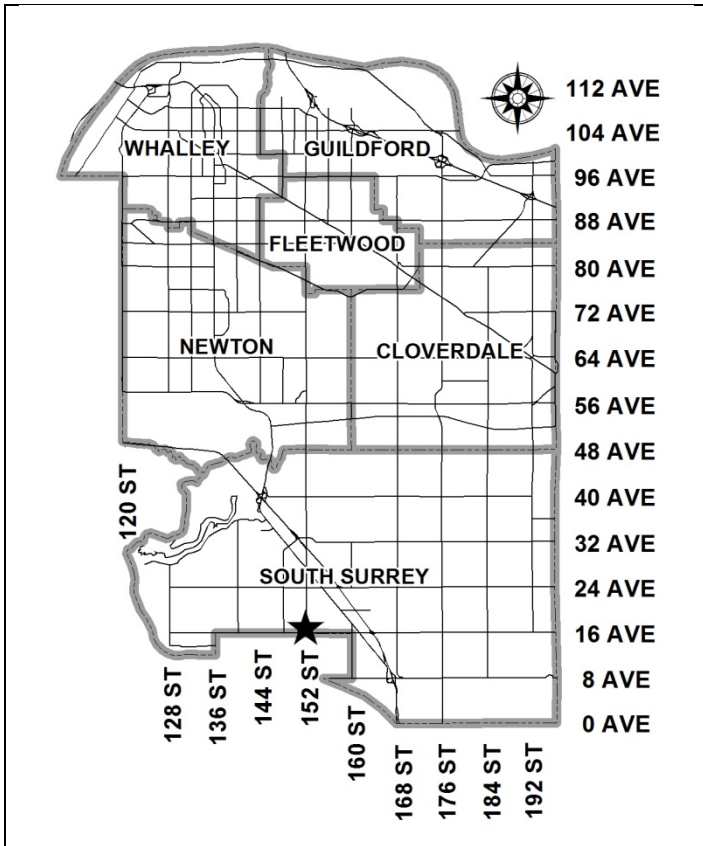


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7912-0259-00

Planning Report Date: March 11, 2013



PROPOSAL:

- **Development Permit**

in order to permit renovations to a portion of the Semiahmoo Shopping Centre site.

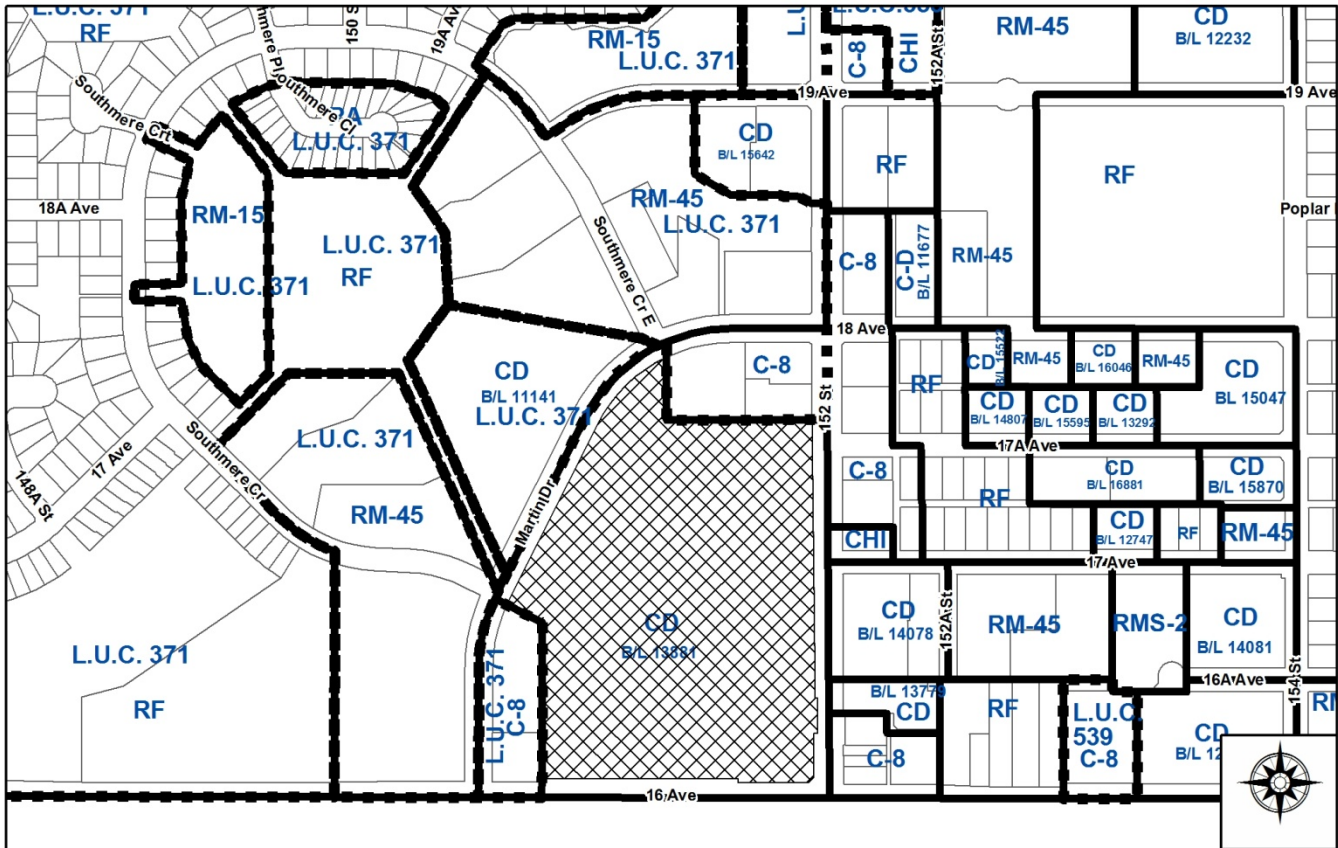
LOCATION: 1711 - 152 Street

OWNER: First Capital (Semiahmoo) Corporation, Inc. No. 0883733

ZONING: CD (By-law No. 13881)

OCP DESIGNATION: Town Centre

Town Centre Plan DESIGNATION: Mixed-Use



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The renovations to the existing shopping centre and landscaping will contemporize and enhance the overall appearance of the site.
- A revised landscaping scheme is proposed adjacent to 16 Avenue and the southern façade of the Shopper's Drug Mart building, which includes plant materials at different heights to provide variation and interest, augmented with additional planting in the existing greenscreens with hardy vines with seasonal interest, and benches along the existing 16 Avenue sidewalk. The revised landscaping along this edge will improve the appearance of the Shopper's Drug Mart building and the pedestrian experience along 16 Avenue at this location.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Permit No. 7912-0259-00 and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Semiahmoo Shopping Centre.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across Martin Drive):	Apartments, Fire Hall, Library and Commercial buildings.	Multiple Residential and Town Centre / Multi-Family Residential and Mixed Use	LUC 371, CD (By-law No. 11141) and C-8
East (Across 152 Street):	Commercial buildings.	Town Centre / Mixed Use	CD (By-law Nos. 14078 and 13779), C-8 and CHI
South (Across 16 Avenue):	Commercial buildings in the City of White Rock.	Not applicable	Not applicable
West (Across Martin Drive):	Commercial buildings and Apartments.	Multiple Residential / Multi-Family Residential	C-8 and LUC 371

DEVELOPMENT CONSIDERATIONSBackground

- The subject application involves the southeastern portion of the Semiahmoo Shopping Centre site, which is located at the northwest corner of 16 Avenue and 152 Street. The site is zoned "Comprehensive Development Zone (CD)" (By-law No. 13881), which permits commercial uses. The site is designated "Town Centre" in the Official Community Plan (OCP) and "Mixed Use" in the Semiahmoo Town Centre Plan.

- The previous owner of the shopping centre site, Bosa Investment Incorporated, submitted an application in 2008 to redevelop the mall site for high-density mixed-use development (Development Application No. 7908-0032-00). Due to the market downturn in 2008, Bosa rescinded its rezoning application, and decided instead to upgrade the mall under the permitted density and uses of the existing zoning.
- In 2009, Bosa made an application to redevelop the southern portion of the Semiahmoo Shopping Centre site (Development Application No. 7909-0227-00). The proposal involved the removal of four (4) of the five (5) existing commercial buildings at the southern portion of the site, fronting 16 Avenue, the construction of a new free-standing commercial building (Shopper's Drug Mart), and the construction of an addition to the main shopping centre building for a BC Liquor Store.
- During the process for Development Application No. 7909-0227-00, the developer advised that it was imperative for Shopper's Drug Mart to have their front entry facing the internal mall parking lot. While it is desirable from an urban design perspective to have buildings face the street, the building orientation towards the internal mall parking lot was accepted in recognition of the temporary nature of the building. It is expected that the site will redevelop in the future, in accordance with the Semiahmoo Town Centre Plan. As part of this proposal, the developer proposed a landscaped area adjacent to a decorative sidewalk fronting 16 Avenue (on the south side of the building), with green screens and layered shrubbery to provide some natural screening of the building.
- The shopping centre is currently owned by First Capital Realty, which owns, develops and operates supermarket and drugstore anchored neighbourhood and community shopping centres throughout Canada.

Proposal

- The subject proposal is for a Development Permit for exterior renovations to a portion of the existing shopping centre, on the 152 Street side, and at the corner of 152 Street and 16 Avenue. No changes in floor area, building height, or parking are proposed. A canopy is proposed over an extended patio for the restaurant unit at the corner of 152 Street and 16 Avenue, and some renovations for a new tenant, Brown's Socialhouse. Landscaping modifications along 152 Street and 16 Avenue (in the mall plaza and promenade area at the southeast corner of the site) are also proposed.
- The landscaping previously proposed adjacent to 16 Avenue and the southern façade of the Shopper's Drug Mart building has not had the intended effect of providing natural screening of the building. Therefore, the applicant has agreed to a revised landscaping concept. On the street-facing (16 Avenue) side of the Shopper's Drug Mart building, the applicant proposes a revised landscaping scheme, which includes the following:
 - A Portuguese Laurel hedge that will grow above 4 metres (13 ft.) in height;
 - Augmented and additional planting in the existing greenscreens with hardy vines with seasonal interest (i.e. Jasmine, Chocolate and Honeysuckle vines);
 - Mass planting of Dwarf Roses for seasonal interest;
 - A low Dwarf Boxwood hedge against the sidewalk; and
 - Benches along the existing sidewalk (Appendix II).

DESIGN PROPOSAL AND REVIEW

Architectural Design

- The proposal is for a modest exterior renovation to contemporize the existing façade forms and finishes, including exterior lighting and soffits. All existing storefront systems are to remain as-is and new finishes include brick, natural wood elements with a stained finish and painted steel.
- The existing stucco-clad columns along the 152 Street façade will be replaced with new concrete and brick plinths with steel accents. The existing columns at the southeast end of the site (the future Brown's Socialhouse site) will be replaced with new brick pilasters and vertical steel beams.
- A new glass and steel canopy is proposed for the restaurant unit at the southeast corner of the site, which fronts on 16 Avenue to the south and 152 Street to the east. The canopy is for a covered and extended patio for a new restaurant tenant, Browns Social House.
- The existing patio for the southeastern restaurant unit is proposed to be extended on the west side, to increase the size of the patio and change the shape of the patio from octagonal to orthogonal. A new entrance is proposed to the restaurant from the patio.

Landscaping and Public Realm Design

- Modifications to the existing hard and soft landscaping are proposed along the edge of 152 Street and the plaza at the southeast corner of the site, as well as the landscaping adjacent to the Shopper's Drug Mart building on the south side, fronting 16 Avenue.
- The proposed landscaping plan prepared for the site features a generous combination of trees and shrubs in a variety of species.
- The existing plaza at the southwest entry to the mall will be upgraded with feature paving, landscaping, and bench seating. The existing free-standing pediment and columns on the east side of the existing free-standing CIBC building will also be removed.
- Site furnishings including lighting, benches, garbage receptacles, planters, and bollards will be coordinated to create a unified expression.

Signage

- All signage conforms to the requirements of the Sign By-law. Fascia signage is required to consist of individual illuminated channel letters, with dimensions that comply with the Surrey Sign By-law.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 24, 2012. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The site is located at the heart of the Semiahmoo Town Centre.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> No change in floor area (density) is proposed.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> No changes to the existing site condition are being considered as part of the proposal. The existing site is mostly hardscaped with some soft landscaping. Stormwater is handled through a traditional drainage system.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The existing mall is accessible by bike and foot, and provides for bike racks and outdoor public seating areas. The site is well served by public transit.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The existing mall features public indoor and outdoor seating areas.
6. Green Certification (F1)	<ul style="list-style-type: none"> No 3rd party standards are being considered for this proposal.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> Development proposal signs were erected on the site on January 28, 2013.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners Information
 Appendix II. Development Permit No. 7912-0259-00

original signed by Nicholas Lai

Jean Lamontagne
 General Manager
 Planning and Development

HK/da

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 DRV 3/7/13 11:36 AM

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7912-0259-00

Issued To: FIRST CAPITAL (SEMIAHMOO) CORPORATION, INC. NO. 0883733
("the Owner")

Address of Owner: Trans Canada Centre
Unit 158 – 1440 52nd Street NE
Calgary, Alberta
T2A-4T8

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-321-483
Lot 2 Section 15 Township 1 New Westminster District Plan 56401 Except Plans LMP45557 and
BCP44800

1711 – 152 Street

(the "Land")

3. This development permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development permit.
4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
5. The character of the development including landscaping and the siting, form, exterior design and finish of buildings and structures shall be in accordance with the drawings numbered 7912-0259-00(A) through to and including 7912-0259-00(S) (the "Drawings") which are attached hereto and form part of this development permit.

6. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design and finish of buildings and structures on the Land, may be permitted subject to the approval of the City.

7.
 - (a) The landscaping shall conform to drawings numbered 7912-0259-00(G) through to and including 7912-0259-00(S) (the "Landscaping").

 - (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.

 - (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

Cash or an Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$346,038.00

(the "Security")

 - (d) The Security is for:
 - i. Phase A \$26,180.00
 - ii. Phase B \$20,666.80
 - ii. Phase C \$299,191.20

 - (e)
 - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.

 - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.

 - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.

8. This development permit supplements Development Permit Nos. 7999-0154-00, 7904-0260-00, and 7909-0227-00.

9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.

- 10. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.
- 11. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 12. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
 ISSUED THIS DAY OF , 20 .

 Mayor – Dianne L. Watts

 City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

 Authorized Agent: (Signature)

 Name: (Please Print)

OR

 Owner: (Signature)

 Name: (Please Print)

PROJECT INFORMATION

LEGAL ADDRESS

LOT 2 OF S.E. QUARTER OF SECTION 15, TOWNSHIP 1,
LAN 56401 N.W.D.

