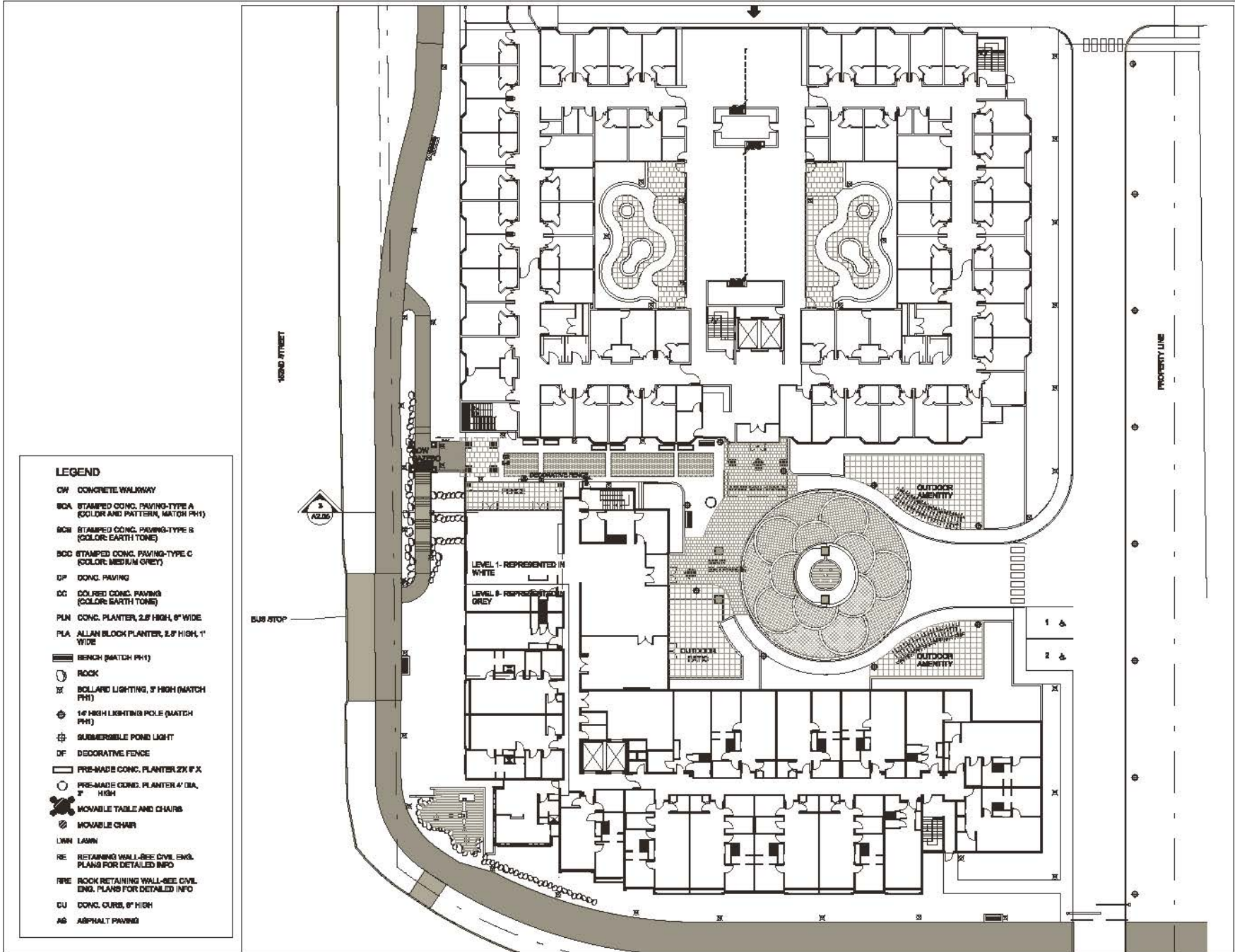
PROJECT TITLE:  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15240-34 Avenue  
Surrey, British Columbia

DRAWING TITLE:  
**LAYOUT PLAN/  
MATERIAL PLAN**

CHECKED BY: JRAVH JY  
SCALE: 1/16"=1'-0" DATE: 2012.11.27  
PROJECT NO: 15A4710.1D.





**LEGEND**

- CW CONCRETE WALKWAY
- BCA STAMPED CONC. PAVING-TYPE A (COLOR AND PATTERN, MATCH PH1)
- BCB STAMPED CONC. PAVING-TYPE B (COLOR: EARTH TONE)
- BCD STAMPED CONC. PAVING-TYPE C (COLOR: MEDIUM GREY)
- CP CONC. PAVING
- CC COLORED CONC. PAVING (COLOR: EARTH TONE)
- PLN CONC. PLANTER, 2.8' HIGH, 8" WIDE
- PLA ALLAN BLOCK PLANTER, 2.8' HIGH, 1" WIDE
- BENCH (MATCH PH1)
- ROCK
- ⊗ BOLLARD LIGHTING, 3' HIGH (MATCH PH1)
- ⊕ 16' HIGH LIGHTING POLE (MATCH PH1)
- ⊕ SUBMERSIBLE POND LIGHT
- DF DECORATIVE FENCE
- PRE-MADE CONC. PLANTER 2X 8' X
- PRE-MADE CONC. PLANTER 4' DIA, 3' HIGH
- ⊗ MOVABLE TABLE AND CHAIRS
- ⊙ MOVABLE CHAIR
- LWN LAWN
- RE RETAINING WALL-SEE CIVIL ENG. PLANS FOR DETAILED INFO
- RRE ROCK RETAINING WALL-SEE CIVIL ENG. PLANS FOR DETAILED INFO
- CU CONC. CURB, 8" HIGH
- AS ASPHALT PAVING

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 Email: [jml@jmlgroup.ca](mailto:jml@jmlgroup.ca)



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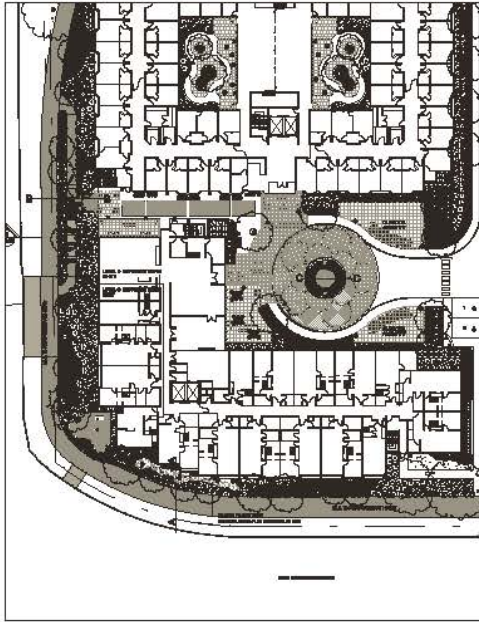
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PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

