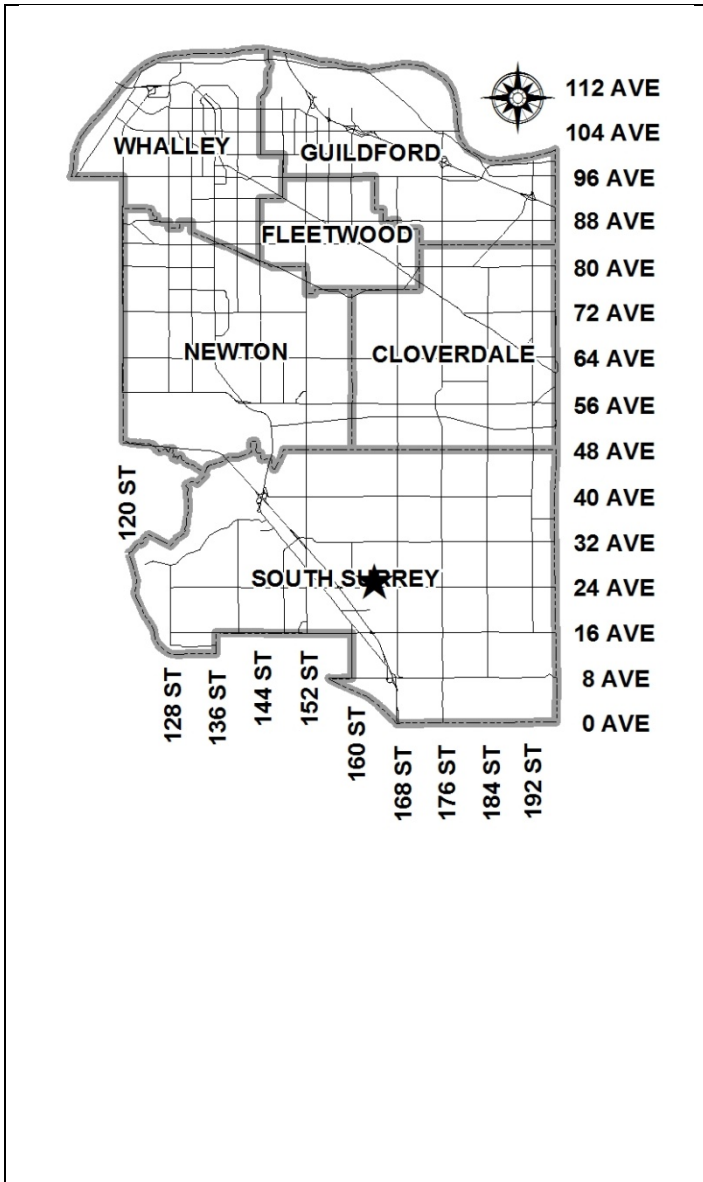


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7912-0244-00

Planning Report Date: July 8, 2013



PROPOSAL:

- **OCF amendment** from Suburban to Multiple Residential
- **Orchard Grove NCP Amendment** to change the location of lanes
- **North Grandview Heights NCP Amendment** to add a community detention pond
- **Rezoning** from RA to CD, RM-23 and RM-30
- **Development Permit**
- **Development Variance Permit**

in order to permit the development of 65 row houses, 23 townhouses, and 26 stacked townhouses with underground parking.

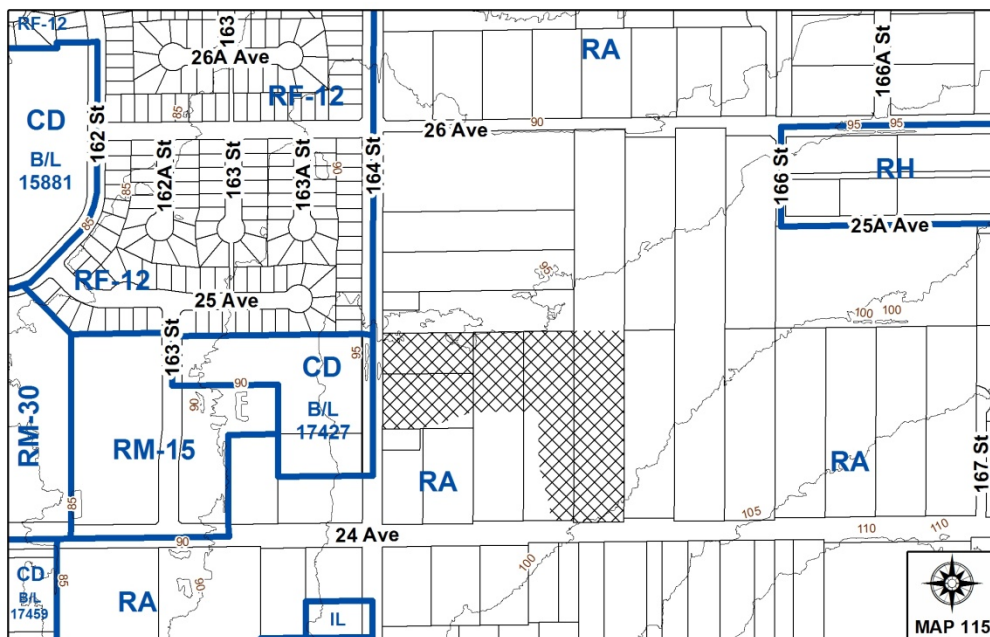
LOCATION: 2460 and 2490 - 164 Street; and 16465, 16487 and 16517 - 24 Avenue

OWNER: Qualico Developments (Vancouver) Inc.

ZONING: RA

OCF DESIGNATION: Suburban

NCP DESIGNATION: Townhouse (15-30 upa), Multi-family (30-45 upa) and Multi-use Pathway



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed amendment to the Official Community Plan (OCP) from Suburban to Multiple Residential.
- Proposed amendment to the Orchard Grove Neighbourhood Concept Plan (NCP) to add one (1) East-West lane and to delete one (1) East-West lane.
- Proposed amendment to the North Grandview Heights NCP to add a community detention pond.
- Proposed Development Variance Permit (DVP) to permit reduced front, side and side yard flanking street setbacks, to permit more than three (3) stair risers in the setbacks, and to permit one (1) enclosed and one (1) unenclosed tandem parking space for ground oriented townhouse units.

RATIONALE OF RECOMMENDATION

- The proposed OCP amendment was anticipated as part of the normal approval process for applications in the Orchard Grove NCP in order to achieve the approved land use designations and density.
- The proposed amendment to the Orchard Grove NCP is minor and meets the intent of NCP by maintaining the integrity of the local road network.
- The proposed amendment to the North Grandview Heights NCP reflects the required servicing for the Orchard Grove NCP area consisting of a community detention pond.
- The proposed building form is appropriate for this part of Orchard Grove in the Grandview Heights area and meets the design guidelines in the Official Community Plan (OCP).
- The proposed DVP for reduced setbacks achieves a more urban and pedestrian streetscape. The proposed DVP to increase the number of stair raisers in the setback area is a result of the topography of the site, and the proposed DVP to permit one (1) enclosed and one (1) unenclosed tandem parking space is requested to maximize site efficiency.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating portions of the subject site from Suburban to Multiple Residential and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone portions of the subject site shown as Block A on the attached Survey Plan from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
4. a By-law be introduced to rezone portions of the subject site from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Multiple Residential 23 Zone (RM-23)" (By-law No. 12000) (Block B), and "Multiple Residential 30 Zone (RM-30)" (By-law No. 12000) (Block C), and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7912-0244-00 generally in accordance with the attached drawings (Appendix II).
6. Council approve Development Variance Permit No. 7912-0244-00 (Appendix IX) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard (24A Avenue) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.8 metres (12.5 ft.) to the building face, 3.5 metres (11.5 ft.) to the entry signage wall, and 3.4 metres (11.2 ft.) to the roof overhang;
 - (b) to reduce the minimum side yard flanking street (165 Street) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.1 metres (13.5 ft.) to the building face and 3.8 metres (12.5 ft.) to the roof overhang;
 - (c) to reduce the minimum side yard (East) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3 metres (10 ft.) to the building face and roof overhang;
 - (d) to vary Section 17 (b) of Part 4-General Provisions to permit more than three (3) stair riser in the building setback area; and
 - (e) to vary Section H.5 (b) of Part 22- RM-30 Zone to permit one (1) enclosed and one (1) unenclosed tandem parking space for ground oriented dwelling units.
7. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;

- (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey, arborist report, landscape plans and landscape cost estimate to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate for the multi-use pathway on 24 Avenue and registration of a 6 metre (20 feet) statutory right-of-way as per the requirements of the Orchard Grove NCP, to the satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues including submission of an acoustical report for units facing 24 Avenue to the satisfaction of the Planning and Development Department;
 - (f) submission of a finalized lot grading plan to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space; and
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.
8. Council pass a resolution to amend the Orchard Grove NCP to change the location of lanes when the project is considered for final adoption (Appendix VI).
9. Council pass a resolution to amend the North Grandview Heights NCP to add a community detention pond when the project is considered for final adoption (Appendix VII).

REFERRALS

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III. The applicant will need to secure a community detention pond in favour of the City in accordance with the servicing requirements in the Orchard Grove NCP.

School District: Projected number of students from this development:

23 Elementary students at Pacific Heights Elementary School
 11 Secondary students at Earl Marriott Secondary School

The applicant has advised that the dwelling units in the first phase of this project are expected to be constructed and ready for occupancy by the Fall of 2014. The overall completion date will depend on the construction schedule and market demand.

(Appendix IV)

Parks, Recreation & Culture Department (PRC): No concerns.

Surrey Fire Department: No concerns. The City of Surrey E-Comm By-law will apply since the proposed underground parkade is greater than 1,000 sq.m. (10,764 sq.ft.) in area.

SITE CHARACTERISTICS

Existing Land Use: Single family and accessory uses on large acreage lots.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 25 Avenue):	Single family on large acreage lots	Suburban/ Small Lot Single Family 10-15 upa with or without Coach Houses	RA
East:	Single family on large acreage lots	Suburban/ Townhouse 15-30 upa and Multi-Family Residential 30-45 upa	RA
South (Across 24 Avenue) in the Sunnyside Heights NCP:	Single family on large acreage lots	Suburban/ Cluster Residential 10-15 upa	RA
West (Across 164 Street) in the Morgan Heights NCP:	80 townhouses – approved under File No. 7910-0310-00; and single family	Urban and Suburban/ Medium Density Residential 10-15 upa	CD By-Law No. 17427 and RA

JUSTIFICATION FOR PLAN AMENDMENTS

- The site is designated "Suburban" in the Official Community Plan (OCP) and "Townhouse 15-30 upa", "Multi-Family Residential 30-45 upa" and "Multi-Use Pathway" in the Orchard Grove Neighbourhood Concept Plan (NCP).
- An OCP amendment from "Suburban" to "Multiple Residential" is required to accommodate this proposal (Appendix VIII). In accordance with the NCP, applications in this NCP are required to be accompanied by an OCP amendment to redesignate the lands in order to comply with the NCP.
- The applicant is proposing to amend the Orchard Grove NCP by changing the location of lanes (Appendix VI). The proposed changes include the addition of one (1) East-West lane between 24A Avenue and 25 Avenue and the elimination of one (1) East- West lane between 24 Avenue and 24A Avenue. The intent of the proposed changes is to use the land more efficiently. Overall, the proposed changes are minor and maintain the integrity of the local road network as envisioned in the NCP. The Engineering Department has no concerns with the proposed changes.
- The applicant is also proposing to amend the North Grandview Heights NCP by introducing a community detention pond at the corner of 164 Street and 32 Avenue (Appendix VII). The proposed NCP amendment reflects the required servicing for the Orchard Grove NCP area. The location and the design of community detention pond was previously approved by City Council on October 22, 2012 under Corporate Report 2012-R223 (Appendix XI) and this proposal formally amends the NCP to reflect Council's previous decision. The applicant has also confirmed that one (1) By-law sized tree will be removed to accommodate the community detention pond and approximately five (5) By-law sized trees will need to be removed to accommodate sidewalk and road construction.

DEVELOPMENT CONSIDERATIONS

- The site is currently zoned "One-Acre Residential Zone (RA)". The applicant proposes to rezone the site to "Comprehensive Development Zone", "Multiple Residential 23 Zone (RM-23)" and "Multiple Residential 30 Zone (RM-30)" shown as Blocks A, B and C, respectively, in order to permit the development of 65 row houses, 23 townhouses, and 26 stacked townhouses with underground parking.
- The form, character and density of the proposed development comply with the Orchard Grove NCP. Table 1 outlines the Orchard Grove NCP requirements pertaining to this site and how the applicant has addressed these requirements:

Table 1: Summary of Orchard Grove NCP

		NCP Requirements	Proposed Development
Townhouse 15-30 upa	Density	15-30 upa net density	Row house site between 24A Avenue and 25 Avenue: 20 upa net density. Townhouses between 24 Avenue and 24A Avenue: 25 upa net density.
	Form & Character	Row houses or townhouses	Row houses and townhouses
		Access from rear lanes or a local street.	Rear lane access is proposed for the row houses and access from a local street (24A Avenue) is proposed for the townhouses.
Multi-Family Residential 30-45 upa	Density	30-45 upa net density	31 upa net density When excluding the tree preservation area and the multi-use pathway, the net density proposed is 44 upa.
	Form & Character	Stacked townhouses and apartment housing up to six stories high with underground parking.	Stacked townhouses with underground parking.
		Planting of edible plants and fruiting trees in outdoor amenity areas.	In recognition of past activities in this NCP area, edible plants and fruiting trees are proposed in key locations and will be cared for by the strata.
	24 Avenue Multi-Use Pathway	4 m. (13 ft.) multi-use pathway within a 6 m. (20 ft.) statutory right-of-way with trees and landscaping.	4 m. (13 ft.) multi-use pathway within a 6 m. (20 ft.) statutory right-of-way with trees and landscaping.

Row Housing

- The proposed row house lots are divided between Blocks A and B as shown in Appendix I. Block A represents six (6) row house units that are proposed under a Comprehensive Development Zone (CD) (as discussed below) and Block B represents 59 row house units proposed under the RM-23 Zone.
- The proposed 59 row house lots range in size between 176 sq.m. (1,899 sq.ft.) and 295 sq.m. (3,180 sq.ft.) and all lots conform to the minimum requirements of the Zoning By-law in terms of lot area, width and depth.
- The floor area of the proposed row houses ranges between 143 sq.m. (1,542 sq.ft.) and 144 sq.m. (1,549 sq.ft.), conforming to the requirements of the RM-23 Zone.

Proposed CD Zone

- The proposed CD Zone for the six (6) row house units (Units 62 to 67) is based on the Multiple Residential 23 Zone (RM-23). Table 2 outlines the differences between the RM-23 Zone and the proposed CD Zone.