CIVIC ADDRESS

155 152nd STREET
SURREY, B.C. V4A 4K3

ZONING

EXISTING: C-D COMPREHENSIVE DEVELOPMENT
PROPOSED: NO CHANGE

OCCUPANCY

EXISTING: SHOPPING CENTRE, INCLUDING:
A2 RESTAURANT
D PERSONAL/BUSINESS SERVICES
E MERCANTILE
PROPOSED: NO CHANGE

SHEET INDEX

ARCHITECTURAL

- DP-00 LOCATION PLAN, PROJECT INFO & CONTACTS
- DP-01 EXISTING FLOOR PLANS
- DP-02 EXISTING ELEVATIONS
- DP-03 EXISTING PHOTO'S
- DP-04 PROPOSED FLOOR PLANS
- DP-05 PROPOSED ELEVATIONS
- DP-06 PROPOSED CONCEPT RENOVATIONS
- DP-07 PROPOSED PARTIAL ENLARGED FLOOR PLAN
- DP-08 PROPOSED PARTIAL ENLARGED ELEVATIONS

LANDSCAPE

- L&0 DRAWING LIST AND GENERAL NOTES
- L&1 OVERALL PLAN AND DRAWING SET
- L&2 TREE PROTECTION AND LANDSCAPE DEMOLITION PLAN
- L&3 PREVIOUS WORK - PLANTING PLAN
- L&4 SHOPPERS DRUGMART REVISED FACADE - PLANTING PLAN
- L&5 MALL PLAZA & PROMENADE MATERIALS PLAN
- L&6 MALL PLAZA & PROMENADE PLANTING PLAN
- L&7 152ND STREET IMPROVEMENTS MATERIALS PLAN
- L&8 152ND STREET IMPROVEMENTS PLANTING PLAN
- L&9 SECTION/ELEVATIONS
- L&10 SECTION/ELEVATIONS
- L&11 DETAILS - HARDSCAPE
- L&12 PRECEDENT CHARACTER IMAGES

PROJECT CONTACTS

PROPERTY OWNER

FIRST CAPITAL (SEMIAMHOO) CORPORATION c/o CHERYL FU
400-1550 9th STREET SW
CALGARY, A.B. T2H 1K1
tel (804) 278-0266
tel (804) 278-3364
cheryl.fu@FirstCapitalRealty.ca

LANDSCAPE ARCHITECT

SHARP & DIAMOND c/o MIKE EMMS
602 - 1401 WEST BROADWAY
VANCOUVER, B.C. V6H 1H8
tel (604) 681-3300
tel (604) 681-3307
ken@sharpdiamond.com

ARCHITECT

MALLEN GOWING BERZINS ARCHITECTURE INC. c/o P.J. MALLEN
8170 - 601 WEST CORDOVA STREET
VANCOUVER, B.C. V6B 1G1
tel 604-684-8285
tel 604-684-8070
pjmallen@mgba.ca

PROJECT DATA

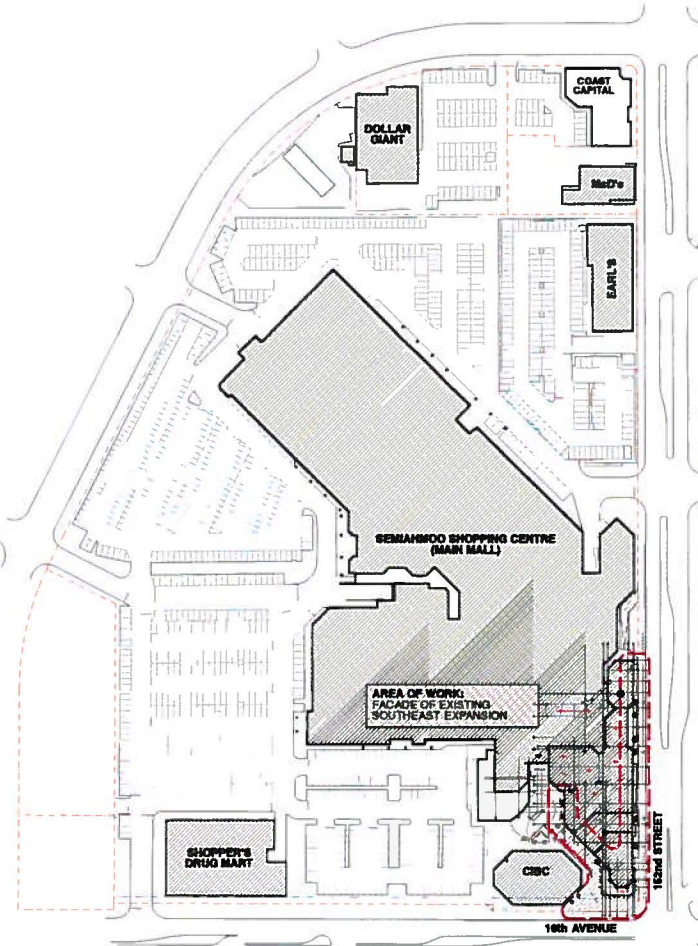
CURRENT ZONING: C-D COMPREHENSIVE DEVELOPMENT

	PERMITTED / PERMITTED	PROPOSED	DESCRIPTION
USE	SHOPPING CENTRE	NO CHANGE	PERMITTED USE
SITE AREA	N/A	812,585.4 sq. ft. (75,491.7 m ²)	-
LOT COVERAGE	85% MAX.	36.6%	NO CHANGE
BUILDING AREA	N/A	297,561.4 sq. ft. (27,644.4 m ²)	NO CHANGE
FRONTAGE	N/A	N/A	-
HEIGHT	14.0m (46 ft.) MAX.	NO CHANGE	-
FRONT YARD SETBACK	2.0m (7 ft.)	NO CHANGE	-
REAR YARD SETBACK	0.0m (0 ft.)	N/A	DOES NOT ADJOIN RESIDENTIAL LOT
REAR YARD SETBACK	7.5m (25 ft.)	N/A	-
P.A.R.	5.0	3.7	NO CHANGE
PARKING	PER PART 5	EXISTING TO REMAIN	NO CHANGE

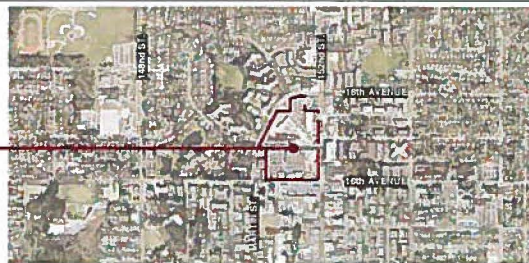
SCOPE OF PROPOSED WORK

- THE PROPOSAL IS A MODEST EXTERIOR RENOVATION TO CONTEMPORIZE EXISTING FACADE FORMS AND FINISHES, INCLUDING EXTERIOR LIGHTING AND SOFFITS. NEW FINISHES WILL INCLUDE BRICK, NATURAL WOOD ELEMENTS WITH STAINED FINISH, AND PAINTED STEEL.
- THE PROPOSED RENOVATION WILL NOT ADD FLOOR AREA, INCREASE THE BUILDING HEIGHT OR AFFECT THE EXISTING STANDING BEAM ROOF. THERE ARE NO PROPOSED CHANGES TO PARKING COUNT.
- THE PROPOSAL INCLUDES THE MODIFICATION OF THE EXISTING HARD AND SOFT LANDSCAPING ALONG THE EDGE OF 152nd STREET AND THE PLAZA AT THE INTERSECTION OF 152nd & 18th AVENUE, TO IMPROVE VISIBILITY AND PEDESTRIAN ACCESS TO TENANT SUITES.
- THE EXISTING PATIO ON THE CORNER OF 152nd & 18th AVENUE WILL BE COVERED, SLIGHTLY ENLARGED AND PARTIALLY ENCLOSED.

KEY PLAN 1:1,000



CONTEXT PLAN



REV	DATE	DESCRIPTION	BY	CHKD
C	03/05/13	CP FEELBACK	EP	PLM
B	02/18/13	CP FEELBACK	EP	PLM
A	02/11/13	CP FEELBACK	EP	PLM
	10/01/12	CP FEELBACK	EP	PLM
	05/02/12	CLIENT REVIEW	EP	MM
B	03/02/12	CLIENT REVIEW	EP	MM
A	01/26/12	CLIENT REVIEW	EP	MM

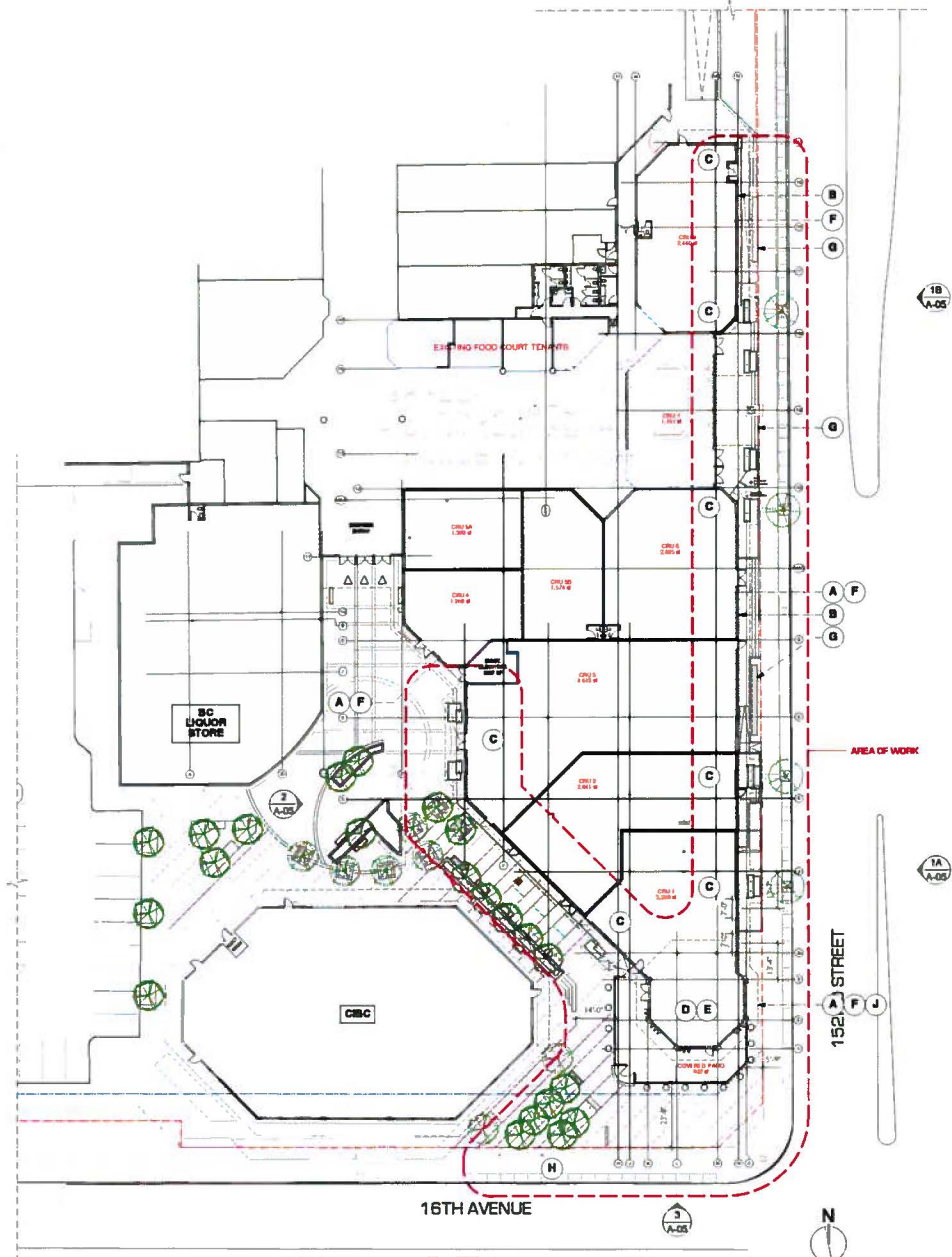
Downloaded with approval of the City of Surrey, BC. This drawing is the property of MalLEN GOWING BERZINS ARCHITECTURE INCORPORATED. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of MalLEN GOWING BERZINS ARCHITECTURE INCORPORATED.

**SEMIAMHOO SHOPPING CENTRE
SOUTHEAST EXPANSION AREA
SURREY, B.C.**

SITE PLAN

DATE	MARCH 08, 2013	PROJECT NO.	11101
SCALE	AS NOTED	REVISION	
DRAWN BY	DP-00	REVISION	

- SCOPE OF WORK:**
- A EXISTING ROOF, ROOF PROJECTIONS AND OVERHANG TO REMAIN.
 - B OVERALL BUILDING FOOTPRINT TO REMAIN IN PLACE, INCLUDING STEEL BEAMS FOR TENANT SIGNAGE, AND WALL-CLADDING IN MOST LOCATIONS (STUCCO TO BE RE-PAINTED).
 - C OVERSIZED STUCCO-CLAD COLUMNS TO BE REPLACED WITH NEW CONCRETE AND BRICK PLINTHS WITH STEEL ACCENTS.
 - D EXISTING COLLARNS AT THE EXISTING OCTAGONAL SUITE TO BE REPLACED WITH NEW BRICK PILASTERS AND VERTICAL STEEL I-BEAMS
 - E EXISTING FABRIC AWNINGS AT THE INTERMEDIATE LEVEL OF THE OCTAGONAL SUITE TO BE REMOVED.
 - F NEW STAINED, WOOD SLAT SOFFIT WITH CONCEALED LIGHT FIXTURES ABOVE TO REPLACE EXISTING METAL SOFFITS AND RECESSED POT LIGHTS THROUGHOUT SOUTHEAST EXPANSION AREA. THE WOODEN SLATS WOULD BE BRACED UPWIT WITH A BLACK MESH SCREEN ABOVE TO ALLOW FOR FILTERED LIGHT TO WASH THE EXTERIOR WALL AND SIDEWALKS BELOW.
 - G LANDSCAPE ALONG 152nd TO BE MODIFIED WITH THE FOCUS ON REDUCING OR REMOVING THE EXISTING PLANTERS TO FACILITATE A MORE URBAN, PEDESTRIAN-FRIENDLY APPROACH TO THE EXISTING MALL.
 - H HARD AND SOFT LANDSCAPE AT PLAZA (INTERSECTION OF 152nd STREET AND 18th AVENUE) TO BE REIMAGINATED WITH NEW PAVING MATERIAL/PATTERN, DEMOLITION OF EXISTING FREE-STANDING FOUNTAIN & COLUMNS AT PND BUILDING, NEW LOW LEVEL PLANTING BEDS AND RELOCATION OF EXISTING TREES TO BETTER SHAPE PLAZA AREA.
 - J NEW PATIO ADDITION. REFER ELEVATIONS.



1 PROPOSED FLOOR PLAN
1:250

REV	DATE	DESCRIPTION	BY	CHK
03/03/13	DP/REVISION	EP	PLM	
02/18/13	DP/REVISION	EP	PLM	
12/11/12	DP/REVISION	EP	PLM	
10/01/12	CLIENT REVIEW	EP	PLM	
09/05/12	CLIENT REVIEW	EP	PLM	
03/02/12	PERM REVIEW	EP	PLM	
01/27/12	CLIENT REVIEW	EP	PLM	

DISCLAIMER AND LIMITATION OF LIABILITY: THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DELAYS OR OMISSIONS BY ANY OTHER PARTY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.