12649-34 Avenue  
 Surrey, British Columbia

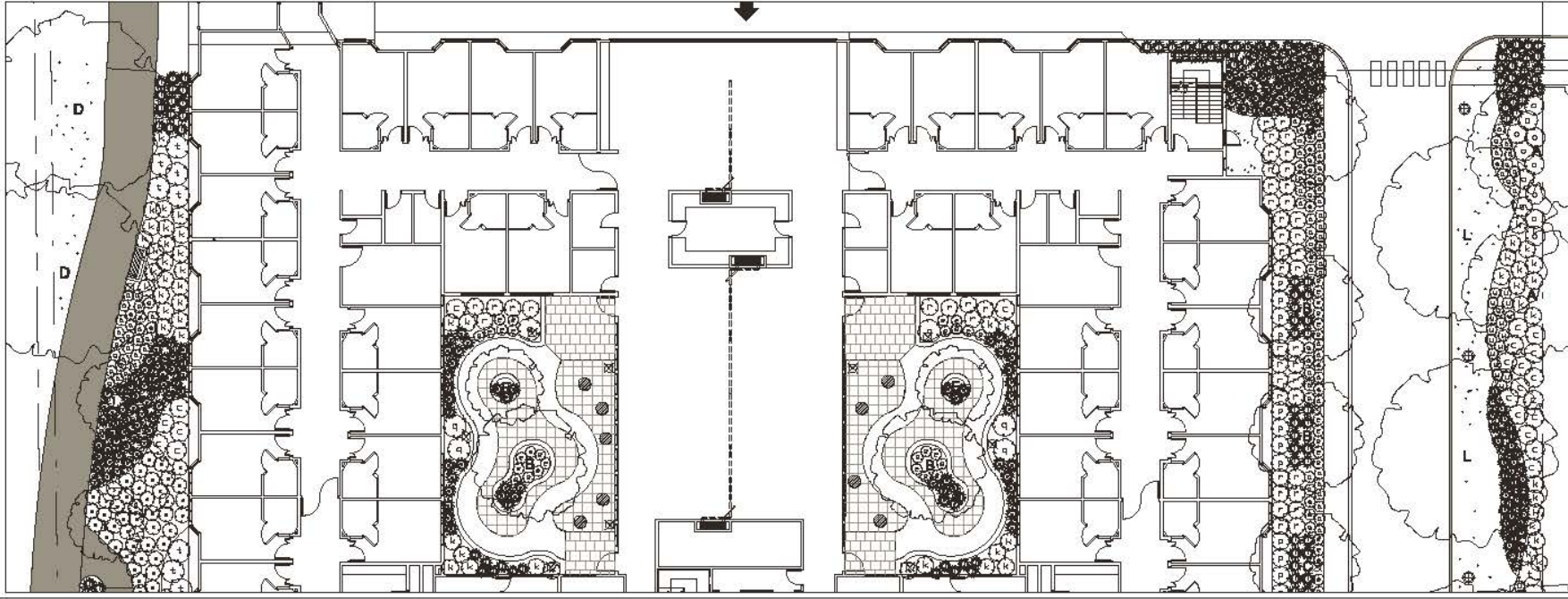
DRAWING TITLE  
**LIGHTING PLAN**

CHECKED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_  
 SCALE: 1/8"=1'-0" DATE: 08/14/22  
 PROJECT NO. \_\_\_\_\_ DRAWING NO. \_\_\_\_\_



OVERALL REFERENCE PLAN

Quant	Symbol	Botanical Name	Common Name	Size	Spacing
<b>Trees</b>					
6	A	<i>Prunus sibiriana</i>	Japanese Flowering Plum	60cm cal B&B	as shown
7	B	<i>Styria japonica</i>	Japanese Snowbell	60cm cal B&B	as shown
6	C	<i>Magnolia sieboldii</i>	Star Magnolia	60cm cal B&B	as shown
3	D	<i>Quercus rubra</i>	Red Oak	60cm cal B&B	as shown
2	E	<i>Cornus mas</i>	Pink Flowering Dogwood	60cm cal B&B, Tree Form	as shown
6	F	<i>Prunus yedoensis 'Akebono'</i>	Akebono Cherry	70cm cal B&B	as shown
0	G	<i>Cornus kousa 'Salem'</i>	Kousa Dogwood	70cm cal B&B	as shown
0	H	<i>Acer palmatum 'Sango Kaku'</i>	Coral Bark Maple	50cm cal B&B, Tree Form	as shown
7	I	<i>Acer circinnatum</i>	Var. Maple	50cm cal B&B, Tree Form	as shown
0	J	<i>Prunus serotina 'Amanogawa'</i>	Amanogawa Cherry	60cm cal B&B	as shown
6	K	<i>Cercis canadensis</i>	Eastern Redbud	60cm cal B&B	as shown
7	L	<i>Acer rubra 'Red Sunset'</i>	Red Sunset Maple	70cm cal B&B	as shown
2	M	<i>Pinus nigra</i>	Austrian Black Pine	3.5m High	as shown
0	N	<i>Liquidambar styraciflua</i>	Sweet Gum	70cm cal B&B	as shown
1	O	<i>Cercidiphyllum japonica</i>	Katsura	60cm cal B&B	as shown
0	P	<i>Rododendron pseudacacia 'Virea'</i>	Golden Leaf Black Locust	70cm cal B&B	as shown
3	Q	Sorbian Spruce	<i>Picea omorika</i>	3.5m High	as shown
<b>Shrubs, Perennials &amp; Grasses</b>					
6	A	<i>Azalea japonica 'Grand Fuchsia'</i>	Evergreen Azalea	# 2 pot	as shown
6	B	<i>Azalea japonica 'Gump Pink'</i>	Evergreen Azalea	# 2 pot	as shown
2	C	<i>Cornus alba 'Ivory Halo'</i>	Variegated Dogwood	# 3 pot	as shown
2	D	<i>Buxus microphylla 'Wirté' Gem</i>	Asian Boxwood	# 3 pot	as shown
2	E	<i>Erica x darleyensis 'Silverchime'</i>	Winter Heath Bell Heather	# 1 pot	as shown
2	F	<i>Carex flacca</i>	Blue Sedge	# 1 pot	as shown
2	G	<i>Iris sibirica 'Light of Bute-Isle'</i>	Siberian Iris	# 1 pot	18" o.c.
2	H	<i>Carex morrowii 'Aureovariegata'</i>	Variegated Sedge	# 1 pot	as shown
2	I	<i>Hamamelis virginiana</i>	Blue Cat Grass	# 1 pot	as shown
2	J	<i>Andros c. serotina 'Vivacity'</i>	Garden Ascleb	# 1 pot	as shown
2	K	<i>Mahonia aquifolium 'Compacta'</i>	Dwarf Oregon Grape	# 2 pot	as shown
2	L	<i>Rhododendron 'Pink Walpole'</i>	Pink Walpole Rhododendron	# 2 pot	as shown
2	M	<i>Prunella japonica 'Debutante'</i>	Dwarf Plum	# 2 pot	as shown
2	N	<i>Nandina domestica</i>	Heavenly Bamboo	# 1 pot	as shown
2	O	<i>Rhododendron 'Gomer Waterer'</i>	Rhododendron	# 3 pot	as shown
2	P	<i>Rhododendron 'Mary Fleming'</i>	Rhododendron	# 3 pot	as shown
2	Q	<i>Camellia japonica</i>	Japanese Camellia	# 3 pot	as shown
2	R	<i>Rosa 'Madame La Savilana'</i>	Madame La Savilana Rose	# 2 pot	as shown
2	S	<i>Escallonia Pink Princess</i>	Pink Princess Escallonia	# 2 pot	as shown
2	T	<i>Eumyrtus alata 'Compacta'</i>	Winged Burning Bush	# 2 pot	as shown
2	U	<i>Gauffreia sp. 'B'n'</i>	Sage	# 1 pot	as shown
2	V	<i>Prunus lauro-cerasus</i>	Portugal Laurel	# 3 pot	as shown
2	W	<i>Polystichum muratum</i>	Western Sword Fern	# 1 pot	as shown
2	X	<i>Macanthus 'Gracilimus'</i>	Maiden Grass	# 2 pot	as shown
2	Y	<i>Arctostaphylos uva-ursi 'Vancouver'</i>	Kinnikinnick	# 1 pot	15" o.c. triangle spacing
2	Z	<i>Taxus x media 'W.M. Edge'</i>	Edgewise Yew	# height B&B	as shown



