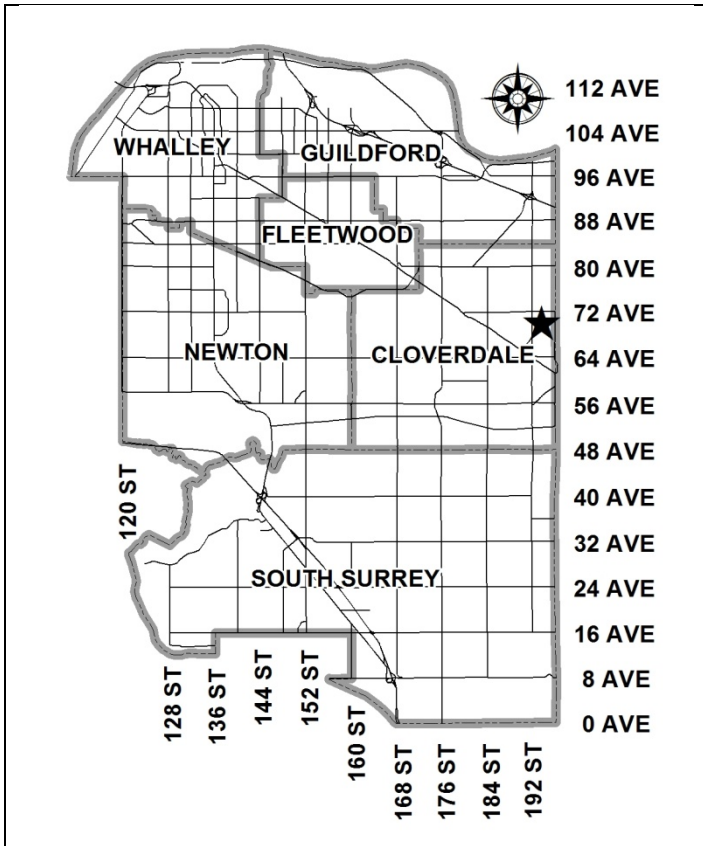


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7912-0334-00

Planning Report Date: January 28, 2013



PROPOSAL:

- **Temporary Industrial Use Permit**

in order to permit a soil screening operation for a period not to exceed 4 months.