Table 2: Comparison of the RM-23 and Proposed CD Zone:

	RM-23 Zone	CD Zone
Permitted Uses	One dwelling unit on each lot contained within a row house building	One dwelling unit on each lot contained within a row house building
Maximum Density	23 units per acre	23 units per acre
Maximum Floor Area	144 sq.m. (1,550 sq.ft.)	158 sq.m. (1,700 sq.ft.)
Maximum Lot Coverage	50% (internal lot) and 60% (corner lot)	40% (internal lot) and 50% (corner lot)
Maximum Building Height	9.5 m. (31 ft.)	9.5 m. (31 ft.)
Minimum Lot Area	165 sq.m. (1,776 sq.ft.) (internal lot) to 226 sq.m. (2,430 sq.ft.) (corner lot)	217 sq.m. (2,340 sq.ft.) (internal lot) to 297 sq.m. (3,200 sq.ft.) (end lot)

- The proposed maximum floor area is slightly higher than is permitted in the RM-23 Zone. However, the proposed minimum lot size is also greater than required in the RM-23 Zone, therefore ensuring that lots with a larger floor area are also located on substantially larger lots. This is also reflected in the maximum lot coverage, which is proposed to be lower than permitted in the RM-23 Zone, thus yielding a building form and building massing that is consistent with the RM-23 Zone.

Townhouses and Stacked Townhouses

- The proposed RM-30 zoned site consists of 23 townhouses and 26 stacked townhouses with underground parking and is shown as Block C in Appendix I. The proposed development conforms to the density, floor area, lot coverage and building height requirements of the RM-30 Zone. A Development Variance Permit (DVP) has been requested for reduced setbacks and to permit unenclosed parking in a tandem arrangement. These are discussed in the By-Law Variance section of this report.
- The proposed 23 townhouses include two (2) and three (3) bedroom plus den units in a three (3) storey building form with at-grade parking. These units range in size between 132 sq.m. (1,425 sq.ft.) and 181 sq.m. (1,948 sq.ft.), with a total floor area of 3,332 sq.m. (35,869 sq.ft.).
- The proposed 26 stacked townhouses with underground parking include one (1) and three (3) bedroom plus den units. These units range in size from 62 sq.m. (662 sq.ft.) to 147 sq.m. (1,577 square feet), with a total floor area of 2,123 sq.m. (22,852 sq.ft.).

- The proposal includes a total of 101 parking stalls (91 parking stalls for residents and 10 visitor parking stalls). This meets the parking requirements of the Surrey Zoning By-law. Majority of the proposed parking stalls are provided in the underground parkade or within an enclosed building. In order to maximize the site efficiency, 14 of the proposed resident parking stalls are proposed as unenclosed tandem parking stalls. This requires a DVP that is discussed in the By-Law Variance section of this report.
- The development proposal includes 430 sq.m. (4,625 sq.ft.) of outdoor amenity space, which consists of one large outdoor recreational area adjacent to the indoor amenity building. The outdoor amenity area includes a large deck, outdoor play area, pathways, seating and the preservation of mature trees. The proposed outdoor amenity area substantially exceeds the 147 sq.m. (1,582 sq.ft.) of outdoor amenity space required under the RM-30 Zone (3 sq.m. (32 sq.ft.) of outdoor amenity space per dwelling unit).
- The proposal also includes 147 sq.m. (1,582 sq.ft.) of indoor amenity space, which consists of a two (2) storey indoor amenity building adjacent to a large outdoor amenity area. The proposed indoor amenity area meets the 147 sq.m. (1,582 sq.ft.) of indoor amenity space required under the RM-30 Zone (3 sq.m. (32 sq.ft.) of indoor amenity space per dwelling unit). The indoor amenity building includes a large multi-purpose meeting room with a kitchen and direct access to a patio, a mail/lobby area, a washroom and a media room on the main floor. A second multi-purpose meeting room and a washroom is proposed on the second floor.

Remnant Parcels

- Two (2) remnant parcels are proposed that will be developed at a later date. Both parcels will remain RA zoned.
- One (1) remnant parcel extends to 26 Avenue and includes the following two (2) land use designations in the Orchard Grove NCP: Small Lot Single Family with or without Coach Houses (10-15 upa) and Large Lot Duplex or Large Lot Single Family (2-10 upa).
- The second remnant parcel is located in a land assembly area that extends to 164 Street and is designated Townhouse (15 upa) or Multi-Family with Tree Preservation (30 upa) in the NCP. The intent is to have this remnant parcel developed with the corner properties (16435 and 16413-24 Avenue and 2440-164 Street) in order to save trees.

Transportation Network

- The following transportation network improvements are required for this proposal:
 - Varying road dedication between 6 m. (20 ft.) and 8.442 m. (28 ft.) for the ultimate 37 m. (121.4 ft.) wide road right-of-way for 24 Avenue;
 - Construction of a 4 m. (13 ft.) multi-use pathway and a 6 m. (20 ft.) statutory right-of-way on 24 Avenue;
 - 1.942 m. (6.4 ft.) road dedication for the widening of 164 Street;
 - 10.5 m. (34.4 ft.) road dedication for the widening of 26 Avenue;

- 20 m. (66 ft.) road dedication for the construction of 165 Street;
 - Varying road dedication between 7.92 m. (26 ft.) and 14.5 m. (48 ft.) for the construction of 24A Avenue;
 - Varying road dedication between 10 m. (33 ft.) and 20 m. (66 ft.) including securing an off-site statutory right-of-way for the construction of 25 Avenue;
 - 6 m. (20 ft.) road dedication and construction of lanes required for rear lane access; and
 - Construction of two (2) amenity connectors, consisting of 2.5 m. (8.2 ft.) sidewalks and 1.5 m. (5 ft.) statutory right-of-ways on the West side of 165 Street and the South side of 25 Avenue.
- The proposed vehicular accesses conform to the requirements of the Engineering and Fire Departments.

Tree Preservation and Landscaping:

- Andrew Connell and Trevor Cox, ISA Certified Arborists of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The Arborist Assessment states that there are a total of 112 protected trees on the site, of which 26 are proposed for retention. The following table provides the breakdown by tree species on the subject site:

Table 3: Summary of Tree Preservation by Tree Species

Tree Species	Total Number of Trees	Proposed for Retention	Proposed for Removal
Alder	22	0	22
Apple	7	0	7
Beaked Hazelnut	2	0	2
Black Cottonwood	20	0	20
Cherry/ Plum	8	0	8
Cypress	3	2	1
Douglas Fir	1	1	2
Eastern White Cedar	1	0	1
English Walnut	1	1	0
Hemlock	1	1	0
Holly	1	1	0
Paper Birch	2	0	2
Pear	3	0	3
Scotch Pine	1	1	0
Silver Maple	1	1	0
Sitka Spruce	9	6	3
Western Flowering Dogwood	6	6	0
Western Red Cedar	15	3	12
White Spruce	1	0	1
Total	112	26	86

- Approximately 38% of the existing trees are non-retainable species such as Alder and Cottonwood trees. The remaining trees were assessed taking into consideration the location of services, road dedication, lot grading and the extent of underground parking structures, and it was determined that 26 trees can be retained as part of this development proposal.
- For the trees that cannot be retained, the applicant will be required to replant the trees on a 2 to 1 replacement basis for coniferous trees, and a 1 to 1 replacement for deciduous trees. This will require a total of 152 replacement trees on the site. The applicant is proposing 175 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Japanese Maple, Scarlet Sentinel Red Maple, Hornbeam, Satomi Kousa Dogwood, Japanese Stewartia and Japanese Snowball. In accordance with the Orchard Grove NCP and in recognition of past activities in this NCP area, Crabapple and Pear trees are also proposed at the entry to the RM-30 site and at the corners of 24A Avenue and 165 Street, and 24 Avenue and 165 Street.
- The tree planting will be complemented by a variety of ground cover including shrubs, ferns and grasses. Some edible gardening is also proposed at the corner of 165 Street and 24A Avenue consisting of Coastal strawberries, English Lavender and Rosemary.

Lot Grading

- A preliminary lot grading plan was prepared and submitted by Hunter Laird Engineering Ltd. City staff is reviewing the proposed lot grading and the applicant is required to provide a final lot grading plan before final approval of this project.

PRE-NOTIFICATION

- Pre-notification letters were sent on October 22, 2012 and March 11, 2013 to 125 households within 100 m. (328 ft.) of the site.
- As a result of the pre-notification letters, City staff received one (1) telephone call and two (2) e-mails concerning this proposal with one (1) area resident requesting information only and two (2) area residents expressing the following concerns:

Elimination of Roads and Lanes

Two (2) residents expressed concerns about the possible elimination of roads or lanes in the NCP area and the negative impact that this could have on parking and traffic in the area.

(No roads are proposed to be eliminated as part of this development proposal. Although one (1) East-West lane is proposed to be eliminated between 24 Avenue and 24A Avenue, one (1) East-West lane is also proposed to be added between 24A Avenue and 25 Avenue, resulting in no net loss of lanes in this NCP Area.)

Sidewalks on 164 Street

One (1) resident expressed concerns about the completion of sidewalks on 164 Street between 24 and 28 Avenue. Given the added development in this area and the increased construction traffic and parking congestion, the lack of complete sidewalks is a major safety concern.

(The Engineering Department advised the concerned area resident that sidewalks were original deferred on 164 Street as part of development application File No. 7905-0126-00 in the Morgan Heights NCP as an interface consideration with the existing suburban residential lots. Cash-in-lieu was taken for the sidewalk construction, but further funding is required to complete these works. Due to the many requests for completion of this sidewalk, the Engineering Department has placed it as a high priority item for the 2014 Capital Construction program.)

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

- This application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines in the OCP and the Orchard Grove NCP. The following minor items need to be resolved before final approval of this project:
 - Each elevation sheet should have material references;
 - Retaining walls along the streets (shown on 165 Street and 24A Avenue) should be removed. The grade changes should be at the entry porches with stairs at the porch rather than at the street edge (thereby causing a retaining wall);
 - Co-ordination of architectural and landscape drawings to ensure that street elevations match site plan drawings.
- The proposed row houses, townhouses and stacked townhouses are designed with high quality design features and materials envisioned for the area. The project includes a mix of units ranging from one (1) to three (3) bedroom plus den units. All of the proposed dwelling units are street-oriented with direct and individual entrances and walkways to the street. The entry doors are designed to create visual interest. Overall, the proposed streetscapes will create a pedestrian friendly and visually pleasant environment in accordance with Crime Prevention Through Environmental Design (CPTED) principles. By providing eyes on the street, the orientation of dwelling units allows for natural surveillance of the neighbourhood.
- The proposed landscape concept is intended to provide an attractive and private green space for residents while ensuring good visibility of the site and comfortable pedestrian access to the adjacent streets.

- The proposed corner treatment at the intersection of 165 Street and 24 Avenue will include a large tree preservation area and an indoor amenity building to anchor the corner.
- The proposed buildings will be constructed using painted fibre cement and brick as the primary cladding materials, complemented by painted wood trims and braces. In accordance with the Orchard Grove NCP, no vinyl siding is proposed. The colour scheme proposed consists of natural, earthy tones, complemented by red brick.

Public Art

- The proposed development application is subject to the public art on private property policy, which will be secured by a Section 219 No-Build Restrictive Covenant.
- The applicant has agreed to provide a monetary contribution at the Building Permit stage, based on the estimated value of the project, to the Public Art Reserve Fund, to satisfy the requirements of the policy.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 15, 2012 and updated on June 19, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposed development will help support the 24th Avenue transit corridor and is in close proximity to a large commercial area, Morgan Crossing.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • A variety of housing types and tenures are provided, including row houses, three (3) bedroom townhouses and stacked townhouses with one (1) bedroom ground level apartments.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The following rain water management techniques will be utilized: <ul style="list-style-type: none"> - Absorbent soils; - Downspout connections; and - Natural landscaping. • Permeable unit paving will be used in the area of existing trees to allow for water percolation into the rooting layer. • Recycling pick-up will be available. • Fruiting trees will be planted in the outdoor amenity areas.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Good pedestrian linkages are proposed to the transit corridor on 24th Avenue. • Covered outdoor waiting areas and pedestrian oriented lighting. • Visible and secure bicycle parking will be provided. • Site is located adjacent to the Multi-Use Pathway along 24th Avenue.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the following manner: <ul style="list-style-type: none"> - Units are oriented to streets with porches and habitable rooms

	<p>facing streets promoting natural surveillance.</p> <ul style="list-style-type: none"> - Well lit pedestrian pathways. - Low fencing to enhance visibility.
6. Green Certification (F1)	<ul style="list-style-type: none"> • Energy Star certified appliances will be provided. • Low Volatile Organic Compound (VOC) finishes.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Celebration of the area's natural heritage and establishing a link to the agricultural past of this area through the planting of fruiting trees.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- to reduce the minimum front yard (24A Avenue) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.8 metres (12.5 ft.) to the building face, 3.5 metres (11.5 ft.) to the entry signage wall, and 3.4 metres (11.2 ft.) to the roof overhang;
- to reduce the minimum side yard flanking street (165 Street) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.1 metres (13.5 ft.) to the building face and 3.8 metres (12.5 ft.) to the roof overhang;
- to reduce the minimum side yard (East) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3 metres (10 ft.) to the building face and roof overhang;
- to vary Section 17 (b) of Part 4-General Provisions to permit more than three (3) stair riser in the building setback area; and
- to vary Section H.5 (b) of Part 22- RM-30 Zone to permit one (1) enclosed and one (1) unenclosed tandem parking space for ground oriented dwelling units.