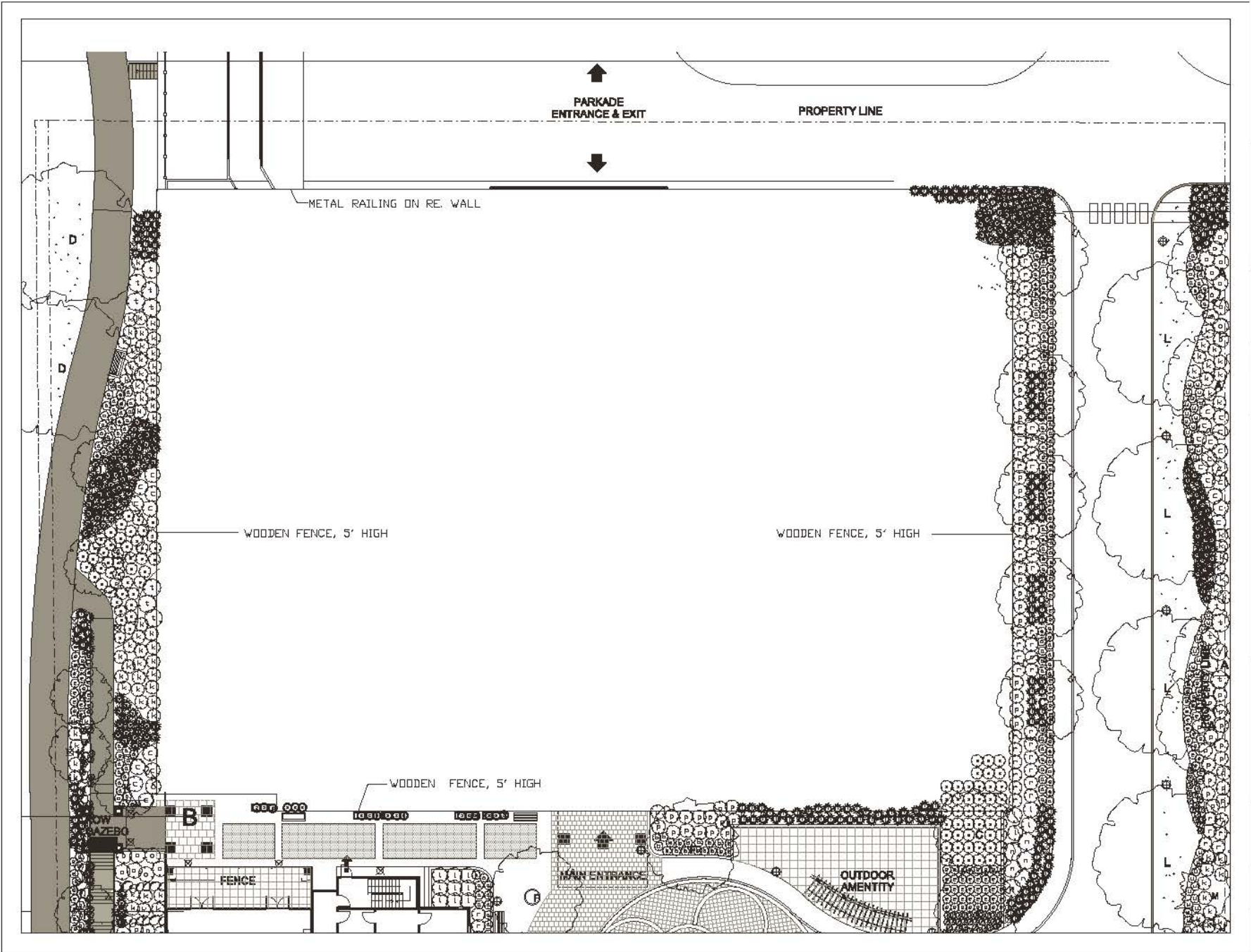
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PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

1580-36 Avenue  
Surrey, British Columbia

DRAWING TITLE  
**OVERALL REFERENCE PLANTING LIST FOR NORTH SECTION**

CHECKED BY: DRAWN BY:  
SCALE: 20"=1'-0" DATE: 08/11/22  
PROJECT NO.: DRAWING NO.:



100% SENIORS OWNED  
 100% SENIORS EMPLOYED  
 100% SENIORS MANAGED

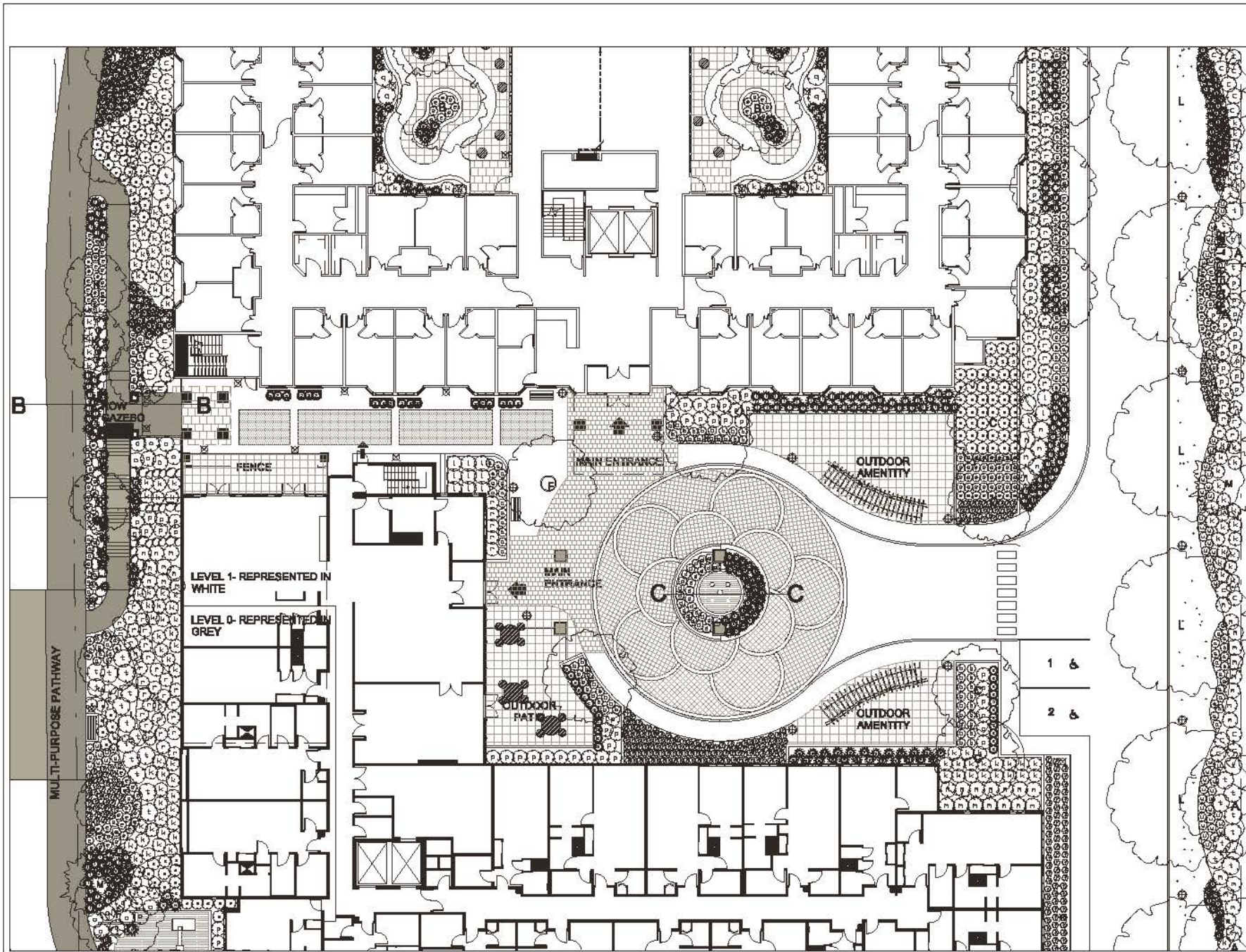
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01	2012-02-16	ORDERED FOR	IP

PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15240-34 Avenue  
 Surrey, B.C. Canada

DRAWING TITLE  
**TEMPORARY LANDSCAPE PLAN FOR PH2**

CHECKED BY: DRAWN BY:  
 SCALE: 3/32" = 1'-0" DATE: 2012.02.15  
 PROJECT NO.: DRAWING NO.:



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 TEL: 604-681-1100 FAX: 604-681-1101  
 www.retirementconcepts.com