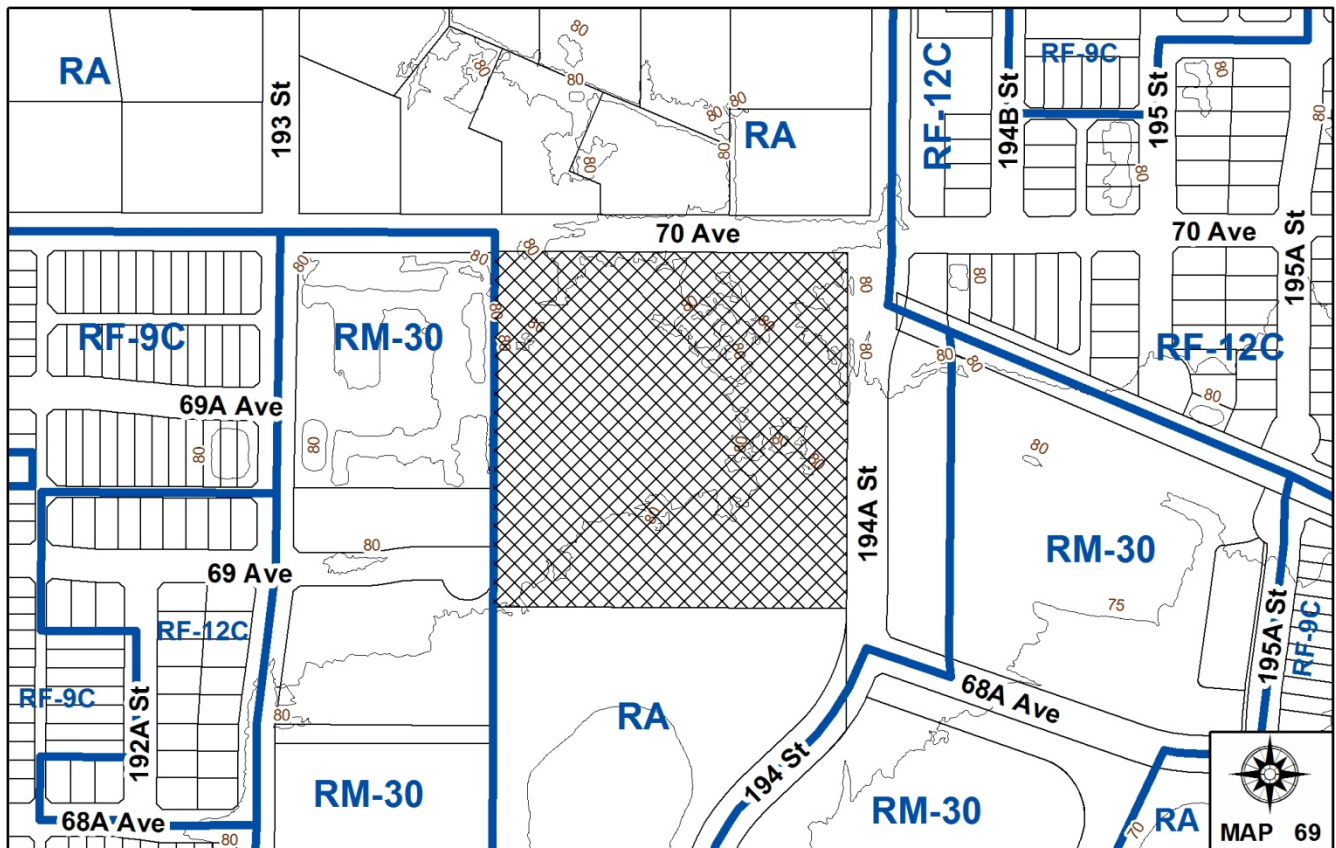
LOCATION: 6887 - 194A Street

OWNER: Board Of Education Of School District No 36 (Surrey)

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: School & Park



RECOMMENDATION SUMMARY

- Approval for Temporary Industrial Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- School sites are designated in the Official Community Plan (OCP) within Temporary Industrial Use Permit Area No. 1, permitting soil screening and the storage and sales of such soil.
- The proposed Temporary Industrial Use Permit (TUP) will allow the displaced soil from the elementary school construction, to be recycled and used more effectively elsewhere by landscapers.
- The proposed elementary school on the site is under construction and tree barriers are installed. No trees will be removed as part of the TUP.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Temporary Industrial Use Permit No. 7912-0334-00 (Appendix II) to proceed to Public Notification.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Vacant 9-acre lot with Katzie Elementary School currently under construction.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 70 Avenue):	Single family dwellings on acreages.	Half Acre Residential	RA
East (Across 194A Street and Greenbelt):	Parkland, townhouses and single family dwellings.	Public Open Space/Park, 15-25 u.p.a. (Medium-High Density), 6-10 u.p.a. (Lot Density) and Utility R.O.W.	RA, RM-30 and RF-12C
South:	Park and detention ponds	Storm Water Ponds (100 year flood event)	RA
West:	Townhouses	15-25 u.p.a. (Medium-High Density)	RM-30

DEVELOPMENT CONSIDERATIONS

- The subject 3.69-hectare (9-acre) site is zoned One-Acre Residential (RA) and is located at 6887 – 194A Street at the southwest corner of 70 Avenue and 194A Street. The site is designated as School & Park in the East Clayton Neighbourhood Concept Plan (NCP).
- The building permit for Katzie Elementary School, proposed for the site, was issued on November 1, 2012 and the school is currently under construction. The school is tentatively slated for opening at the end of 2013.
- The applicant has submitted an application for a Temporary Industrial Use Permit (TUP) to allow for soil screening and the storage and sale of such soil. The proposed operation includes a current stockpile of soil and soil screening equipment and is proposed to be located in the southwest corner of the site (Appendix II).

- Temporary Industrial Use Permit Area No. 1 permits soil screening and the storage and sale of such soil on specific lands including all sites being developed for schools, following the issuance of a TUP.
- The proposed operation includes a diesel screening machine which, according to the applicant, operates at less than 80 decibels. This equipment will operate generally between the hours of 8:00 am to 5:00 pm Monday to Friday and from 8:00 am to approximately 2:00 pm on Saturdays. The soil screening will not take place on Sundays.
- The applicant proposes to operate the soil screening site from April to approximately the middle of June 2013. The applicant plans to landscape the site in June prior to the hot and dry months of July and August. The proposed TUP will be valid for four months from the beginning of April to the end of July 2013. Although the applicant intends to complete the soil sorting and removal by June, delays may arise which require the additional month.
- In total, approximately 200 truckloads of soil are expected to be removed from the site. Access to the site will be from 194A Street with a maximum 20 trucks per day. On a typical day 10 to 12 trucks will enter the site. All trucks servicing the soil business are owned by the applicant's company Super Soil Inc.

Soil Removal and Drainage Issues

- Due to the limited amounts of topsoil in the East Clayton area, the East Clayton Neighbourhood Concept Plan has placed restrictions of removing on-site soil and requires all pervious areas to have minimum soil depth of 0.6 metre (2 ft.).
- The approved landscaping plan for the Katzie Elementary School (Appendix III) proposes 0.6 metre (2 ft.) of soil in the landscaped areas and 0.3 metre (1 ft.) of soil/sand for playfield areas.
- Much of the soil being removed is from impervious areas such as the parking lot and school building footprint. However, to assist with playfield drainage, soil is also being removed from the playfield area. The playfield areas will be comprised of primarily sand with a few inches of topsoil on the surface. The amount of sand being imported will be approximately equal to the amount of soil being removed from the site.
- The applicant will be required to attain a soil removal permit prior to removing any soil from site.
- The recycled soil will be delivered to landscaping companies. The rocks and other debris sifted from the soil will be used for the on-site construction of berms.

