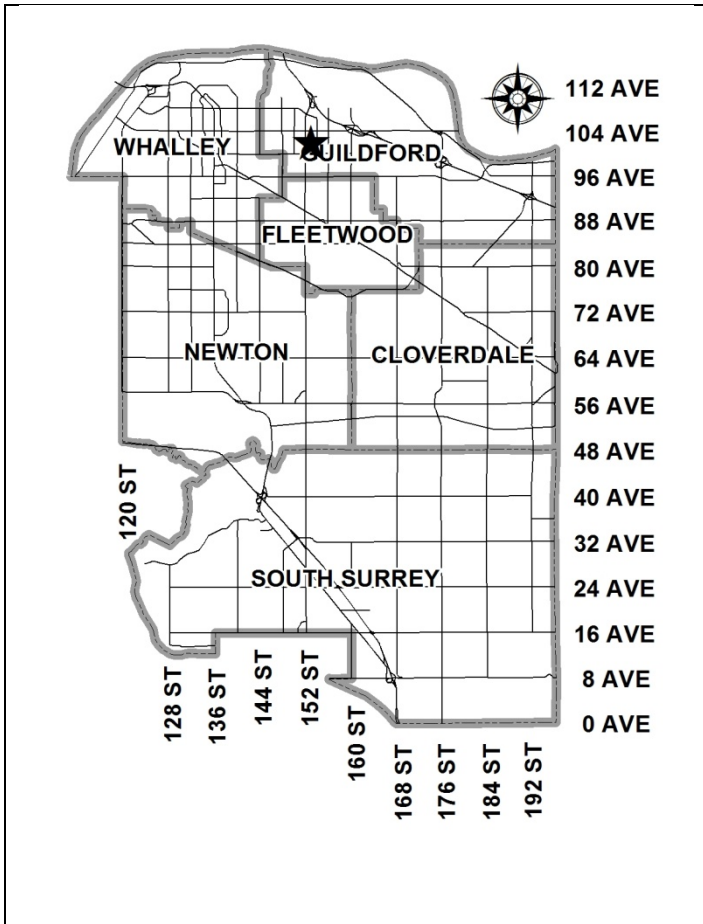


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0011-00

Planning Report Date: June 17, 2013



PROPOSAL:

- **OCP Amendment** from Commercial to Town Centre
- **Rezoning** from RF and C-15 to CD (based on C-15)
- **Development Permit**
- **Development Variance Permit**

in order to permit the development of a four-storey retail/office building with three levels of underground parking.

LOCATION:

10207 - 153 Street
 10221 - 153 Street

OWNER:

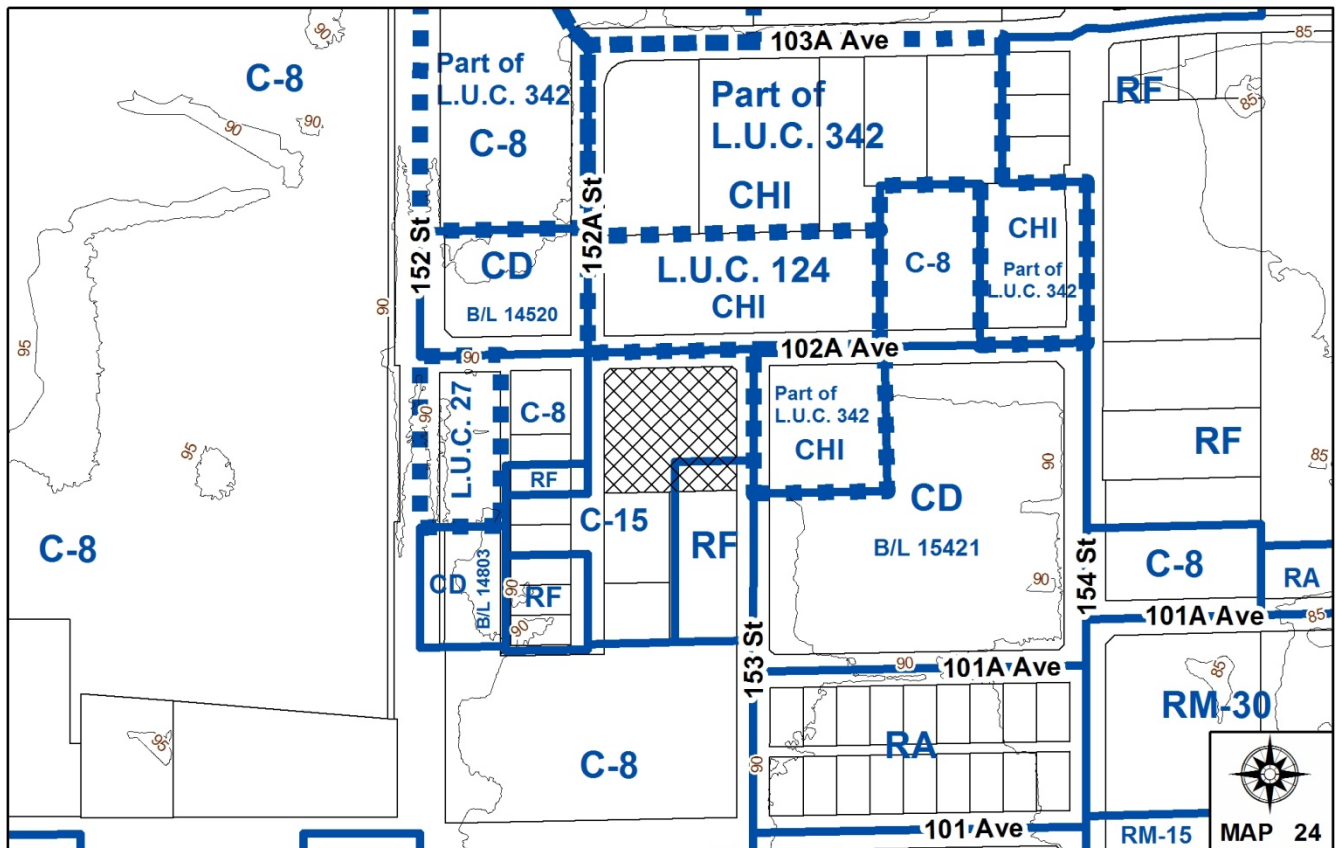
Guildford Real Estate Corp

ZONING:

RF and C-15

OCP DESIGNATION:

Commercial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposal requires an OCP amendment from Commercial to Town Centre.
- Seeking variances to partially defer the works and services associated with the development.

RATIONALE OF RECOMMENDATION

- The proposed density and building form are appropriate for this part of Guildford Town Centre.
- The proposed development conforms to the goal of achieving higher density development within the Guildford Town Centre.
- The proposed setbacks achieve a more urban, pedestrian streetscape that will support commercial uses and pedestrian movement in the area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site from Commercial to Town Centre and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" (By-law No. 12000) and "Town Centre Commercial Zone (C-15)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7913-0011-00 generally in accordance with the attached drawings (Appendix II).
5. Council approve Development Variance Permit No. 7913-0011-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to defer the works and services requirements of Subdivision and Development By-law No. 8830 for a portion of 102A Avenue.
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) registration of a reciprocal access and parking easement for the entire subject site;
 - (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;

- (h) registration of a statutory right-of-way for public rights of passage over the southern portion of the site, which includes the driveway and sidewalk, to provide public access between 152A Street and 153 Street; and
- (i) registration of a Section 219 Restrictive Covenant for "no build" over proposed Lot 2 until future redevelopment is proposed that will trigger the completion of the required works and services.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Parks, Recreation & Culture: No concerns are identified with the subject application.

SITE CHARACTERISTICS

Existing Land Use: Two, 3-storey office buildings are located on the eastern portion of the site at 10221 - 153 Street. The remainder of the site is presently used for surface parking.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 102A Avenue):	Single storey commercial building (ICBC Claim Centre)	Town Centre	LUC 124 (underlying zone: CHI)
East (Across 153 Street):	2-storey commercial building (Mirage Night Club)	Commercial	LUC 342 (underlying zone: CHI)
Southeast	Vacant lot under Application No. 7908-0275-00 for a 5-storey commercial building (Third Reading).	Commercial	RF
Southwest:	3-storey commercial building.	Town Centre	C-15
West (Across 152 A Street) (south lot):	Single family home.	Commercial	RF
West (Across 152 A Street) (northern lots):	Two commercial buildings .		C-8

JUSTIFICATION FOR PLAN AMENDMENT

- The subject site is designated Commercial in the Official Community Plan (OCP). The applicant is proposing an OCP amendment from Commercial to Town Centre to accommodate the proposed 4-storey office building (Appendix II).
- The proposed development conforms to the goal of achieving higher density development within the Guildford Town Centre.
- The proposal is consistent with other commercial applications in the area that have either redesignated, or are proposed to be redesignated to Town Centre (e.g. application nos. 7901-0040-00, 7911-0236-00 and 7908-0275-00, all of which are located south of the subject site).

DEVELOPMENT CONSIDERATIONS

- The subject 0.61-hectare (1.51-acre) site is located at 10207 and 10221 - 153 Street in Guildford Town Centre. It is designated Commercial in the Official Community Plan (OCP) and zoned "Single Family Residential Zone (RF)" and "Town Centre Commercial Zone (C-15)".
- The applicant proposes an Official Community Plan amendment from Commercial to Town Centre; rezoning from "Single Family Residential Zone (RF)" and "Town Centre Commercial Zone (C-15)" to "Comprehensive Development Zone (CD)"; a Development Variance Permit and a Development Permit to permit the development of a four-storey office building with retail units on the ground floor.
- The applicant is also proposing a subdivision that will create two future lots, which can facilitate the retention of two existing, 3-storey office buildings located on the site. The proposed existing lot will have the two existing 3-storey buildings, whereas the proposed 4-storey building will be located on the proposed western lot (see Appendix II).
- The proposal supports City efforts achieve a finer grained road network in the Guildford Town Centre by providing a driveway connection that will ultimately link 152A Street and 153 Street. The driveway will provide additional connectivity in the area and be secured through a statutory right-of-way (SRW).
- This connection will be achieved with the future development of the property to the south at 10189-153 Street (Development Application No. 7908-0275-00, at Third Reading).
- The applicant has agreed to supplement the proposed 6.0-metre (20 ft.) wide statutory right-of-way (SRW) from 10189-153 Street with an additional 2.0-metre (7 ft.) wide SRW on the southeast portion of the site. The SRW will widen to approximately 8.0 metres (26 ft.) at the southwest corner of the site to match the southeast portion.
- In the interim, the southeast portion of the SRW will function as a pedestrian walkway to foster connection through the site.

Proposed CD Zone

- The proposed "Comprehensive Development Zone (CD)" is based on the "Town Centre Commercial Zone (C-15)" with minor modifications to the permitted uses, setbacks and building height.
- The permitted uses will be similar to those permitted in the C-15 Zone with the exception of tourist accommodation and multiple unit residential building which have been excluded. These uses are not being proposed by the applicant.
- The proposed CD Zone provides for some modifications to the setbacks prescribed in the C-15 Zone as shown below:

Zone	Front Yard (North)	Rear Yard (South)	Side Yard on a Flanking Street (153 Street)	Side Yard on a Flanking Street (152 A Street)	Side Yard
Proposed CD Zone	1.1 m (4 ft.)	7.5 m (25 ft.)	1.9 m (6 ft.)	1.50 m (5 ft.)	0 m (0 ft.)
C-15	2.0 m (7 ft.)	7.5 m (25 ft.)	2.0 m (7 ft.)	2.0 m (7 ft.)	0 m (0 ft.)

- The CD Zone proposes a 1.5-metre (5 ft.) side yard setback along 152A Street. The reduced setback affects the proposed building and should help enliven the street by bringing the building closer to the public realm.
- The proposed 1.1-metre (4 ft.) front yard (north) and 1.9-metre (6 ft.) side yard setbacks are required to accommodate the existing buildings. The front yard setback results from road dedication that is required along 102A Avenue.
- The proposed CD Zone allows the setbacks from internal lot lines to be reduced to 0.0 metre (0 ft.). The reduction will accommodate any future development that may be proposed.
- The C-15 Zone has a maximum building height of 14 metres (45 ft.). The CD Zone proposes a maximum building height of 18 metres (60 ft.) which will accommodate both the proposed and existing buildings.

Arborist Report and Tree Location/Retention Plan

- The Arborist Report, prepared by Mike Fadum and Associates Ltd. and dated March 18, 2013, identifies 24 mature trees, 15 of which are proposed to be removed because they conflict with the future building envelope.
- The table below provides a summary of the proposed tree retention and removal by species:

Tree Species	Number of Trees	Number to be Retained	Number to be Removed
Birch, Paper	4	4	0
Cherry	3	0	3
Hornbeam	5	4	1
Spruce, Serbian	2	0	2
Sweet Gum	10	1	9
Total	24	9	15

- Surrey's Tree Protection By-law requires that all trees be replaced at a 2:1 ratio, excluding Red Alder and Black Cottonwood (to be replaced at a 1:1 ratio). The applicant proposes 36 replacement trees be provided, which exceeds the 32 required under the Tree Protection By-law.

PRE-NOTIFICATION

Pre-notification letters were sent on April 26, 2013. Correspondence was received from an adjacent resident who identified the following concerns.

- The resident expressed concern about the appropriateness of locating a 4-storey office building at this location and the impact that this would have on residents living in the existing 4-storey apartment building to the southeast of the subject site at 10180-153 Street. The resident noted that there will be issues associated with over views from the new building. Ultimately the resident believes that a less intensive form of development should be proposed.

(The site is located within the Guildford Town Centre area and designated Commercial in the Official Community Plan. Both 152A Street and 153 Street have seen recent development proposals that are consistent with the proposed development form and consistent with the vision for this part of Guildford Town Centre.

It should also be noted that the proposed building is oriented toward 152A Street and away from the apartment building on 153 Street. The existing commercial buildings that front 153 Street should provide some visual separation from the proposed development for residents to the east.)

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

- Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

- The application proposes the development of a 4-storey retail/office building, with a total floor area of 5,827 square metres (62,721 sq. ft.), representing a floor area ratio (FAR) of 1.45. Up to 29 office units and 6 commercial retail units are proposed.
- The site is bordered by three City streets: 152A Street, 102A Avenue and 153 Street. The proposed building will be located along the western edge of the site adjacent the 152A Street and 102A Avenue intersection. The two existing buildings, which are on a proposed separate lot, are located at the rear of the site adjacent the intersection of 153 Street and 102A Avenue. Surface parking and access to the site's underground parking structure are located internally within the site.

- The development provides a commercial interface at the street level along 152A Street, with entries for the retail units on the ground floor oriented to the street. The entry to the lobby, which provides access to the office units on the upper floors, is on the building's eastern façade facing the internal surface parking lot. Ground floor offices on the east side of the building have direct access to the future parking lot.
- The ground floor retail units range in size from 109 square metres (1,161 sq. ft.) to 290 square metres (3,118 sq. ft.). The office units, predominantly located on the upper floors with the exception of two units on the ground floor, range in size from 109 square metres (1,168 sq. ft.) to 252 square metres (2,709 sq. ft.).