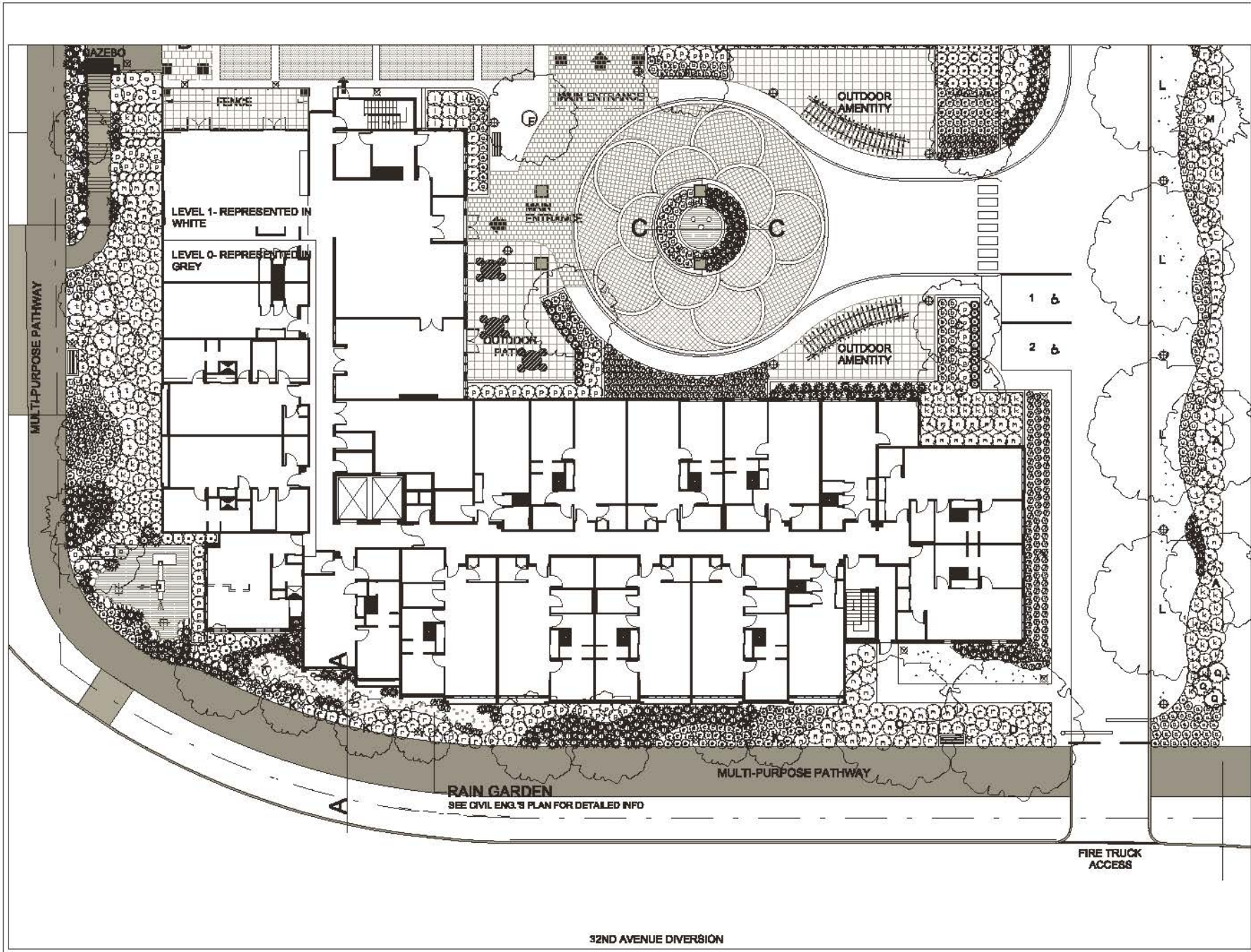
**IMPERIAL** ALL PROJECTS UNDERWAY  
 12240-34 Avenue  
 Surrey, British Columbia

NO.	DATE	ISSUED FOR
1	2002-09-19	ISSUED FOR PERMIT
2		ISSUED FOR 3D

PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

DRAWING TITLE  
**PLANTING DESIGN FOR MIDDLE SECTION**

CHECKED BY: DRAWN BY:  
 SCALED: 3/8" = 1'-0" DATE: FEB 2007  
 PROJECT NO: DRAWING NO:



32ND AVENUE DIVERSION

**CEI Architecture**

100-100 West Georgia Street  
 Vancouver, BC V6C 2Z6  
 TEL 604-687-3838 FAX 604-682-5398  
[www.ceiarchitect.com](http://www.ceiarchitect.com) | Vancouver | Seattle | Kelowna

**JHL DESIGN GROUP INC.**  
 LandscapeArchitecture + Urban Design

4370, High Street, Vancouver, BC  
 TEL: 604-263-8913  
 FAX: 1-888-277-8354  
 Email: jhl@jhl.com.ca

  
**Retirement Concepts**  
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 6000 WEST 17TH AVENUE, VANCOUVER, BC V6M 2B4  
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 1000 WEST 10TH AVENUE  
 VANCOUVER, BC V6H 2K2

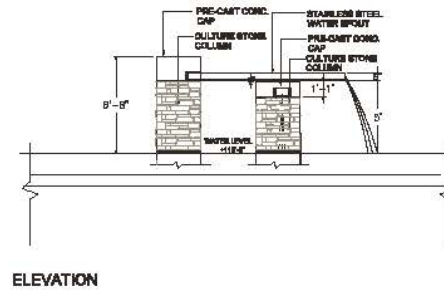
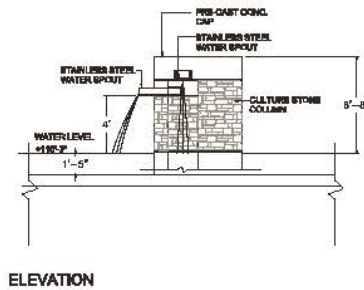
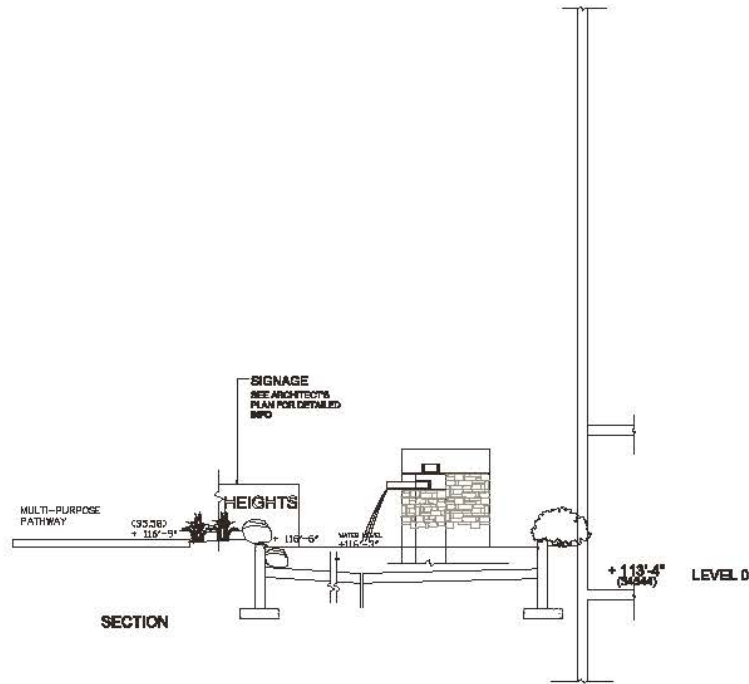
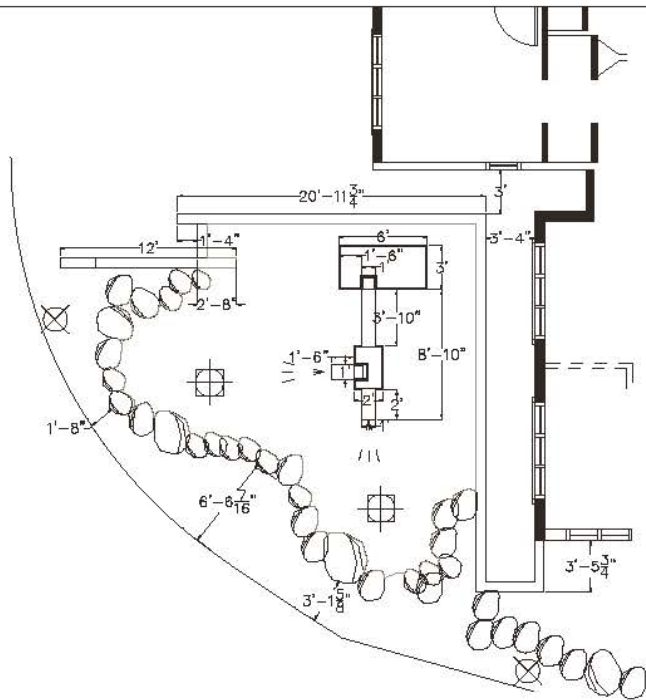
NO.	DATE	ISSUED FOR	DESCRIPTION
01	2018-11-15	ISSUED FOR 3P	

PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

12640-54 Avenue  
 Surrey, British Columbia

DRAWING TITLE  
**PLANTING DESIGN FOR SOUTH SECTION**

CHECKED BY: DRAWN BY:  
 SALES/367-1-07 DATE: 2018.11.17  
 PROJECT NO: DRAWING NO.