Tree Protection Issues

- In association with the building permit, a tree cutting permit was issued on August 17, 2012 to remove 74 by-law sized trees and plant 119 replacement trees. Eight trees are currently being protected with tree protection fencing. The proposed operation will not disturb any of the remaining trees and all soil to be removed will be outside the tree protection zones.

PRE-NOTIFICATION

- A Development Proposal Sign was erected on the site on January 10, 2013 and pre-notification letters were sent to surrounding property owners on January 11, 2013. Staff received no comments in response.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary
Appendix II.	Temporary Industrial Use Permit No. 7912-0334-00
Appendix III.	Approved Landscaping Plan for Katzie Elementary School

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JKS/kms

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DA 1/24/13 9:50 AM

CITY OF SURREY

(the "City")

TEMPORARY INDUSTRIAL USE PERMIT

NO.: 7912-0334-00

Issued To: BOARD OF EDUCATION OF SCHOOL DISTRICT NO. 36 (SURREY)
("the Owner")

Address of Owner: 14033 - 92 Avenue
Surrey, BC
V3V 0B7

1. This temporary industrial use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary industrial use permit.
2. This temporary industrial use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 025-325-736
Parcel A Section 15 Township 8 New Westminster District Plan LMP52816
6887 - 194A Street

(the "Land")

- 3 The Land has been designated as a Temporary Industrial Use Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
- 4 The temporary industrial use permitted on the Land shall be:
 - (a) To allow a soil screening and the storage and sale of such soil for a maximum period of four (4) months, as shown on Schedule A, which is attached hereto and forms part of this Temporary Industrial Use Permit.
5. The temporary use shall be carried out according to the following conditions:
 - (a) between the hours of 8 am to 5 pm Monday to Friday and 8 am to 2 pm on Saturdays;
 - (b) no operation on Sundays;
 - (c) no disturbance within tree protection zones; and
 - (d) soil sorting equipment shall not operate above 80 decibels.

6. As a condition of the issuance of this temporary industrial use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary industrial use permit. Should the Owner fail to comply with the terms and conditions of this temporary industrial use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000

7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary industrial use permit. This temporary industrial use permit is not a building permit.
8. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary industrial use permit.
9. This temporary industrial use permit is not transferable.
10. This temporary industrial use permit shall be valid from April 1, 2013 to July 31, 2013.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY INDUSTRIAL USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY INDUSTRIAL USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.


Authorized Agent: Signature

TYLER GINTHER
Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

TO THE CITY OF SURREY:

We, BOARD OF EDUCATION OF SCHOOL DISTRICT NO. 36 (SURREY) (Name of Owner)

being the owner of Parcel A Section 15 Township 8 New Westminster District Plan LMP52816
(Legal Description)

known as _____ 6887 - 194A Street _____
(Civic Address)

hereby undertake as a condition of issuance of my temporary industrial use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary industrial use permit issued to me; and
- (b) restore the land described on the temporary industrial use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary industrial use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary industrial use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary industrial use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary industrial use permit.

(Owner)