Building Design

- The proposed building will feature prominently at the southeast corner of the 152A Street and 102A Avenue intersection.
- Architectural design features such as vertical frosted glass sunshades on the front and rear façades, in combination with a significant fin wall extending from the ground floor to the roof line on both the front and rear façades, helps to emphasize the building's horizontal nature. The fin wall will be clad in prefinished metal panels (grey and orange colours).
- The building is further articulated through the use of a curtain wall system which uses slightly different but complementary materials at different floors (e.g. clear glazing at the ground floor with tinted glazing and spandrel panels on the upper floors).
- A continuous metal and glass canopy is provided at the first floor, along all building façades to provide pedestrian weather protection. The building's main entry is emphasized by a portion of the fin wall over the entry raised to the building's third floor. The entry is further emphasized by being recessed approximately 1.5 metres (5 ft.) from the remainder of the eastern building façade.
- All of the building's façades are defined by expansive glass windows. However, glazing is particularly pronounced at the ground level where glass will extend from floor to ceiling.

Signage

- Fascia signage over ground floor unit entries will be in the form of channel letters which will be located above the canopy on a metal sign panel.
- One free-standing sign is proposed adjacent the site's entry from 102A Avenue. The sign will be a maximum 2.4 metres (8 ft.) high and coordinated with the project's landscaping.

Site Access and Parking

- Vehicular access to the site will principally be provided from both 152A Street and 102A Avenue. As previously noted, a third access from 153 Street will be provided at some point in the future.
- The applicant is proposing to provide a total of 270 parking spaces which is comprised of 228 parking spaces in three levels of underground parking along with 42 surface parking spaces.

All of the available parking will be shared between the existing buildings and the proposed building. The total number of parking spaces provided exceeds the Zoning By-law requirement of 191 spaces.

- Access to the underground parking ramp and underground parking is located internally within the site.
- Further to the interim shared parking arrangement, it is expected that the existing buildings will be redeveloped in the future, including the construction of additional underground parking. Vehicular access to any future underground parking will be required to use the proposed driveway and underground parkade ramp on the subject site for access. The applicant has provided knock out walls on the first level of the parkade that can be removed to give access, when needed.
- To facilitate the shared parking, including any future underground parking expansion, the applicant will be required to register a shared driveway access easement in favour of the eastern lot with the two existing buildings located on it.

Landscaping

- Connectivity between the existing buildings and the new development will be fostered with the provision of a formalized walkway that extends from the rear of the existing buildings to the entry for the proposed building. The walkway will be constructed from pavers and specialty paving and will extend from the rear of the existing buildings to the new building's entry on the eastern façade.
- The parking area will be partially screened from 102A Avenue by the inclusion of planting beds which includes a variety of trees (6 cm caliper) and shrubs along the northern property line.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on June 3, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within the Guildford Town Centre.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The development is within the 1.5 maximum FAR permitted in the Town Centre.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The development proposes to retain approximately 26 percent of the existing trees onsite. • Recycling pickup will be available.

4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The development will allow for shared parking in addition to providing visible/secure all-weather bike parking and storage. • Onsite paths and sidewalks (approximately 130 metres (427 ft.)) are provided in addition to providing showers and change facilities.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • n/a
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • n/a

ADVISORY DESIGN PANEL

ADP Date: April 25, 2013.

The applicant has resolved all of the outstanding items to the satisfaction of the Planning and Development Department.

However, there are a number of minor urban design issues that require further refinement prior to consideration of final approval. The principal issues that need to be addressed are as follows.

- Refinement of the proposed landscaping to provide in-ground planting;
- Confirmation of the location of additional mechanical equipment, including parking vents and roof top equipment;
- Provision of a concept civil plan to confirm that an acceptable interface exists between the retail and adjacent sidewalk to avoid the need for ramps along the street; and
- Refinement of the parking ramp sidewalls and guardrails.

The applicant has agreed to address these issues prior to consideration of Final Adoption of the Rezoning By-law and issuance of the Development Permit.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To defer Part V of the Subdivision and Development By-law, No. 8830, by deferring until the future redevelopment of the site the following improvements on the eastern portion of the site on 102A Avenue:
 - the servicing requirements;
 - construction standards;
 - sidewalks and walkways; and
 - boulevards.

Applicant's Rationale:

- Constructing the aforementioned improvements as part of the subject application would compromise the existing landscaping and place the sidewalk close to the existing building. The applicant has advised staff that he expects to redevelop these buildings in the near term (3-5 years) and thus it is more appropriate that the improvements be completed as part of a future application.

Staff Comments:

- The variance is applicable to only the portion of the site along 102A Avenue, adjacent the existing building. Waiving the works and services will allow the existing curb, boulevard and sidewalk to remain in their existing location and away from the building.
- The remainder of the works and services associated with improvements on City streets will be constructed as part of the finalization of the subject application.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	ADP Comments and Applicant's Responses
Appendix V.	OCP Redesignation Map
Appendix VI.	Development Variance Permit No. 7913-0011-00
Appendix VII.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Francl Architecture and ETA Landscape Architecture, respectively, dated June 5, 2013.

Original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

SML/da

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DEVELOPMENT DATA SHEET

Proposed Building

Proposed Zoning: CD (C-15)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		4,116 m ²
Undevelopable area		91 m ²
Net Total		4,025 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	80%	35%
Paved & Hard Surfaced Areas		63%
Total Site Coverage		98%
SETBACKS (in metres)		
Front (north)	1.1 m	1.69 m
Rear (south)	7.5 m	12.76 m
Side (east)	0 m**	16.9 m**
Side (west)	1.55 m	1.65 m
BUILDING HEIGHT (in metres/storeys)		
Principal	18 m	17.8 m
Accessory		
FLOOR AREA: Commercial		
Retail		925 m ²
Office		4,902 m ²
Total		5,827 m ²
TOTAL BUILDING FLOOR AREA	6,038 m ²	5,827 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

****NOTE: Proposed setback to internal lot line.**

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.50	1.45
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	191*	270*
Total Number of Parking Spaces	191	270*
Number of disabled stalls	2	3
Number of small cars		42
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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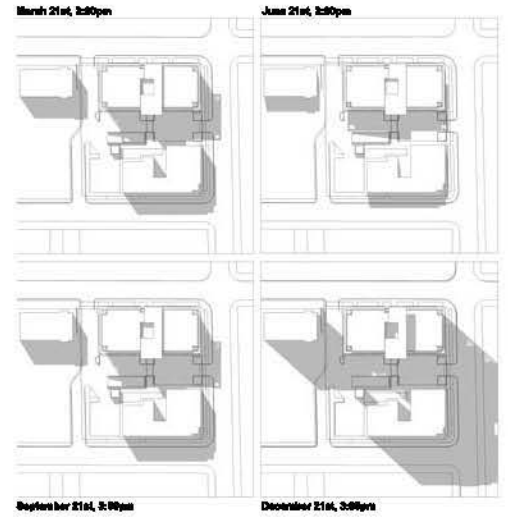
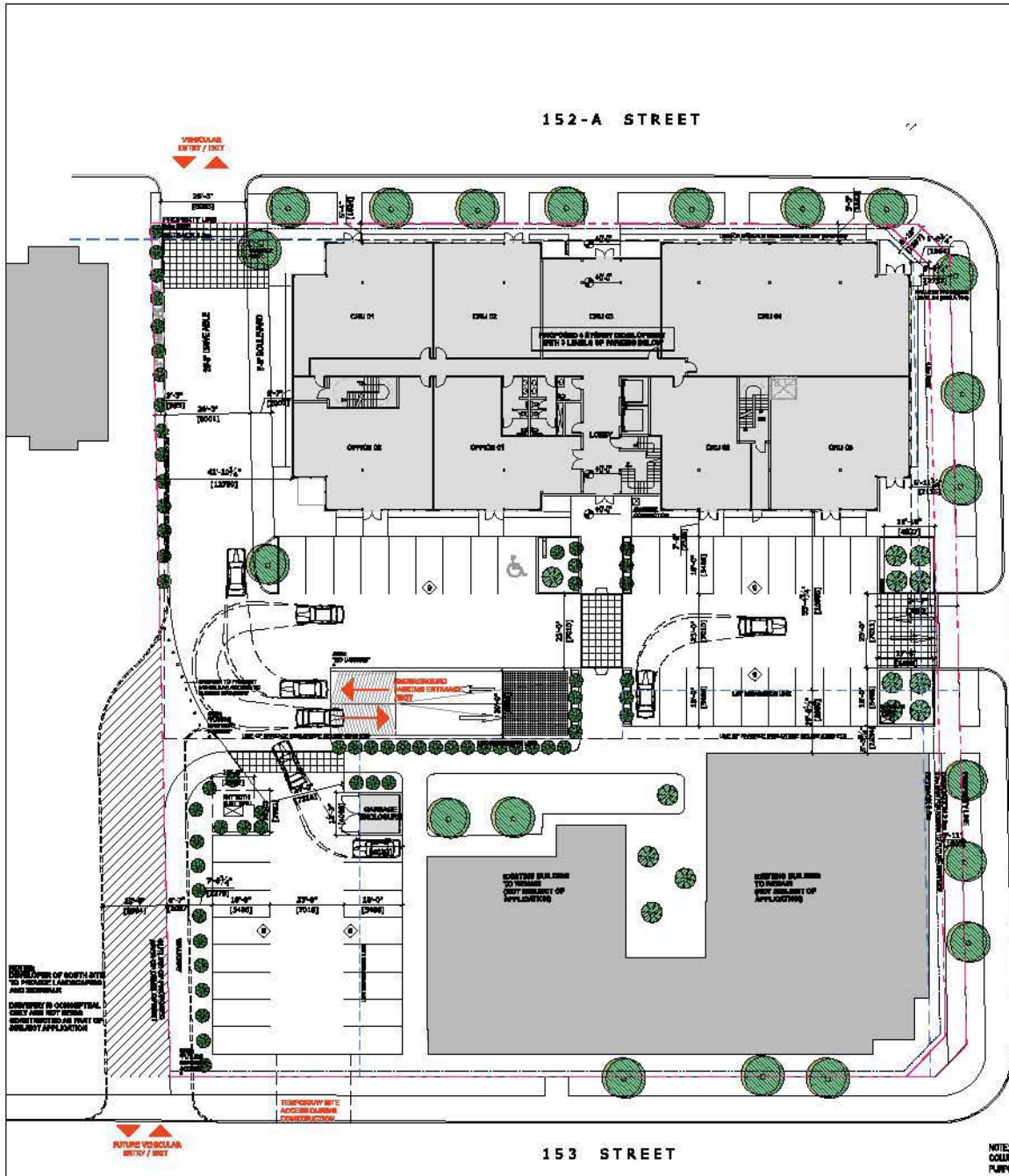
***NOTE: The parking numbers reflect the total number of spaces available on both of the proposed lots.**

MULTIPLE BUILDINGS DATA SHEET

Existing Buildings

Proposed Zoning: CD (C-15)

Required Development Data	Building #1	Building #2
SETBACK (in metres)		
Front (north)	1.2 m	n/a
Rear	n/a	6.4 m
Side (west)	6.0 m	6.0 m
Side (East)	2.0 m	2.0 m
Building Height (in metres/storeys)	17 m (3 storey's)	17 m 3 storey's)
TOTAL FLOOR AREA	2,670 m ² (both buildings)	



SITE STATISTICS

Civic Address: 102-A Avenue at 152-A St., Surrey, B.C.

LEGAL DESCRIPTION: Lot 1, Section 28, Block 5 North, Range 1 West, New Westminster District L.M.P. Lot C

PROVIDER (102-A St.): 78.82m

DEPTH (152-A Ave.): 74.68m

SITE AREA:
 Gross Site Area: 4,116m² (14,304 sq.ft.)
 Road Widening Dedication: 81m² (888 sq.ft.)
 Net Site Area: 4,035m² (13,526 sq.ft.)

DEVELOPMENT STATISTICS:

Development permitted under existing zoning	Proposed development
ZONING: CD-18 Town Centre Commercial Zone	-
USE: Office, retail, service, eatery	Office, retail
SETBACKS:	
Front: 102-A St. 1.0m (min.)	1.00m (8'-0")
Side yard (on fronting street): 102-A Ave. 2.5m (min.) (2.0m deduction + 1.0m setback)	3.00 (clear) (2.0m deduction + 1.00m (8'-7") setback)
Rear: 3.0m (min.)	3.75m (12'-0") (1.75+2.0m deduction)
GROSS FLOOR AREA: -	3,827m ² (16,219sq.ft.)
FLOOR SPACE RATIO: 1.00 (max.)	1.40
HEIGHT: 14m (45'-11") (max.)	17.0m (55'-4")
NUMBER OF STOREYS: n/a	4
PARKING SPACES: 128 required (Floors above ground: 98 stalls = 45,801m ² x 2 stalls/1,075sqm; Ground floor: 43 stalls = 14,465m ² x 3 stalls/1,075sqm)	205 (42 surface, 226 underground) Reg. stall (18' x 8'-0") 206 Small stall (10' x 8'-0") 42 (10%) H/C stall (10' x 12') 3
BICYCLE SPACES: n/a (see per parking by-law)	n/a (see per parking by-law)
LOADING SPACES: n/a (see per parking by-law)	n/a (see per parking by-law)

FRANCL ARCHITECTURE

1000 BURNHAMTHORPE RD. SUITE 100
 VANCOUVER, BC V6C 2M8
 TEL: 604.273.8888

01	2nd Issue '19	Issued for EDP Revision 4
02	12th Issue '19	Issued for EDP Revision 5
03	15th Issue '19	Issued for AGP
04	16th Issue '19	Issued for EDP Revision 2
05	17th Issue '19	Issued for EDP Revision 1

GUILDFOOT OFFICE
 102-A Ave. at 152-A St.,
 Surrey, B.C.

