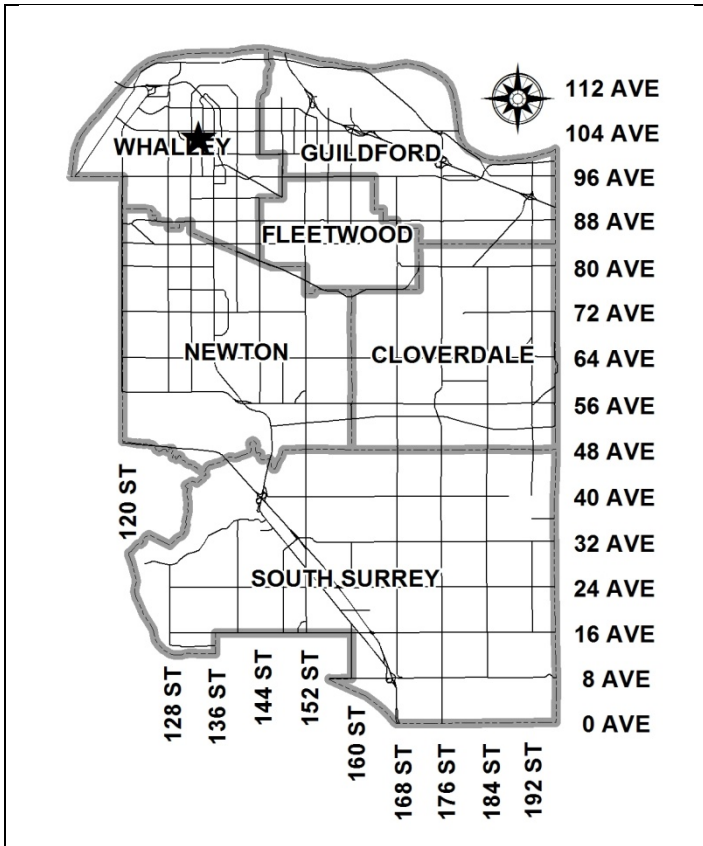


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7912-0327-00

Planning Report Date: July 8, 2013



**PROPOSAL:**

- **Rezoning** from RF to CD (based on RMC-150)
- **Development Permit**

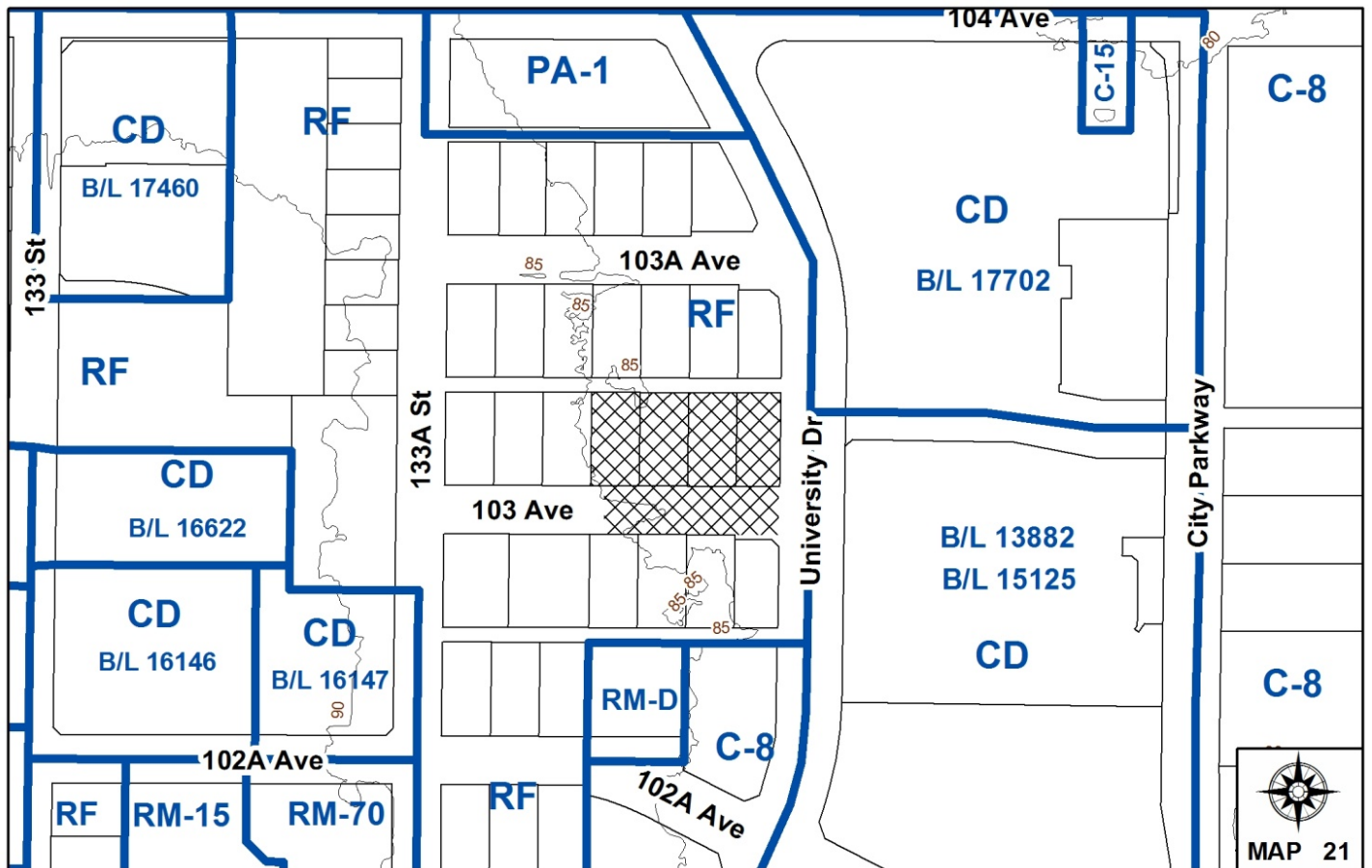
in order to permit the development of a mixed-use development, consisting of a 37-storey high rise building with approximately 372 dwelling units and 3 ground floor commercial / retail units.

**LOCATION:** 13431, 13419, 13409 and 13399 - 103 Avenue

**OWNER:** King George City Centre Development Ltd.

**ZONING:** RF

**OCP DESIGNATION:** City Centre



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to reduce outdoor amenity space.
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

### RATIONALE OF RECOMMENDATION

- Complies with "City Centre" designation in the OCP.
- Complies with the "High Rise 5.5 FAR" land use designation of the City Centre Land Use Concept Plan.
- The proposed density and building form are appropriate for this part of City Centre.
- The proposed development conforms to the goal of achieving high-rise, high density development around the three SkyTrain stations.
- Proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the City Centre Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 1,116 square metres (12,013 square feet) to 544 square metres (5,856 square feet).
3. Council approve the applicant's request to reduce the amount of required outdoor amenity space from 1,116 square metres (12,013 square feet) to 905 square metres (9,741 square feet).
4. Council authorize staff to draft Development Permit No. 7912-0327-00 generally in accordance with the attached drawings (Appendix II).
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) the registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (g) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
  - (h) completion of the land exchange agreement with respect to a portion of 103 Avenue;
  - (i) resolution regarding the monetary mitigation for the parking deficiency, to the satisfaction of the General Manager, Engineering;
  - (j) finalization of details to allow for public access to a proposed car share space and co-op vehicle;

- (k) registration of a statutory right-of-way to allow for the public pedestrian access to an open space area at the western edge of the subject site and within the setback area along University Drive and a portion of 103 Avenue, to allow for public pedestrian access to the proposed commercial units;
  - (l) the applicant adequately address the impact of reduced indoor amenity space; and
  - (m) the applicant adequately address the impact of reduced outdoor amenity space.
6. Council pass a resolution to close application no. 7906-0519-00 when the project is considered for final adoption.

### REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements, as outlined in Appendix III.

School District: **Projected number of students from this development:**

9 Elementary students at Old Yale Road Elementary School  
4 Secondary students at Kwantlen Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring of 2017.

Parks, Recreation & Culture: Parks has concerns with the pressure this project will place on existing parks, Recreation and culture facilities in the neighbourhood.

Surrey Fire Department: No comments.

### SITE CHARACTERISTICS

Existing Land Use: Four vacant lots.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across lane):	Mostly vacant single family lots	City Centre	RF



Direction	Existing Use	OCP Designation	Existing Zone
Northeast (Across University Drive):	New City Centre Library and civic precinct, including the new City Hall.	City Centre	CD By-law No. 17702
East (Across University Drive):	North Surrey Recreation Centre	City Centre	CD By-law No. 13882, as amended by By-law No. 15125
South:	4 vacant City-owned lots.	City Centre	RF
West:	Vacant single family lots and single family dwellings.	City Centre	RF

### DEVELOPMENT CONSIDERATIONS

- The subject site is located in Surrey City Centre, along the west side of University Drive, across from the North Surrey Recreation Centre and southwest from the City Centre Library. The subject site encompasses four (4) single family residential lots addressed as: 13399, 13409, 13441 and 13431-103 Avenue, as well as a portion of the existing 103 Avenue road allowance that fronts the subject lots.
- The site is zoned "Single Family Residential Zone (RF)", designated "City Centre" in the Official Community Plan (OCP) and designated "High Rise 5.5" in the City Centre Land Use Concept Plan.
- The four subject lots are under application no. 7906-0519-00 (Third Reading was granted by Council on December 15, 2008) for 2 residential towers by the same applicant as the subject application. The applicant intends to close the initial application when the subject application is in order for consideration of final adoption.
- The applicant, King George City Centre Development Ltd., has submitted a new land development application to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)", to obtain a Development Permit and to consolidate the site, in order to permit the development of a 37-storey high-rise multiple residential building, with ground floor retail.
- Initially, the applicant proposed to construct a residential-only project. However, following comments from the Advisory Design Panel (ADP) members, and a review of both the market conditions and existing and possible land uses to the east, the applicant, with the support of the Planning & Development Department, amended the proposal to replace the indoor amenity space and ground-level residential units along the University Drive frontage of the subject site with 3 commercial units.

### Area Road Network

- In response to the development of the new City Centre Library and new City Hall, and in keeping with the Surrey City Centre Plan's goal of creating a finer-grained road network in City Centre, 103 Avenue will now be extended from 132 Street, along the south edge of the new civic plaza, to 138 Street to create additional vehicle and pedestrian access to the civic precinct.
- In order to accommodate the new 103 Avenue alignment, the road network immediately to the west of the civic precinct, in the block bound by University Drive to the east, 102A Avenue to the south, 133A Street to the west, and 104 Avenue to the north, will need to be realigned as well, as shown in Appendix V.
- As shown in Appendix V, the new alignment of 103 Avenue extends through the northern half of the four subject lots currently owned by the applicant, King George Developments.
- In order to ensure that the ultimate alignment of 103 Avenue is achieved, and to ensure that King George Developments is left with a parcel that can accommodate a high-rise development similar to that previously proposed by King George Developments on the subject parcels (application no. 7906-0519-00), a portion of the existing 103 Avenue road allowance fronting the four subject lots will be closed and consolidated with the King George Development lands.
- The closed portion of the existing 103 Avenue road allowance proposed for consolidation with the subject lots is almost equivalent in size to the area being dedicated along the northern half of the existing lots for the realigned 103 Avenue.
- As a result, after consolidation and road dedication, King George Developments will be left with a development parcel that is roughly equal in size to the area of the four subject lots King George Developments currently owns.
- In addition to the dedication and construction of the new 103 Avenue along the northern edge of the subject site, the applicant will also be required to dedicate and construct one-half of the 12.0-metre (39 ft.) wide, City Centre standard, north-south "lane road", located along the eastern edge of the subject site (Appendix V).

### Density

- The Surrey City Centre Land Use and Density Concept, indicates that the subject site is appropriate for high-rise residential development with a floor area ratio (FAR) of up to 5.5.
- However, under Surrey City Centre Plan-Phase II, Stage 1 report, for the purposes of calculating densities as they relate to the densities shown in the Land Use and Density Concept, densities are based on gross site area, before any new road dedications or road widenings over 3.5 metres (11.5 ft.) in width along existing roads, are removed from the developable site area.

- Further, the Surrey City Centre Plan-Phase II, Stage 1 report also permits developments to increase densities up to 20% more than the densities shown in the Land Use and Density Concept, provided density bonusing is provided in accordance with the density bonusing policy in place at the time of development. As has been the case for a number of years, the Interim Density Bonusing Policy is currently in abeyance, pending a review of the policy by City staff.
- As a result, the proposed development is permitted to achieve a density of up to 6.6 FAR, based on the gross site area, i.e. before road dedication. The proposed development does achieve the maximum 6.6 FAR permitted.
- Taking into account the required road dedications along the north and west boundaries of the subject site, the proposed development achieves a net FAR of 8.4.
- Therefore, although the proposed development is similar to the type of development envisioned under the RMC-150 Zone, RMC-150 permits a maximum density of 3.5 FAR. As a result, the subject site must be rezoned to a CD Zone that can accommodate the proposed density.
- Further, all of the commercial uses permitted in the RMC-150 Zone are not appropriate for the subject site, and a CD Zone is required to tailor the permitted commercial uses to the proposed development.

#### PROPOSED CD BY-LAW (Appendix VI)

- The applicant is proposing to rezone the site to a CD By-law that is based, loosely on the "Multiple Residential Commercial Zone (RMC-150)". A table comparing the RMC-150 Zone and the proposed CD By-law can be seen below:

	<b>Existing RMC-150 Zone</b>	<b>Proposed CD By-law</b>
<b>Land Uses</b>	<ul style="list-style-type: none"> <li>• Multiple unit residential buildings and ground-oriented multiple unit residential buildings.</li> <li>• Child care centres.</li> <li>• The following ancillary uses:               <ul style="list-style-type: none"> <li>○ Retail stores excluding adult entertainment stores;</li> <li>○ Personal service uses excluding body rub parlours;</li> <li>○ General services uses excluding funeral parlours and drive-through banks;</li> <li>○ Eating establishments excluding drive-through restaurants; neighbourhood pubs;</li> <li>○ Office uses excluding social escort services and methadone clinics;</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• All land uses permitted in the RMC-150 Zone except:               <ul style="list-style-type: none"> <li>○ Child care centres;</li> <li>○ Neighbourhood pubs;</li> <li>○ Indoor recreation facilities;</li> <li>○ Entertainment uses; and</li> <li>○ Community services.</li> </ul> </li> <li>• Eating establishments restricted to 150 square metres (1,615 sq.ft.).</li> </ul>

	<b>Existing RMC-150 Zone</b>	<b>Proposed CD By-law</b>
	<ul style="list-style-type: none"> <li>○ Indoor recreational facilities;</li> <li>○ Entertainment uses excluding arcades and adult entertainment stores; and</li> <li>○ Community services.</li> </ul>	
<b>Density</b>	3.5 FAR (net)	8.4 FAR (net)
<b>Lot Coverage</b>	33%	50%
<b>Building Setbacks</b>	7.5 metres or 50% of the height of the building, whichever is greater.	103 Avenue: 5 metres West: 9.7 metres University Drive: 5 metres South: 0 metre
<b>Building Height</b>	Not applicable	110 metres (37 storeys)
<b>Off-Street Parking</b>	<ul style="list-style-type: none"> <li>• 1.04 parking spaces for 1-bedroom units and under;</li> <li>• 1.2 parking spaces for 2-bedroom units and attached townhouse units;</li> <li>• 0.16 parking space for visitors</li> <li>• 2.4 parking spaces based upon retail units (category 2 only).</li> <li>• The underground parking structure must be setback a minimum of 2.0 metres (6.6 ft.) from the front lot line.</li> </ul>	<ul style="list-style-type: none"> <li>• 0.5 parking space per studio unit.</li> <li>• 0.75 parking space per 1-bedroom unit.</li> <li>• 1.0 parking space per 2-bedroom unit and townhouse units.</li> <li>• 0.09 parking space per dwelling unit for visitors.</li> <li>• 0 parking space for the commercial units.</li> <li>• Underground parking structure to extend to the lot lines on all sides.</li> </ul>
<b>Balconies</b>	<ul style="list-style-type: none"> <li>• Balconies are required of all dwelling units not ground-oriented and shall be a minimum of 5% of the dwelling unit size or 4.6 square metres [50 sq.ft.] per dwelling unit, whichever is greater.</li> </ul>	<ul style="list-style-type: none"> <li>• Balconies shall be a minimum of 4.6 metres [50 sq.ft.] in size, but up to 214 dwelling units may incorporate balconies which are smaller (Juliet balconies).</li> </ul>

- The range of commercial uses permitted under the proposed CD By-law is reflective of the small amount of floor area which will be occupied by commercial uses and the small-scale nature of the commercial component of the project.
- Further, no parking for the commercial uses is provided, reinforcing the local focus of the commercial uses in the project.
- As a result, larger and more intense commercial activities that are permitted in the RMC-150 Zones, such as child care centres, neighbourhood pubs, indoor recreation facilities, entertainment uses and community services, are not permitted in the proposed development.

- Other businesses, such as eating establishments, will be restricted in size, up to a maximum of 150 square metres (1,615 sq.ft.) to ensure that they cater primarily to the residents in the area.
- The building setbacks for this development will be reduced significantly from the setbacks prescribed under the RMC-150 Zone in order to create a more urban, pedestrian-oriented streetscape appropriate for City Centre.
- The proposed setbacks along the 103 Avenue and University Drive frontages of the project will be 5.0 metres (16 ft.) to create a more urban streetscape. Additional encroachments such as patios, stairs and canopies shall be permitted to encroach into the setbacks.
- The proposed parking rates for this development have been reduced and have been justified through the provision of a Parking Study prepared by Bunt and Associates (see Design Proposal and Review and Vehicular Access and Parking sections).
- Balconies will be required for all the dwelling units that are not ground-oriented. 158 dwelling units will incorporate balconies a minimum of 4.6 square metres (50 sq.ft.). However, up to 214 dwelling units may incorporate Juliet balconies, which will be less than the 4.6-square metre (50 sq.ft.) size.

#### PRE-NOTIFICATION

The first pre-notification letter was sent out on March 4, 2013. The second pre-notification letter, apprising area residents of the addition of a small commercial component in the project, was sent on June 13, 2013. Staff have not received any comments with respect to the proposed development.

#### DESIGN PROPOSAL AND REVIEW

- The proposed development consists of a 37-storey tower, which incorporates a 4-storey podium, situated on the northeast corner of the subject site, oriented toward the intersection of the future 103 Avenue and University Drive.
- The 4-storey podium incorporates 2-storey ground-oriented townhouses along the newly aligned 103 Avenue, as well as along the new north-south lane road on the western side of the subject site, and incorporates ground level commercial units along University Drive.
- The proposed building will contain a total of 372 residential units. The proposed break down of the 372 dwelling units is as follows:
  - 126 studio units;
  - 108 1-bedroom units;
  - 127 2-bedroom units; and
  - 11 townhouse units, with 2 bedrooms.

- The proposed dwelling units range in size from 28 square metres (305 sq.ft.) for the smallest studio unit to 83 square metres (893 sq.ft.) for a two-storey townhouse unit. Nineteen (19) of the 372 dwelling units (5%) could be adapted for persons with disabilities. The largest majority of the proposed dwelling units are the smaller studio and 1-bedroom units at 63%.
- The dwelling units are generally designed to be space efficient and as affordable as possible, to be marketed towards first-time homeowners, students and second home city-apartment purchasers.
- The main pedestrian entrance to the residential building is to be located along 103 Avenue, just west of the commercial units, with secondary building entries located further west along 103 Avenue and at the south side of the building.
- Three (3) commercial/retail units are proposed at the ground level of the development fronting University Drive. The units will range in size from 65.7 square metres (707 sq.ft.) to 182.2 square metres (1,961 sq.ft.), with a total of 398 square metres (4,284 sq.ft.), including the corridor.
- The exterior finishes have been selected to reinforce the building massing. Townhouse brick, window frames and metal accessories are dark in tone, providing a strong visual base to the overall massing. The upper podium floors introduce a lighter palette of wall and window frame colours that continue up the tower.
- The tower is vertically enhanced by solid vertical elements found on all building faces. The rotated upper tower form is further refined with the elimination of the solid vertical elements. The overall approach is heavy to light, from the ground level to the top of the tower. Colour accent is provided with the use of the tinted glass at vertical solar screens (west façade) and at all the Juliet balconies.

#### Landscaping and Amenity Space

- As per the proposed CD Zone for the site, 1,116 square metres (12,013 sq.ft.) of indoor amenity space is required of the proposed development, based upon the standard requirement of 3 sq.m. (32 sq.ft.) per dwelling unit. However, the applicant proposes to provide 584 sq.m. (6,286 sq.ft.) of indoor amenity space. The applicant will be required to provide cash-in-lieu to mitigate the shortfall in indoor amenity space in accordance with Council policy.
- The indoor amenity space includes areas located within Levels 2, 3, 4, as well as the rooftop level. Level 2 will include a lounge and fitness centre. Level 3 will include two study areas and Level 4 will include a lounge and games room. The roof level will include a lounge and multi-purpose room.
- As per the proposed CD Zone for the site, 1,116 square metres (12,013 sq.ft.) of outdoor amenity space is required of the proposed development, based upon the standard requirement of 3 sq.m. (32 sq.ft.) per dwelling unit. However, the applicant proposes to provide 905 square metres (9,741 sq.ft.) of outdoor amenity space. The applicant will be required to provide cash-in-lieu to mitigate the shortfall in outdoor amenity space in accordance with Council policy.

- The upper floors shall contain landscape treatments at different levels. The most significant landscaped area is Level 5, which includes a children’s play area, open lawn and resident garden plots. Level 2 contains an outdoor area, much of which is covered, creating a seating area around the outdoor fireplace and barbeque.
- On the rooftop of the tower is a unique outdoor area protected with high glass panels. A portion of the space is hard surfaced which can be used for special events and seating. Along the northern portion of the roof area is a “secret garden”, consisting of a crushed gravel path, nooks for sitting and planting. These areas allow for an opportunity to enjoy views of Surrey and the North Shore mountains and to provide a quiet place for reading or socializing.
- A publically accessible open space area, approximately 154 square metres (1,658 sq.ft.) in size, will be located at the western portion of the site along the north-south lane road and will be secured under a statutory right-of-way to permit public pedestrian access.
- In addition to the landscaped areas described above, Levels 3 and 5 will have small, green roofs that are not accessible, but are for visual relief only.
- Public art is proposed to be located at the northeast corner of the site. However, a design for this public art has not yet been submitted. The public art requirement (either on-site or off-site) will be resolved prior to consideration of Final Adoption.
- An arborist report was prepared by Ken McKillop, Certified Arborist for Durante Kreuk. The report identifies 36 protected trees on-site. All of these 36 trees are proposed for removal as they fall within the construction area for the proposed underground parkade or within the new 103 Avenue road alignment (Appendix VII).
- The trees proposed for removal are listed below:

Tree Species	Number of Trees	Number to be Retained	Number to be Removed
Alder	2	0	2
Western Red Cedar	14	0	14
Cottonwood	2	0	2
Birch	1	0	1
Bigleaf Maple	3	0	3
Maple	2	0	2
Cherry	2	0	2
Purple Leafed Plum	1	0	1
Douglas Fir	2	0	2
Weeping Willow	1	0	1
Spruce	4	0	4
Mountain Ash	1	0	1
Pine	1	0	1
<b>TOTAL</b>	<b>36</b>	<b>0</b>	<b>36</b>

- 68 replacement trees would be required based upon a replacement ratio of 2:1 for all trees except the Alders and Cottonwoods, which only require a replacement of 1:1. The landscape plans reflects a proposal of 90 trees to be planted within the development, which is in excess of the required replacement amount.

### Vehicular Access and Parking Reduction

- The main vehicular access to the development will be from the new north-south lane road along the west side of the site. The vehicular access will serve the underground parking and loading and garbage/recycling pick-up at the rear of the building, along the south property line.
- Under the requirements of the Zoning By-law, the project is required to provide 413 parking spaces for residents and 60 spaces for visitors.
- However, the applicant has requested a reduction in the number of on-site parking spaces provided.
- The applicant engaged Bunt and Associates to undertake a parking study, which provides empirical justification to support the applicant's proposal to provide reduced parking for the proposed development.
- The parking study suggests the following residential parking rates, which were previously presented and endorsed by the City's Transportation and Infrastructure Committee, as a result of current trends in parking demand within Metro Vancouver:
  - 0.5 parking space for studio units;
  - 0.75 parking space for 1-bedroom units;
  - 1.0 parking space for 2-bedroom or more units (including townhouses); and
  - 0.09 parking space per dwelling unit for visitors.
- For the commercial component, the applicant's transportation consultant has assumed the Zoning By-law's Retail Category 2 parking rate of 2.4 parking spaces per 100 square metres (1,072 sq.ft.) being applied to the proposed 398 square metres (4,284 sq.ft.) of commercial floor area.
- Based upon the above parking rates, a total of 282 parking spaces for residents, 37 parking spaces for visitors and 10 parking spaces for the commercial units would be required. This amounts to a total of 329 parking spaces.
- However, the development proposes a slightly lower number than the 329 parking spaces, with a proposed 283 parking spaces for residents, 34 parking spaces for visitors and 0 parking spaces for the commercial units, for a total of 317 parking spaces.
- Based upon the Retail Category 2 parking rate, 10 parking spaces would have to be allocated for the commercial uses. The applicant is proposing not to provide any parking spaces. The following reasons have been provided by the applicant's traffic consultant as rationale to support no on-site commercial parking:



- The applicant feels providing a separate elevator from the residential visitor parking area up to the commercial floor area and connecting out onto University Drive would be impractical.
- A number of transit passengers would be making use of the adjacent sidewalks as they board or disembark buses at this location. Based upon this, it can be implied that the vast majority of patrons to these commercial premises would be transit riders or other pedestrians arriving on foot.
- The Civic Centre underground parkade will be located at the northeast corner of the University Drive and 103 Avenue intersection. This will provide in excess of 800 parking stalls. Many of these stalls will be likely assigned to City Hall and other office staff during the day. However, during evenings and weekends, it is likely that there will be a large number of unused stalls. Should the commercial units be leased to businesses whose operations continue into the evening, such as a small restaurant or coffee shop, there will be ample parking available in the public parkade.
- Transportation Engineering staff have accepted the reduced parking rates, given the location of the proposed development within 200 metres (656 ft.) to the nearest Skytrain Station (Surrey Central) and other bus routes and given the predominantly small size of the proposed dwelling units.
- However, as compensation for the combined reduced residential and commercial parking, one (1) car share vehicle is proposed to be provided by the applicant and shall be located on 103 Avenue. Initial discussions have already occurred between the applicant's consultant and Modo and Zipcar, which have both expressed an interest in considering a vehicle at this location. Details shall be worked out with a car share company prior to Final Adoption. In addition, the applicant will also provide a monetary contribution as mitigation, which will go towards the City's Traffic Management Program.
- Overall, the proposed parking supply of 317 parking spaces on-site is shown in the table below:

Unit Type	Required Base Rate Supply	Proposed Supply	Difference
<b>Resident Spaces</b>	282	283	+1
<b>Visitor Spaces</b>	37	34	-3
<b>Commercial</b>	10	0	-10
<b>TOTAL</b>	329	317	-12

- As the proposed number of parking spaces for the development is 12 spaces deficient and one car share vehicle is granted a credit equivalent to 5 parking spaces, the development is considered deficient by 7 parking spaces. The applicant has agreed to provide cash-in-lieu of these 7 deficient parking spaces at \$10,000 for each parking space, for a total of \$70,000.
- Cycling options will be encouraged and bicycle washing and maintenance facilities will be provided at the southern end of the ground floor level, where a majority of the bicycle storage will be located. Other bicycle storage will be located on each of the parking levels.

- A reduction in the bicycle parking rate is also being requested. As per the Zoning By-law requirement, 1.2 bicycle spaces per dwelling unit, plus 6 bicycle spaces for visitors for a total of 452 bicycle spaces would be required for the residential component only. The development will apply a reduced rate of 1.01 bicycle parking space per dwelling unit, resulting in 376 bicycle parking spaces. For the commercial component, at least 0.1 bicycle space would be required for every 100 square metres (1,072 sq.ft.) of gross floor area. However, given the size of the commercial space, the number required would not even total 1 bicycle parking space.

### DISTRICT ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VIII for location). The District Energy System consists of three primary components:
  - Community energy centres, city-operated facilities that generate thermal heat energy for distribution through a piped hot water network;
  - Distribution piping that links the community energy centres with buildings connected to the system; and
  - City-owned Energy Transfer Stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make up air units and in-suite hydronic space heating and will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the DE System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for City access to, and maintenance and operation of, the ETS and to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department must confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 27, 2012, with a revised version submitted on June 20, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The subject site is located within City Centre.</li> <li>• The proposed development is generally consistent with the “High Rise 5.5 FAR“ designation of the City Centre Land Use Concept Plan, as well as the City Centre designation of the OCP.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The proposed development is based upon a gross density of 6.6 FAR.</li> <li>• The proposed development is a mixed use development incorporating multiple residential and commercial uses.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The proposed development will incorporate Low Impact Development Standards (LIDS) in its design.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• The project will include private vehicle use reduction and emission reduction measures, including shared parking, electric vehicle plug-ins and secured all-weather bicycle parking.</li> <li>• The proposed development include pedestrian or cycling oriented infrastructure/direct external network linkage, including connections to off-site pedestrian and multi-use paths, covered outdoor waiting areas, pedestrian specific lighting, showers and change facilities, bike racks and lockers.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The design of the development will incorporate Crime Prevention Through Environmental Design “CPTED” principles.</li> <li>• The proposed development will provide for adaptable and/or accessible units.</li> <li>• The proposed development will allow for different age groups and/or life stages, incorporating a playground, outdoor community gathering space, as well as indoor community amenity space.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• The proposed development is not seeking any third party rated green standards or features.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• A sustainability features document will be created and given to new occupants/tenants at time of sale.</li> <li>• The building will also be designed utilizing passive solar protection, view glass to provide appropriate solar shading, as well as incorporating exterior materials which will be durable.</li> <li>• The project will also allow for a connection to the City’s District Energy System.</li> </ul>

#### ADVISORY DESIGN PANEL (Appendix IX)

ADP Date: February 14, 2013

- Most of the ADP recommendations have been addressed by the applicant’s architect and landscape architect and are incorporated into the plans attached as Appendix II. However, a number of minor design issues remain outstanding, as outlined below:
  - Refinement of on-site landscaping adjacent to the public realm

- Submission of signage details for the commercial units.
- The applicant has agreed to address all outstanding design and landscaping issues prior to the consideration of Final Adoption of the Rezoning By-law and issuance of the Development Permit.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Map of Local Road Network
Appendix VI.	Proposed CD By-law
Appendix VII.	Summary of Tree Survey and Tree Preservation
Appendix VIII.	District Energy Service A Map
Appendix IX.	ADP Comments

#### INFORMATION AVAILABLE ON FILE

- Parking Study Prepared by Bunt and Associates, dated June 27, 2013.
- Complete Set of Architectural and Landscape Plans prepared by Bingham Hill and Durante Kreuk Ltd., dated May 16 & June 25, 2013 and May 13, 2013 respectively.