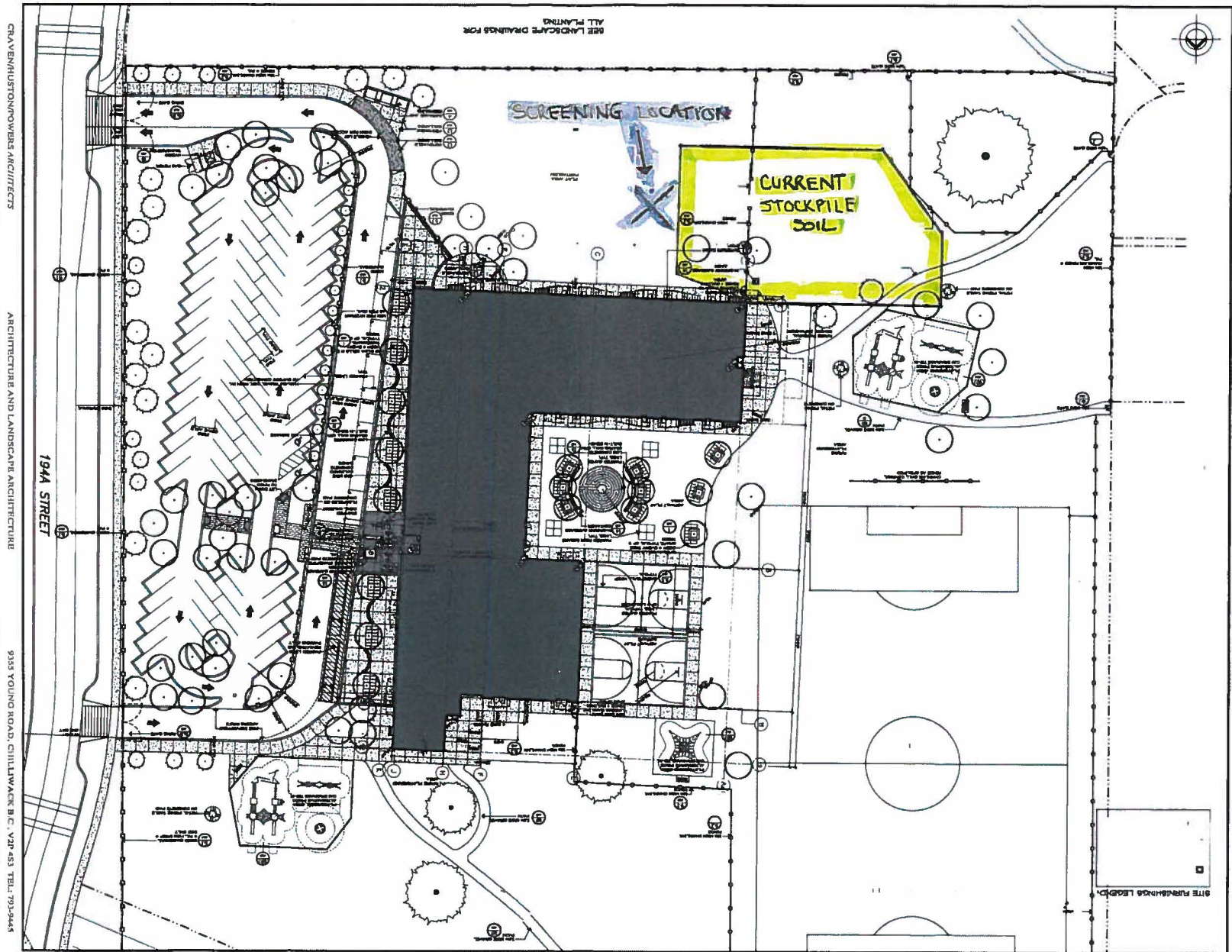
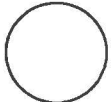
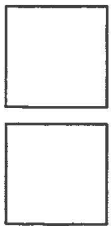
(Witness)

A-1.11

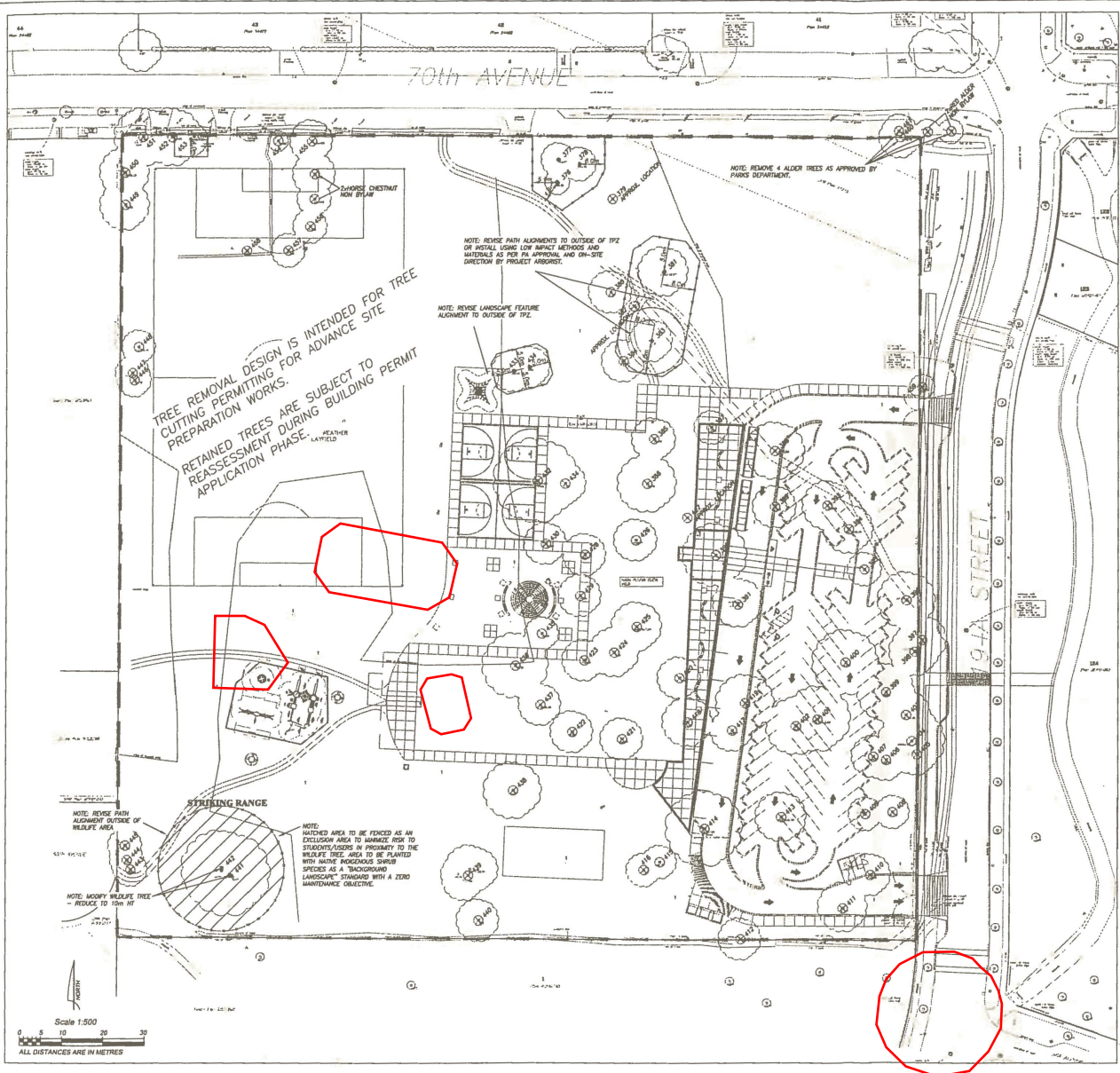
PROJECT NUMBER	1342
DATE	1988
SCALE	AS SHOWN
DESIGNED BY	GRAVEN/HUSTON/OWERS ARCHITECTS
DRAWN BY	
CHECKED BY	
APPROVED BY	