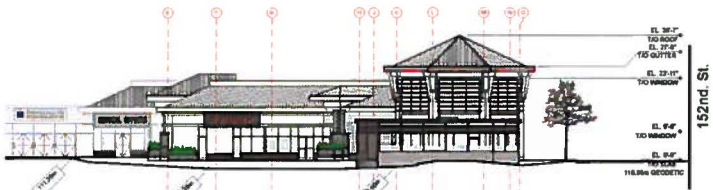
SEMIAHMOO SHOPPING CENTRE
SOUTH-EAST EXPANSION AREA
SURREY, B.C.

PROPOSED FLOOR PLAN

DATE: MARCH 03, 2013
AS NOTED

PROJECT NO: 11101
REVISION: -

DP-04



1 Proposed South Elevation (168th Avenue)
N.T.S.

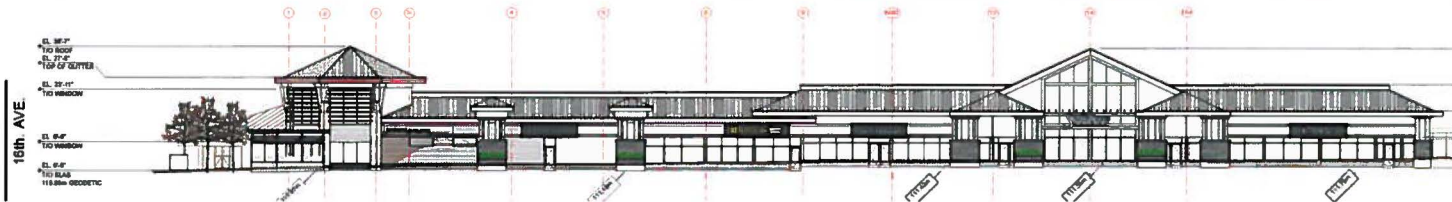


2 Proposed West Elevation (Interior Courtyard)
N.T.S.

West Elevation Renderings



East Elevation Renderings



3 Proposed East Elevation (168th Avenue)
N.T.S.

REV	DATE	DESCRIPTION	BY	CHK
01	03/28/13	CP PERMISSSION	EP	PLM
02	03/28/13	CP PERMISSSION	EP	PLM
03	03/28/13	CP PERMISSSION	EP	PLM
04	03/28/13	CP PERMISSSION	EP	PLM
05	03/28/13	CLIENT REVIEW	EP	PLM
06	03/28/13	CLIENT REVIEW	EP	PLM
07	03/28/13	CLIENT REVIEW	EP	PLM

REVISIONS
DATE DESCRIPTION BY CHK

PROJECT
**SEMAHMOO SHOPPING CENTRE
SOUTHEAST RENOVATION
SURVEY, E.C.**

SHEET NO.
PROPOSED RENDERINGS

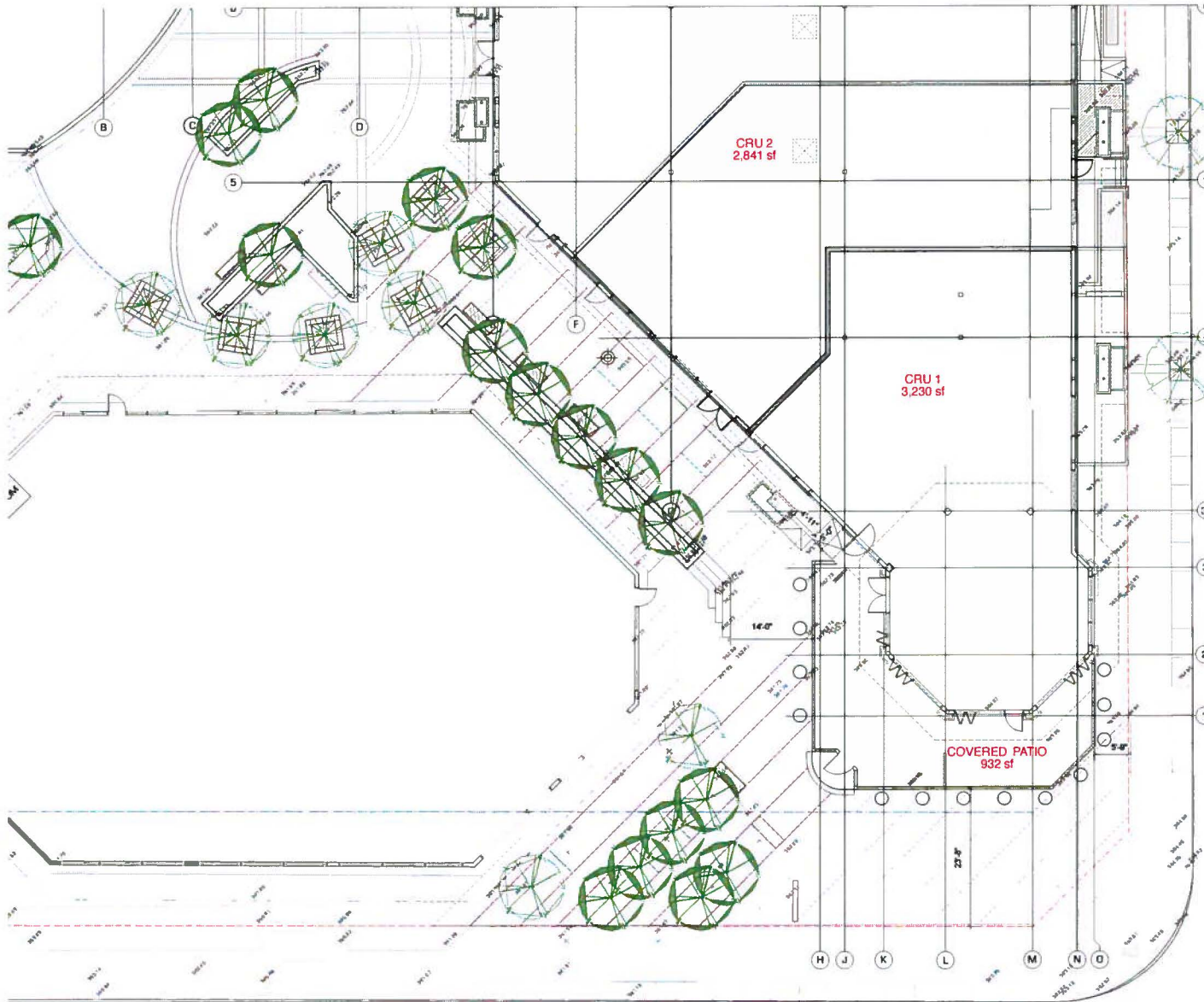
DATE
MARCH 08 2013

SCALE
AS NOTED

NO. OF SHEETS
11189

PROJECT NO.
DP-06

7912-0259-00(D)



152ND STREET

16TH AVENUE



1 PROPOSED FLOOR PLAN
1:100

7912-0259-00(E)

MALLEN GOWING BERZINS
ARCHITECTURE INCORPORATED

REV	DATE	DESCRIPTION	BY	CHK
02/15/13	EP	PERMISSION	EP	PLM
08/16/13	EP	PERMISSION	EP	PLM
10/11/13	EP	PERMISSION	EP	PLM
10/01/13	EP	PERMISSION	EP	PLM

EXAMINED AND APPROVED FOR THE CITY OF SURREY AS SHOWN ON THESE PLANS AND FOR THE PURPOSES OF THE CITY OF SURREY'S DEVELOPMENT BY-LAW AND ZONING BY-LAW. THIS APPROVAL IS LIMITED TO THE CITY OF SURREY AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY OF SURREY IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SEMIAHMOO SHOPPING CENTRE
 SOUTHEAST EXPANSION AREA
 SURREY, B.C.

SHEET TITLE
PROPOSED PARTIAL ENLARGED FLOOR PLAN

DATE	REVISION
MARCH 08, 2013	11101
AS NOTED	

DRAWING NO. **DP-07**

MATERIAL LEGEND

- ① NEW BRICK FASH (SELECT HIDE) IN MASONRY FRESH AND REPAIRS COLLECTION BY MASONRY NATIONALS (SEE 101000 (1) ELEVATION)
- ② EXISTING STUCCO CLADDING WITH 4" BRICK FLASH FRESH TO REMAIN WITH NEW PAINT (PINK 6017)
- ③ NEW STUCCO CLADDING WITH 4" BRICK FLASH FRESH PAINTED PINK LIGHT
- ④ NEW 1/2" X 1/2" CONCRETE SLABS TO 4" BENTONITE GRANULES LIFT SCREEN PAINTED (PINK 6017) WITH BRICK MASONRY BY MASONRY NATIONALS
- ⑤ NEW 1/2" X 1/2" CONCRETE SLABS PAINTED (PINK 6017) WITH BRICK MASONRY WITH CLEAR WOODGRAIN FINISH TO 4" BENTONITE GRANULES LIFT SCREEN
- ⑥ NEW 1/2" X 1/2" CONCRETE SLABS WITH DARK MASONRY WOODGRAIN FINISH
- ⑦ NEW 1/2" X 1/2" CONCRETE SLABS WITH DARK MASONRY WOODGRAIN FINISH PAINTED (PINK 6017)
- ⑧ CLADDING STEEL BALANCE BEAMS & BRICK METE TO REMAIN WITH NEW PAINT (CONCRETE LIGHT WHITE FRESH)
- ⑨ NEW 1/2" X 1/2" CONCRETE SLABS WITH DARK MASONRY WOODGRAIN FINISH PAINTED (PINK 6017)
- ⑩ NEW WOOD SLAT ROOF (1 1/2" X 1 1/2" X 1 1/2") WITH BLACK SCREEN SHADING (PINK 6017) WITH BRICK MASONRY WOODGRAIN FINISH
- ⑪ EXISTING STUCCO CLADDING TO REMAIN WITH NEW PAINT (PINK 6017)
- ⑫ EXISTING METAL INSULATED PANELING THROUGHOUT TO REMAIN TYPICAL UNLESS OTHERWISE NOTED
- ⑬ EXISTING GLASS STORMDOOR SYSTEMS TO REMAIN
- ⑭ NEW 1/2" X 1/2" CONCRETE SLABS WITH 4" BRICK FLASH FRESH PAINTED (PINK 6017)
- ⑮ NEW 1/2" X 1/2" CONCRETE SLABS WITH 4" BRICK FLASH FRESH PAINTED (PINK 6017)
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NOTES

- 1 ALL EXISTING STORMDOOR GLAZING SYSTEMS TO REMAIN UNLESS OTHERWISE NOTED
- 2 ALL WORK ON THE ELEVATIONS IS CONCEPTUAL. ACTUAL PROPOSED WILL BE ADDRESSING UNDER A SEPARATE CHANGE PERMIT AND SHALL COMPLY WITH THE CITY OF SURREY, SURREY BY-LAW 81000
- 3 ALL FACED BRICKS WILL COMPLY WITH INDUSTRY LETTERS. DIMENSIONS SHALL COMPLY WITH THE BCM PLAN.

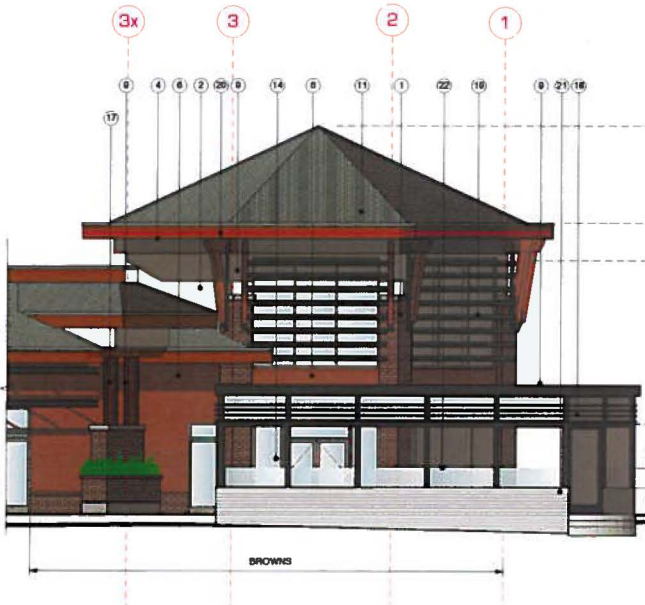
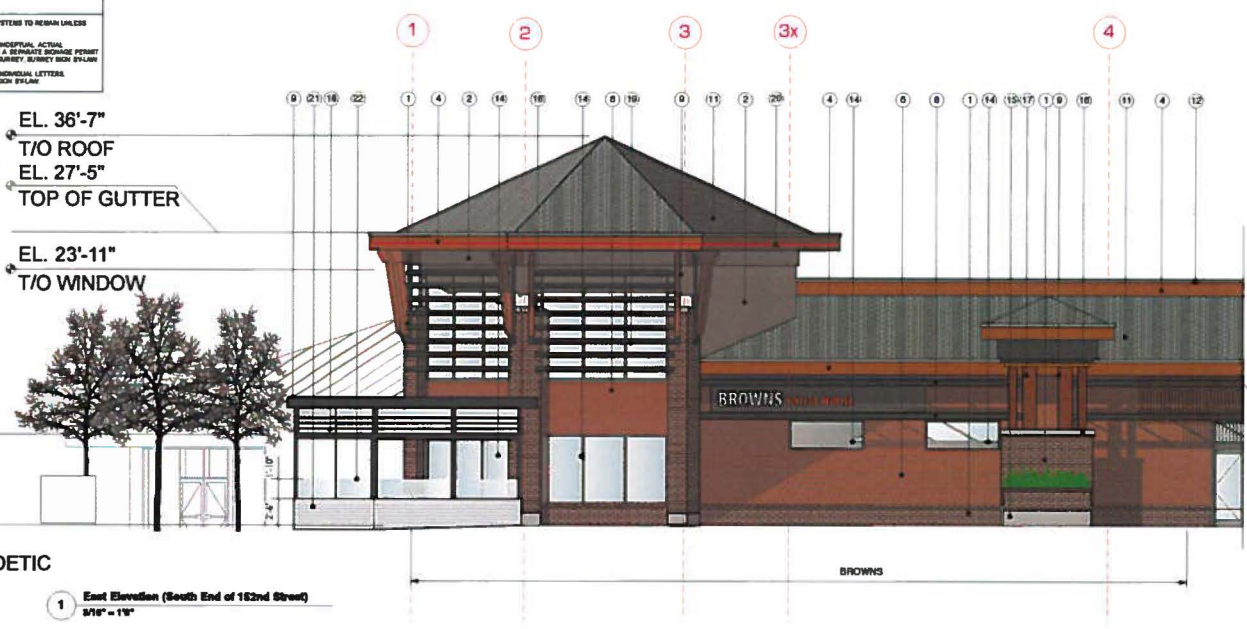
EL. 36'-7"
T/O ROOF
EL. 27'-5"
TOP OF GUTTER