D4  
L-7

**WATER FEATURE AT CORNER OF 152 STREET AND 32 AVENUE**  
SCALE 1/4"=1'-0"

**CEI Architecture**

500 West Georgia Street  
Vancouver, BC V6G 2J6  
Tel: 604-687-1958 Fax: 604-687-5399

www.ceiarch.com | Services: Urban | Interiors

**JHL DESIGN GROUP INC.**  
Landscape Architecture + Urban Design

4370 Maple Street, Vancouver, BC  
Tel: 604-263-8913  
Fax: 1-800-277-8254  
Email: jhl@jhlgroup.com



**Retirement Concepts**

1524-1526 152 STREET, VANCOUVER, BC  
V6G 2J6  
TEL: 604-687-1958 FAX: 604-687-5399  
WWW.CEIARCH.COM

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NO.	DATE	ISSUED FOR	DESCRIPTION
1.	2022-12-16	ORDER FOR IP	

PROJECT TITLE  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

15240-34 Avenue  
Surrey, British Columbia

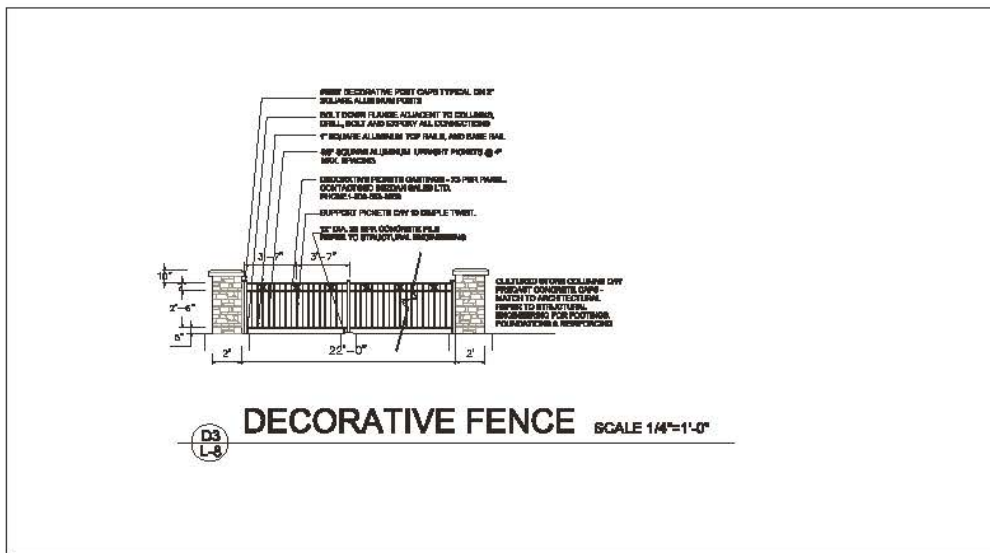
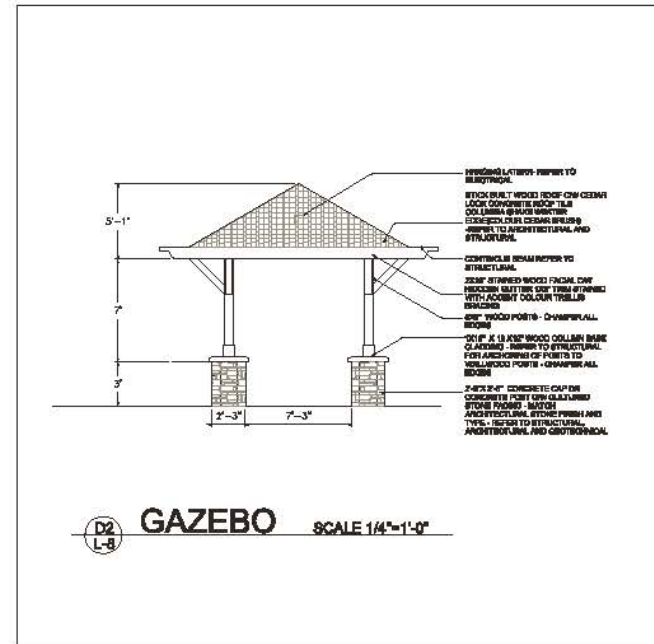
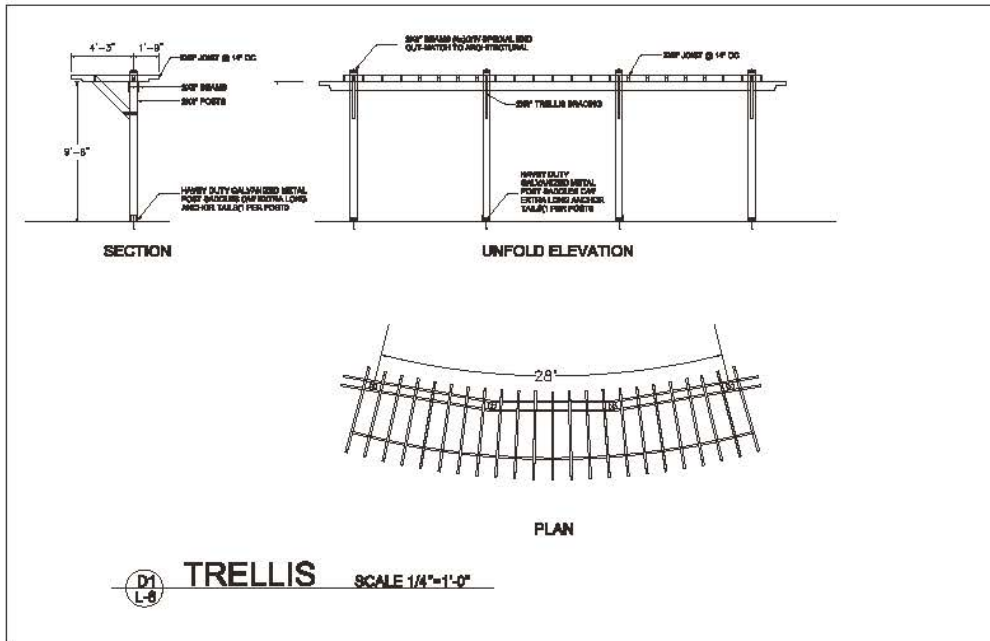
DRAWING TITLE  
**WATER FEATURE LAYOUT/PLAN/ELEVATIONS**

CHECKED BY: DRAWN BY:

SCALE: 1/4"=1'-0" DATE: 2022/12/17

PROJECT NO.: DRAWING NO.:

L-8



NO.	DATE	ISSUED FOR	DESCRIPTION
01	01-11-2018	ORDER FOR	ORDER FOR

PROJECT TITLE:  
**ROSEMARY HEIGHTS SENIORS VILLAGE - PHASE 2**

1524-04 Avenue  
 Surrey, BC V4A 1A4, Canada

DRAWING TITLE:  
**WATER FEATURE LAYOUT/PLAN/ELEVATIONS**

CHECKED BY: DRAWN BY:  
 SCALE: 1/4"=1'-0" DATE: 02/01/2018  
 PROJECT NO.: DRAWING NO.:

**Present:**

Chair - Derek Lee

**Panel Members:**Tim Ankenman  
Nigel Baldwin  
Stu Lyon  
Brian Shigetomi  
John Makepeace**Regrets:**Leroy Mickelson  
Marc Searle**Guests:**Shehzad Somji, Retirement Concepts  
Developments  
William Locking, CEI Architecture  
Amy Johnston, CEI Architecture  
Jenny Liu, JHL Design Group Inc.  
Robert Ciccozzi, Robert Ciccozzi  
Architecture Inc.  
Meredith Mitchell, M2 Landscape  
Architecture and Arboriculture Ltd.**Staff Present:**H. Bello, Senior Planner - Planning  
& Development  
M. Rondeau, Acting City Architect,  
Planning & Development  
H. Dmytriw, Legislative Services**A. RECEIPT OF MINUTES**

It was

Moved by T. Ankenman  
Seconded by J. Makepeace  
That the minutes of the Advisory Design

Panel meeting of October 11, 2012, be received.