SITE PLAN

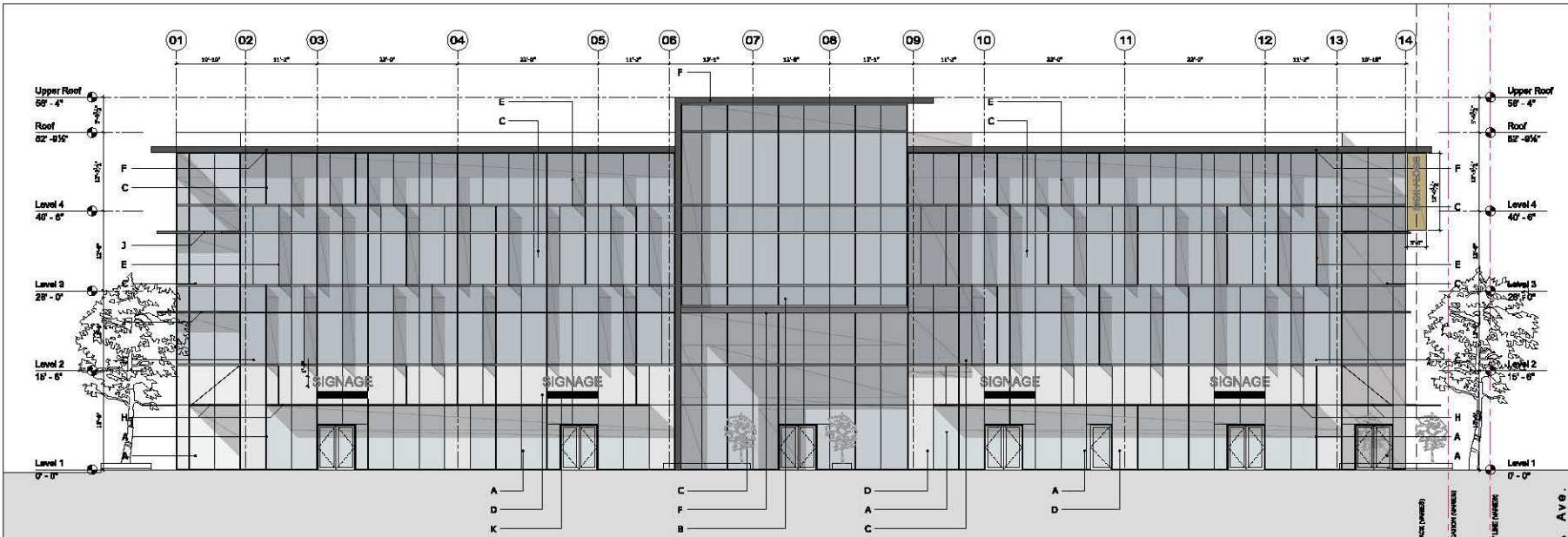
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North Arrow

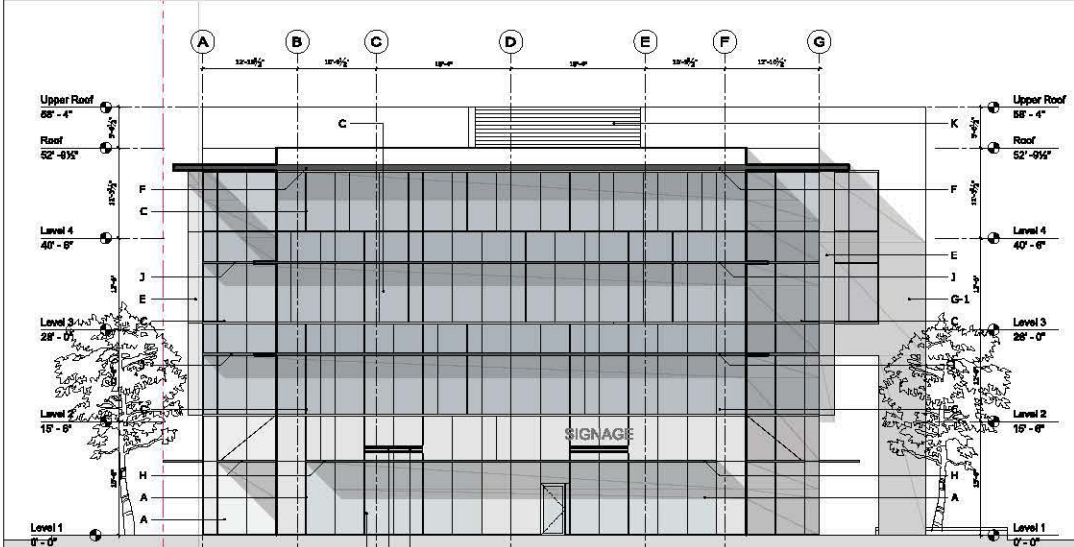
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 Date: 2019-08-08
 Author: JLD

NOTES
ALL SIGNAGE TO CONFORM TO THE
CITY OF SURREY SIGN BYLAW

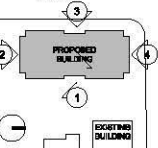
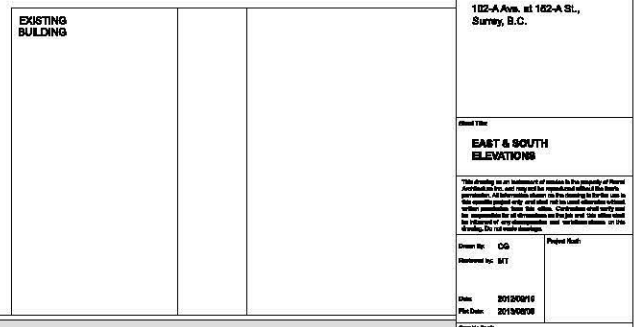
- Legend**
- Materials Legend
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 - B CURTAIN WALL (HORIS. CAP ONLY) - GREY BRANCHED FRAME
 - C CURTAIN WALL (HORIS. CAP ONLY) - GREY TINTED GLAZING
 - D CURTAIN WALL (HORIS. CAP ONLY) - LIGHT GREY METAL BEFL FRAME
 - E INTEGRATED METALLIC BLINDSHADE - OPTICALLY LAMINATE GLASS
 - F PRE-FINISHED METAL SOFFIT / TRIM - DARK GREY
 - G/F PRE-FINISHED METAL GLAZING - 1 - LIGHT GREY, 2 - ORANGE
 - H CANOPY WITH STEEL OUTRODDERS - OPTICALLY LAMINATE GLASS
 - J ALUMINUM GLENN BLINDSHADE - DARK GREY
 - K PRE-FINISHED METAL LOUVER - LIGHT GREY



1 East Elevation
Scale: 1/4" = 1'-0"



2 South Elevation
Scale: 1/4" = 1'-0"



Rev.	Date	Description
05	08 June '13	Issued for DP Revision 4
04	17th May '13	Issued for DP Revision 3
03	18th Apr '13	Issued for ADP
02	10th Apr '13	Issued for DP Revision 2
01	26th Mar '13	Issued for DP Revision 1

Project Title
GUILDFORD OFFICE

Address
102-A Ave. at 102-A St.,
Surrey, B.C.

Sheet Title
EAST & SOUTH
ELEVATIONS

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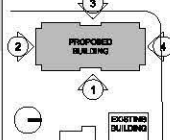
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Reviewed By: MT
Date: 2013/06/16
Plot Date: 2013/06/16

Project No.: 21218
Sheet No.: A 300

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Sheet No.: A 300
File Name: 11210-AB00 - Elevations

NOTES
ALL SIGNAGE TO CONFORM TO THE CITY OF SURREY SIGN BYLAW

- Legend**
- A CURTAIN WALL (HORIS. CAP ONLY) - CLEAR GLAZING
 - B CURTAIN WALL (HORIS. CAP ONLY) - GREY BRANCHED GLAZING
 - C CURTAIN WALL (HORIS. CAP ONLY) - GREY TINTED GLAZING
 - D CURTAIN WALL (HORIS. CAP ONLY) - LIGHT GREY METAL SHELL PANEL
 - E INTEGRATED VERTICAL BLINDS - OFFICE LAUNDRITE GLASS
 - F PRE-FINISHED METAL SOFFIT / TRIM - DARK GREY
 - G/F PRE-FINISHED METAL GLAZING - 1 - LIGHT GREY, 2 - ORANGE
 - H CANOPY WITH STEEL OUTRODDERS - OFFICE LAUNDRITE GLASS
 - J ALUMINUM LOUVER BLINDS - DARK GREY
 - K PRE-FINISHED METAL LOUVER - LIGHT GREY



Date	Description
05 Jun '13	Issued for DP Revision 4
04 May '13	Issued for DP Revision 3
03 Apr '13	Issued for ADP
02 Apr '13	Issued for DP Revision 2
01 Mar '13	Issued for DP Revision 1

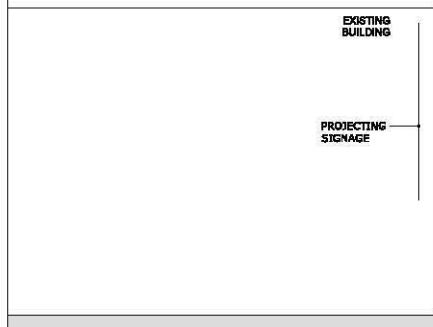
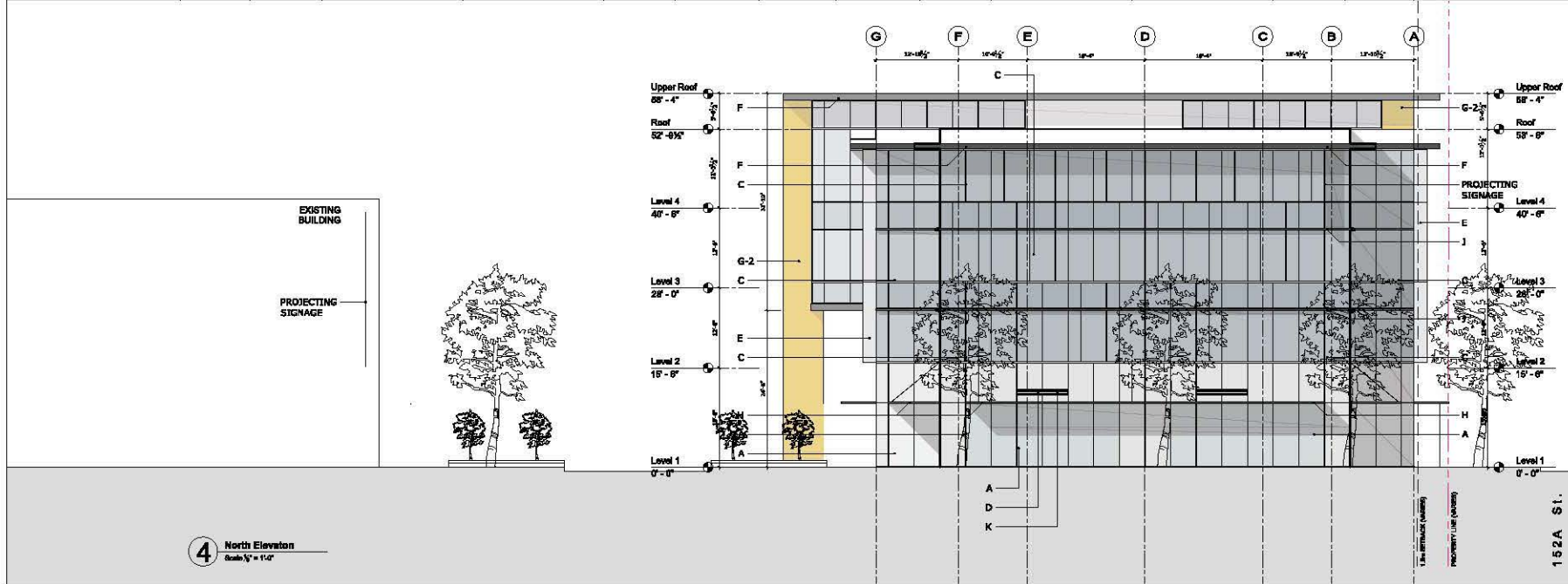
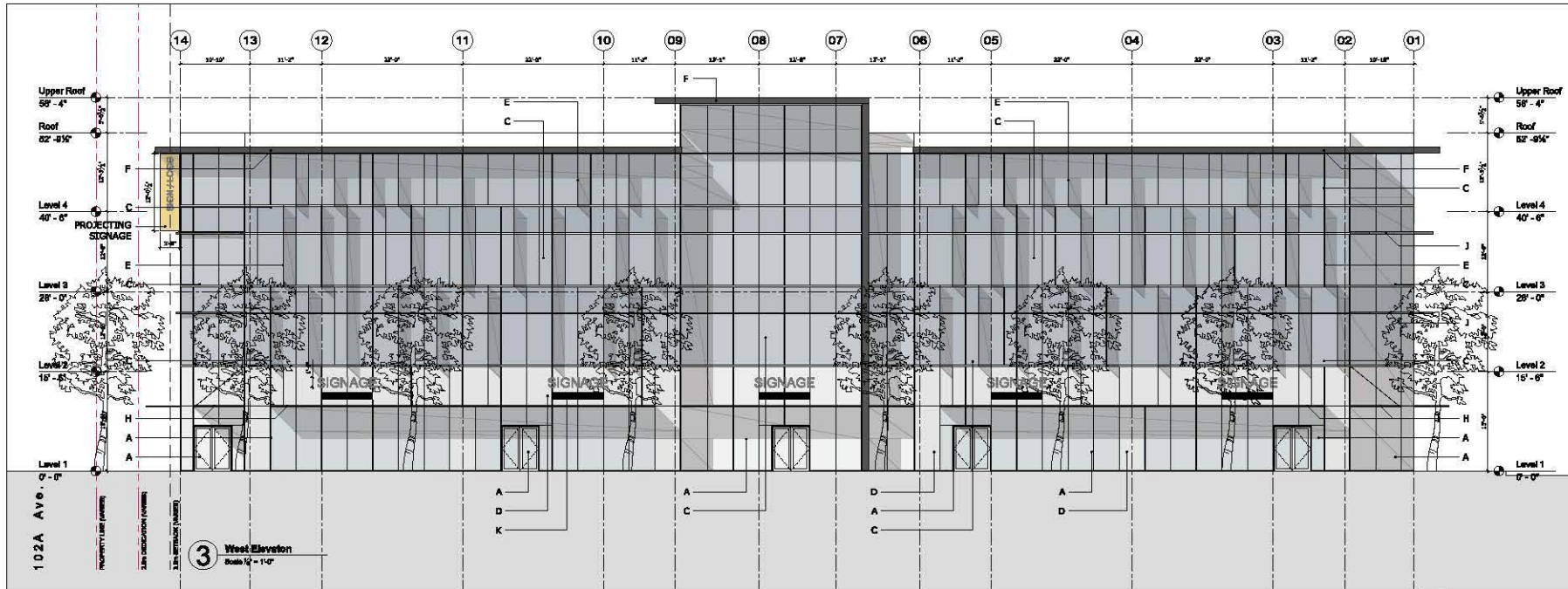
Project Title
GUILDFORD OFFICE
102-A Ave. at 102-A St.,
Surrey, B.C.

Sheet Title
WEST & NORTH ELEVATIONS

This drawing is an instrument of service for the benefit of the client. It is the property of the architect and shall remain such until the client has paid the full fee. It is not to be used for any other purpose without the written consent of the architect. The client shall be responsible for all dimensions and shall allow for the time and cost of any amendments and shall be responsible for all dimensions and shall allow for the time and cost of any amendments and shall be responsible for all dimensions and shall allow for the time and cost of any amendments.

Drawn By: CG
Reviewed By: MT
Date: 2013/06/16
Plot Date: 2013/06/16

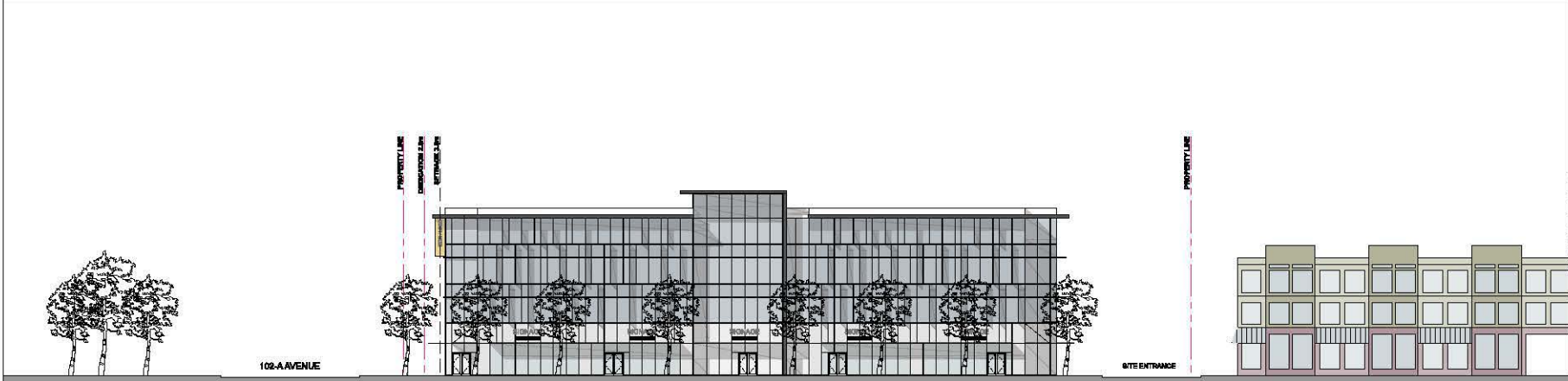
Scale: 1/8"=1'-0"
Project No.: 21218
Sheet No.: A 301
Project Name: 102-A Ave. - Elevations



NOTES
ALL SIGNAGE TO CONFORM TO THE
CITY OF SURREY SIGN BY-LAW



1 Streetscape - 102-Ave.
Scale 1/8" = 1'-0"



2 Streetscape - 152-A St.
Scale 1/8" = 1'-0"

05	30 June '13	Issued for DP Revision 4
04	17 May '13	Issued for DP Revision 3
03	18 Apr '13	Issued for ADP

No.	Date	Description
Revisions / Issues:		
Project Title:		

GUILDFORD OFFICE
102-A Ave. at 162-A St.,
Surrey, B.C.