EL. 23'-11"
T/O WINDOW

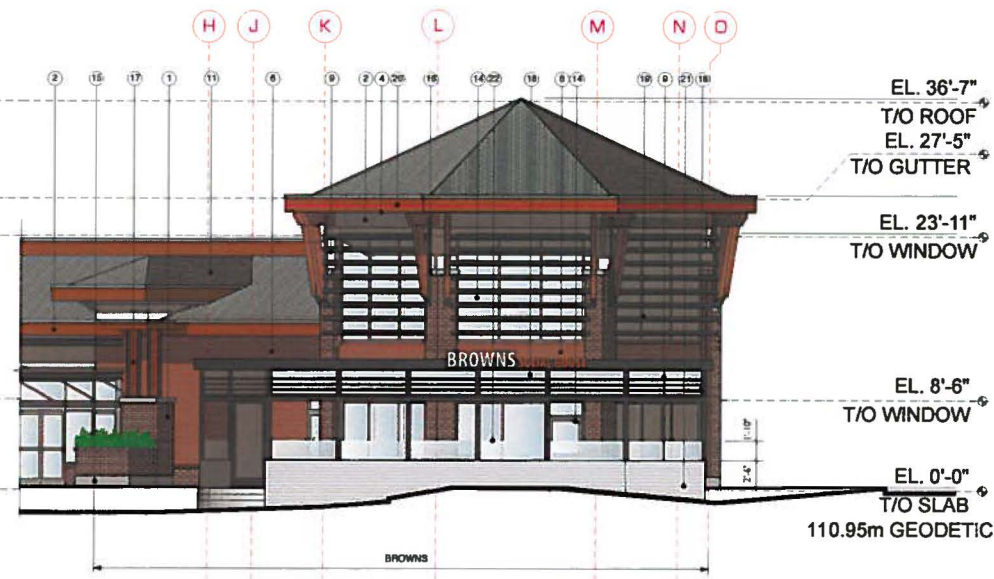
EL. 8'-6"
T/O WINDOW

EL. 0'-0"
T/O SLAB
110.95m GEODETIC

1 East Elevation (South End of 162nd Street)
3/16" = 1"



2 West Elevation (Interior Courtyard)
3/16" = 1"



3 South Elevation (16th Avenue)
3/16" = 1"

REV/DATE	BY	DESCRIPTION	CP	PLM
03/15/12	CP	REVISION	CP	PLM
03/15/12	CP	REVISION	CP	PLM
10/11/12	CP	REVISION	CP	PLM
10/01/13	CP	REVISION	CP	PLM
REV/DATE	DESCRIPTION	CHKD		

DESIGNER AND ARCHITECTURE INCORPORATED IS NOT PROVIDING CONTRACT DOCUMENTS OR CONTRACTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY, SURREY BY-LAW 81000. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY, SURREY BY-LAW 81000.

THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MALLEN GOWING BERZINS ARCHITECTURE INCORPORATED. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF MALLEN GOWING BERZINS ARCHITECTURE INCORPORATED IS STRICTLY PROHIBITED.

SEMIAHMUD SHOPPING CENTRE
EXTERIOR RENOVATION TO
SOUTH-EAST EXPANSION
SURREY, B.C.

PROJECT NO:
**PARTIAL PROPOSED
ENLARGED ELEVATIONS**

PLT DATE: MARCH 08, 2013 PROJECT NO: **11101**

SCALE: AS NOTED

REVISION: **DP-08**

SEMIAHMOO SHOPPING CENTRE

EXTERIOR RENOVATION FOR SOUTHEAST EXPANSION AREA

ISSUED FOR DP RESUBMISSION - FEBRUARY 27TH, 2013

LANDSCAPE DRAWING INDEX

SHEET No.	SHEET NAME	REVISION	DATE
10.0	DRAWING LIST AND GENERAL NOTES	REV F	2013/03/06
10.1	OVERALL PLAN AND DRAWING KEY	REV E	2013/03/06
10.2	TREE PROTECTION AND LANDSCAPE DEMOLITION PLAN	REV A	2013/03/06
11.0	PREVIOUS WORK - PLANTING PLAN	REV D	2013/03/06
11.1	SHOPPERS DRUG MART FACADE - REVISED PLANTING PLAN	REV C	2013/03/06
12.0	MALL PLAZA & PROMENADE - MATERIALS PLAN	REV F	2013/03/06
12.1	MALL PLAZA & PROMENADE - PLANTING PLAN	REV F	2013/03/06
13.0	152ND ST. IMPROVEMENTS - MATERIALS PLAN	REV E	2013/03/06
13.1	152ND ST. IMPROVEMENTS - PLANTING PLAN	REV F	2013/03/06
14.0	SECTION / ELEVATIONS	REV C	2013/03/06
14.1	SECTION / ELEVATIONS	REV E	2013/03/06
15.0	DETAILS	REV D	2013/03/06
15.1	DETAILS	REV D	2013/03/06
16.0	PRECEDENT CHARACTER IMAGES	REV E	2013/03/06

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, SPECIFICATIONS, AND ANY OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

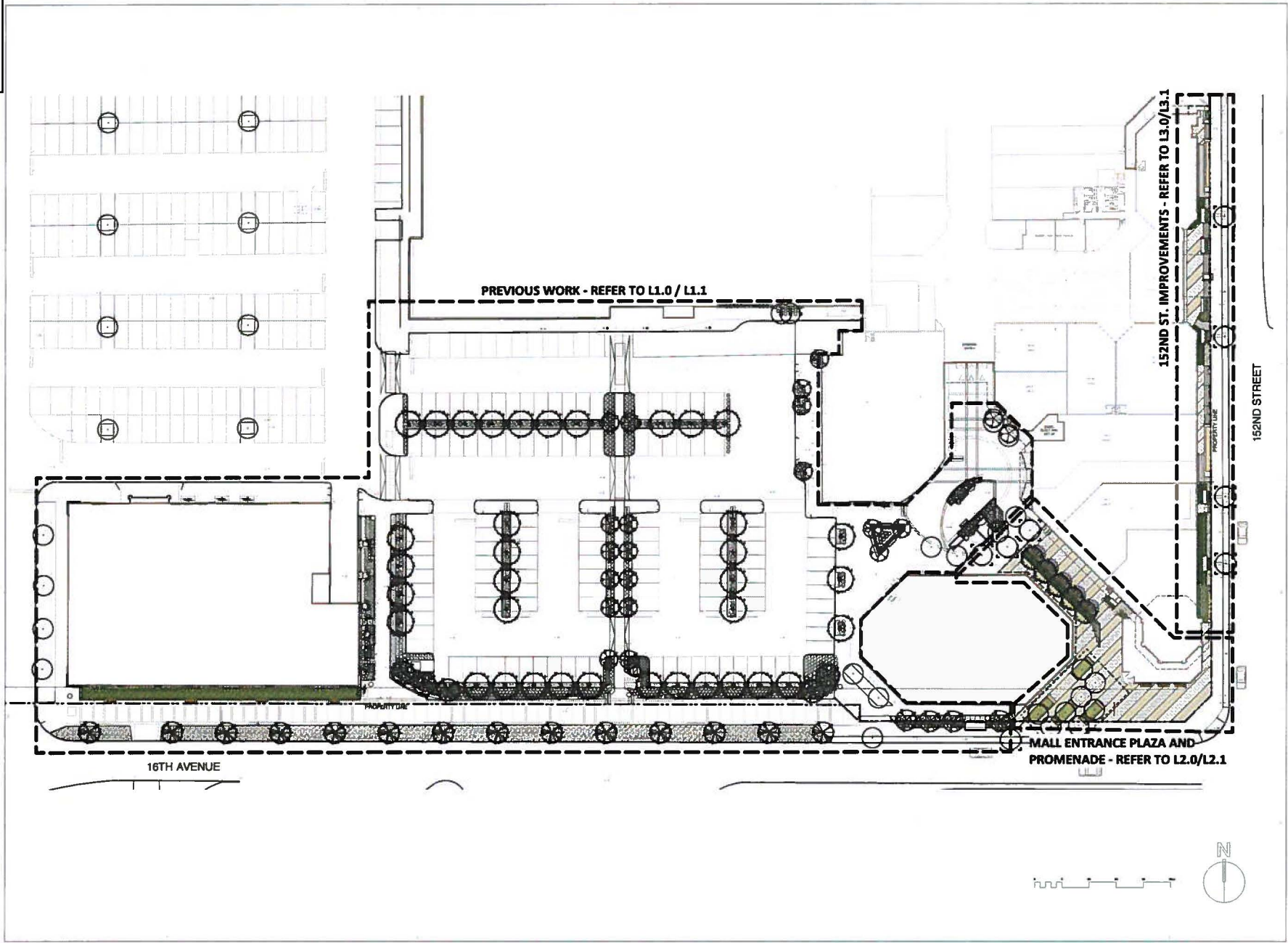
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.

ALL LAYOUT, GRADING, MATERIALS AND PLANTING IS PRELIMINARY INFORMATION INTENDED FOR INDICATIVE PRICING ONLY. SOME OR ALL OF THE ABOVE MAY CHANGE DURING DETAILED DESIGN AND CONSTRUCTION DOCUMENTS.

13-08-08	ISSUED FOR DP RESUBMISSION
13-02-27	ISSUED FOR DP RESUBMISSION
13-02-13	ISSUED FOR DP RESUBMISSION
13-01-31	ISSUED FOR DP RESUBMISSION
13-01-04	ISSUED FOR DP RESUBMISSION
12-10-01	ISSUED FOR ADP
10-08-07	REVISIONS



13-03-04	ISSUED FOR DP RESUBMISSION
13-02-27	ISSUED FOR DP RESUBMISSION
13-02-15	ISSUED FOR DP RESUBMISSION
13-01-31	ISSUED FOR DP REVIEW
13-01-04	ISSUED FOR DP RESUBMISSION
12-10-01	ISSUED FOR ADP
12-04-01	REVISED



SEMIAHMOO SHOPPING CENTRE
EXTERIOR RENOVATION TO SOUTHEAST EXPANSION AREA

Surrey, British Columbia

OVERALL CONTEXT PLAN & KEYS

Scale:	1:300
Drawn:	Lisa Butler
Checked:	Mike Enns
Revision:	E
Project No.	06-299
Sheet:	L0.1

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- 13-03-08 ISSUED FOR DP RESUBMISSION
- 13-02-27 ISSUED FOR DP RESUBMISSION
- 13-02-13 ISSUED FOR DP RESUBMISSION
- 13-01-31 ISSUED FOR DP REVIEW
- 13-01-04 ISSUED FOR DP RESUBMISSION
- 12-10-01 ISSUED FOR ADP
- 08-03-07 REVISIONS



SEMAHMOO
SHOPPING CENTRE
EXTERIOR RENOVATION TO
SOUTHEAST EXPANSION AREA

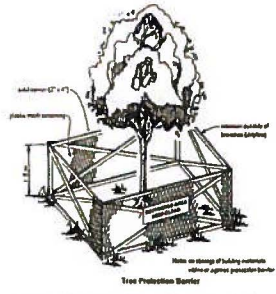
Surrey, British Columbia

**TREE PROTECTION
AND LANDSCAPE
DEMOLITION PLAN**

Scale: SCALE 1:100
 Drawn: Lisa Butler
 Checked: Mike Ervin
 Revision: A
 Project No. 06-299
 Sheet: **L0.2**

KEY ITEM	QTY	DESCRIPTION
		TREE PROTECTION FENCING TO THE CITY OF SURREY'S STANDARDS
		EXISTING TREES TO REMAIN COMPLETE WITH TREE PROTECTION FENCING AS REQUIRED TO THE CITY OF SURREY STANDARDS
		EXISTING TREES TO BE REMOVED (2 TOTAL) INCLUDING STUMP, DEBRIS, ROOTS
		PROPOSED TREE
		LANDSCAPE DEMOLITION / EXCAVATION AREA ADDITIONAL AREAS FROM PREVIOUS WORK SCOPE MAY BE INCLUDED TO BE CONFIRMED ON SITE

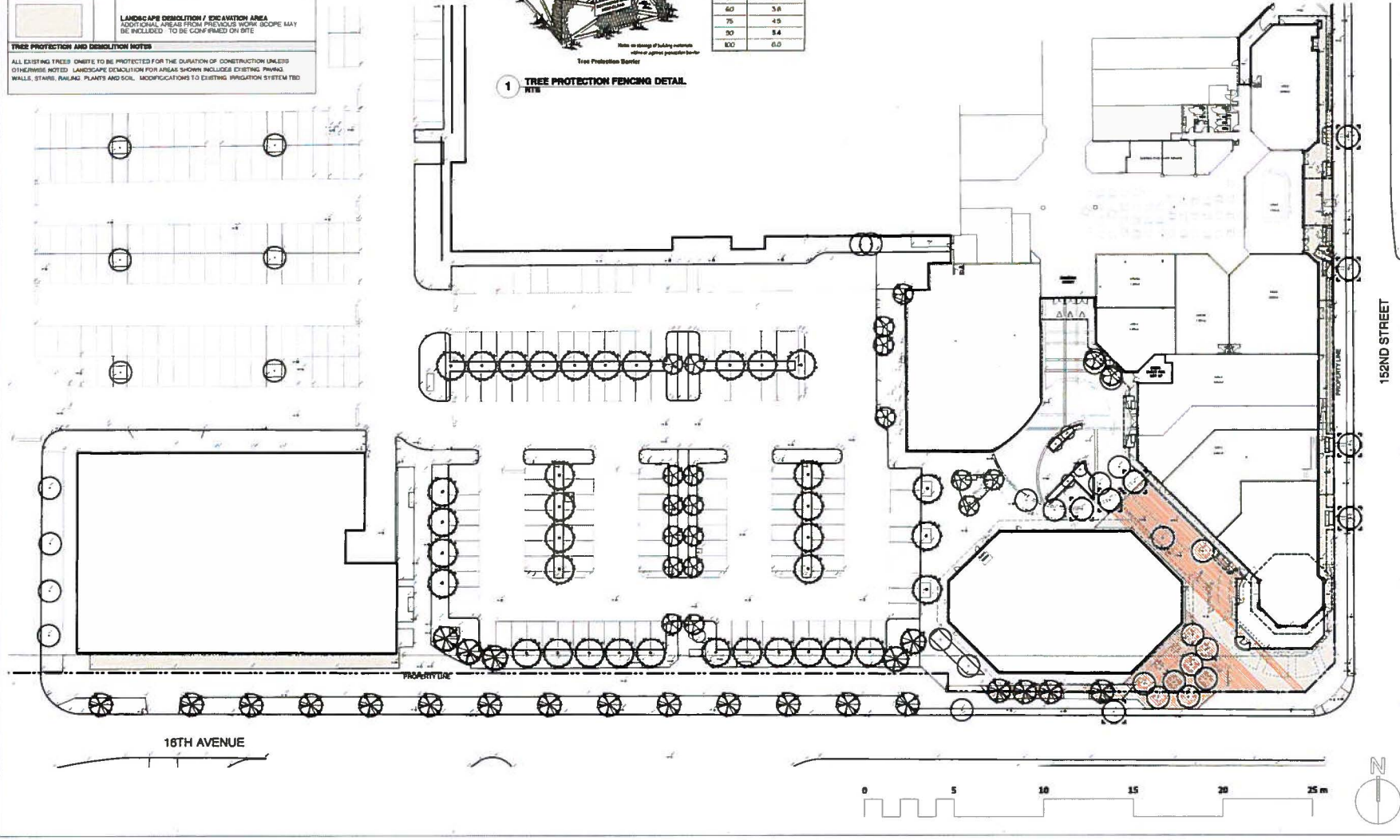
TREE PROTECTION AND DEMOLITION NOTES
 ALL EXISTING TREES OBLIGATE TO BE PROTECTED FOR THE DURATION OF CONSTRUCTION UNLESS OTHERWISE NOTED. LANDSCAPE DEMOLITION FOR AREAS SHOWN INCLUDES EXISTING PAVING, WALLS, STAIRS, RAILING, PLANTS AND SOIL. MODIFICATIONS TO EXISTING IRRIGATION SYSTEM TBD.