Carried**B. SUBMISSION****1. 4:00 PM**

File No.:

**7912-0211-00**

New or Resubmit:

New

Description:

**Rosemary Height Seniors Development -**  
Proposed expansion of a senior's care facility,  
including 167 new residential care beds and 79  
independent living units. The buildings are 3 and 5  
storeys.

Address:

**15211 32 Avenue and 15240 34 Avenue and  
3336 152 Street**

Developer:

Shehzad Somji, Retirement Concepts Developments

Architect:

Bill Locking, CEI Architects

Landscape Architect:

Jenny Liu, JHL Design Group

Planner:

Ingrid Matthews

Urban Design Planner:

Hernan Bello



The **Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- Phase I of the Rosemary Heights Seniors Village was completed in 2008. There are 90 residential care units and 63 assisted living units.
- Phase II is proposed to be 78 independent living units and 167 residential care units.
- There is a pedestrian right of way through the site and a major multi-use pathway along 152<sup>nd</sup> and 32<sup>nd</sup>.
- There is a steep berm adjacent to the multi-use pathway on 152<sup>nd</sup> to accommodate the stairs from the public path that is directed through the site. Staff is seeking the advice of the Panel on this.

The **Developer** made note of the existing and other facilities in the area.

The **Project Architect** presented an overview of the site plan, building plans, elevations, cross sections and streetscapes, and highlighted the following:

- The independent living units vary in size from 1 bedroom to 2 bedrooms and studios, and are more prescriptive, following Fraser Health guidelines.
- Residential care or complex care-- a step down from acute care for end of life living (Alzheimer's, etc.). The average age is 82 and 88. Bedroom, bath, small kitchenette, meals are provided.
- Phase II has shared kitchen and laundry.
- The entry roadway, the loading dock, access to parking is from the east.
- The existing public path connecting the Rosemary neighbourhood to 152<sup>nd</sup> is proposed to be relocated between the two new buildings and drops down to 152<sup>nd</sup> multi-use pathway.
- Materiality is similar to Phase 1, substituted with brown colour but same vocabulary.
- Residential care area will have wooden fences along 152<sup>nd</sup>.

The **Landscape Architect** reviewed the landscape plans and highlighted the following:

- Oak, vine maples and shrubs and evergreens at the corner, facing a multi-purpose pathway and trees to carry on for continuity. A water feature or rain garden at the corner to tie it in with the surrounding landscape, and lighting and benches.
- Internal road will have larger trees on one side as a carry on from Phase I. Setbacks are needed for trees due to the light standards.
- There will be internal court yards for the home care area, special needs and behaviour tenants. Non toxic plants.
- The centre courtyard above the underground parkade will have planters for greenery, a water feature at the centre with a trellis on both sides to frame the whole space. There will be amenity space, paving patterns, textures and colours.

**ADVISORY DESIGN PANEL STATEMENT OF REVIEW**

**Rosemary Height Seniors Development** - Proposed expansion of a senior's care facility, including 167 new residential care beds and 79 independent living units. The buildings are 3 and 5 storeys.

**15211 32 Avenue and 15240 34 Avenue and 3336 152 Street**

File No. **7912-0211-00**

It was Moved by B. Shigetomi  
Seconded by T. Ankenman  
That the Advisory Design Panel (ADP)  
recommends that the applicant address the following recommendations and  
revise and resubmit to the Planning staff.

Carried - with N. Baldwin opposed

*The applicant departed.*

Panel discussion ensued as there appeared to be a misunderstanding as to the motion voted on. Subsequently it was decided to rescind the first motion.

It was Moved by D. Lee  
Seconded by N. Baldwin  
That the Advisory Design Panel (ADP)  
rescind the previous motion.

Carried

A discussion followed.

It was Moved by J. Makepeace  
Seconded by B. Shigetomi  
That the Advisory Design Panel (ADP)  
recommends that the applicant address the following recommendations and revise  
and resubmit to the ADP, at the discretion of planning staff.

Carried

Staff to advise the applicant of the new decision.

**STATEMENT OF REVIEW COMMENTS****Site**

- The site layout was generally supported.
- The public walkway through the site is a concern and needs to be treated carefully. Some adjustments should be made.  
Courtyard/Turnaround/Drop-off – flip the entry driveway and green space to position the outdoor amenity space to the north side of the driveway to allow for some solar exposure.
- Have huge opportunity for rain garden and bioswales in courtyard - use interpretive signage as a teaching device.
- The solid wooden fence on 152<sup>nd</sup> creates a barrier. These units should consider patios and screening devices such as low fencing and/or trellis to provide some layering and privacy.

### Building Form and Character

- This second phase is not as successful architecturally as the first phase.
- The lower level 'basement' units along 152<sup>nd</sup> are a concern with compromised livability. Consider relocating these units.
- Consider dropping the dining room to the lower level and moving the suites up to level 2. The dining room could have a lower ceiling and could open onto the patio.
- Dining room from inside has 4 different windows randomly located. Not a distinct piece. Need to think about how space works from inside.
- If the lower units are relocated, the berm can be located adjacent to the building and not as steep along the multi-use pathway.
- The care building is by nature strict and repetitive.
  - The corners, the half bays are very unsuccessful and could be made into a special corner window.
  - Consider opening the corridor areas of the upper floors of the care building to the south (for sun and better views).
  - Primary lounge areas in care faces directly into existing loading area. Consider relocating to a more open viewpoint out.
  - The stepped down massing of independent living building at east end facing single family to the east is great. For the care building, break up base side of the new residential care building to reduce length of wall.
  - The middle units on the third storey could be moved out and accent corners of building.
- Independent living units are very large, could be smaller and still very functional. Should be designed with living rooms in front and bedrooms in back of suite.
- Relationship between buildings is unresolved. Consider removing the open pergola and reorienting windows of care building.
- More detail on bridge – make it a feature.
- The corner architectural feature at 152<sup>nd</sup> and 32<sup>nd</sup> needs stronger representation and a better relationship to the corner of the Phase 1 building. The pitched roof against the wall is difficult.
- The purpose of sloped roofs might be reconsidered as it increases mass of building.
- There is a discrepancy between primary entrances with the care building being less resolved. Building entrances should have equal treatment.
- Trellis extension of port cochère does not serve well; appears not to provide weather protection and therefore could be shortened to provide greater light penetration into turnaround.
- Finer detailing needs more attention particularly on the care building.
  - Consider more variations on elevation from bottom to top. i.e. vary window treatment, vary dimensional material cladding.
  - Accentuate details. i.e. columns at privacy walls on balconies. Gable (and gable supports needs detailing).
  - Variation of scale of siding elements would help. Use of hardi-plank or more stone would add variety of texture.
  - Use more a significant material choice at base of building stone, brick or cultured stone.

- Use knee brackets elsewhere or not at all and the same comment for the cultured stone.
- Colours are a bit hard and bright.

### **Landscaping**

- Look at using buffer as a functional bioswale.
- Solar exposure - Courtyards in residential care are very deep – consider enlarging area. Plant selection needs to be shade tolerant.
- Consider extending special paving along entry and approach road to claim intersection as a pedestrian oriented environment.

### **CPTED**

- Sites in South Surrey have a lower crime environment. However, 152<sup>nd</sup> does get a certain amount of activity. Issues to be aware of include reducing opportunities for theft from patios such as barbeques and from lockers in the underground parking.
- The proposed public walk through by the living residences would generate calls regarding disturbances. This could be better definition of the public realm to the private domain.
- Control access between parking/visitors.

### **Disabled Access**

- Need plenty of disabled parking stalls.