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

PL/da

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DRV 7/5/13 1:03 PM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Doug Nelson  
Bingham Hill Architects  
Address: 1444 - Alberni Street, Suite 201  
Vancouver, BC V6G 2Z4  
  
Tel: 604-688-8254
  
2. Properties involved in the Application
  - (a) Civic Address: 13431 - 103 Avenue  
13419 - 103 Avenue  
13409 - 103 Avenue  
13399 - 103 Avenue  
Portion of 103 Avenue
  
  - (b) Civic Address: 13431 - 103 Avenue  
Owner: King George City Centre Development Ltd.  
PID: 008-715-904  
Lot 8 Except: Part Dedicated Road on Plan LMP23167, Block B Section 27 Block 5 North Range 2 West New Westminster District Plan 1726
  
  - (c) Civic Address: 13419 - 103 Avenue  
Owner: King George City Centre Development Ltd.  
PID: 008-898-243  
Lot 9 Block "B" Section 27 Block 5 North Range 2 West New Westminster District Plan 1726
  
  - (d) Civic Address: 13409 - 103 Avenue  
Owner: King George City Centre Development Ltd.  
PID: 012-326-798  
Lot 10 Block "B" Section 27 Block 5 North Range 2 West New Westminster District Plan 1726
  
  - (e) Civic Address: 13399 - 103 Avenue  
Owner: King George City Centre Development Ltd.  
PID: 009-360-450  
Lot 11 Block "B" Section 27 Block 5 North Range 2 West New Westminster District Plan 1726
  
  - (f) Portion of 103 Avenue  
Owner: City of Surrey  
PID: 028-947-827  
Parcel 1 of Section 27 Block 5 North Range 2 West New Westminster District Shown on Plan BCP51589

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the four properties and a portion of 103 Avenue road allowance.

## DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based upon RMC-150)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b> (in square metres)		
Gross Total		3,618.9 m <sup>2</sup>
Road Widening area		
Undevelopable area		
Net Total		2,865.8 m <sup>2</sup>
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures		49.7%
Paved & Hard Surfaced Areas		29.2%
Total Site Coverage		78.9%
<b>SETBACKS</b> ( in metres)		
University Drive	5 m	5 m*
West	9.7 m	9.7 m**
103 Avenue	5 m	5 m***
South	0 m	0 m
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	110 m	109 m
Accessory	4.5 m	
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		126
One Bed		108
Two Bedroom		138
Three Bedroom +		0
Total		372
<b>FLOOR AREA: Residential</b>		23,566.6 m <sup>2</sup>
<b>FLOOR AREA: Commercial</b>		
Retail		397.9 sq.m.
Office		n/a
Total		397.9 sq.m.
<b>FLOOR AREA: Industrial</b>		n/a
<b>FLOOR AREA: Institutional</b>		n/a
<b>TOTAL BUILDING FLOOR AREA</b>	23,884.7 m <sup>2</sup>	23,964.5 m <sup>2</sup>

\* A canopy encroachment may be sited up to 3.0 metres [10 ft.] from the University Drive lot line.

\*\* Raised Patios may be sited up to 7.0 metres [23 ft.] from the west lot line.

\*\*\* Stairs may be sited up to 2.5 metres [8.2 ft.] from the 103 Avenue lot line, the raised patios may be sited up to 2.8 metres [9.2 ft.] from the 103 Avenue lot line and a canopy encroachment may be sited up to 3.0 metres [10 ft.] from the 103 Avenue lot line.

## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)		n/a
# of units/ha /# units/acre (net)		n/a
FAR (gross)		6.62
FAR (net)	8.4	8.36
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	1,116 m <sup>2</sup>	544 m <sup>2</sup>
Outdoor	1,116 m <sup>2</sup>	905 m <sup>2</sup>
<b>PARKING (number of stalls)</b>		
Commercial	10	0
Industrial		n/a
Residential Bachelor + 1 Bedroom	243	144
2-Bed +	170	128
Townhouse		11
Residential Visitors	60	34
Car Share		off-site
Institutional	n/a	n/a
Total Number of Parking Spaces	483	317
Number of disabled stalls		7
Number of small cars		88
Tandem Parking Spaces: Number / % of Total Number of Units		n/a
Size of Tandem Parking Spaces width/length		n/a

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



**PROJECT INFO**

CIVIC ADDRESS: 13390 / 13400 / 13410 / 13201 - 105 AVENUE

LEGAL DESCRIPTION: L1 & Except Part Detached Road on Plan LMP22107, and Lots 9 to 11 Inclusion, Block B, Section 27, Block 5 North, Range 2 West, New Westminster District, Plan 1728

ZONING: CURRENT: RP - SINGLE FAMILY RESIDENTIAL ZONE  
PROPOSED: CO - COMPREHENSIVE DEVELOPMENT ZONE

**SITE INFO**

SITE AREA: 46 per Survey: 3,852.5 m<sup>2</sup>  
for calculator purposes: 3,818,890 m<sup>2</sup>

REQUIRED / ALLOWED / PROPOSED

**SITE COVERAGE**

SETBACKS: BELOW GRADE COMMERCIAL, LOW RISE, HIGH RISE, BELOW GRADE, LOW RISE, HIGH RISE

FRONT (UNIVERSITY DRIVE): 0.0m, 5.0m, 5.0m, 5.0m, 0.0m, 3.36m, 6.4m  
SIDE (103 AVENUE): 0.0m, 0.0m, 5.0m, 5.0m, 0.0m, 3.35m, 6.5m  
SIDE (SOUTH): 0.0m, 0.0m, 0.0m, 0.0m, 0.0m, 0.0m, 5.15m  
REAR (LANE): 0.0m, 5.0m, 5.0m, 5.0m, 0.0m, 9.36m, 35.13m

**BUILDING HEIGHT**

AVERAGE GRADE - NORTH: 84.03 m  
AVERAGE GRADE - WEST: 84.34 m  
AVERAGE GRADE - SOUTH: 84.70 m

**DENSITY**

ALLOWED / PROPOSED

F.A.R.: 5.5 - 20% / 6.8 / 6.82

AREA IN F.A.R.: 3618,890 x 0.6 / 23,844 m<sup>2</sup> / 23,844 m<sup>2</sup>

**# OF UNITS / ha**

SITE PER SURVEY: 372 UNITS / 26 ha / 1036  
SITE PER DENSITY: 372 UNITS / 26 ha / 1036

**AMENITY AREAS**

INDOOR AMENITY AREA: 3 m<sup>2</sup> per dwelling unit / 3 m<sup>2</sup> x 372 / 1,116.0 m<sup>2</sup> / 1,116.0 m<sup>2</sup>  
OUTDOOR AMENITY AREA: 3 m<sup>2</sup> per dwelling unit / 3 m<sup>2</sup> x 372 / 1,116.0 m<sup>2</sup> / 1,116.0 m<sup>2</sup>

**PARKING REQUIRED**

CITY NORMAL, CITY CENTRE 20% REDUCTION, CITY CENTRE PRACTICE, CITY REQUIRED (100%), PROVIDED

RESIDENTIAL PARKING: STUDIOS, JUNIOR 1 BEDROOM UNITS, 1 BEDROOM UNITS, 2 OR MORE BEDROOM DWELLING UNIT, GROUND-ORIENTED TOWNHOUSE, VISITOR PARKING, SUBTOTAL, CAR SHARING, OFF-SITE STALLS, TOTAL

**COMMERCIAL PARKING**

387.8 m<sup>2</sup> / 3,000/100 m less 20% (EQ) 10 / 0\*

**PARKING PROVIDED**

FLOOR LEVEL, VISITOR PARKING, CAR SHARE, RESIDENT PARKING, TOTAL, HANDICAPPED ACCESSIBLE (HKA), SMALL CAR

\* 1 OFF-SITE CAR-SHARE VEHICLE PROVIDED

**AREA SUMMARY**

FLOOR LEVEL, # OF STOREYS, COMMERCIAL, RESIDENTIAL, COMMON, SERVICE, AMENITY INDOOR, AMENITY OUTDOOR, OPEN BALCONIES, Sub-totals, GROSS AREA, TOTAL F.A.R. AREA

**SITE SUMMARY**

FLOOR LEVEL, # OF STOREYS, FLOOR TO FLOOR HT, STUDIO, 1 BEDROOM UNITS, 2 BEDROOM UNITS, TOTAL

**TOWER**

LEVELS, FLOOR TO FLOOR HT, # OF UNITS, %

**BICYCLE STORAGE REQUIRED**

RESIDENTIAL GRADE BICYCLE STORAGE, RESIDENTIAL BIKE STORAGE, COMMERCIAL GRADE BICYCLE STORAGE, COMMERCIAL BICYCLE STORAGE

**BICYCLE STORAGE & RESIDENTIAL STORAGE LOCKERS PROVIDED**

RESIDENTIAL FLOOR LEVEL, HORIZONTAL, BICYCLE PARKING, TOTAL, COMBINED BIKE & STOR, LOCKER, TOTAL

RESIDENTIAL LEVEL 1 AT GRADE BICYCLE STORAGE, COMMERCIAL LEVEL 1 AT GRADE BICYCLE STORAGE

**DEVELOPMENT DATA SHEET**

Required Development Data, Minimum Required / Maximum Allowed, Proposed

LOT AREA, GROSS AREA, BUILDABLE AREA, FLOOR COVERING, SETBACKS, BUILDING HEIGHT, NUMBER OF RESIDENTIAL UNITS, FLOOR AREA, TOTAL BUILDING FLOOR AREA

**Development Data Sheet (cont.)**

Required Development Data, Minimum Required / Maximum Allowed, Proposed

DENSITY, AMENITY SPACE, PARKING, FLOOR AREA, TOTAL BUILDING FLOOR AREA

I hereby certify that all the above information is true and correct. I acknowledge that any error or omission is the sole responsibility of the applicant and not the Planning & Development Department.

Signature: [Signature], Date: [Date]

**GENERAL NOTES:**

- 1. INDOOR AMENITY WASHROOMS ARE TO COMPLY WITH BC BUILDING CODE ACCESSIBILITY REQUIREMENTS.
- 2. PLACEMENT OF ELEVATOR CALL BUTTONS AND AUTO DOOR OPERATOR ACTUATOR BUTTONS ARE TO COMPLY WITH BC BUILDING CODE ACCESSIBILITY REQUIREMENTS.
- 3. PROVIDE EMERGENCY CALL BUTTONS AT BUILDING LEVEL, ELEVATOR LOBBIES.

**103 AVENUE & UNIVERSITY DRIVE**  
SURREY, BRITISH COLUMBIA, CANADA  
KING GEORGE CITY CENTRE DEVELOPMENT LTD

8. R.Z./D.P. RE-SUBMISSION: MAY 29, 2018  
4. DP RE-SUBMISSION: MAY 14, 2018  
5. ADP SUBMISSION: APR 14, 2018  
2. R.Z./D.P. RE-SUBMISSION: MAR 29, 2018  
1. R.Z./D.P. SUBMISSION: NOV 29, 2017

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City 600-100-124  
Tel: (604) 688-3324  
Fax: (604) 688-3322  
Email: general@binghamhill.ca

PROJECT I  
PROJECT I

PHASE # 1112  
FOUR  
THREE  
TWO

APPENDIX II



INTERIM SITE ACCESS/OFFSITE PLAN

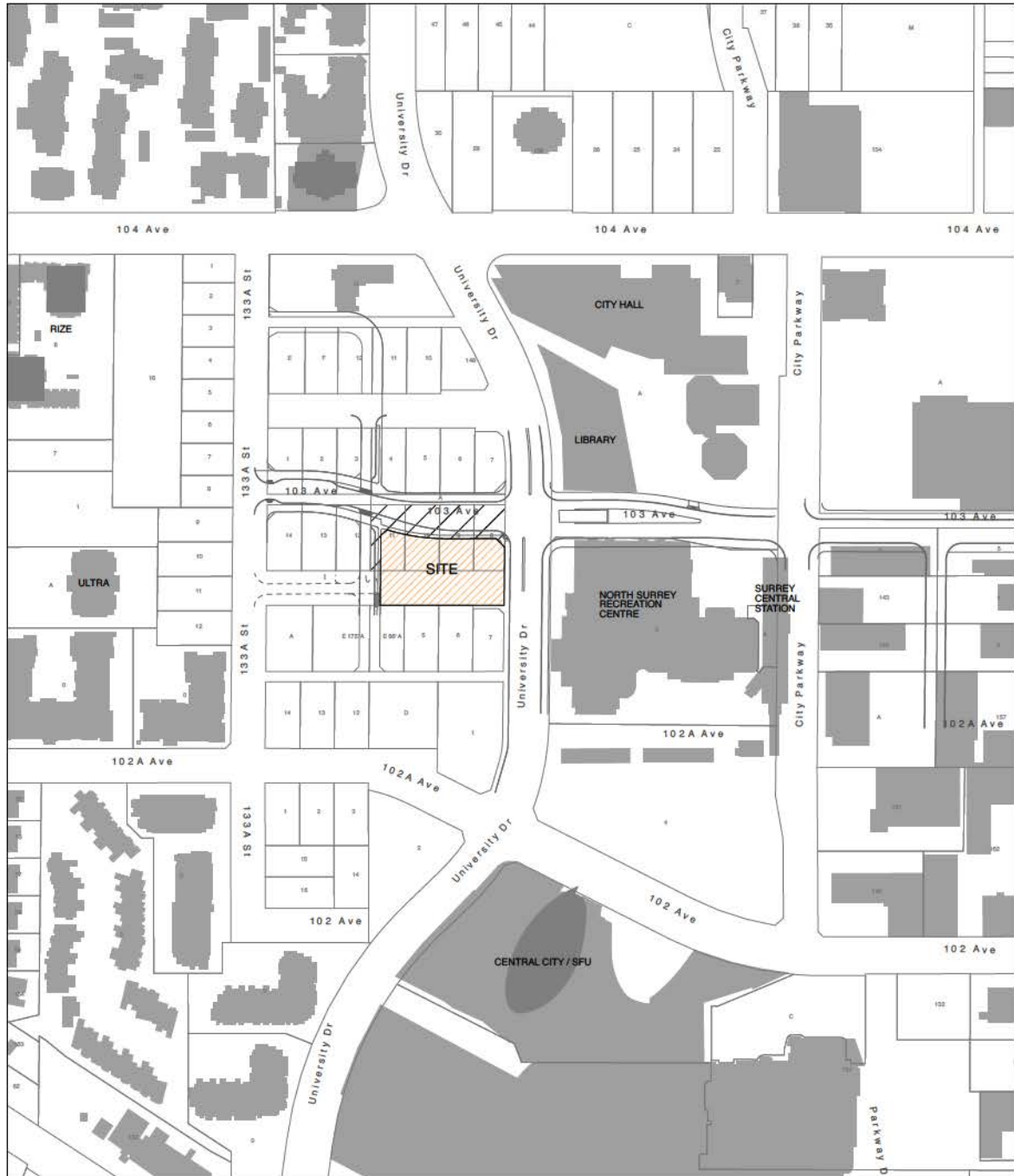


ROAD DEDICATION PLAN

**ROAD DEDICATION AREA SUMMARY**

LOT 8	371.6 m <sup>2</sup>
LOT 9	396.5 m <sup>2</sup>
LOT 10	378.7 m <sup>2</sup>
LOT 11	480.7 m <sup>2</sup>
<b>TOTAL ROAD DEDICATION AREA</b>	<b>1,614.4 m<sup>2</sup></b>

ROAD DEDICATION AREA VALUES ARE DERIVED FROM CITY OF SURREY  
 ULTIMATE PRIORITY PLAN (103 AVENUE)  
 DRAWING 18 DATED FEB. 16, 2011



**CONTEXT PLAN**

0 20m 40m 80m



**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
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8. R.Z.O.P. RE-SUBMISSION	FEB 20 2011
5. R.Z.O.P. RE-SUBMISSION	MAY 14 2011
4. DP RE-SUBMISSION	APR 20 2011
3. ADP SUBMISSION	FEB 14 2011
2. R.Z.O.P. RE-SUBMISSION	MAY 28 2011
1. R.Z.O.P. SUBMISSION	NOV 29 2010

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 Email: gary@binghamhil.ca

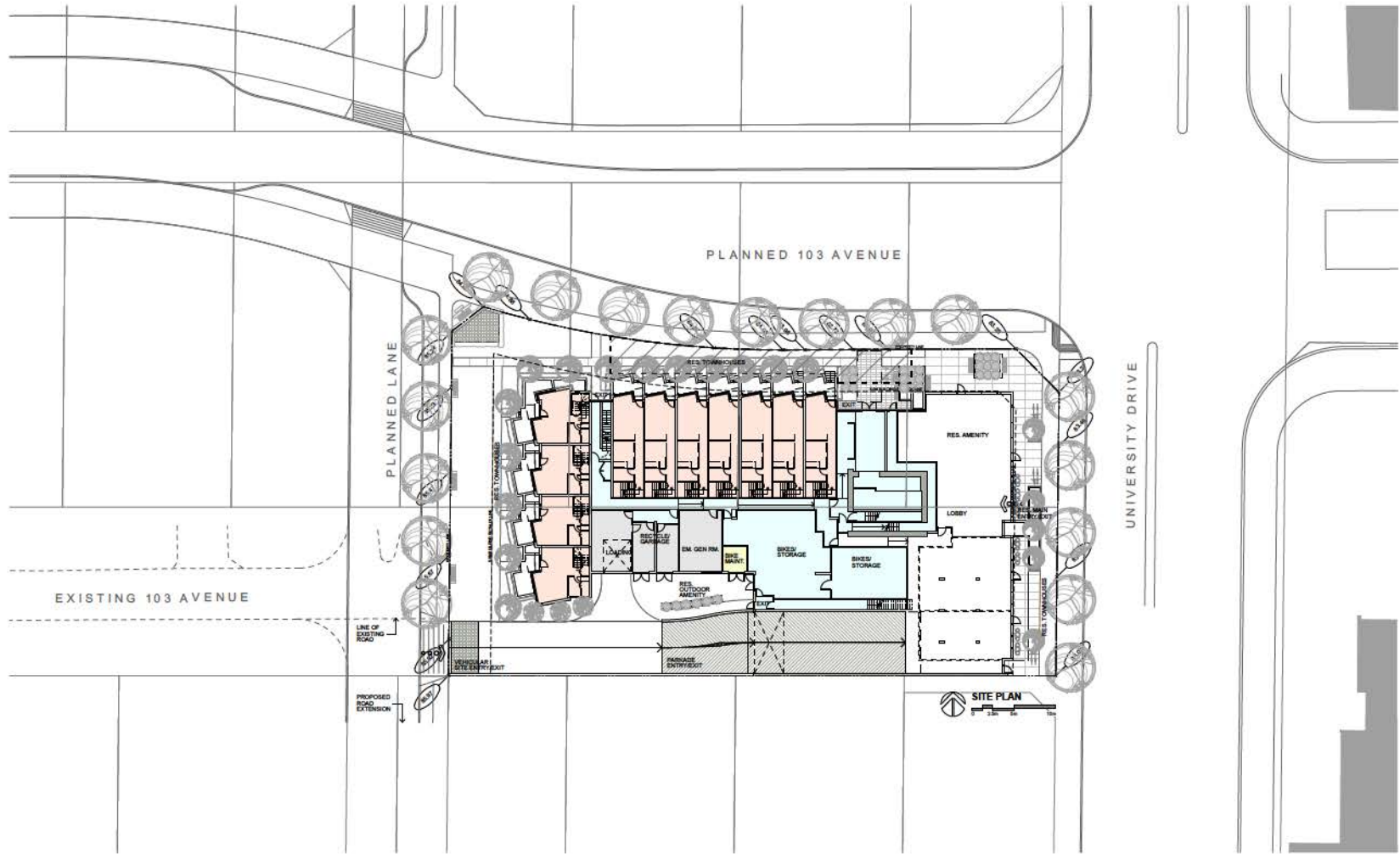
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**CONTEXT PLAN**

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**103 AVENUE & UNIVERSITY DRIVE**  
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NO.	DESCRIPTION	DATE
5.	R.Z.O.P. RE-SUBMISSION	MAY 10 2012
4.	DP RE-SUBMISSION	APR 20 2012
3.	ADP SUBMISSION	FEB 14 2012
2.	R.Z.O.P. RE-SUBMISSION	MAY 28 2011
1.	R.Z.O.P. SUBMISSION	NOV 23 2010

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 architects

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 Canada V6B 3Z4  
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 Email: general@bhill.ca

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**SITE  
 SITE PLAN**

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

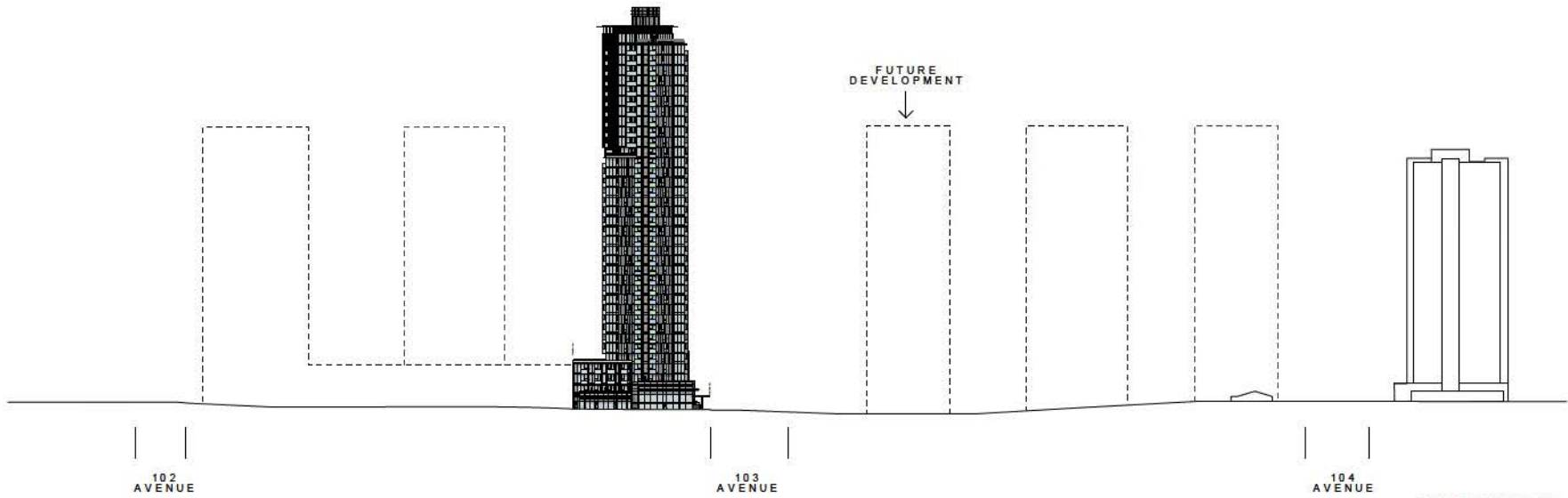
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A2.03

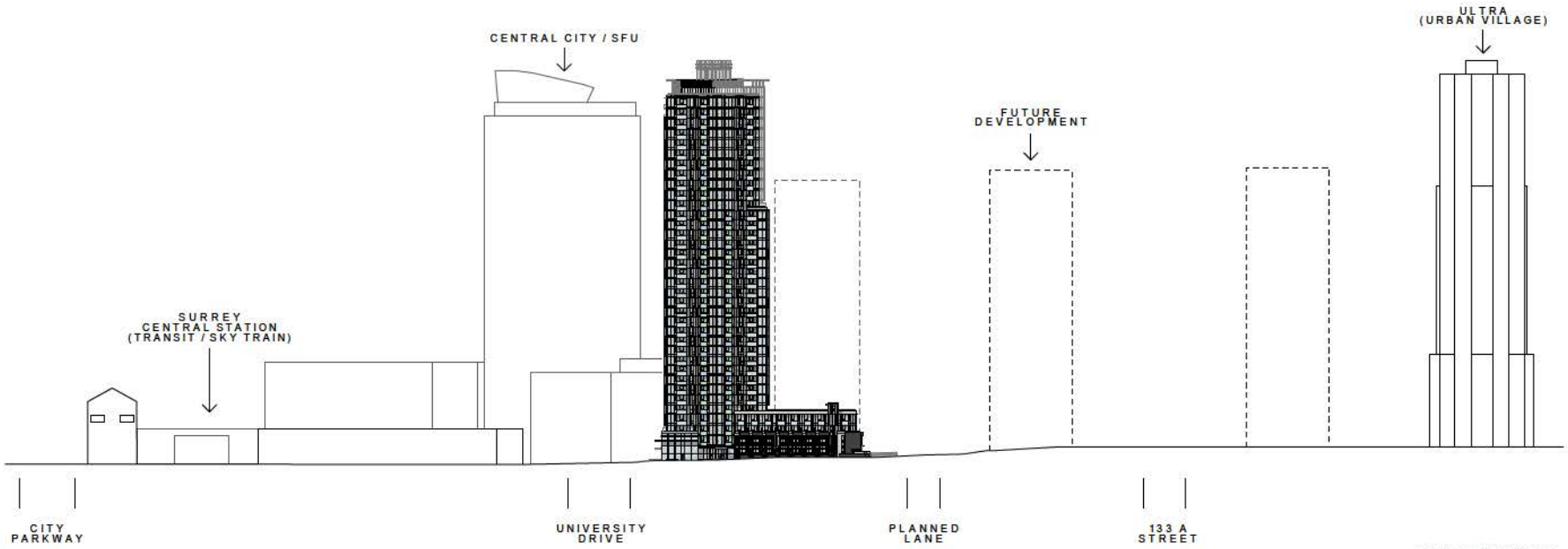
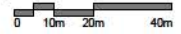




**103 AVENUE & UNIVERSITY DRIVE**  
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 KING GEORGE CITY CENTRE DEVELOPMENT LTD



**EAST ELEVATION  
 (UNIVERSITY DRIVE)**



**NORTH ELEVATION  
 (103 AVENUE)**



NO.	REVISION	DATE
5.	R.Z./D.P. RE-SUBMISSION	MAY 09 2012
4.	DP RE-SUBMISSION	APR 2012
3.	ADP SUBMISSION	FEB 14 2012
2.	R.Z./D.P. RE-SUBMISSION	MAR 28 2012
1.	R.Z./D.P. SUBMISSION	NOV 23 2011

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 Email: general@binghamhill.ca

REGISTERED ARCHITECTS AND ENGINEERS  
 BC REG. NO. 10000-10000-10000-10000-10000  
 MEMBER, SOCIETY OF ARCHITECTS OF BRITISH COLUMBIA  
 MEMBER, SOCIETY OF ARCHITECTS

**SITE  
 STREET ELEVATIONS**

PROJ. #	1112	DRAWING NUMBER
SCALE	1:500	<b>A2.04</b>
DRAWN		
CHECKED		

Volume 02 - Planning Presentation 11112 SURREY TOWER 01 (Drawing) King George City Centre Development Ltd



103 AVENUE  
UNIVERSITY DRIVE

103 AVENUE  
VIEW NORTH



SURREY CITY  
CENTRE LIBRARY  
UNIVERSITY DRIVE

UNIVERSITY DRIVE  
VIEW NORTH



CENTRAL CITY / SFU  
UNIVERSITY DRIVE  
103 AVENUE

UNIVERSITY DRIVE  
VIEW SOUTH



103 AVENUE  
103 A AVENUE

UNIVERSITY DRIVE  
VIEW WEST



SURREY CITY  
CENTRE LIBRARY  
NORTH SURREY  
REC. CENTRE  
SURREY  
CENTRAL STATION

UNIVERSITY DRIVE  
VIEW EAST

APPROX. ALIGNMENT TO  
103A AVENUE

APPROX. ALIGNMENT TO  
103 AVENUE



103 AVENUE & UNIVERSITY DRIVE  
SURREY, BRITISH COLUMBIA, CANADA  
KING GEORGE CITY CENTRE DEVELOPMENT LTD

5.	R.Z.I.D.P. RE-SUBMISSION	MAY 16 2013
4.	DP RE-SUBMISSION	APR 2013
3.	ADP SUBMISSION	FEB 14 2013
2.	R.Z.I.D.P. RE-SUBMISSION	MAR 28 2013
1.	R.Z.I.D.P. SUBMISSION	NOV 23 2012