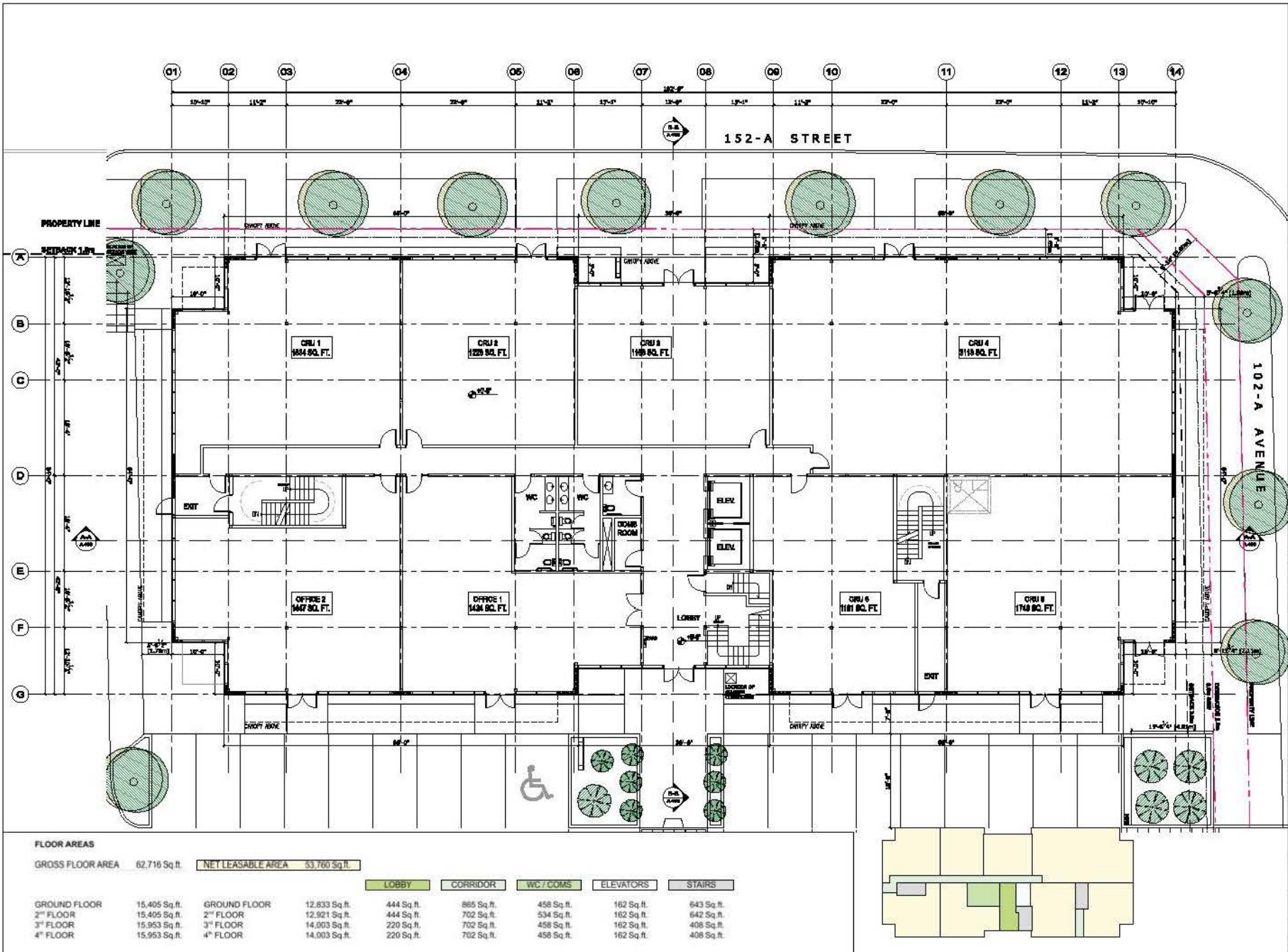
STREETSCAPE ELEVATIONS

This drawing is an indication of intent to be used by the contractor. It is not a contract document. It is not to be used for construction without the approval of the architect. The contractor shall be responsible for all dimensions and details and shall verify all dimensions and details on the site. The architect shall not be responsible for all dimensions and details and shall verify all dimensions and details on the site. The contractor shall be responsible for all dimensions and details and shall verify all dimensions and details on the site.

Drawn By:	CG	Project No.:	
Reviewed By:	MT		
Date:	2013/06/19		
Plot Date:	2013/06/19		

Scale:	1/8" = 1'-0"	Sheet No.:	
Project No.:	21218		
CAD File Name:	21218-0210 - Streetscape Elevation		

A 310



- 01 15th June '15 Issued for DP# Revision 4
- 02 17th May '15 Issued for DP# Revision 3
- 03 18th Apr '15 Issued for ACP
- 04 12th Apr '15 Issued for DP# Revision 2
- 05 14th Mar '15 Issued for DP# Revision 1
- 06 1st Feb '15 Issued for DP# Revision 1

OLDFORD OFFICE
152-A Ave. at 102-A Av.,
Burray, B.C.

GROUND FLOOR PLAN

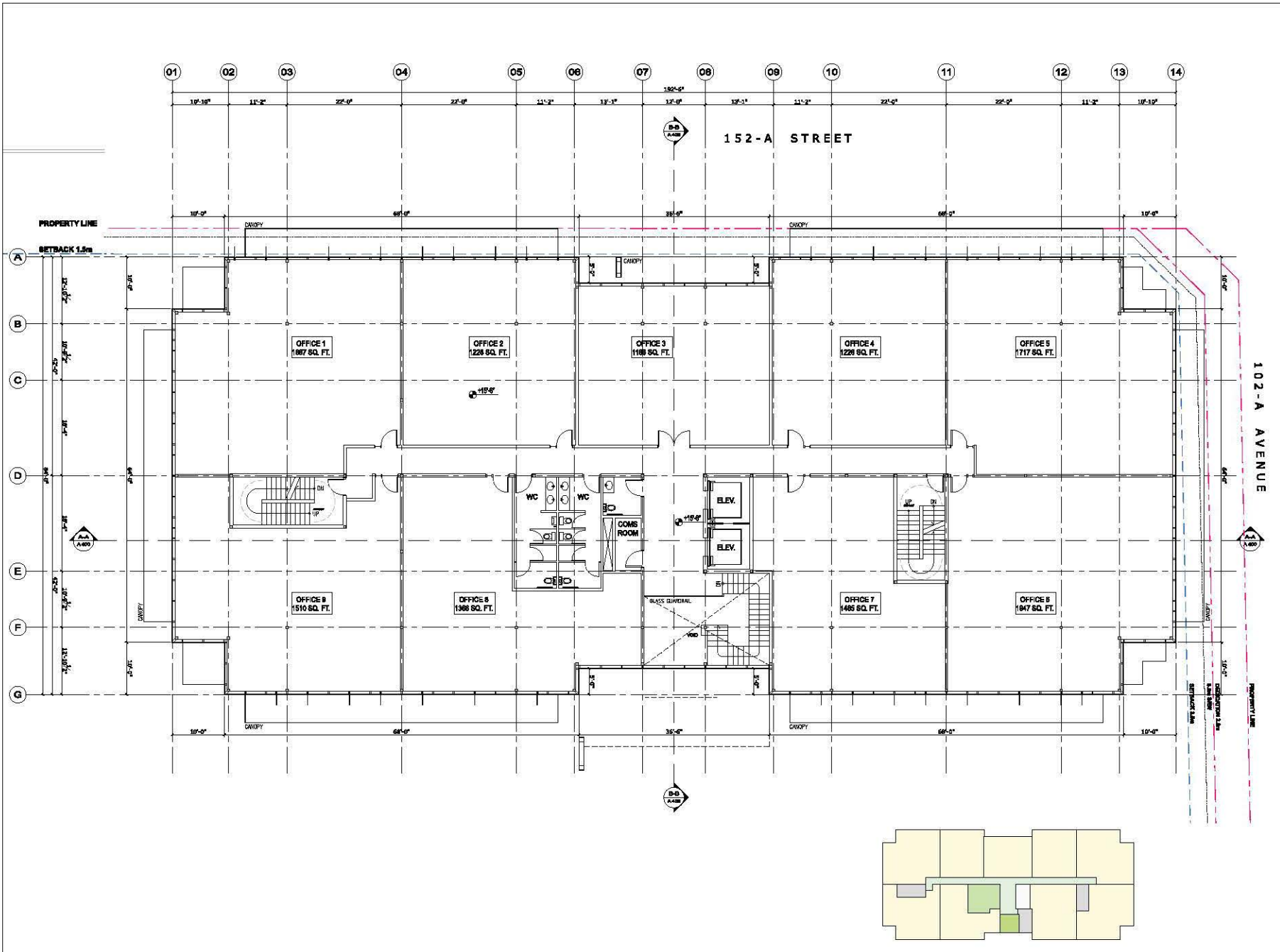
Scale: 1/8" = 1'-0"
Drawing No. A 101

FLOOR AREAS

GROSS FLOOR AREA 62,716 Sq. Ft. NET LEASABLE AREA 53,760 Sq. Ft.

	LOBBY	CORRIDOR	WC / COMS	ELEVATORS	STAIRS
GROUND FLOOR	15,405 Sq. ft.	12,833 Sq. ft.	444 Sq. ft.	865 Sq. ft.	458 Sq. ft.
2 ND FLOOR	15,405 Sq. ft.	12,921 Sq. ft.	444 Sq. ft.	702 Sq. ft.	162 Sq. ft.
3 RD FLOOR	15,953 Sq. ft.	14,003 Sq. ft.	220 Sq. ft.	702 Sq. ft.	458 Sq. ft.
4 TH FLOOR	15,953 Sq. ft.	14,003 Sq. ft.	220 Sq. ft.	702 Sq. ft.	458 Sq. ft.

Scale: 1/8" = 1'-0"
Drawing No. A 101



Comments:
None

05	28 June '13	Issued for DP Amendment 4
04	17th May '13	Issued for DP Amendment 3
03	18th Apr '13	Issued for ADP
02	10th Apr '13	Issued for DP Amendment 2
01	28th Mar '13	Issued for DP Amendment 1

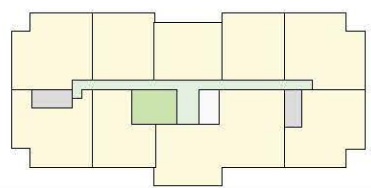
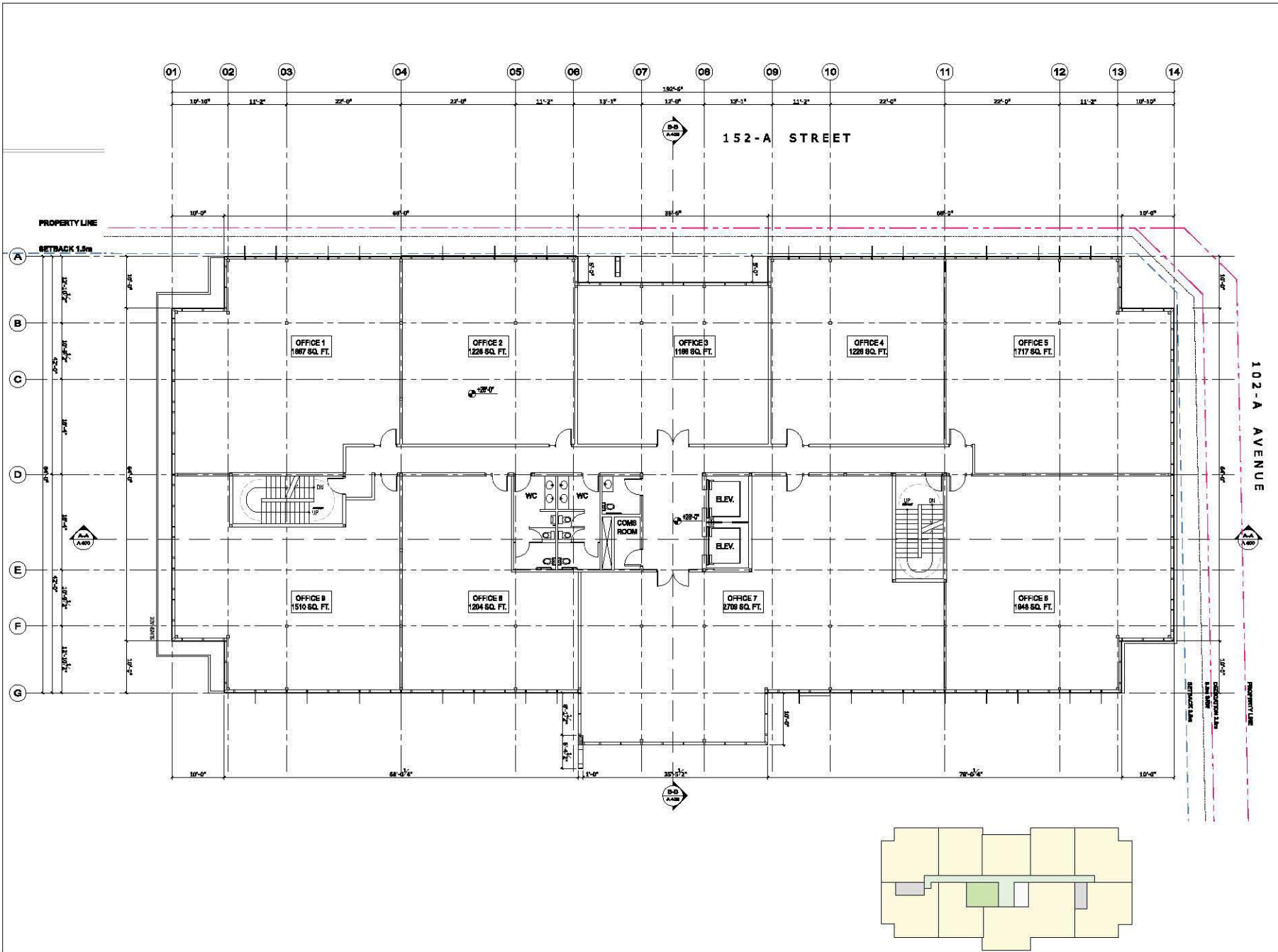
Project Name:
GUILDFORD OFFICE
102-A Ave. at 102-A St.,
Surrey, B.C.