Justification for Variances:

- The proposed reduced front yard (24 Avenue) and side yard flanking street (165 Street) setbacks are required to utilize the site more efficiently and help to achieve a more urban and pedestrian streetscape. The affected units will have functional and liveable private outdoor amenity areas in the form of second storey balconies at the rear of the units.
- The proposed reduced side yard (East) setback is to the side of the units only and therefore will not impact the functional outdoor space or liveability of the units.
- The Zoning By-law permits a maximum of three (3) stair riser in the building setback area. The proposal to increase the number of stair raisers in the setback area from three (3) to four (4) stair risers is a result of the topography of the site and will not negatively impact the streetscape or the liveability of the units.
- The Zoning By-law requires that both resident parking stalls are enclosed when they are provided in a tandem arrangement. Due to the restrictions on the placement of buildings and structures, and in order to maintain liveability of the residential units,

the applicant has proposed to provide one (1) enclosed and one (1) unenclosed tandem parking stall for 15 of the proposed townhouse units. Given the constraints of the site, the proposed variance will utilize the site more efficiently.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets and Survey Plan
Appendix II.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Proposed Amendment to the Orchard Grove NCP
Appendix VII.	Proposed Amendment to the North Grandview Heights NCP
Appendix VIII.	OCP Redesignation Map
Appendix IX.	Development Variance Permit File No. 7912-0244-00
Appendix X.	Proposed CD Bylaw
Appendix XI.	Corporate Report 2012-R223 dated October 22, 2012 http://www.surrey.ca/bylawsandcouncillibrary/CR_2012-R223.pdf

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

CL/da

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3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to amend the Official Community Plan to redesignate the property.
- (b) Introduce By-laws to rezone portions of the properties.
- (c) Proceed with Public Notification for Development Variance Permit No. 7912-0244-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD based on RM-23 (Block A)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		2062 sq.m.
Road Widening area		589.4 sq.m.
Undevelopable area		
Net Total		1472.6 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	40% end unit & 50% internal unit	40% end unit & 45% internal unit
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (24A Avenue)	3.5 m.	3.5 m.
Rear (Principal Building)	12.5 m.	12.5 m.
Internal Side Yards (Principal Building)	0 m.	0 m.
End Unit Side Yards (Principal Building)	1.2 m.	1.2 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	9.5 m.	8.6 m.
Accessory	5.0 m.	4.0 m.
NUMBER OF RESIDENTIAL UNITS		
Three Bedroom +		6
Total		6
FLOOR AREA: Residential		920 sq.m.
TOTAL BUILDING FLOOR AREA		920 sq.m.
DENSITY		
# of units/ha (net)	57 upha	40 upha
# of units/ acre (net)	23 upha	17 upha
Maximum Floor Area	144 sq.m.	158 sq.m.
PARKING (number of stalls)		
3-Bed	12	12
Residential Visitors		
Total Number of Parking Spaces		12

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET

Proposed: RM-23 (Block B)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		18,995.5 sq.m.
Road Widening area		7,214.6 sq.m.
Undevelopable area		
Net Total		11,780.9 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	50% end unit & 60% internal unit	45% end unit & 53% internal unit
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	3.5 m.	3.5 m.
Rear (Principal Building)	12.5 m.	12.5 m.
Internal Side Yards (Principal Building)	0 m.	0 m.
End Unit Side Yards (Principal Building)	1.2 m.	1.2 m.
Corner Unit Side Yards (Principal Building)	2.7 m.	2.7 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	9.5 m.	8.3 m.
Accessory	5.0 m.	4.0 m.
NUMBER OF RESIDENTIAL UNITS		
Three Bedroom +		59
Total		59
FLOOR AREA: Residential		8,450.5 sq.m.
TOTAL BUILDING FLOOR AREA		8,450.5 sq.m.
DENSITY		
# of units/ha (net)	57 upha	50 upha
# of units/ acre (net)	23 upa	20 upa
Maximum Floor Area	144 sq.m.	144 sq.m.
PARKING (number of stalls)		
3-Bed	118	118
Residential Visitors		
Total Number of Parking Spaces		118

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET

Proposed: RM-30 (Block C)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		9250.7 sq.m.
Road Widening area		2191.1 sq.m.
Undevelopable area		
Net Total		7059.6 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		35%
Paved & Hard Surfaced Areas		24%
Total Site Coverage		59%
SETBACKS (in metres)		
Front Yard North (24A Avenue)	7.5 m.	3.88 m. to building face; 3.5 m. to entry signage wall & 3.4 m. to roof overhang
Front Yard South (24 Avenue)	7.5 m.	9.9 m. to building face & 9.3 m. to roof overhang
Side Yard Flanking Street (165 Street)	7.5 m.	4.1 m. to building face & 3.8 m. to roof overhang
Side Yard (East)	7.5 m.	3 m. to building
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m.	11.9 m.
Accessory (Indoor Amenity Building)	11 m.	7.75 m.
NUMBER OF RESIDENTIAL UNITS		
Bachelor		0
One Bed		10
Two Bedroom		0
Three Bedroom +		39
Total		49
FLOOR AREA: Residential		5455.2 sq. m.
TOTAL BUILDING FLOOR AREA		5455.2 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha (net)		69.4 upha
# of units/acre (net)		28.2 upa
FAR (gross)		
FAR (net)	0.90	0.78
AMENITY SPACE (area in square metres)		
Indoor	147 sq.m.	147 sq.m.
Outdoor	147 sq.m.	430 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom	13	13
2-Bed		0
3-Bed	78	78
Residential Visitors	10	10
Institutional		
Total Number of Parking Spaces	101	101
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

LOT 2 PLAN 10271,
 LOT 3 PLAN 10271,
 LOT 27 PLAN 42765,
 LOT 28 PLAN 42765 AND
 PART OF WEST HALF OF THE WEST HALF OF THE EAST HALF LEGAL SUBDIVISION 2
 ALL OF SECTION 24 TOWNSHIP 1 NEW WESTMINSTER DISTRICT

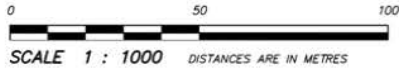
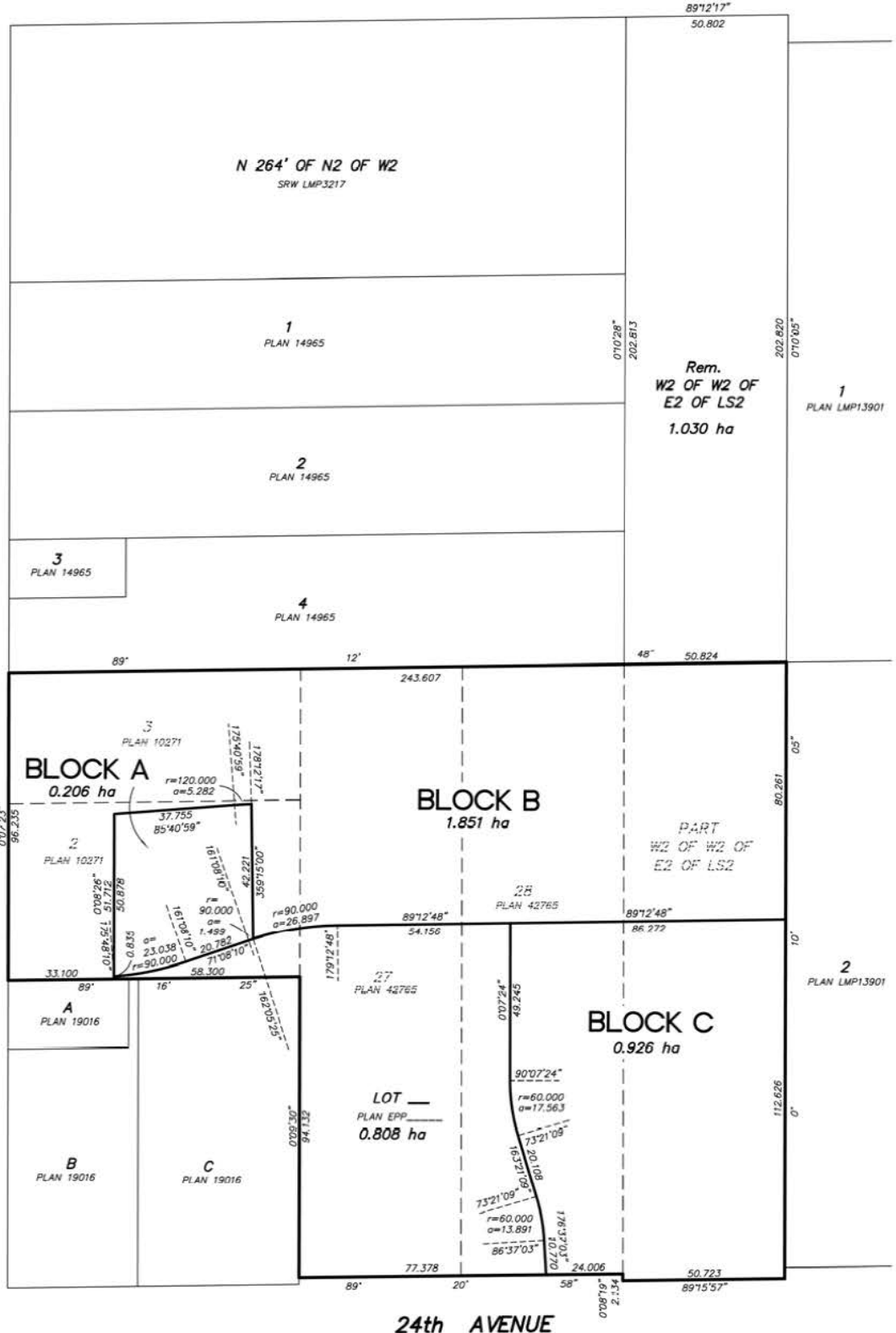


TABLE OF AREAS	
BLOCK A	0.206 ha
BLOCK B	1.851 ha
BLOCK C	0.926 ha
LOT - PLAN EPP	0.808 ha
Rem. W2 of W2 OF E2 OF LS2	1.030 ha

164th STREET

26th AVENUE



24th AVENUE

CERTIFIED CORRECT
 THIS 24th DAY OF JUNE, 2013

G. Sundick
 GARY SUNDICK

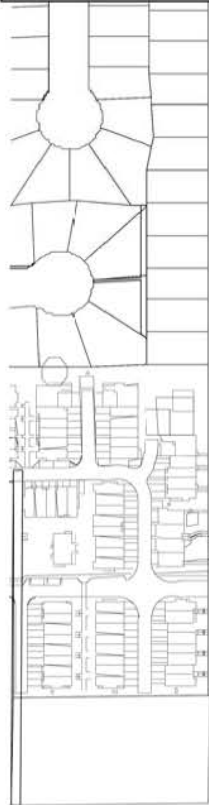
B.C.L.S.

**BUTLER
 SUNDICK**
 4 - 19089 94th Ave
 Surrey, BC V4N 3S4
 www.buttersundick.ca
 Tel. 604-513-9611

File: 4085
 Dwg: 4085-ZN1

NCP LEGEND

	Large Lot Duplex or Large Lot Single Family (2-10 up)
	Small Lot Single Family with or without Coach House (10-15 up)
	Townhouse (15-30 up)
	Walkway
	Park
	Habitat Corridor
	Multi-Family (30+ up)



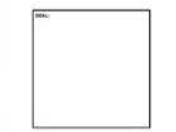
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REVISION:

NO.	DATE	REVISION
1	21.08.19	D.R. COMMENTS

ISSUE:

NO.	DATE	REVISION
1	21.08.19	REVISION FOR D.P.
2	21.08.19	D.R. REVISIONS



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 Fax: (604) 687-4648
 admin@rcciccozarchitecture.com

PROJECT:
GRANDVIEW RISE
 165th Street & 24th Avenue
 Surrey, B.C.

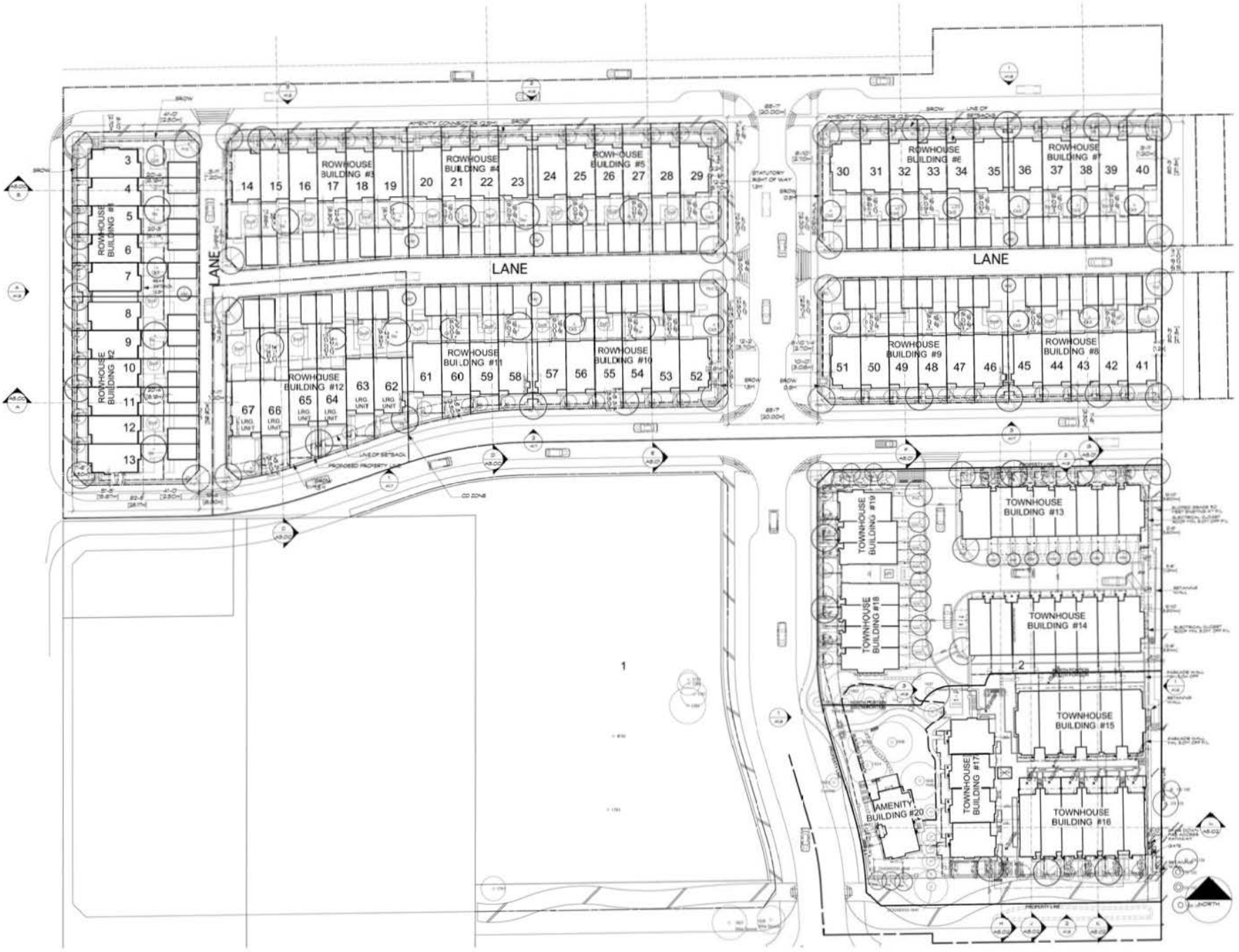
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SCALE: 1/1600	PROJECT NO: RCA-210

APP TITLE:
CONTEXT PLAN

REVISION NO: 1	SHEET NO: A1.1
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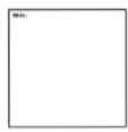
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REVISION	
NO.	DESCRIPTION
1	ISSUED FOR D.R.
2	D.P. REVISION

DATE: 07/20/19
 DRAWN BY: J.P. REVISION: J.P. REVISION



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 admin@ciccardiarchitecture.com

PROJECT
GRANDVIEW RISE
 188th Street & 24A Avenue
 Burnaby, B.C.

DATE: 07/20/19	DESIGNED BY: BW
SCALE: 1/4" = 1'-0"	PROJECT NO: RCA-270

PRELIMINARY SITE PLAN

REVISION NO: 1	DATE: A1.01
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24A Avenue

July 2, 2013

GRANDVIEW RISE
165th Street & 24A Avenue



Corner of 165th St. and 25th Ave.

July 2, 2013

GRANDVIEW RISE
165th Street & 24A Avenue



Corner of 165th St. and 24A Ave.

July 2, 2013

GRANDVIEW RISE
165th Street & 24A Avenue



24th Avenue

July 2, 2013

GRANDVIEW RISE
165th Street & 24A Avenue



1 25 AVENUE STREET ELEVATION
SCALE 3/32" = 1'-0"



2 25 AVENUE STREET ELEVATION
SCALE 3/32" = 1'-0"



3 25 AVENUE STREET ELEVATION
SCALE 3/32" = 1'-0"



4 164TH STREET ELEVATION
SCALE 3/32" = 1'-0"

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REVISION:

NO.	DATE	REVISION
1	2.08.13	S.A. COMMENTS

ISSUE:

NO.	DATE	REVISION
1	2.08.13	ISSUED FOR S.P.
2	2.08.13	S.P. REVISION



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PROJECT:
GRANDVIEW RISE
185th Street & 26A Avenue
Burnaby, B.C.