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architects

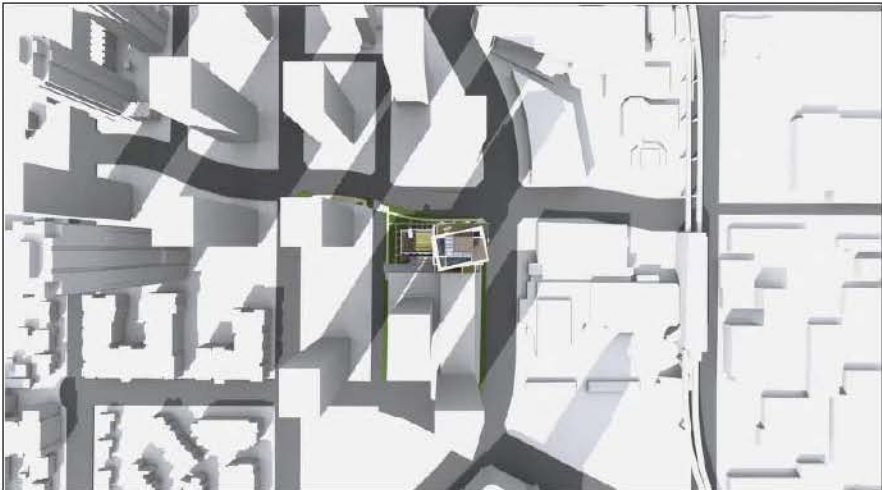
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CONTEXT PHOTOS

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DATE			
DESIGNED			

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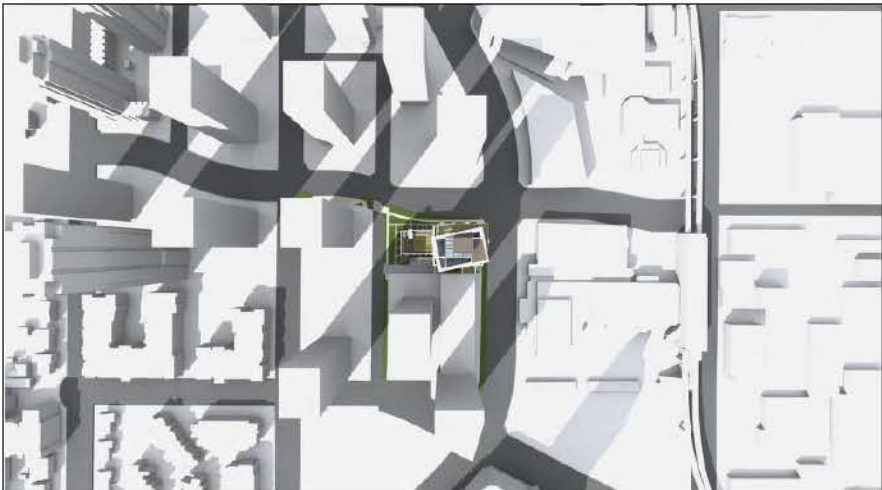
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21 MAR 3pm



21 JUN 3pm



21 SEP 3pm



21 DEC 3pm



**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
 KING GEORGE CITY CENTRE DEVELOPMENT LTD

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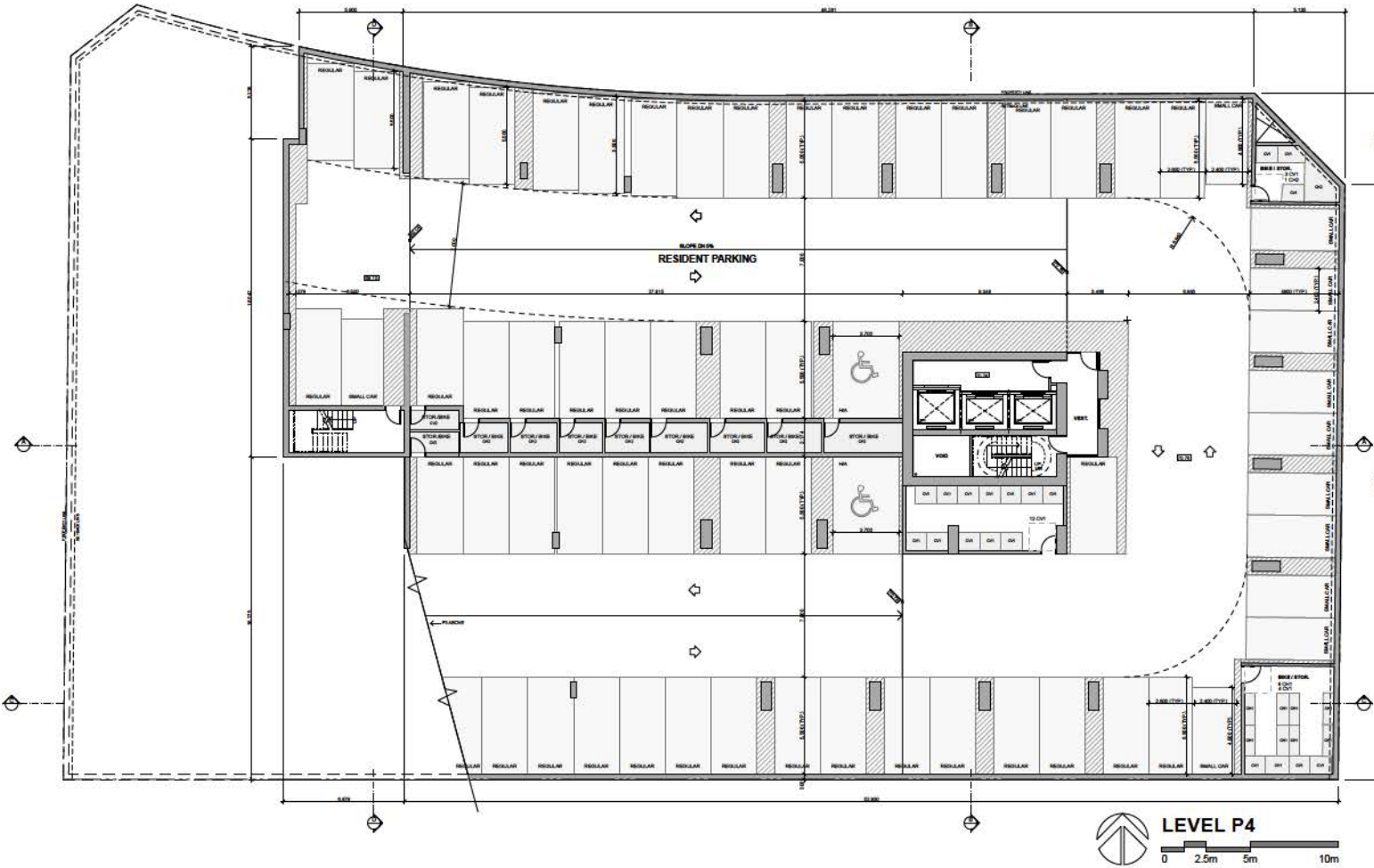
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SITE  
 SHADOW STUDIES

PROJ. #	1102	DRAWING NUMBER	A2.06
SCALE			
DATE			
DESIGNED			



**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
 KING GEORGE CITY CENTRE DEVELOPMENT LTD



<b>P4 CAR PARKING</b>	
RESIDENTIAL	12
H/A	2
REGULAR	50
SMALL CAR	12
TOTAL	64
<b>P4 BIKE STORAGE</b>	
<b>HORIZONTAL</b>	
CRT	3
CR2	5
<b>VERTICAL</b>	
CV1	15
CV2	2
TOTAL	38

5. R.Z.D.P. RE-SUBMISSION	MAY 10 2012
4. DP RE-SUBMISSION	APR 2012
3. ADP SUBMISSION	FEB 14 2012
2. R.Z.D.P. RE-SUBMISSION	MAY 28 2012
1. R.Z.D.P. SUBMISSION	NOV 23 2011

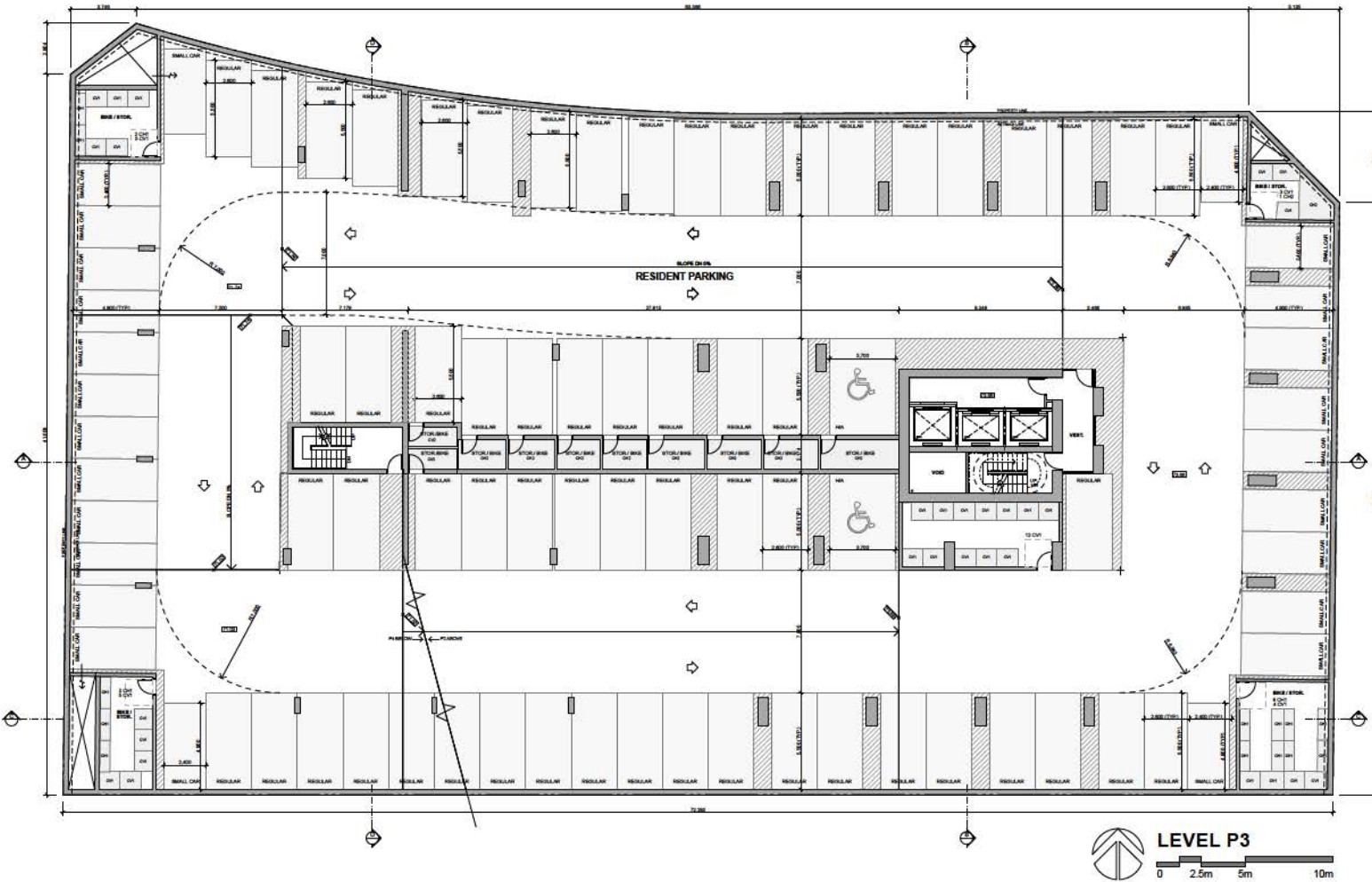
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 Vancouver, British Columbia  
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**FLOOR PLANS**  
**LEVEL P4**

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PROJ. #	1112	DRAWING NUMBER	<b>A3.01</b>
SCALE	1:100		
DRAWN			
CHECKED			

Volume 1 - 103 Avenue & University Drive, Surrey, BC V3R 4S1, King George City Centre Development Ltd.



**LEVEL P3**  
0 2.5m 5m 10m

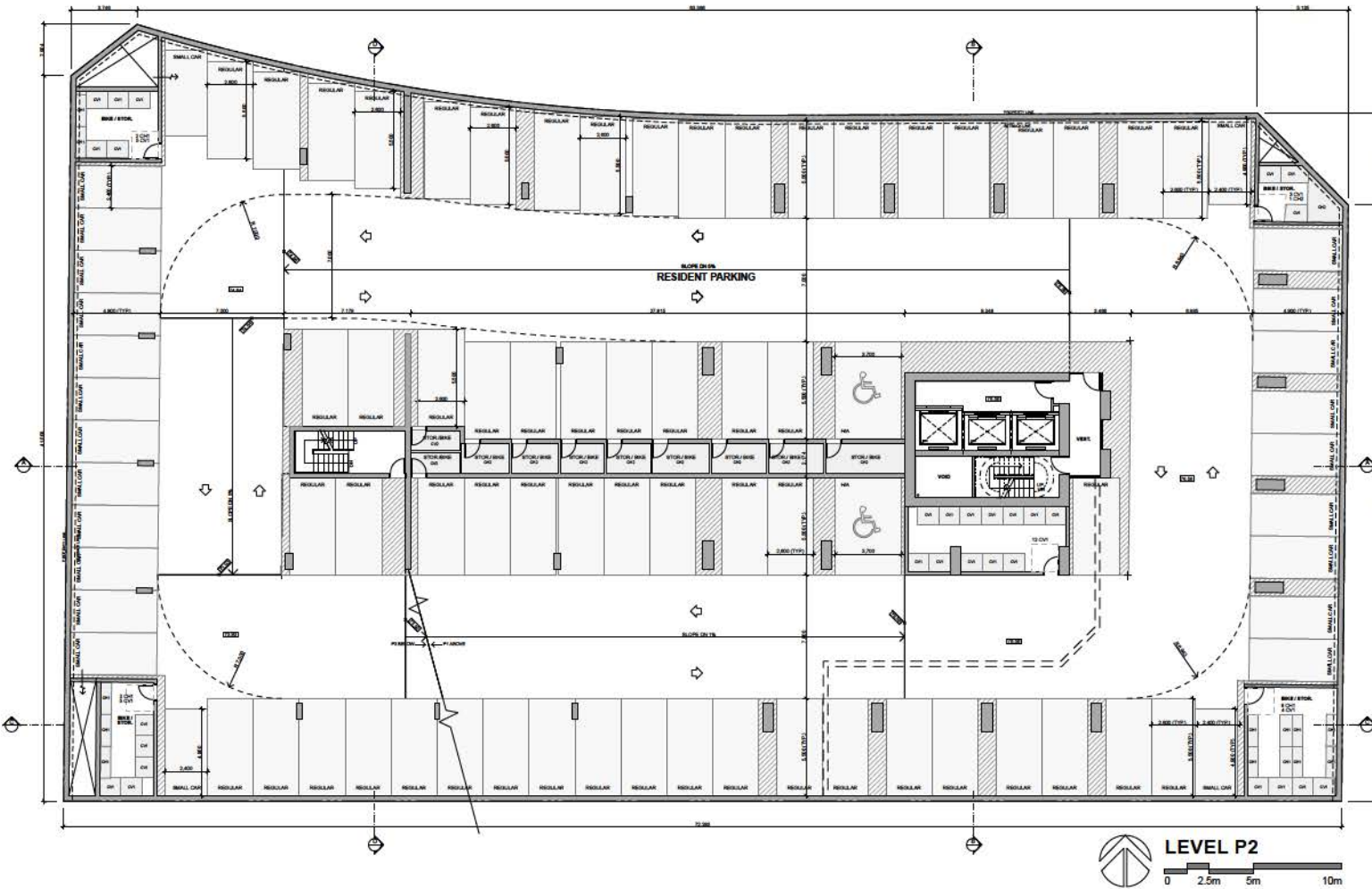
<b>P3 CAR PARKING</b>	
RESIDENTIAL	
H/A	2
REGULAR	60
SMALL CAR	25
	87
<b>P3 BIKE STORAGE</b>	
<b>HORIZONTAL</b>	
CR1	13
CR2	5
<b>VERTICAL</b>	
CV1	29
CV2	2
	31

5. R.Z.O.P. RE-SUBMISSION	MAY 10 2017
4. DP RE-SUBMISSION	APR 2017
3. ADP SUBMISSION	FEB 14 2017
2. R.Z.O.P. RE-SUBMISSION	MAY 28 2016
1. R.Z.O.P. SUBMISSION	NOV 23 2015

**103 AVENUE & UNIVERSITY DRIVE**  
SURREY, BRITISH COLUMBIA, CANADA  
KING GEORGE CITY CENTRE DEVELOPMENT LTD

**binghamhill architects**  
801-1444 Albert Street  
Vancouver, British Columbia  
Canada V6C 2Z4  
Tel: (604) 688 0234  
Fax: (604) 688 3323  
Email: general@binghamhill.ca





**LEVEL P2**  
 0 2.5m 5m 10m

<b>P2 CAR PARKING</b>	
RESIDENTIAL	
IWA	2
REGULAR	60
SMALL CAR	25
<b>TOTAL</b>	<b>87</b>
<b>P2 BIKE STORAGE</b>	
<b>HORIZONTAL</b>	
CRT	13
CHZ	5
<b>TOTAL</b>	<b>18</b>
<b>VERTICAL</b>	
CVT	2
CVZ	2
<b>TOTAL</b>	<b>4</b>



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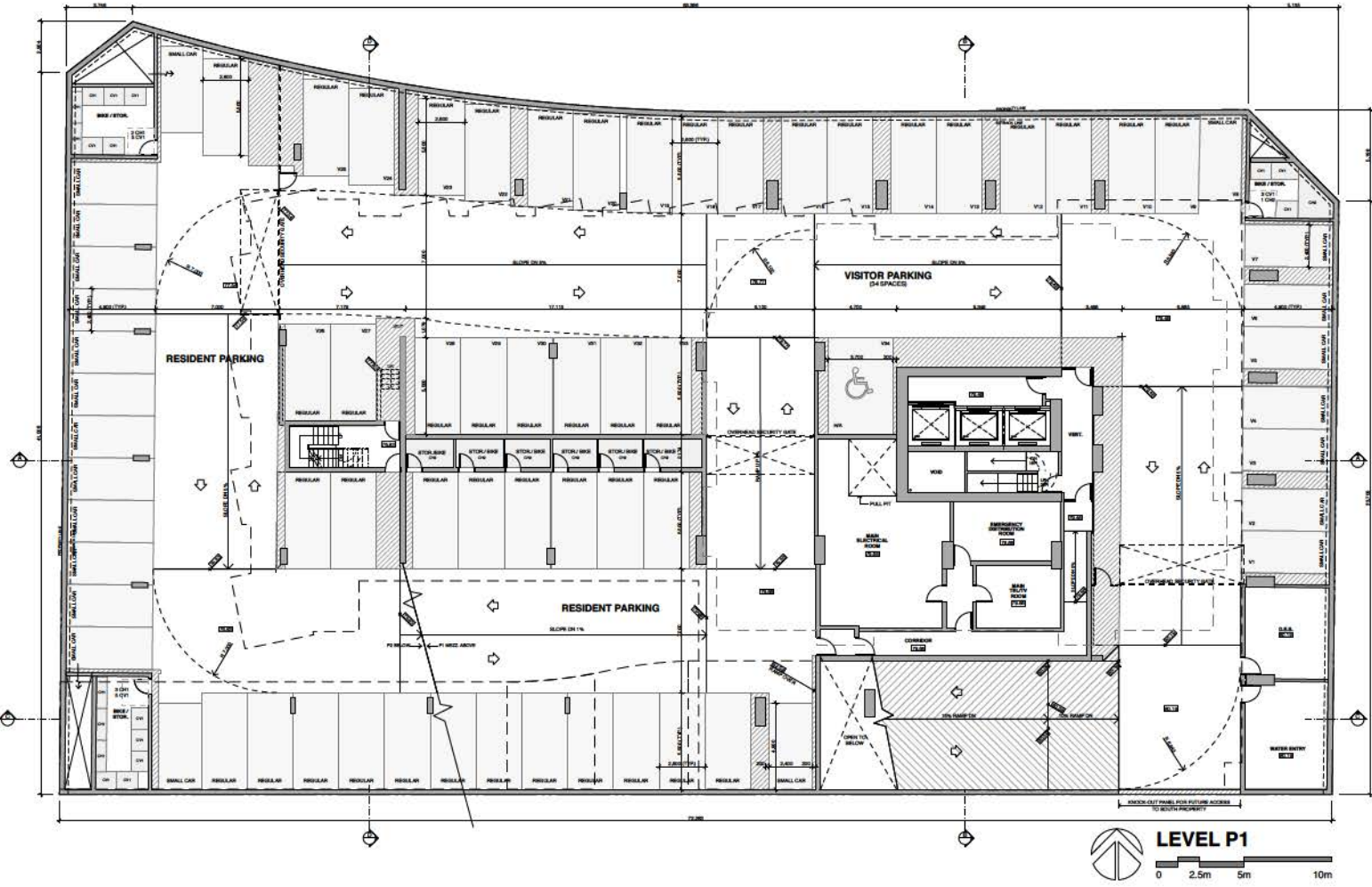
**FLOOR PLANS**  
**LEVEL P2**

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<b>P1 CAR PARKING</b>	
<b>RESIDENTIAL</b>	<b>REGULAR</b>
	21
	<b>SMALL CAR</b>
	15
<b>VISITOR</b>	
	<b>HVA</b>
	1
	<b>REGULAR</b>
	25
	<b>SMALL CAR</b>
	8
	70
<b>P1 BIKE STORAGE</b>	
<b>HORIZONTAL</b>	
	<b>CH1</b>
	5
	<b>CH2</b>
	7
<b>VERTICAL</b>	
	<b>CV1</b>
	13
	25

8.	R.Z./D.P. RE-SUBMISSION	FEB 20
5.	R.Z./D.P. RE-SUBMISSION	MAY 14
4.	DP RE-SUBMISSION	APR 2018
3.	ADP SUBMISSION	FEB 14
2.	R.Z./D.P. RE-SUBMISSION	FEB 28
1.	R.Z./D.P. SUBMISSION	NOV 29

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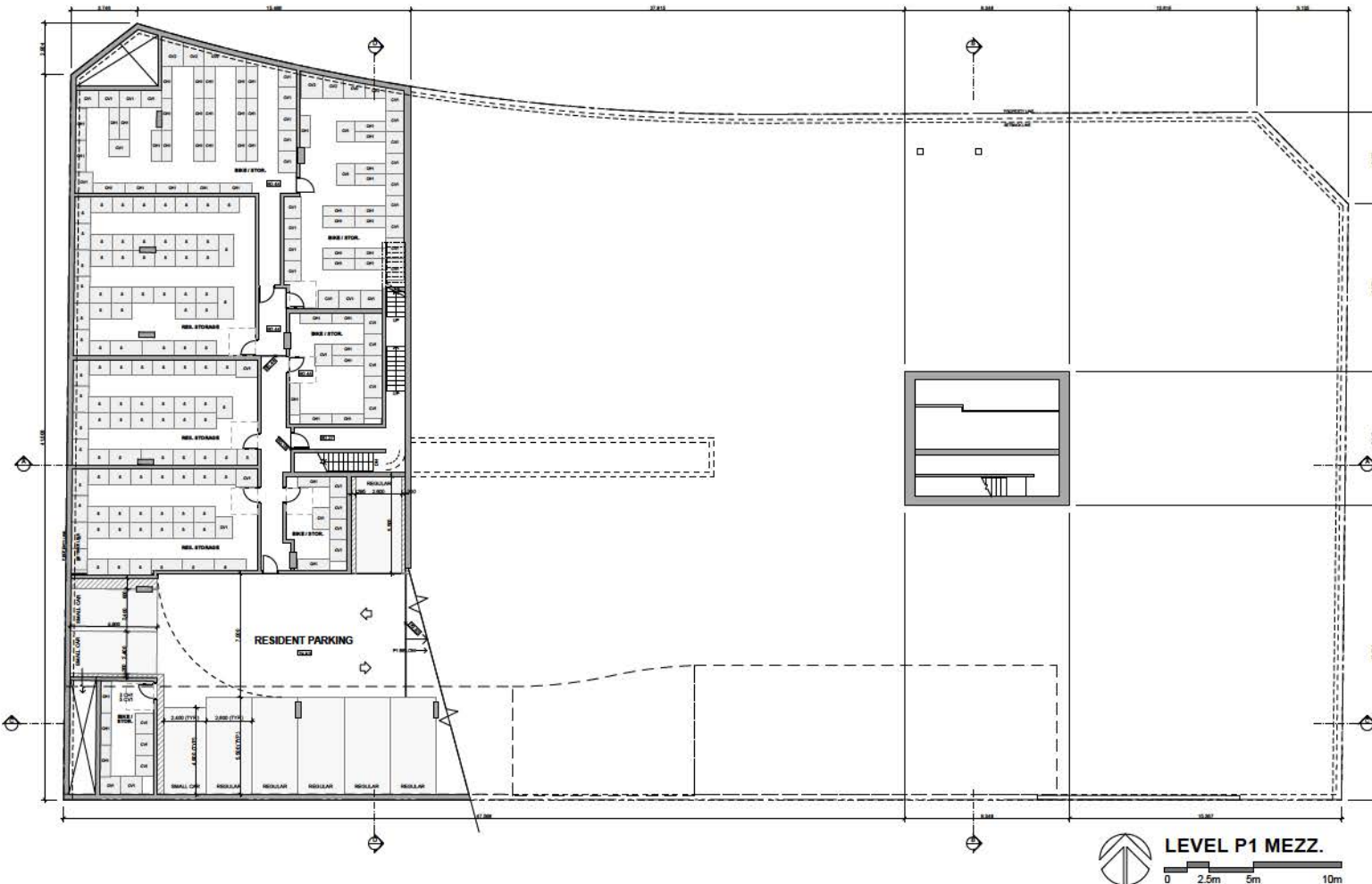
**FLOOR PLANS**  
**LEVEL P1**

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**P1 MEZZ. CAR PARK**

RESIDENTIAL	
REGULAR	0
SMALL CAR	3
	3

**P1 MEZZ. STORAGE**

LOCKER	5
	102

**P1 MEZZ. BIKE STOR.**

HORIZONTAL	
CHT	30
VERTICAL	
CV1	28
CV2	7
	105


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**LEVEL P1 MEZZ.**  
 0 2.5m 5m 10m

FLOOR PLANS  
**LEVEL P1 MEZZANINE**

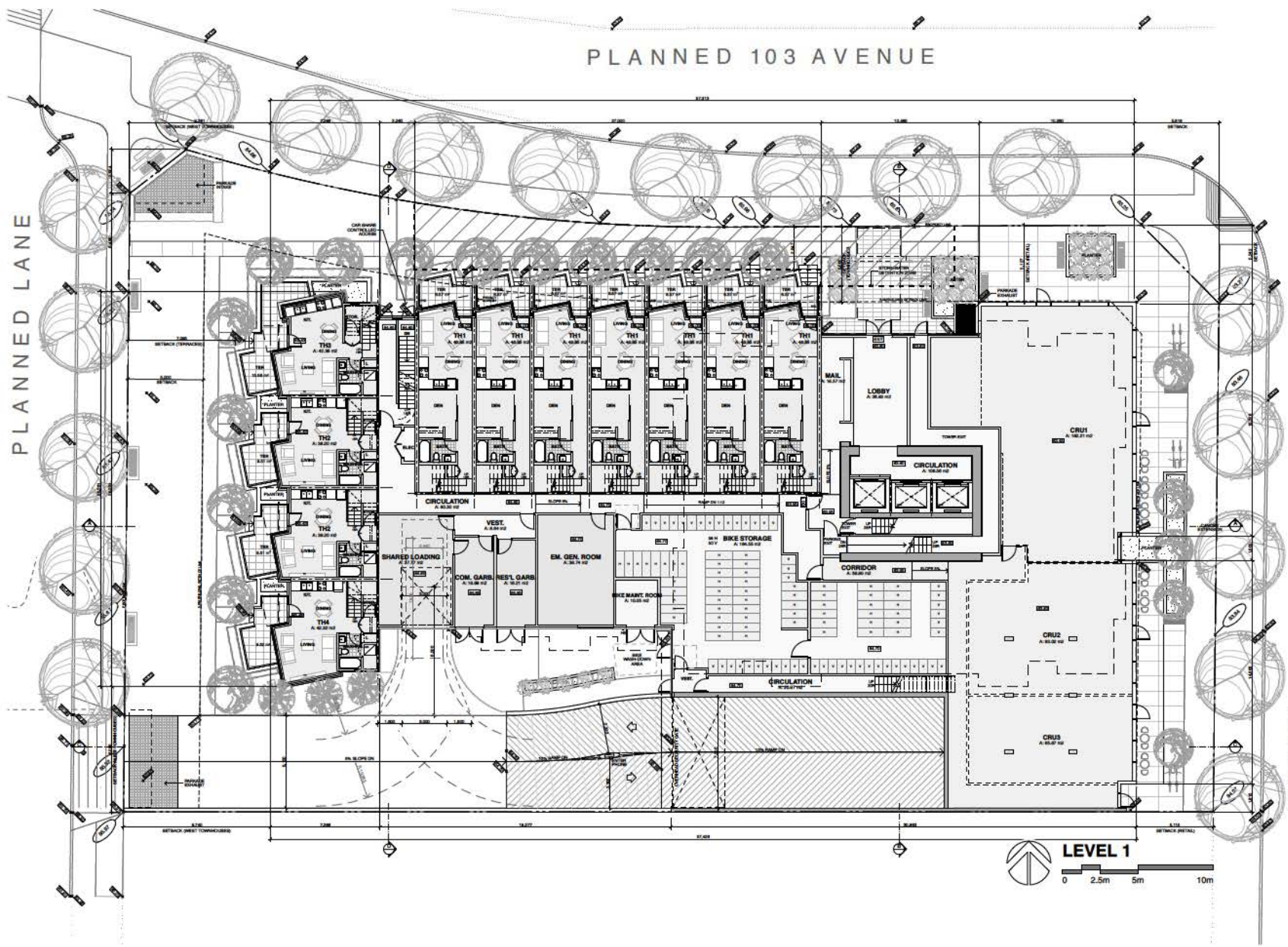
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Volume 4 of 4 - Planning, Preliminary, Final, Construction Documents, Construction Documents, Construction Documents, Construction Documents





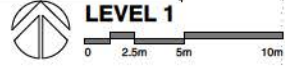
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UNIVERSITY DRIVE

