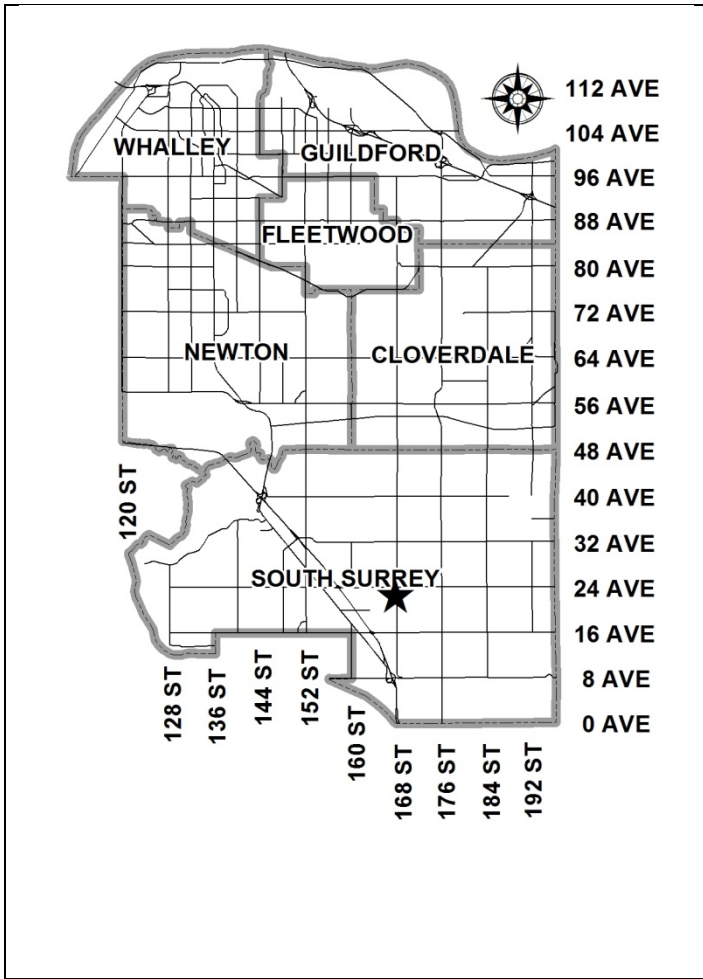


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7912-0329-00

Planning Report Date: June 17, 2013

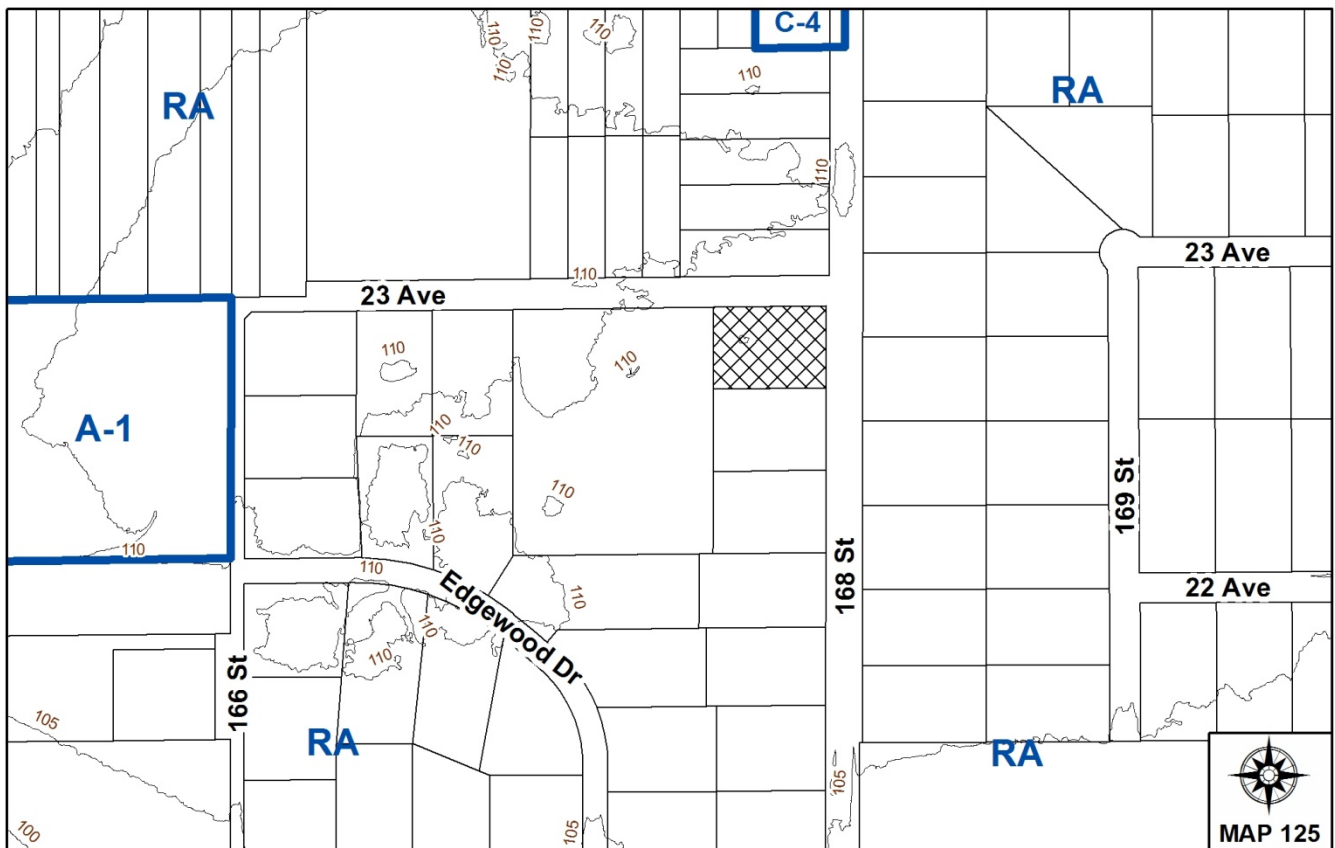


**PROPOSAL:**

- **OCP amendment** from Suburban to Urban
- **NCP amendment** from Low Density Residential 6-10 upa to Medium Density Residential 10-15 upa
- **Rezoning** from RA to RF-9

in order to allow subdivision into approximately 8 single family residential lots.

**LOCATION:** 16768 - 23 Avenue  
**OWNER:** Jaylin Homes Ltd.  
 Infinity Properties Ltd.  
 Morningstar Neighbourhoods Ltd.  
 R A B Ventures #1 Ltd.  
 Benchmark Management Ltd.  
**ZONING:** RA  
**OCP DESIGNATION:** Suburban  
**NCP DESIGNATION:** Low Density Residential 6-10 upa



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed amendment to the Official Community Plan (OCP) from Suburban to Urban.
- Proposed amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) from Low Density Residential 6-10 upa to Medium Density Residential 10-15 upa.

### RATIONALE OF RECOMMENDATION

- The proposed OCP amendment was anticipated as part of the normal approval process for applications in the Sunnyside Heights NCP in order to achieve the approved land use designations and density.
- The proposal generally meets the development parameters set out in the Sunnyside Heights NCP. The proposed amendment to the Sunnyside Heights NCP is required in order to complete the established pattern of development, road and lot configuration, as established under File No. 7912-0153-00.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site from Suburban to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA )" (By-law No. 12000) to "Single Family Residential (9) Zone (RF-9)" (By-law No. 12000) and a date be set for Public Hearing.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) completion of development applications under File No. 7912-0153-00 prior to, or concurrently with this project.
  - (d) submission of a finalized lot grading plan to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and arborist report, to the satisfaction of the City Landscape Architect;
  - (f) submission of a landscaping plan and landscaping cost estimate for the 168 Street Landscape Buffer and registration of a 5 metre (16 feet) statutory right-of-way as per the requirements of the Sunnyside Heights NCP, to the satisfaction of the Planning and Development Department;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
  - (h) the applicant adequately address the shortfall in tree replacement.
5. Council pass a resolution to amend the Sunnyside Heights NCP from Low Density Residential 6-10 upa to Medium Density Residential 10-15 upa when the project is considered for final adoption (Appendix VII).