2nd FLOOR PLAN

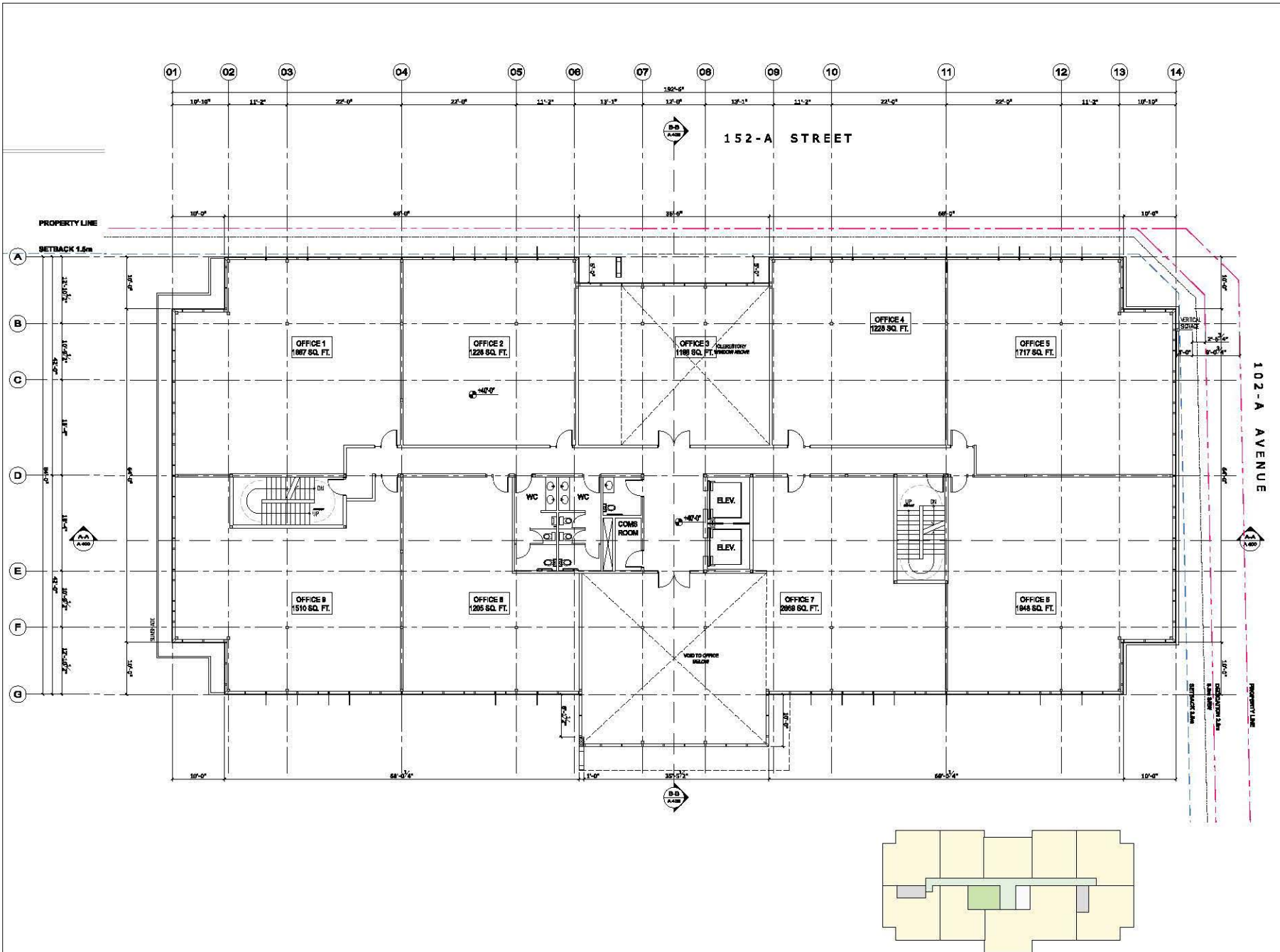
This drawing is an instrument of service to be used only for the project and site shown. It is not to be used for any other purpose without the written consent of the architect. The architect does not accept any responsibility for omissions, errors and site alterations after the date of completion and installation of the building. See the contract documents.

Drawn By: **CG**
Reviewed By: **MT**
Date: **2013/06/16**
Plot Date: **2013/06/28**
Project Name: **Guildford Office**

Scale: **1/8"=1'-0"**
Project No.: **21218**
CAD File Name: **11210-A100 - Plans**
Sheet No.: **A 102**



<p>Revisions</p> <p>Date</p>	
04	17th May '18 Issued for DP Revision 2
03	16th Apr '18 Issued for ADP
02	10th Apr '18 Issued for DP Revision 2
01	29th Mar '18 Issued for DP Revision 1
Rev.	Date Description
<p>Author/Checker</p> <p>Project Title</p> <p>GUILDFORD OFFICE</p> <p>102-A Ave. at 102-A St., Surrey, B.C.</p>	
<p>Sheet Title</p> <p>3rd FLOOR PLAN</p>	
<p><small>This drawing is an instrument of service to the satisfaction of the client. It is the property of the architect and shall remain such until the building is completed. It is not to be used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing, or for any consequences arising therefrom, in whole or in part.</small></p>	
<p>Drawn By: CG</p> <p>Reviewed By: MT</p>	<p>Project No:</p>
<p>Date: 2018/05/18</p> <p>Plot Date: 2018/05/18</p> <p>Graphic Scale:</p>	<p>North Arrow</p>
<p>Scale: 1/8"=1'-0"</p> <p>Sheet No.:</p>	<p>Project No.: 21218</p> <p>1/20 Plot Name: 11210-A100 - Plans</p>
<p>A 103</p>	



Comments:
None

No.	Date	Description
04	17th May '18	Issued for DP7 Revision 2
03	18th Apr '18	Issued for ADP
02	10th Apr '18	Issued for DP7 Revision 2
01	29th Mar '18	Issued for DP7 Revision 1

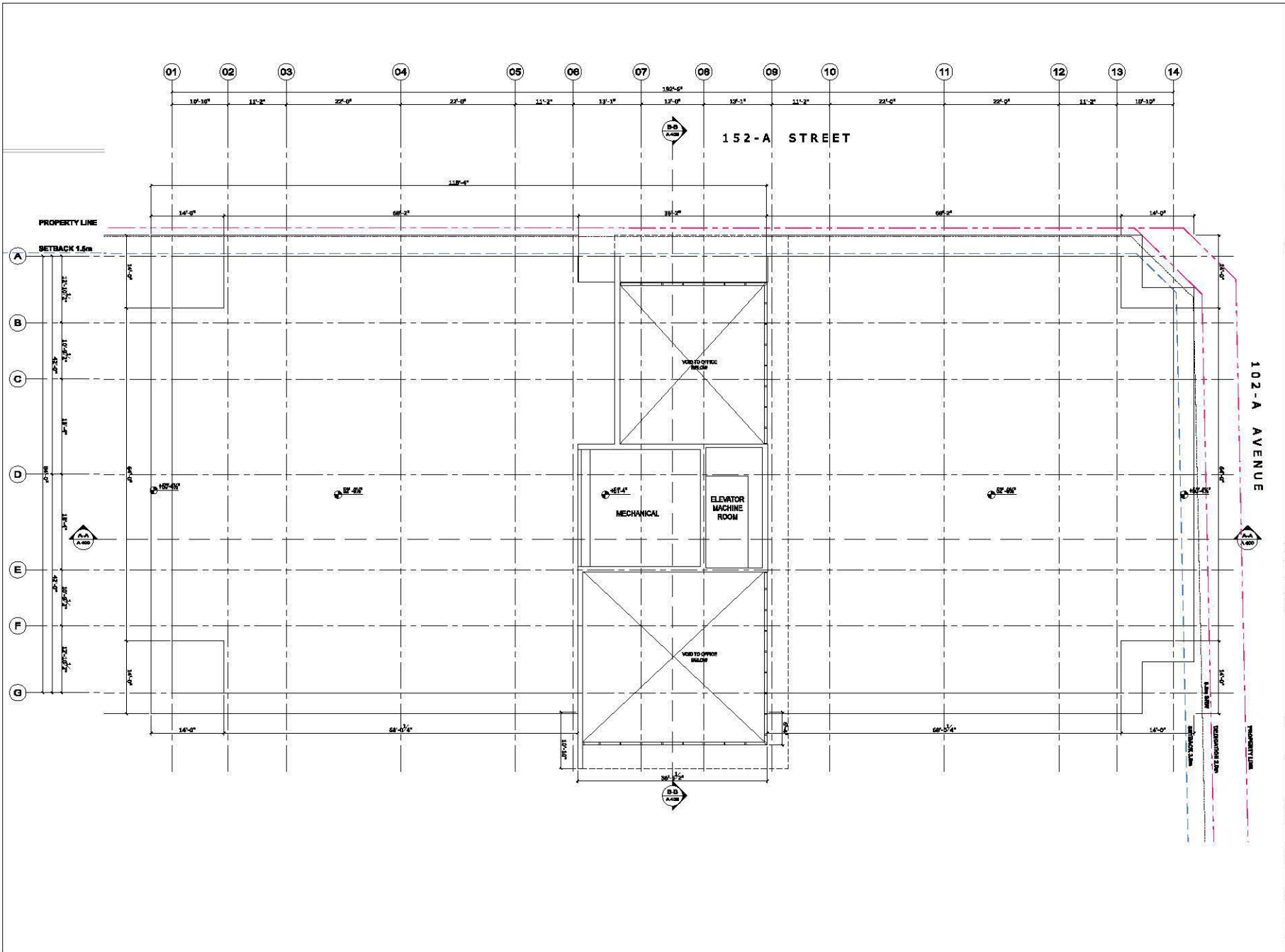
Project Name:
GUILDFORD OFFICE
102-A Ave. at 102-A St.,
Surrey, B.C.

Sheet Title:
4th FLOOR PLAN

This drawing is an instrument of service to the satisfaction of the client. It is the property of the architect and shall not be used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing and shall not be held liable for any consequences arising therefrom.

Drawn By: **CG**
Reviewed By: **MT**
Date: **2018/06/16**
Plot Date: **2018/06/16**
Project Name: **Guildford Office**

Scale: **1/8"=1'-0"**
Project No.: **21218**
CAD File Name: **11210-A100 - Plans**
Sheet No.: **A 104**



Comments:
None


05	28 June '13	Issued for DP Revision 4
04	17th May '13	Issued for DP Revision 3
03	18th Apr '13	Issued for ADP
02	10th Apr '13	Issued for DP Revision 2
01	20th Mar '13	Issued for DP Revision 1

Revisions / Issues:
None

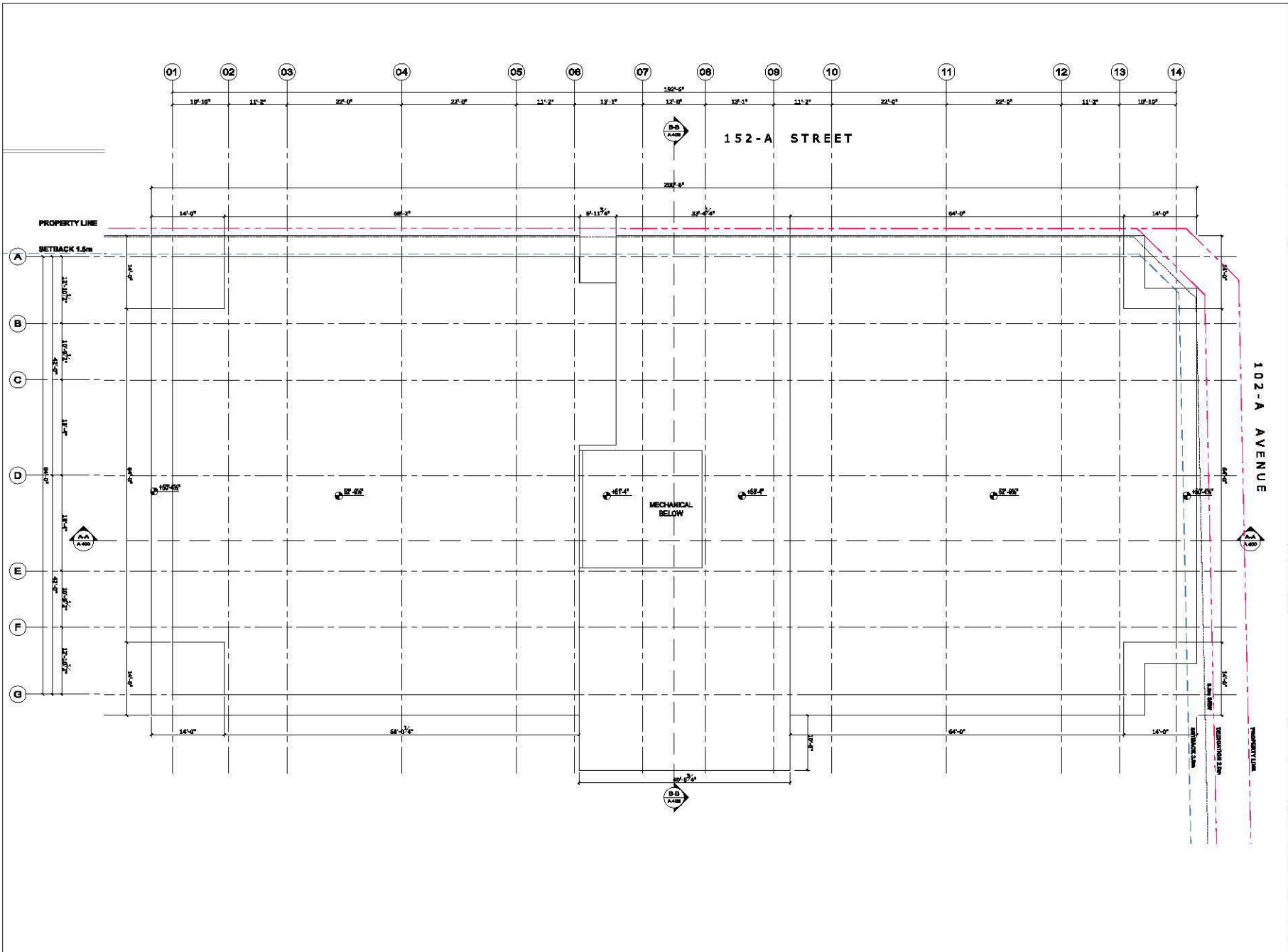
Project Title:
GUILDFORD OFFICE
102-A Ave. at 102-A St.,
Surrey, B.C.

MECHANICAL LEVEL PLAN

This drawing is an instrument of service to the best of the knowledge of the Architect and shall not be used for any other purpose without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in this drawing and shall not be held liable for any consequences arising from the use of this drawing. The Architect shall not be held liable for any consequences arising from the use of this drawing.