L1 BIKE STORAGE

HORIZONTAL	H	56
VERTICAL	V	50
		106



8. R.Z.O.P. RE-SUBMISSION	FEB 20 2014
5. R.Z.O.P. RE-SUBMISSION	MAY 14 2014
4. DP RE-SUBMISSION	APR 15 2014
3. ADP SUBMISSION	FEB 14 2014
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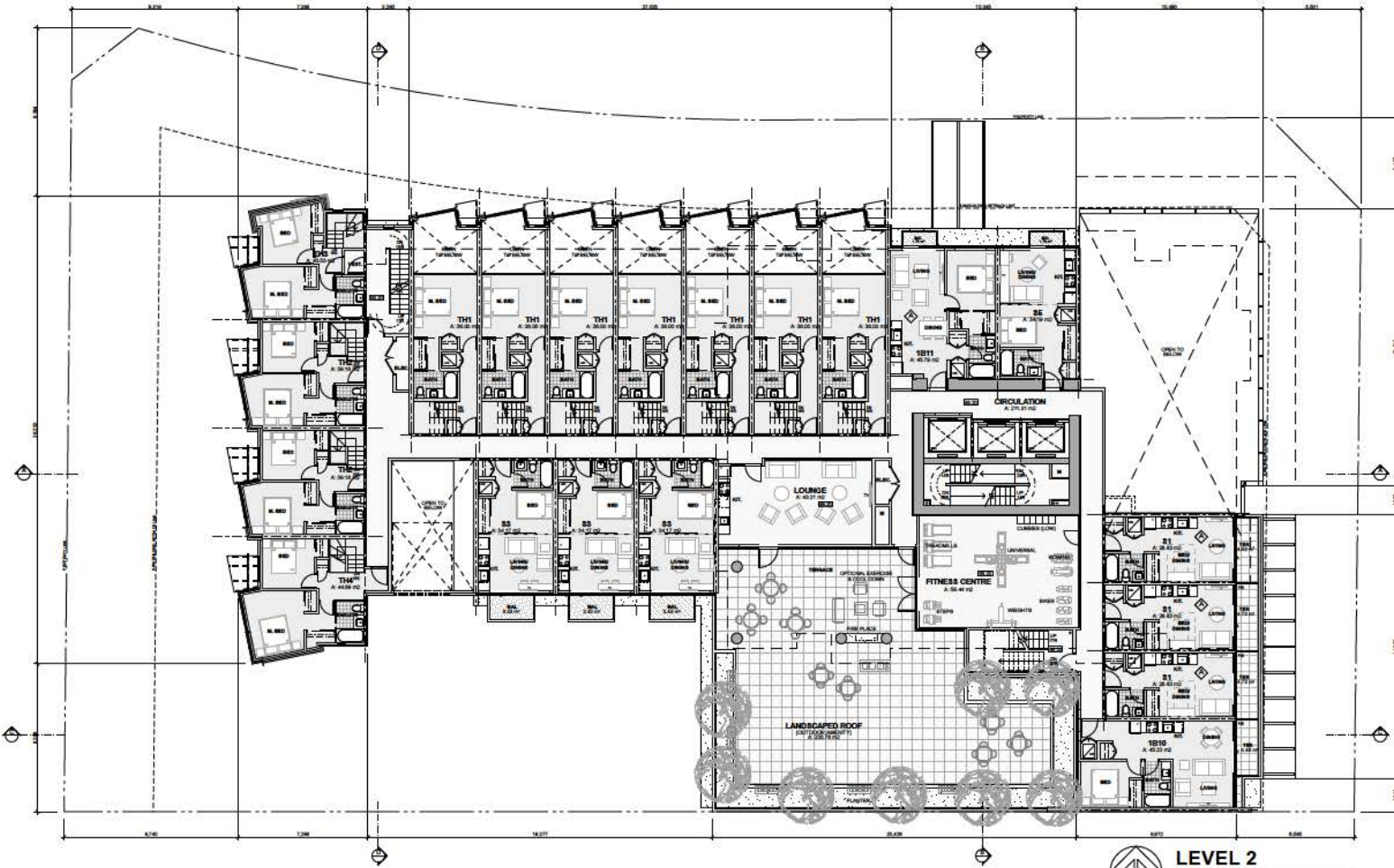
FLOOR PLANS  
**LEVEL L1**

**A3.06**

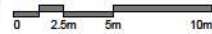
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**LEVEL 2**



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 REGISTERED ARCHITECTS, C.O.A. REGISTRATION NO. 1000-1000-1000  
 MEMBER, SOCIETY OF ARCHITECTS

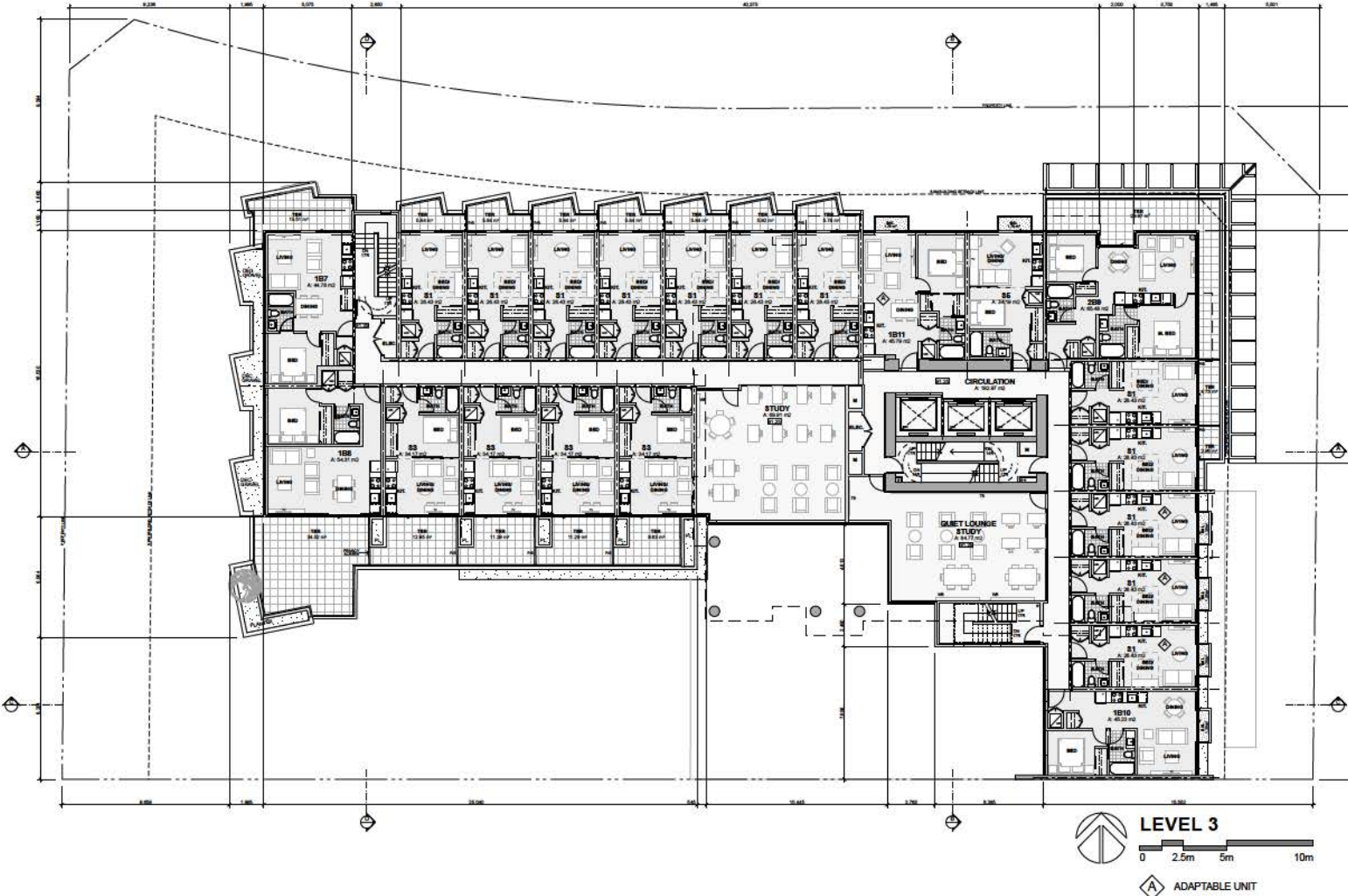
FLOOR PLANS  
**LEVEL L2**

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DATE	
DESIGNED	

**A3.07**

Volume 1: Main Floor Plans, Level 2: Surrey Tower 101, King George City Centre, Surrey, BC





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2.	R.Z.I.P. RE-SUBMISSION	MAY 28 2011
1.	R.Z.I.P. SUBMISSION	NOV 23 2011

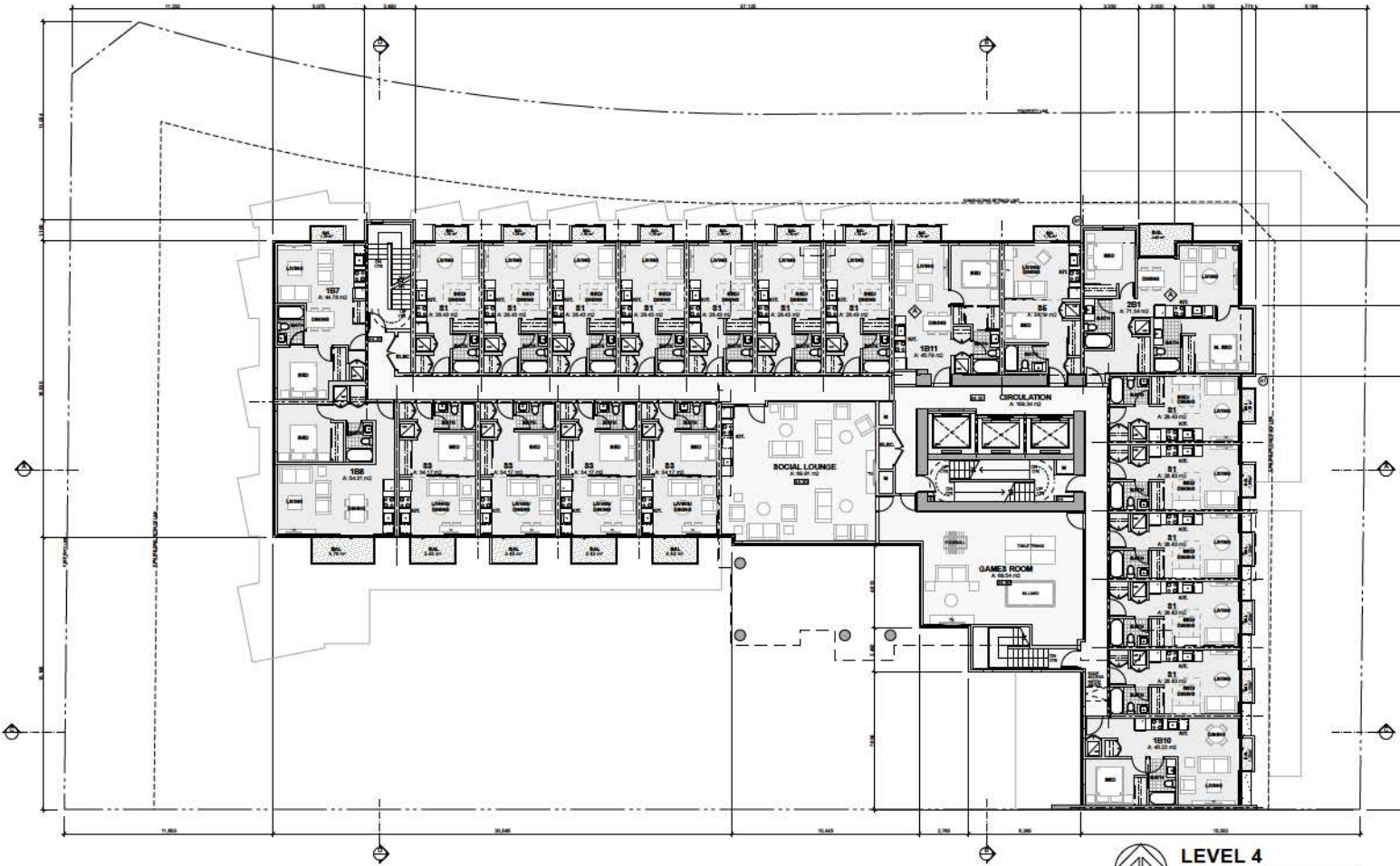
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FLOOR PLANS  
 LEVEL L3

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**LEVEL 4**



**A** ADAPTABLE UNIT



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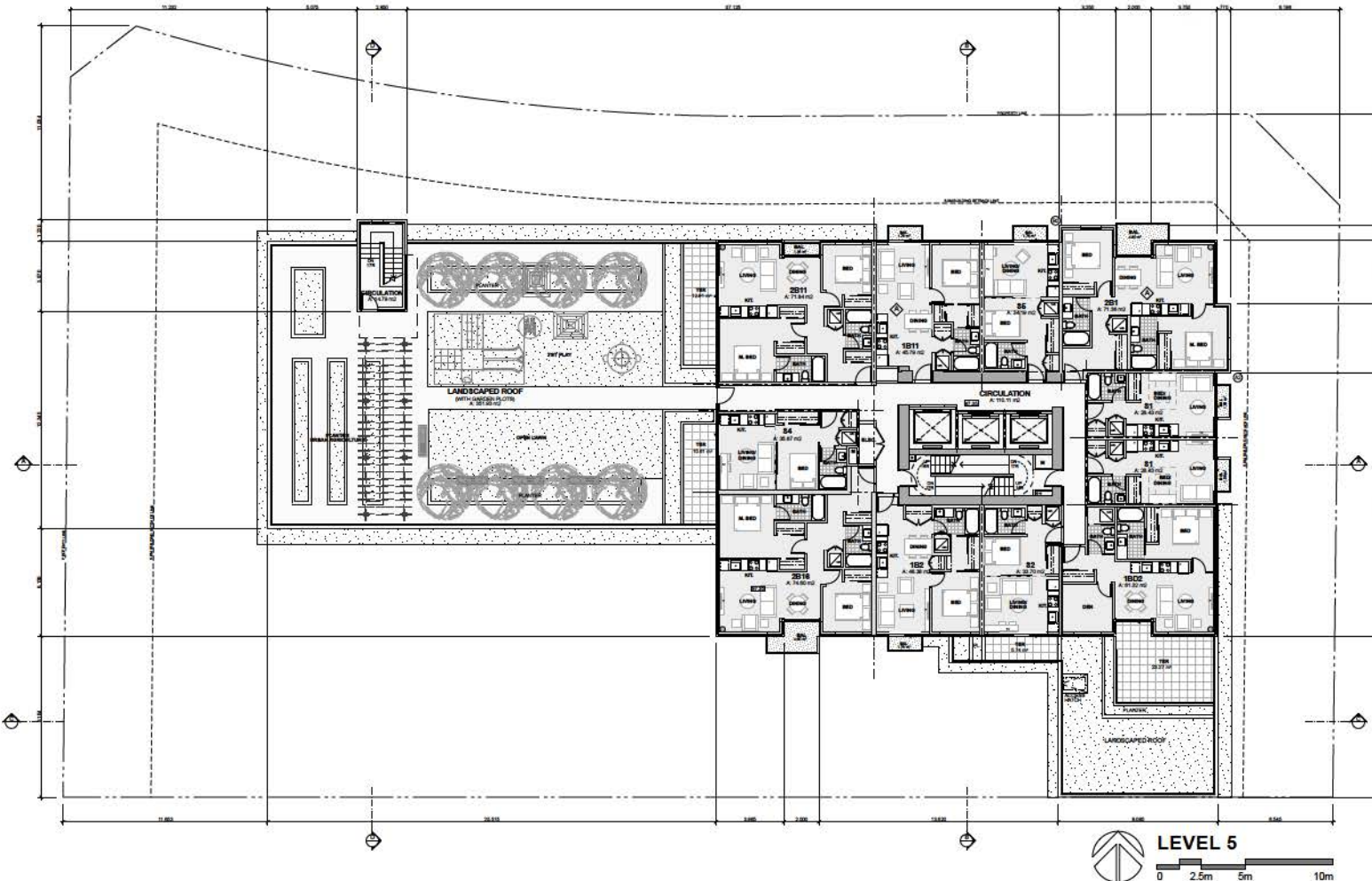
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FLOOR PLANS  
**LEVEL L4**

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**A3.09**

Volume 1 - Architectural Plans - 11112 SURVEY TOWER 01 - Drawing 01 - Architectural Survey Tower 01



**LEVEL 5**



**A** ADAPTABLE UNIT



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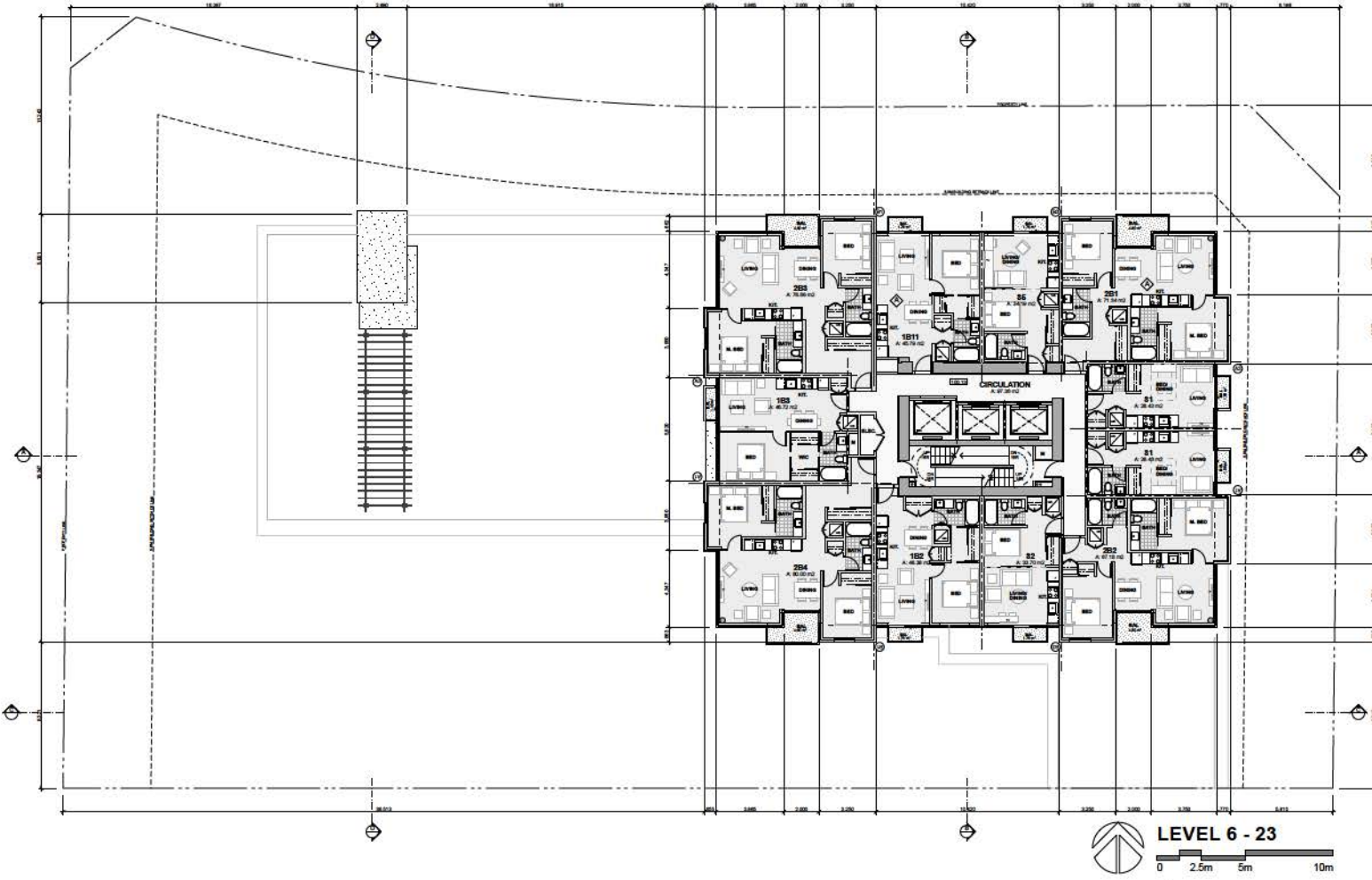
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**FLOOR PLANS**  
**LEVEL L5**

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CHECKED	
DATE	
<b>A3.10</b>	



Volume 1 - Building Plans - 11112 Surrey Tower 01 - Drawing 01 - Adaptable Unit - Tower 01



**LEVEL 6 - 23**  
 0 2.5m 5m 10m

**A** ADAPTABLE UNIT  
 1B11: L6 & L7  
 2B11: L6 TO L10 INCL



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2.	R.Z.I.P. RE-SUBMISSION	MAY 28 2010
1.	R.Z.I.P. SUBMISSION	NOV 23 2009

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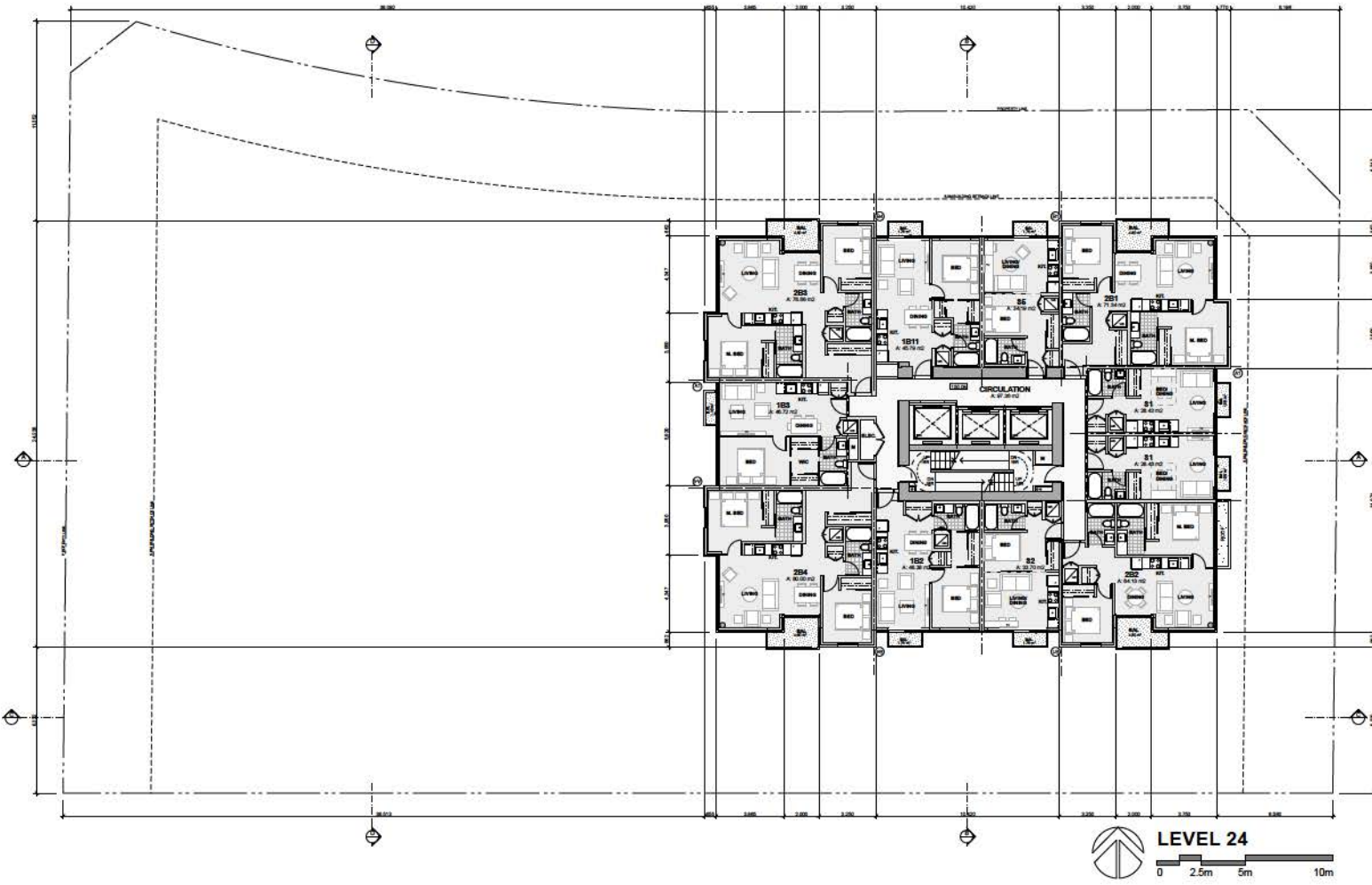
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**FLOOR PLANS**  
**LEVEL L6-23**

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DATE		<b>A3.11</b>
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Volume 1 - Planning Package 11112 Surrey Tower 01 Drawing 01 Architectural Tower 24



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2.	R.Z.I.P. RE-SUBMISSION	MAY 28 2011
1.	R.Z.I.P. SUBMISSION	NOV 23 2010

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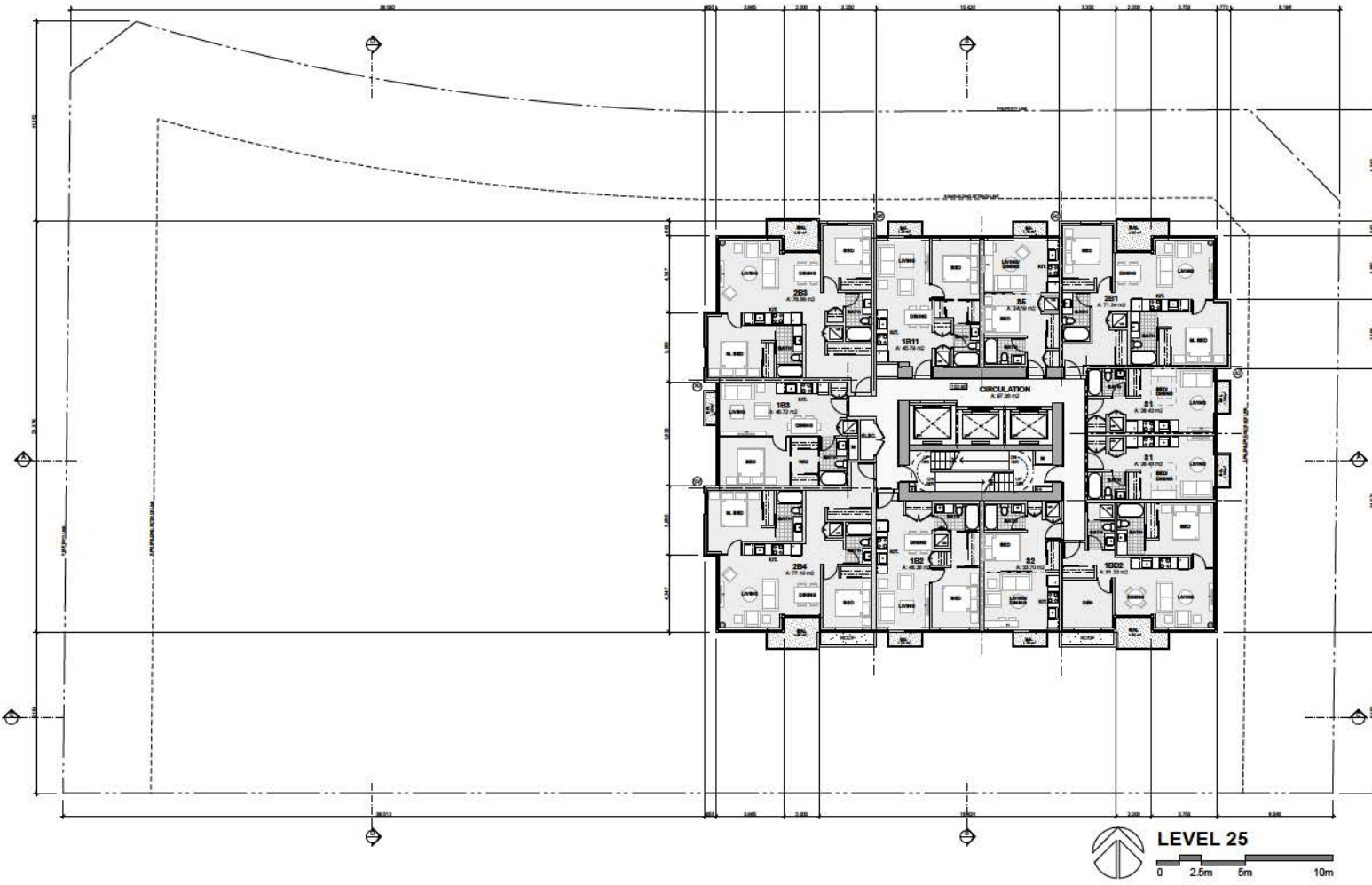
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FLOOR PLANS  
 LEVEL L24

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2.	R.Z.I.P. RE-SUBMISSION	MAY 28 2010
1.	R.Z.I.P. SUBMISSION	NOV 23 2009