NO.	DATE	REVISION
1	N/A	ISSUED
2	3.02.14	REVISED
3	N/A	REVISED

SCALE: 3/32" = 1'-0"

PROJECT NO.: RCA270

STREET ELEVATIONS

NO.:	1
DATE:	A1.07



1 24A AVENUE STREET ELEVATION
SCALE: 3/32" = 1'-0"



2 24A AVENUE STREET ELEVATION
SCALE: 3/32" = 1'-0"

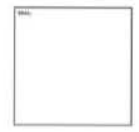


3 24A AVENUE STREET ELEVATION
SCALE: 3/32" = 1'-0"

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REVISION		
NO.	DATE	REVISION
1	2024.08.18	DR. COMPLETE

ISSUE	
NO.	REVISION
1	ISSUED FOR D.P.
2	DR. REVISION



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GRANDVIEW RISE
185m Street & 24A Avenue
Surrey, B.C.

NO.	DATE	NO.	DATE
1	2024.08.18	1	2024.08.18

SCALE: 3/32" = 1'-0"

STREET ELEVATIONS

1	A1.08
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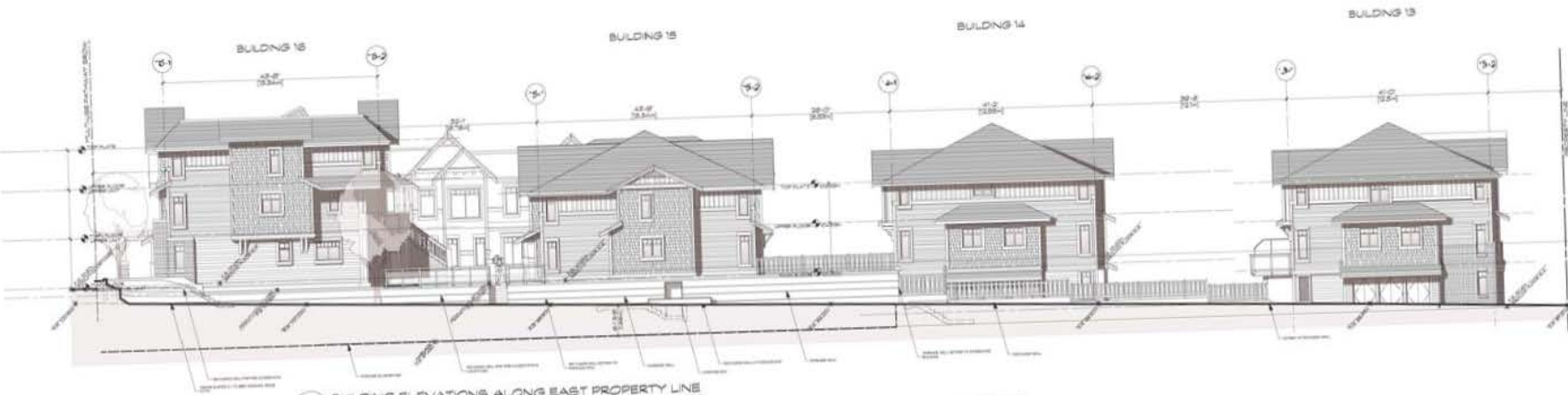
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1	DATE: 01.08.18
2	BY: DP CO-REV'S

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2	BY: DP CO-REV'S



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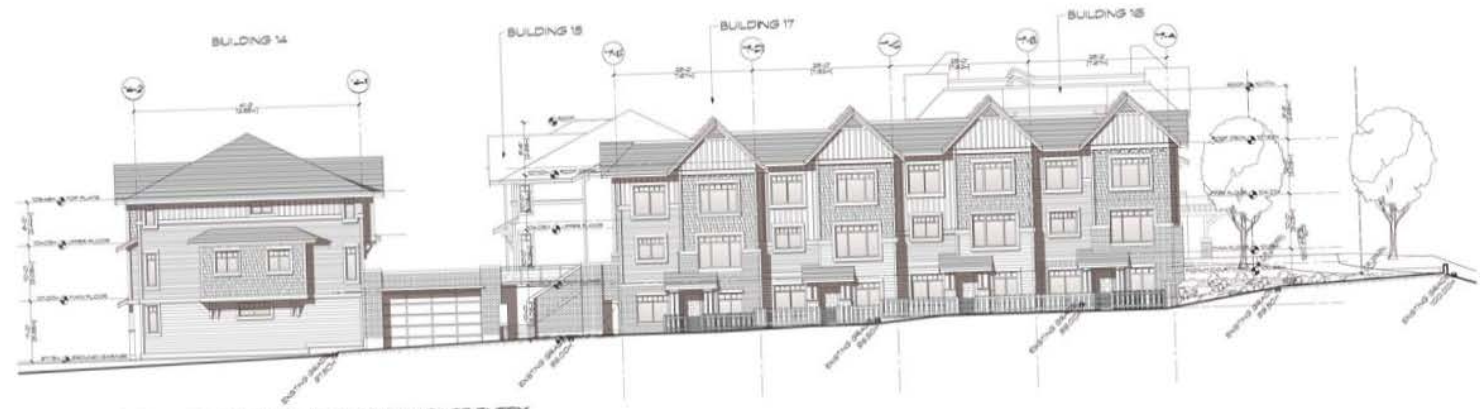
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 Fax: (604) 687-4641
 adm@rcacocozia.com



1 BUILDING ELEVATIONS ALONG EAST PROPERTY LINE
 A1.6 SCALE 3/32" = 1'-0"



2 BUILDING ELEVATIONS ALONG 24TH AVE.
 A1.6 SCALE 3/32" = 1'-0"



3 BUILDING ELEVATIONS ALONG GARAGE ENTRY
 A1.6 SCALE 3/32" = 1'-0"

GRANDVIEW RISE
 18.5m Street & 24th Avenue
 Surrey, B.C.

DATE	BY	REVISION	BY
01/32/18	DP	REVISION	RCA/STO

PROJECT TITLE
STREET ELEVATIONS

1	A1.09
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18.5m Street & 24th Avenue - Project: 18.5m Street & 24th Ave



1 165TH STREET ELEVATION
A1.0 SCALE 3/32" = 1'-0"



2 24A AVENUE ELEVATION
A1.8 SCALE 3/32" = 1'-0"

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NO.	DATE	REVISION
1	21.08.23	2D CONCEPTS

NO.	REVISION
1	ISSUED FOR DR.
2	2D CONCEPTS



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PROJECT
GRANDVIEW RISE
165th Street & 24A Avenue
Surrey, B.C.

DATE: 21	DESIGNER: RW
SCALE: 3/32" = 1'-0"	PROJECT NO: RCA-270

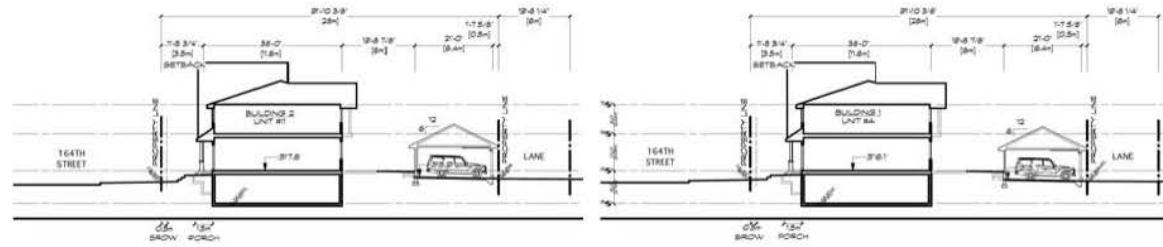
PROJECT TITLE
STREET ELEVATIONS

NO.: 1	SCALE: A1.10
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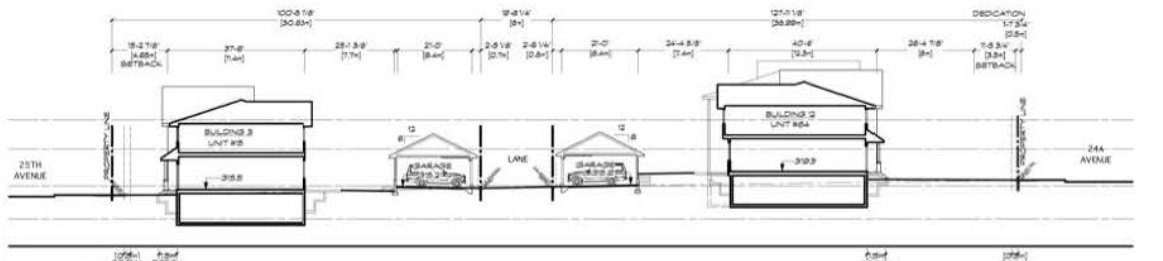
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NO.	DESCRIPTION
1	D.P. COMMENTS

ISSUE:	
DATE	DESCRIPTION
07/26/13	ISSUED FOR D.P.
2/08/13	D.P. RESUBMISSION

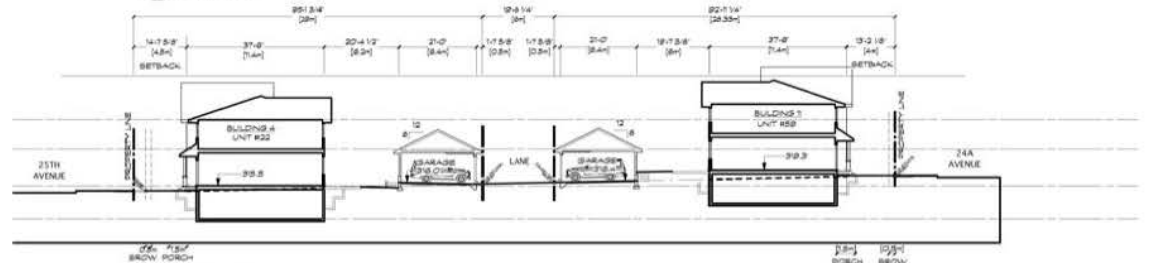


1 SITE SECTION A
SCALE 1/8" = 1'-0"

2 SITE SECTION B
SCALE 1/8" = 1'-0"



3 SITE SECTION C
SCALE 1/8" = 1'-0"



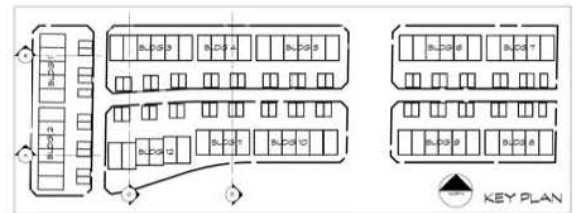
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PROJECT:
GRANDVIEW RISE
165th Street & 24A Avenue
Surrey, B.C.

SCALE: 1/8" = 1'-0"
DRAWING: RCA-270
SITE SECTIONS

REVISION NO.: 1
SHEET NO.: A5.00



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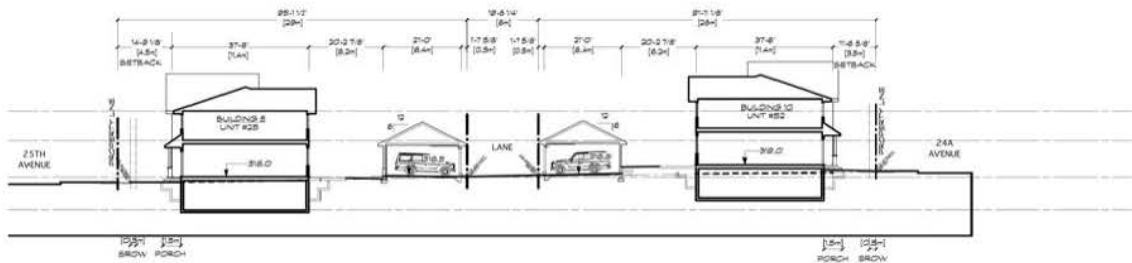
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NO.	DESCRIPTION
1	21.08.13 D.P. COMMENTS

ISSUE:	
DATE	DESCRIPTION
27.08.13	ISSUED FOR D.P.
2.09.13	D.P. RESUBMISSION

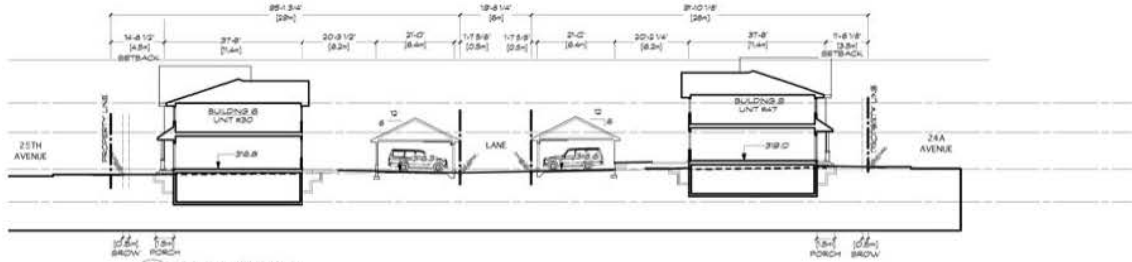


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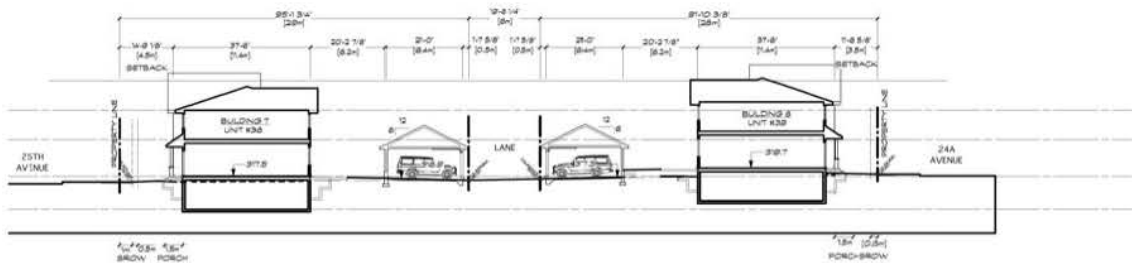
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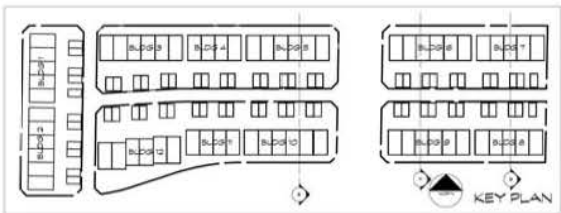
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2 SITE SECTION F
SCALE 1/8" = 1'-0"



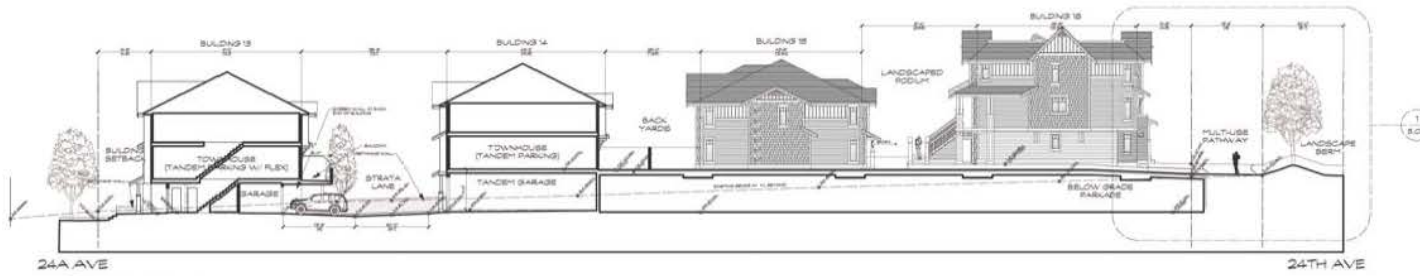
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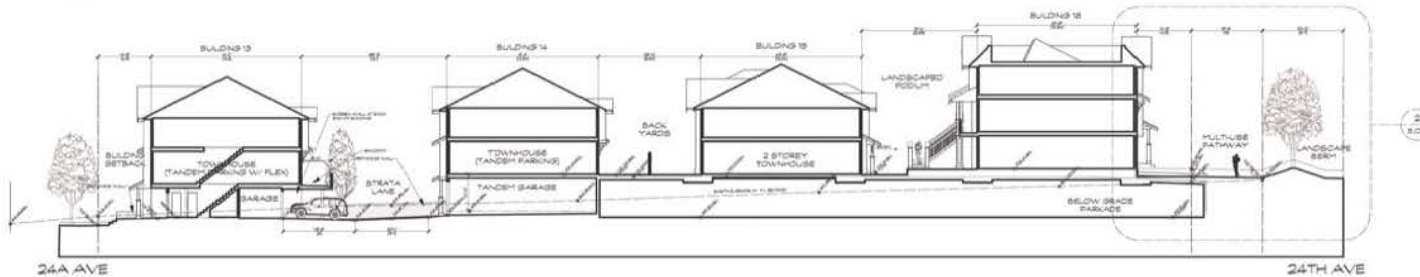
PROJECT:
GRANDVIEW RISE
 185th Street & 24A Avenue
 Surrey, B.C.