PROJECT TITLE	ENLARGED SITE DEVELOPMENT PLAN
CLIENT	
LOCATION	
DATE	
SCALE	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
APPROVED BY	

ARCHITECTURE AND LANDSCAPE ARCHITECTURE
Katzie Elementary
6887 194A Street
Surrey BC



NORTH
↑

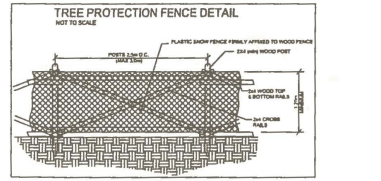


Plans checked by [Signature]
 Planning & Development, City of Surrey
 Date 2012/07/13/1
 Acceptable Not Acceptable

TCF# 12-023683-00
 LEGEND Appendix A -
 TREE TO BE REMOVED
 TREE TO BE PRESERVED
 REPLACEMENT TREE

- TREE PROTECTION GUIDELINES:**
- Tree Protection Zones (TPZ) alignment are shown on the drawing for reference.
 - Tree protection fences must be erected at alignment as shown on the drawing, maintained in good condition until the project meets substantial completion, and the fence must be maintained as per the schedule herein. The minimum standard for fence is a 1.2m high fence with a 1.2m wide base. The fence must be erected at the alignment and extend to the adjacent sidewalk and/or driveway.
 - TPZ alignment must be maintained at all times. Any damage to the fence or to the trees within the TPZ must be repaired or replaced immediately. Any damage to the trees within the TPZ must be repaired or replaced immediately. Any damage to the trees within the TPZ must be repaired or replaced immediately.
 - Signage: "TREE PROTECTION AREA - NO ENTRY" should be placed on the tree protection fence of a suitable frequency, if the general contractor or owner has secured a construction monitoring contract with ACL, we will supply signage with a constant illumination to enhance the contractor, subcontractor and trades or case they require access. If a recognized not certain unavoidable construction conflict may arise that could interfere with the retention of the protected tree, however, any change to the tree retention scheme on site to be made in accordance with the project and the municipality. Protection may be waived if they are considered to be in the best interest of the municipality, and these approvals will be completed for each measure specified by ACL to protect or enhance the trees, their roots and the soil from adjoining projects.
 - Tree protection fencing must be inspected and approved by the municipality and/or the project architect prior to installation, via inspection or construction work commencing.
 - The fence, branches, foliage and roots of retained trees, as well as the soil within the tree protection zones, must not be damaged by construction activities. This includes direct mechanical damage from machinery operation, or indirect damage such as soil compaction, changes in grade or damage from root removal, etc.
 - Any pruning or other treatment of retained trees must be completed by a qualified arborist who is certified by the International Society of Arboriculture or other approved qualification, and/or under the direction of the Project Architect, or ACL staff members.
 - Activities within and adjacent to the TPZ are restricted during the site preparation, construction and landscape installation phases of the project to those that are necessary and directed by the project architect as follows:
 - removal of trees/hedges from within or directly adjacent to TPZ is restricted to the method of soil disturbance within TPZ including trenching, excavation, fill placement, etc.
 - no storage or transport of soil spoil construction materials, waste materials, etc. through TPZ
 - no concrete, block, gravel, etc. piled within or adjacent to TPZ
 - no storage or operation of vehicles or equipment through TPZ
 - no placement of temporary structures or materials within TPZ
 - no utility signs, cables or any other device to retained trees
 - no unattended pruning or curing of retained trees
 - excavations adjacent to the TPZ must be backfilled and protected by the Project Architect