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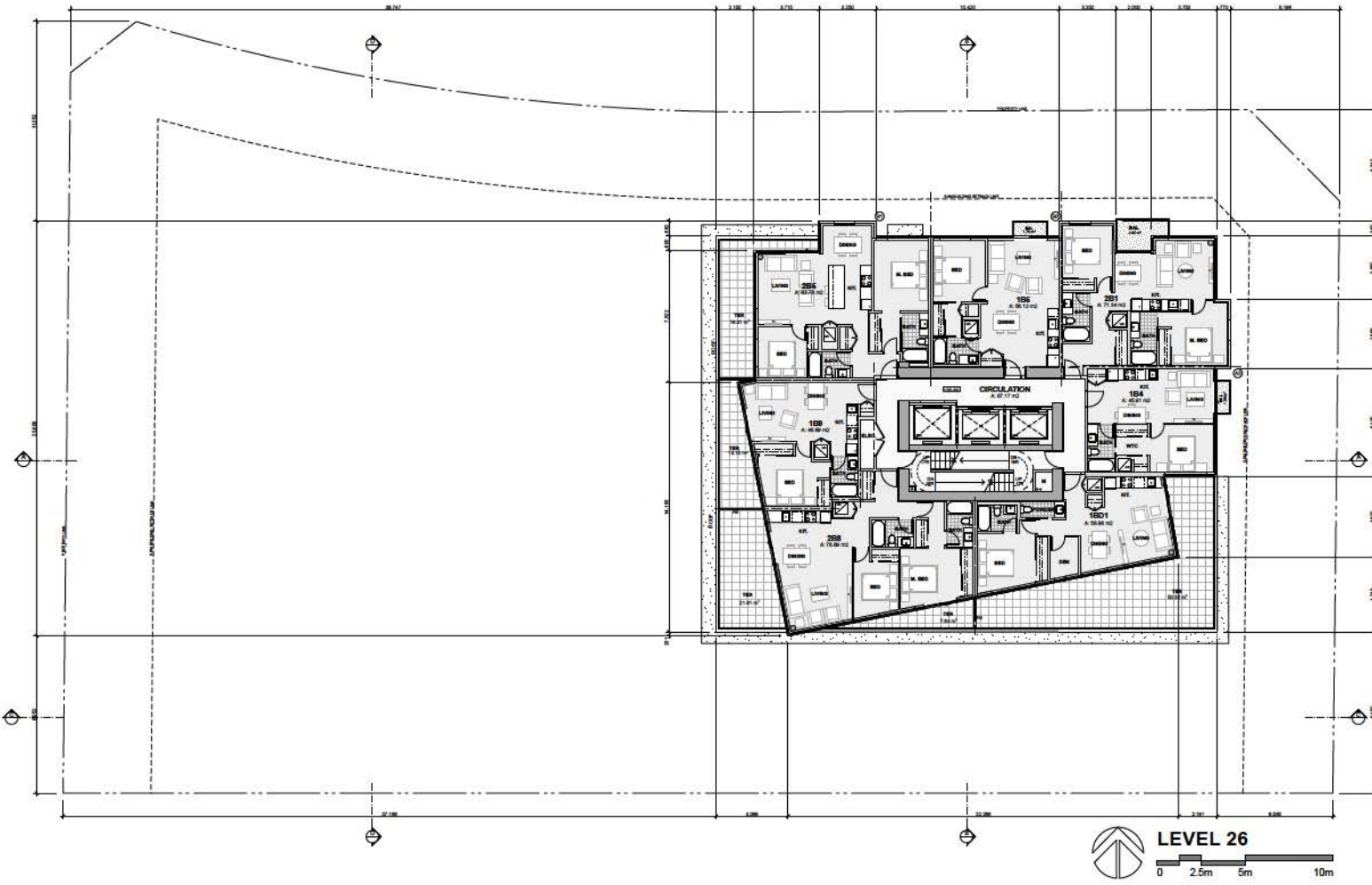
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FLOOR PLANS  
 LEVEL L25

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Volume 1 - Planning Package 11112 Surrey Tower 01 Drawing 01 Architectural Survey Sheet 01



**LEVEL 26**  
0 2.5m 5m 10m



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1.	R.Z.I.P. SUBMISSION	NOV 23 2011

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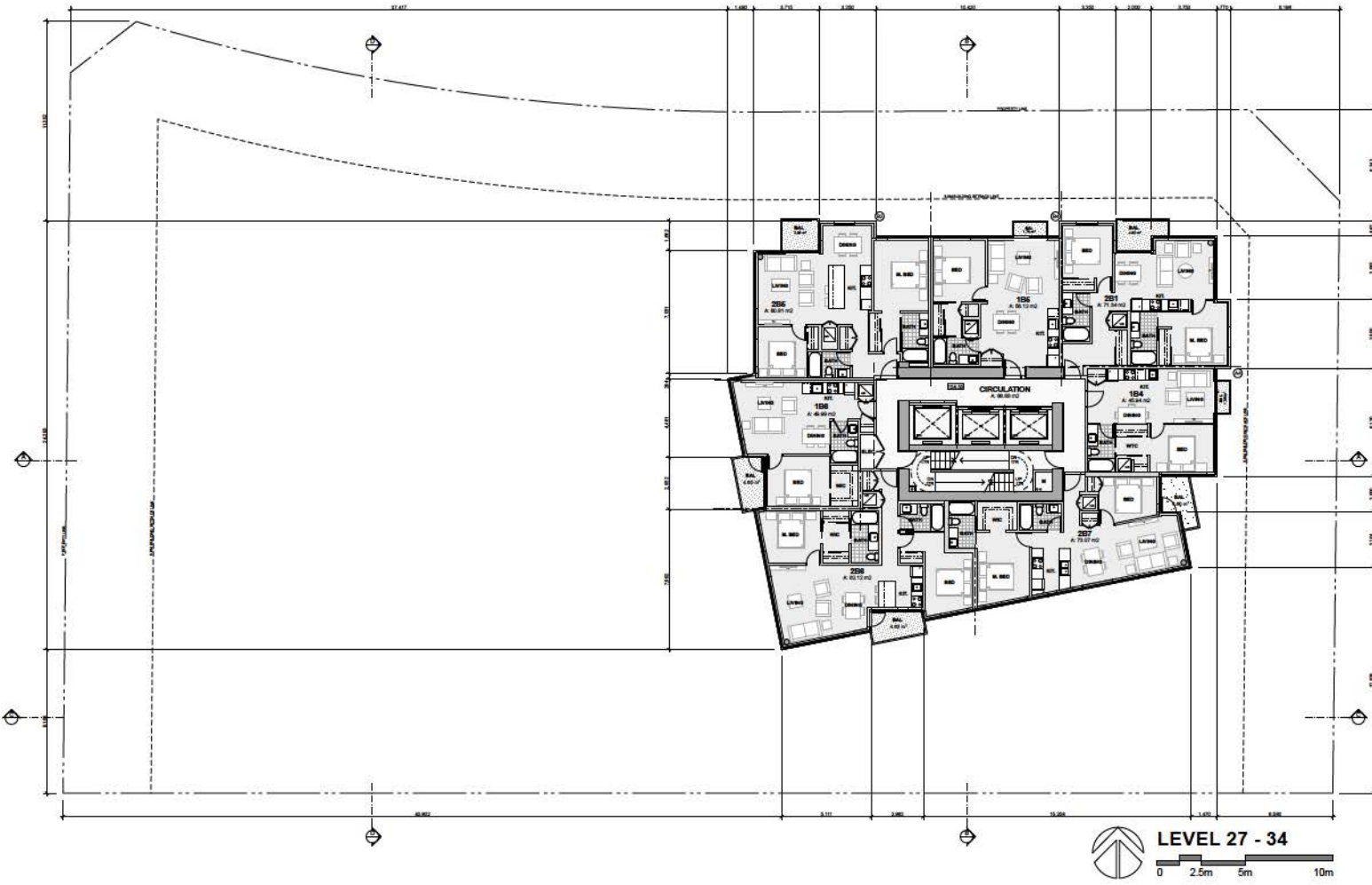
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FLOOR PLANS  
LEVEL L26

ALL DIMENSIONS SHALL BE VERIFIED ON SITE	
PROJ. #	1112
SCALE	1:100
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<b>A3.14</b>	



Volume 1 - Planning Package 11112 SURVEY TOWER 01 Drawing 01 Architectural Survey Tower 01



**LEVEL 27 - 34**  
0 2.5m 5m 10m



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2.	R.Z.O.P. RE-SUBMISSION	MAY 28 2016
1.	R.Z.O.P. SUBMISSION	NOV 23 2015

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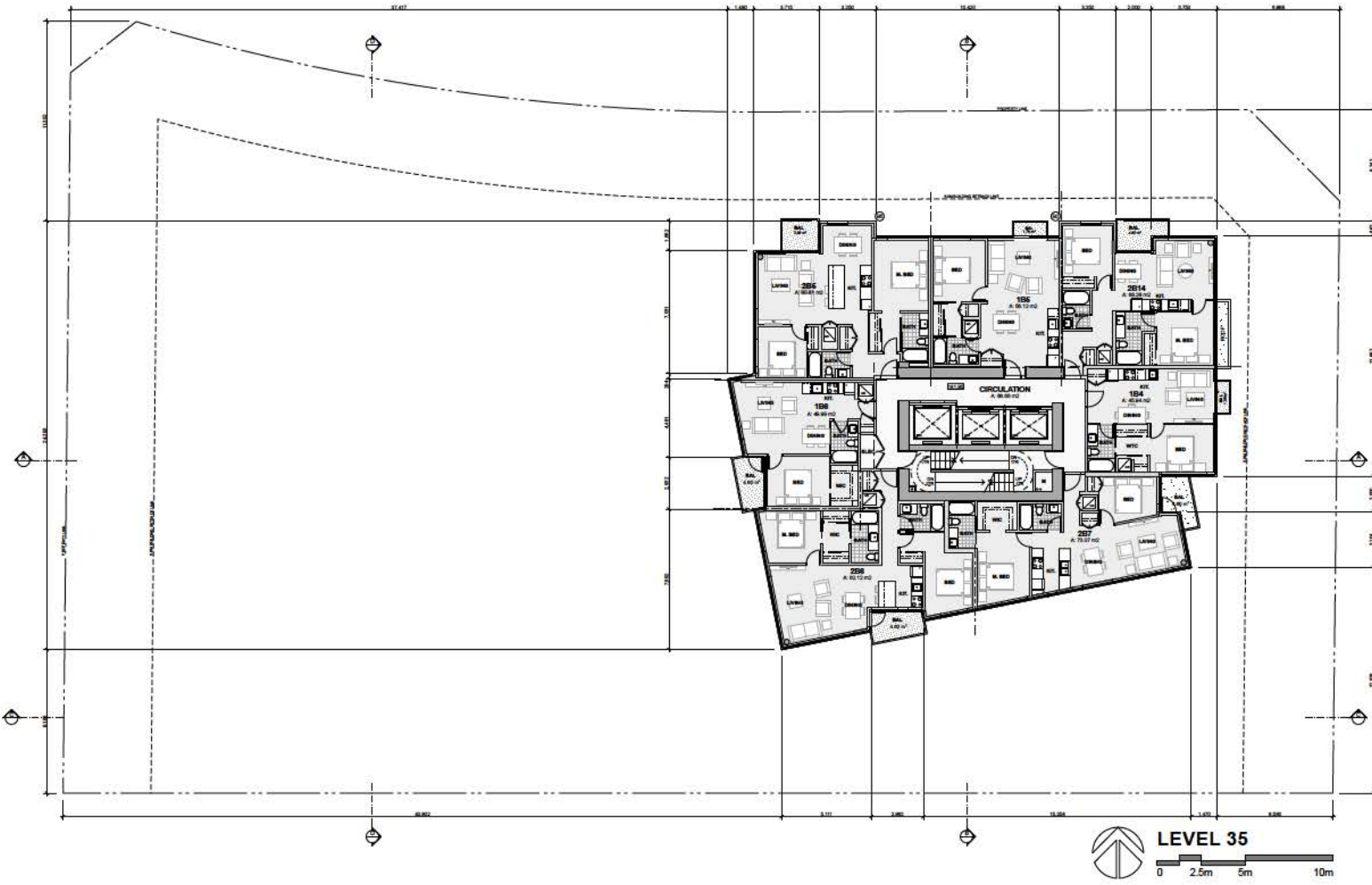
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FLOOR PLANS  
LEVEL L27-34

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SCALE	1:100	<b>A3.15</b>
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Volume 1 - Mechanical Planes 01-11112 SURVEY TOWER 01 - Drawing 01 - Architectural Survey Tower 01



**LEVEL 35**  
0 2.5m 5m 10m



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1.	R.Z.I.P. SUBMISSION	NOV 23 2010

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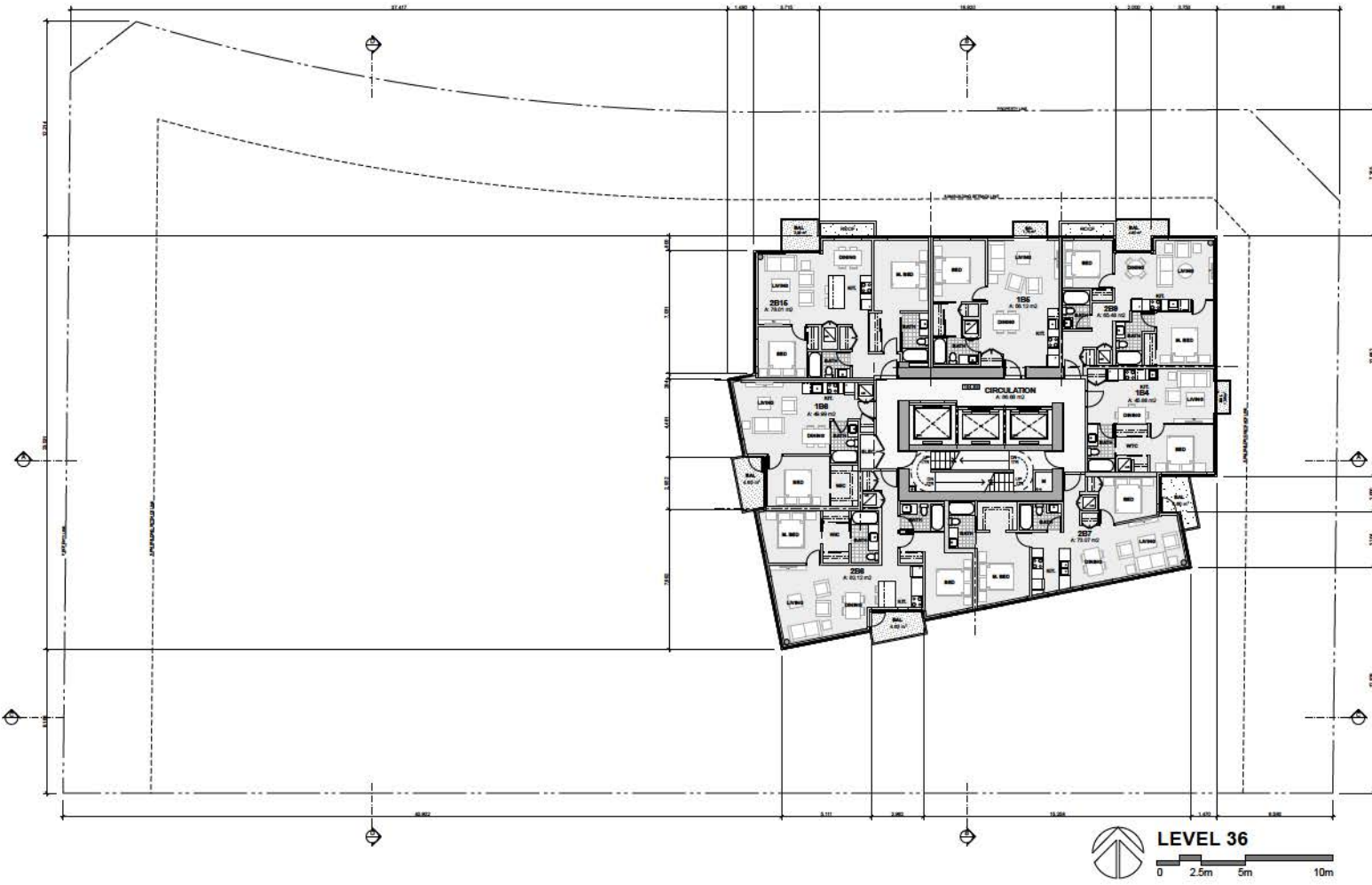
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FLOOR PLANS  
**LEVEL L35**

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Volume 1 - Mechanical Plans for 11112 Surrey Tower 01 - Drawing 01 - Architectural Summary Sheet 01



**LEVEL 36**  
0 2.5m 5m 10m



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3.	ADP SUBMISSION	FEB 14 2016
2.	R.Z.I.P. RE-SUBMISSION	MAY 28 2015
1.	R.Z.I.P. SUBMISSION	NOV 23 2014

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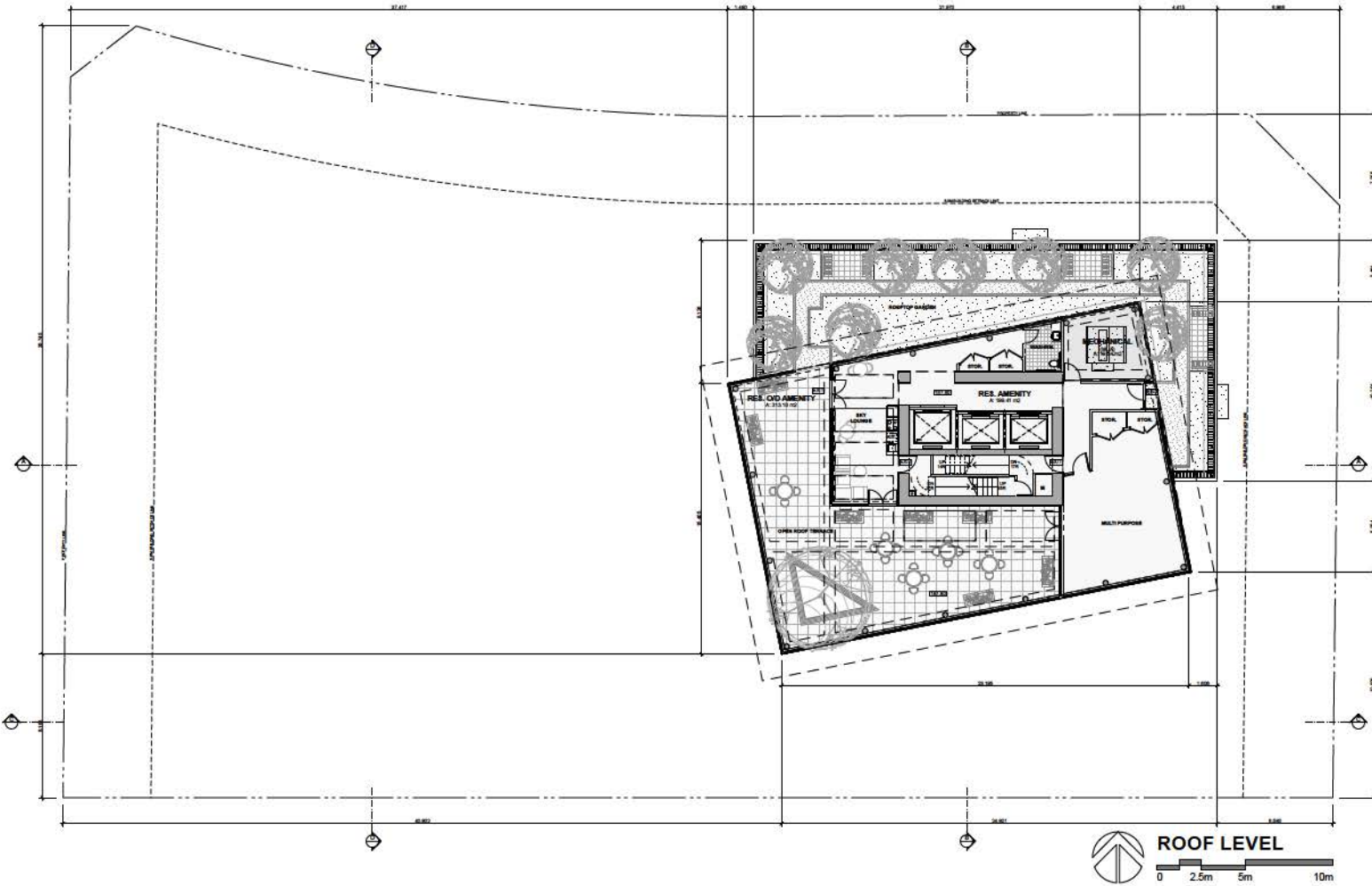
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REVISION NO. DESCRIPTION DATE  
1. CORRECTED ALL TYPING AND REVISIONS TO ALL SHEETS FOR THE RECORD. 05-2016  
2. REVISIONS TO ALL SHEETS TO REFLECT THE REVISIONS TO THE ARCHITECTURAL SUMMARY SHEET. 05-2016  
3. REVISIONS TO ALL SHEETS TO REFLECT THE REVISIONS TO THE ARCHITECTURAL SUMMARY SHEET. 05-2016

FLOOR PLANS  
**LEVEL L36**

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2.	R.Z.I.P. RE-SUBMISSION	MAY 28 2018
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 FAX: (604) 688-3222  
 EMAIL: general@bhill.ca

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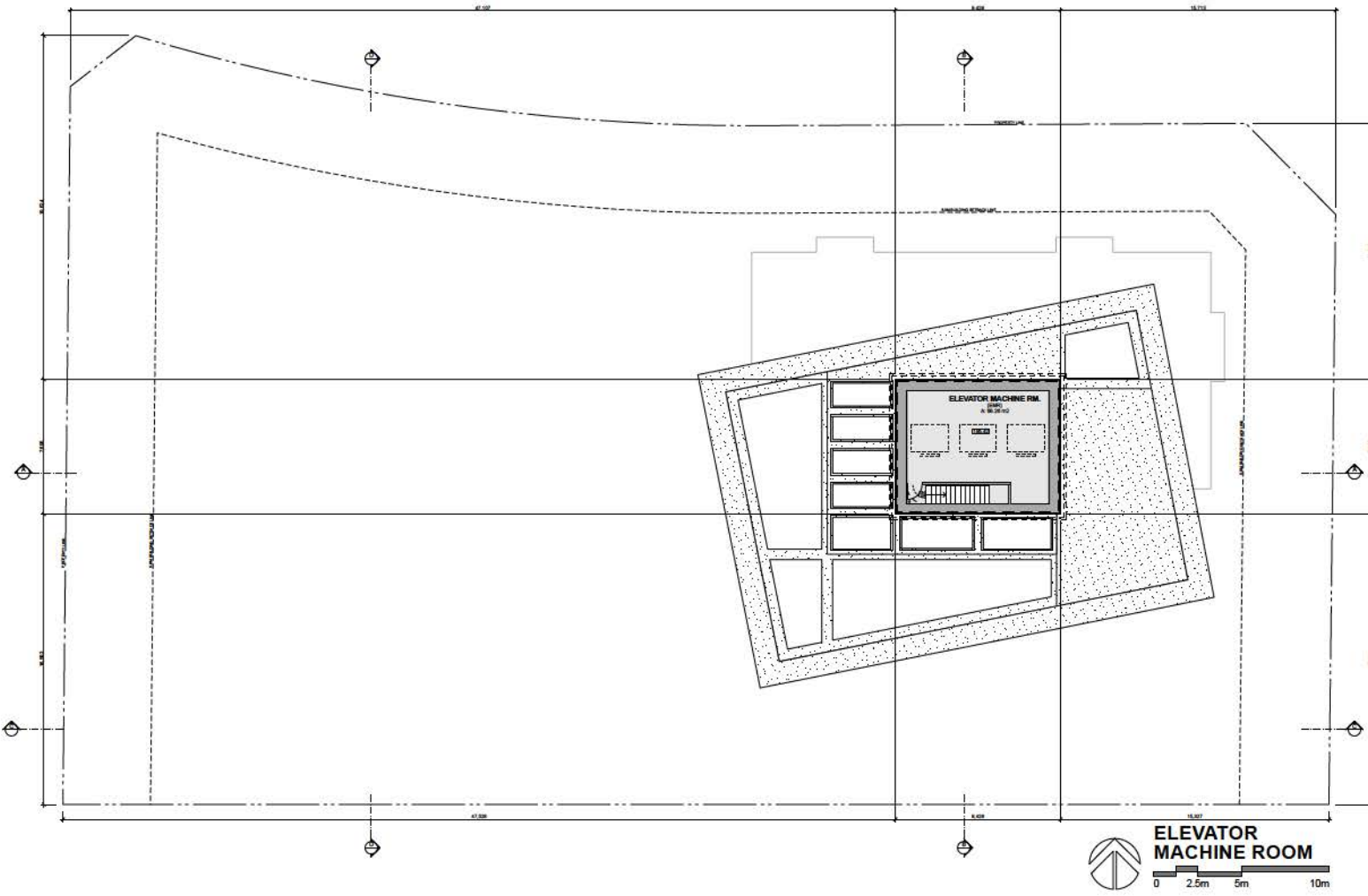
FLOOR PLANS  
 LEVEL L37 ROOF

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

PROJ. #	1112	DRAWING NUMBER
SCALE	1:100	
DRAWN		<b>A3.18</b>
CHECKED		



Volume 1 - Mechanical Plans - 11112 SURVEY TOWER/01 Drawing/01 Elevator Machine Room - Tower 01



**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
 KING GEORGE CITY CENTRE DEVELOPMENT LTD

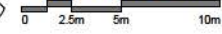
5.	R.Z./D.P. RE-SUBMISSION	MAY 09 2013
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2.	R.Z./D.P. RE-SUBMISSION	MAY 28 2013
1.	R.Z./D.P. SUBMISSION	NOV 23 2012

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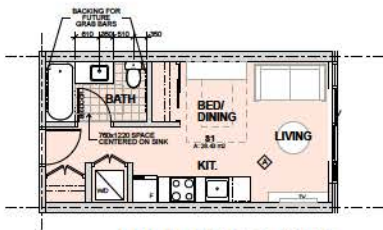
**ELEVATOR  
 MACHINE ROOM**



FLOOR PLANS  
**LEVEL L38 EMR**

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

PROJ. #	1112	DRAWING NUMBER	<b>A3.19</b>
SCALE	1:100		
DRAWN			
CHECKED			



ADAPTABLE STUDIO  
(6 PROVIDED)



ADAPTABLE 1B UNIT  
(6 PROVIDED)



ADAPTABLE 2B UNIT  
(7 PROVIDED)



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1.	R.Z./D.P. SUBMISSION	NOV 23 2014

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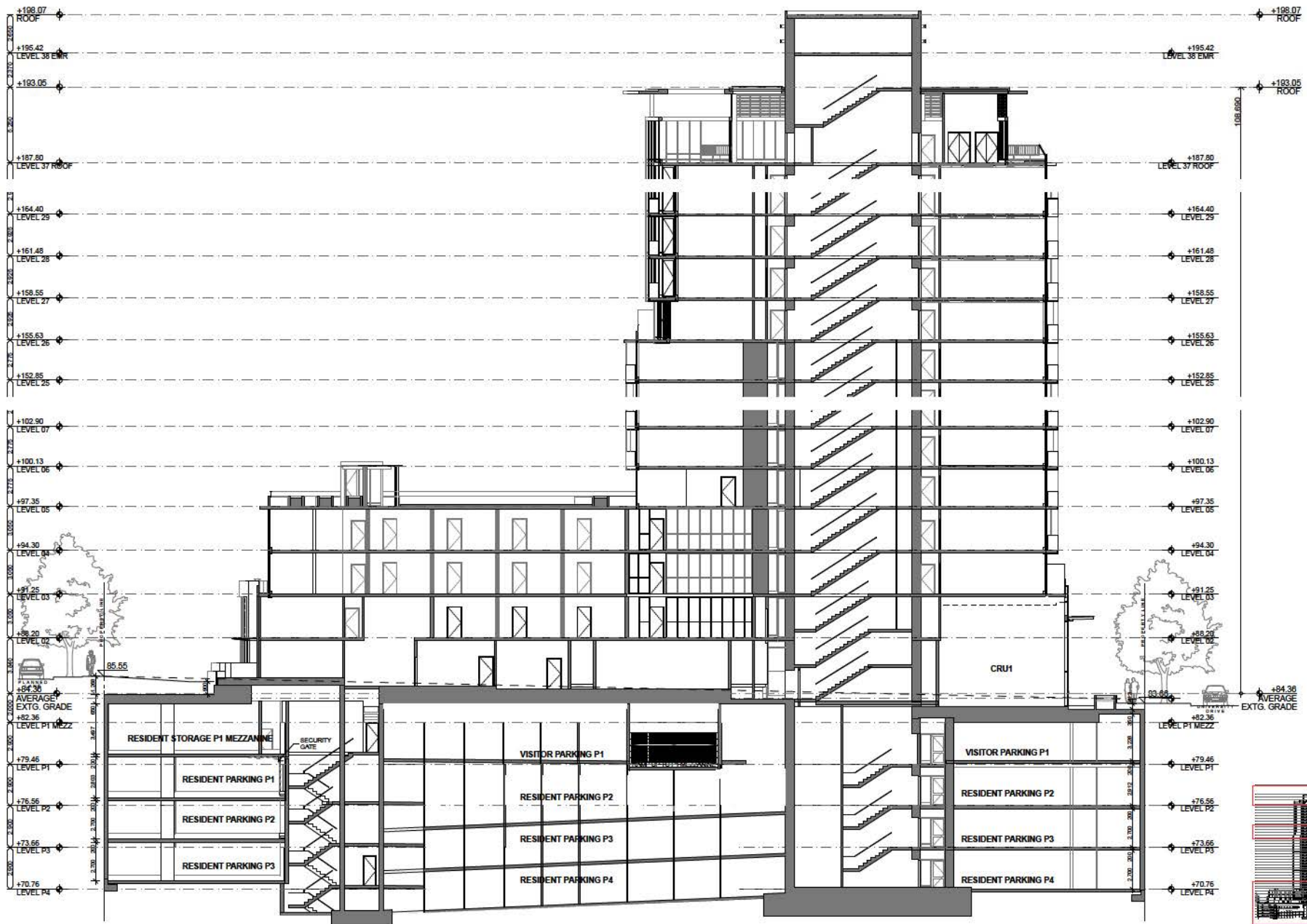
201-1444 Albert Street  
Vancouver, British Columbia  
Canada V6C 2Z4  
Tel: (604) 688 3254  
Fax: (604) 688 3323  
Email: gen@a1071111.ca

REGISTERED ARCHITECTS AND REGISTERED CONSULTANTS  
IN ACCORDANCE WITH THE ARCHITECTURE ACT  
SIGNED ON BEHALF OF THE ARCHITECTS OF BRITISH COLUMBIA  
REGISTERED ARCHITECTS OF BRITISH COLUMBIA  
REGISTERED ARCHITECTS OF BRITISH COLUMBIA

FLOOR PLANS  
ADAPTABLE UNIT  
PLANS

PROJ. #	1112	DRAWING NUMBER
SCALE		
DRAWN		
CHECKED		
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Volume: C:\Users\Administrator\Desktop\11112 SURREY TOWER\101 Drawing\101 Arch\KGA112\_Suite1\_3\_Sheet.dwg