SCALE: 1/8" = 1'-0"
 DRAWING: RCA-270
SITE SECTIONS

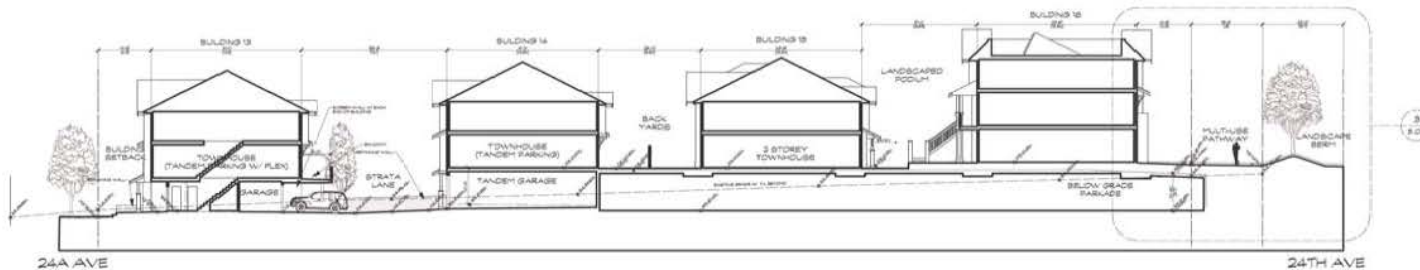
REVISION NO.: 1
 SHEET NO.: A5.01



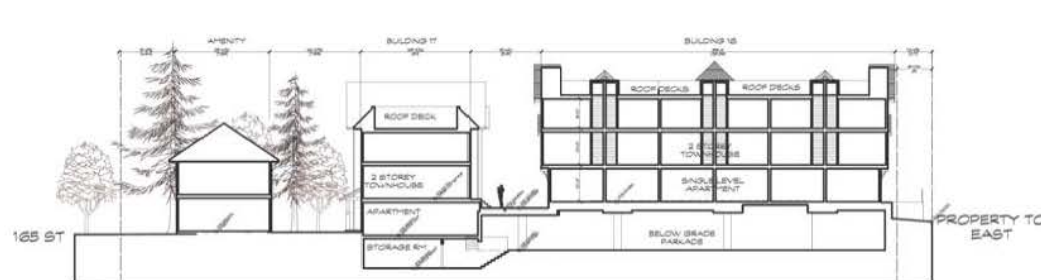
24A AVE
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 SCALE 1/8" = 1'-0"



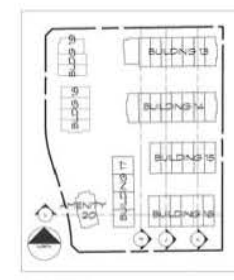
24A AVE
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 SCALE 1/8" = 1'-0"



24A AVE
 3 SITE SECTION K
 SCALE 1/8" = 1'-0"



165 ST
 4 SITE SECTION L
 SCALE 1/8" = 1'-0"



KEY PLAN

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NO.	DATE	REVISION
1	22.08.13	BUILDING HT
2	22.08.13	DP COMMENTS

ISSUE:	REVISION:
27.08.13	ISSUED FOR D.P.
18.08.13	ISSUED FOR D.P.
21.08.13	DP REVISIONS



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 admin@cicozziarchitecture.com

PROJECT
GRANDVIEW RISE
 185m Street & 24A Avenue
 Burrey, B.C.

OWNER:	BW	DESIGNER:	RC
SCALE:	1/8" = 1'-0"	PROJECT NO.:	RCA270

SITE SECTIONS

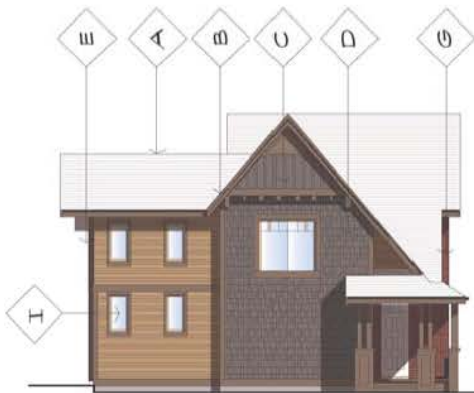
SECTION NO.:	2	DATE:	A5.02
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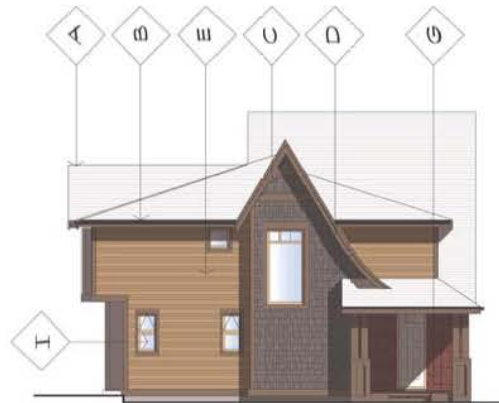
1 ROWHOUSE BUILDING 5 FRONT ELEVATION
SCALE: NTS



2 ROWHOUSE BUILDING 9 FRONT ELEVATION
SCALE: NTS



3 ROWHOUSE BUILDING 9 SIDE ELEVATION
SCALE: NTS



4 ROWHOUSE BUILDING 5 SIDE ELEVATION
SCALE: NTS

ROOF SHINGLES

160
CAMBRIDGE DUAL BLACK



A

PAINTED WOOD TRIMS & BRACES

BENJAMIN MOORE
HC-85 Farview Tape



B

PAINTED FIBRE CEMENT VERTICAL BOARD & BATTEN

CERTAINTED
Charcoal Grey



C

PAINTED FIBRE CEMENT VERTICAL SHAKES

CERTAINTED
Charcoal Grey



D

PAINTED FIBRE CEMENT HORIZONTAL SIDING

CERTAINTED
Buckskin



E

CONCRETE CAPS & SILLS



F

MASONRY CLADDING

BRAMPTON BRICK
Crawford



G

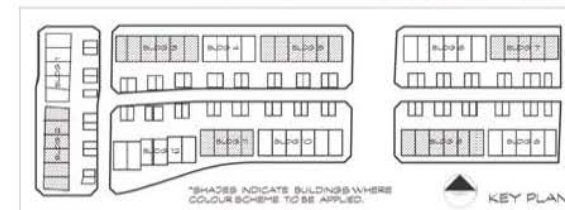
VINYL DOUBLE GLAZED WINDOWS

Almond Frame



H

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*SHADES INDICATE BUILDINGS WHERE COLOUR SCHEME TO BE APPLIED.

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REVISION:		
NO.	DATE	DESCRIPTION
1	2024.10.19	FOR COMMENTS

ISSUE:	
DATE	DESCRIPTION
2024.10.19	ISSUED FOR C.D.P.
2024.10.19	FOR REVISION



RCA
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Fax: (604) 687-4641
admin@rccociarchitecture.com

PROJECT
GRANDVIEW RISE
1855th Street & 24th Avenue
Surrey, B.C.

OWNER: NAV	DESIGNED BY: RC
SCALE: NTS	PROJECT NO: RCA270

COLOURED ELEVATIONS

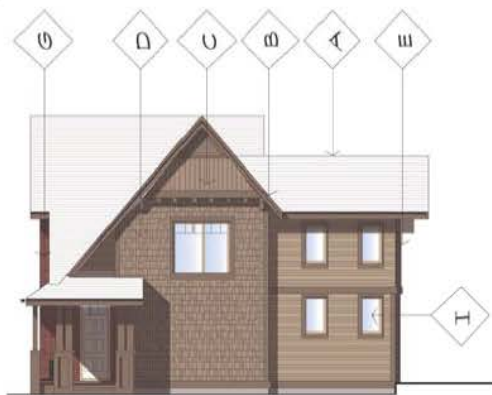
REVISION NO: 1	DATE: A1,11
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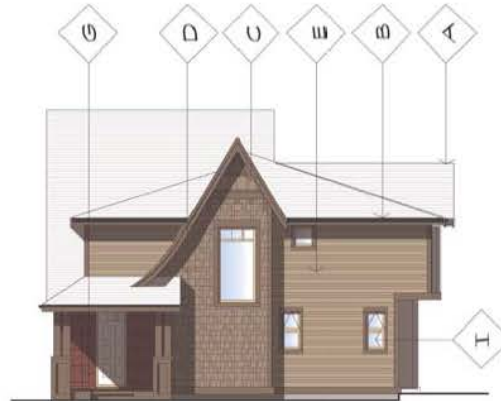
1 ROWHOUSE BUILDING 6 FRONT ELEVATION
SCALE: NTS



2 ROWHOUSE BUILDING 10 FRONT ELEVATION
SCALE: NTS



3 ROWHOUSE BUILDING 10 SIDE ELEVATION
SCALE: NTS



4 ROWHOUSE BUILDING 6 SIDE ELEVATION
SCALE: NTS

ROOF SHINGLES

110
CAMBROGE DUAL BLACK



A

PAINTED WOOD TRIMS & BRACES

BENJAMIN MOORE
HC-85 Farview Tape



B

PAINTED FIBRE CEMENT VERTICAL BOARD & BATTEN

CERTAINTED
Natural Clay



C

PAINTED FIBRE CEMENT VERTICAL SHAKES

CERTAINTED
Natural Clay



D

PAINTED FIBRE CEMENT HORIZONTAL SIDING

CERTAINTED
Savannah Wicker



E

CONCRETE CAPS & SILLS



F

MASONRY CLADDING

BRAMPTON BRICK
Crawford



G

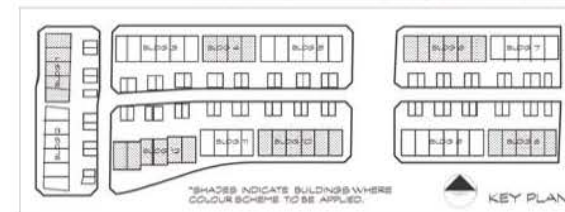
VINYL DOUBLE GLAZED WINDOWS

Almond Frame



H

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REVISION:		
NO.	DATE	DESCRIPTION
1	2024.12.19	FOR COMMENTS

ISSUE:	
DATE	DESCRIPTION
2024.12.19	ISSUED FOR C.D.P.
2024.12.19	FOR REVISION



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admin@rccociarchitecture.com

PROJECT
GRANDVIEW RISE
1855th Street & 24th Avenue
Surrey, B.C.

OWNER	NAV	DESIGNED BY	RC
SCALE	NTS	PROJECT NO.	RC2370

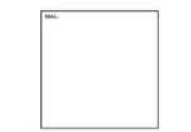
WORK TITLE
COLOURED ELEVATIONS

REVISION NO.	1	DATE	A1,12
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REVISION:		
NO.	DATE	DESCRIPTION
1	2.08.13	DP COMMENTS

ISSUE:	
DATE	DESCRIPTION
27.08.13	ISSUED FOR D.P.
2.08.13	DATE OF SUBMISSION



RCA
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 Canada V5Y 3T3
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 Fax: (604) 687-4641
 adm.in@cicciozziarhitecture.com

PROJECT:
GRANDVIEW RISE
 185m Street & 24A Avenue
 Burnaby, B.C.

DESIGN: RW	DRAWN BY: BW
SCALE: 3/16" = 1'-0"	PROJECT NO.: RCA-270

NOTE:
COLOURED ELEVATIONS
15, 16, & 17

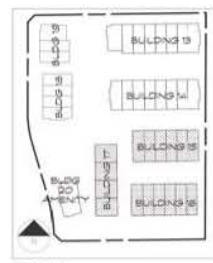
ISSUE NO.: 1	DATE: A1,14
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BUILDING 17 FRONT ELEVATION



BUILDING 15 FRONT ELEVATION



KEY PLAN

ROOF SHINGLES
 IKO
 CAMBROSE DUAL BLACK



A

PAINTED WOOD TRIMS & BRACES
 BENJAMIN MOORE
 HC-88 Pavilion Taupe



B

PAINTED FIBRE CEMENT VERTICAL BOARD & BATTEN
 CERTAINTED
 Natural Clay



C

PAINTED FIBRE CEMENT VERTICAL SHAKES
 CERTAINTED
 Natural Clay



D

PAINTED FIBRE CEMENT HORIZONTAL SIDING
 CERTAINTED
 Savannah Wick



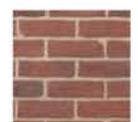
E

CONCRETE CAPS & SILLS



F

MASONRY CLADDING
 BRAMPTON BRICK
 Crawford



G

VINYL DOUBLE GLAZED WINDOWS
 Almond Frame



H

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File: 270-170-000000.dwg (Date: Revised: 02/14/14) (Scale: 1/8")

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1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

COLOUR SCHEME

- ◇ ROOF SHINGLES
Cemagex Dual Bond
- ◇ PAINTED WOOD TRIMS & BRACES
Benjamin Moore
HC-85 Kaurus Tone
- ◇ PAINTED FIBRE CEMENT BOARD & BATTEN
Benjamin Moore
CC-480 Shale Tone
- ◇ PAINTED FIBRE CEMENT SHAKES
CERTAINTEED
Chesnut Gray
- ◇ PAINTED FIBRE CEMENT HORIZONTAL SIDING
CERTAINTEED
Buckskin
- ◇ CONCRETE CAPS & SILLS
- ◇ MASONRY CLADDING
SANTON BRICK
Chimney
- ◇ VINYL DOUBLE GLAZED WINDOWS
Alford Frame

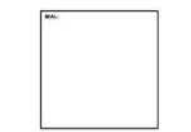
See All for Best Colour Matches.