**REFERRALS**

**Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

**School District:** **Projected number of students from this development:**

8 Elementary students at Pacific Heights Elementary School  
 4 Secondary students at Earl Marriott Secondary School

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by late spring 2014.

(Appendix IV)

**Parks, Recreation & Culture:** No objection.

**Watercourse & Wildlife Assessment:** The applicant provided confirmation from a Registered Professional Biologist (R.P. Bio.) that the existing Class C watercourses on the site are not considered fish habitat, however they may contain wildlife. When development occurs, the applicant will need to assess any wildlife potential and follow Best Management Practices (BMPs).

**SITE CHARACTERISTICS**

**Existing Land Use:** Single Family homes.

**Adjacent Area:**

<b>Direction</b>	<b>Existing Use</b>	<b>OCP/NCP Designation</b>	<b>Existing Zone</b>
North (Across 23 Avenue):	Single family homes	Suburban/ Special Residential 15-25 upa	RA
East (Across 168 Street):	Single family homes	Suburban/ Suburban Residential 1-2 upa	RA
West and South:	Single family homes. Project File No. 7912-0153-00 is currently at 3 <sup>rd</sup> Reading to permit 69 single family homes.	Suburban/ Low Density Residential 6-10 upa	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The site is designated "Suburban" in the Official Community Plan (OCP) and "Low Density Residential 6-10 upa" in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- An OCP amendment from "Suburban" to "Urban" is required to accommodate this proposal (Appendix VIII). In accordance with the NCP, applications in this NCP are required to be accompanied by an OCP amendment to redesignate the lands in order to comply with the NCP.
- The proposed amendment to the Sunnyside Heights NCP from "Low Density Residential 6-10 upa" to "Medium Density Residential 10-15 upa" is required in order to complete the established pattern of development, road and lot configuration, as established under File No. 7912-0153-00.
- The proposed net density is 11.7 upa. However, the proposed development generally meets the development parameters set out in the NCP and completes the subdivision and land use pattern in the area. Table 1 outlines the Sunnyside Heights NCP requirements pertaining to this site and compares them to the applicant's proposal:

**Table 1: Summary of Sunnyside Heights NCP**

	<b>NCP Requirements</b>	<b>Proposed Development</b>
<b>Density</b>	6-10 upa net density	11.7 upa net density
<b>Form &amp; Character</b>	372 sq. m (4,000 sq. ft.) to 465 sq. m (5,000 sq. ft.) urban sized lots	347 sq. m (3,734 sq. ft.) average lot size
	Serviced primarily by rear lanes	Rear lane access is proposed for all lots
<b>168 Street Buffer</b>	35m (115 ft) to 40m (131 ft) lot depth; and  5m (16 ft) landscape buffer with a double row of trees	40m (131 ft) lot depth; and  5m (16 ft) landscape buffer, requiring a 5m (16 ft) statutory right of way, with a double row of trees including protection of mature trees, and a 4m (13 ft) multi-use pathway

- As noted in the table above, a number of the requirements in the NCP are met, including provisions for rear lanes, and maintaining extra deep lots along 168 Street to accommodate the required 5 metre (16 ft) landscape buffer along the frontages of these lots.

DEVELOPMENT CONSIDERATIONS

- The site is currently zoned "One-Acre Residential Zone (RA)". The applicant proposes to rezone the site to "Single Family Residential 9 Zone (RF-9)" and to subdivide the land into 13 single family residential lots.
- All proposed single family lots conform to the minimum requirements of the RF-9 Zone. All of the proposed RF-9 lots have a lot depth of between 35 metres (115 feet) and 40 metres (131 feet) in order to increase the liveability of these lots and to allow for a parking pad between the garage and the lane.

- Based on the proposed concept plan and the placement of roads and lanes under File No. 7912-0153-00, portions of 16704-23 Avenue and 2261-168 Street, shown as Lot 26, have additional subdivision potential once this land is consolidated with the subject site (16768 - 23 Avenue). In order to protect the future subdivision potential of Lot 26, a Section 219 "No Build" Restrictive Covenants was required to be registered on this lot until future consolidation. As part of application File No. 7912-0329-00, the consolidation will be completed and the "No build" will no longer be required. In order to ensure the sequencing of development, the development applications under File No. 7912-0153-00 will need to be completed prior to, or in conjunction with the subject application.

### Transportation Network

- The following transportation network improvements are required for this proposal:
  - 2.8 metres (9 feet) road dedication for the widening of 168 Street including the construction of a 4 metre (13 feet) multi-use pathway and a 5 metre (16 feet) statutory right of way;
  - 2.5 metres (8 feet) road dedication for the widening of 23 Avenue including the construction of the South half of the street; and
  - 6 metres (20 feet) dedication and construction of lanes required for rear lane access.
- In order to address the parking related concerns associated with RF-9 Zoned lots adjacent to arterial roads, the applicant has agreed to increase the lot depth of the lots facing 168 Street and to provide a 6 metre (20 feet) parking area in front of the garage.

### Building Design Guidelines & Lot Grading:

- The applicant has retained Michael Tynan of Tynan Consulting Ltd. as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines (Appendix V).
- A preliminary lot grading plan has been prepared by Raymond Sull, McElhanney Consulting Services Ltd. and has been reviewed by staff. Based on preliminary staff comments, revisions to the proposed lot grading plan will be required prior to final approval of the proposed subdivision. The plan shows areas with fill greater than 0.5 metres (1.6 feet) on the proposed site. These areas are minimal and are necessary to accommodate existing road grades, in-ground basements and to facilitate proper lot drainage.

Arborist Assessment:

- Norman Hol, ISA Certified Arborist of Arbortech Consulting Ltd. prepared an Arborist Assessment for the subject property. The Arborist Assessment states that there are a total of 6 protected trees on the site. The following table provides the breakdown by tree species on the subject site:

**Table 2: Summary of Tree Preservation by Tree Species**

<b><u>Tree Species</u></b>	<b>Total Number of Trees</b>	<b>Proposed for Retention</b>	<b>Proposed for Removal</b>
Norway Spruce	5	0	5
Cherry	1	0	1
<b>Total</b>	<b>6</b>	<b>0</b>	<b>6</b>

- The size of RF-9 lots is commonly challenging for tree retention. The restricted lot dimensions, road and lane works, installation of services, land clearing and lot grading reduces the potential for retention of trees on these lots. Overall, City staff is of the opinion that all reasonable options for tree preservation have been considered on the subject site.
- For the trees that cannot be retained, the applicant will be required to replant the trees on a 2 to 1 replacement basis for coniferous trees, and a 1 to 1 replacement for deciduous trees. This will require a total of 12 replacement trees on the site. Since no replacement trees can be accommodated on the site, the deficit of 12 replacement trees will require a cash-in-lieu payment of \$ 3,600, representing \$300 per tree, to the City's Green Fund, in accordance with the City's Tree Protection By-law, prior to the final approval of this application.

PRE-NOTIFICATION

- Pre-notification letters were sent on January 18, 2013 to 50 households within 100 metres (328 feet) of the site.
- A Public Information Meeting (PIM) was held on December 10, 2012 in conjunction with File 7912-0153-00 in order to obtain more detailed input from area residents with respect to the proposed development. Seven (7) people attended the meeting.
- As a result of the pre-notification letters and the PIM, City staff received a combination of approximately ten (10) letters, e-mails, phone calls and comments concerning this proposal. Majority of the respondents requested information only, and were interested to find out when the school site would be constructed, when the subdivision would be constructed, and when the sewer would be available to service the area.
- The City received a letter from the Little Campbell Watershed Society (LCWS) requesting confirmation that the City's drainage and environmental standards would be followed by the applicant during development of the site.