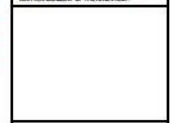


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5. R.Z./D.P. RE-SUBMISSION	MAY 10 2013
4. DP RE-SUBMISSION	APR 2013
3. ADP SUBMISSION	FEB 14 2013
2. R.Z./D.P. RE-SUBMISSION	MAY 28 2013
1. R.Z./D.P. SUBMISSION	NOV 21 2012

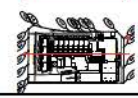
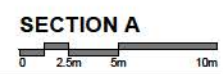
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 Vancouver, British Columbia  
 Canada V6B 3Z4  
 Tel: (604) 688-9254  
 Fax: (604) 688-9223  
 Email: gavin@binghamhill.ca



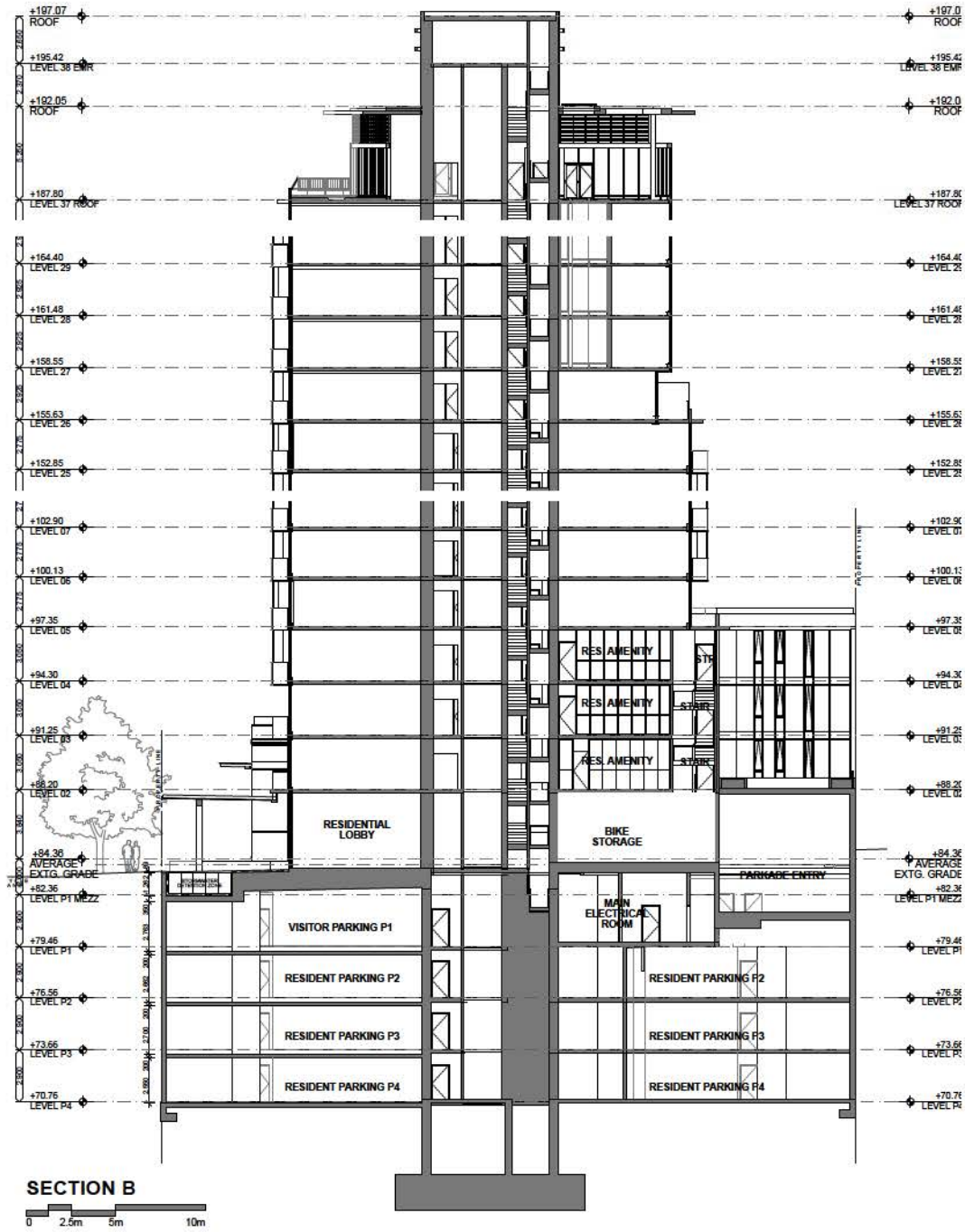
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<b>A4.01</b>	

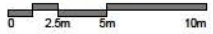


Volume 1: 103 Avenue & University Drive, Surrey, BC V3T 2Y2, Canada. Project No. 1112. Drawing No. A4.01. Date: 10/10/2013.

Volume 2 - Section B - 11112 Surrey Tower 01 - Drawing 01 - Architectural - Surrey Tower 01



**SECTION B**



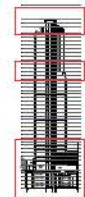
**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
 KING GEORGE CITY CENTRE DEVELOPMENT LTD

No.	REVISION	DATE
5.	R.Z./D.P. RE-SUBMISSION	MAY 09 2013
4.	DP RE-SUBMISSION	APR 2013
3.	ADP SUBMISSION	FEB 14 2013
2.	R.Z./D.P. RE-SUBMISSION	MAR 28 2013
1.	R.Z./D.P. SUBMISSION	NOV 23 2012

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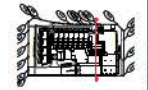
TEL: (604) 688-9254  
 FAX: (604) 688-9223  
 Email: general@binghamhill.ca



**SECTIONS**  
**SECTION B**

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

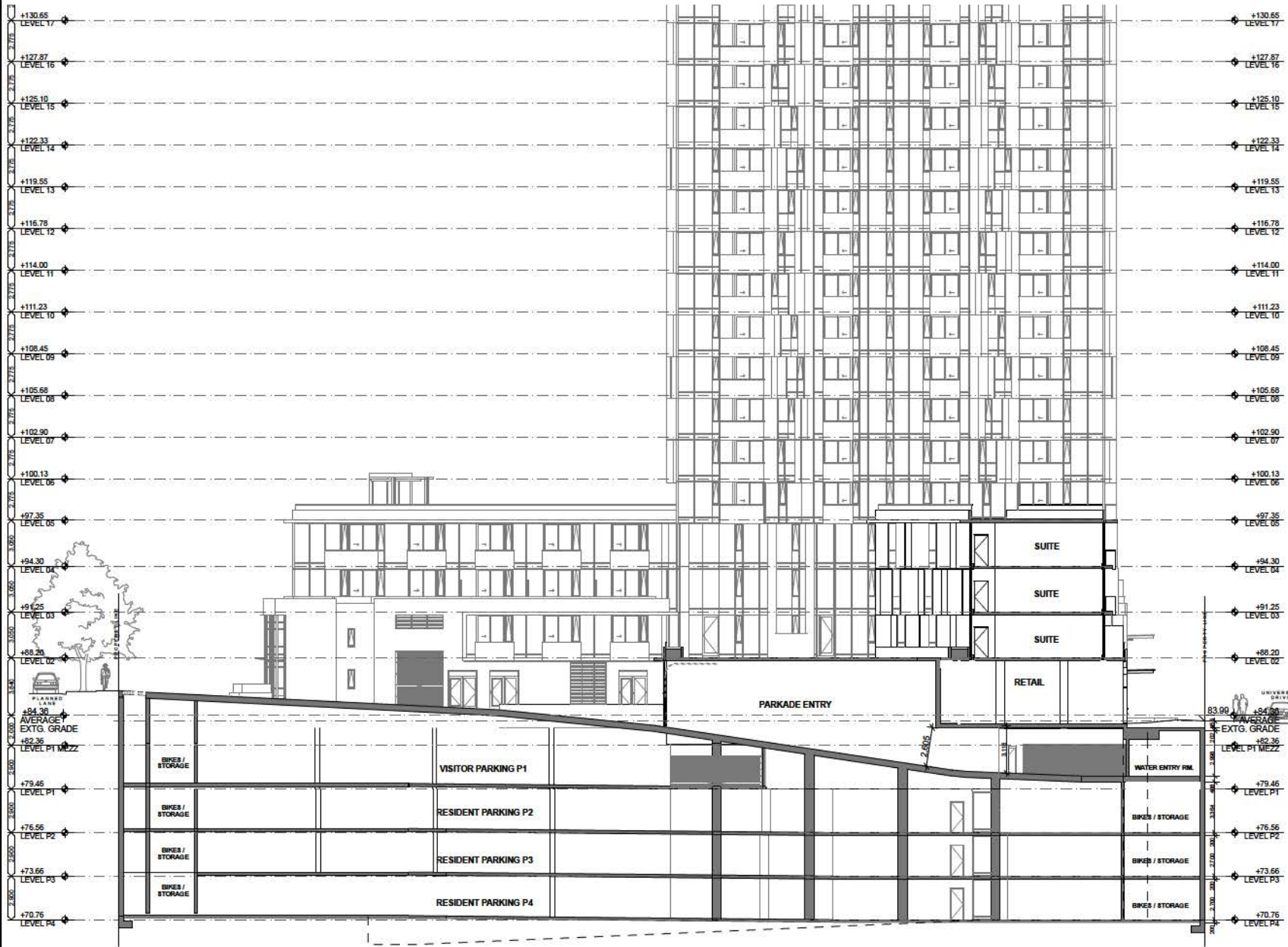
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DRAWN			
CHECKED			







**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
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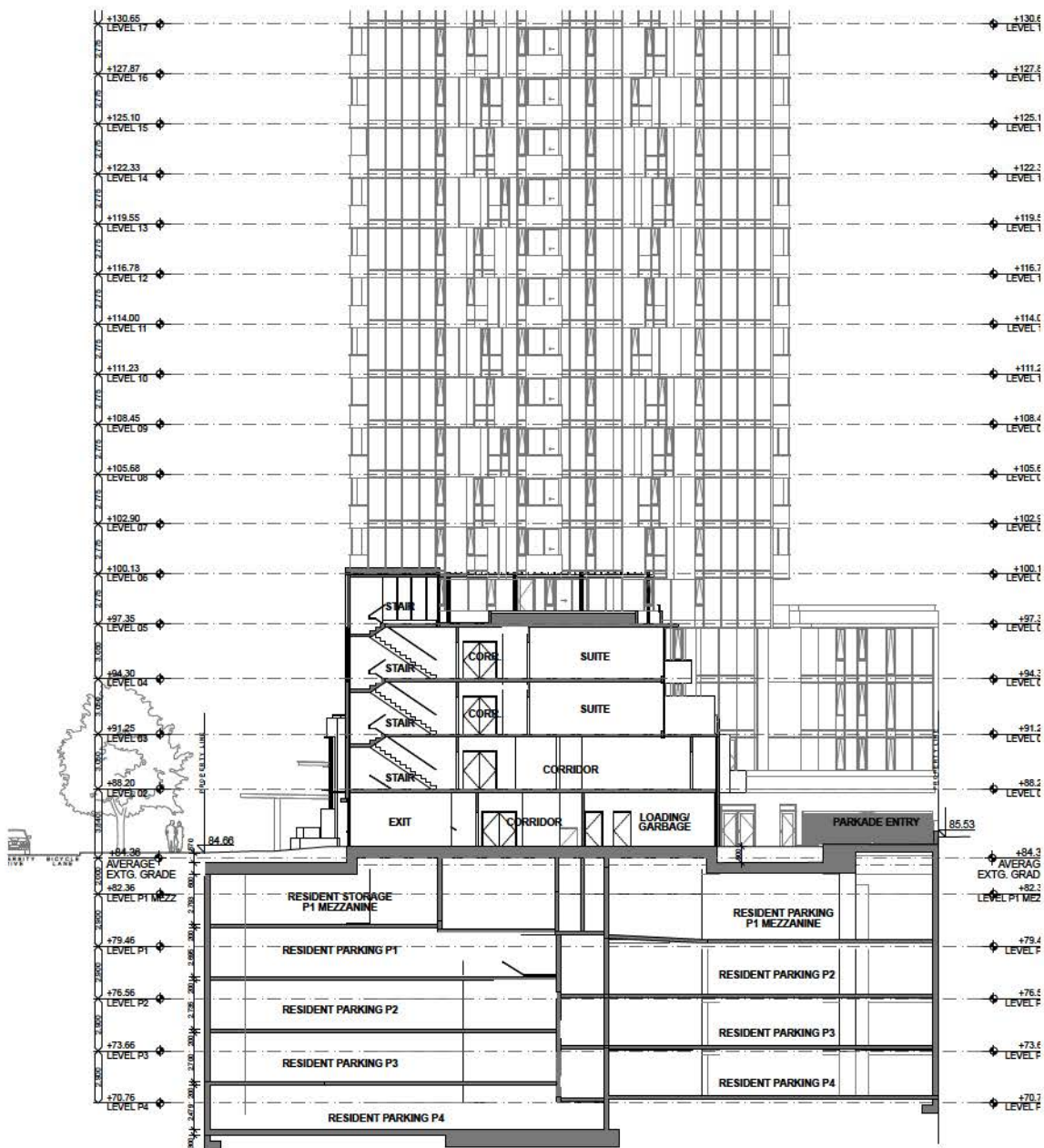
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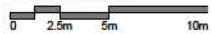
SECTIONS  
SECTION C

ALL DIMENSIONS SHALL BE VERIFIED ON SITE  
 PROJ. # 1112 DRAWING NUMBER  
 SCALE 1:100  
 DRAWN  
 CHECKED  
**A4.03**

Volume 03 - Section A4.03 - 103 Avenue & University Drive - King George City Centre Development Ltd.



**SECTION D**



**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
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2.	R.Z./D.P. RE-SUBMISSION	MAY 09 2013
1.	R.Z./D.P. SUBMISSION	NOV 23 2012

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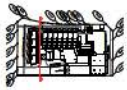
201-1444 Albert Street  
 Vancouver, British Columbia  
 Canada V6C 3Z4  
 Tel: (604) 688-9254  
 Fax: (604) 688-9323  
 Email: general@bhac.ca

REGISTERED ARCHITECTS AND ENGINEERS  
 BC REG. NO. 12011-12012-12013-12014-12015-12016-12017-12018-12019-12020-12021-12022-12023-12024  
 MEMBER, SOCIETY OF ARCHITECTS



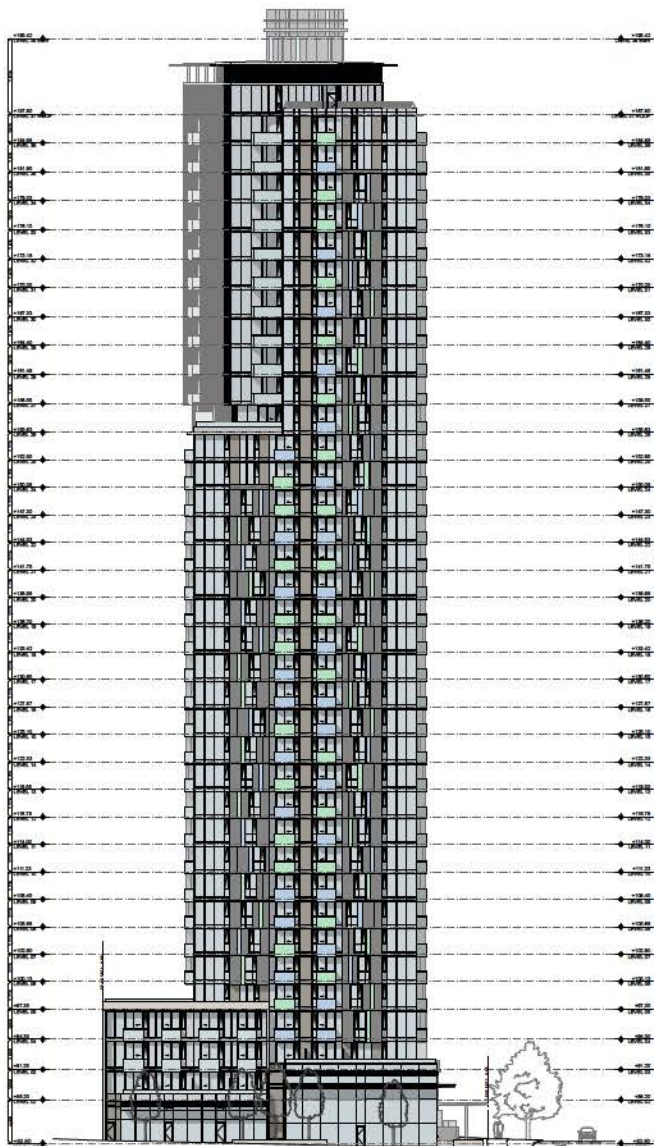
**SECTIONS**  
**SECTION D**

ALL DIMENSIONS SHALL BE VERIFIED ON SITE  
 PROJ. # 1112 DRAWING NUMBER  
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 CHECKED  
**A4.04**

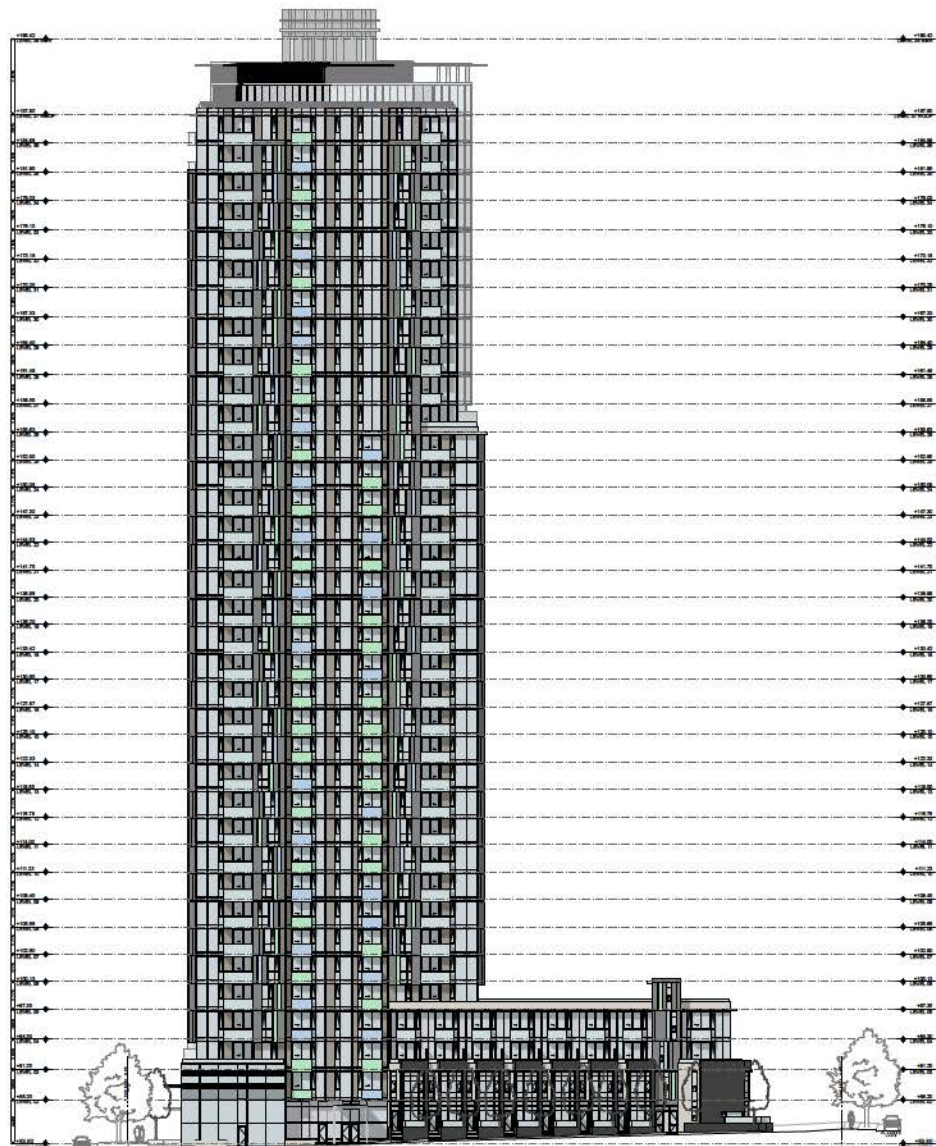




Volume 03 - Building Plans - 11112 SURREY TOWER 01 - Drawing 01 - Architectural - Tower 01



EAST ELEVATION



NORTH ELEVATION



**103 AVENUE & UNIVERSITY DRIVE**  
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2.	R.Z./D.P. RE-SUBMISSION	MAY 28 2013
1.	R.Z./D.P. SUBMISSION	NOV 23 2012

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 Canada V6G 1Z4  
 Tel: (604) 688-3551  
 Fax: (604) 688-3522  
 Email: gavin@binghamhill.ca

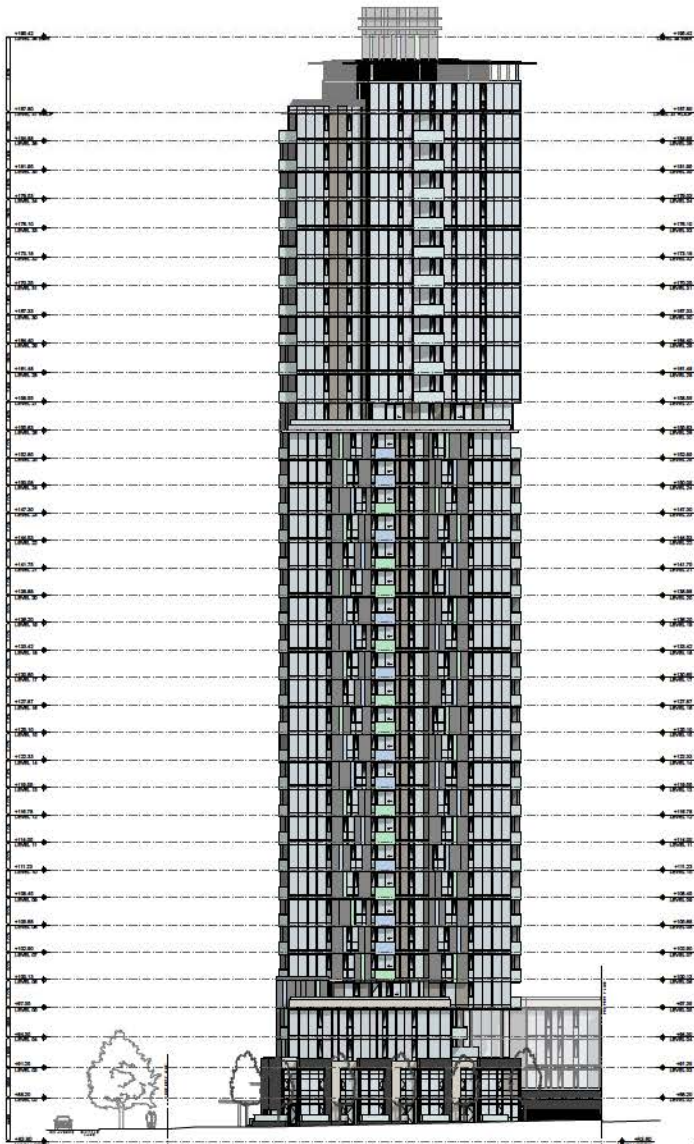
GENERAL CONTRACTOR: B.C. CENTRAL ALLIANCE  
 201-1444 Algoni Street, Vancouver, BC V6G 1Z4  
 WRITTEN CONSENT OF ARCHITECTS

ELEVATIONS  
 EAST & NORTH  
 ELEVATIONS

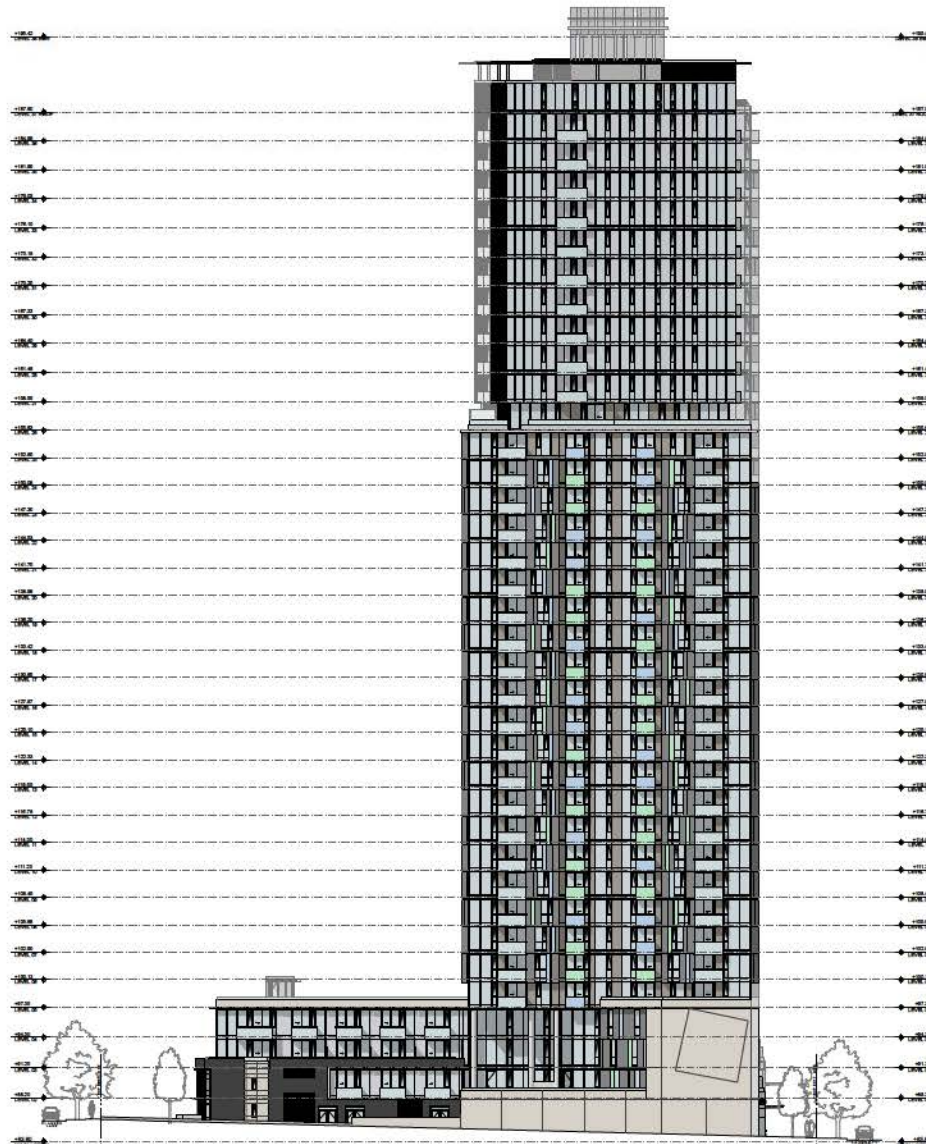
ALL DIMENSIONS SHALL BE VERIFIED ON SITE	
PROJ. #	1112
SCALE	1:200
DRAWN	
DATE	
DESIGNED	

**A5.01**





WEST ELEVATION



SOUTH ELEVATION



**103 AVENUE & UNIVERSITY DRIVE**  
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5.	R.Z./D.P. RE-SUBMISSION	MAY 04 2015
4.	DP RE-SUBMISSION	APR 2015
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2.	R.Z./D.P. RE-SUBMISSION	MAY 28 2015
1.	R.Z./D.P. SUBMISSION	NOV 23 2014

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 Canada V6A 1Z4  
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 Fax: (604) 688-3522  
 Email: gavin@bh7.com

GENERAL CONTRACTOR: THE CENTRAL ALLIANCE  
 103 AVENUE & UNIVERSITY DRIVE, SURREY, BC V3R 2C4  
 WRITTEN CONSIST OF HEADARCH.

ELEVATIONS  
 WEST & SOUTH  
 ELEVATIONS

ALL DIMENSIONS SHALL BE VERIFIED ON SITE		
PROJ. #	1112	DRAWING NUMBER
SCALE	1:200	
DRAWN		<b>A5.02</b>
CHECKED		

Volume 02 - Building Practices 11112 SURREY TOWER 01 Drawing 01 Architecture Survey Tower 01





**103 AVENUE & UNIVERSITY DRIVE**  
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**EXTERIOR FINISH SCHEDULE**

- 1 GLAZING IN ALUMINUM WINDOW WALL - TYPICAL
  - GLASS: Match Vitron Low-E TIAC-40
  - FRAME TYPICAL: Match Alico Nobel Interpon D3000 Standard Silver
- 1A GLAZING IN ALUMINUM WINDOW WALL - TOWNHOUSES
  - GLASS: Match Vitron Low-E TIAC-40
  - FRAME @ TOWNHOUSES: Match Alico Nobel Interpon D3000 Charcoal Grey
- 2 SPANDREL GLASS IN ALUMINUM FRAME
  - LIGHT: OpalCoat 300-83-1011 Silver/Ivory
  - DARK: Match OpalCoat Primary White on
- 3A PAINTED CONCRETE WALL: General Paint CL 324W Warm
- 3B PAINTED CONCRETE EYEBROW: Match General Paint CL 3241 Frost
- 3C PAINTED CONCRETE SOFFIT: General Paint CL 3241 Frost
- 4 BRICK VENEER: Nelson Clay (smooth)
- 5 ALUMINUM CURTAINWALL
  - GLASS: Match Vitron Low-E TIAC-40
  - FRAME: Match Alico Nobel Interpon D3000 Standard Silver
- 6 METAL LOUVRES, METAL DOORS & FRAMES, MISCELLANEOUS METALS
  - TYPICAL: Match Frame Typical
  - TOWNHOUSES: Match Frame @ Townhouses
- 7 ALUMINUM GUARDRAILS - TYPICAL
  - GLASS: Clear Tempered
  - FRAME TYPICAL: Match Alico Nobel Interpon Standard Silver
  - 7A GREEN GLASS: PPG Adaltec Tempered
  - 7B BLUE GLASS: PPG Akulon Tempered
- 8 ALUMINUM GUARDRAILS - TOWNHOUSES
  - GLASS: Clear Tempered
  - FRAME TOWNHOUSES: Match Alico Nobel Interpon Charcoal Grey
- 9 GLAZED CANOPY - TYPICAL
  - GLASS: Clear with White Translucent Laminated Interlayer
  - STEEL: Match Alico Nobel Interpon Standard Silver
- 10 GLAZED CANOPY - TOWNHOUSES
  - GLASS: Clear with White Translucent Laminated Interlayer
  - STEEL: Match Alico Nobel Interpon Charcoal Grey
- 11 PRIVACY SCREENS
  - GLASS: Clear with White Translucent Laminated Interlayer
  - FRAME: Match Alico Nobel Interpon Standard Silver
- 12 CEMENTITIOUS CLADDING
  - TYPICAL: Subsequent Color: Stark Coat 7020
  - 12A GREEN ACCENT: Subsequent Reflex: Green Laguna 8250
  - 12B BLUE ACCENT: Subsequent Reflex: Coral Blue 9201

(Provide material/color/finish label, or approved equivalent.)