REVISION

NO.	DATE	DESCRIPTION

ISSUE:

NO.	DESCRIPTION
27.08.23	ISSUED FOR O.P.



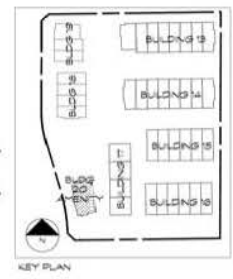
RCA
Robert Cicozzi Architecture Inc.
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Vancouver, B.C.
Canada V5Y 3Y3
Tel: (604) 687-4741
Fax: (604) 687-4641
admin@cicozziarhitecture.com



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROJECT:
GRANDVIEW RISE
165th Street & 26 Avenue
Burnaby, B.C.

DATE: 28/08/2023
SCALE: 1/4" = 1'-0"
PROJECT: GRANDVIEW RISE
DATE: 28/08/2023
SCALE: 1/4" = 1'-0"
PROJECT: GRANDVIEW RISE
DATE: 28/08/2023
SCALE: 1/4" = 1'-0"
PROJECT: GRANDVIEW RISE

REVISION: -
DATE: A2.49



3 DP Prior To	06/21/13
2 Re-issue for DP	05/04/13
1 Issue for DP	05/15/13
Revision No.	Date

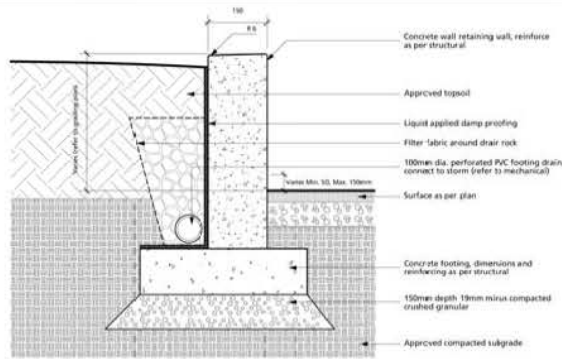
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Client: **Streetside Developments (BC) Ltd.**

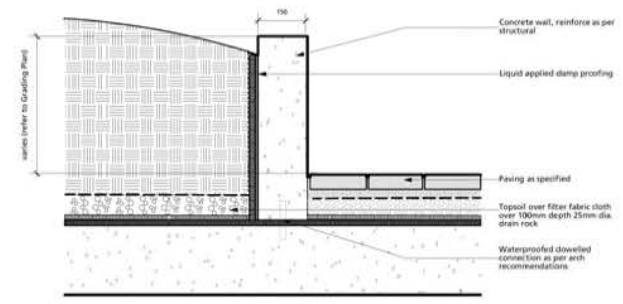
Project Title: **Grandview Rise**

Drawing Title: **Landscape Plan**

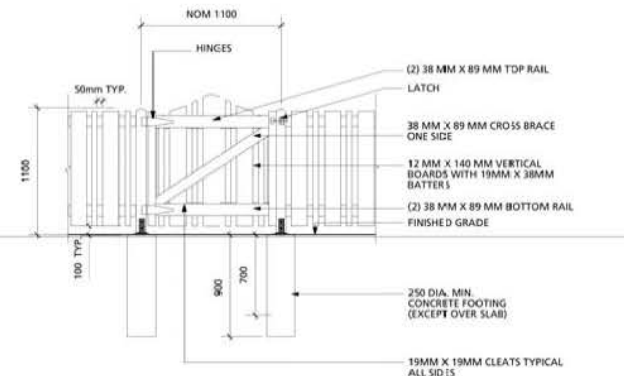
Project North:	Drawn By:	JG
	Checked By:	MP
Scale:	Job No.:	11-080
Sheet No.:		11-080



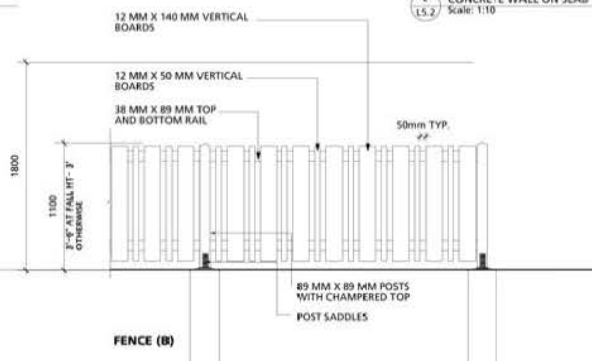
1 CONCRETE WALL ON GRADE
 Scale: 1:10



2 CONCRETE WALL ON SLAB
 Scale: 1:10

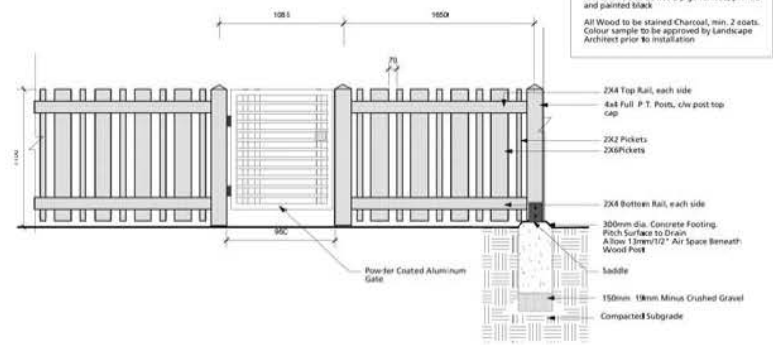


3 WOOD GATE AND FENCE - TYPE A
 Scale: 1:20

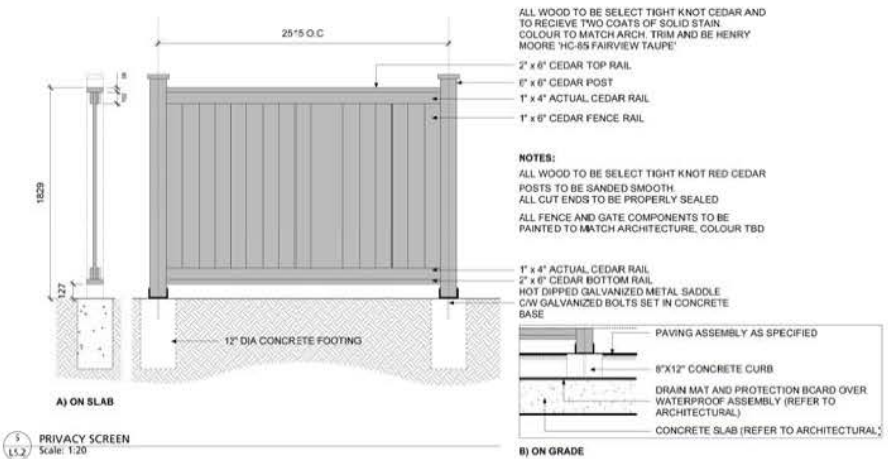


FENCE (B)

NOTE:
 All Wood to be Select Red Cedar, S4S
 Except Posts to be P.T. Fir
 All Fasteners to be hot dip galvanized, primed and painted black
 All Wood to be stained Charcoal, min. 2 coats.
 Colour sample to be approved by Landscape Architect prior to installation



4 WOOD PICKET FENCE AND GATE - TYPE B
 Scale: 1:20



5 PRIVACY SCREEN
 Scale: 1:20

3	DP Prior To	06/21/13
2	Re-Issue for DP	02/04/13
1	Issue for DP	05/15/13
	Revision No.	Date

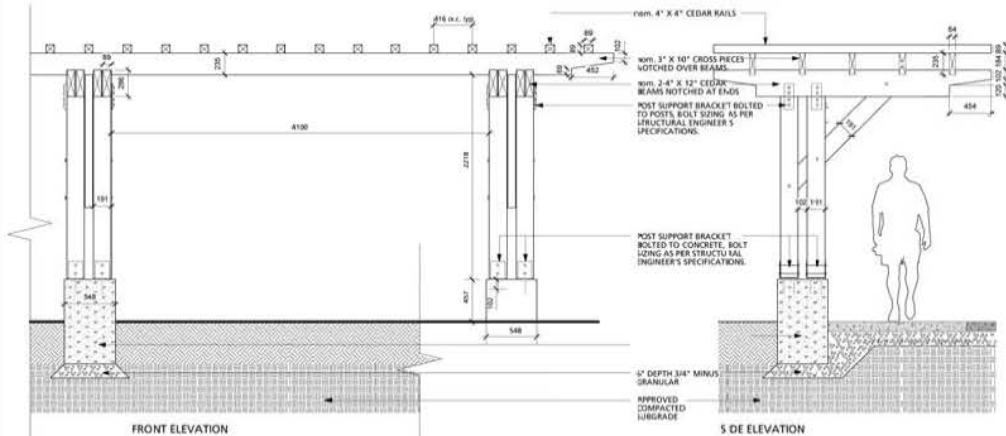
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Client: **Streetside Developments (BC) Ltd.**

Project Title: **Grandview Rise**

Drawing Title: **Details**

Project North	Drawn By: JG
	Checked By: MP
Scale: As Noted	Job No.: 11-080
Sheet No.:	

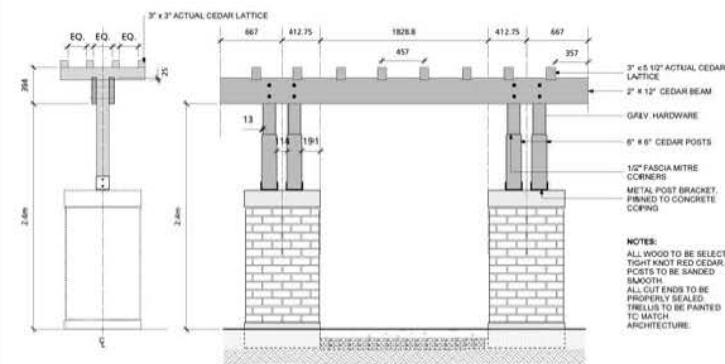


NOTES

1. ALL WOOD TO BE SELECT TIGHT KNOT RED CEDAR, S4S.
2. ALL WOOD TO BE PAINTED W/ MIN. TW COATS SOLID STAIN TO ACHIEVE SOLID COVERAGE. COLOUR TO MATCH ARCHITECTURAL WOOD.

1
L5.3

TRELLIS
 Scale: 1:25



NOTE:

- ALL WOOD TO BE SELECT TIGHT KNOT RED CEDAR. POSTS TO BE SANDED SMOOTH.
- ALL JOINT ENDS TO BE PROPERLY SEALED.
- TRELLIS TO BE PAINTED TO MATCH ARCHITECTURE.

3
L5.3

ENTRY ARBOUR
 Scale: 1:25



BENCH - Commercial
 Colour: Redwood & Handrail Silver
 Available from: Frantz Architects
 www.frantzarchitects.com

2
L5.3

BENCH
 Scale: 1:20

3	DP Prior To	06/21/13
2	Re-issue for DP	5/24/13
1	Issue for DP	05/15/13
Revision No.		Date

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Client: **Streetside Developments (BC) Ltd.**

Project Title: **Grandview Rise**

Drawing Title: **Details**

Project North	Drawn By:	JG
	Checked by:	MP
Scale:	Job No.:	11-080
As Noted	Sheet No.:	L5.3

- Construct 26 Avenue to a collector standard.
- Construct 2.25 metre curb extension at 25 Avenue.
- Construct pedestrian letdown on west side of 164 Street.
- Construct 165 Street to the Neo-Tradition through local road standard.
- Construct 2.25 metre curb extensions along 165 Street at 24A Avenue and 25 Avenue.
- Construct 24A Avenue to the Flex local road standard.
- Construct south half of 25 Avenue to Neo-Traditional through local road standard.
- Construct 6.0 metre north/south lane.
- Construct 6.0 metre east/west lane.
- Construct storm sewers to service the proposed development.
- Construct detention pond as per the Orchard Grove Neighbourhood Concept Plan (NCP) as amended by the Corporate Report R223 endorsed by council in October 2012.
- Construct 200 mm water main along 165 Street, 24A Avenue and 25 Avenue.
- Construct sanitary sewers to service the proposed development.

A Servicing Agreement is required prior to Rezone/Subdivision to be completed.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

CE



Friday, May 31, 2013

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 7912-0244-00

SUMMARY

The proposed 114 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	23
Secondary Students:	11

September 2012 Enrolment/School Capacity

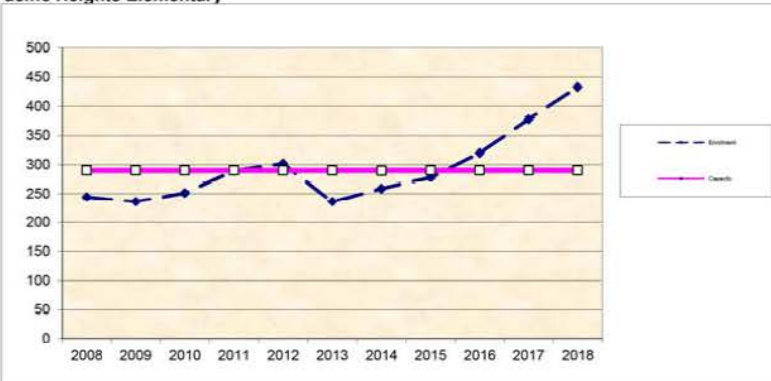
Pacific Heights Elementary	
Enrolment (K/1-7):	43 K + 259
Capacity (K/1-7):	40 K + 250
Earl Marriott Secondary	
Enrolment (8-12):	1944
Nominal Capacity (8-12):	1500
Functional Capacity*(8-12):	1620

School Enrolment Projections and Planning Update:

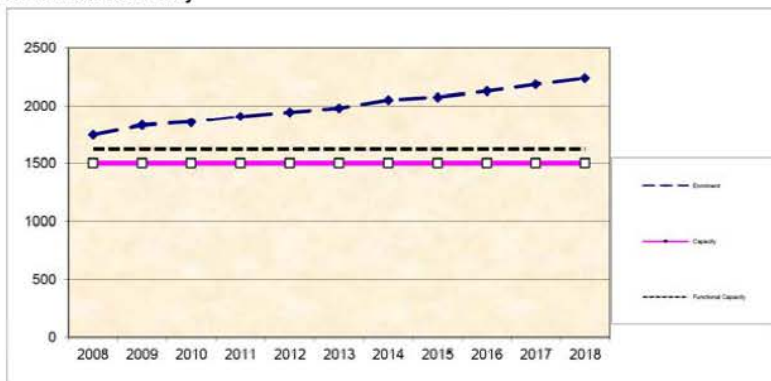
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Pacific Heights Elementary opened in 2006. Grandview Heights Elementary and Kensington Prairie Elementary were closed in June 2006 and the enrolment shifted to Pacific Heights Elementary. A replacement elementary school (Sunnyside Elementary) is under construction on 28th Avenue near 160th Street and is expected to open in September 2013. The School District has also approved boundary moves to the new Sunnyside Elementary (new location) from Pacific Heights Elementary to help address the projected overcrowding. A new elementary school site has also been purchased south of 24th Avenue - Site #206 on Edgewood Drive. The school district has also completed purchase of land for a new secondary school site in the Grandview Area adjoining the City of Surrey land assembly for a future Aquatic Centre and Recreation facilities. The School District has submitted a proposal for a new Grandview Area secondary school as a high priority project to the Ministry of Education. The proposed secondary school is #5 priority (funding year is 2014 - yr. 3) in the districts 2012-2016 Five Year Capital Plan. A proposed addition to Pacific Heights Elementary is also included in the capital plan, currently as priority #13 (year 4) but is not scheduled to be considered in the funding year of the submitted plan. The provision of services and residential growth projections (including NCP #2) are included in the enrolment projections below. The projections may be affected by timing of development approvals, housing growth, demographic changes and market factors. The timing of a new elementary school in NCP #2 neighbourhood is beyond five years, but could move up in capital plan prioritization in the next few years, with accelerated growth in this area.