*(The Engineering Department has confirmed that all developments in the Sunnyside Heights NCP are required to comply with the engineering servicing requirements in the NCP document. These include on-site stormwater management of run-off from frequently occurring rain events.)*

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on January 22, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The site is located within close proximity and walking distance to community amenities including:               <ul style="list-style-type: none"> <li>○ a proposed elementary school;</li> <li>○ a planned neighbourhood commercial area; and</li> <li>○ the future Grandview Aquatic Centre.</li> </ul> </li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• RF-9 zoned lots of varying sizes are proposed.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Rain garden system within the site running along 23 Avenue.</li> <li>• During the building/ construction phase, a recycling program will be in place to ensure responsible disposal of materials.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• Located within walking distance of 24<sup>th</sup> Avenue which has current transit service. It is anticipated that the level of transit service will increase as the area develops.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• Crime Prevention Through Environmental Design (CPTED) principals will be incorporated into the single family building design to ensure “eyes on the street”.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• One of the builders that will be constructing the homes is Built Green certified.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• The community has had an opportunity to provide input on the proposal during the public notification process and the public information meeting held on December 10, 2012.</li> </ul>



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INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Subdivision Layout
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Building Design Guidelines Summary
- Appendix VI. Summary of Tree Survey and Tree Preservation
- Appendix VII. Proposed NCP Amendment
- Appendix VIII. OCP Redesignation Map

*original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

CL/da

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## Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

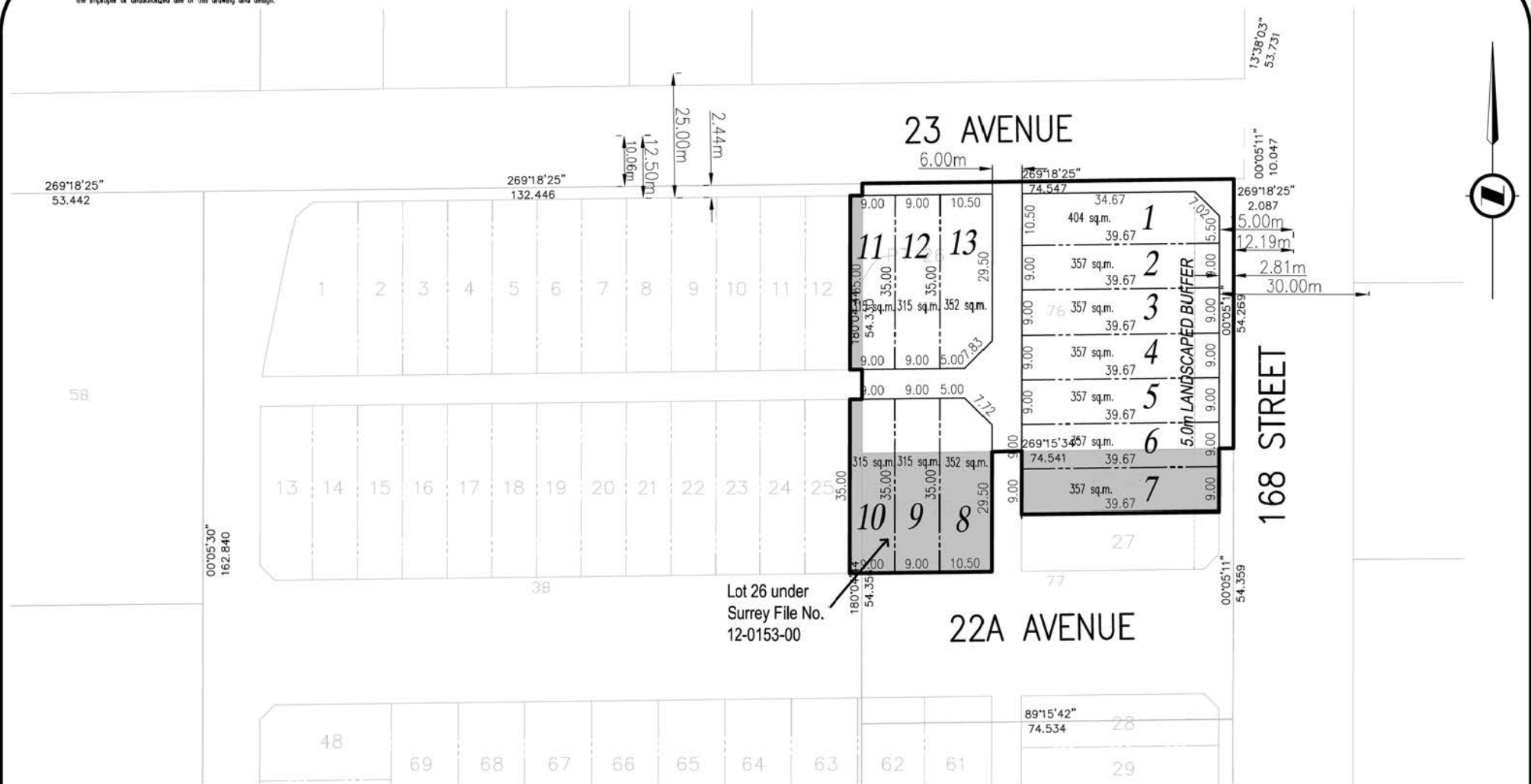
1. (a) Agent:       Name:                 Alison Davies  
                                Address:                 Infinity Properties Ltd.  
  6360 - 202 Stree, Unit 205  
  Langley, BC V2Y 1N2  
  
                                Tel:                        604-532-6060
  
2.       Properties involved in the Application
  - (a)     Civic Address:             16768 - 23 Avenue
  
  - (b)     Civic Address:             16768 - 23 Avenue  
          Owner:                     Jaylin Homes Ltd  
  Infinity Properties Ltd  
  Morningstar Neighbourhoods Ltd  
  R. A. B. Ventures #1 Ltd  
  Benchmark Management Ltd  
  
          PID:                        002-691-221  
          Lot 76 Section 13 Township 1 New Westminster District Plan 6193
  
3.       Summary of Actions for City Clerk's Office
  - (a)     Introduce a By-law to amend the Official Community Plan to redesignate the subject property.
  
  - (b)     Introduce a By-law to rezone the subject property.

## SUBDIVISION DATA SHEET

Proposed Zoning: RF-12

Requires Project Data	Proposed
<b>SITE AREA</b>	
Gross Site Area	1.32 acres (0.535 ha)
Road Dedication	0.21 acres (0.084 ha)
Net Site Area	1.11 acres (0.451 ha)
<b>NUMBER OF LOTS</b>	
Existing	1 + Lot 26 from File 7912-0153 (portions of 16704-23 Ave. & 2261-168 St.)
Proposed	8 + consolidation with Lot 26 = 13 lots
<b>SIZE OF LOTS</b>	
Range of lot widths (metres)	9 m to 10.5 m
Range of lot areas (square metres)	315 sq.m. to 404 sq.m.
<b>DENSITY</b>	
Lots/Acre (Net)	11.7 units per acre
<b>SITE COVERAGE (in % of gross site area)</b>	
Maximum Coverage of Principal & Accessory Building	44%
Estimated Road, Lane & Driveway Coverage	10%
Total Site Coverage	54%
<b>PARKLAND</b>	
Area (square metres)	N/A
% of Gross Site	N/A
<b>Required</b>	
<b>PARKLAND</b>	
5% money in lieu	YES
<b>TREE SURVEY/ASSESSMENT</b>	
	YES
<b>MODEL BUILDING SCHEME</b>	
	YES
<b>HERITAGE SITE Retention</b>	
	NO
<b>BOUNDARY HEALTH Approval</b>	
	NO
<b>DEV. VARIANCE PERMIT required</b>	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

This drawing and design is the property of McElhanney Consulting Services Ltd. and shall not be used, reused or reproduced without the consent of the said company. McElhanney Consulting Services Ltd. will not be held responsible for the improper or unauthorized use of this drawing and design.



Surrey File No. 12-0329-00

**McElhanney**  
 McElhanney Consulting Services Ltd.  
 13160-85TH AVENUE  
 SURREY, B.C.  
 PHONE (604) 596-0391  
 FAX (604) 596-8853

**NOTES:**  
 - PRELIMINARY LAYOUT ONLY, SUBJECT TO APPROVAL.  
 - AREAS AND DIMENSIONS ARE SUBJECT TO DETAILED SURVEY AND CALCULATION, AND MAY VARY.  
 - NOT TO BE USED FOR LEGAL TRANSACTIONS.