### **Sustainability**

- More complete sustainable strategy should be provided here - a LEED or similar list would be helpful.
- High efficiency radiant hot water heating is a very good system for residential units, residential care and independent living units.
- Recommend heat recovery ventilation systems be used throughout. This allows efficient ventilation to most areas that have high ventilation air requirement.
- The west elevation should address solar gain. For residential units it was stated window A/C units would be provided. Window air conditioners are very inefficient and prevent the use of the window for ventilation and "free" cooling as well as letting traffic noise in. Other types of air conditioning systems should be considered, even such upgrades as P.T.A.C's or better would be a central water distribution system with heat pumps or fan coils for cooling.
- Recommend incorporating more exterior solar shading on the south and west sides of the building. This will reduce heat gain through windows on these sides.
- Consider solar hot water system for preheating domestic hot water. This facility has a huge daily domestic hot water load. This location in south Surrey gets lots of sun and adding solar panels on the roof would be very beneficial.
- The use of bioswales should be investigated.

2. **5:00 PM**

File No.:	7912-0201-00
New or Resubmit:	New
Description:	42 unit, 4 storey apartment building
Address:	15166 and 15182 -29A Avenue
Developer:	Guy Young, Streetside Developments (BC) Ltd., a QUALICO Company
Architect:	Robert Ciccozzi, Robert Ciccozzi Architecture Inc.
Landscape Architect:	Meredith Mitchell, M2 Landscape Architecture and Arboriculture Ltd.
Planner:	Catherina Lisiak
Urban Design Planner:	Hernan Bello

The **Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- Located at the southwest corner of 29A Avenue and 152 Street that form a triangular piece of land. Across the street is single family. An existing apartment building is at the west side.
- Five meter slope going from south down to north.
- Underground parking goes to property line.
- Standard approach for project was to have the building oriented along 152<sup>nd</sup> but this was not accepted by the applicant.
- There are a number of existing trees that have been identified around the site.

The **Project Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- Was felt orientation of building on site would work best it pulled away from the busy road and allowed more open amenity space at the corner.
- The indoor amenity is located in the corner and engages the outdoor amenity.
- Extensive brick used, introduced a light balcony and a strong brick to bring down the scale a bit.
- 3D diagram shows the articulated corners with roofs.

The **Landscape Architect** reviewed the landscape plans and highlighted the following:

- The roof of the parking slab is below the sidewalk along 152<sup>nd</sup> allowing stepping transition along the street.
- There is an open space at the corner which is excess road. The corner has terraced landscaping stepping back from an additional sidewalk that cuts across the open space.
- Connections to street are made at three points along 152<sup>nd</sup>.
- Amenity area has an open patio space, terraced area with barbeque, seating, trellis, and community garden. Proposing to have connective rain water barrels for the gardens.

**ADVISORY DESIGN PANEL STATEMENT OF REVIEW**

42 unit, 4 storey apartment building  
15166 and 15182 -29A Avenue  
File No. 7912-0201-00

It was Moved by N. Baldwin  
Seconded by B. Shigetomi  
That the Advisory Design Panel (ADP)  
recommends that the applicant address the following recommendations and  
revise and resubmit to the Planning staff.

Carried

**STATEMENT OF REVIEW COMMENTS****Site**

- Building alignment would be better oriented parallel to 152 Street. The acoustic implication for suites is small but the benefits are great with more afternoon sun access and less noise with the open space on the west side. Consider reorienting the building.
- Consider strengthening the landscape edge along 152 Street with a more robust fence treatment if the building is not reoriented.
- There is a driveway to the underground parking along the site to the west. Hopefully Surrey is requiring shared parking access as a policy to minimize the number of ramps on the streets and side by side ramps.

**Form and Character**

- The scale, 2+2 proportion and details are well handled.
- Minor concern with the long corridors. Break up by having interior doors face each other.
- Make B suites wider to give more light to main bedroom. Have 3 bedroom suites with extra frontage for much nicer suites with much better light.
- If not reoriented, the elevation facing 152<sup>nd</sup> needs much more formality and strengths. The 29A elevation is better resolved. Should have that level of resolution on 152<sup>nd</sup>.
- Consider adding windows into the exterior and interior walls of the west exit stair and where ever possible on stairs and corridors.
- Brick 'beam' at second floor balcony needs further resolution.
- Materials of retaining walls – prefer not concrete. Look at higher quality material.
- Garbage room – consider trash compactor, otherwise bins end up on street during pickup.

**Landscaping**

- Generally landscaping is well thought out given the proposed orientation of the building.
- Perimeter walls along 152 Street and around corner should be more substantial in height to create an architectural base for the site with pillars and brick veneer.

- The three entries along 152<sup>nd</sup> could have an architectural expression and could combine with a utility shed for the garden plots.
- Acoustic benefit from extra landscape depth.
- Could terrace outdoor space more to minimize retaining walls.

**CPTED**

- Separate out visitor /resident parking.

**Disabled Access**

- Switch disabled stall from #61 to #50 so no ramp issues.

**Sustainability**

- The Panel expressed concern that a sustainability strategy had not been considered. Applicants could be coming in with a green story to tell. There are sustainability experts on the Advisory Design Panel--we are wasting their time. All rezoning applications should have strong sustainability rationale and always have recommendations as part of the rezoning, even rain water collection and rain barrels--Some effort to earn their rezoning through sustainability.
- Community garden plots are great.
- Rain barrels for collection of rain water for community garden is simple and works well.
- Would recommend upgrading from minimal electrical heat. Radiant hot water and heat recovery ventilation units for each suite.

**C. RESUBMISSIONS**

**D. OTHER COMPETENT BUSINESS**

**E. NEXT MEETING**

The next Advisory Design Panel is scheduled for Thursday, November 22, 2012.

**F. ADJOURNMENT**

The Advisory Design Panel meeting adjourned at 5:25 pm.

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Jane Sullivan, City Clerk

---

Derek Lee, Chair  
Advisory Design Panel

CITY OF SURREY

BY-LAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

- (a) FROM: COMPREHENSIVE DEVELOPMENT ZONE (CD)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Parcel Identifier: 026-887-771  
 Lot A Section 26 Township 1 New Westminster District Plan BCP27316  
 15240 - 34 Avenue

- (b) FROM: GENERAL AGRICULTURE ZONE (A-1)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Parcel Identifier: 012-060-232  
 South Half Lot 17 Except: Firstly: Parcel "K" (By-law Plan 62662), Secondly: Part on Plan BCP8687 Section 26 Township 1 New Westminster District Plan 1300  
 3336 - 152 Street

- (c) FROM: HALF-ACRE RESIDENTIAL ZONE (RH)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Parcel Identifier: 025-705-954  
 Lot 1 Section 26 Township 1 New Westminster District Plan BCP6394  
 15211 - 32 Avenue

(hereinafter both (a), (b) and (c) shall be referred to as the "Lands")



2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of *care facilities*, which shall be subject to the Community Care and Assisted Living Act, S.B.C. 2002, c.75 and *multiple unit residential buildings* for senior citizens, subject to a Housing Agreement entered into between the owner and the City, where *density* bonus is provided.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Multiple unit residential buildings*, provided that all *multiple unit residential buildings* shall be occupied exclusively by senior citizens and shall be subject to a Housing Agreement pursuant to Section 904 of the Local Government Act, R.S.B.C. 1996, c.323, but specifically excluding a *care facility* regulated under the Community Care and Assisted Living Act, S.B.C. 2002, c.75 as amended.
2. *Care facilities*.
3. *Accessory uses* including the following:
  - (a) *Personal service uses*, limited to barbershops and hair salons;
  - (b) *Child care centres*;
  - (c) Office uses limited to physical and mental health services on an out-patient basis, medical and dental offices, health clinics and counselling services, but excluding *methadone clinics*;
  - (d) *Eating establishment* provided that the seating capacity shall not exceed 35 and the said *eating establishment* is not licensed by the Liquor Control and Licensing Act, R.S.B.C. 1996, chapter 267, as amended; and
  - (e) *Convenience store* provided that the floor area does not exceed 54 square metres [580 sq.ft.].