- TREE REMOVAL PERMITTING:**
- Any removal of trees, including those specified by ACL in reports and drawings, may require that a permit or authorization is issued by the Municipality and/or senior environmental agency.
 - The contractor or their agent is responsible to make a tree application permit area based and the project is compliant to any conditions of such licence before proceeding with any site preparation or construction activities.
 - The active root of protected tree species, and any root of certain species, are protected by Federal and Provincial laws or statutes. The member municipalities have established tree clearing activities under the existing permit (a discretionary permit from March 1 to August 15 annually), and/or they would retain a qualified professional (P.P. 80) to provide root assessment and impact mitigation advice as necessary.
 - If the necessary root and/or root system must be removed and/or cleared and clearing is legally required that the owner obtain a Timber Allow, in the Greater Vancouver and Fraser Valley Region, contact the Columbia Forest District office at 604-586-1443. The Timber Allow for private lands is issued free of charge and is issued by the clearing contractor to set the wood and/or chip or not credit (after transportation from overhead and quality in the clearing costs).
- ARBORISTS SUPERVISION FOR TREE PROTECTION ZONES (TPZ):**
- Any work activities within TPZ should include the advance approval and the on-site supervision of the project architect.
 - Any pruning or treatment to the retained trees should be undertaken to proper arboricultural standards, and/or with on-site supervision of the project architect.
 - Any demolition, decommissioning or hard landscaping, the sanding, re-grading and site preparation work in proximity to the TPZ will require coordination with, and only direction by the project architect.
 - Underground services and utilities trenches are to avoid crossing through the tree protection areas, however if it is necessary to make connections through the TPZ, then low-impact methods of excavation such as vacuum installed holes or air excavation, trenches, or other such methods must be implemented conditional to prior approval from, and with the on-site direction of, the project architect.
 - Any excavation or fill placement activities in proximity or directly adjacent to the TPZ require careful review and approval, and/or on-site direction, these works may be subject to special measures, including but not limited to: maintaining the on-site access roads, using shoring devices, installing retaining walls, implementing a drainage strategy, and/or other procedures.
 - Final landscape treatments within the TPZ must be designed to match existing grades. Specifications for grading, seeding or soil amendment, digging, staking holes, installing irrigation or lighting, etc. within TPZ will require project architect approval and on-site direction.
 - LANDSCAPING: The landscaping phase is when retained trees can be skinned the most. The process of soil placement, grading for landscape features, installation for retaining wall construction, excavation for fences and landscape features, digging of planting holes for new plants and trees, the digging of trenches for irrigation, drainage and lighting, the placement of mulch and other finishing works of a very high potential for tree damage (i.e. soil loss, backhoe, etc.) and storage of tree growth and disease development, etc. If it is vital that the landscape works respect the limitations on activities within the TPZ, showline an on-site direction by the project architect a strategy recommended. The landscape contractor should be made aware that any grade changes, including the shallowness of trenches and the removal layer of top dressing can be a significant negative impact on existing trees.