TOTAL AREA 5,349 sq.m. (1.32 ac)  
 LAYOUT ASSUMES RF-9;  
 MINIMUM 250 sq.m. 9.0m WIDE 28.0m DEEP

**Phase 2**  
**SKETCH 3**

Scale: 1:750  
 Date: June 10, 2013  
 Job No.: 2112-62918-0

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**TO:** Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department

**FROM:** Development Services Manager, Engineering Department

**DATE:** June 12, 2013      **PROJECT FILE:** 7812-0329-00

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**RE:** Engineering Requirements  
Location: 16768 23 Ave (and portions of 16704-23 Ave & 2261-168 St as  
considered under file 7812-0153-00)

#### OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

#### REZONE/SUBDIVISION

##### *Property and Right-of-Way Requirements*

- Dedicate 2.808 metres on 168 Street for the ultimate 30.00 metre wide road allowance.
- Dedicate 2.442 metres on 23 Avenue for the ultimate 25.00 metre wide road allowance with 5.00 metre wide drainage corridor, as required in the NCP
- Register 5.00 metre wide Statutory Right of Way (SRW) on 168 Street for Landscaping Buffer, and for the Coast Meridian Multi Use Pathway (MUP) which is to meander where required to protect the existing trees.
- Register 0.50 metre wide SRW on 23 Avenue.
- Dedicate 6.00 metre width for the north-south and east-west lanes, including 5.00 metre x 5.00 corner cuts at the intersection of two lanes.
- Secure SRW for offsite servicing corridor, if required.

##### *Works and Services*

- Construct a 4.00 metre wide Multi Use Pathway with 0.25 metre concrete band (flat curbs) on 168 Street. The pathway is to meander around the existing trees utilizing the entire 5.00 metre wide SRW/Buffer area.
- Construct the south side of 23 Avenue to the through local road standard, including 3.00 metre wide enhanced concrete sidewalk to provide access to proposed school site. The ultimate drainage corridor on 23 Avenue will be reduced from 8.00 metre to 7.50 metre width to accommodate the 3.00 metre wide sidewalk.
- Construct 23 Avenue curb extensions.
- Construct the residential lanes, including residential letdowns at road intersections.
- Construct storm sewers to service the proposed development, including provisions for road storm drainages for all existing and proposed roads.
- Construct drainage corridor on 23 Avenue.

NOTE: Detailed Land Development Engineering Review available on file

- Provide on-lot sustainable drainage features according to the NCP.
- Construct a 300mm dia water main on 23 Avenue; the City will fund the upsizing costs from 200mm dia to 300mm dia main.
- Construct sanitary sewers to service the proposed lots, including construction of sanitary sewers on all existing and proposed roads of the subject development.

A Servicing Agreement is required prior to Rezone/Subdivision.



Rémi Dubé, P.Eng.  
Development Services Manager  
IK1



Wednesday, January 16, 2013  
**Planning**

**THE IMPACT ON SCHOOLS**

**APPLICATION #:**

7912 0329 00

**SUMMARY**

The proposed 15 Single family with suites are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	8
Secondary Students:	4

September 2012 Enrolment/School Capacity

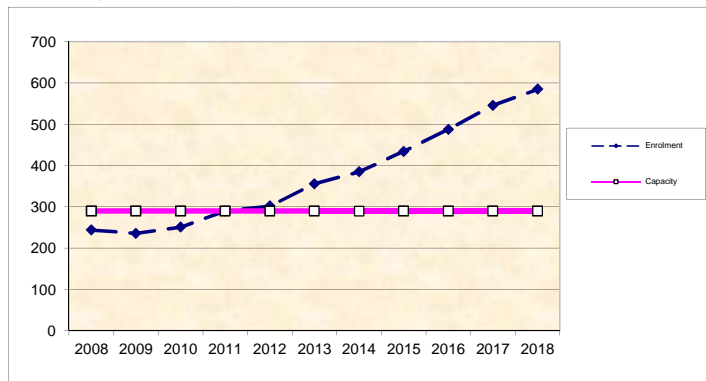
<b>Pacific Heights Elementary</b>	
Enrolment (K/1-7):	43 K + 259
Capacity (K/1-7):	40 K + 250
<b>Earl Marriott Secondary</b>	
Enrolment (8-12):	1944
Nominal Capacity (8-12):	1500
Functional Capacity*(8-12):	1620

**School Enrolment Projections and Planning Update:**

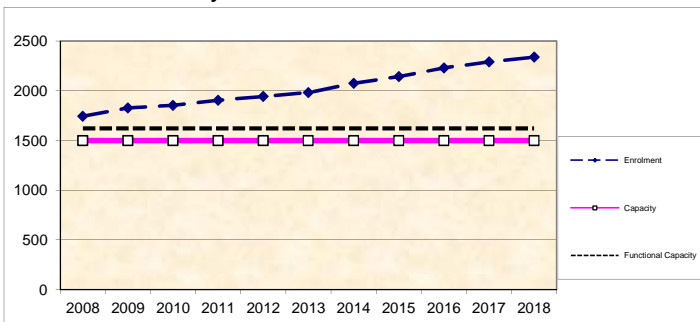
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Pacific Heights Elementary opened in 2006. Grandview Heights Elementary and Kensington Prairie Elementary were closed in June 2006 and the enrolment shifted to Pacific Heights Elementary. A replacement elementary school (Sunnyside Elementary) is under construction on 28th Avenue near 160th Street, and the School District has approved boundary moves from Pacific Heights to help address the projected overcrowding. A new elementary school site has been purchased - Site #206 on Edgewood Drive. The school district is also completing purchase of land for a new secondary school site in the Grandview Area adjoining the City of Surrey land assembly for a future Aquatic Centre and Recreation facilities. The School District has submitted a proposal for a new Grandview Area secondary school as a high priority project to the Ministry of Education. The proposed secondary school is #5 priority (funding year is 2014 - yr. 3) in the districts 2012-2016 Five Year Capital Plan. A proposed addition to Pacific Heights Elementary is also included in the capital plan, currently as priority #13 (year 4) but is not scheduled to be considered in the funding year of the submitted plan. The provision of services and residential growth expectations of the NCP #2 are included in the enrolment projections below. The projections may be affected by timing of development approvals, housing growth, demographic changes and market factors.

**Pacific Heights Elementary**



**Earl Marriott Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

## BUILDING GUIDELINES SUMMARY

Surrey Project no: 7912-0329-00  
 Project Location: 16704 - 23 Avenue, 16768 - 24 Avenue, and 2261 - 168 Street Surrey, B.C.  
 Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

**The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.**

### 1. Residential Character

#### 1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

This is an "old growth" area that was built out over a time period spanning from the pre-1950's to the 1980's. The age distribution from oldest to newest is: more than 60 years old (4%), 60 years old (17%), 40 years old (67%), 30 years old (13%). Most homes are in the 2000-3000 sq.ft. size range. Home size distribution in this area is as follows: under 1000 sq.ft. (13%), 1000-1500 sq.ft. (17%), 1501-2000 sq.ft. (13%), 2001-2500 sq.ft. (25%), 2501-3000 sq.ft. (25%), 3001-3550 sq.ft. (4%), over 3550 sq.ft. (4%).

Styles found in this area include: "Old Urban" (38%), "West Coast Traditional (English Tudor emulation)" (8%), "West Coast Traditional" (17%), "West Coast Modern" (8%), "Rural Heritage" (21%), and "Traditional English" (8%). Home types include: Bungalow (50%), Split Level (13%), 1.1/2 Storey (13%), Basement Entry (8%), and Two-Storey (17%).

The massing scale found on neighbouring homes ranges from simple, small, low mass structures to high scale, box-like structures. The massing scale distribution is: low mass structures (50%), low to mid-scale structures (4%), mid-scale structures (25%), mid-to-high-scale structures (8%), high scale structures with box-like massing (8%), high-scale massing, but consistent with style (style authentic design) (4%). All neighbouring homes have a single storey high front entrance element.