Tree Protection Distance Table

Stem Diameter (cm)	Minimum Protection Req'd Around Tree (Distance from trunk to roadway)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

1 TREE PROTECTION FENCING DETAIL
N/A



7912-0259-00(1)

PREVIOUS WORK - PLANT LIST

TREES QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
36	<i>Acer rubrum 'Spectol'</i>	Smooth Maple	7m cal. S&S	as shown
18	<i>Corylus lamellosa 'Vanguard'</i>	European Hazel	7m cal. S&S	as shown
4	<i>Malus multi caespitosa</i>	Flowering Crab Apple	6m cal. S&S	as shown
6	<i>Prunus serotina 'Autumnbrilliant'</i>	Flowering Cherry	7m cal. S&S	as shown
21	<i>Styria japonica</i>	Japanese Quince	6m cal. S&S	as shown

SHRUBS QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
36	<i>Cornus alternifolia</i>	Red Dogwood	#2 pot	30" x 6"
99	<i>Geotheca elatior</i>	Soldi	#2 pot	30" x 6"
36	<i>Monarda mollis 'Tide Jewel'</i>	David's Austin Grass	#2 pot	30" x 6"
120	<i>Panicum scoparium 'Yumbel'</i>	Humish Fountain Grass	#2 pot	30" x 6"
6	<i>Phlox x Franchi</i>	Phloxes	#2 pot	30" x 6"
18	<i>Polypodium medium</i>	Western Sword Fern	#2 pot	30" x 6"
180	<i>Rhododendron 'Var. Janet'</i>	Pink Rhododendron	#2 pot	30" x 6"
63	<i>Saxifraga haidouensis 'Humbel'</i>	Humboldt's Sweet Sax	#2 pot	30" x 6"
306	<i>Syringa x lamellosa 'Goldfinger'</i>	Goldfinger Syringa	#2 pot	30" x 6"
247	<i>Styria japonica</i>	Maui's Flower Grass	#2 pot	30" x 6"

GRASSES QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
29	<i>Carex amabilis</i>	Evergreen Carex	#110mm pot	12" x 12"
172	<i>Polypodium medium</i>	Virginia Creeper	#110mm pot	12" x 12"
11	<i>Polypodium medium</i>	General Copse	#110mm pot	12" x 12"

PERENNIALS QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
8	<i>Dianthus barbatus</i>	Western Bleeding Heart	#110mm pot	12" x 12"
9	<i>Hemerocallis 'Yellow Dazzle'</i>	Day Lily	#110mm pot	12" x 12"
3	<i>Perovskia atrorubra</i>	Black Spoke Screen	#110mm pot	30" x 6"

PLANTING NOTES

CONTRACTOR TO REMOVE & DISCARD ALL DEAD OR UNDER-PERFORMING PLANT MATERIAL AND REPLACE AS PER PLANTING PLAN AND LIST ABOVE.
PLANT MATERIAL SOUTH OF SHOPPERS DRUG MART FACADE TO BE REVISED AS PER DETAIL PLAN L1.1

IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.

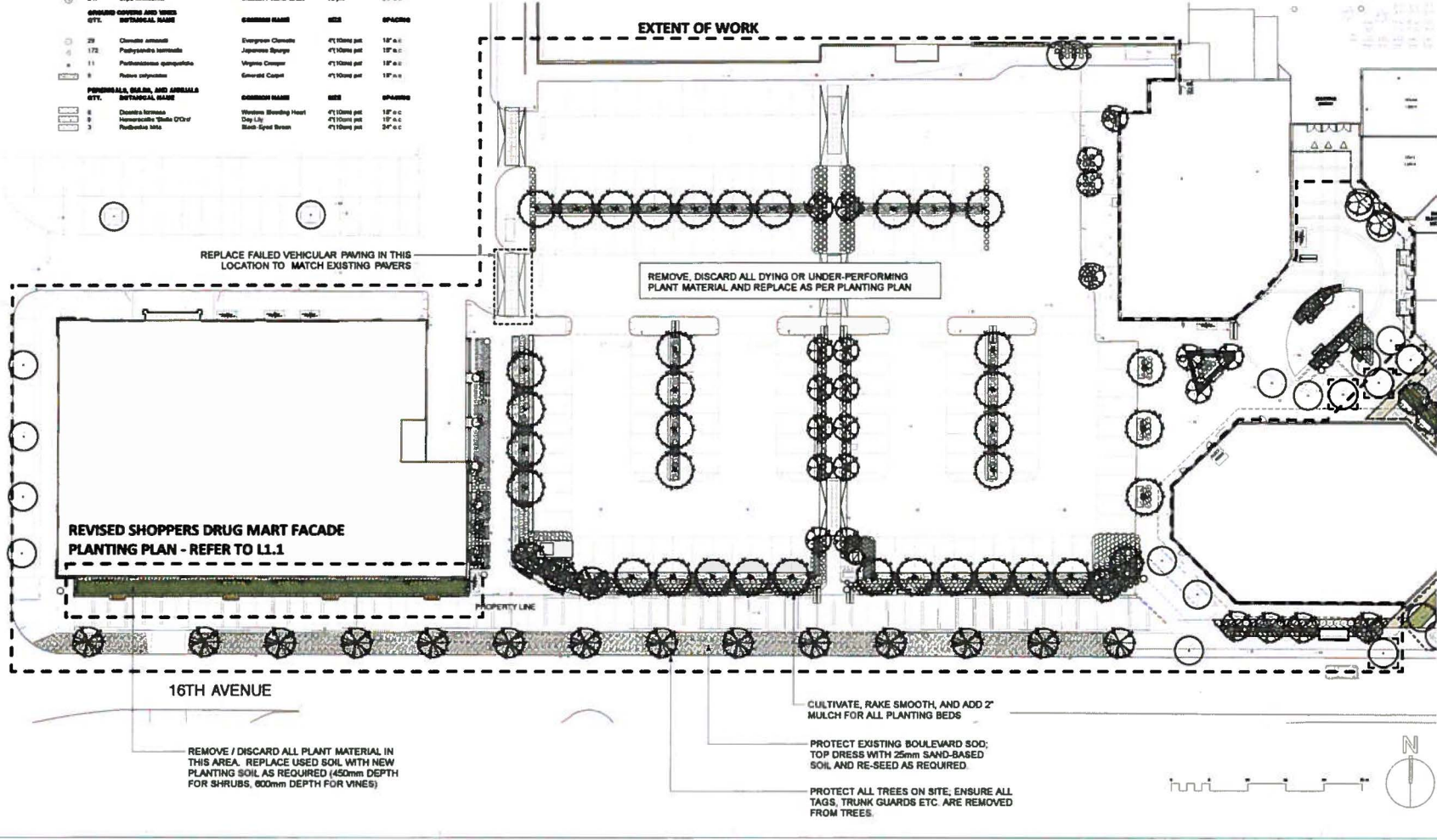
ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.

ALL PLANTING BEDS TO BE MULCHED WITH 2" (50mm) OF ANSWER GARDEN PRODUCTS TABULUS BALDOR OR APPROVED EQUAL.

ALL PLANTING BEDS TO BE IRRIGATED. CONTRACTOR TO EXISTING IRRIGATION SYSTEM IS IN GOOD WORKING ORDER WITH FULL COVERAGE OF ALL PLANT MATERIAL. REPAIR / REPLACE AS REQUIRED. ALL COVERED PLANTING AREAS TO BE IRRIGATED BY SEPARATE WATERED SYSTEM. ENSURE NO OVERSPRAY INTO PUBLIC WALKWAYS.

ALL EXISTING TREES TO BE PROTECTED DURING RE PLANTING.

EXTENT OF WORK



REPLACE FAILED VEHICULAR PAVING IN THIS LOCATION TO MATCH EXISTING PAVERS

REMOVE, DISCARD ALL DYING OR UNDER-PERFORMING PLANT MATERIAL AND REPLACE AS PER PLANTING PLAN

REVISED SHOPPERS DRUG MART FACADE PLANTING PLAN - REFER TO L1.1

16TH AVENUE

REMOVE / DISCARD ALL PLANT MATERIAL IN THIS AREA. REPLACE USED SOIL WITH NEW PLANTING SOIL AS REQUIRED (450mm DEPTH FOR SHRUBS, 600mm DEPTH FOR VINES)

CULTIVATE, RAKE SMOOTH, AND ADD 2" MULCH FOR ALL PLANTING BEDS

PROTECT EXISTING BOULEVARD SOD: TO P DRESS WITH 25mm SAND-BASED SOIL AND RE-SEED AS REQUIRED.

PROTECT ALL TREES ON SITE, ENSURE ALL TAGS, TRUNK GUARDS ETC. ARE REMOVED FROM TREES.

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SHARP & DIAMOND LANDSCAPE ARCHITECTURE INC. IS AN EQUAL OPPORTUNITY EMPLOYER. WE EMPLOY AND CONTRACT WITH PEOPLE OF ALL AGES, ETHNICITIES, AND DISABILITIES. WE ARE COMMITTED TO PROVIDING AN ACCESSIBLE ENVIRONMENT FOR ALL OF OUR CLIENTS AND EMPLOYEES.

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15-03-08	ISSUED FOR DP RESUBMISSION
15-02-27	ISSUED FOR DP RESUBMISSION
15-02-19	ISSUED FOR DP RESUBMISSION
15-01-31	ISSUED FOR DP REVIEW
15-01-04	ISSUED FOR DP RESUBMISSION
12-10-01	ISSUED FOR ADP
15-04-07	REVISED

SEMAHMOO
SHOPPING CENTRE
EXTERIOR RENOVATION TO
SOUTHEAST EXPANSION AREA

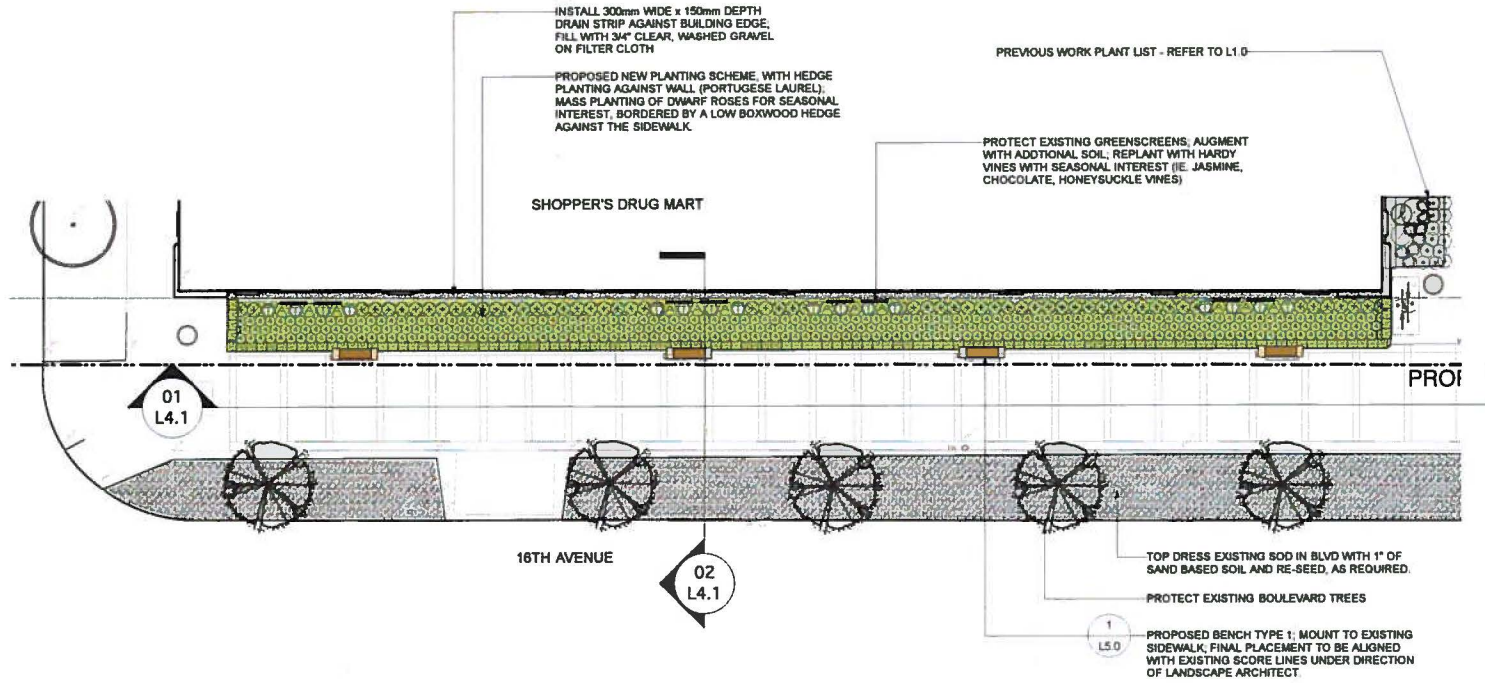
Surrey, British Columbia

PREVIOUS WORK -
PLANTING PLAN

Scale:	1:250
Drawn:	Lisa Butler
Checked:	Mike Enns
Revision:	D
Project No.	06-299
Sheet:	L1.0

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NOTE: 1. CONSULT ARCHITECT'S DRAWINGS FOR EXISTING AND PROPOSED BUILDING FOOTPRINTS, UTILITIES, AND SERVICES AT GRADING AND TO BE PROVIDED IN ACCORDANCE WITH THE PROJECT. 2. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA PLANTING STANDARD (L.S.0).



13-03-06	ISSUED FOR DP RESUBMISSION
13-02-27	ISSUED FOR DP REVISION
13-02-13	ISSUED FOR DP RESUBMISSION
15-01-31	ISSUED FOR DP REVIEW
13-01-04	ISSUED FOR DP REVISION
12-10-01	ISSUED FOR ADP
16-04-07	REVISIONS

SHOPPERS DRUG MART FACADE - PLANT LIST

SHRUBS			
	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
125	<i>Buxus sempervirens 'Suffruticosa'</i>	Dwarf Boxwood	#2 Pot, 300mm o.c.
345	<i>Rosa meidiland 'bonica'</i>	Bonica Rose	#2 Pot, 600mm o.c.
65	<i>Prunus lusitana</i>	Portuguese Laurel	1.25m Height, 600mm o.c.

VINES			
	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
12	<i>Akebia quinata</i>	Chocolate Vine	#2 Pot, 600mm o.c.
16	<i>Trachelospermum jasminoides</i>	Star Jasmine	#2 Pot, 600mm o.c.