Drawn By:	CG	Project Staff:	
Reviewed By:	MT		
Date:	2013/12/16		
Plot Date:	2013/06/09		

Scale:	1/8"=1'-0"	Sheet No.:	A 105
Project No.:	21218		
CAD File Name:	11210-A100 - Plans		



Comments:
None

05	18/ June '13	Issued for DP Revision 4
04	17/26 May '13	Issued for DP Revision 3
03	14/21 Apr '13	Issued for ADP
02	10/19 Apr '13	Issued for DP Revision 2
01	15/21 Mar '13	Issued for DP Revision 1
00	1/11/13	Concepts

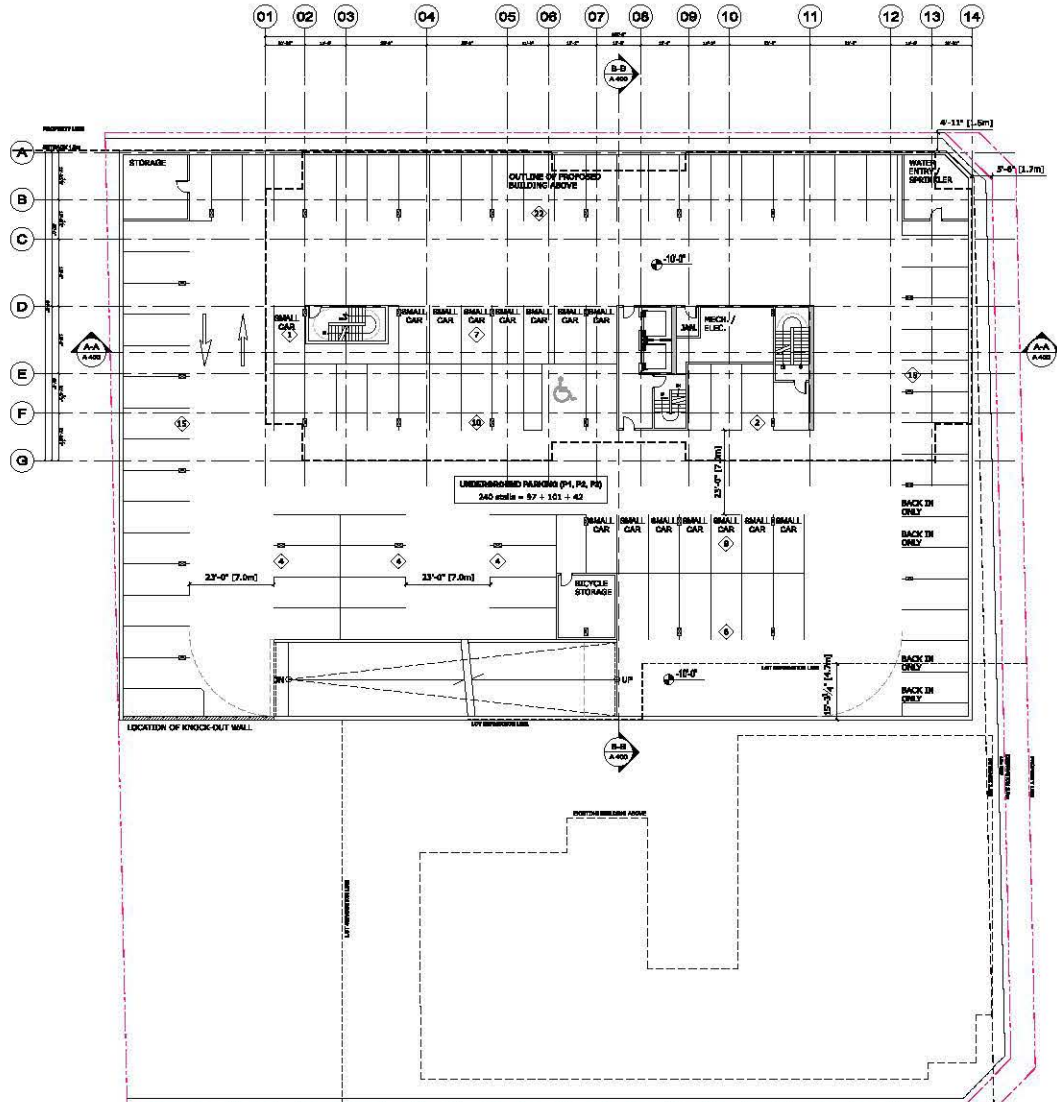
Revised By:
Project Title:
GUILDFORD OFFICE
102-A Ave. at 102-A St.,
Surrey, B.C.

ROOF PLAN

This drawing is an instrument of service to be used by the client for the purpose of obtaining a permit from the appropriate authority. It is not to be used for any other purpose and the client is responsible for obtaining all necessary permits and approvals. The client is responsible for all dimensions and for any errors or omissions in this drawing. The client is responsible for all dimensions and for any errors or omissions in this drawing.

Drawn By: **CG**
Reviewed By: **MT**
Date:
Plot Date:
Project Name:

Scale: 1/8"=1'-0"
Project No: 21218
CAD File Name: 11210A100 - Plans
Sheet No: **A 110**



NOTE: LOCATIONS OF STRUCTURAL
COLUMN ARE FOR ROUGH LAYOUT
PURPOSE ONLY

Comments:
None

No.	Date	Description
05	08 June '13	Issued for DP Revision 4
04	17th May '13	Issued for DP Revision 3
03	18th Apr '13	Issued for ADP
02	10th Apr '13	Issued for DP Revision 2
01	09th Mar '13	Issued for DP Revision 1

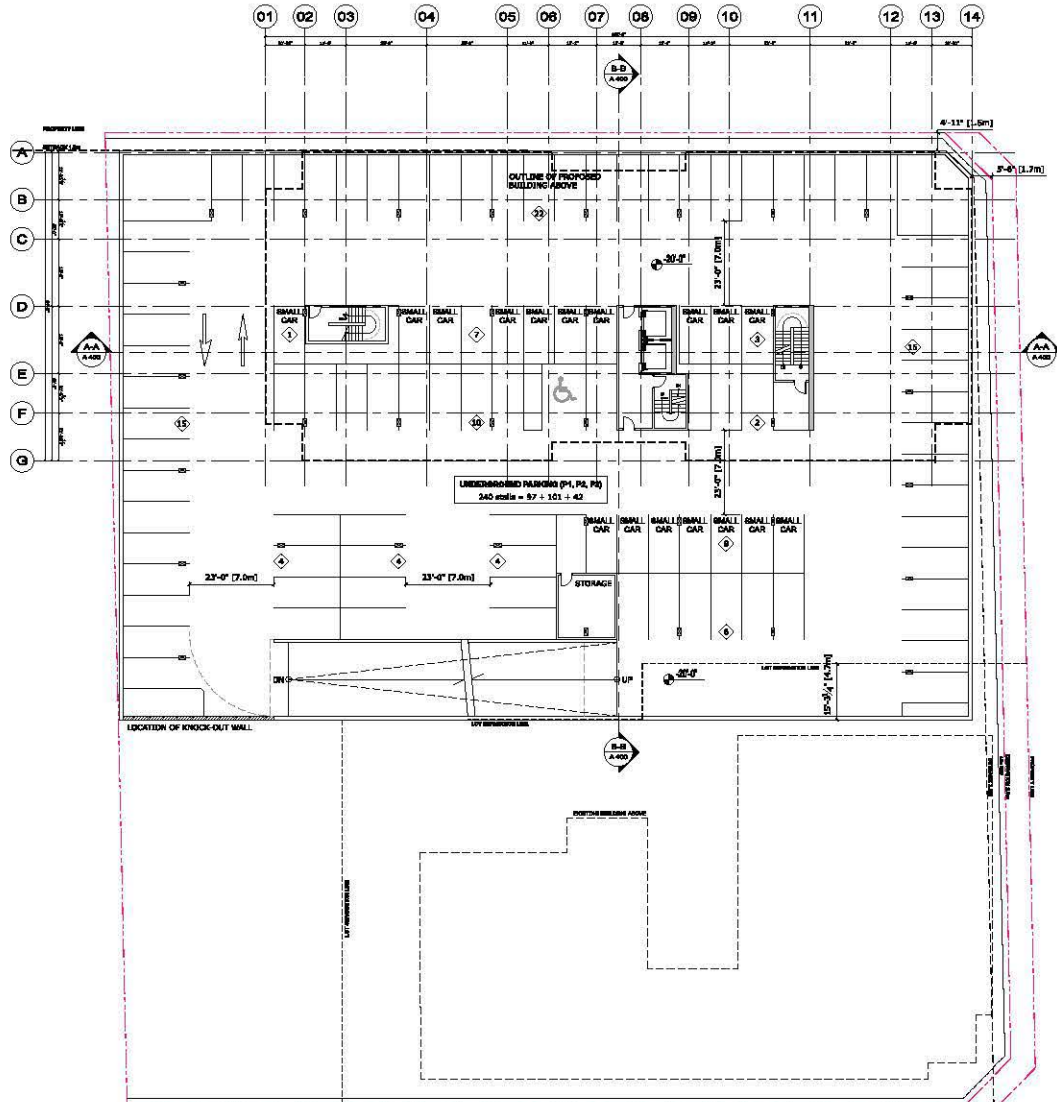
Project Title
GUILD FORD OFFICE
102-A Ave. at 102-A St.,
Surrey, B.C.

P1 PARKING PLAN

This drawing is an instrument of service to be used only for the project and site identified herein. It is not to be used for any other project or site. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this drawing is also responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this drawing is also responsible for obtaining all necessary permits and approvals from the appropriate authorities.

Drawn By: CG	Project No.:
Reviewed By: MT	
Date: 2013/02/28	
Plot Date: 2013/02/28	
Project Name:	

Scale: 1/8"=1'-0"	Sheet No.:
Project No.: 21218	A 106
CSO File Name: 11210-A100 - Plans	



NOTE: LOCATIONS OF STRUCTURAL
COLUMNS ARE FOR ROUGH LAYOUT
PURPOSE ONLY

05	28 June '13	Issued for DP Revision 4
04	17th May '13	Issued for DP Revision 3
03	18th Apr '13	Issued for ADP
02	10th Apr '13	Issued for DP Revision 2
01	29th Mar '13	Issued for DP Revision 1

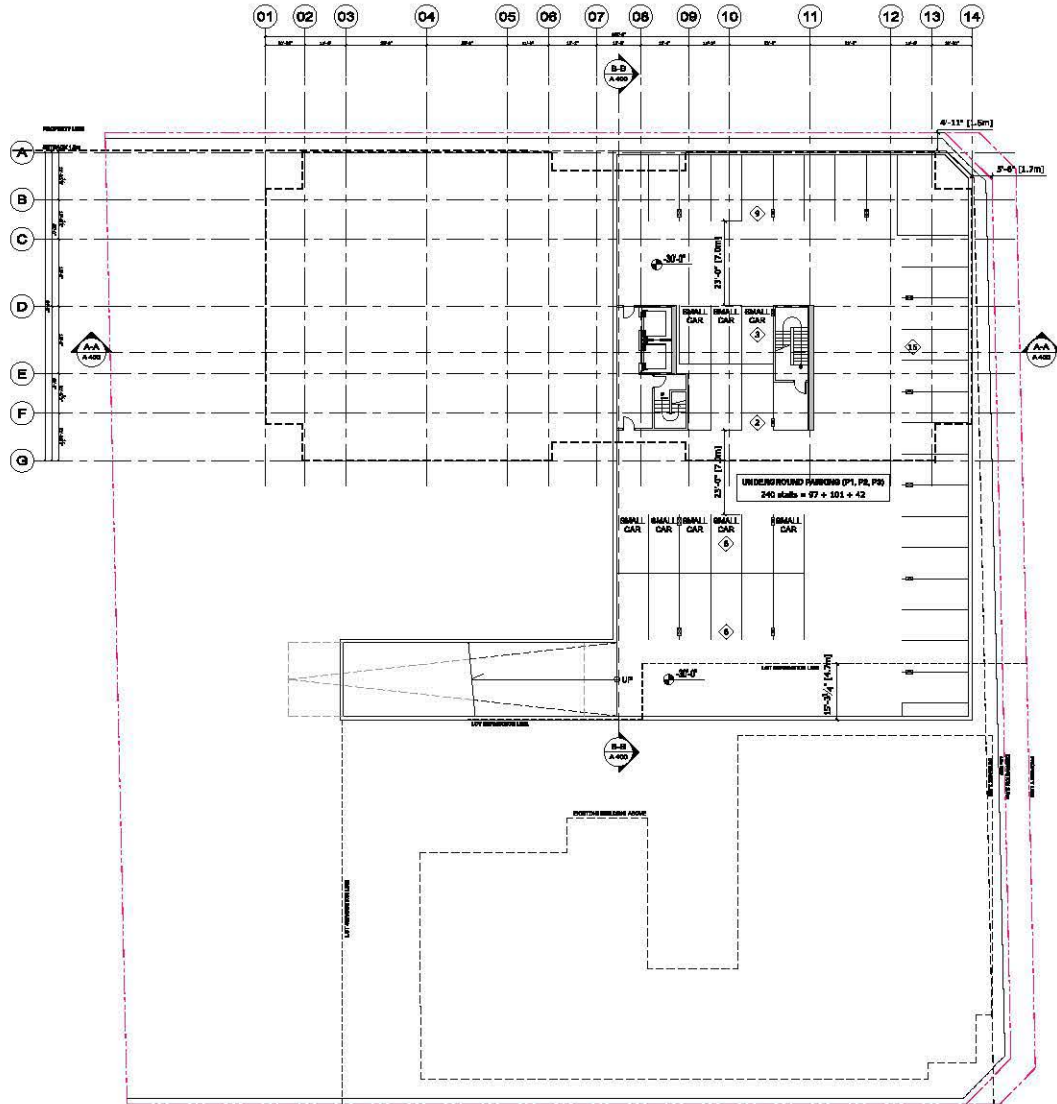
Revision / Issues
Project Title
GUILD FORD OFFICE
182-A Ave. at 182-A St.,
Surrey, B.C.

P2 PARKING PLAN

This drawing is an indication of intent to be made by the contractor. It is not intended to be used for construction purposes. It is not intended to be used for construction purposes. It is not intended to be used for construction purposes. It is not intended to be used for construction purposes.

Drawn By:	CG	Project No.:	
Reviewed By:	MT	Issue:	2013/06/16
Date:	2013/06/16	Plan Date:	2013/06/16
Project Name:		Project No.:	

Scale:	1/200 = 1/4"	Sheet No.:	
Project No.:	21218	Project No.:	A 107
CAD File Name:	11218-A100 - Plans		



Comments

Notes

05	08 June '13	Issued for DP Revision 4
04	17th May '13	Issued for DP Revision 3
03	18th Apr '13	Issued for ADP
02	10th Apr '13	Issued for DP Revision 2
01	09th Mar '13	Issued for DP Revision 1

Revisions / Issues

Project Title
GUILDFORD OFFICE
102-A Ave. at 102-A St.,
Surrey, B.C.