Most homes have a low slope roof. Roof slopes include: low slope (flat to 5:12) = (46)%, moderate slope (6:12 to 7:12) = (26)%, and steeply sloped (8:12 and steeper) = (29)%. Main roof forms (largest truss spans) include: common hip (21%), common gable (71%), Dutch hip (8%). Roof surfaces include: metal (8%), interlocking tab type asphalt shingles (25%), rectangular profile type asphalt shingles (8%), shake profile asphalt shingles (21%), and cedar shingles (38%).

Main wall cladding materials include: horizontal cedar siding (21%), vertical channel cedar siding (4%), vertical board and batten cedar (4%), aluminum siding (8%), horizontal vinyl siding (21%), stucco cladding (38%), and wood wall shingles (4%). Feature veneers on the front façade include: no feature veneer (27%), brick (27%), stone (8%), Hardiplank shingles (4%), horizontal cedar (23%), and Tudor style battens over stucco (12%). Wall cladding and trim



colours include : Neutral (white, cream, grey, black) (50%), Natural (earth tones) (43%), Primary derivative (red, blue, yellow) (7%),

Covered parking configurations include : No covered parking (5%), Single carport (5%), Double carport (19%), Single vehicle garage (14%), Double garage (43%), Triple garage (10%), Rear garage (5%).

A variety of landscaping standards are evident ranging from 'natural state' with dense native tree stands to high quality old urban. Driveway surfaces include: gravel (24%), asphalt (62%), broom finish concrete (10%), exposed aggregate (5%).

Although there are several homes with a pleasing appearance, none provide suitable architectural context for a year 2012 RF9 zone development.

## **1.2 Prevailing Features of the Existing and Surrounding Dwellings Significant to the Proposed Building Scheme:**

- 1) Context Homes: Homes in the surrounding area do not provide suitable residential design context for a year 2012 RF-9 zone development. Therefore the existing homes will not be emulated. A new character area is to be created.
- 2) Style Character : The proposal is to introduce a new style character that is reasonably compatible with styles found in the existing neighbourhood. Proposed styles include "Traditional", "Neo-Traditional", "Heritage" and "Neo-Heritage".
- 3) Home Types : A wide variety of home types are found in this area, including Two-Storey, Basement Entry, Split Level, and Bungalow, and a wide range could be permitted. However, it is expected that 100% of the new homes will be Two-Storey type with in-ground basement, in order to fully utilize the lots.
- 4) Massing Designs : Surrounding homes are not being used for massing design context. Proposed homes will have desirable mid-scale massing characteristics, and massing shall be well balanced and correctly proportioned across the entire front facade.
- 5) Front Entrance Design : the front entrance should not exceed a height of one storey.
- 6) Exterior Wall Cladding : Vinyl is not normally used on new developments in this general area and is therefore not recommended.
- 7) Roof surface : A wide variety of roof surfaces are evident in this area. However, for internal consistency, only shake profile asphalt shingles are recommended.
- 8) Roof Slope : 8:12 or higher roof slopes are appropriate given the proposed style range and given the relatively small footprint of the homes.

**Window/Door Details:** Rectangular dominant.

**Streetscape:** This is a "varied character" area. Homes include small simple 1000 sq.ft. Bungalows, wide low profile 2000+ sq.ft. estate type Bungalows, Split Level types with mid-scale massing characteristics, high mass, box-like Basement Entry homes, and large estate size Two-Storey "Traditional English" homes. A wide variety of cladding and finishing materials and roofing products have been used. Landscapes vary from "natural state" with trees and a minor amount of sod only, to high quality well developed estate scale landscapes.

## 2. Proposed Design Guidelines

### 2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Traditional", "Neo-Traditional", "Neo-Heritage", "Craftsman-Heritage", or "Rural Heritage". Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 storey.

### 2.2 Proposed Design Solutions:

**Interfacing Treatment  
with existing dwellings)**

No existing neighbouring homes provide suitable context for the proposed RF-9 zone homes at the subject site. Interfacing treatments are therefore not contemplated.

**Exterior Materials/Colours:**

Stucco, Cedar, Hardiplank, Brick, and Stone. Horizontal or vertical Vinyl siding not permitted. Vinyl shingles as an accent material only are permitted.

"Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colours such as grey, white, and cream are permitted. "Primary" colours in subdued tones such as navy blue, colonial red, or forest green can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. "Warm" colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

**Roof Pitch:**

Minimum 8:12.

**Roof Materials/Colours:**

Only shake profile asphalt shingles with a pre-formed (manufactured) raised ridge cap. The asphalt shingles should have a minimum 30 year warranty, and be in grey or black colours only

**In-ground basements:** Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.

**Treatment of Corner Lots:** Significant, readily identifiable architectural features are provided on both the front and flanking street sides of the dwelling, resulting in a home that architecturally addresses both streets. One-storey elements on the new home shall comprise a minimum of 20 percent of the width of the front and flanking street elevations of the single family dwelling. The upper floor is set back a minimum of 0.6 metres [2'- 0"] from the one-storey elements.

**Landscaping:** All lots should have sod from the street to the front face of the home in any areas not covered by the driveway, sidewalk, and any planting beds. In addition, a minimum of 12 shrubs of a 3 gallon pot size are recommended for front yard areas. Corner lot homes should have an additional 10 shrubs of a 3 gallon pot size planted in the flanking street sideyard.

**Compliance Deposit:** \$5,000.00

**Summary prepared and submitted by:** Tynan Consulting Ltd.      **Date:** January 16, 2013

**Reviewed and Approved by:**       **Date:** January 16, 2013

## TREE PRESERVATION SUMMARY

Surrey Project No.: XXX  
 Project Location: XXX Surrey, BC  
 Consulting Arborist: Norman Hol

**1 Summary description of the existing tree resource. See also the arborist report on file**

The site is comprised of one large rural lot with a home and a shop. It is largely vacant and clear, however there are two clusters of existing bylaw sized trees located in the yard area fronting 23rd Avenue. There are 5 spruce trees in fair condition and 1 cherry tree in very poor condition. All trees are in direct conflict with construction and no trees can be successfully retained in the present design option.

**2 Summary of Proposed Tree Removal and Replacement**

Quantity of Bylaw Protected Trees Identified	(A)	<u>6</u>
Quantity of Bylaw Protected Trees to be Removed (Hazard)	(B)	<u>0</u>
Quantity of Bylaw Protected Trees to be Removed	(C)	<u>6</u>
Quantity of Bylaw Protected Trees to be Retained	(A-B-C) (D)	<u>0</u>
Quantity of Replacement Trees Required	(E)	<u>12</u>
Quantity of Replacement Trees Proposed	(F)	<u>0</u>
(2:1 ratio except for alder and cottonwood at 1:1 ratio)		
Quantity of Replacement Trees in Deficit	(E-F) (G)	<u>12</u>
Quantity of Retained Trees and Replacement Trees on Site	(D+F) (H)	<u>0</u>
Number of Lots Proposed in the Project	(I)	<u>12</u>
Average Number of Trees per Lot	(H/I)	<u>0</u>

**3 Tree Survey and Preservation/Replacement Plan Attached** **Yes**

This summary and referenced documents are prepared and submitted by:

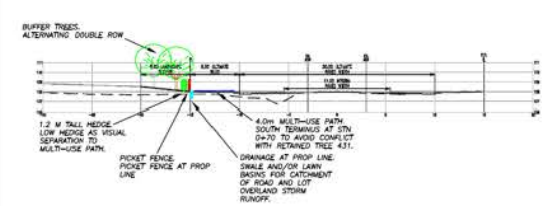
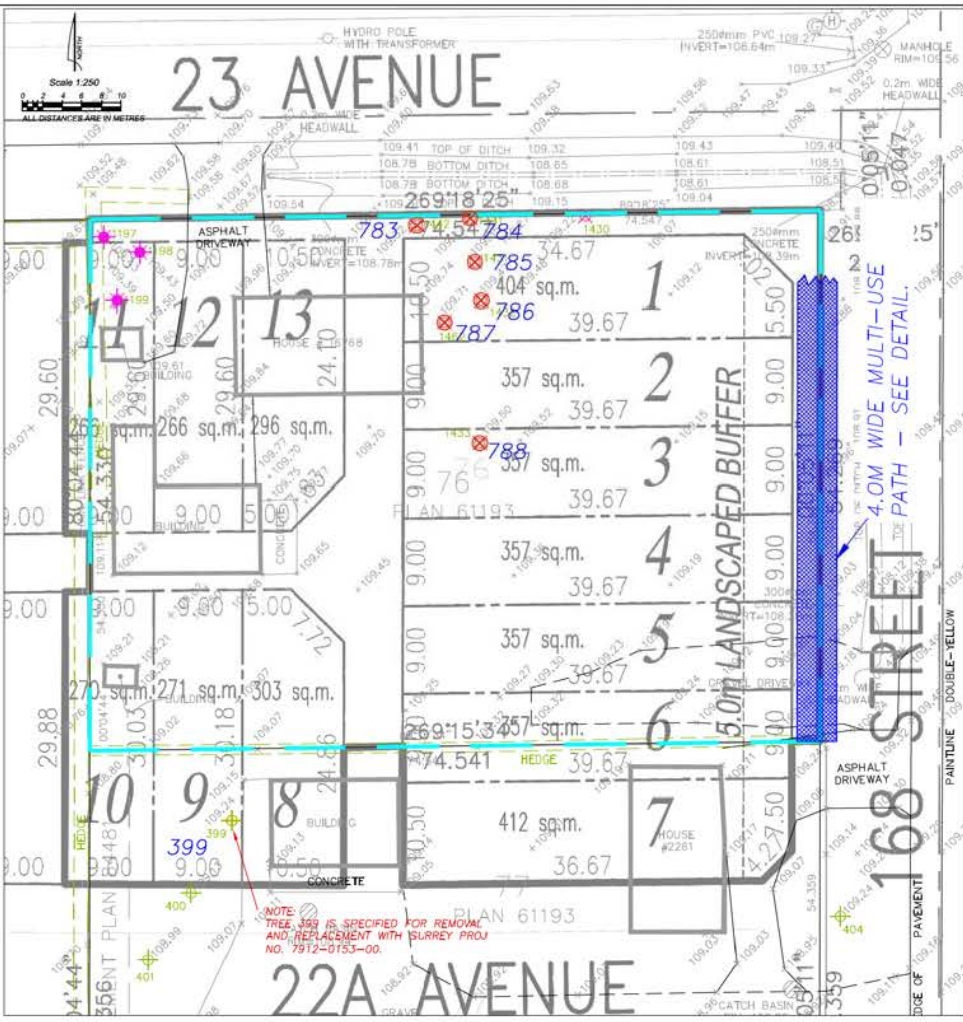