PLANTING NOTES

CONTRACTOR TO REMOVE / DISCARD ALL DEAD OR UNDER PERFORMING PLANT MATERIAL AND REPLACE AS PER PLANTING PLAN AND LIST SHOWN.

PLANT MATERIAL SOUTH OF SHOPPERS DRUG MART FACADE TO BE REVISED AS PER DETAIL PLAN L1.1

IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.

ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD LATEST EDITION.

ALL PLANTING BEDS TO BE MULCHED WITH 7" (180mm) OF ANSWER GARDEN PRODUCTS' HAMPSHIRE OR APPROVED EQUAL.

ALL PLANTING BEDS TO BE IRRIGATED. CONTRACTOR TO ENSURE EXISTING IRRIGATION SYSTEM IS IN GOOD WORKING ORDER WITH FULL COVERAGE OF ALL PLANT MATERIAL. REPAIR / REPLACE AS REQUIRED. ALL COVERED PLANTING AREAS TO BE IRRIGATED BY SEPARATE IRRIGATED SYSTEM. ENSURE NO OVERSPRAY INTO PUBLIC WALKWAYS.

ALL EXISTING TREES TO BE PROTECTED DURING RE-PLANTING.



SEMIAMMOO
SHOPPING CENTRE
EXTERIOR RENOVATION TO
SOUTHEAST EXPANSION AREA

Surrey, British Columbia

SHOPPER'S DRUG
MART FACADE -
REVISED PLANTING
PLAN

Scale: SCALE 1:100
Drawn: Lisa Butler
Checked: Mike Enns
Revision: C
Project No. 06-299
Sheet: **L1.1**



LAYOUT AND MATERIAL LEGEND

KEY	DESCRIPTION
	PAVING TYPE 1: PRECAST CONCRETE UNIT PAVERS REFER TO SHEET L5.1
	CIP CONCRETE STAIRS W/RAIL ARCHITECTURAL FINISH, NO CHAMFER, SAW CUT JOINTS
	CIP CONCRETE WALLS 200mm AVG. WIDTH, ARCHITECTURAL FINISH, NO CHAMFER, SAW CUT JOINTS
	BENCH TYPE 1 FREE STANDING H/J BENCH BY LANDSCAPE FORMS, ALL SPECIFIED
	BENCH TYPE 2 CUSTOM SURFACE MOUNTED IPE BENCH TOPS, 2.0M LENGTH, ON CIP CONCRETE, ARCHITECTURAL FINISH
	BENCH TYPE 3 CUSTOM SURFACE MOUNTED IPE BENCH TOPS, LENGTH AND WIDTH VARY ON CIP CONCRETE, ARCHITECTURAL FINISH
	TRASH RECEPTACLES / RECYCLING BY LANDSCAPE FORMS, SEE SHEET L5.0
	PROPOSED BIKE RACKS RING BY LANDSCAPE FORMS AS SPECIFIED
	OUTLINE OF STRUCTURAL SOIL BELOW
	TREE PROTECTION FENCING REFER TO L5.2 FOR DETAILS AND LOCATIONS

LAYOUT AND MATERIAL NOTES

ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.

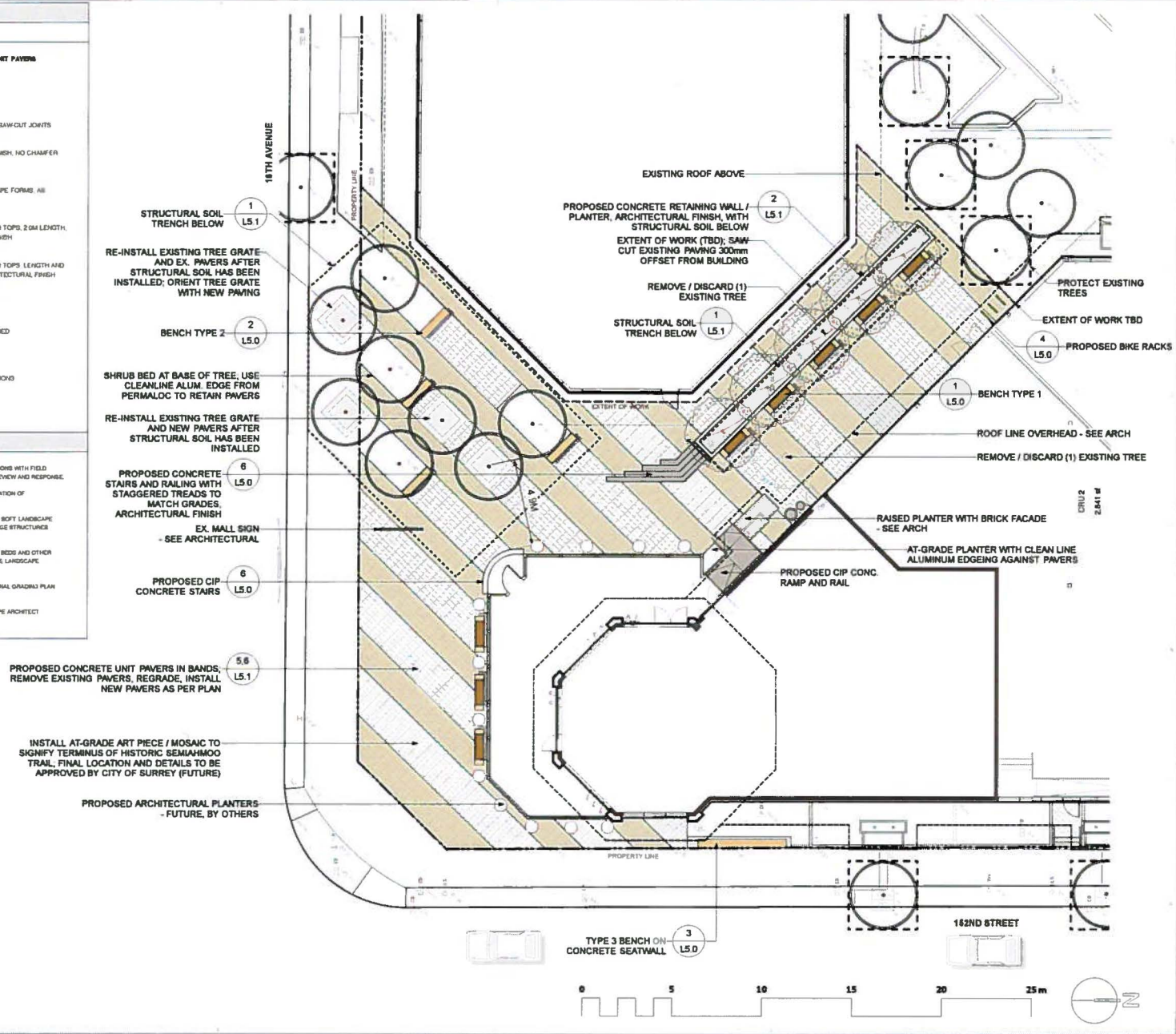
ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD. COORDINATE WITH PWR AS REQUIRED.

UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING OR TO DRAINAGE STRUCTURES. MAINTAIN 3:1 SLOPE IN SOFT LANDSCAPE AREAS.

THE LAYOUT OF ALL HANDBAKE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

REFER TO ARCHITECTURAL FOR CURRENT GRADING PLAN AND ELEVATIONS. FINAL GRADING PLAN AND LAYOUT OF WALLS, STAIRS, AND RAMPS TBD.

ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.



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13-03-08	ISSUED FOR DP RESUBMISSION
13-02-27	ISSUED FOR DP RESUBMISSION
13-02-13	ISSUED FOR DP RESUBMISSION
15-01-31	ISSUED FOR DP REVIEW
13-01-04	ISSUED FOR DP RESUBMISSION
12-10-01	ISSUED FOR ADP
18-03-07	REVISIONS



SEMAIHMOO SHOPPING CENTRE
EXTERIOR RENOVATION TO SOUTHEAST EXPANSION AREA

Surrey, British Columbia

MALL ENTRANCE PLAZA & PROMENADE - MATERIALS PLAN

Scale: SCALE 1:100

Drawn: Lisa Butler

Checked: Mike Enns

Revision: F

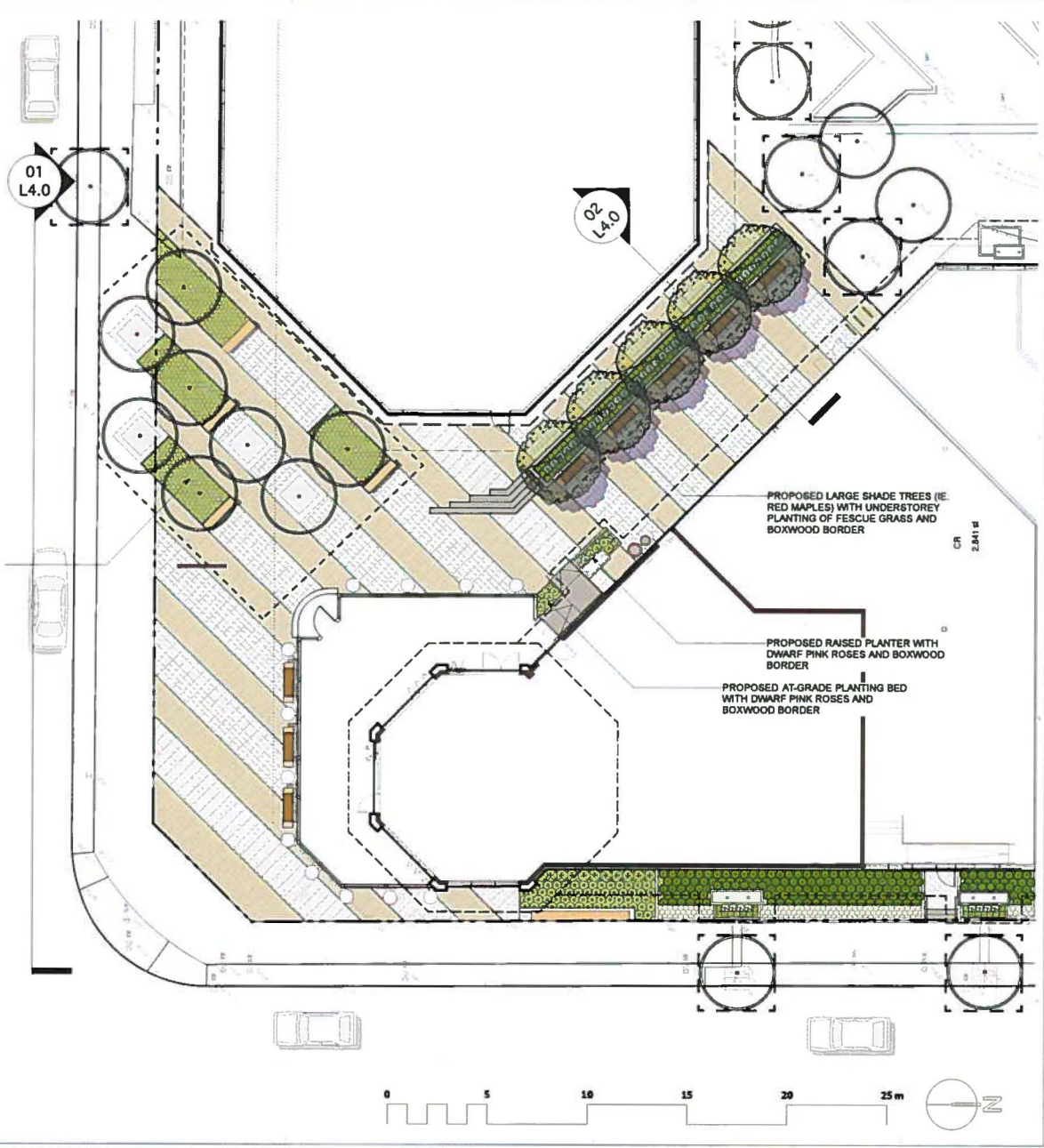
Project No. 06-299

Sheet: **L2.0**

MALL ENTRANCE PLAZA & PROMENADE AND 152 STREET - PLANT LIST

TREES			
BOTANICAL NAME	COMMON NAME	SIZE / SPACING	
Existing Trees To Remain (See Landscape Details for Proposed Improvements)			
5	<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	7cm cal.; as shown
SHRUBS			
BOTANICAL NAME	COMMON NAME	SIZE / SPACING	
100	<i>Azalea japonica</i> 'Hino White'	Hino White Azalea	#3 Pot, 450mm o.c.
195	<i>Buxus sempervirens</i> 'Fruitticosa'	Dwarf Boxwood	#2 Pot, 300mm o.c.
12	<i>Prunus lusitanica</i>	Portuguese Laurel	1.25M Ht., 600mm o.c.
10	<i>Rosa mediland</i> 'Bonica'	Bonica Rose	#2 Pot, 600mm o.c.
260	<i>Sarcococca humilis</i>	Sweet Box	#2 Pot, 450mm o.c.
PERENNIALS, GRASSES, AND FERNS			
BOTANICAL NAME	COMMON NAME	SIZE / SPACING	
100	<i>Carex elata</i> 'aurea'	Golden Sedge	#1 Pot, 450mm o.c.
190	<i>Carex morrowii</i> 'Ice Dance'	Ice Dance Sedge	#1 Pot, 450mm o.c.
26	<i>Elymus magellanicus</i>	Blue Wheat Grass	#1 Pot, 450mm o.c.
40	<i>Festuca idahoensis</i>	Idaho Fescue	#1 Pot, 450mm o.c.

EXISTING HONEY LOCUST TREES W/
UNDERSTOREY MASS PLANTING OF
EVERGREEN CAREX, CW NEW
STRUCTURAL SOIL BELOW PAVERS SEE
DETAIL L5.1



PLANTING NOTES

CONTRACTOR TO REMOVE / DISCARD ALL DEAD OR UNDER-PERFORMING PLANT MATERIAL AND REPLACE AS PER PLANTING PLAN AND LIST SHOWN

PLANT MATERIAL SOUTH OF SHOPPING DRUG MART FACADE TO BE REVISED AS PER DETAIL PLAN L1.1

IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THIS LIST AND ON THE PLAN THE LATTER SHALL PREVAIL.

ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION

ALL PLANTING BEDS TO BE MULCHED WITH 2" (50mm) OF AMBER GARDEN PRODUCTS 75MM BUILDUP OR APPROVED EQUAL.

ALL PLANTING BEDS TO BE IRRIGATED. CONTRACTOR TO ENSURE EXISTING IRRIGATION SYSTEM IS IN GOOD WORKING ORDER WITH FULL COVERAGE OF ALL PLANT MATERIAL. REPAIR / REPLACE AS REQUIRED. ALL COVERED PLANTING AREAS TO BE IRRIGATED BY SEPARATE WATERED SYSTEM. ENSURE NO OVERSPRAY INTO PUBLIC WALKWAY.

ALL EXISTING TREES TO BE PROTECTED DURING RE-PLANTING

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- 13-07-27 ISSUED FOR DP SUBMISSION
- 13-07-15 ISSUED FOR DP SUBMISSION
- 15-01-31 ISSUED FOR DP REVIEW
- 13-01-04 ISSUED FOR DP SUBMISSION
- 12-10-01 ISSUED FOR ADP
- 18-04-07 REVISED

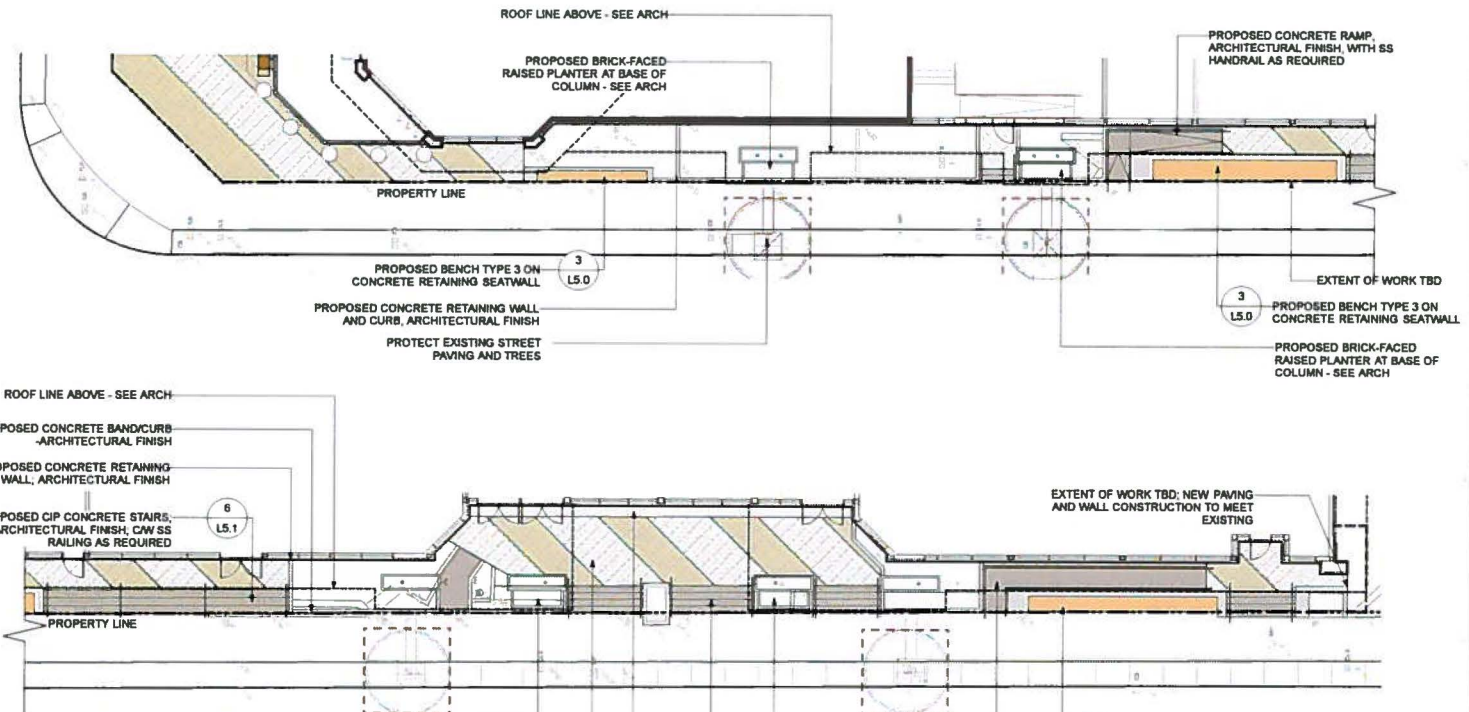


SEMIAMMOO SHOPPING CENTRE
EXTERIOR RENOVATION TO
SOUTHEAST EXPANSION AREA

Surrey, British Columbia

MALL ENTRANCE PLAZA & PROMENADE - PLANTING PLAN

Scale: SCALE 1:100
 Drawn: Lisa Butler
 Checked: Mike Enns
 Revision: F
 Project No. 06-299
 Sheet: **L2.1**



LAYOUT AND MATERIAL LEGEND	
KEY	DESCRIPTION
	PAVING TYPE 1: PRECAST CONCRETE UNIT PAVERS REFER TO SHEET L6.1
	CIP CONCRETE STAIRS W/ RAIL ARCHITECTURAL FINISH, NO CHAMFER, SAW-CUT JOINTS
	CIP CONCRETE WALLS 200mm AVG. WIDTH, ARCHITECTURAL FINISH, NO CHAMFER, SAW-CUT JOINTS
	BENCH TYPE 1 FREE STANDING HX BENCH BY LANDSCAPE FORMS, AS SPECIFIED
	BENCH TYPE 3 CUSTOM SURFACE MOUNTED IPE BENCH TOPS, 2.0M LENGTH ON CIP CONCRETE, ARCHITECTURAL FINISH
	BENCH TYPE 3 CUSTOM SURFACE MOUNTED IPE BENCH TOPS, LENGTH AND WIDTH VARY ON CIP CONCRETE, ARCHITECTURAL FINISH
	TRASH RECEPTACLE/RECYCLING BY LANDSCAPE FORMS (SEE SHEET L5.0)
	PROPOSED BIKE RACKS RING BY LANDSCAPE FORMS, AS SPECIFIED
	OUTLINE OF STRUCTURAL SLAB BELOW
	TREE PROTECTION FENCING REFER TO L6.2 FOR DETAILS AND LOCATIONS

LAYOUT AND MATERIAL NOTES	
ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.	
ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD (COORDINATE WITH TYP. AS REQUIRED).	
UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAINTAIN 3:1 SLOPE IN SOFT LANDSCAPE AREAS.	
THE LAYOUT OF ALL HANDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.	
REFER TO ARCHITECTURAL FOR CURRENT GRADING PLAN AND ELEVATIONS. FINAL GRADING PLAN AND LAYOUT OF WALLS, STAIRS, AND RAMPS TBD.	
ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.	

- 13-08-08 ISSUED FOR DP REVISIONS
- 13-07-27 ISSUED FOR DP REVISIONS
- 13-02-18 ISSUED FOR DP REVISIONS
- 13-01-31 ISSUED FOR DP REVIEW
- 13-01-04 ISSUED FOR DP REVISIONS
- 12-10-01 ISSUED FOR ADP
- 12-10-01 REVISIONS

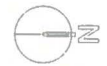


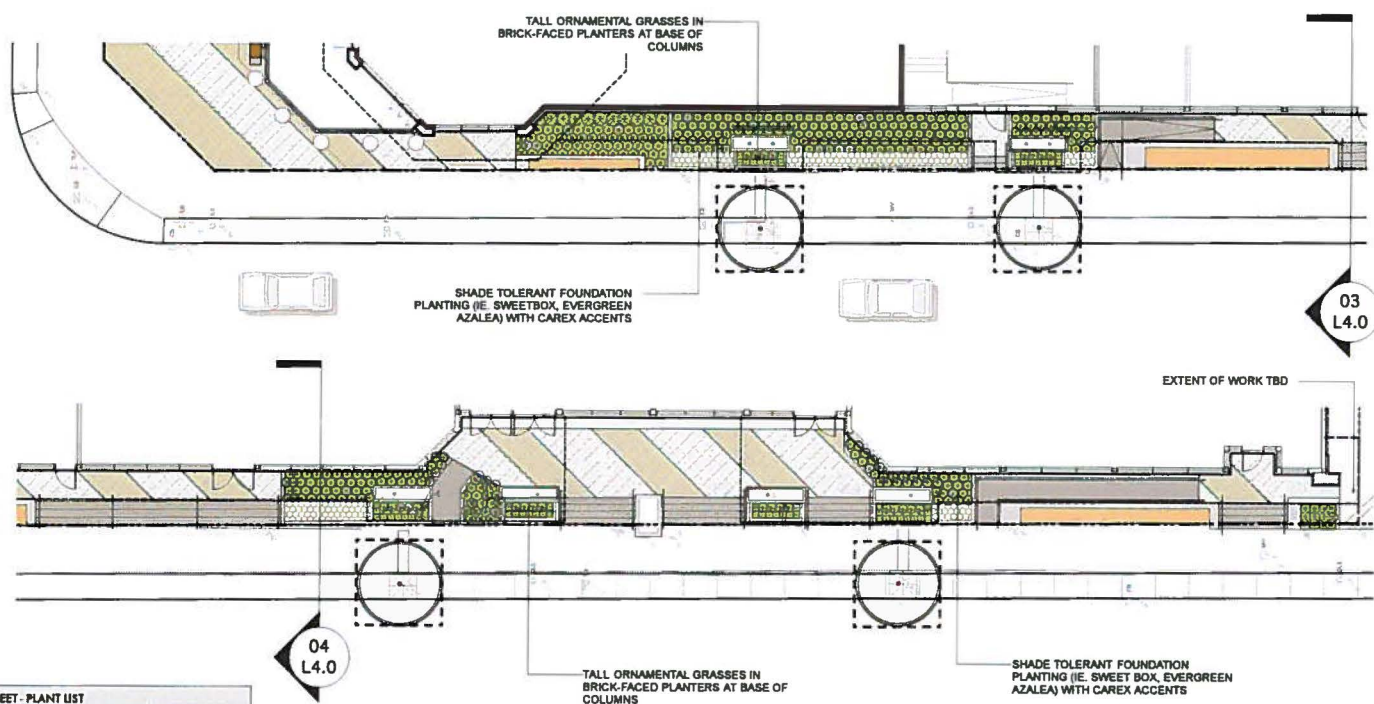
SEMIAMMOO SHOPPING CENTRE
EXTERIOR RENOVATION TO SOUTHEAST EXPANSION AREA

Surry, British Columbia

152ND ST. IMPROVEMENTS - MATERIALS PLAN

Scale: SCALE 1:100
 Drawn: Lisa Butler
 Checked: Mike Ervin
 Revision: E
 Project No. 06-299
 Sheet: **L3.0**





MALL ENTRANCE PLAZA & PROMENADE AND 152 STREET - PLANT LIST

TREES			
	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	Existing Trees To Remain (See Landscape Details for Proposed Improvements)		
5	<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	7cm cal., as shown
SHRUBS			
	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
100	<i>Azalea japonica</i> 'Hino White'	Hino White Azalea	#3 Pot, 450mm o.c.
195	<i>Buxus sempervirens</i> 'Fruitcasa'	Dwarf Boxwood	#2 Pot, 300mm o.c.
12	<i>Prunus lusitana</i>	Portuguese Laurel	1.25M H., 600mm o.c.
10	<i>Rosa meidiland</i> 'Bonica'	Bonica Rose	#2 Pot, 600mm o.c.
260	<i>Sarcococca humilis</i>	Sweet Box	#2 Pot, 450mm o.c.
PERENNIALS, GRASSES, AND FERNS			
	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
100	<i>Carex elata</i> 'aurea'	Golden Sedge	#3 Pot, 450mm o.c.
190	<i>Carex marrovi</i> 'Ice Dance'	Ice Dance Sedge	#1 Pot, 450mm o.c.
26	<i>Elymus magellanicus</i>	Blue Wheat Grass	#1 Pot, 450mm o.c.
40	<i>Festuca idahoensis</i>	Idaho fescue	#1 Pot, 450mm o.c.

PLANTING NOTES

CONTRACTOR TO REMOVE / DISCARD ALL DEAD OR UNDER PERFORMING PLANT MATERIAL AND REPLACE AS PER PLANTING PLAN AND LIST SHOWN.

PLANT MATERIAL SOUTH OF SHOPPERS DRUG MART FACSADE TO BE REVIEWED AS PER DETAIL PLANS 1.1.

IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.

ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD - L4.03 1ST EDITION.

ALL PLANTING BEDS TO BE MULCHED WITH 2" (50mm) OF ANEWOR GARDEN PRODUCTS HUNKS BUILDER OR APPROVED EQUAL.

ALL PLANTING BEDS TO BE IRRIGATED - CONTRACTOR TO ENSURE EXISTING IRRIGATION SYSTEM IS IN GOOD WORKING ORDER WITH FULL COVERAGE OF ALL PLANT MATERIAL. REPAIR / REPLACE AS REQUIRED. ALL COVERED PLANTING AREAS TO BE IRRIGATED BY SEPARATE WINTERIZED SYSTEM. ENSURE NO OVERSPRAY INTO PUBLIC WALKWAYS.

ALL EXISTING TREES TO BE PROTECTED DURING RE PLANTING.

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13-08-27	ISSUED FOR DP RESUBMISSION
13-09-18	ISSUED FOR DP RESUBMISSION
13-01-31	ISSUED FOR DP REVIEW
13-01-04	ISSUED FOR DP RESUBMISSION
12-10-01	ISSUED FOR APP
18-04-07	REVISIONS



SEMIHMOO SHOPPING CENTRE
EXTERIOR RENOVATION TO SOUTHEAST EXPANSION AREA

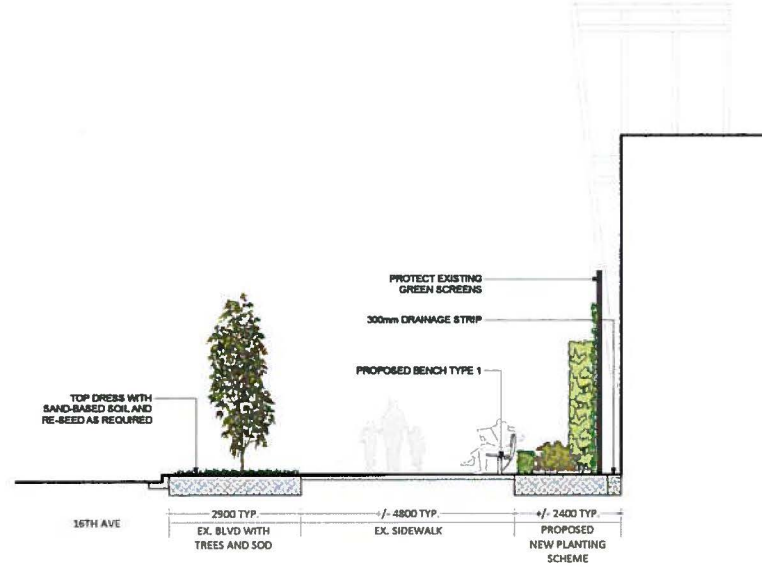
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152ND ST. IMPROVEMENTS - PLANTING PLAN