**EAST ELEVATION**

0 2.5m 5m 10m

5. R.Z.I.P. RE-SUBMISSION	MAY 09 2015
4. DP RE-SUBMISSION	APR 2015
3. ADP SUBMISSION	FEB 14 2015
2. R.Z.I.P. RE-SUBMISSION	NOV 28 2014
1. R.Z.I.P. SUBMISSION	NOV 21 2014

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 architects

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 Vancouver, British Columbia  
 Canada V6B 7Z4  
 Tel: (604) 688 9234  
 Fax: (604) 688 9222  
 Email: general@bhvc.ca

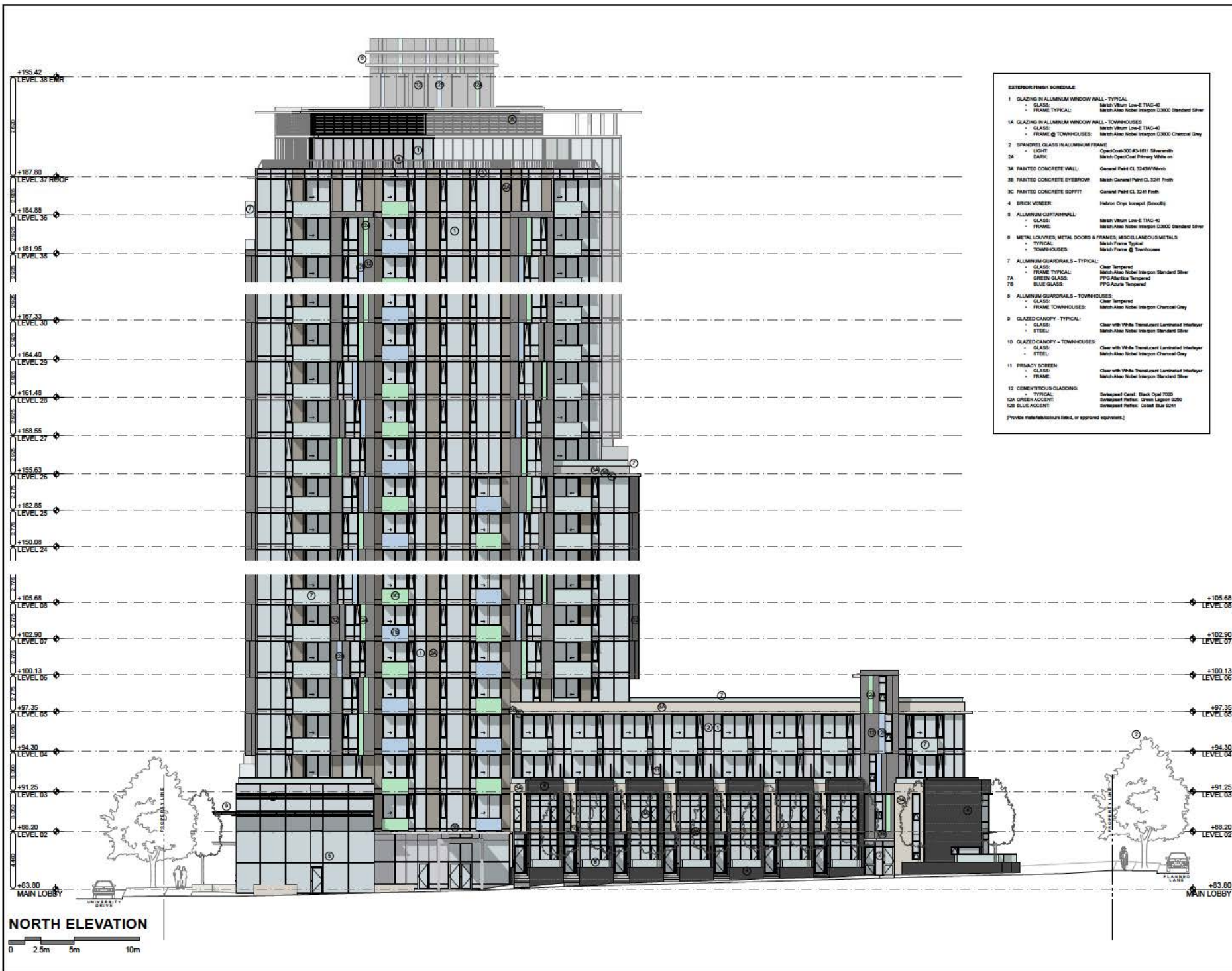
GENERAL CONTRACTOR: THE CONSTRUCTION GROUP  
 201-1444 Albert Street, Vancouver, BC V6B 7Z4  
 WWW.CONSTRUCTIONGROUP.COM

ELEVATIONS  
 EAST ELEVATION

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PROJ. #	1112	DRAWING NUMBER	<b>A5.03</b>
SCALE	1:100		
DRAWN			
CHECKED			

Vancouver/Seattle/Portland/11112 SURVEY TOWER/01 Drawing/103 Avenue/1112 Survey.dwg



**EXTERIOR FINISH SCHEDULE**

- 1 GLAZING IN ALUMINUM WINDOW WALL - TYPICAL
  - GLASS: Match Vitron Low-E TAC-40
  - FRAME TYPICAL: Match Also Nobel Interpon 0000 Standard Silver
- 1A GLAZING IN ALUMINUM WINDOW WALL - TOWNHOUSES
  - GLASS: Match Vitron Low-E TAC-40
  - FRAME @ TOWNHOUSES: Match Also Nobel Interpon 0000 Charcoal Grey
- 2 SPANDREL GLASS IN ALUMINUM FRAME
  - LIGHT: Clear/Glass 300 #3-011 Silverwith
  - GASK: Match OptiCoat Primary White on
- 3A PAINTED CONCRETE WALL: General Paint CL-324W/White
- 3B PAINTED CONCRETE EYEBROW: Match General Paint CL-3241 Froth
- 3C PAINTED CONCRETE SOFFIT: General Paint CL-3241 Froth
- 4 BRICK VENEER: Holton Crays Intercept (Smooth)
- 5 ALUMINUM CURTAINWALL:
  - GLASS: Match Vitron Low-E TAC-40
  - FRAME: Match Also Nobel Interpon 0000 Standard Silver
- 6 METAL LOUVRES, METAL DOORS & FRAMES; MISCELLANEOUS METALS:
  - TYPICAL: Match Frame Typical
  - TOWNHOUSES: Match Frame @ Townhouses
- 7 ALUMINUM GUARDRAILS - TYPICAL:
  - GLASS: Clear Tempered
  - FRAME TYPICAL: Match Also Nobel Interpon Standard Silver
- 7A GREEN GLASS: PPG Alterra Tempered
- 7B BLUE GLASS: PPG Aquala Tempered
- 8 ALUMINUM GUARDRAILS - TOWNHOUSES:
  - GLASS: Clear Tempered
  - FRAME TOWNHOUSES: Match Also Nobel Interpon Charcoal Grey
- 9 GLAZED CANOPY - TYPICAL:
  - GLASS: Clear with White Translucent Laminated Interlayer
  - STEEL: Match Also Nobel Interpon Standard Silver
- 10 GLAZED CANOPY - TOWNHOUSES:
  - GLASS: Clear with White Translucent Laminated Interlayer
  - FRAME: Match Also Nobel Interpon Charcoal Grey
- 11 PRIVACY SCREEN:
  - GLASS: Clear with White Translucent Laminated Interlayer
  - FRAME: Match Also Nobel Interpon Standard Silver
- 12 CEMENTITIOUS CLADDING:
  - TYPICAL: Silestone Carril, Blank Opal 7000
  - 12A GREEN ACCENT: Silestone Reflex, Green Lagoon 9200
  - 12B BLUE ACCENT: Silestone Reflex, Cobalt Blue 9241

[Provide manufacturer's label, or approved equivalent.]

**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
 KING GEORGE CITY CENTRE DEVELOPMENT LTD

5. R.Z.I.P. RE-SUBMISSION	MAY 19 2015
4. DP RE-SUBMISSION	APR 2015
3. ADP SUBMISSION	FEB 14 2015
2. R.Z.I.P. RE-SUBMISSION	MAY 28 2015
1. R.Z.I.P. SUBMISSION	NOV 23 2014

**bingham+hill**  
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 Vancouver, British Columbia  
 Canada V6C 3Z4  
 Tel: (604) 688-9254  
 Fax: (604) 688-9222  
 Email: general@bhinc.ca

GENERAL CONTRACTOR: THE CENTRAL QUALITY GROUP INC. (P.O. BOX 1010, 1010 10TH AVENUE, SURREY, BC V3R 4S4)  
 ARCHITECTURAL CONSULTANT: KING GEORGE CITY CENTRE DEVELOPMENT LTD

**ELEVATIONS**  
**NORTH ELEVATION**

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

PROJ. #	1112	DRAWING NUMBER	<b>A5.04</b>
SCALE	1:100		
DRAWN			
CHECKED			

A:\Projects\103 Avenue & University Drive\1112 Surrey Tower\1112 Surrey Tower\Architectural\1112 Surrey Tower.dwg



**EXTERIOR FINISH SCHEDULE**

- 1 GLAZING IN ALUMINUM WINDOW WALL - TYPICAL
    - GLASS: Match Vitron Low-E TIAC-40
    - FRAME TYPICAL: Match Alico Nobel Interpon D3000 Standard Silver
  - 1A GLAZING IN ALUMINUM WINDOW WALL - TOWNHOUSES
    - GLASS: Match Vitron Low-E TIAC-40
    - FRAME @ TOWNHOUSES: Match Alico Nobel Interpon D3000 Charcoal Grey
  - 2 SPANDREL GLASS IN ALUMINUM FRAME
    - LIGHT: OpacCoat 300 #3-1811 Silverwhite
    - DARK: Match OpacCoat Primary White on
  - 3A PAINTED CONCRETE WALL: General Paint CL 324W Warm
  - 3B PAINTED CONCRETE EYEBROW: Match General Paint CL 3241 Frost
  - 3C PAINTED CONCRETE SOFFIT: General Paint CL 3241 Frost
  - 4 BRICK VENEER: Nelson Clay (smooth)
  - 5 ALUMINUM CURTAINWALL
    - GLASS: Match Vitron Low-E TIAC-40
    - FRAME: Match Alico Nobel Interpon D3000 Standard Silver
  - 6 METAL LOUVRES, METAL DOORS & FRAMES, MISCELLANEOUS METALS:
    - TYPICAL: Match Frame Typical
    - TOWNHOUSES: Match Frame @ Townhouses
  - 7 ALUMINUM GUARDRAILS - TYPICAL
    - GLASS: Clear Tempered
    - FRAME TYPICAL: Match Alico Nobel Interpon Standard Silver
  - 7A GREEN GLASS: PPG Absolute Tempered
  - 7B BLUE GLASS: PPG Azure Tempered
  - 8 ALUMINUM GUARDRAILS - TOWNHOUSES
    - GLASS: Clear Tempered
    - FRAME TOWNHOUSES: Match Alico Nobel Interpon Charcoal Grey
  - 9 GLAZED CANOPY - TYPICAL
    - GLASS: Clear with White Translucent Laminated Interlayer
    - STEEL: Match Alico Nobel Interpon Standard Silver
  - 10 GLAZED CANOPY - TOWNHOUSES
    - GLASS: Clear with White Translucent Laminated Interlayer
    - STEEL: Match Alico Nobel Interpon Charcoal Grey
  - 11 PRIVACY SCREEN:
    - GLASS: Clear with White Translucent Laminated Interlayer
    - FRAME: Match Alico Nobel Interpon Standard Silver
  - 12 CEMENTITIOUS CLADDING:
    - TYPICAL: Sidelux® Coat, Stark Coat 7020
    - GREEN ACCENT: Sidelux® Reflex, Green Lagoon 8250
    - BLUE ACCENT: Sidelux® Reflex, Coast Blue 9241
- (Provide material/colour name, lot, or approved equivalent.)



**WEST ELEVATION**



**103 AVENUE & UNIVERSITY DRIVE**  
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 KING GEORGE CITY CENTRE DEVELOPMENT LTD

5.	R.Z.I.P. RE-SUBMISSION	MAY 19 2015
4.	DP RE-SUBMISSION	APR 2015
3.	ADP SUBMISSION	FEB 14 2015
2.	R.Z.I.P. RE-SUBMISSION	NOV 28 2014
1.	R.Z.I.P. SUBMISSION	NOV 21 2014

**bingham+hill**  
 architects

201-1444 Albert Street  
 Vancouver, British Columbia  
 Canada V6G 2V4  
 Tel: (604) 688-9234  
 Fax: (604) 688-9232  
 Email: general@bhinc.ca

**ELEVATIONS**  
**WEST ELEVATION**

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

PROJ. #	1112	DRAWING NUMBER
SCALE	1:100	
DRAWN		<b>A5.05</b>
CHECKED		

Volume 1: Main and Preliminary Drawings, Tower 103, King George City Centre Development Ltd, Surrey, BC

**EXTERIOR FINISH SCHEDULE**

- 1 GLAZING IN ALUMINUM WINDOW WALL - TYPICAL
    - GLASS: Match Wron Low-E TAC-40
    - FRAME TYPICAL: Match Alico Nobel Interpon D3000 Standard Silver
  - 1A GLAZING IN ALUMINUM WINDOW WALL - TOWNHOUSES
    - GLASS: Match Wron Low-E TAC-40
    - FRAME @ TOWNHOUSES: Match Alico Nobel Interpon D3000 Charcoal Grey
  - 2 SPANDELS GLASS IN ALUMINUM FRAME
    - LIGHT: OpacCoat-300-63-1611 Silverwhite
    - DARK: Match OpacCoat Primary White on
  - 3A PAINTED CONCRETE WALL: General Paint CL 324M Wood
  - 3B PAINTED CONCRETE EYEBROW: Match General Paint CL 3241 Froth
  - 3C PAINTED CONCRETE SOFFIT: General Paint CL 3241 Froth
  - 4 BRICK VENEER: Hexion Oxy (Smooth)
  - 5 ALUMINUM CURTAINWALL:
    - GLASS: Match Wron Low-E TAC-40
    - FRAME: Match Alico Nobel Interpon D3000 Standard Silver
  - 6 METAL LOUVRES, METAL DOORS & FRAMES, MISCELLANEOUS METALS:
    - TYPICAL: Match Frame Typical
    - TOWNHOUSES: Match Frame @ Townhouses
  - 7 ALUMINUM GUARDRAILS - TYPICAL:
    - GLASS: Clear Tempered
    - FRAME TYPICAL: Match Alico Nobel Interpon Standard Silver
  - 7A GREEN GLASS: PFG Absolute Tempered
  - 7B BLUE GLASS: PFG Azure Tempered
  - 8 ALUMINUM GUARDRAILS - TOWNHOUSES:
    - GLASS: Clear Tempered
    - FRAME TOWNHOUSES: Match Alico Nobel Interpon Charcoal Grey
  - 9 GLAZED CANOPY - TYPICAL:
    - GLASS: Clear with White Translucent Laminated Interlayer
    - STEEL: Match Alico Nobel Interpon Standard Silver
  - 10 GLAZED CANOPY - TOWNHOUSES:
    - GLASS: Clear with White Translucent Laminated Interlayer
    - STEEL: Match Alico Nobel Interpon Charcoal Grey
  - 11 PRIVACY SCREENS:
    - GLASS: Clear with White Translucent Laminated Interlayer
    - FRAME: Match Alico Nobel Interpon Standard Silver
  - 12 CEMENTITIOUS CLADDING:
    - TYPICAL: Selsopanel Corel - Stark Opal 7033
    - 12A GREEN ACCENT: Selsopanel Panel - Green Lagoon 9250
    - 12B BLUE ACCENT: Selsopanel Panel - Cobalt Blue 9241
- (Provide material/finish labels, or approved equivalent.)



**103 AVENUE & UNIVERSITY DRIVE**  
 SURREY, BRITISH COLUMBIA, CANADA  
 KING GEORGE CITY CENTRE DEVELOPMENT LTD

5.	R.Z./D.P. RE-SUBMISSION	MAY 19 2015
4.	DP RE-SUBMISSION	APR 20 2015
3.	ADP SUBMISSION	FEB 14 2015
2.	R.Z./D.P. RE-SUBMISSION	MAR 28 2015
1.	R.Z./D.P. SUBMISSION	NOV 23 2014

**bingham+hill architects**

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 Canada V6B 7Z4  
 Tel: (604) 688-9254  
 Fax: (604) 688-9323  
 Email: general@bhill.ca

PROFESSIONAL ARCHITECTS  
 REGISTRATION NO. 12345  
 REGISTRATION NO. 67890  
 REGISTRATION NO. 12345  
 REGISTRATION NO. 67890  
 REGISTRATION NO. 12345  
 REGISTRATION NO. 67890

**ELEVATIONS SOUTH ELEVATION**

ALL DIMENSIONS SHALL BE VERIFIED ON SITE  
 PROJ. # 1112 DRAWING NUMBER  
 SCALE 1:100  
 DRAWN  
 CHECKED  
**A5.06**









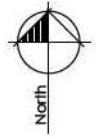
Refer to Sheet L-3 for Plant List

4	May 13, 2013	RZDP Re-submission	Issued for DP
3	Nov 21, 2012	Issued for review	Issued for review
2	October 2012	Issued for review	Issued for review
1	August 2012	Issued for review	Issued for review
	no.	date	item

Revisions:



Durante Kruuk Ltd.  
102 - 1637 West 8th Avenue  
Vancouver BC V6J 1K5  
t: 604 684-4011  
f: 604-684-0277  
www.dk.ca

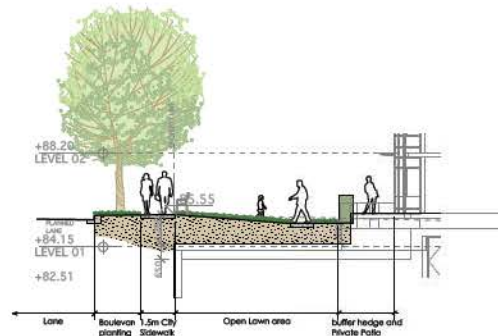
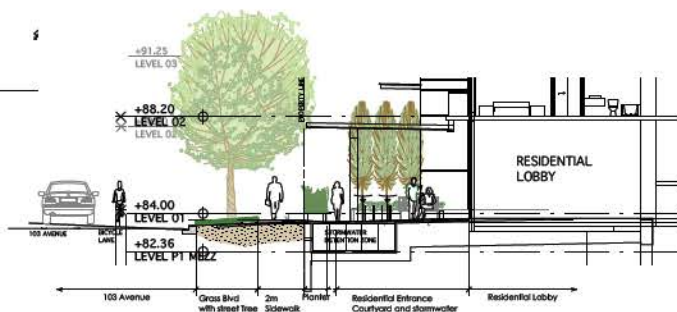


Project:  
**SURREY TOWER**  
103 AVENUE & UNIVERSITY DRIVE

Drawn by:	SJV
Checked by:	PK
Date:	August 2012
Scale:	1:150
Drawing Title:	

**Ground Floor, Level 2 and Level 3 Landscape**

Project No.:  
**12056**  
Sheet No.:



Townhouse planting

Open Lawn with shallow swale

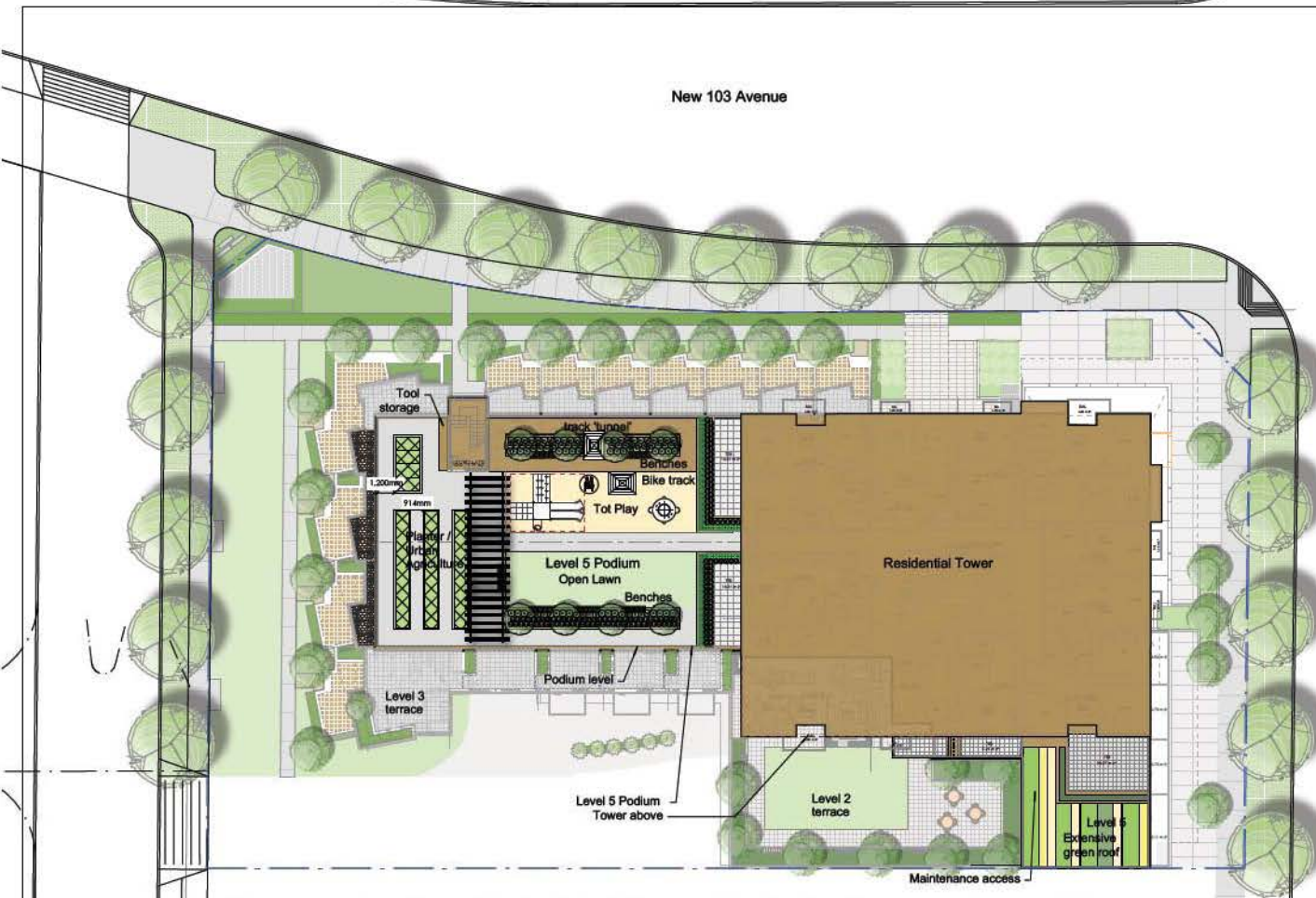
1 Section at 103 Ave  
Scale 1:100

2 Section at Land and Outdoor Amenity Area  
Scale 1:100



New 103 Avenue

University Drive

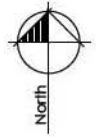


- 4 May 13, 2013 RZDP Re-submission
- 3 Nov 21, 2012 Issued for GP
- 2 October 2012 Issued for review
- 1 August 2012 Issued for review

Revisions:



Duranik Kruuk Ltd.  
 102 - 1637 West 8th Avenue  
 Vancouver BC V6J 1K5  
 t: 604-684-0111  
 f: 604-684-0277  
 www.dk.ca



Project:  
**SURREY TOWER**  
 103 AVENUE & UNIVERSITY DRIVE

Drawn by: SJV  
 Checked by: PK  
 Date: August 2012  
 Scale: 1:150  
 Drawing Title:

**Level 5**

Project No.:  
**12056**  
 Sheet No.:



Children's Play



Urban Agriculture



Extensive Green Roof





New 103 Avenue

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
1	1	<i>Acer palmatum</i>	Japanese Maple	7cm Cal. 8&8
2	2	<i>Acer falsifolium 'Nakuru'</i>	Kobura Japanese maple	Multi-Stem 8&8
1	1	<i>Cornus controversa</i>	Redspike Dogwood	Snowdrum 8cm Cal.
13	13	<i>Magnolia kobus</i>	Kobushi Magnolia	7cm Cal. 8&8
5	5	<i>Prunella pensilv.</i>	Pensilv. honeysuckle	7cm Cal. 8&8
3	3	<i>Ribes cereum</i>	Siberian Service	8" H 8&8
32	32	<i>Prunella heterocarpa 'Ereola'</i>	Columbian Twinning Asian	7cm Cal. 8&8
13	13	<i>Spiraea obovata</i>	Prospira Snowpetal	7cm Cal. 8&8
12	12	<i>Spiraea T&amp;D by City of Surrey</i>		7cm Cal. 8&8

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>SHRUBS</b>				
A	90	<i>Abelia japonica 'Dunrobin White'</i>	White Flowered Abelia	92 pot
D	75	<i>Buxa microphylla 'Winter Gem'</i>	Winter Gem Boxwood	43 pot
Cl	279	<i>Chaenya tomentosa</i>	Mexican Orange	92 pot
lp	75	<i>Lonicera pileata</i>	Boxleaf Honeysuckle	92 pot
nd	30	<i>Nandina domestica 'Gulf Stream'</i>	Heavenly Nandina	92 pot
rs	40	<i>Physocarpus opulifolius</i>	Dark Gold Russian	92 pot
Rs	21	<i>Rhododendron 'Snow Lady'</i>	Snow Lady Rhododendron	92 pot
U	49	<i>Scirpus japonica</i>	Japanese Sumire	92 pot
U	308	<i>Taxus canadensis 'Nicta'</i>	Red Hedge	4" H 8&8

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>PERENNIALS, GRASSES, VINES</b>				
A	18	<i>Achillea millefolium</i>	Chicory Root	92 pot
A	345	<i>Antirrhinum majus 'Yellow Zebra'</i>	Antirrhinum	92 pot
Ca	96	<i>Callitriche aquifolium 'Earl Fostler'</i>	Tea Tree Holly	92 pot
F	37	<i>Fuchsia gracilis 'Evelyn's Blue'</i>	Blue Blue Fuchsia	92 pot
He	131	<i>Hebe pinnatifida 'Sammerville'</i>	Blue Star Hebe	92 pot
Lu	132	<i>Lonicera caerulea 'Majestic Blue'</i>	Majestic Blue English Lavender	92 pot
U	132	<i>Lythrum spicata</i>	Lythrum	92 pot
Mi	75	<i>Miscanthus sinensis 'Adagio'</i>	Adagio Maiden Grass	92 pot
Pm	12	<i>Posidonium maritimum</i>	Waxen Seaside Palm	92 pot

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>FLOWERING PERENNIAL MIX</b>				
		<i>Heuchera microphylla</i>	Cervine Alumroot	92 pot
		<i>Echinacea purpurea 'Sunset'</i>	Orange Flowered Echinacea	92 pot
		<i>Achillea millefolium</i>	Yarrow	92 pot
		<i>Silene tenuifolia</i>	American Rock-rose Grass	92 pot
		<i>Lythrum spicata</i>	Lythrum	92 pot
		<i>Thymus x marshallii</i>	Siberian Wallflower	92 pot
		<i>Rubus coccineus 'Fireball Carpet'</i>	Creeping Raspberry	92 pot

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>URBAN AGRICULTURAL AREAS-TEMPORARY PLANTING</b>				
		<i>Achillea millefolium 'White Beauty'</i>	White Yarrow	92 pot
		<i>Echinacea purpurea</i>	Schizopoda	92 pot
		<i>Lythrum spicata</i>	Cayenne	92 pot
		<i>Chrysanthemum vulgare</i>	Chrysanthemum	92 pot
		<i>Diogenes wagneri 'Aureum'</i>	Golden Diogenes	92 pot
		<i>Sedum album</i>	Sage	92 pot
		<i>Sedum spectabile</i>	Autumn Spurge	92 pot
		<i>Artemisia officinalis</i>	Rowanberry	92 pot
		<i>Thymus vulgaris</i>	Woolly Thyme	92 pot

- All work shall meet or exceed the requirements as outlined in the current edition of the B.C. Landscape Standards.
- Plant cans and mixed container sizes are specified according to the B.C. Landscape Standards current edition. For container sizes 48 and smaller, plant cans shall be as shown in the plant list and the Manufacturer; for other plants, bush plant size and container sizes shall be as shown in the plant list. Specifically, when the plant list calls for 95 class, containers, these shall be as defined in the B.C.M.A. Standards.
- All 200L Landscape Areas are to be irrigated. All irrigation to be to IANCS Standards.
- All trees to be installed in accordance with B.C.M.A. Standards.
- All plants are to be sourced from nurseries certified free of P. ramorum.