Norman Hol, Consulting Arborist

Dated: January 25, 2013

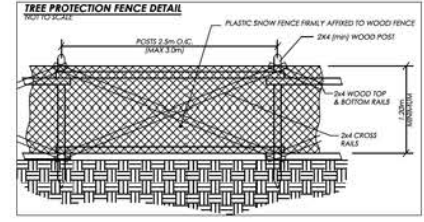
Direct: 604 813 9194

Email: norm@aclgroup.ca



DETAIL: CROSS-SECTION 168TH STREET

- TREE PROTECTION GUIDELINES**
- TREE PROTECTION ZONES (TPZ)** THE TPZ ALIGNMENTS ARE SHOWN ON THE TREE MANAGEMENT DRAWING AS PREPARED BY THE OFFICE. THESE ALIGNMENTS ARE BASED ON TREE AND TREE CONDITION AS DETERMINED BY THE PROJECT ARCHITECT AND THEY SUPERSEDE ANY OTHER TREE PROTECTION STRATEGIES PROVIDED BY OTHERS (INCLUDING CITY ORDINANCE DERIVED STRATEGIES).
  - TREE PROTECTION FENCES (BARRIERS)** BARRIERS MUST BE DETECTED AT ALIGNMENTS AS SHOWN ON THE DRAWINGS, MAINTAINED IN GOOD CONDITION UNTIL THE PROJECT ARCHITECT'S SUBSTANTIAL COMPLETION, AND THE RESTRICTIONS IMPOSED AS PER THE GUIDELINES HEREIN. THE FENCE CONSTRUCTION IS TO BE PERFORMED BY THE PROJECT ARCHITECT'S CONTRACTOR. TREE PROTECTION FENCES MUST BE DETECTED AND APPROVED BY THE ARCHITECT AND/OR CITY BEFORE ANY CONSTRUCTION. SEE PREPARATION OF CONSTRUCTION WORK DOCUMENTS, ANY CORRECTIVE CHANGES TO THE TREE FENCES MUST BE APPROVED BY ARCHITECT AND/OR CITY BEFORE ANY CONSTRUCTION.
  - HEIGHT OF FENCES** IF ANY TREE PROTECTION FENCES ARE ALIGNED WITH OR WITHIN CLOSE PROXIMITY TO A RESTRICTIVE COYLINE, A PROPERTY LINE, AND/OR AN ENVIRONMENTALLY SENSITIVE OR PROTECTED AREA, THE CONTRACTOR MUST UNDERTAKE A SURVEY OF THE LOCATION OF THESE LINES SUCH THAT THE TREE PROTECTION FENCE CAN BE INSTALLED AND INSPECTED ACCORDINGLY.
  - OFFENCES AND PENALTIES** UNAUTHORIZED REMOVAL OF OR DAMAGE TO RETAINED TREES AND/OR OVERCROUCHING INTO THE TPZ MAY CONSTITUTE AN OFFENCE UNDER MUNICIPAL BY-LAW AND THE RESTRICTIONS IMPOSED AS PER THE GUIDELINES HEREIN. IN THE PROJECT, THE OWNER, THEIR CONTRACTORS OR THEIR SUB-CONTRACTORS COULD BE LIABLE FOR SUCH TREE AND/OR ANY OTHER RELATED OFFENCES. IN ADDITION, REPAIR COSTS TO THE OWNER MAY INCLUDE CERTAIN REMEDIAL TREATMENTS TO THE TREES AND/OR FOR SOIL IN THE TREE PROTECTION ZONES, TREE REPLACEMENT PLANNING, AND/OR OTHER MEASURES AS REQUIRED BY THE ARCHITECT.
  - REPAIRS** BEFORE STARTING TREE PROTECTION AREA, NO ENTRY IS ALLOWED TO OR ON LETTERING SHOULD BE PLACED ON THE TREE PROTECTION FENCE AT A REGULAR FREQUENCY BY THE OWNER. CONTRACTORS, SUB-CONTRACTORS OR TRADERS SHOULD BE MADE AWARE OF THE RESTRICTIONS HEREIN, AND BE CONSIDERED WITH THE OFFICE FOR ANY ACCESS THEREIN. IF IT IS DETERMINED THAT CERTAIN UNPREDICTABLE CONSTRUCTION ACTIVITIES WITHIN THE TPZ MAY ARISE THAT COULD INTERFERE WITH THE RESTRICTIONS OF THE RESTRICTED TREE, HOWEVER ANY INTERCROUCHING OR CHANGES TO THE TREE RESTRICTIONS SHOULD BE SUBJECT TO APPROVAL IN ADVANCE BY THE PROJECT ARCHITECT AND THE MUNICIPALITY. CERTAIN RESTRICTIONS NOTED HEREIN MAY BE WAIVED IF THEY ARE CONSIDERED BY THE PROJECT ARCHITECT TO BE ACCEPTABLE, AND/OR IF THE IMPACTS TO THE TREES CAN BE SUCCESSFULLY MITIGATED BY IMPLEMENTING SPECIAL MEASURES, PROTECTION STRATEGIES, COMPENSATORY TREATMENTS, AND/OR FOLLOW-UP WORKS AS SPECIFIED BY THE OFFICE.
  - TREE PROTECTION GUIDELINES** ANY WORK ACTIVITIES WITHIN THE TPZ SHOULD INCLUDE THE ADVANCE APPROVAL, AND THE ON-SITE SUPERVISION OF THE PROJECT ARCHITECT, SUPERVISION AND ON-SITE DIRECTION BY THE ARCHITECT. THE TRUNKS, BRANCHES, FOLIAGE AND ROOTS OF RETAINED TREES, AS WELL AS THE SOIL WITHIN THE TREE PROTECTION ZONES, MUST NOT BE DAMAGED BY CONSTRUCTION ACTIVITIES. THE PROJECT ARCHITECT WILL PROVIDE DETAILED MECHANICAL DAMAGE PREVENTION AS WELL AS ANY CORRECTIVE DAMAGE SUCH AS SOIL HYDROLOGY CHANGES, BURNING TO THE FOLIAGE FROM EQUIPMENT EXHAUST, ETC. (EXCEPT AS APPROVED AND DIRECTION BY THE PROJECT ARCHITECT AND THE MUNICIPALITY). ANY RESTRICTIONS ARE RESTRICTED DURING THE PREPARATION, CONSTRUCTION AND LANDSCAPE INSTALLATION PHASES OF THE PROJECT AS FOLLOWS:
    - NO EXCAVATION OF UNDESIRABLE MATERIALS WITHIN OR ADJACENT TO THE TPZ.
    - NO SOIL, SUBSTANCE OR MATERIALS INCLUDING FERTILIZERS OR PESTICIDES TO BE APPLIED TO THE TPZ.
    - NO STORAGE OR TRANSPORT OF SOIL, SPILLS, CONSTRUCTION MATERIALS, WASTE MATERIALS, ETC. WITHIN THE TPZ.
    - NO CONCRETE, STUCCO, GYPSUM, PAINT, OR OTHER POTENTIALLY TOXIC MATERIALS MAY BE WASHED WITHIN OR ADJACENT TO THE TPZ.
    - NO PARKING OR OPERATION OF VEHICLES OR EQUIPMENT THROUGH THE TPZ.
    - NO PLACEMENT OF TEMPORARY STRUCTURES OR SERVICES, ETC. WITHIN THE TPZ.
    - NO UNAUTHORIZED PRUNING OR CUTTING OF RETAINED TREES. ANY PRUNING OR OTHER TREATMENT OF A RETAINED TREE MUST BE COMPLETED BY A QUALIFIED ARBORIST OR TREE SERVICE FIRM EMPLOYING A CERTIFIED ARBORIST, TO COMPLY WITH ANY APPLICABLE STANDARDS, AND/OR UNDER THE DIRECTION OF A PROJECT ARCHITECT FROM THE OFFICE.
    - EXCAVATIONS ADJACENT TO THE TPZ REQUIRES ATTENDANCE/WOOD BRACING BY THE PROJECT ARCHITECT.
  - LANDSCAPING** THE LANDSCAPING PHASE WHEN RETAINED TREES CAN BE SEVERELY DAMAGED, THE OPERATION OF EQUIPMENT, PLACEMENT OR CROWDING MATERIALS, GRADING AND BURNING PREPARATION FOR UNNECESSARY FEATURES, SIGNAGE, BARRIERS, PREPARATION FOR RETAINING WALLS AND FENCING, EXCAVATION FOR FENCE, SIGNS AND OTHER LANDSCAPE FEATURES, DISPOSAL OF PLANNING MATERIALS FOR TREES, THE LOGGING OF BRANCHES FOR BRIDGING, DAMAGE AND UNDESIRABLE ACCESS BY WORKERS, THE PLACEMENT OF FOLIAGE AND OTHER FINISHING WORKS ALL HAVE A VERY HIGH POTENTIAL FOR TREE DAMAGE (E.G. ROOTS CUT OR DAMAGED, TRUNK WOUNDS, SPOOKING SOIL DAMAGE, ETC.) IF A FINAL THAT THE LANDSCAPE WORKS EXCEPT THE LANDSCAPE ON ACTIVITIES WITHIN THE TPZ, THEREFORE THE LANDSCAPE INSTALLATION START SHOULD BE ADVISED ON-SITE DIRECTION BY THE PROJECT ARCHITECT IS STRONGLY RECOMMENDED.
  - PLANNING AND REGULATORY** ANY TREE PROTECTION FOR REMOVAL MAY BE SUBJECT TO CITY REMOVAL REQUIREMENTS AND CONDITIONS, AND MAY REQUIRE NEIGHBOUR AUTHORIZATION (E.G. IN THE CASE OF OFF-SITE OR SHARED OWNERSHIP TREES). IF THE OWNER REQUIREMENTS TO OBTAIN PERMITS AND AUTHORIZATIONS ACCORDINGLY, AND TO MEET THE CONDITIONS THEREOF, THE ACTIVE NEEDS OF PROTECTED WILD SPECIES, AND ANY NEEDS OF CERTAIN OTHER SPECIES, MAY BE PROTECTED BY FEDERAL AND PROVINCIAL LAWS OR STATUTES. IF THESE ARE OBSERVED, THE OWNER IS ENCOURAGED TO RETAIN A QUALIFIED PROFESSIONAL (R.P.A. OR P) TO PROVIDE ASSESSMENT AND IMPACT MITIGATION ADVICE AS NECESSARY. THE RECOVERY, TRANSPORT AND SALE OF MARKETABLE TIMBER DERIVED FROM LAND CLEARING WILL LEGALLY REQUIRE THAT THE OWNER OBTAIN A TIMBER MARK, IN THE GREATER VANCOUVER AND REAR VALLEY REGION, CONTACT THE CHILLIWACK FOREST DISTRICT OFFICE AT 604.836.4442.



- LEGEND**
- SP - DENOTES SITE LIMITS
  - TPZ - DENOTES TREE NUMBER, REFER TO TREE INVENTORY FOR TYPE, SIZE AND CONDITION DATA
  - RET - DENOTES TREE TO BE RETAINED
  - REM - DENOTES TREE TO BE REMOVED
  - HIGH - DENOTES TREE TO BE REMOVED FOR MITIGATION OF HIGH RISK (CTRA)
  - UNDERSIZE - DENOTES UNDERSIZE TREE PER MUNICIPAL BY-LAW, SPECIES AND SIZE AS NOTED
  - CHISEL - DENOTES CHISEL TREE, REFER TO HEDGES FOR RECOMMENDED TREATMENTS. OWNER APPROVAL FOR ANY PROPOSED ACTION/TREATMENT TO CHISEL TREES WOULD BE REQUIRED
  - PLANT - DENOTES REPLACEMENT TREE TO BE PLANTED, REFER TO PLANT LIST FOR SPECIES AND SIZE SPECIFICATIONS, AND DETAIL FOR PLANNING GUIDELINES
  - PROTECT - DENOTES TREE PROTECTION ZONE FENCE TO BE INSTALLED AND APPLICABLE MUNICIPAL STANDARDS, SEE TREE PROTECTION NOTES FOR RESTRICTIONS ON ACTIVITIES WITHIN OR IN CLOSE PROXIMITY OF THE TPZ