Sheet Title
P3 PARKING PLAN

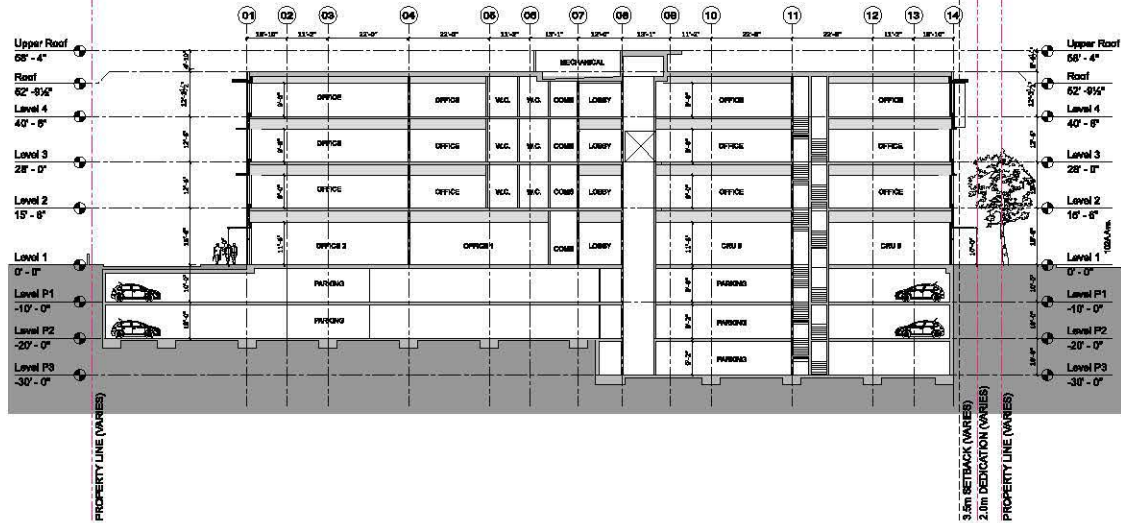
This drawing is an indication of intent to be verified by the contractor. It is not a contract document. It is not to be used for construction without the written approval of the architect. Contractors shall verify and be responsible for all dimensions and locations and shall allow for any change in dimensions and locations shown on this drawing. See the contract documents for more information.

Drawn By:	CG	Project No.:	
Reviewed By:	MT	Sheet No.:	1
Date:	2013/06/16		
Plot Date:	2013/06/16		
Graphic Scale:			

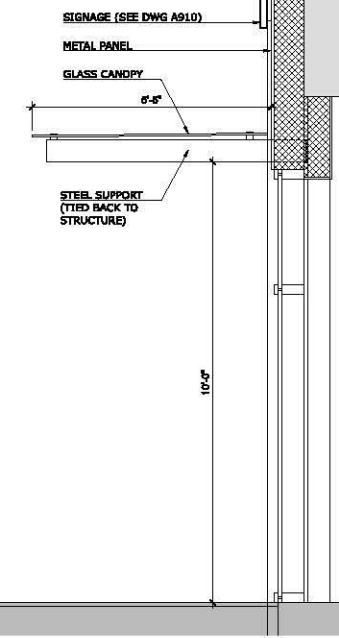
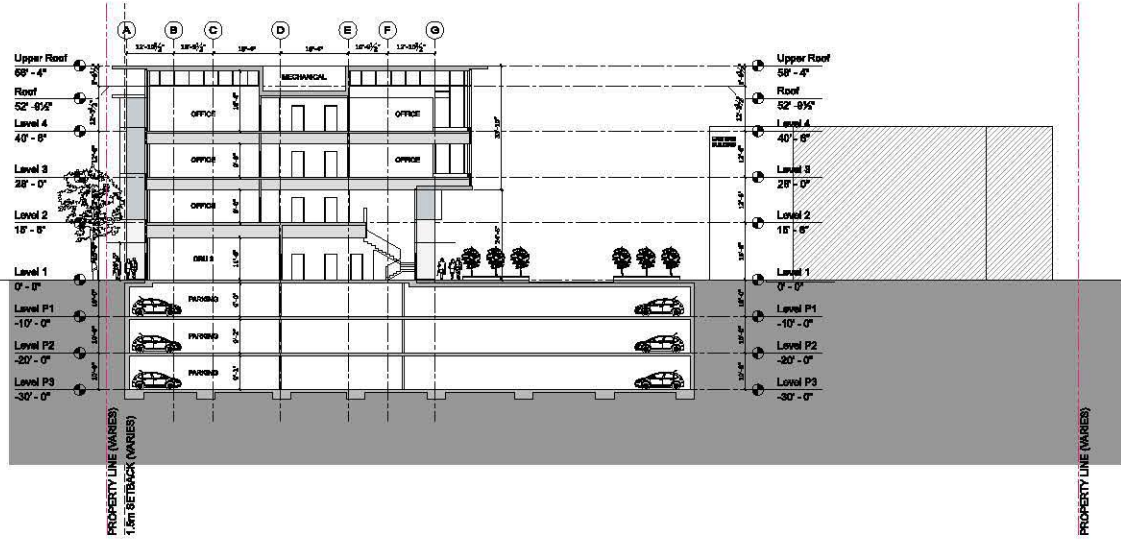
Scale:	1/8"=1'-0"	Sheeting No.:	
Project No.:	21218		
CAD File Name:	11210-A100 - Plans		
			A 108

NOTE: LOCATIONS OF STRUCTURAL COLUMNS ARE FOR ROUGH LAYOUT PURPOSE ONLY

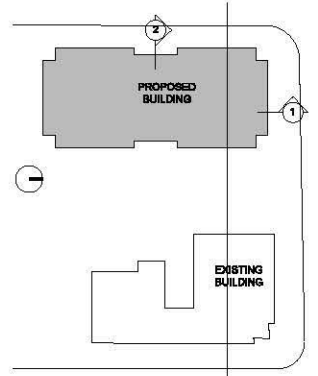
1 Section A-A
Scale 1/8" = 1'-0"



2 Section B-B
Scale 1/8" = 1'-0"



3 Canopy Section
Scale 1/8" = 1'-0"



05	06 June '13	Issued for DP Revision 4
04	17th May '13	Issued for DP Revision 3
03	18th Apr '13	Issued for ADP

No.	Date	Description

PROJECT TITLE
GUILDFORD OFFICE
102-A Ave. at 182-A St.,
Surrey, B.C.

BUILDING SECTIONS

This drawing is an instrument of service to the recipient of these drawings and shall not be used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing. The recipient shall verify all dimensions and details and shall allow for any changes to the drawings as a result of any changes to the project.

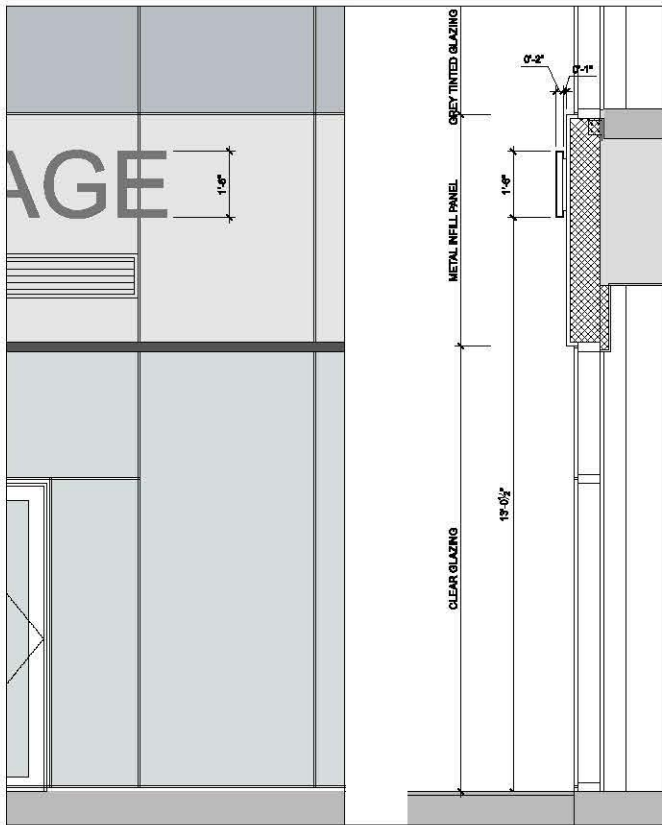
Drawn By: CG
Reviewed By: MT

Date: 2013/06/16
Plot Date: 2013/06/16

Scale: 1/8"=1'-0" Drawing No.:

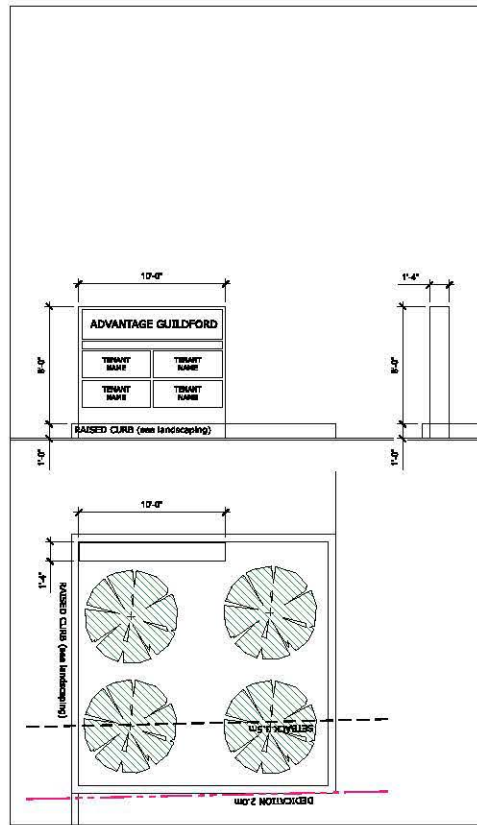
Project No.: 21218
CAD File Name: 21218-A400 - Building sections

A 400



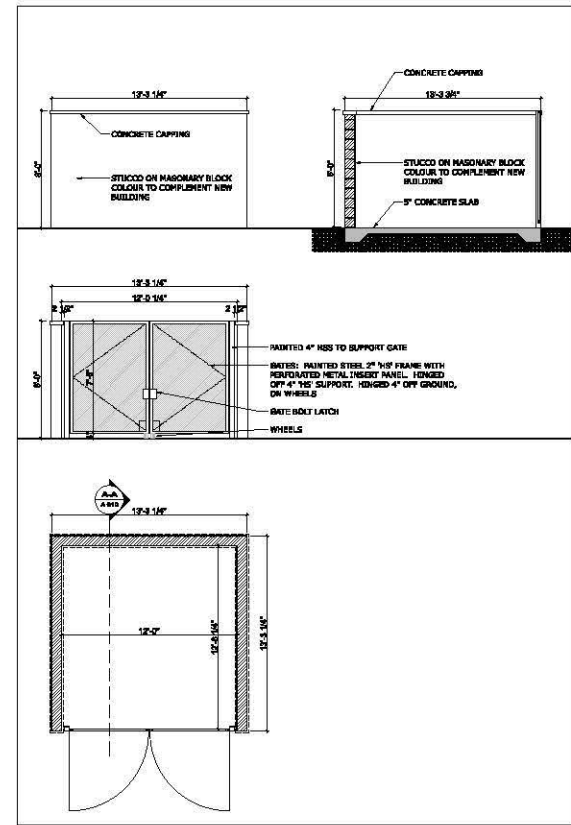
1 Facade signage
Scale 1/2" = 1'-0"

BACKLIT RAISED INDIVIDUAL LETTERS
INDIVIDUALLY FIXED TO METAL PANELS



2 Pylon Sign
Scale 1/2" = 1'-0"

METAL PANELS ON STEEL FRAME
COLOURS TO COMPLEMENT PROPOSED BUILDING



3 Garbage Enclosure
Scale 1/2" = 1'-0"

SIGNAGE CRITERIA

ADVANTAGE GUILDFORD

All signage design shall be approved by the Landlord prior to permit application with the City of Surrey and commencement of such work. Approval will be based on the following criteria and the Landlord's sole discretion:

- Signs are to consist of illuminated or non-illuminated components as individual letters and can incorporate shapes for logos;
- All signage will be mounted on a recessway and attached to the building;
- The face of the recessway can be full height or partial height of the lettering, the length of the recessway is to be determined by the copy area;
- All recessways are to be painted the same colour as the exterior of the building or complementary to the colour of the sign copy;
- Maximum height of the copy shall be in accordance with the Development Permit as issued by the City of Surrey, pertinent to

- Sign area is not to exceed 3 feet square/lineal foot of elevation of frontage;
- Copy area is not to exceed 50% of the sign area;
- Sign area will be determined by the width of the storefront/prominence from each end (including wall), a minimum 12" space is required at each end of the sign between the end of the sign and the darning wall;
- All wiring is to be to the current code standards with connections contained within the recessway with absolutely no visible wires or connections allowed;
- No visible fasteners or manufacturers labels to be exposed, with the exception of the CSA approval;
- All material and workmanship are to be of the highest quality;
- No contractor should commence manufacture before receiving written approval of their shop drawings from the Landlord;
- No contractor will be allowed to install any signage until they have secured any and all necessary City approvals;
- All signage shall be subject to City of Surrey approval and conform to the City of Surrey Sign Bylaw.

Comments:
None

05	2nd June '18	Issued for DP Revision 4
04	17th May '18	Issued for DP Revision 3
03	18th Apr '18	Issued for ADP

No.	Date	Description
Revisions / Issues:		
Project Title:		

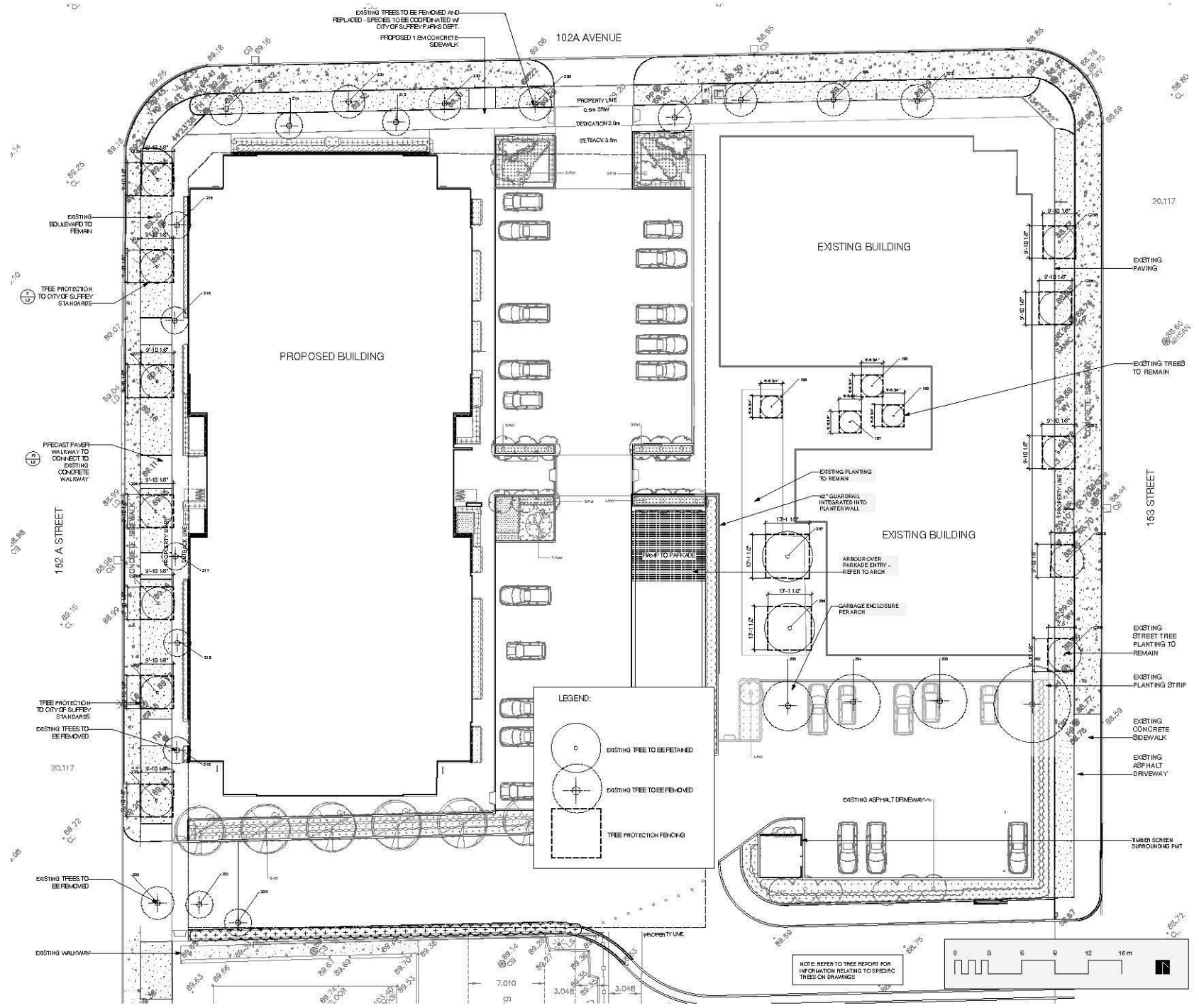
GUILDFORD OFFICE
102-A Ave. at 102-A St.,
Surrey, B.C.