Pacific Heights Elementary



Earl Marriott Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



TREE PRESERVATION SUMMARY

Surrey Project No.: _____
 Project Location: 16465-16517 24th Avenue, and 2490, 2460 164th Street, Surrey BC
 Registered Arborist: Trevor Cox, MCIP
 ISA Certified Arborist (PN1920A)
 Certified Tree Risk Assessor (43)
 BC Parks Wildlife and Danger Tree Assessor

Detailed Assessment of the existing trees of an Arborist’s Report is submitted on file. The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment of the Subject Site: 9.37 acre parcel consisting of 5 lots. Residences and out buildings on several of the lots. Protected sized conifer and deciduous species trees found within site.

2. Summary of Proposed Tree Removal and Placement:

The summary will be available before final adoption.

Number of Protected Trees Identified	<u>112</u>	(A)
Number of Protected Trees declared high risk due to natural causes	<u>3</u>	(B)
Number of Protected Trees to be removed	<u>86*</u>	(C)
Number of Protected Trees to be Retained (A-B-C)	<u>26</u>	(D)
Number of Replacement Trees Required(42 @ 1:1 plus 44 @ 2:1)(11 city trees @2:1)	<u>130</u> <u>(22)</u>	(E)
Number of Replacement Trees Proposed	<u>175</u>	(F)
Number of Replacement Trees in Deficit (E-F)	<u>0</u>	(G)
Total Number of Protected and Replacement Trees on Site (D+F)	<u>201</u>	(H)
Number of Lots Proposed in the Project	_____	(I)
Average Number of Trees per Lot (H / I)	_____	

3. Tree Survey and Preservation / Replacement Plan

- Tree Survey and Preservation / Replacement Plan is attached _____
- This plan will be available before final adoption _____

Summary prepared and submitted by:



Arborist Date

* With the exception of City 1830, located within the proposed intersection of 24th Avenue and 165th Street, the developer has no objection to retaining trees City 1783 to 1788, City 1793, City 1850, City 1863 or City 1869, which are subject to removal due to future road widening by the City of Surrey. The developer has no objection to retaining 1851 to 1855, which are subject to removal due to future road widening by the City of Surrey.

Land Use Concept Plan

Orchard Grove - Grandview Heights 5A Neighbourhood Concept Plan

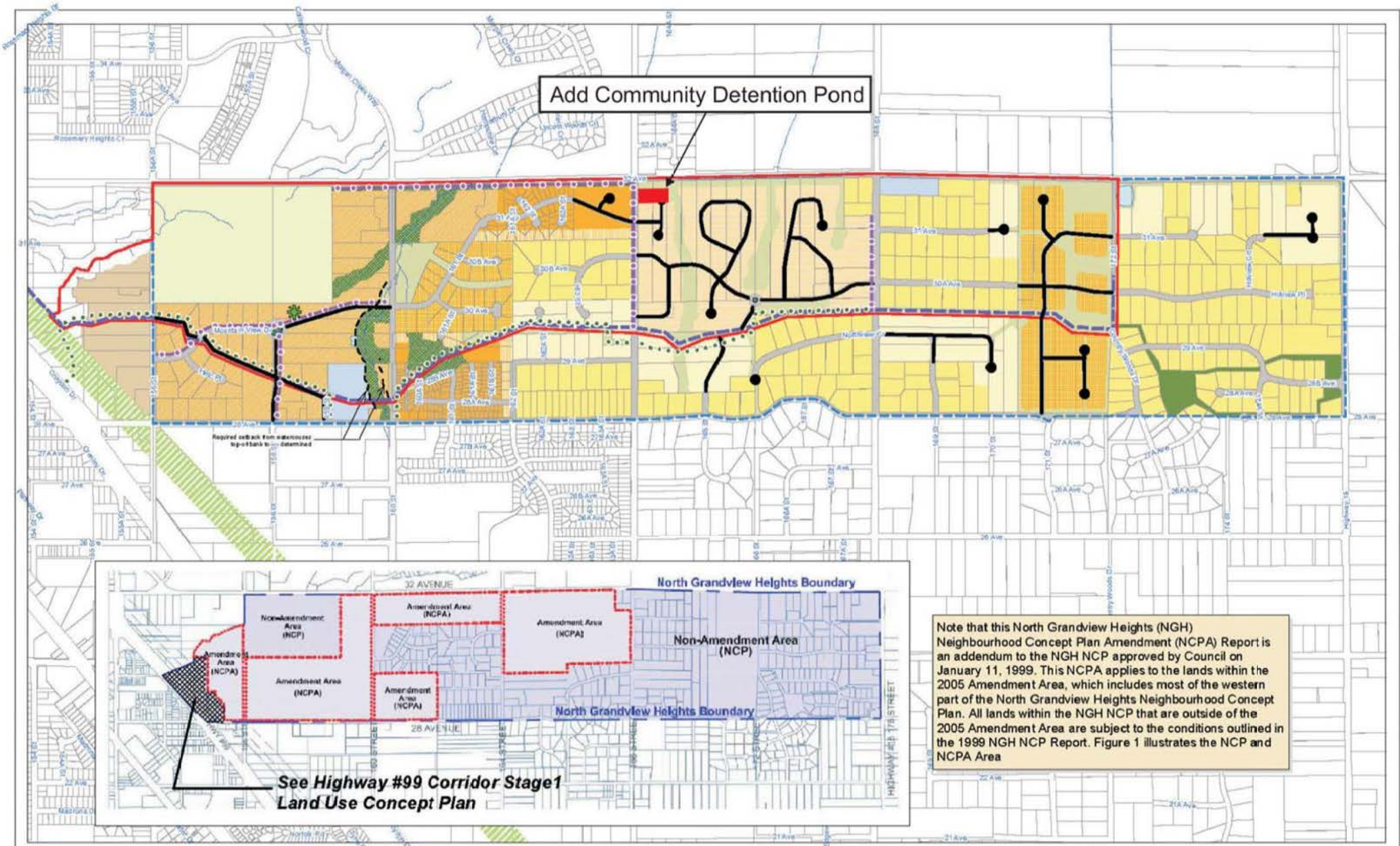
August 30 2011

Legend

- | | | |
|---|---|---|
|  Large Lot Duplex or Large Lot Single Family (2-10 upa) |  Park |  Amenity Connector (2.5 m sidewalk requiring SROW) |
|  Small Lot Single Family w/wo Coach House (10-15 upa) |  Walkway (10 m) |  Shared Access (SROW) |
|  Single Family (10 upa) or Townhouse with Tree Preservation (15 upa) |  Habitat Corridor (20 m SROW) |  Multi-Use Pathway (8 m SROW) |
|  Townhouse (15-30 upa) |  Transition Landscape Buffer (10 m SROW) |  Potential Orchard Preservation |
|  Townhouse (15 upa) or Multi-Family with Tree Preservation (30 upa) |  Special Commercial Street |  Tree Preservation Areas |
|  Multi-Family (30-45 upa) |  Green Street |  Tree Cluster |
|  Mixed-Use Commercial/Residential (30-45 upa) |  Residential Flex Street (14.5 m) | |
|  Stormwater Detention Pond | | |

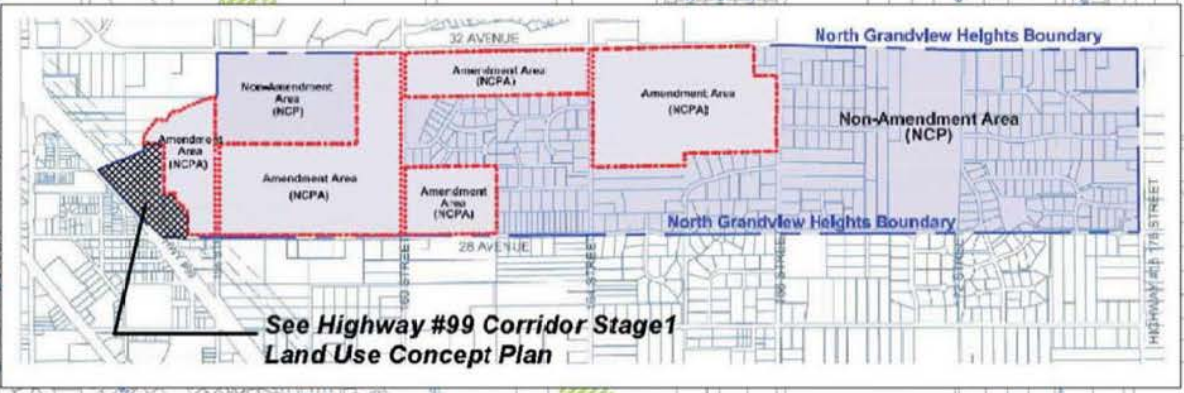


1:3,600



Add Community Detention Pond

Required setback from easements signposts to be determined



Note that this North Grandview Heights (NGH) Neighbourhood Concept Plan Amendment (NCPA) Report is an addendum to the NGH NCP approved by Council on January 11, 1999. This NCPA applies to the lands within the 2005 Amendment Area, which includes most of the western part of the North Grandview Heights Neighbourhood Concept Plan. All lands within the NGH NCP that are outside of the 2005 Amendment Area are subject to the conditions outlined in the 1999 NGH NCP Report. Figure 1 illustrates the NCP and NCPA Area

See Highway #99 Corridor Stage1 Land Use Concept Plan

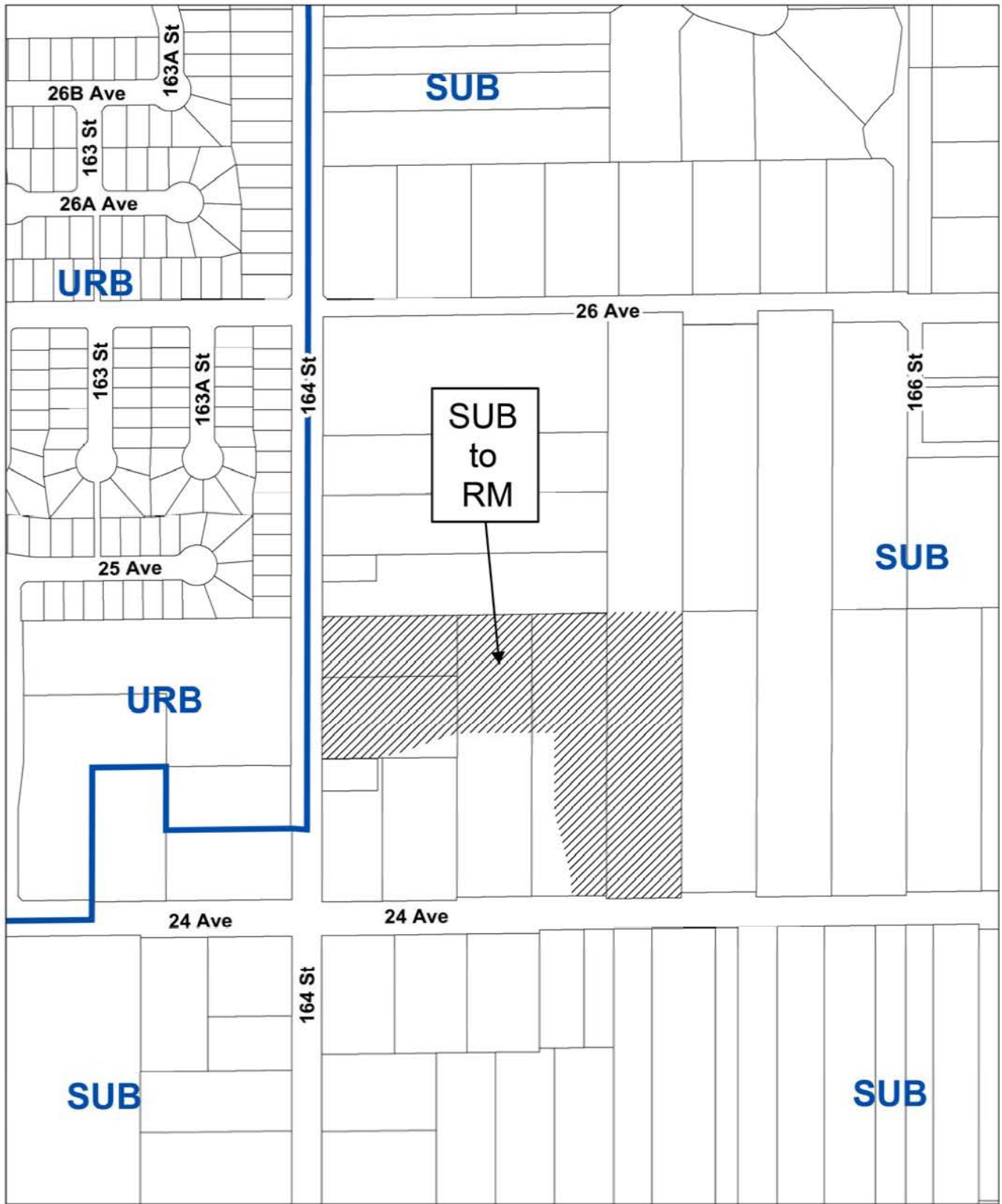
- Proposed One Acre Residential (RA)
- Proposed One Acre Residential Gross Density (RA-G)
- Single Detached (2 upa)
- Larger Transition Lots (2-3 upa)
- Single Detached (4-6 upa)
- Single Detached (7 u.p.a.)
- Cluster Housing (6-8 upa)
- Multiple Residential (15-25 upa)
- Environmental Area
- Proposed Open Space / Linear Open Space
- Existing One Acre & Half Acre Lots
- Existing Elementary School
- Existing Cemetery
- Proposed Detention / Sedimentation Ponds (size/location to be confirmed at detailed subdivision/rezoning stage)
- Study Area Boundary
- Plan Area-NCP Area Boundary
- Hydro Right of Way / Greenway
- Proposed North Grandview Interceptor
- Creeks
- Proposed Roads
- Enhanced Sidewalk/Walkway
- Linear Park / Multi-use Trail
- Round-About
- Neighbourhood Park (size/location to be confirmed at detailed subdivision/rezoning stage)

NORTH GRANDVIEW HEIGHTS LAND USE PLAN

CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT
 Approved by Council: January 11, 1999 Amended Oct. 2011

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.