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Checked: Mike Ennis
Revision: F
Project No. 06-299
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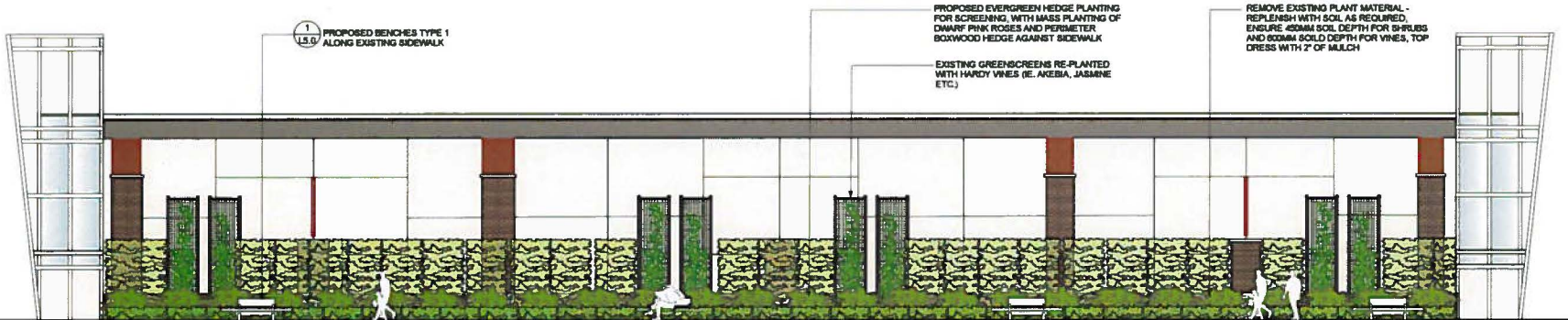
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02 SECTION B: SHOPPER'S DRUG MART FACADE ALONG 16TH AVE.
SCALE: 1:50

13-01-06	ISSUED FOR DP REVISIONS
13-02-27	ISSUED FOR DP REVISIONS
13-02-13	ISSUED FOR DP REVISIONS
13-01-31	ISSUED FOR DP REVIEW
13-01-04	ISSUED FOR DP REVISIONS
12-10-01	ISSUED FOR ASP REVISIONS



01 SECTION ELEVATION A: SHOPPER'S DRUG MART FACADE ALONG 16TH AVE.
SCALE: 1:75



SEMAIHMOO
SHOPPING CENTRE
EXTERIOR RENOVATION TO
SOUTHEAST EXPANSION AREA

Surrey, British Columbia

ELEVATIONS

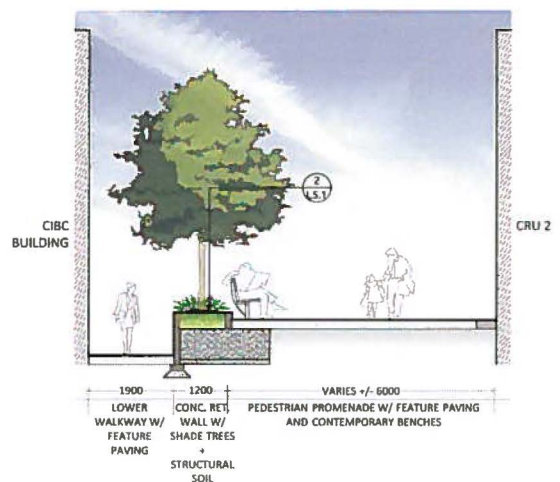
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Checked: Mike Erns
Revised: B
Project No. 06-299
Sheet:

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 1 604 441 1399
 1 604 462 1163

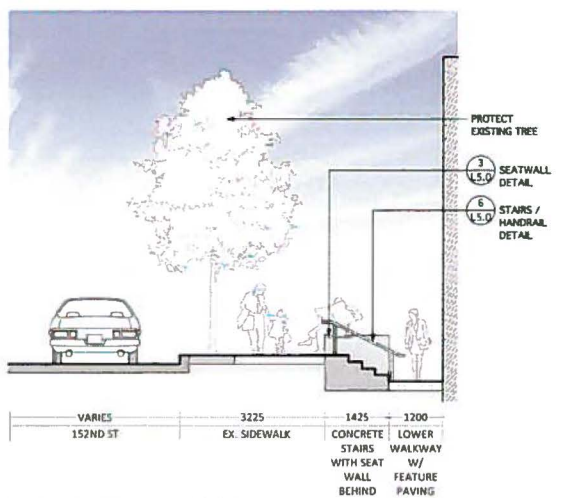
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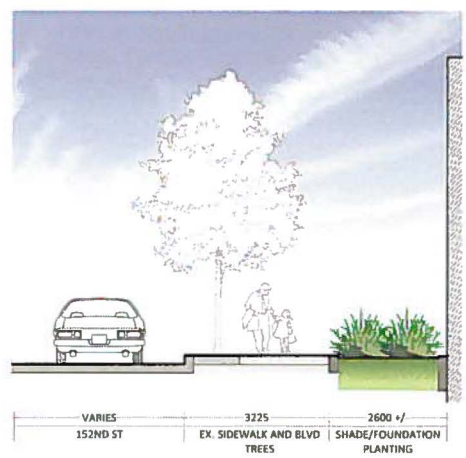
01 ELEVATION A: CORNER PLAZA: LOOKING NORTH
SCALE: 1:7.5



02 SECTION A: PEDESTRIAN PROMENADE: LOOKING WEST
SCALE: 1:50



03 SECTION B: 152ND STREET FRONTAGE: LOOKING SOUTH
SCALE: 1:50



04 SECTION C: 152ND STREET FRONTAGE: LOOKING SOUTH
SCALE: 1:50

13-03-06	ISSUED FOR DP REVISION
13-02-27	ISSUED FOR DP REVISION
13-02-13	ISSUED FOR DP REVISION
13-01-31	ISSUED FOR DP REVIEW
13-01-04	ISSUED FOR DP REVISION
12-10-01	ISSUED FOR ADP REVISION

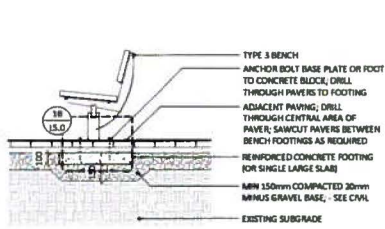


SEMIAHMOO SHOPPING CENTRE
EXTERIOR RENOVATION TO SOUTHEAST EXPANSION AREA

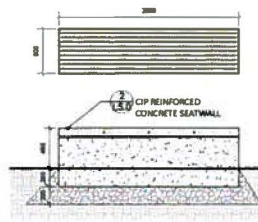
Surrey, British Columbia

ELEVATIONS

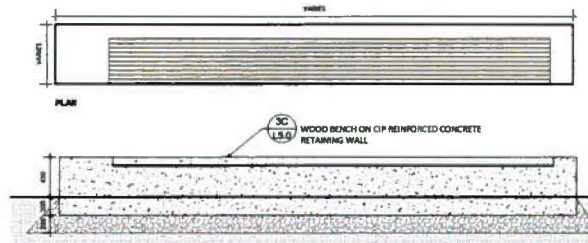
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Checked:	Mike Evans
Revision:	E
Project No.	06-299
Sheet:	



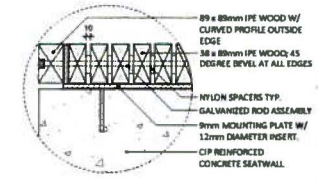
1A BENCH TYPE 1, SECTION
SCALE 1:20



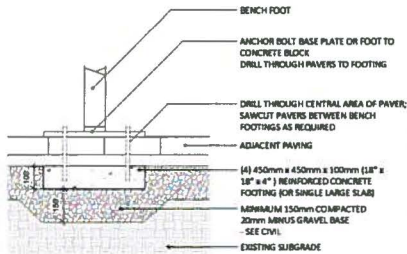
2A BENCH TYPE 2-WOOD TOP ON CIP CONCRETE
SCALE 1:25



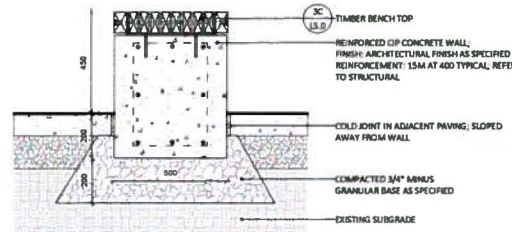
3A BENCH TYPE 3-WOOD TOP ON CONC. SEAT/WALL
SCALE 1:25



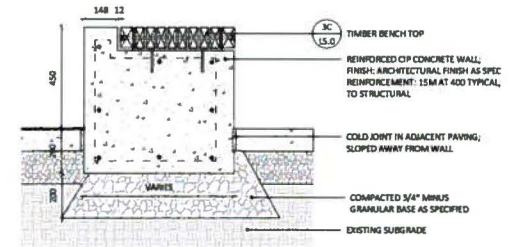
3C WOOD BENCH TOP TYP.
SCALE 1:5



1B BENCH TYPE 1, FOOTING INSTALLATION
SCALE 1:10

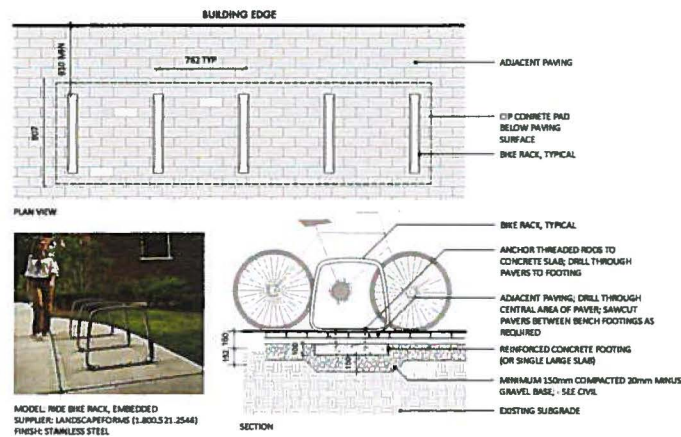


2B BENCH TYPE 2 -WOOD TOP ON CONCRETE WALL
SCALE 1:10



3B BENCH TYPE 3-WOOD TOP ON CONC. SEAT/WALL
SCALE 1:10

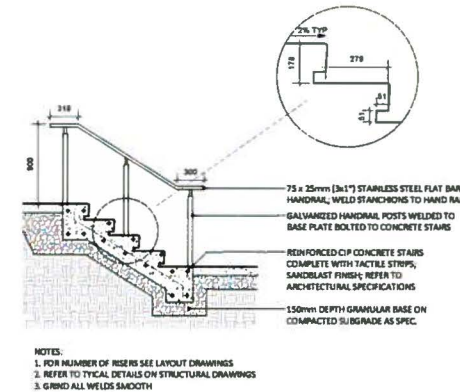
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13-02-27	ISSUED FOR DP RESUBMISSION
13-02-13	ISSUED FOR DP RESUBMISSION
13-01-31	ISSUED FOR DP REVIEW
13-01-04	ISSUED FOR DP RESUBMISSION
12-10-01	ISSUED FOR ADP
11-04-01	REVISIONS



4 BIKE RACK, TYPICAL
SCALE 1:20



5 TRASH RECEPTACLE, TYPICAL
SCALE 1:20

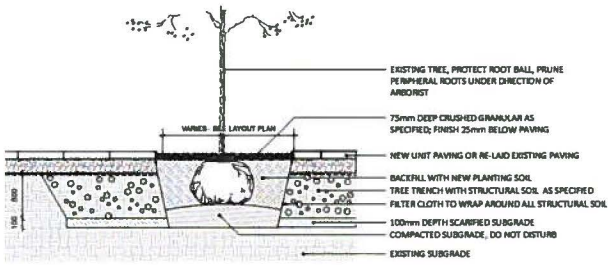


6 CIP CONCRETE STAIR WITH HANDRAIL
SCALE 1:20

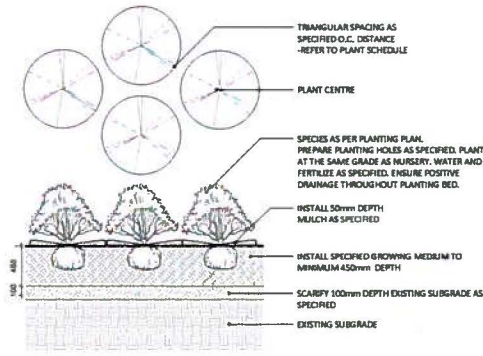
Scale: _____
 Drawn: Michael Vorhies
 Checked: Mike Enns
 Revision: D
 Project No. 06-299
 Sheet: _____

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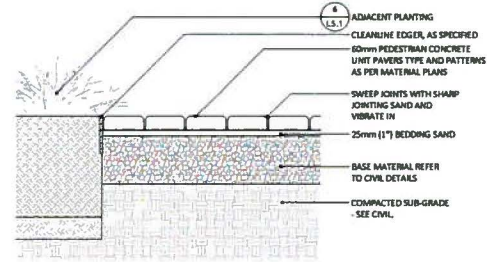
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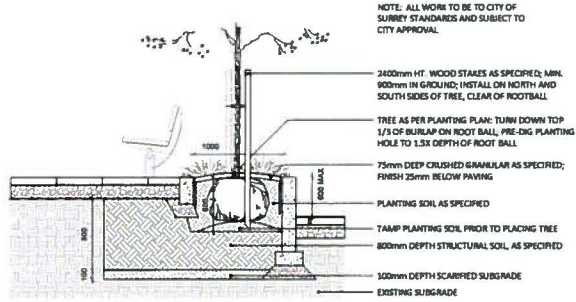
1 EXISTING TREE AT GRADE IMPROVED WITH STRUCTURAL SOIL. TYP.
SCALE 1:25



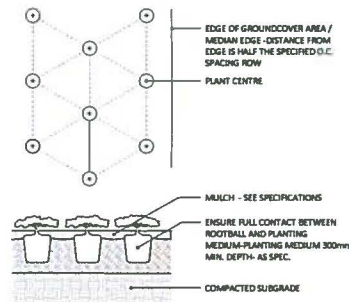
3 SHRUB PLANTING AT GRADE, TYPICAL
SCALE 1:25



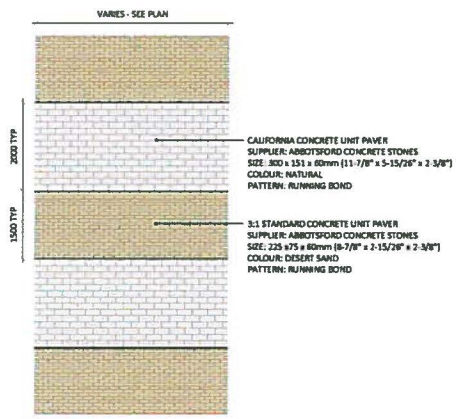
5 PEDESTRIAN CONCRETE UNIT PAVING, TYP.
SCALE 1:10



2 TREE PLANTING IN CONG. PLANTER W/ STRUCTURAL SOIL TRENCH TYP.
SCALE 1:25



4 GROUNDCOVER PLANTING, TYPICAL
SCALE 1:25



6 PEDESTRIAN CONCRETE UNIT PAVING PATTERN, TYP.
SCALE 1:50

18-03-06	ISSUED FOR DP RESUBMISSION
19-02-27	ISSUED FOR DP RESUBMISSION
19-02-13	ISSUED FOR DP RESUBMISSION
19-01-31	ISSUED FOR DP REVIEW
19-01-04	ISSUED FOR DP RESUBMISSION
12-10-01	ISSUED FOR ADP
19-04-01	REVISIONS



SEMIAHMOO SHOPPING CENTRE
EXTERIOR RENOVATION TO SOUTHEAST EXPANSION AREA

Surrey, British Columbia

DETAILS

Scale: _____

Drawn: Michael Vorhies

Checked: Mike Enns

Revision: 0

Project No. 06-299

Sheet: _____