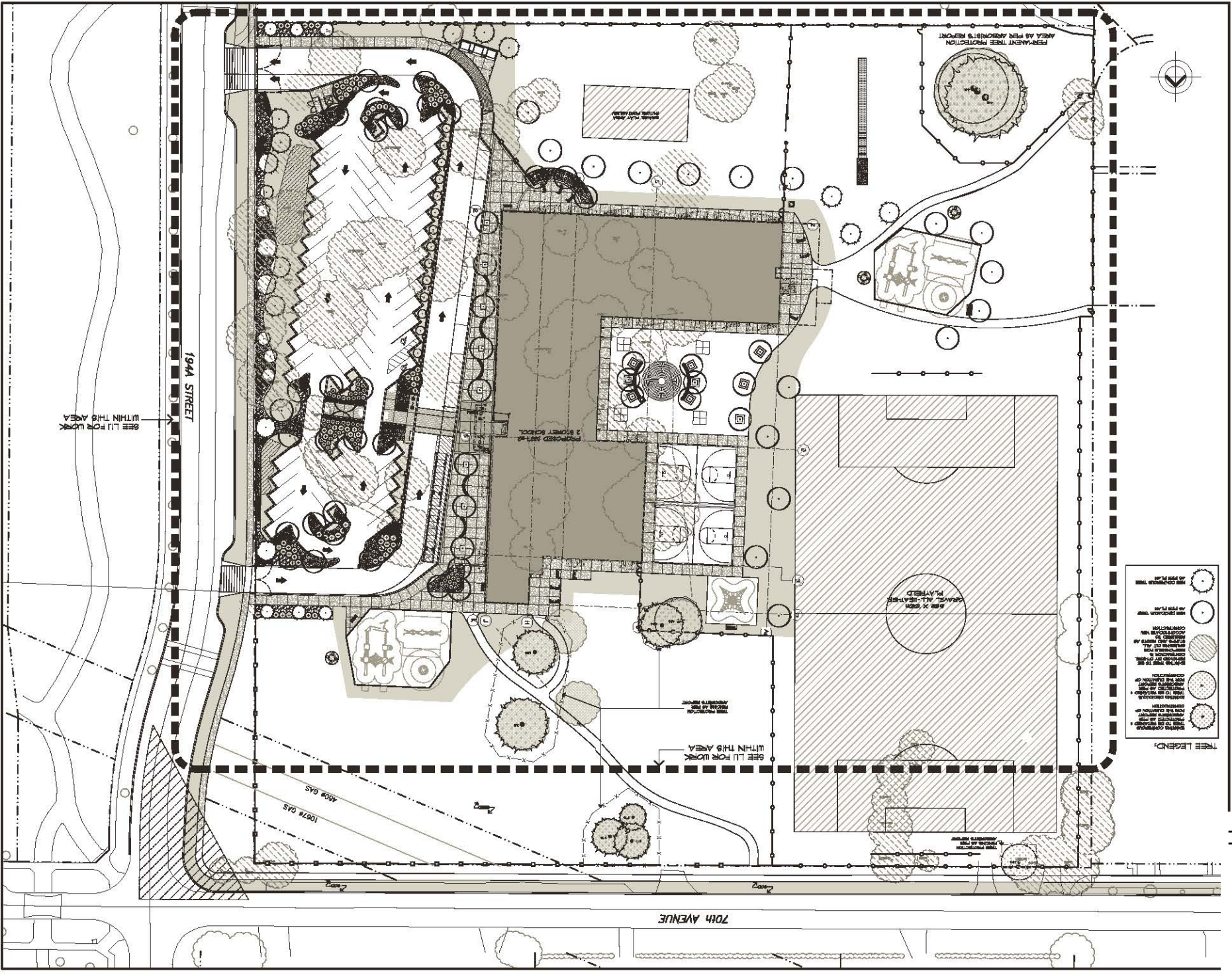
- LEGEND**
- Symbol for Tree to be Removed
 - Symbol for Tree to be Preserved
 - Symbol for Replacement Tree
 - Symbol for Tree Protection Zone (TPZ)
 - Symbol for Tree Retention Area (TRA)
 - Symbol for Tree Removal Area (TRA)
 - Symbol for Tree Replacement Area (TRA)
 - Symbol for Tree Retention Area (TRA)
 - Symbol for Tree Removal Area (TRA)
 - Symbol for Tree Replacement Area (TRA)

TREE RETENTION DRAWING
 Client: SCHOOL DISTRICT NO.36 (SURREY)
 Project: SITE 011
 Address: 12152 70th AVENUE, SURREY
 Date: 14 JUNE 2012
 Our File: 12149

Rev	Date	Comments
1	JULY 30 2012	ISSUES REAR NE CORNER TO BE REPAIRED PER P.I.A.

Plan Notes:
 1. This plan is based on a topographic and tree location survey provided by the owner's Registered British Columbia Land Surveyor (BCLS) and based drawings provided by the owner's Engineer (P. Eng) and/or Design Consultant.
 2. The tree location survey was conducted on the date indicated on the plan. Please refer to the original plan for field photographs and other information that may be available on the plan. Please refer to the original plan for field photographs and other information that may be available on the plan.





TREE LEGEND:

	EXISTING TREES
	TREES TO BE REMOVED
	TREES TO BE PLANTED
	SHRUBS
	LAWN

L-1.0
OF NO.

PROJECT NUMBER:	1242
DATE:	1988
DESIGNER:	CHILLYWACK B.C.
CLIENT:	CHILLYWACK B.C.
LOCATION:	1944 STREET, CHILLYWACK B.C.
SCALE:	AS SHOWN

OVERALL LANDSCAPE PLAN	DATE:	1988	
DESIGNER:	CHILLYWACK B.C.	DATE:	1988
CLIENT:	CHILLYWACK B.C.	DATE:	1988
LOCATION:	1944 STREET, CHILLYWACK B.C.	DATE:	1988
SCALE:	AS SHOWN	DATE:	1988