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. The *density* shall not exceed a *floor area ratio* of 0.1 or a *building* area of 300 square metres {3,230 sq. ft}. The maximum *density* may be increased to that prescribed in Sections D.2 and D.3 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended. *Multiple unit residential* shall provide amenities per *dwelling unit* and *care facilities* shall provide amenities for all other land uses
2. Subject to Sub-section D.1, the *floor area ratio* shall not exceed 1.30.
3. Subject to Section D.1, the number of *dwelling units* shall not exceed 143.
4. Subject to Section D.1 the floor area for all *accessory uses* shall not exceed 20% of the floor area of the building.

**E. Lot Coverage**

The *lot coverage* shall not exceed 45%.

**F. Yards and Setbacks**

*Buildings* and *structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Setback</b>	<i>North</i> Yard {34 Avenue}	<i>South</i> Yard {32 Avenue}	<i>East</i> Yard	<i>West</i> Yard {152 Street}
<b>Use</b>				
<i>Principal and Accessory Buildings and Structures</i>	7.9m {26 ft.}	8.6m {28 ft.}	14.8m {49 ft}	7.9m {26 ft}

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 14.9 metres [49 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 feet].

## H. Off-Street Parking

1. Refer to Table C.2, Part 5 Off-Street Parking and Loading/Unloading of Zoning By-law 12000, 1996, as amended.
2. Notwithstanding Section H.1, the *multiple unit residential buildings* shall provide a minimum of 0.55 *parking spaces* per independent living unit and 0.50 *parking spaces* per assisted living unit.
3. Notwithstanding Sub-section H.1., the *care facilities* shall provide a minimum of 0.45 *parking spaces* per care bed.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. Screen planting at least 1.5 metres (5 ft.) high in a strip at least 1.5 metres (5 ft.) wide and a decorative fence at least 1.5 metres (5 ft.) shall be provide along all *lot lines* separating the developed portion of the *lot* from any *residential lot*.
4. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
5. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping* screen, a solid decorative fence, or a combination thereof.

## J. Special Regulations

1. *Amenity space* shall be provided on the *lot* for *multiple unit residential buildings* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

2. *Child care centres* shall be located on the *lot* such that these centres:
  - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
  - (b) Have direct access to an *open space* and play area within the *lot*.

**K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
19,082 sq. m. [4.7 acre]	87 metres [285 ft.]	215 metres [ 705 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

**L. Other Regulations**

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-45 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.

7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2012, No. 17539, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-45 Zone for *multiple residential buildings* and RMS-2 for *care facilities*.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
12. Provincial licensing of *care facilities* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

READ A FIRST AND SECOND TIME on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

READ A THIRD TIME ON THE \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

## AMENDING AGREEMENT

THIS AMENDING Agreement is dated for reference the 29<sup>th</sup> day of November, 2012.

BETWEEN:

**CITY OF SURREY**, having its City offices at 14245 – 56<sup>th</sup>  
Avenue, Surrey, British Columbia, V3X 3A2

(hereinafter called the "**City**")

AND:

**ROSEMARY HEIGHTS SENIORS VILLAGE HOLDINGS LTD.** (Inc. No. BC0721894), a company duly incorporated under the laws of the Province of British Columbia and having its registered and records office at 2900 – 550 Burrard Street, Vancouver, British Columbia, V6C 0A3

(hereinafter called "**Rosemary**")

**WHEREAS:**

A. Rosemary is the registered owner of those certain lands and premises located at 15240 - 34th Avenue and 3336 - 152nd Street, each in the City of Surrey, in the Province of British Columbia, and legally described as:

(i) PID: 026-887-771

Lot A Section 26 Township 1 New Westminster District Plan BCP27316 (“**34th Avenue**”), and

(ii) PID: 012-060-232

South Half Lot 17 Except: Firstly: Parcel “K” (Bylaw Plan 62662), Secondly: Part on Plan BCP8687 Section 26 Township 1 New Westminster District Plan 1300 (“**152nd Street**”);

B. The City and Rosemary entered into a housing agreement made the 25<sup>th</sup> day of January, 2010 (the “**Housing Agreement**”) and registered in the New Westminster Land Title Office on January 27, 2010 as a notice on the title to 34th Avenue under No. BB1138043;

C. The City and Rosemary entered into an Offer to Purchase dated for reference October 9, 2012 (the “**Offer**”) where the City agreed to sell and Rosemary agreed to purchase the property located at 15211 – 32nd Avenue, in the City of Surrey, in the Province of British Columbia, and legally described as:

(i) PID: 025-705-954

Lot 1 Section 26 Township 1 New Westminster District Plan BCP6394 (“**32nd Avenue**”, and together with 34th Avenue and 152nd Street, the “**Lands**”); and

- D. The parties wish to amend the Housing Agreement in accordance with this Amending Agreement to, *inter alia*, broaden the scope of the Housing Agreement to pertain to all the Lands;

**NOW THEREFORE THIS AGREEMENT WITNESSES** that in consideration for the covenants and agreements contained in this Agreement and other good and valuable consideration the parties hereto covenant and agree as follows:

1. **Definitions.** Unless defined otherwise herein, all capitalized terms shall have the same meaning as given to them in the Housing Agreement.

2. **Amendments.** The Housing Agreement is hereby amended as follows:

(a) by deleting Recital A and replacing with the following:

(i) “Rosemary is the registered owner of those certain lands and premises located at:

(a) 15240 - 34th Avenue, in the City of Surrey, in the Province of British Columbia, and legally described as:

PID: 026-887-771

Lot A Section 26 Township 1 New Westminster District Plan BCP27316 (“**34th Avenue**”),

(b) 3336 - 152nd Street, in the City of Surrey, in the Province of British Columbia, and legally described as:

PID: 012-060-232

South Half Lot 17 Except: Firstly: Parcel “K” (Bylaw Plan 62662), Secondly: Part on Plan BCP8687 Section 26 Township 1 New Westminster District Plan 1300 (“**152nd Street**”), and

(c) 15211 – 32nd Avenue, in the City of Surrey, in the Province of British Columbia, and legally described as:

PID: 025-705-954

Lot 1 Section 26 Township 1 New Westminster District Plan BCP6394 (“**32nd Avenue**”),

(collectively, the “**Lands**”); and

(b) by deleting Recital B and replacing with the following:

- (i) “Rosemary proposes to develop the Lands with buildings having 255 residential care units, 63 assisted living units, and 80 independent living units for Qualified Occupants (as hereinafter defined);”.

3. **Mutual Condition Precedent.** The parties acknowledge and agree that this Agreement is subject to the following mutual condition precedent:

- (a) the completion of the purchase and sale of 32nd Avenue as contemplated in the Offer (the “**Condition Precedent**”).

In the event the Condition Precedent is not satisfied or waived by the parties in accordance with the Offer, this Amending Agreement will be null and void.

4. **Further Acts.** In the event the Condition Precedent is satisfied or waived by the parties in accordance with the Offer, the parties covenant and agree to do such further acts and things and to execute and deliver such further documents and instruments as may be necessary or desirable from time to time to give effect to this Agreement.

5. **Enforceability.** In all other respects, except as set out herein, the Housing Agreement remains unaltered and in full force and effect.

6. **Previous Agreements.** This Amending Agreement, together with the Housing Agreement and the ancillary documents referenced therein, replace and supersede any and all previous agreements, whether written or oral, made among the respective parties with respect to the respective subject matters thereof, except to the extent that any rights or liabilities arose under the former agreements in which case those are not waived unless specifically done so in writing by the party having the benefit of the right or liability.

*[remainder of page intentionally left blank]*



7. **Counterparts.** This Amending Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original and all of which, when taken together, shall be deemed to constitute one and the same instrument. Any such executed counterpart may be delivered by facsimile transmission or by e-mail with it attached in PDF format and will be deemed to be an original document.

**IN WITNESS WHEREOF** Rosemary Heights Seniors Village Holdings Ltd. and the City of Surrey have executed this Agreement under seal of their duly authorized officers as of the reference date of this Agreement.

**ROSEMARY HEIGHTS SENIORS  
VILLAGE HOLDINGS LTD.**

by its authorized signatory:

\_\_\_\_\_  
Name:

**CITY OF SURREY**

by its authorized signatories:

\_\_\_\_\_  
Name:

\_\_\_\_\_  
Name: