

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7912-0320-00

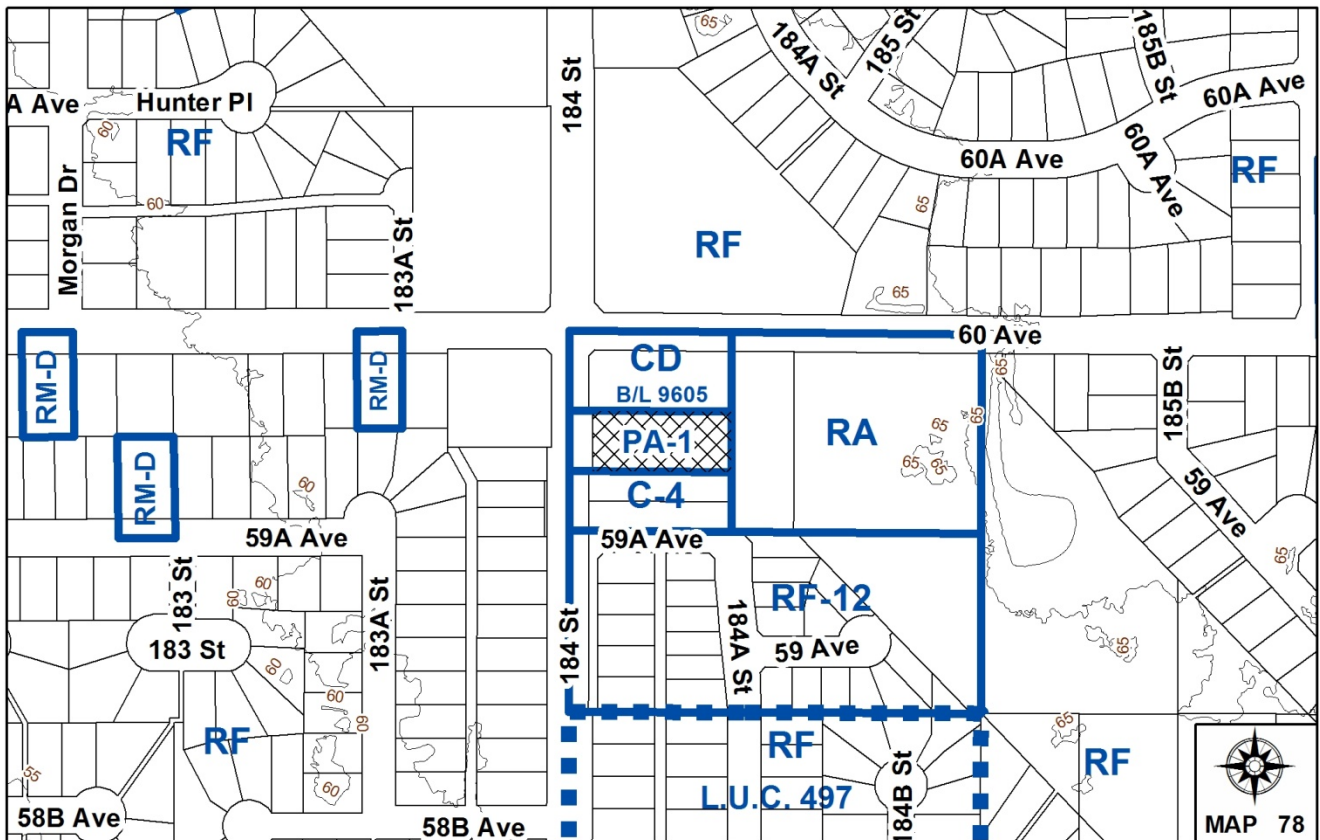
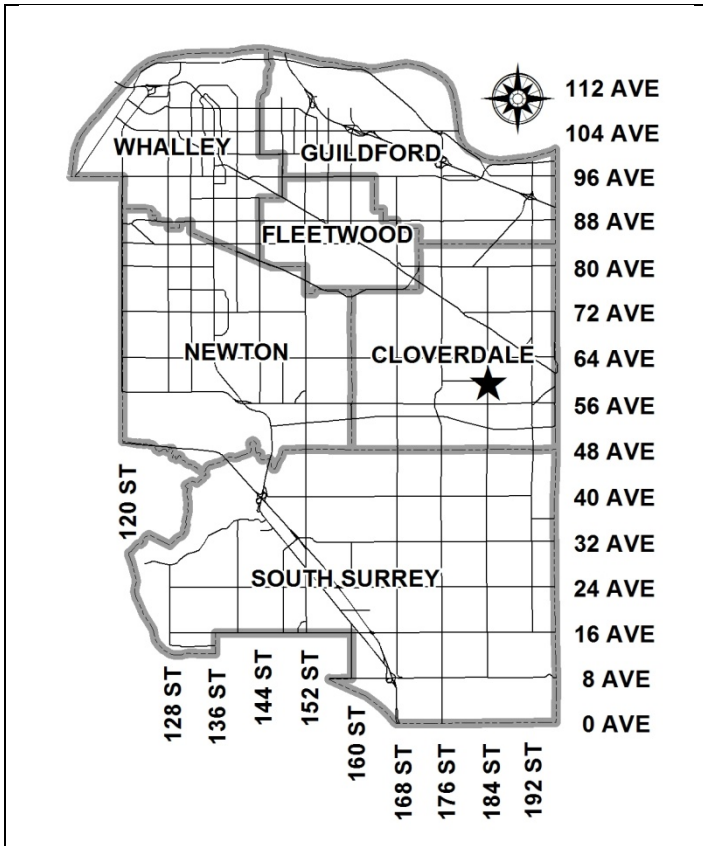
Planning Report Date: February 18, 2013

PROPOSAL:

- **Development Variance Permit**

in order to allow a small two-storey addition to an existing temple.

LOCATION: 5988 - 184 Street
OWNER: Guru Teg Bahadur Welfare Society
ZONING: PA-1
OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the PA-1 Zone by reducing the minimum front yard (west) and side yard (north) setbacks and reducing the minimum 3.0-metre (10 ft.) wide landscaping strip required along portions of the side (north and south) lot lines, and along the entire rear (east) lot line.

RATIONALE OF RECOMMENDATION

- The proposed setback relaxations will accommodate a small two-storey addition to the existing facility, and is not expected to negatively impact the neighbouring lot.
- The proposed relaxation to the landscaping is minor and is required in order to provide sufficient parking for the facility. The proposed variance will have little, if any, impact on the abutting properties.
- The applicant has agreed to dedicate 2.808 metres (9 ft.) along the front (west) property line of the subject site for the future road widening of 184 Street, and as a result, the front yard setback is further reduced.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7912-0320-00 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard (west) setback of the PA-1 Zone from 8.7 metres (28.5 ft.) to 4.8 metres (16 ft.);
 - (b) to reduce the minimum side yard (north) setback of the PA-1 Zone from 8.7 metres (28.5 ft.) to 6.8 metres (23 ft.); and
 - (c) to relax the minimum 3.0-metre (10 ft.) wide landscaping strip to 0.0 metre (0.0 ft.) along portions of the side (north and south) lot lines, and along the entire rear (east) lot line.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer; and
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the City Landscape Architect.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

SITE CHARACTERISTICS

Existing Land Use: Gurdwara Sikh Temple

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Gas station with convenience store, and a dwelling unit above.	Urban	CD (By-law No. 9605)

Direction	Existing Use	OCP Designation	Existing Zone
East:	BC Hydro corridor and City of Surrey works yard.	Urban	RA
South:	Vacant City-owned lots.	Urban	C-4
West (Across 184 Street):	Single family dwellings.	Urban	RF

DEVELOPMENT CONSIDERATIONS

- The subject property is located in Cloverdale at 5988 – 184 Street, is zoned "Assembly Hall 1 Zone (PA-1)", and is designated "Urban" in the Official Community Plan (OCP). A utility right-of-way (BC Hydro) runs through the northeast portion of the subject site.
- The property is currently occupied by a Gurdwara Sikh temple approximately 253 square metres (2,725 sq.ft.) in size.
- The applicant has agreed to dedicate 2.808 metres (9 ft.) along the front (west) property line for the future road widening of 184 Street. As a result, the net site area is approximately 2,280 square metres (0.6 acre).
- The applicant has submitted a Development Variance Permit (DVP) application in order to allow for a small two-storey addition to the existing building. The requested variances (see By-law Variance Section) are for the following:
 - To reduce the minimum front yard (west) building setback from 8.7 metres (28.5 ft.) to 4.8 metres (16 ft.);
 - To reduce the minimum side yard (north) building setback from 8.7 metres (28.5 ft.) to 6.8 metres (23 ft.); and
 - To relax the minimum 3.0-metre (10 ft.) wide landscaping strip to 0.0 metre (0.0 ft.) along portions of the side (north and south) lot lines, and along the entire rear (east) lot line.
- The proposed two-storey addition at the front of the building, which includes a dining room and storage area, will increase the floor area by approximately 169 square metres (1,815 sq. ft.) to a total floor area of 422 square metres (4,540 sq. ft.). After road dedication, the proposed addition will result in a total floor area ratio (FAR) of approximately 0.19, which complies with the maximum FAR of 0.35 permitted in the PA-1 Zone.
- The PA-1 Zone limits the number of seats in an assembly hall, which includes churches and other religious assemblies, to 300. The proposed expansion will increase the number of seats in the facility to 294.
- Based on the Zoning By-law, 32 parking stalls are required for the expanded facility. A total of 33 parking spaces will be provided, subject to approval of the requested variances.

DESIGN PROPOSAL AND REVIEW

- The existing building is situated near the centre of the subject property surrounded by the existing parking lot and a small landscaped area located along the front (west) lot line.
- The proposed two-storey addition will be located at the front of the existing building, facing 184 Street. A small extension at the front of the existing building will be removed to accommodate the new addition.
- The main floor building façade of the proposed addition will incorporate a stone finish with three (3) large windows facing 184 Street. The proposed entrance to the addition will be situated along the south building elevation.
- The second storey building façade consists of a stucco finish, which will match the stucco on the rear portion of the existing building.
- The roof of the addition will be flat. However, three (3) metal domes are proposed to be located on the roof and will extend above the roofline. Each of the metal domes is approximately 1.4 metres (4.5 ft.) high.
- Roof elements like the three (3) proposed domes on the building addition are not included in the measurement of building height since they, in aggregate, do not exceed 25% of the plan view area of the roof on which they are located. As a result, no variances are required for the proposed domes.
- The asphalt roof shingles on the lower level roof of the proposed building addition will match the roof material on the existing building.
- Currently, there are two (2) driveway accesses to the subject site along 184 Street. The proposed expansion will not impact these driveways, and they will remain in the same locations.
- The existing one-way drive aisle and 45-degree angled parking along the north and south property lines will also remain the same.
- The applicant proposes to repaint the existing parking stall demarcation lines within the existing parking lot, which is located along the north, south and east portions of the site. Four (4) parking stalls will be included for people with disabilities.

Landscaping

- The subject site currently encompasses minimal landscaping along the west (front) property line in front of the existing building. The existing landscaping includes some rose bushes, cedars and grass. There are no mature trees on the property.
- The applicant proposes to replace the existing landscaping along the west (front) property line with new roses, evergreen shrubs, and boxwoods. The requested 2.808-metre (9 ft.) road dedication along the front (west) property line will reduce the existing landscape area to a width of 4.8 metres (16 ft.), which complies with the minimum 3.0-metre (10 ft.) wide landscaping strip requirement.
- The applicant also proposes to provide landscaping along the north and south property lines. These landscape strips are located near the front (western) portion of the site and are not proposed to

extend the full length of the property line due to the parking requirements (see By-law Variance section). Proposed landscaping in these areas include lavenders, yews, and a beech tree.

- No landscaping is proposed along the eastern (rear) property line adjacent to the City works yard (see By-law Variance section).
- The applicant will provide a finalized landscape plan and landscape cost estimate prior to consideration of issuance of the Development Variance Permit.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum front yard (west) setback of the PA-1 Zone from 8.7 metres (28.5 ft.) to 4.8 metres (16 ft.); and
- To reduce the minimum side yard (north) setback of the PA-1 Zone from 8.7 metres (28.5 ft.) to 6.8 metres (23 ft.).

Applicant's Reason:

- The proposed variances will permit an addition to the front of the existing building in order to service the growing congregation.

Staff Comments:

- The PA-1 Zone requires that all front, rear and side yard setbacks be greater than or equal to the measurement of the height of the highest building on the lot.
- The proposed addition has a maximum height of 8.7 metres (28.5 ft.) to the top of the parapet. The maximum building height permitted in the PA-1 Zone is 9.0 metres (30 ft.).
- The proposed setback relaxations will accommodate a small addition to the existing facility, and will not negatively impact the adjacent property.
- New landscaping will be provided within the front yard, and along the western portion of the north and south lot lines.
- Staff support the proposed variances.

(b) Requested Variance:

- To relax the minimum 3.0-metre (10 ft.) wide landscaping strip to 0.0 metre (0.0 ft.) along portions of the side (north and south) lot lines, and along the entire rear (east) lot line.

Applicant's Reason:

- The requested variance is to ensure adequate parking is provided for the facility.

Staff Comments:

- Currently, minimal landscaping exists on the subject site. The applicant proposes to introduce new landscaping along the north and south lot lines near the front (western portion) of the property. The existing plants along the front (west) lot line in front of the proposed building addition will also be replaced with new landscaping.
- The neighbouring property to the north is currently occupied by a gas station and convenience store. The proposed landscape strip variance will have little, if any, impact on the neighbouring lot.
- There are limited opportunities for increasing the number of on-site parking stalls due to the small, constrained site. The 3.0-metre (10 ft.) wide landscaping strip required along all lot lines would further impact the number of on-site parking spaces.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Engineering Summary
Appendix III.	Development Variance Permit No. 7912-0320-00

Original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

DN/da

DEVELOPMENT DATA SHEET

Existing Zoning: PA-1

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		2,370 sq.m.
Road Widening area		90 sq.m.
Undevelopable area		
Net Total		2,280 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		15%
Paved & Hard Surfaced Areas		76%
Total Site Coverage		91%
SETBACKS (in metres)		
Front (West)	8.7 metres	4.8 metres*
Rear (East)	8.7 metres	35.0 metres
Side #1 (North)	8.7 metres	6.8 metres*
Side #2 (South)	8.7 metres	11.0 metres
BUILDING HEIGHT (in metres)		
Principal	9.0 metres	8.7 metres
Accessory	4.0 metres	
NUMBER OF RESIDENTIAL UNITS		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		N/A
FLOOR AREA: Commercial		N/A
Retail		
Office		
Total		
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional	830 sq.m.	422 sq.m.
TOTAL BUILDING FLOOR AREA	830 sq.m.	422 sq.m.

* *Variance requested*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (net)		
FAR (net)	0.35	0.19
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		N/A
Institutional	32	33
Total Number of Parking Spaces	32	33
Number of disabled stalls	1	4
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 13, 2013**

PROJECT FILE: **7812-0320-00**

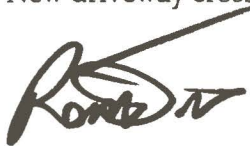
RE: **Engineering Requirements
Location: 5988 184 Street**

DEVELOPMENT VARIANCE PERMIT

The following issues are to be addressed as a condition of issuance of the Development Variance Permit:

- dedicate 2.808 metres along 184 Street.

A Servicing Agreement is not required prior to issuance of the Development Variance Permit.
New driveway crossings will be required prior to issuance of the Building Permit.



Rémi Dubé, P.Eng.
Development Services Manager

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CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7912-0320-00

Issued To: GURU TEG BAHADUR WELFARE SOCIETY
("the Owner")

Address of Owner: 314 - Jardine Street
New Westminster, BC
V3M 5M5

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 000-903-566
Lot 2 Except: Parcel "A" (By-law Plan 48414);
Section 9 Township 8 New Westminster District Plan 8746

5988 - 184 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum front yard (west) setback of the PA-1 Zone from 8.7 metres (28.5 ft.) to 4.8 metres (16 ft.);
 - (b) to reduce the minimum side yard (north) setback of the PA-1 Zone from 8.7 metres (28.5 ft.) to 6.8 metres (23 ft.); and
 - (c) to relax the minimum 3.0-metre (10 ft.) wide landscaping strip to 0.0 metre (0.0 ft.) along portions of the side (north and south) lot lines, and along the entire rear (east) lot line.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.



CONTACT INFORMATION

CLIENT/OWNER

GURU TEG BAHADUR WELFARE SOCIETY
5969 - 184TH STREET, SURREY, B.C.
CONTACT: MR. HARVEK SINGH WARR
PH: 604.591.1788
EMAIL: gtr@131588.ca

ARCHITECT

IMPERIAL ARCHITECTURE
7265 FRENCH STREET, WINDYBARK, B.C.
CONTACT: LINDA ZHAI, MARCH
PH: 778.626.0202
EMAIL: lmp@imperialarchitecture.com

CITY

CITY OF SURREY
14245 56TH AVENUE, SURREY, B.C.
CONTACT: BOB SMITH, P.Eng
PH: 604.591.4011

STRUCTURAL/CIVIL

SHARMA & ASSOCIATES CONSULTING ENGS. INC.
SUITE 121-13140 82 AVENUE SURREY, B.C.
CONTACT: JASPRENDER SINGH, P.Eng.
PH: 604.591.7788
EMAIL: jas@sharandassociates.com

MECHANICAL

MEC ENGINEERING CONSULTANT LTD.
SUITE 201-15090 80 AVENUE SURREY, B.C.
CONTACT: DAN SMITH, P.Eng
PH: 604.591.6338 FAX: 604.591.7448
EMAIL: dan@meccanicsengineering.ca

ELECTRICAL

RACA ENGINEERING LTD.
SUITE 201-15090 80 AVENUE SURREY, B.C.
CONTACT: BOB SMITH, P.Eng
PH: 604.591.6338 FAX: 604.591.6338
EMAIL: bob@racae.com

PROJECT DATA (BASED ON ZONING BY LAW & BCBC 2006)

	EXISTING BUILDING	EXISTING BUILDING + NEW ADDITION (NEW BP APPLICATION)
ZONING	PM1	PM1 (NO CHANGE)
BUILDING HEIGHT	1 STOREY (24'-0" OR 8.84 M)	2 STOREY (27'-0" OR 8.23 M) / 3 STOREY (30'-0" OR 9.14 M)
LOT AREA	2,370.4 SQ. M (200100 SF.)	2,370.4 SQ. M (200100 SF.)
TOTAL FLOOR AREA	233 SQ. M (2722 SF.)	421.26 SQ. M (4556 SF.)
F.A.R.	0.1027	0.1728 < (0.35 DENSITY ALLOWED) SCHEDULE-D REQUIREMENTS TO BE MET.
BUILDING AREA	273 SQ. M (2938 SF.)	353.00 SQ. M OR (3806.36 SF.) < (600 SQ. M ALLOWED ON 3.2.2.2)
SITE COVERAGE	11.52 %	14.83% < 35 % N. ALLOWED
CONSTRUCTION TYPE	COMBUSTIBLE	COMBUSTIBLE (NO CHANGE)
SPRINKLER SYSTEM	NOT INSTALLED	NEW SPRINKLER TO BE INSTALLED IN THE ENTIRE BUILDING
HAZARDOUS OCCUPANCY	SCHOOL - GROUP A2	CHURCH - GROUP A2, DIV. 2
CONSTRUCTION CLASSES	3.2.2.2.8 (1)(c)(b)	3.2.2.2.7
PARKING SPACES	40 SPACES	30 SPACES > 31 PARKING SPACES REQUIRED @ 7.0 STALL/100SQM
FRONT SETBACK (WEST)	FRONT: 13.67M (45'-0")	FRONT: 7.62M (25'-0") PROVIDED < 6.6M (22'-0") MIN. REQUIRED - CMP REQUIRED
FRONT SETBACK (SOUTH)	RIGHT SIDE: 8.67M (28'-6 3/4") (NO CHANGE)	RIGHT SIDE: 8.67M (28'-6 3/4") (NO CHANGE) > 6.6M (22'-0") MIN. REQUIRED
FRONT SETBACK (EAST)	REAR: 24.84M (114'-3 3/4") (NO CHANGE)	REAR: 24.84M (114'-3 3/4") (NO CHANGE) > 6.6M (22'-0") MIN. REQUIRED
LEFT SETBACK (NORTH)	LEFT SIDE: 10.40M (34'-0")	LEFT SIDE: 8.80M (29'-0") PROVIDED < 6.6M (22'-0") MIN. REQUIRED - CMP REQUIRED

LOCATION/ CONTEXT PLAN N.T.S.

ADDITION AND RENOVATION TO EXISTING BUILDING

C.M.C. ADDRESS:
6888 184TH STREET
SURREY, B.C.

LEGAL DESCRIPTION:
LOT 2 EXCEPT PARCELS "C" (BY-LAW PLAN 45814) ; SECTION 8, TOWNSHIP 8, WEST MIDDLESEX DISTRICT, PLAN L2M, EXCEPT FOR 347 300 SQUARE FOOT PORTION USED AS A RESIDENCE

DRAWING LIST: ARCHITECTURAL

- ALD : COVER SHEET
- ALD : SITE PLAN AND SCHEDULES
- ALD : SURVEY SITE PLAN
- ALD : FLOOR POWER AND WEAP PLAN
- ALD : REFLECTED CEILING PLAN, MAIN SCREEN DETAILS
- ALD : BUILDING ELEVATIONS
- ALD : ELEVATION AND SECTION
- ALD : STORE & WC & BATH DETAILS

OCCUPANT LOAD TABLE 3.1.18.1

TYPE OF USE	AREA (SQ')	OCCUPANT LOAD TABLE 3.1.18.1		OCCUPANT LOAD
		RATIO (SF/PERSON)	NO. OF PERSONS	
L1 FLOOR LEVEL				
BARBER HALL	1768	0.67	261.31	262
WC-SDY	227	80	2.85	2
OTHER AREA	878	12.81	67.85	68
REAR 1 & 2 (OFFICE)	300	100	3	2
OFFICE/PT / WASHROOM	424	0	0	0
STORAGE ROOMS	78	490.14	0.10	0
TOTAL OCCUPANT LOAD			328.08 PERSONS	328

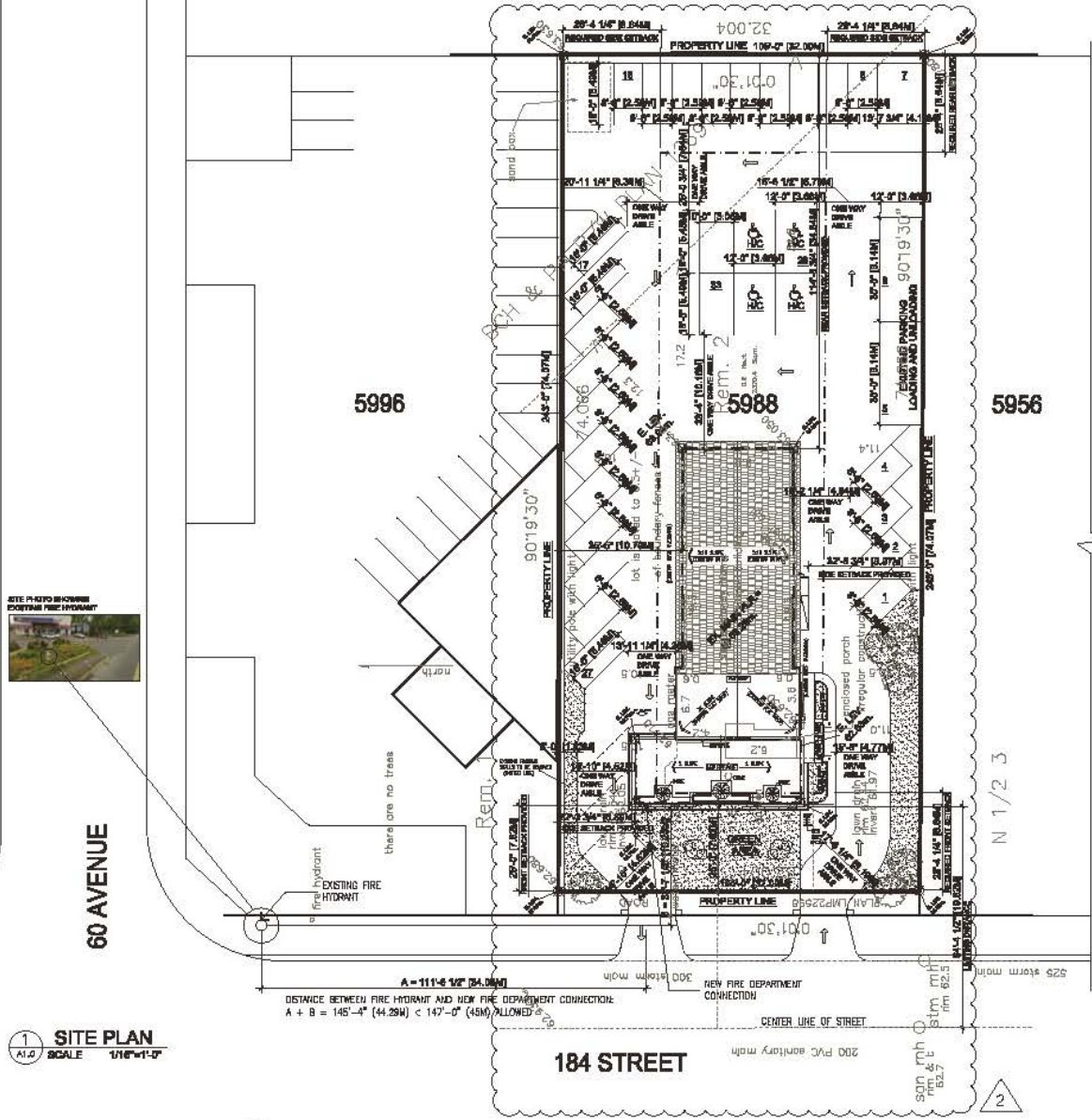
SECTION 3.7 - HEALTH REQUIREMENT

PLUMBING FIXTURES :

FIXTURES REQUIRED AS PER TABLE 3.7.2.2.(B)	OCCUPANT LOAD	
	REQUIRED	PROVIDED
TOILET	2	2
WASH BASIN	2	2
WATER CLOSET	2	2
WATER URINAL	2	2
WATER SINK	2	2
WATER FOUNTAIN	2	2
WATER COOLER	2	2
WATER DISPENSER	2	2
WATER JET	2	2
WATER TUB	2	2
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WATER DISPENSER	2	2
WATER JET	2	2
WATER TUB	2	2
WATER SHOWER	2	2
WATER BATH	2	2
WATER SINK	2	2
WATER URINAL	2	2
WATER FOUNTAIN	2	2
WATER COOLER	2	2
WATER DISPENSER	2	2
WATER JET	2	2
WATER TUB	2	2
WATER SHOWER	2	2
WATER BATH	2	2
WATER SINK	2	2
WATER URINAL	2	2
WATER FOUNTAIN	2	2
WATER COOLER	2	2
WATER DISPENSER	2	2
WATER JET	2	2
WATER TUB	2	2
WATER SHOWER	2	2
WATER BATH	2	2
WATER SINK	2	2
WATER URINAL	2	2
WATER FOUNTAIN	2	2
WATER COOLER	2	2
WATER DISPENSER	2	2
WATER JET	2	2
WATER TUB	2	2
WATER SHOWER	2	2
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WATER FOUNTAIN	2	2
WATER COOLER	2	2
WATER DISPENSER	2	2
WATER JET	2	2
WATER TUB	2	2
WATER SHOWER	2	2
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WATER URINAL	2	2
WATER FOUNTAIN	2	2
WATER COOLER	2	2
WATER DISPENSER	2	2
WATER JET	2	2
WATER TUB	2	2
WATER SHOWER	2	2</

NOTE:
 L1 FLOOR LEVEL = 85.29m (AS-BUILT)
 L1 FLOOR LEVEL = 85.29m (ADDITION)
 SLAB ON GRADE FOR NEW ADDITION

18456



1 SITE PLAN
 SCALE 1/16"=1'-0"

ZONING BY-LAW REQUIREMENT

ZONE: RC - R41
 CURRENT BUILDING OCCUPANCY = CHURCH
 ASSEMBLY AREA - GROUP A, DIV. 2
 (BASED ON BCBC 3.2.2.27)

DATA
 SITE AREA: 6,370.00 SQ. (24,614.77 SQ.)
 PROPOSED FLOOR AREA: 41,179 SQ. (4,538 SQ.)
 FAR: 17.79% < 30%
 SOIL: CD3(SMCL)
 PROPOSED BUILDING AREA: 3,320.00 SQ. OR (3,640.00 SQ.)
 SITE COVERAGE: 14.83% < 30%

SETBACKS
 FRONTWARD: 2.6M (PROVIDED) < 4.8M (REQUIRED) - IMP REQUIRED
 REARWARD: 34.84M (PROVIDED) < 8.8M (REQUIRED)
 LEFT SIDEWARD: 8.0M (PROVIDED) < 4.8M (REQUIRED) - IMP REQUIRED
 RIGHT SIDEWARD: 8.0M (PROVIDED) < 4.8M (REQUIRED)

LANDSCAPE
 LANDSCAPE AREA: 2,858.44 SQ. (24,614.77 SQ.)
 MIN. AREA OVERLAY: 850 SQ.

PARKING CALCULATION
 (BASED ON SURREY ZONING BY-LAW)

BY-LAW REQUIREMENT FOR CHURCH USE:
 7.5 PARKING SPACES PER 100 SQ. M OF THE GROSS FLOOR AREA.

MINIMUM SPACES REQUIRED:
 41,179 SQ. / 100 SQ. M = 412 + 75 PARKING SPACES = 337 SPACES

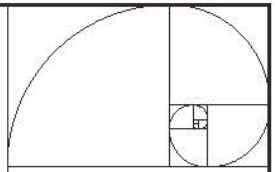
TOTAL PROVIDED: 33 PARKING SPACES
 TOTAL REQUIRED: 33 PARKING SPACES
 TOTAL PROVIDED: 33 PARKING SPACES EXCEEDING 4 HOURS
 PROVIDED > REQUIRED

343.31 SF 1099.14 SF 813.99 SF

CALCULATION OF LANDSCAPED:
 AREA = 2,858.44 SF (24,614.77 SQ.)

NOTE:
 REFER TO LANDSCAPE DRAWING FOR MORE DETAILS ON LANDSCAPE

2 LANDSCAPE AREA CALCULATION OVERLAY
 SCALE 1/16"=1'-0"



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REVISION	DATE	BY	CHKD
1	11/11/20
2	11/11/20
3	11/11/20
4	11/11/20
5	11/11/20
6	11/11/20
7	11/11/20
8	11/11/20
9	11/11/20
10	11/11/20

ADDITION AND RENOVATION TO EXISTING BUILDING FOR GURU TEG BAHADUR WELFARE SOCIETY

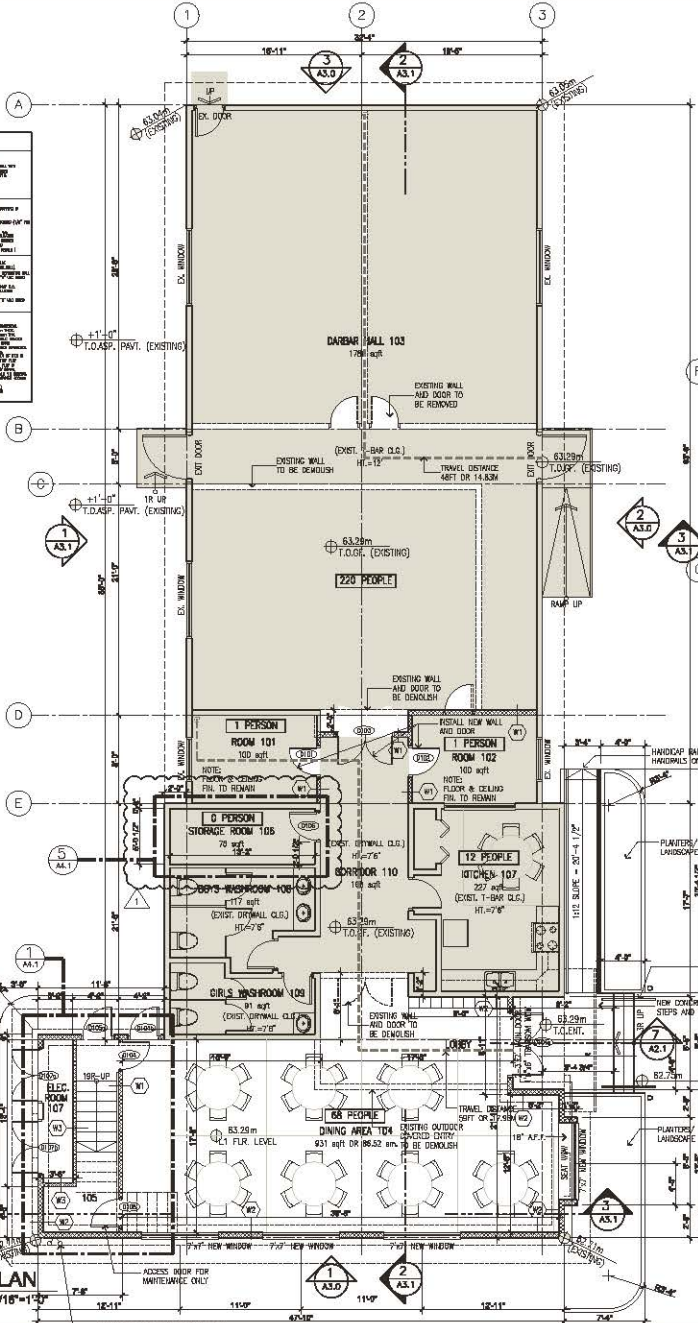
5988 184TH STREET
 SURREY, B.C.

184 STREET

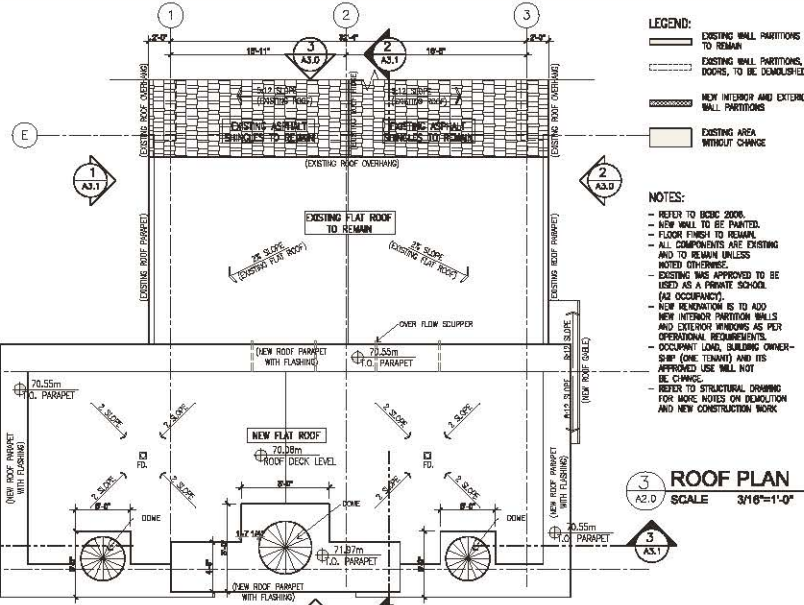
Project No.	Date	Scale	Revision
08124	11/11/20	1/16"=1'-0"	2
08124	11/11/20	1/16"=1'-0"	1

WALL & FLOOR SCHEDULE:

<p>1. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>2. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>3. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>4. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>5. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>6. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>7. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>8. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>9. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>10. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>11. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>12. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>13. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>14. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>15. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>16. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>17. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>18. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>19. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>
<p>20. 1/2" Gypsum Board on 2x4 Studs @ 16" O.C. with 5/8" Drywall Tape and 1/2" Joint Compound. Finish with 1/2" Gypsum Board.</p>



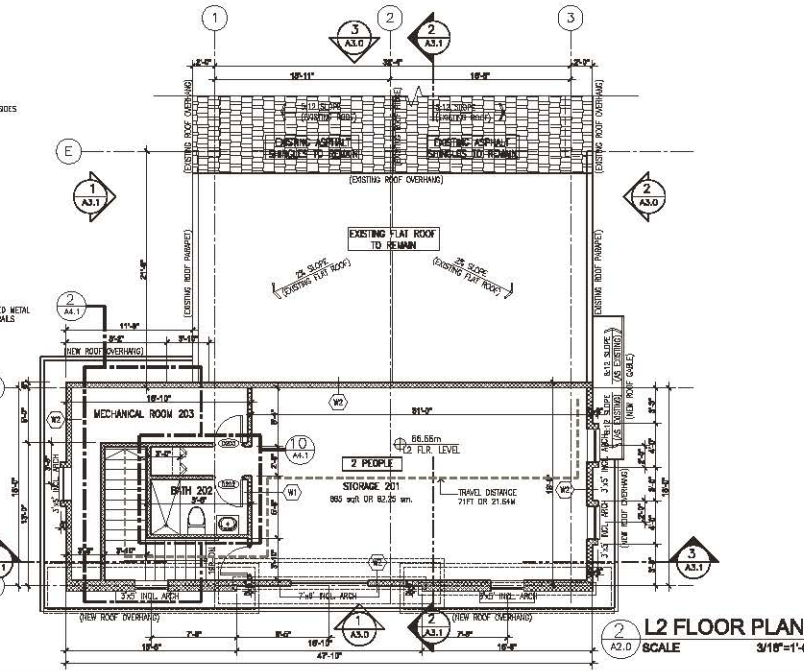
L1 FLOOR PLAN
SCALE 3/16"=1'-0"




- LEGEND:**
- EXISTING WALL PARTITIONS TO REMAIN
 - EXISTING WALL PARTITIONS, DOORS, TO BE DEMOLISHED
 - NEW INTERIOR AND EXTERIOR WALL PARTITIONS
 - EXISTING AREA WITHOUT CHANGE

- NOTES:**
- REFER TO BASIC BOOK.
 - NEW WALL TO BE PAINTED.
 - FLOOR FINISH TO REMAIN.
 - ALL COMPONENTS ARE EXISTING AND TO REMAIN UNLESS NOTED OTHERWISE.
 - EXISTING INS APPROVED TO BE USED AS A PRIVATE SCHOOL (AS OCCUPANCY).
 - NEW RENOVATION IS TO ADD NEW INTERIOR PARTITION WALLS AND EXTERIOR WINDOWS AS PER OPERATIONAL REQUIREMENTS.
 - OCCUPANT LOAD, BUILDING OWNER-SHIP (ONE TRAVEL) AND ITS APPROVED USE WILL NOT BE CHANGED.
 - REFER TO STRUCTURAL DRAWING FOR MORE NOTES ON DEMOLITION AND NEW CONSTRUCTION WORK.

ROOF PLAN
SCALE 3/16"=1'-0"



L2 FLOOR PLAN
SCALE 3/16"=1'-0"



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DATE PROJECTIVE SHEET COMPLETED	J.J.	P.R.	11.01.20
DATE PROJECTIVE SHEET CHECKED	J.J.	J.C.	10.11.21
DATE FOR SUBMISSION	J.J.	J.C.	11.08.11
ISSUED	By	Appd.	11.01.20

Client/Project

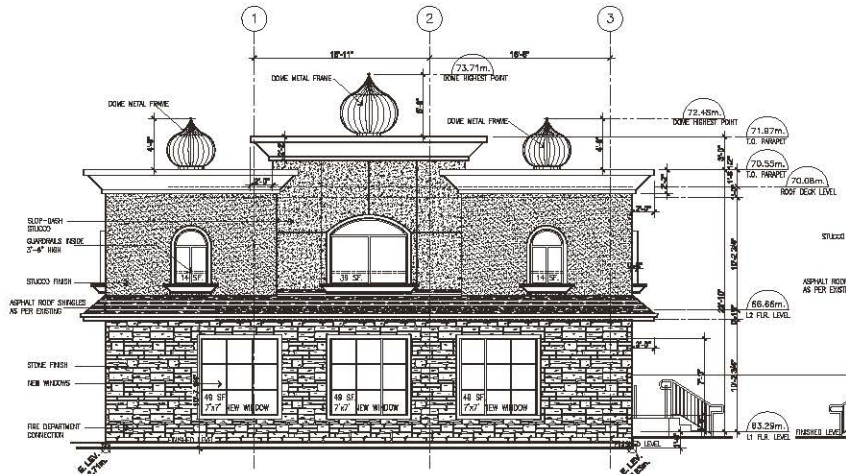
ADDITION AND RENOVATION TO EXISTING BUILDING FOR GURU TEG BAHADUR WELFARE SOCIETY

5988 184TH STREET
SURREY, B.C.

Title

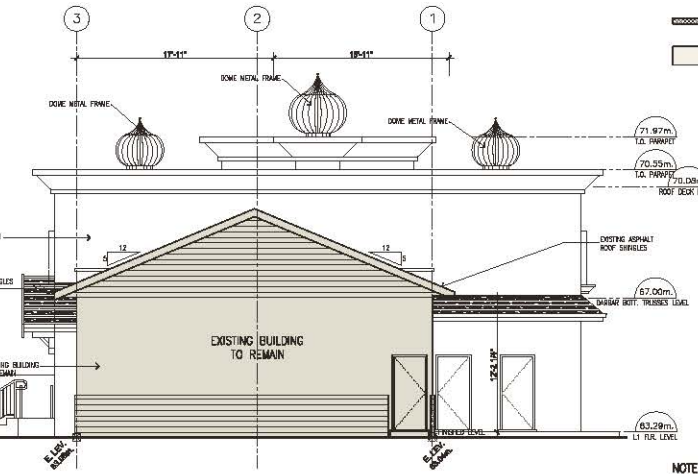
FLOOR PLANS AND ROOF PLAN

Project No.	Scale	Revision
08124	3/16"=1'-0"	
Drawing No.	Sheet	Revision
A2.0	4 of 8	2

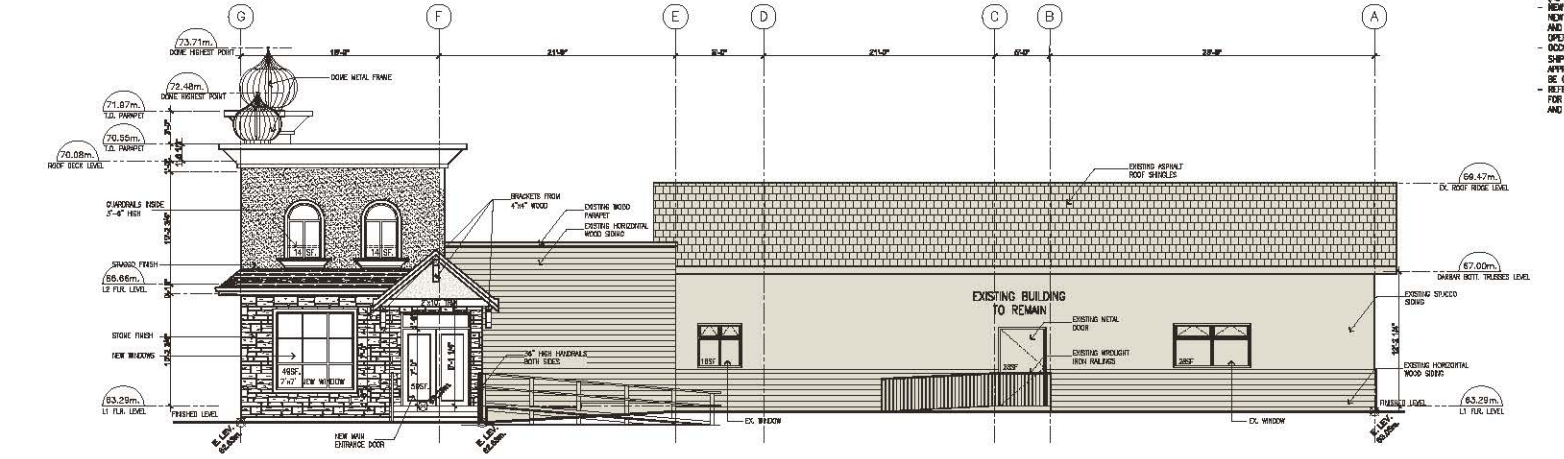


1 WEST ELEVATION
SCALE 3/16"=1'-0"
A3.0

SPATIAL SEPARATION CALCULATIONS:
 EXISTING BUILDING FACE = 18'-0" W
 LIMITING DISTANCE = 20'-0" (1.83 M)
 UNPROTECTED OPENING PERMITTED: 100%
 UNPROTECTED OPENING PROVIDED: 204 SF = 18.7% < 100% PERMITTED

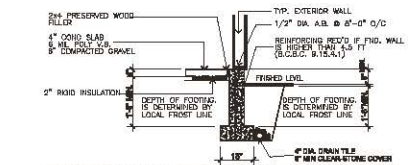


3 EAST ELEVATION
SCALE 3/16"=1'-0"
A3.0



2 SOUTH ELEVATION
SCALE 3/16"=1'-0"
A3.0

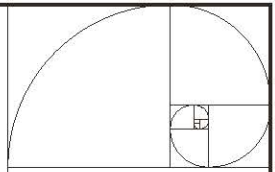
SPATIAL SEPARATION CALCULATIONS:
 EXISTING BUILDING FACE = 18'-0" W
 LIMITING DISTANCE = 20'-0" (1.83 M)
 UNPROTECTED OPENING PERMITTED: 100%
 UNPROTECTED OPENING PROVIDED: 188 SF = 18.7% < 100% PERMITTED



3 FOOTING AND FOUNDATION DETAIL
SCALE 1/8"=1'-0"
A3.1

- LEGEND:**
- EXISTING WALL PARTITIONS TO REMAIN
 - EXISTING WALL PARTITIONS, DOORS, TO BE DEMOLISHED
 - NEW INTERIOR AND EXTERIOR WALL PARTITIONS
 - EXISTING AREA WITHOUT CHANGE

- NOTES:**
- REFER TO SPEC 2006
 - NEW WALL TO BE PAINTED.
 - FLOOR FINISH TO REMAIN
 - ALL COMPONENTS ARE EXISTING AND TO REMAIN UNLESS NOTED OTHERWISE.
 - EXISTING INFO APPROVED TO BE USED AS A PRIVATE SCHOOL (AZ OCCUPANCY)
 - NEW SEPARATION IS TO ADD NEW INTERIOR PARTITION WALLS AND EXTERIOR WINDOWS AS PER OPERATIONAL REQUIREMENTS.
 - OCCUPANT LOAD, BUILDING OWNER-SHIP (ONE TENANT) AND ITS APPROVED USE WILL NOT BE CHANGE.
 - REFER TO STRUCTURAL DRAWING FOR MORE NOTES ON DEMOLITION AND NEW CONSTRUCTION WORK



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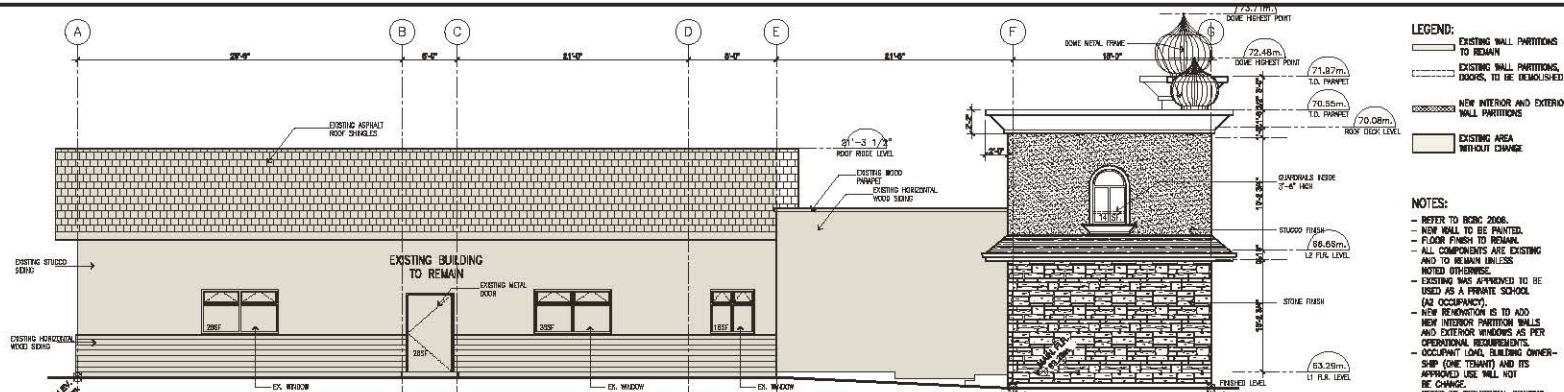
ARCHITECT	J.J.	J.R.	10.01.20
DESIGNER	J.J.	J.R.	10.01.20
DATE FOR SUBMITTAL	J.J.	J.R.	10.01.11
ISSUED	By	App'd	11.01.20

Client/Project
ADDITION AND RENOVATION TO EXISTING BUILDING FOR GURU TEG BAHADUR WELFARE SOCIETY

5988 184TH STREET
 SURREY, B.C.

Title
BUILDING ELEVATIONS

Project No.	Scale	Revision
08124	3/16"=1'-0"	
Drawing No.	Sheet	Revision
A3.0	6 of 8	2

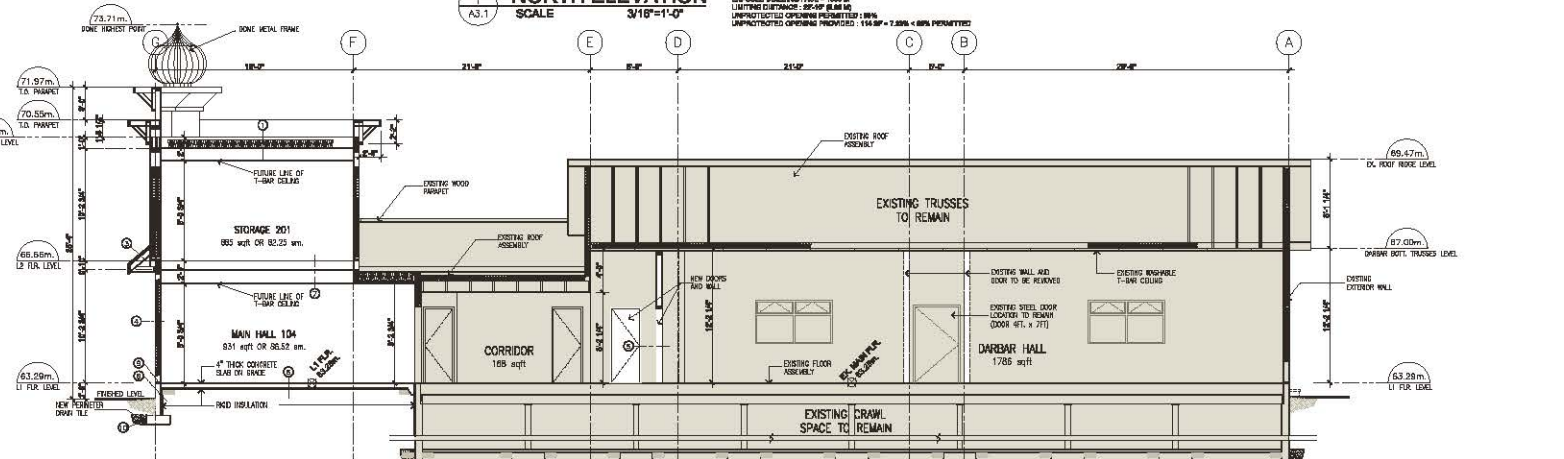


1 NORTH ELEVATION
SCALE 3/16"=1'-0"

SPATIAL SEPARATION CALCULATIONS:
EXPOSED BUILDING PRICE = 1000 SF
LIMITING EXPOSURE: 25% OF 1000 SF
UNPROTECTED OPENING PERMITTED: 1.8%
UNPROTECTED OPENING PROVIDED: 134 SF = 1.34% + 0.8% PERMITTED

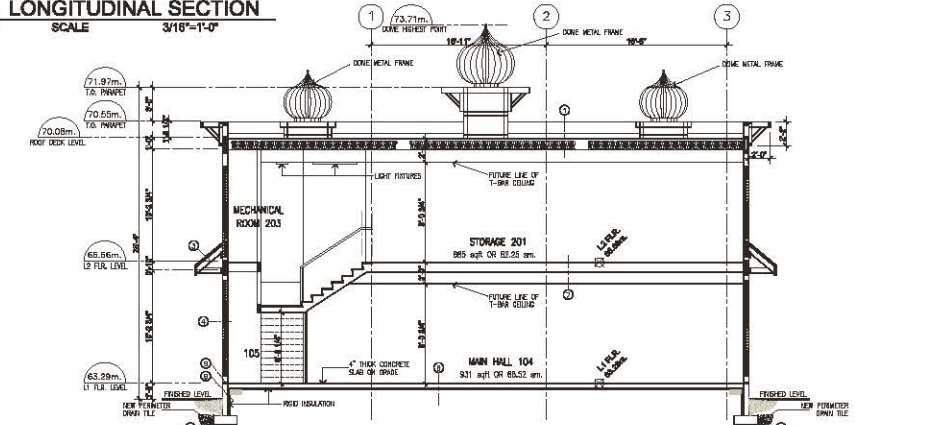
- LEGEND:**
- EXISTING WALL PARTITIONS TO REMAIN
 - - - EXISTING WALL PARTITIONS, DOORS, TO BE DEMOLISHED
 - ▨ NEW INTERIOR AND EXTERIOR WALL PARTITIONS
 - EXISTING AREA WITHOUT CHANGE

- NOTES:**
- REFER TO RIBC 2006.
 - NEW WALL TO BE PAINTED.
 - FLOOR FINISH TO REMAIN.
 - ALL COMPONENTS ARE EXISTING AND TO REMAIN UNLESS NOTED OTHERWISE.
 - EXISTING WAS APPROVED TO BE USED AS A PRIVATE SCHOOL (AS OCCUPANCY).
 - NEW RENOVATION IS TO ADD NEW INTERIOR PARTITION WALLS AND EXTERIOR WINDOWS AS PER OPERATIONAL REQUIREMENTS.
 - OCCUPANT LOAD, BUILDING OWNER-SHIP (ONE TENANT) AND ITS APPROVED USE WILL NOT BE CHANGING.
 - REFER TO STRUCTURAL DRAWING FOR MORE NOTES ON DEMOLITION AND NEW CONSTRUCTION WORK.



2 LONGITUDINAL SECTION
SCALE 3/16"=1'-0"

- 1. ROOF (TRUSS)**
 - SPATIAL SHIELDS TO MATCH EXISTING SLATED ROOF
 - ROOFING FELT
 - 3/8" PLYWOOD SHEATHING
 - ROOF ROOF TRUSSES & FRAMING LAYOUT & DIMENSIONS BY TRUSS MANUFACTURER
- 2. CEILING**
 - R-40 (MIN) BATT INSULATION
 - 5/8" POLY WOUND DRYWALL
 - 2"X2" STYRA IRONED CEILING
- 3. FASCIA/ SOFFIT**
 - 1 1/2" FASCIA BOARD TO MATCH EXISTING
 - NOTED AREA OR WIRE ROOF
 - PROMOTE INSULATION BATTLES BET. EACH TRUSS WITH MIN. 2" CLEAR AIR SPACE
- 4. EXTERIOR WALL**
 - STUCCO FINISH
 - 3/4"X2" OR 3/4"X3" SHIMMING @ 4" ON 16" O.C.
 - BUILDING WRAP
 - 2 LAYERS-3"ET PLUMBED SHIMMING (1/2" FOR VERTICAL JOINTS)
 - 2x6 STUDS @ 16" O.C.
 - 2"X6 BATT INSULATION
 - 5/8" POLY WOUND DRYWALL (REFER TO DIMS. A1.4)
- 5. INTERIOR WALL**
 - 2x4 STUDS @ 16" O.C.
 - (2x4 BATT INSULATION)
 - 1/2" GYPSUM BOARD BOTH SIDES (REFER TO DIMS. A1.4)
 - ELECTRICAL ROOM INTERIOR WALL (L.C. 1011 - 1 BR. FRR (REFER TO DIMS. A1.4))
- 6. FLOOR SLAB**
 - 4" CONCRETE SLAB
 - 5/8" POLY WOUND DRYWALL
 - 1" MIN. COMPACTED SAND OR GRAVEL FILL
- 7. FLOORING**
 - LEVEL 2 FLOOR
 - 1 1/2" FRR (REFER TO DIMS. A1.4)
 - 4" CONCRETE FOUNDATION WALL (SEE STRUCTURAL DRAWING)
 - 6"-12" INSULATION - MIN. 2" BELOW GRADE OR TO TOP OF FLOORING (SEE STRUCTURAL DRAWING)
 - CONCRETE FOOTING (SEE STRUCTURAL DRAWING)
- 8. EXTERIOR FOUND. WALL (SEE STRUCTURAL DRAWING)**
- 9. PLATE TO FOUND. CONNECTION**
 - 2-2"x4" (OR 2"x4" AS NOTED) SILL PLATE
 - 2 1/2" MIN. FOOT OR 1/2" TIGHT DRAIN-PROOFING
 - 2" 2x4 JOIST OR SOLID 4"X4" O.C. WALK
- 10. DRAINAGE**
 - 4" DIA PERIMETER DRAIN TILE UNDER 12" DRAIN HOLE



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DESIGN PROJECTS/COMPONENTS	J.J.	P.B.	11.01.20
DESIGN PROJECTS/COMPONENTS	J.J.	J.C.	10.11.01
DESIGN PROJECTS/COMPONENTS	J.J.	J.C.	10.08.11
Issue	By	App'd	11.01.20

Client/Project
ADDITION AND RENOVATION TO EXISTING BUILDING FOR GURU TEG BAHADUR WELFARE SOCIETY

5988 184TH STREET
SURREY, B.C.

Title
ELEVATION & SECTION

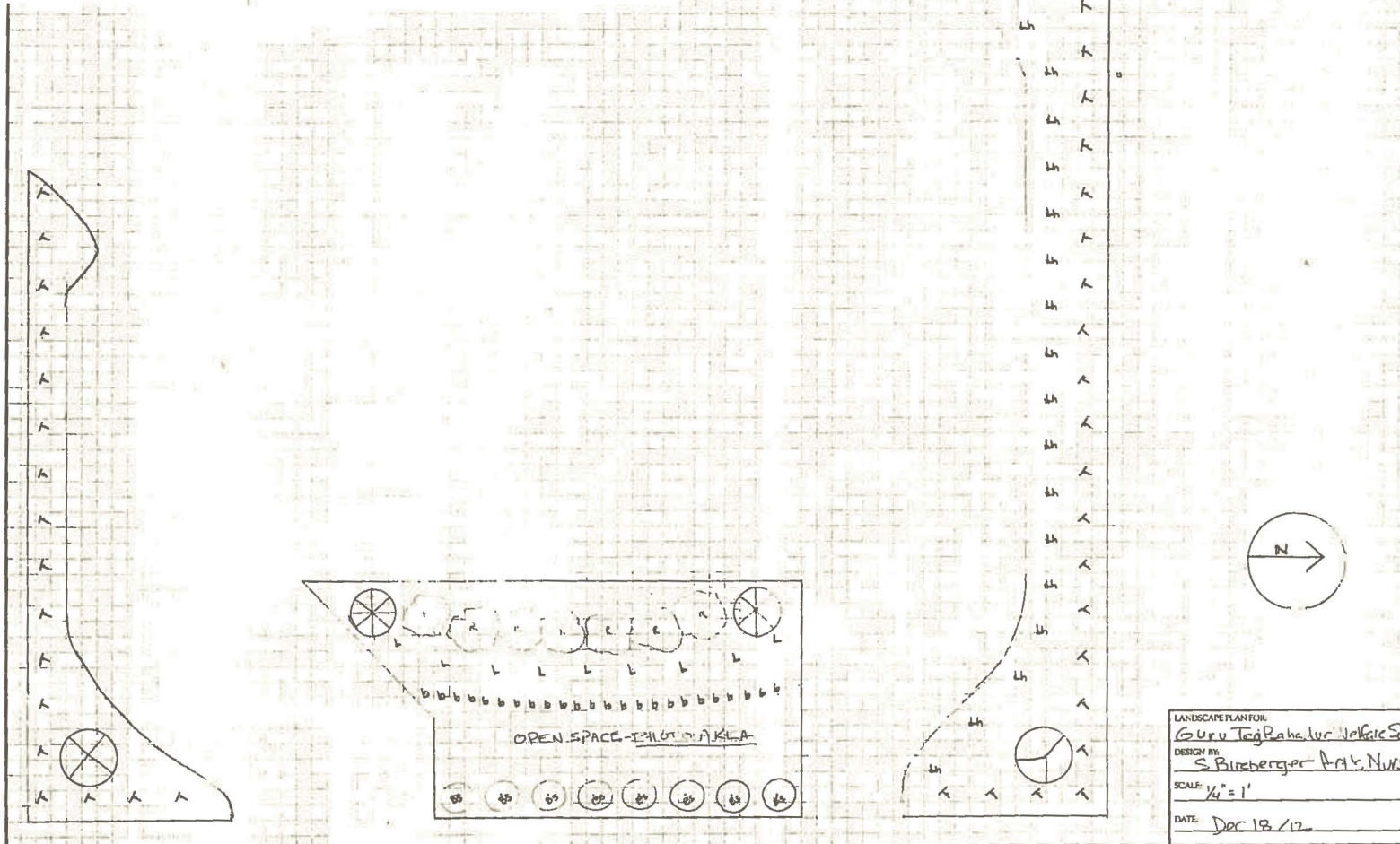
Project No.	Scale	Revision
06124	3/16"=1'-0"	
Drawing No.	Sheet	Revision
A3.1	7 of 8	2

PLANT SCHEDULE

quantity	common name	botanical name	size	spacing
2	Dawycyl's Purple Beech	Fagus sylvatica Dawycyl's Purple	5cm cal	plant as shown
1	Columnar English Oak	Quercus robur fastigiate	5cm cal	plant as shown
2	Wax-Leaf Privet Topiary	Ligustrum tax. dbi/triple ball topiary	#16 pot	plant as shown
8	English Boxwood	Buxus sempervirens	#7 3/4"	3' 0" O.C.
24	True Dwarf Boxwood	Buxus suffruticosa	#1 pot	1' 0" O.C.
42	Eddie's Yew	Taxus media HM Eddie	#3/8 pot	3' 0" O.C.
7	Bonica Strub Rose	Rosa meidland Bonica	#2 pot	3' 0" O.C.
9	Hidcote English Lavender	Levandula angustifolia Hidcote	#2 pot	3' 0" O.C.
22	Hidcote English Lavender	Levandula angustifolia Hidcote	#1 pot	3' 0" O.C.
2336 sq ft	Bark Mulch	Bark Mulch		3 cm depth over entire area

ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE BC SLA "LANDSCAPE STANDARDS"

NOTES: Plant sizes in this list are specified according to the BC Landscape Standard, latest edition. Container sizes specified as per CHTA Standards, both plant size and container size are the minimum acceptable sizes. Refer to specifications for defined container measurements and other plant material requirements. All plant material must be provided from certified disease free nurseries. Provide certification upon request.



3013/61/201

5988-184 St