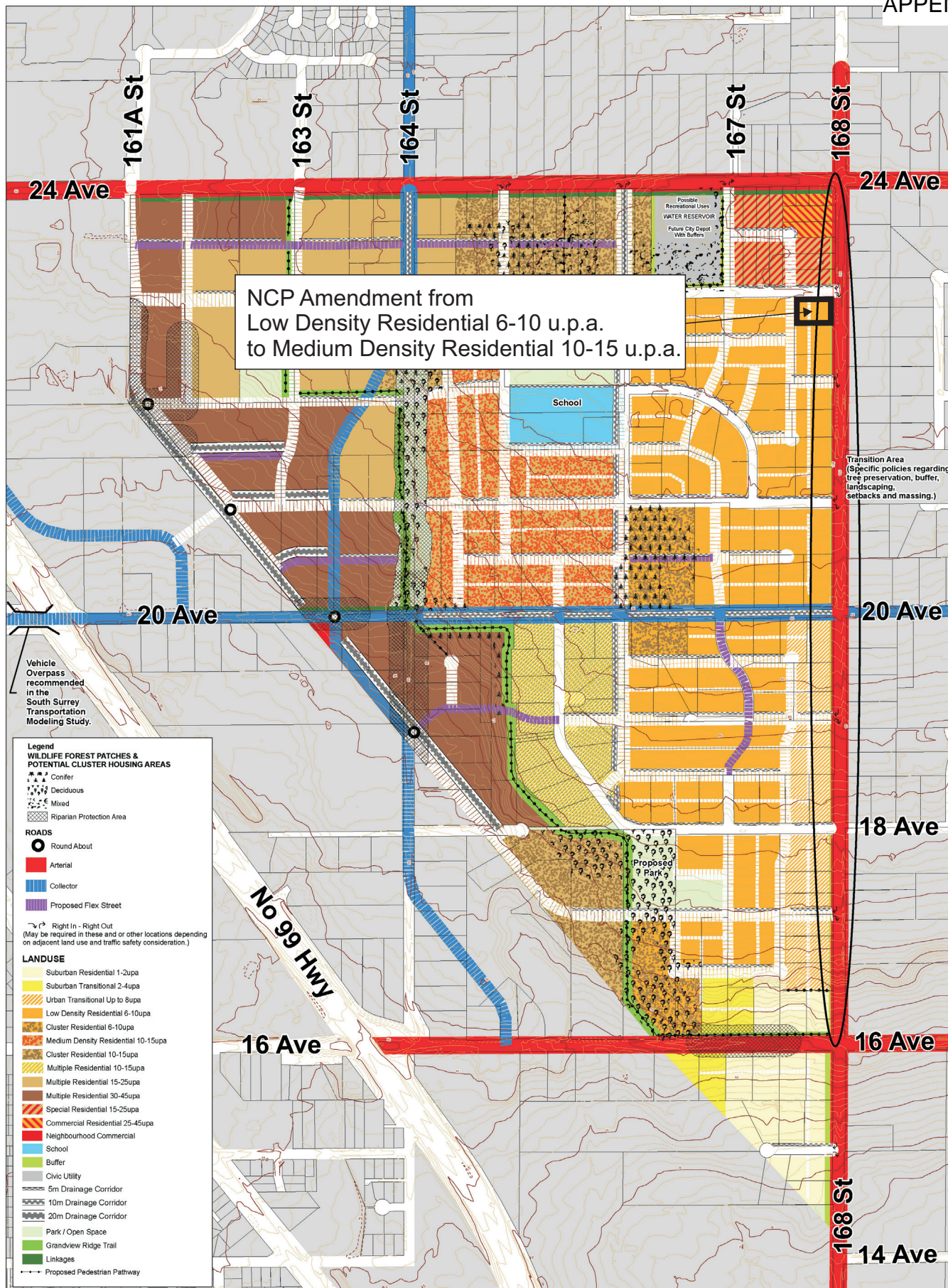
NOTE: NO ON-SITE TREE REPLACEMENT IS POSSIBLE GIVEN THE SMALL SIZE OF THE PROPOSED LOTS (R1-9 ZONING).

PLAN NOTES  
 1. THIS PLAN IS BASED ON A TOPOGRAPHIC AND TREE LOCATION SURVEY PROVIDED BY THE OWNER'S REGISTERED LANDSCAPE ARCHITECT (R.L.A.) AND/OR DRAWINGS PROVIDED BY THE OWNER'S REGISTERED PROFESSIONAL ENGINEER (R.P.E.). THE ARCHITECT'S CONTRACTOR SHALL VERIFY THE ACCURACY OF THE TOPOGRAPHIC AND TREE LOCATION SURVEY AND/OR DRAWINGS AND SHALL BE RESPONSIBLE FOR ANY CORRECTIVE MEASURES THAT ARE REQUIRED ON THE PLAN. PLEASE REFER TO THE ORIGINAL PLAN FOR FURTHER DETAILS.

ARBORTECH CONSULTING  
 16728 23RD AVENUE SURREY  
 TEL: 604.271.2444  
 12285

TREE MANAGEMENT DRAWING  
 PROJECT: GRANDVIEW PHASE 2  
 ADDRESS: 16728 23RD AVENUE SURREY  
 CLIENT: INFINITY GROUP  
 DATE: 12/28/23  
 SHEET: 1 OF 1





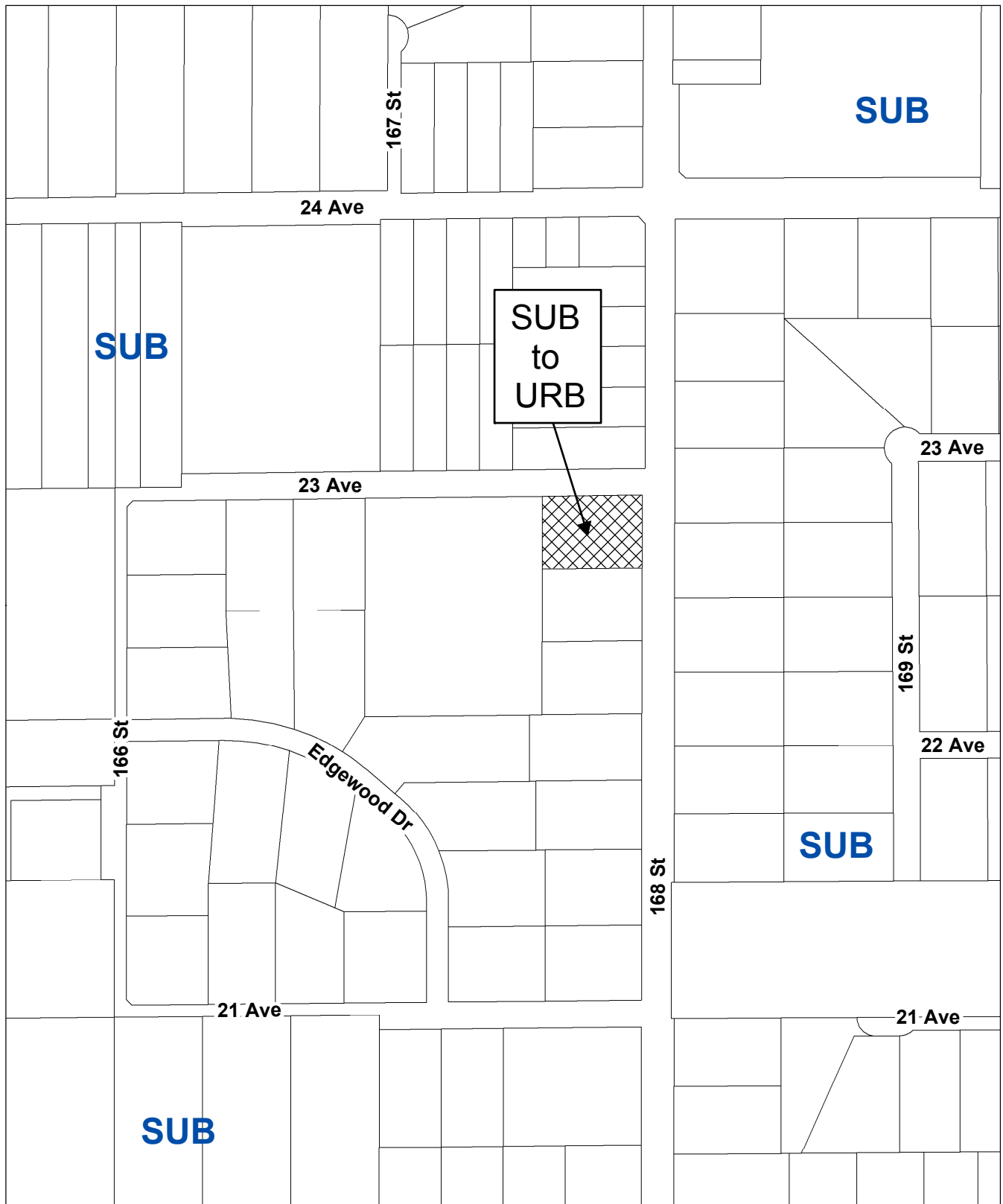
**Grandview Heights NCP Area #2 (Sunnyside Heights)**

**Stage 2 Land Use Concept**

City of Surrey Planning & Development Department

Stage 1 Approved By Council: July 26, 2007  
 Stage 2 Approved By Council Nov. 15, 2010  
 Last Amended 11 April 2011





### OCP Amendment

Proposed amendment from Suburban to Urban