Patio with planting - low wall treatment



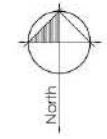
Social spaces



Interaction with plants

- 4 May 18, 2012 9:00 AM - 9:00 AM
- 3 May 21, 2012 10:00 AM - 10:00 AM
- 2 October 2012 10:00 AM - 10:00 AM
- 1 August 2012 10:00 AM - 10:00 AM

**dk**  
 DESIGN KIM LEE  
 102 - 1107 West 5th Avenue  
 Vancouver BC V6J 1K5  
 T: 604 684 4511  
 F: 604 684 4517  
 www.dkl.com



Project:  
**SURREY TOWER**  
 103 AVENUE & UNIVERSITY DRIVE

Drawn by: SJV  
 Checked by: PH  
 Date: August 2012  
 Scale: 1:100

Drawing title:  
**Roof Top Landscape**

Project No.:  
**12056**

Sheet No.:  
**L-3 of 3**





Tuesday, December 18, 2012  
**Planning**

**THE IMPACT ON SCHOOLS**

APPLICATION #: 7912 0327 00

**SUMMARY**

The proposed 375 highrise units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

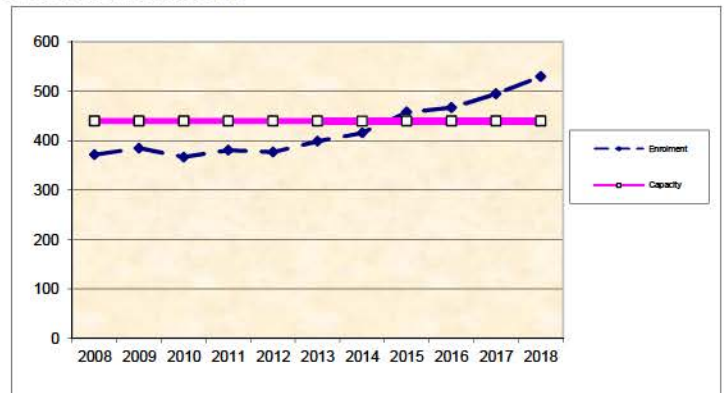
Elementary Students:	9
Secondary Students:	4

September 2012 Enrolment/School Capacity

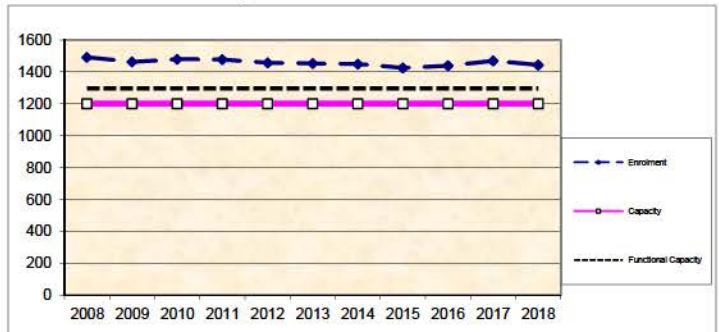
<b>Old Yale Road Elementary</b>	
Enrolment (K/1-7):	56 K + 321
Capacity (K/1-7):	40 K + 400
<b>Kwantlen Park Secondary</b>	
Enrolment (8-12):	1457
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12):	1296

**School Enrolment Projections and Planning Update:**  
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.  
 There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. The District is considering possible enrolment move options to eliminate projected overcrowding at Kwantlen Park Secondary School. The densification of City Centre will result in additional learning space needs in the area. Consideration by the City of development which provides public amenity space (including the possibility of public learning centre space) in order to achieve bonus densities in Surrey City Centre is encouraged, to avoid future overcrowding at existing schools, including KB Woodward Elementary, Old Yale Elementary, Lena Shaw Elementary and Kwantlen Park Secondary.

**Old Yale Road Elementary**



**Kwantlen Park Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



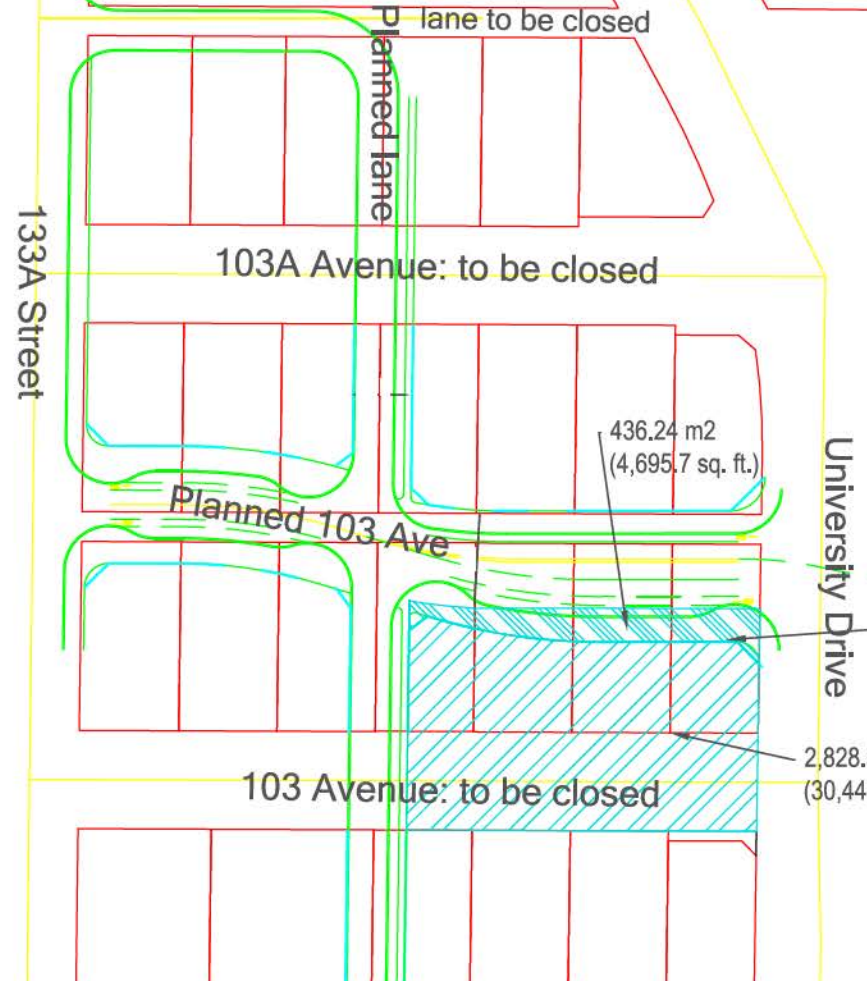


**NOTES:**

1. Pvmnt widths are typical and subject to change
2. Design of transition may impact preliminary area calculations
3. Road names are proposed only and subject to change

**LEGEND:**

EXISTING ROAD CL  
 PROPOSED KGH CL  
 NEW LEGAL PLAN  
 PROPOSED SRW  
 FUT EOP  
 EXISTING LEGAL



**PRELIMINARY**  
 FOR DISCUSSION ONLY

Engineering Department - Transportation Division  
 14245 - 56 Ave, Surrey, BC, Canada V3X 3A2  
 T 604.598.5852 | F 604.591.8693 | [www.surrey.ca/transportation](http://www.surrey.ca/transportation)



Scale: -  
 Designed: PB Drawn: LFM  
 Surrey File No.: -  
 Date: MARCH 2011

Drawing No.: 103-13400/13300

**SURREY CITY CENTRE: PROPOSED ROAD NETWORK**  
 103 AVENUE FROM UNIVERSITY DRIVE TO 133 STREET

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes and legal descriptions must be confirmed at the Land Title Office.

Revision No.: 1

No.	Date	Drwn.

CITY OF SURREY

BY-LAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 008-715-904

Lot 8 Except: Part Dedicated Road on Plan LMP23167, Block B Section 27 Block 5 North Range 2 West New Westminster District Plan 1726

13431 - 103 Avenue

Parcel Identifier: 008-898-243

Lot 9 Block "B" Section 27 Block 5 North Range 2 West New Westminster District Plan 1726

13419 - 103 Avenue

Parcel Identifier: 012-326-798

Lot 10 Block "B" Section 27 Block 5 North Range 2 West New Westminster District Plan 1726

13409 - 103 Avenue

Parcel Identifier: 009-360-450

Lot 11 Block "B" Section 27 Block 5 North Range 2 West New Westminster District Plan 1726

13399 - 103 Avenue

Parcel Identifier: 028-947-827

Parcel 1 of Section 27 Block 5 North Range 2 West New Westminster District Shown on Plan BCP1589

Portion of 103 Avenue road allowance as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by Scott E. Netherton, B.C.L.S. on the 4th day of July, 2013, containing 0.145 hectare, called Block A.

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of high *density*, high-rise *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, and commercial uses, which are to be developed in accordance with a *comprehensive design*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*.
2. The following uses, provided that any one of these uses or a combination thereof do not constitute a singular use on the *lot*:
  - (a) *Retail stores* excluding *adult entertainment stores*, *secondhand stores* and *pawnshops*;
  - (b) *Personal service uses* excluding *body rub parlours*;
  - (c) *General service uses* excluding funeral parlours and *drive-through banks*.
  - (d) *Eating establishments* with a maximum floor area of 150 square metres [1,615 sq.ft.], excluding *drive-through restaurants*; and
  - (e) Office uses excluding *social escort services* and *methadone clinics*.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. The *floor area ratio* shall not exceed 8.4.

2. Notwithstanding an air space subdivision, the air space parcels and the remainder lot of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section D.1 of this Zone.
3. The indoor *amenity space* required in Section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

The *lot coverage* shall not exceed 50%, except for air space parcels which shall be a maximum of 100%.

**F. Yards and Setbacks**

1. *Buildings* and *structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Use</b>	<b>Setback</b>	103 Avenue	University Drive	South	West
<i>Buildings and Structures</i>		5 metres [16 ft.]	5 metres [16 ft.]	0 metre [0 ft.]	9.7 metres [32 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1, the setback for *buildings* and *structures* may be reduced to zero for interior *lot lines*.
3. Notwithstanding Section F.1, stairs may be sited up to 2.5 metres [8.2 ft.] from the 103 Avenue *lot line*, the patios may be sited up to 2.8 metres [9.2 ft.] from the 103 Avenue *lot line* and a canopy encroachment may be sited up to 3.0 metres [10 ft.] from the 103 Avenue *lot line*.
4. Notwithstanding Section F.1, a canopy encroachment may be permitted up to 3.0 metres [10 ft.] from the University Drive *lot line*.
5. Notwithstanding Section F.1, patios may be sited up to 7.0 metres [23 ft.] from the west *lot line*.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 110 metres [360 ft].
2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [14.8 ft].

## H. Off-Street Parking

1. Notwithstanding Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, resident parking for the *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings* shall be at 0.5 *parking space* for every *studio dwelling unit*, at 0.75 *parking space* for every 1 bedroom *dwelling unit*, at 1.0 *parking space* for every 2 or more bedrooms *dwelling unit* and at 0.09 *parking space* for every *dwelling unit* for visitors.
2. Notwithstanding Table C.2 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, no *parking spaces* are required for the commercial uses.
3. All required resident and visitor *parking spaces* shall be provided as *underground parking*.
4. Notwithstanding Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, bicycle storage for *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings* shall be provided at 1.01 *bicycle spaces per dwelling unit*.
5. Notwithstanding Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, bicycle storage shall not be required for commercial uses.
6. Notwithstanding Sub-section A.2(c) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, the *underground parking facility* may extend to all the *lot lines*.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Garbage containers and *passive recycling containers* shall be located within the *building* or within the *underground parking*.



**J. Special Regulations**

1. *Amenity space* shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* which are not *ground-oriented*:
  - (a) *Balconies* shall be a minimum of 4.6 square metres [50 sq.ft.] per *dwelling unit*; and
  - (b) Notwithstanding Sub-section J.2(a), *balconies* may be less than the minimum 4.6 square metres [50 sq.ft.] per *dwelling unit*, for a maximum of 60% of the *dwelling units*.

**K. Subdivision**

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Length</i>
2,800 sq. m. [0.69 acre]	38 metres [125 ft.]	72 metres [236 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

2. Air space parcels created through subdivision in this Zone are not subject to Section K.1, but shall comply with the provisions in the Land Title Act R.S.B.C., 1996 chapter 250, as amended.

**L. Other Regulations**

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RMC-150 Zone in the

City Centre, as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.

3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2013, No. 17856, as may be amended or replaced from time to time, and the development cost charges shall be based on the RMC-150 Zone in the City Centre.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

READ A FIRST AND SECOND TIME on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

READ A THIRD TIME ON THE \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No. \_\_\_\_\_  
 OVER PARCEL '1' OF SECTION 27 BLOCK 5 NORTH RANGE 2 WEST  
 NEW WESTMINSTER DISTRICT SHOWN ON PLAN BCP51589  
 BCGS 92G.016**

**LEGEND**

- ⊙ DENOTES CONTROL MONUMENT FOUND
- DENOTES STANDARD IRON POST FOUND
- (c) DENOTES CALCULATED

BOOK OF REFERENCE	
DESCRIPTION	AREA
PARCEL 1 OF SECTION 27 BLOCK 5 NORTH RANGE 2 WEST NWD SHOWN ON PLAN BCP51589	0.146 ha

**INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83 (CSRS)**

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN  
 GEODETIC CONTROL MONUMENTS 5251 AND 8717.

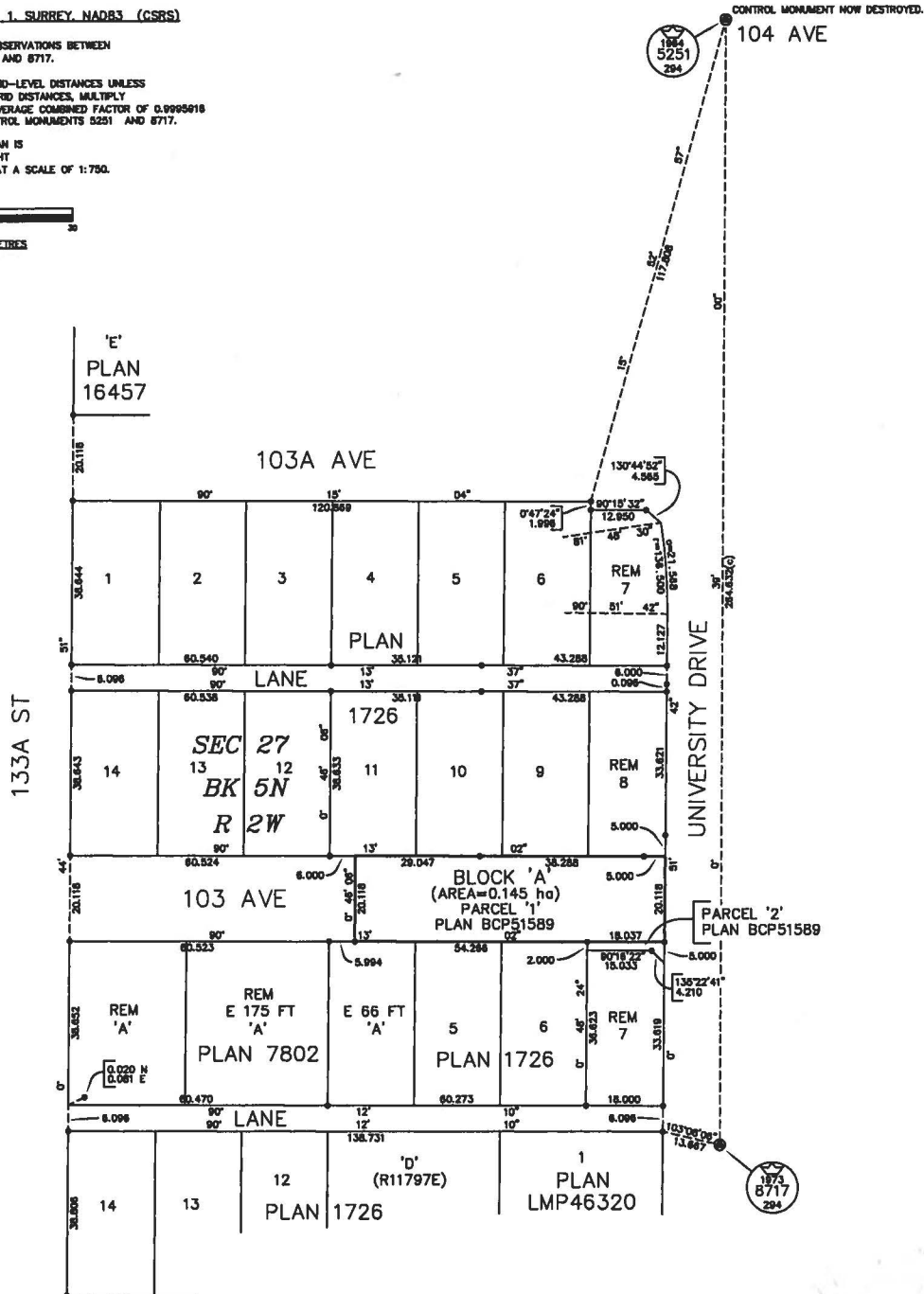
THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS  
 OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY  
 GROUND-LEVEL DISTANCES BY THE AVERAGE CORRECTION FACTOR OF 0.9999918  
 WHICH HAS BEEN DERIVED FROM CONTROL MONUMENTS 5251 AND 8717.

THE INTENDED PLOT SIZE OF THIS PLAN IS  
 432mm IN WIDTH BY 540mm IN HEIGHT  
 (USE C SIZE SHEET) WHEN PLOTTED AT A SCALE OF 1:750.

SCALE 1:750



Schedule A



THIS PLAN LIES WITHIN THE GREATER  
 VANCOUVER REGIONAL DISTRICT

CERTIFIED CORRECT ACCORDING TO FIELD SURVEY THIS 4th DAY OF JULY, 2013.

*Scott E. Netherton*  
 SCOTT E. NETHERTON BCLS

CITY OF SURREY  
 SURVEY SECTION  
 14246 - 58 AVE.  
 SURREY, B.C. V3X 3A3  
 TEL. (604) 591-4253  
 FAX. (604) 591-8863

52915E.dwg



12056.treesummary/1.0

## SURREY TOWER

103 AVENUE & UNIVERSITY DRIVE, SURREY, B.C.

### Surrey Tree Preservation Summary

Surrey File No.: 7912-0327-00 1112  
 Civic Address of Property: 13399/13409/13419/13431 – 103 Ave., 1112 Surrey BC  
 Arborist: Ken McKillop, ISA Certified Arborist PN – 0584,  
 Certified Tree Risk Assessor Certificate 333

Detailed assessment of the existing trees is submitted (Durante Kreuk Ltd. report updated to June 30, 2013 and Existing Trees drawing submitted June 25, 2013). See also Durante Kreuk Ltd. Landscape Plan for replacement trees. The following is a summary of the tree assessment report for quick reference.

<b>SUMMARY OF TREE REMOVAL AND REPLACEMENT</b>				
	ON-SITE	OFF-SITE	CITY	TOTAL
Number of protected trees identified	36	11	0	47
Number of protected trees declared hazardous due to natural causes	0	0	0	0
Number of protected trees to be removed	36	0	0	36
Number of protected trees to be retained	0	11	0	11
Number of replacement trees required (2:1 except Alders, Ctnwds)	68	0	0	68
Number of replacement trees proposed	50	0	18	68
Number of replacement trees in deficit	0	0	0	0
Total number of protected and replacement trees on site	50	n/a	18	n/a
Average number of trees per lot	n/a	n/a	n/a	n/a

Summary, plans and arborist report prepared by Durante Kreuk Ltd.

Date: July 3, 2013

FIGURE 1



Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA  
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING  
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

G:\MAPPING\GIS\MAPS\CORPORATE REPORTS\Eng-Utilities\AW-DistrictEnergyServiceAreaFig1.mxd





# Advisory Design Panel Minutes

PRC1  
City Hall  
14245 - 56 Avenue  
Surrey, B.C.  
THURSDAY, FEBRUARY 14, 2013  
Time: 4:00 pm

**Present:**

Chair - Leroy Mickelson

**Panel Members:**

Nigel Baldwin  
Stu Lyon  
Tomas Wolf  
Ken Newbert  
Cpl. Marc Searle

**Absent:**

Derek Lee

**Guests:**

Babu Kadiyala, Berezan Management  
Jordan Kutev, Jordan Kutev Architect Inc.  
David Stoyko, Sharp & Diamond Landscape  
Architecture Inc.  
Brett Hitches, Sharp & Diamond Landscape  
Architecture Inc.  
Andrew Saxton, King George Developments  
Robert Glass, King George Developments  
Tim Koo, King George Developments  
Doug Nelson, Bingham Hill Architects  
Peter Kreuk, Durante Kreuk  
Stephen Vincent, Durante Kreuk  
Wilson Chang, Wilson Chang Architect Inc.  
Daryl Tyacke, Eckford Tyacke + Associates  
Kevin Chen, Formation Project Management Inc.

**Staff Present:**

H. Bello, Senior Planner - Planning &  
Development  
M. Rondeau, Acting City Architect  
Planning & Development  
H. Dmytriw, Legislative Services

**A. RECEIPT OF MINUTES**

It was

meeting of January 24, 2013, be received.

Moved by T. Wolf

Seconded by N. Baldwin

That the minutes of the Advisory Design Panel

Carried

Panel member Derek Lee, landscape architect, provided written comments which were read into the comments of the Panel.

**B. SUBMISSION**

**2. 5:00 PM**

File No.:

New

Description:

Address:

Developer:

Architect:

Landscape Architect:

Planner:

**7912-0327-00**

New

Rezoning and DP for proposed 37-storey tower,  
with townhouse podium, consisting of 375  
dwelling units.

**13399/13409/13419 and 13431 - 103 Avenue, City  
Centre**

Andrew Saxton, King George Developments

Doug Nelson, Bingham Hill Architects

Peter Kreuk and Stephen Vincent

Durante Kreuk

Pat Lau

Urban Design Planner:

Mary Beth Rondeau

**The Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- The use, form and density are generally supported; staff have no specific issues with the proposal.
- The proposed height is at the level suggested on the east side of University Drive and higher than that suggested on the west side. Staff support the additional height given that it minimizes impacts and balances both sides of University Dr. A recent tower approval in the civic core one block to the west has also been approved significantly higher.
- University Boulevard is intended to be residential use on the west side and current policy is reducing overall commercial uses in City Centre.

**The Project Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- Desire to have the town homes extended to face public interface on 3 sides.
- Small sized residential units are proposed to provide an affordable market for students and workers in the area.
- A significant parking reduction has been supported given the small sized units.
- The tower location was established through a precinct study of the area.
- Upper tower sculpting came from discussions regarding reducing shadowing on the Civic Plaza.
- Articulation of townhouses rotated to same angle as tower.
- Simple material and colour palette - base is weightier, heavier and darker. The palette lightens up above the townhouses.
- Slab extensions provide solar screen for southern exposure.

**The Landscape Architect** reviewed the landscape plans and highlighted the following:

- Intention is for public realm to take on image and character from the City's Green Network Study.
- A variety of outdoor amenity spaces are provided on different levels of the proposal, each with different program and character.
- A public open space is provided along the west - is an opportunity for public art installation (where vent is coming from underground parking at corner).

**ADVISORY DESIGN PANEL STATEMENT OF REVIEW**  
**13399/13409/13419 and 13431 - 103 Avenue, City Centre**  
File No. 7912-0327-00

It was

Moved by Stu Lyon

Seconded by Ken Newbert

That the Advisory Design Panel (ADP)

recommends that the applicant address the following recommendations and revise and resubmit to the ADP, at discretion of planning staff.

Carried



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## STATEMENT OF REVIEW COMMENTS

### Building Form and Character

- A very competent form and massing well fitted on its site. Feels "downtown" which is appropriate.
- Generally like the podium except for the single storey corner volume which is too low to carry the weight of the tower and the fascia is also too heavy for the single storey corner element.  
*The corner volume has been increased to a 2-storey height. The plan form has been revised to reflect the change to a commercial use, extending along University Drive.*
- The main entrance is also dark/underplayed.  
*The main entrance has been relocated to 103 Avenue to make way for the continuous commercial use developed along the University Drive frontage. The building form defining the main entrance is more generous than the previous submission.*
- Some Panel members considered a missed opportunity to introduce commercial unit on the ground floor at the corner - more interesting than looking at people exercising.  
*A commercial/retail use has now been proposed, extending along the full University Drive frontage. The commercial frontage is divided into two forms: a 2-storey element at the NE corner and a 1-storey portion to the south.*
- The tower cant on the upper floors was supported – looks like a turning head. It is abrupt where it meets the lower portion of the tower and could be better dynamic and integrated with the lower form.  
*The meeting point of the two geometries is highlighted by provision of a recess where the two forms meet (Level 26). This level of recess provides a less abrupt collision of the two forms.*
- The north elevation appears stark and needs spark.  
*The elevations have been given a boost by the change in fenestration, wall material and the colour of vertical elements.*
- The concrete vertical elements (zippers) need more refinement - they add to some facades, detract from others. Needs to be a richer material than painted concrete and a richer colour than beige. Perhaps a lighter cladding with improved insulation. The tops of these appear cut off and the bottoms land on thin concrete fascia. A more interesting window pattern may also be a way to create interest but should not resort to bright colours to solve.  
*Conditions of termination at top and bottom of the vertical elements has been revised. The material expression is revised from concrete to cementitious panel. These forms now stop short of upper and lower wall terminations. Windows within the vertical elements are increased in size and are positioned in a seemingly random location floor-to-floor. This misalignment works in concert with the cladding joint pattern, which utilizes various panel widths resulting in offset vertical joints. A narrow coloured iridescent accent panel occurs within*



*the “random” panel layout, each floor. This cladding approach is also applied to podium exit stair forms and to the tower elevator overrun/machine room form.*

- There are many units without balconies and they should be more integrated into façade.  
*The refined design provides for balcony a balcony (or terrace) at each dwelling unit. Balcony sizes are increased to meet the zoning requirement where suitable. Smaller units include a balcony, albeit less than the required area. Larger balconies are now integrated into the façade. The applicant’s architect considers smaller balconies to be appropriate as a logical adjunct to the smaller unit types. The balcony provision is summarized as follows:*
  - *158 units with terraces or balconies larger or equal to 4.6 sq.m.(49.5 sq.ft.); and*
  - *214 units with terraces or balconies less than 4.6 sq.m.(49.5 sq.ft.).*
- More amenity space needed when living space is small.  
*While the indoor amenity floor area is reduced from the prior submission, the quality and variety of spaces helps offset the shortfall. Site proximity to neighbourhood community accessible spaces is also a mitigating factor. Cash-in-lieu will be provided to offset the indoor amenity shortfall.*
- Give strong consideration for relocating two floors from the tower to the top of the podium to mitigate shadowing on the Civic Plaza is of primary consideration.  
*Removing floor levels was not supported by the applicant. The applicant’s architect has indicated that the concern regarding the impact of shadows on the plaza have been addressed to the extent possible by modestly reducing the floor-to-floor height at lower tower levels. This provides a tower height reduction of 3.15 metres (10.3 ft.). In addition, the applicant’s architect has discovered that the original height calculation erroneously included the entire elevator overrun. The net resultant adjusted/corrected building height is revised from 117.5 metres (385.5 ft.) to 108.7 metres (356.6 ft.). The stated height of the building reduces by about 9 metres (29.5 ft.) or 3 storeys.*
- Smallest unit is really pushing the limits of liveability. Suggest that no units be less than 320 sq.ft.  
*There is a precedent for development of dwelling units less than 300 square feet. The smallest proposed unit now measures at 28.4 square metres (306 sq.ft.).*

### **Landscaping**

- Generally satisfied with the open space configuration. The set of indoor/outdoor amenity spaces is rich and varied. Probably makes up for a lack of amenity area required.
- Tower top terrace would benefit from softer landscaping.  
*A raised planter with a specimen tree has been added. The planter includes a perimeter bench seat. In addition, moveable planters have been added to provide a softer landscape and still allow for flexible use space.*



- Consider seating around children's play area to provide a place for parents. *Seating has been added around the children's play area built into the planter wall.*
- Access between garden plots will be needed. Consider minimum 3 foot between garden plots. *Access between plots has been added (0.9 metre/3 feet wide).*
- Further detail on plant species would be helpful. *A planting plan has been provided.*
- Consider storm water management initiatives (i.e. rain barrels or cistern for irrigation). *Stormwater management has been incorporated into the project's design.*

#### **CPTED**

- This is a busy urban area. Lots of people walking through the area, needs defensible space.
- The ground floor townhouse with front doors is successful approach to reduce crime opportunities and have eyes on the street.
- Secure visitor and parking areas. Ensure internal security measures such as CCTV. *Visitor and parking areas are designed to be secure. Appropriate security measures and systems will be provided.*

#### **Accessibility**

- Elevator buttons horizontal. *A note has been added to the drawings.*
- Emergency call button be provided in parking lobbies. *A note has been added to the drawings.*
- Units – 5% of units be wheelchair accessible. *Fully accessible units are not economically feasible. Adaptable units (5% of total units) are proposed.*
- Washrooms in amenity areas should be wheelchair accessible. *A note has been added to the drawings.*
- Roof top amenities be level access. *The applicant's landscape architect will ensure that all common landscape pathways will be designed to enable wheelchair access.*
- Power doors at entrances and call buttons panel be horizontal. *A note has been added to the drawings.*

**Sustainability**

- Nice to see a sustainability checklist and sustainability in the design rationale.
- Hydronic heat is an excellent option – radiant floors would be wonderful.  
*Hydronic heating will likely be provided by low profile perimeter baseboard units.*
- Seems like a large amount of glass. Will need to compensate elsewhere to satisfy the energy requirements of the Building Code.  
*All facades have been refined to reduce the proportion of view glass.*
- Consideration for retracting the extended concrete slabs on the south side and providing insulation across the edge of the floor slab. Heat loss through slab edge outweighs the benefits of the modest sun shading.  
*Concrete slab edges have been eliminated, other than at select 'cornice' conditions. Slab edges will be insulated.*
- A way to help with the energy requirements would be the use of heat recovery ventilation per suite.  
*Heat recovery ventilation units are being considered for use on this project.*