OCP Amendment

Proposed amendment from Suburban to Multiple Residential



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7912-0244-00

Issued To: QUALICO DEVELOPMENTS (VANCOUVER) INC
("the Owner")

Address of Owner: #310, 5620 - 152 Street
Surrey, BC V3S 3K2

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-285-644
Lot 2 Section 24 Township 1 New Westminster District Plan 10271
2460 - 164 Street

Parcel Identifier: 009-285-661
Lot 3 Section 24 Township 1 New Westminster District Plan 10271
2490 - 164 Street

Parcel Identifier: 002-409-551
Lot 27 Section 24 Township 1 New Westminster District Plan 42765
16465 - 24 Avenue

Parcel Identifier: 001-585-941
Lot 28 Section 24 Township 1 New Westminster District Plan 42765
16487 - 24 Avenue

Parcel Identifier: 013-216-678
West Half of the West Half of the East Half Legal Subdivision 2 Section 24 Township 1
New Westminster District

16517 - 24 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) to reduce the minimum front yard (24A Avenue) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.8 metres (12.5 ft.) to the building face, 3.5 metres (11.5 ft.) to the entry signage wall, and 3.4 metres (11.2 ft.) to the roof overhang;
- (b) to reduce the minimum side yard flanking street (165 Street) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.1 metres (13.5 ft.) to the building face and 3.8 metres (12.5 ft.) to the roof overhang;
- (c) to reduce the minimum side yard (East) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3 metres (10 ft.) to the building face and roof overhang;
- (d) to vary Section 17 (b) of Part 4-General Provisions to permit more than three (3) stair riser in the building setback area; and
- (e) to vary Section H.5 (b) of Part 22- RM-30 Zone to permit one (1) enclosed and one (1) unenclosed tandem parking space for ground oriented dwelling units.

5. The landscaping and the siting of buildings and structures shall be in accordance with the drawing numbered 7912-0244-00 (A) (the "Drawing") which is attached hereto and form part of this development variance permit.

6. This development variance permit applies to only the portion of the Land shown as Block C on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF: SCHEDULE A
 LOT 2 PLAN 10271,
 LOT 3 PLAN 10271,
 LOT 27 PLAN 42765,
 LOT 28 PLAN 42765 AND
 PART OF WEST HALF OF THE WEST HALF OF THE EAST HALF LEGAL SUBDIVISION 2
 ALL OF SECTION 24 TOWNSHIP 1 NEW WESTMINSTER DISTRICT

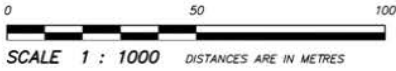
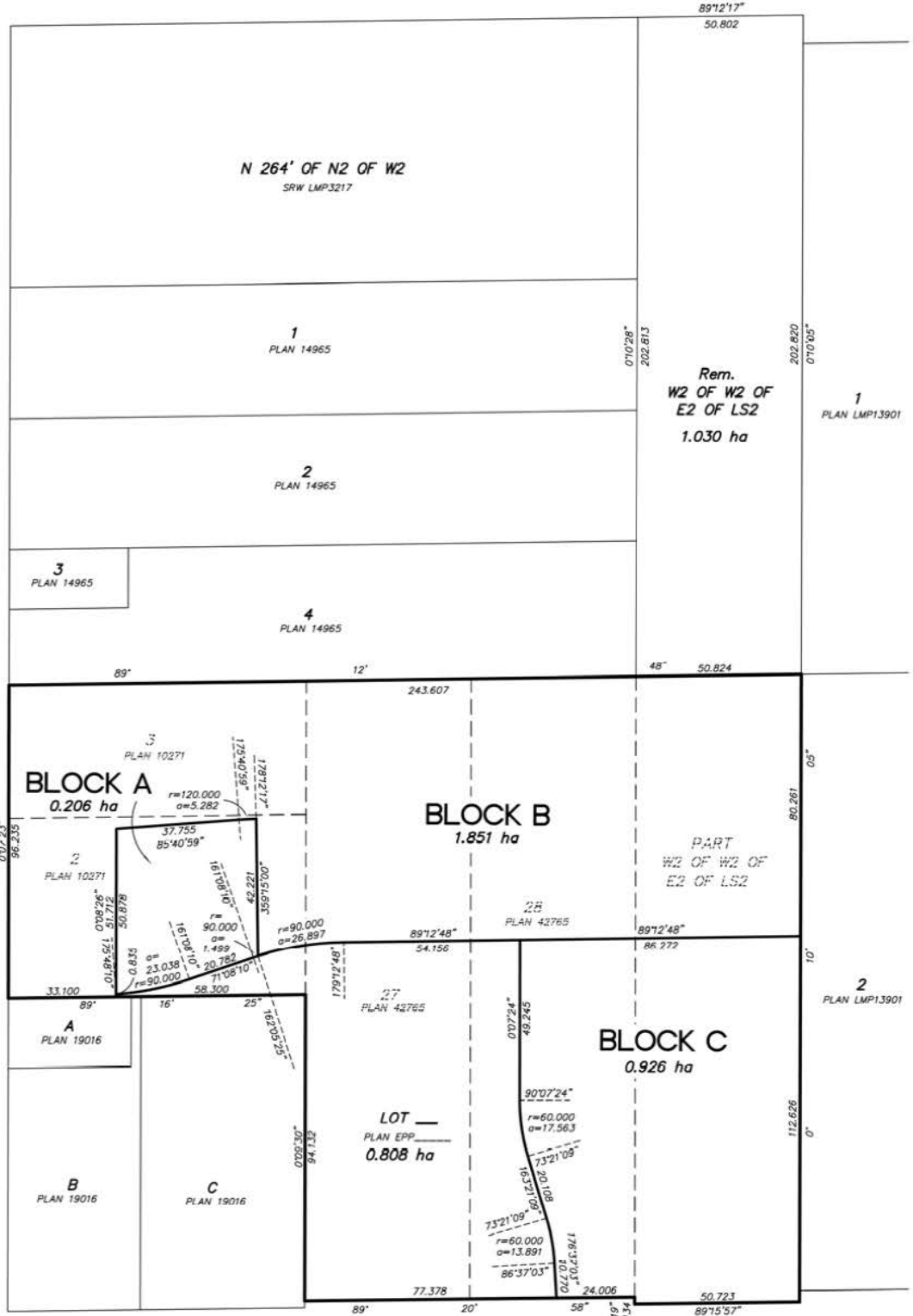


TABLE OF AREAS	
BLOCK A	0.206 ha
BLOCK B	1.851 ha
BLOCK C	0.926 ha
LOT - PLAN EPP	0.808 ha
Rem. W2 of W2 OF E2 OF LS2	1.030 ha

164th STREET

26th AVENUE



24th AVENUE

CERTIFIED CORRECT
 THIS 24th DAY OF JUNE, 2013

GARY SUNDVICK
 B.C.L.S.

GARY SUNDVICK

**BUTLER
 SUNDVICK** 4 - 19089 94th Ave
 Surrey, BC V4N 3S4
 www.buttersundvick.ca
 Tel. 604-513-9611

File: 4085
 Dwg: 4085-ZN1

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE- ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 009-285-644
Lot 2 Section 24 Township 1 New Westminster District Plan 10271

Portion of 2460 - 164 Street

As shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by Gary Sundvick, B.C.L.S. on the 24th day of June, 2013, containing 0.206 hectares, called Block A.

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate attached *dwelling units* on *lots* contained in a *row housing building*, which are to be developed in accordance with a *comprehensive design*, and where *density* bonus is provided.

B. Permitted Uses

Land and *structures* shall be used for only one *dwelling unit* on each *lot* contained within a *row housing building* and *accessory uses*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *unit density* shall not exceed 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. (a) The *unit density* shall not exceed 57 *dwelling units* per hectare [23 u.p.a.]; and
 - (b) For *building* construction within a *lot*, the maximum allowable floor area of the *dwelling unit* shall be 158 sq. m. [1,700 sq. ft.], excluding any *basement*, garage, carport, or *accessory buildings* and *structures*.

E. Lot Coverage

The maximum *lot coverage* shall be:

1. 50% where the *lot* is an *internal lot* pursuant to Section K.2 of this Zone.
2. 40% where the *lot* is an *end lot* pursuant to Section K.2 of this Zone.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>
<i>Internal Dwelling Unit</i>		3.5 m. ¹ [11.5 ft.]	12.5 m. [41 ft.]	0.0 m. [0.0 ft.]
<i>End Dwelling Unit</i>		3.5 m. ¹ [11.5 ft.]	12.5 m. [41 ft.]	1.2 m. ⁴ [4 ft.]
<i>Accessory Buildings and Structures</i>		- ²	0.5 m. ³ [1.64 ft.]	0.0 m. ^{5,6} [0.0 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- ¹ The *front yard setback* of the *principal building* may be reduced to a minimum of 2.0 m. [6.6 ft.] for the first storey by an unenclosed and uninhabitable space such as a porch or veranda provided that the said porch or veranda is a minimum of 1.5 m. [5 ft.] deep, covered from above and is an integral part of the *principal building*.
- ² *Accessory buildings and structures* shall not be located in the *front yard setback* of the *principal building*.
- ³ *Accessory buildings and structures* exceeding 2.4 m. [8 ft.] in *building height* and any detached garage or carport regardless of the *building height* are not permitted within 6.0 m. [20 ft.] of the *principal building*.
- ⁴ A *side yard setback* is not required at the common *side lot line* between two *lots* along which the same *row housing building* is located.
- ⁵ The *side yard setback* of an *accessory building and structure* including a garage shall be increased to a minimum of 2.7 m. [9 ft.] on the opposite side of the *lot*.
- ⁶ At any corner cut at the intersection of a rear lane, the *side yard setback* shall be increased to a minimum of 0.5 m. [1.64 ft.].

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal building*: The *building height* shall not exceed 9.5 m. [31 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 3 m. [10 ft.] except that where the roof slope and construction materials of an *accessory building* are the same as that of the *principal building*, the *building height* of the *accessory building* may be increased to 5.0 m. [16.5 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. A *driveway* to the *lot* shall be permitted only from a rear lane.
3. A minimum of 2 off-street *parking spaces* shall be provided for each *dwelling unit* at the rear of the *lot*.
4. Where a garage or carport is provided on the *lot*, no more than one off-street *parking space* shall be within the garage or carport.

5. The floor area of the garage or carport shall not exceed a maximum of 22 sq. m. [240 sq. ft.].
6. Where a detached garage or carport is provided on the *lot*, such detached garage or carport shall:
 - (a) Be located at a minimum of 6 m [20 ft.] from the rear wall of the *principal dwelling*; and
 - (b) The *driveway* width shall not exceed 6 m [20 ft.].
7. Outside parking of *vehicles* ancillary to a residential use shall be limited to a maximum of 2 cars or trucks.
8. Outside parking or storage of *campers*, boats or *house trailers* shall not be permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Non-porous or paved surfaces, excluding a *driveway*, shall not cover more than 12 sq.m. [129 sq.ft.] in area.

J. Subdivision

1. Where amenities are not provided in accordance with Schedule G of of Surrey Zoning By-law, 1993, No. 12000, as amended, the *lots* created shall conform to the minimum standards prescribed in Section K of Part 12 One-Acre Residential Zone (RA) of of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Where amenities are provided in accordance with Schedule G of of Surrey Zoning By-law, 1993, No. 12000, as amended, the *lots* created shall conform to the minimum standards:

	<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
<i>Internal Lot</i>	217 sq. m. [2,340 sq. ft.]	6.3 m. [21 ft.]	33 m. [108 ft.]
<i>End Lot</i>	245 sq. m. [2,638 sq. ft.]	7.5 m. [25 ft.]	31 m. [102 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

K. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-23 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended.
9. Subdivisions shall be subject to the applicable Surrey Development Cost Charge By-law, 2013, No. 17856, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-23 Zone.
10. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
11. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

READ A THIRD TIME ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

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BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF
PART OF LOT 2 SECTION 24 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 10271

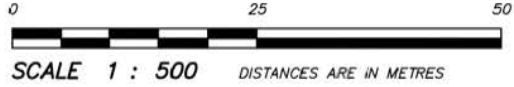
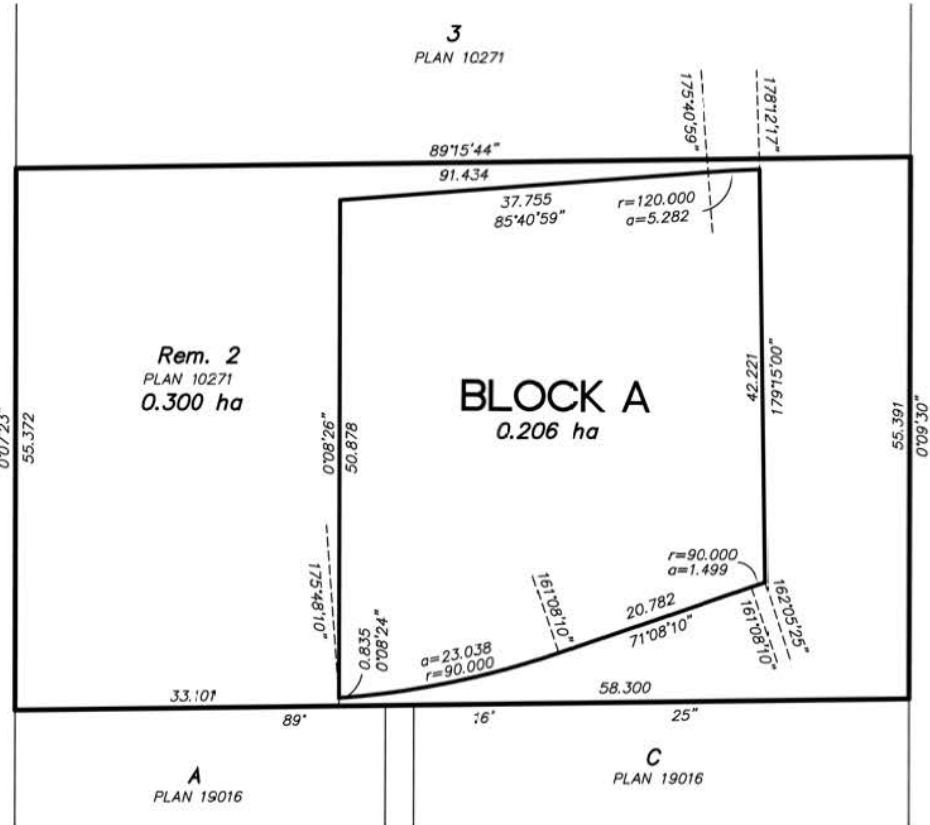


TABLE OF AREAS	
BLOCK A	0.206 ha
REM. LOT 2 PLAN 10271	0.300 ha
TOTAL	0.506 ha

164th STREET



CERTIFIED CORRECT
THIS 24th DAY OF JUNE, 2013


GARY SUNDVICK B.C.L.S.

**BUTLER
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Tel. 604-513-9611

File: 4085
Dwg: 4085-ZN2