Katzie Elementary
6887 1944 Avenue
Surrey BC

9555 YOUNG ROAD, CHILLYWACK B.C., V2P 4S3 TEL: 793-9445

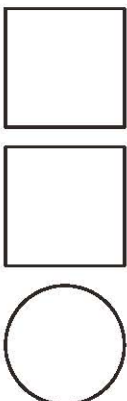




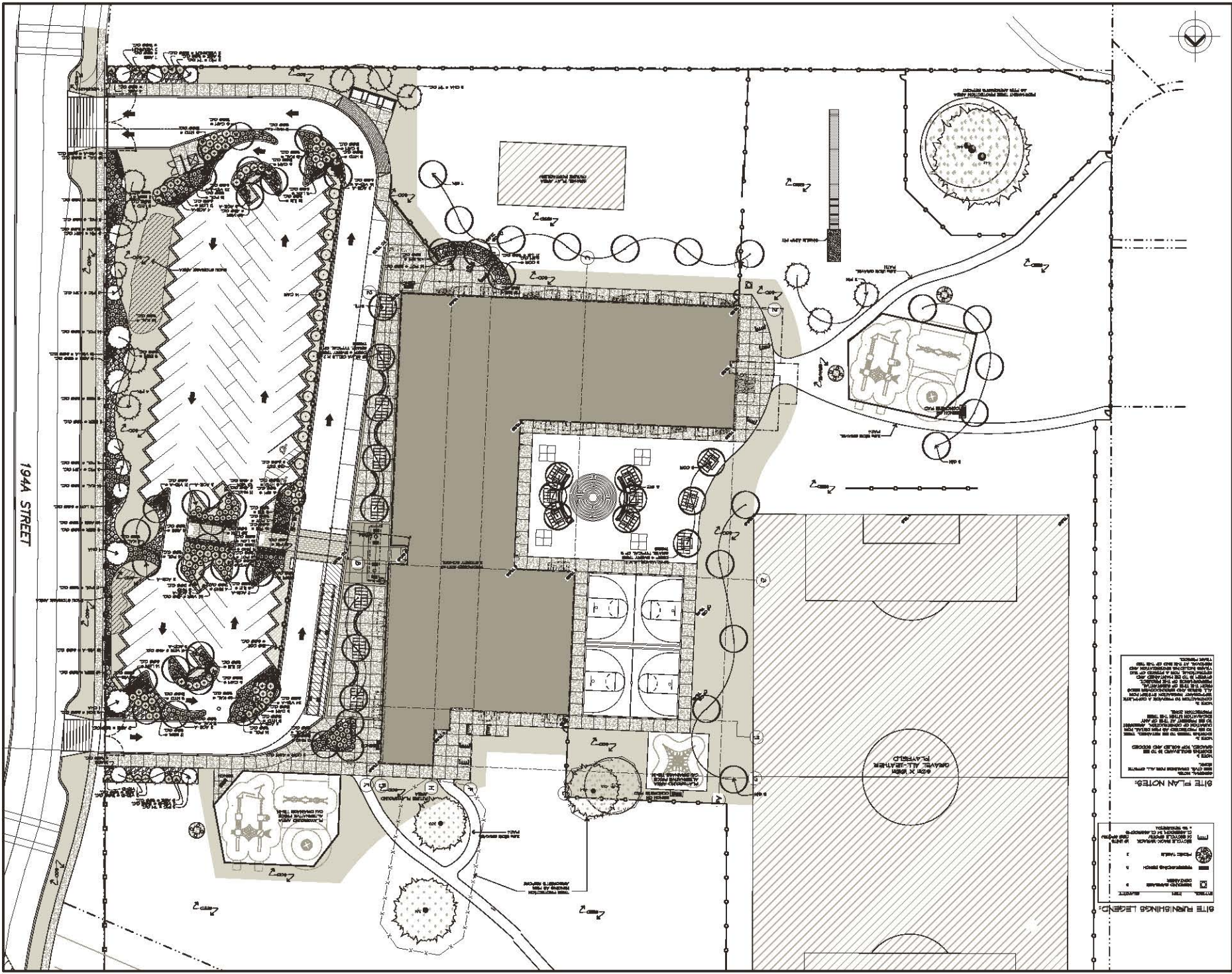
PROJECT NUMBER	12423
DATE	1980
SCALE	AS SHOWN
DESIGNED BY	CHILIVACK B.C.
CHECKED BY	CHILIVACK B.C.
APPROVED BY	CHILIVACK B.C.
DATE	1980

CONTRACTOR	ENLARGED LANDSCAPE PLAN
CLIENT	KATZIE ELEMENTARY
PROJECT	1944 AVENUE
DATE	1980
SCALE	AS SHOWN
DESIGNED BY	CHILIVACK B.C.
CHECKED BY	CHILIVACK B.C.
APPROVED BY	CHILIVACK B.C.
DATE	1980

Katzie Elementary
 6887 1944 Avenue
 Surrey BC



CRAYVEN/BLUSTON/POWERS ARCHITECTS
 ARCHITECTURE AND LANDSCAPE ARCHITECTURE
 9355 YOUNG ROAD, CHILIVACK B.C., V2P 4S3 TEL: 793-9445



SITE PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

SITE FINISHINGS LEGEND:

Symbol	Grass
Symbol	Asphalt
Symbol	Concrete
Symbol	Gravel
Symbol	Soil
Symbol	Water
Symbol	Tree
Symbol	Shrub
Symbol	Flower
Symbol	Path
Symbol	Wall
Symbol	Window
Symbol	Door
Symbol	Light
Symbol	Plant
Symbol	Other