Sheet Title:
SITE FURNITURE

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Drawn By:	CG	Project Staff:
Approved By:	MT	
Date:	2018/05/16	
Plot Date:	2019/05/08	

Sheet:	VA/2018	Sheeting No.:
Project No.:	21218	A910
CAD File Name:	21218-A910 - Signage	



Revision

No.	Date	Revision notes
1	12/02/12	Revised Site Plan
2	12/09/12	Minor Arch Rev.
3	2/27/13	Minor Arch Rev.
4	5/13/13	Revised per City Comments

Issue

No.	Date	Issue notes
A	10/01/12	Issued for Review
B	10/17/12	Issued for Review
C	01/09/13	Issued for DP
D	3/22/13	Revised for DP
E	4/18/13	Issued for DP Rev. 2

Professional Seal



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 F: 604.400.1100
 W: www.eta.ca

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Project
GUILFORD OFFICE

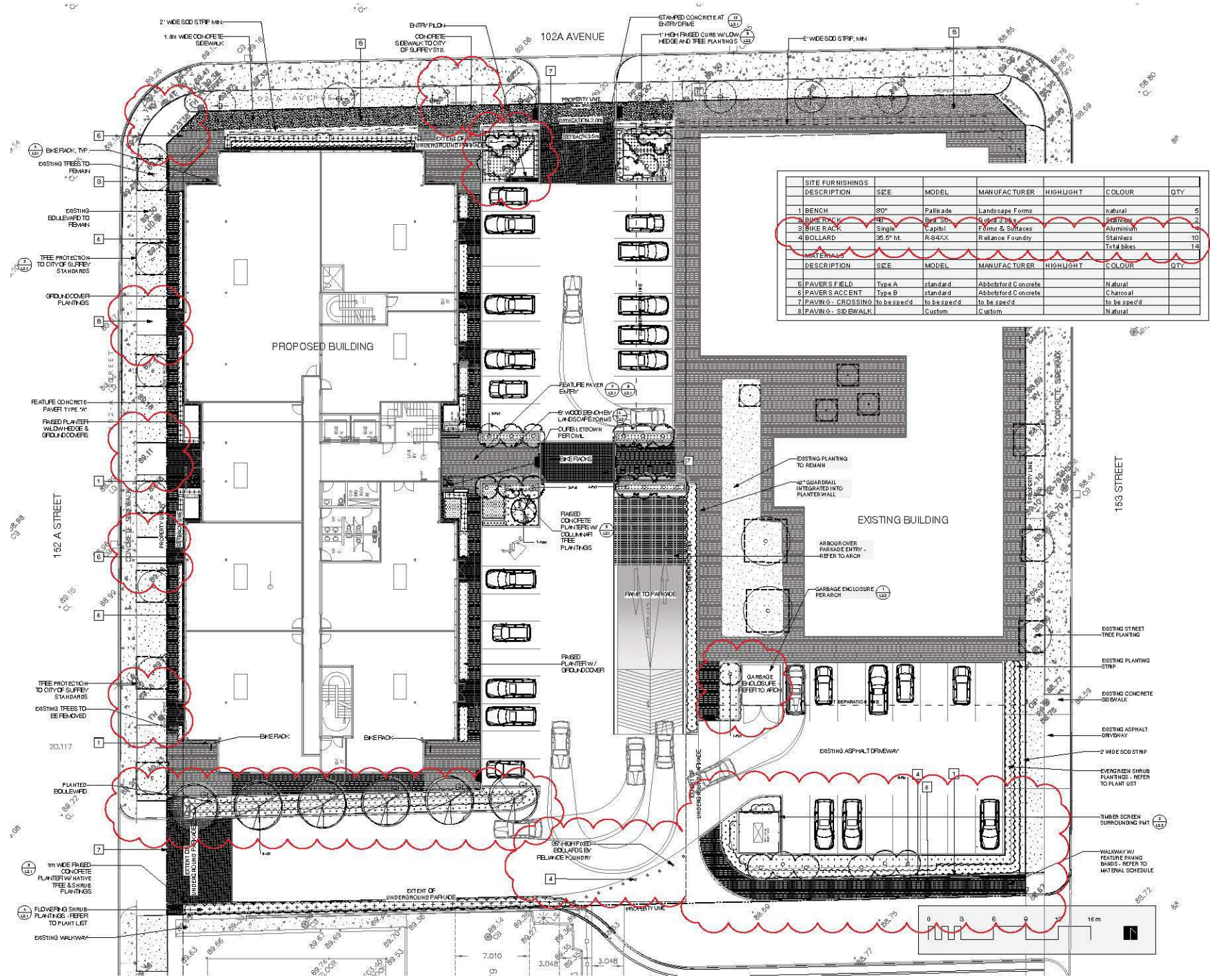
102-A Ave. @ 152-A St,
 Surrey, BC

Drawing Title
**TREE PROTECTION
 & OFF-SITE WORKS**

Legal

Project Manager	27254
Client	11350
Scale	
Drawn By	
Checked By	
Date	10/03/2012
Plot Date	
Plot Scale	L1.0
Plot No.	4

Plot Date: 07/11/12
 2124 Guilford Commercial 0505-2013.rvt



DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
1 BENCH	90"	Falkeade	Landscape Forms		natural	5
2 BIKE RACK	48"	Best 306	Global 306		stainless	2
3 BIKE RACK	Single	Capitol	Forms & Surfaces		Aluminum	4
4 BOLLARD	36.5" Ht.	R-843X	Reliance Foundry		Stainless	10
MATERIALS						
DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
5 PAVERS FIELD	Type A	standard	Abbotsford Concrete		Natural	
6 PAVERS ACCENT	Type B	standard	Abbotsford Concrete		Charcoal	
7 PAVERS - CROSSING	to be spec'd	to be spec'd	to be spec'd		to be spec'd	
8 PAVERS - SIDEWALK	Custom	Custom	Custom		Natural	

Revision

No.	Date	Revision notes
1	12/2/12	Revised Site Plan
2	12/9/12	Minor Arch Rev.
3	2/27/13	Minor Arch Rev.
4	5/13/13	Revised per City Comments
5	6/6/13	Revised per City Comments

Issue

No.	Date	Issue notes
A	10/4/12	Issued for Review
B	10/17/12	Issued for Review
C	9/29/13	Issued for DP
D	9/20/13	Revised for DP
E	4/9/13	Issued for DP Rev. 2

Professional Seal



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Project
GUILFORD OFFICE

102-A Ave. @ 152-A St.,
 Surrey, BC

Drawing Title
LANDSCAPE PLAN

Legal

Client/Manager	27254
Scale	1:150
Drawn By	DP
Checked By	DP
Date	10/03/2012
Sheet No.	L1.1
Total Sheets	4

Plot Date:
 07/11
 2124 Guilford Commercial 0505-2013.rvt

Revision No.	Date	Revision Notes
1	12/12/12	Revised Site Plan
2	12/18/12	Minor Arch. Rev.
3	2/27/13	Minor Arch. Rev.
4	5/13/13	Revised per City Comments
5	8/5/13	Revised per City Comments

Issue No.	Date	Issue Notes
A	10/11/12	Issued for Review
B	10/11/12	Issued for Review
C	01/09/13	Issued for DP
D	3/20/13	Re-issued for DP
E	4/9/13	Issued for DP Rev. 2

Professional Seal



eta
landscape architects

1000 West End Avenue
Vancouver, BC, Canada V6U 1K4
t: 604.466.1111
f: 604.466.1112
w: www.eta.ca

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Project
GUILFORD OFFICE

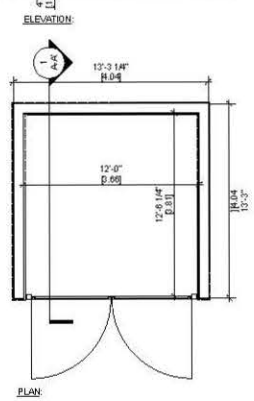
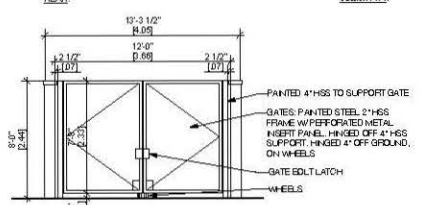
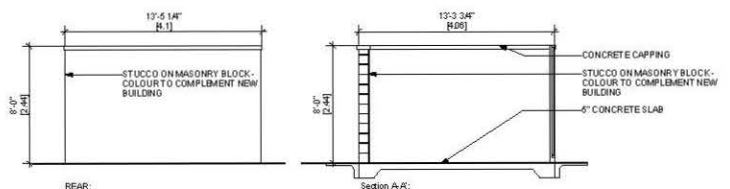
102-A Ave. @ 152-A St.,
Surrey, BC

Drawing Title
LANDSCAPE
Notes and DETAILS

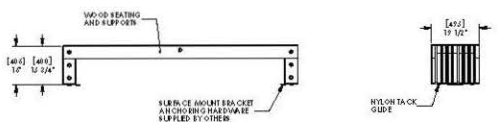
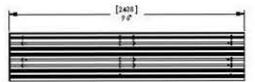
Legend

Project Manager	Project No.
DE	27244
Designer	SA
DP	AS, Sha Yun
Drawn by	DE
Date	10/3/2012
Scale	L2.2
Sheet No.	4

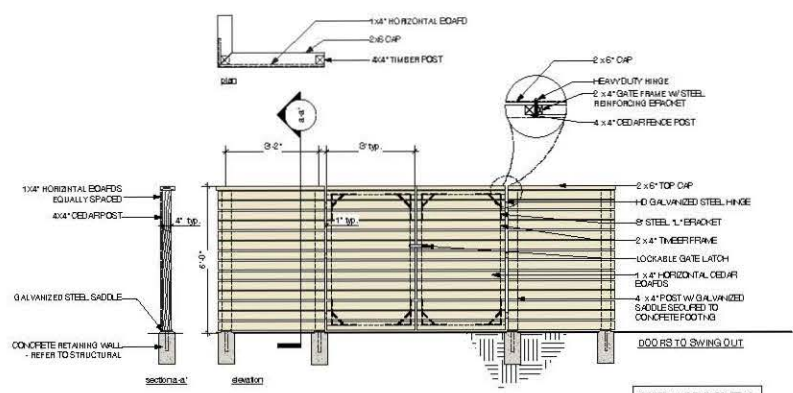
Plot Date:
09/12
21744 Guilford Commercial 0506.2013.mxd



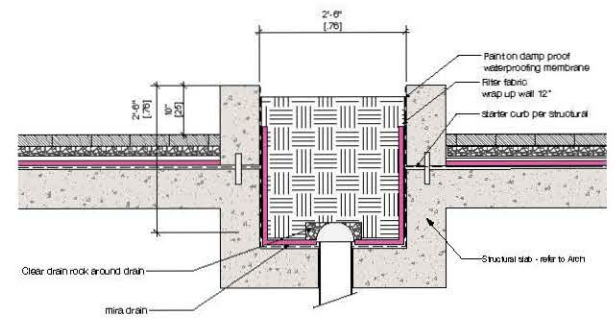
1 DETAIL: GARBAGE ENCLOSURE
Scale: 1/4" = 1'-0"



4 DETAIL: B' Bench by Landscape Forms
Scale: 1" = 1'-0"



2 DETAIL: Timber PMT Screen
Scale: 1/2" = 1'-0"



3 DETAIL: Depressed CIP Planter
Scale: 1" = 1'-0"

Plot Date:
09/12
21744 Guilford Commercial 0506.2013.mxd

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 11, 2013** PROJECT FILE: **7813-0011-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 10207 & 10221 153 Street**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 1.942-metre along 102A Avenue;
- dedicate 3.0-metre x 3.0-metre corner cuts at the intersections of 102A Avenue/ 152A Street and 102A Avenue/ 153 Street;
- register 0.5-metre statutory right-of-way (SRW) along 102A Avenue, 152A Street, and 153 Street; and
- register 8.0-metre SRW on the west portion that transitions to 2.0-metre SRW on the east portion of the site, along the south property line.

Works and Services

- construct 102A Avenue to the Collector road standard;
- construct 8.0-metre asphalt lane; and
- provide storm, water, and sanitary service connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

Development Variance Permit (DVP) has been requested to waive road works along 102A Avenue fronting the lot with the existing building. Engineering supports this DVP. However, if a development application or building permit application is submitted for a new building, construction of 102A Avenue to the ultimate design will be required.



Rémi Dubé, P.Eng.
Development Services Manager

sk

NOTE: Detailed Land Development Engineering Review available on file



Advisory Design Panel Minutes

Parks & Rec Boardroom 1
City Hall
14245 - 56 Avenue
Surrey, B.C.
THURSDAY, APRIL 25, 2013
Time: 4:10 pm

Present:

Chair - T. Ankenman

Panel Members:

T. Wolf

D. Lee

J. Makepeace

Absent:

G. Wylie

M. Searle

Guests:

Mark Whitehead, Musson Cattell Mackey Partnership

Architects Ltd. (MCMP)

Vince Fernandez, MCMP

Peter Odegaard, MCMP

Greg Mitchell, PCI Developments Corp.

Andy Croft, PCI Developments Corp.

Derek Lee, PWL Partnership Landscape Architects Inc.

(PWL)

Grant Brumpton, PWL

Maciej Dembek, Barnett Dembek Architects Ltd.

Mary Chan-Yip, PMG Landscape Architects

Nirmal Takhar

Walter Francl Architect

Thierry Eckford Landscape Architect

Richard Coulter, Developer

Staff Present:M. Rondeau, Acting City Architect -
Planning & Development

H. Dmytriw, Legislative Services

B. SUBMISSION**4. 6:35 pm**

File No.:	13-0011-00
New or Resubmit:	New
Description:	Rezoning and Development Permit for a 4-storey office building with commercial-retail units on the ground floor in-filled on an existing office site.
Address:	10207 / 21153 Street, Guildford
Developer:	Richard Coulter, Guildford Real Estate Corporation
Architect:	Walter Francl, Francl Architecture
Landscape Architect:	Gerry Eckford, Eckford Tyacke & Associates Landscape Architecture
Planner:	Shawn Low
Urban Design Planner:	Mary Beth Rondeau

The **Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- No secondary plan or NCP for Guildford to provide specific guidance for this site.
- The site is located one block off 152 Street.
- This area has a number of similar sized office buildings.

- Proposal generally meets intent of the policies and guidelines and staff have no specific issues.

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and noted that this project is to build new office building with underground parking and to retain the existing building on the site.

- Metal cladding for base and glass canopy over lower floor glazing.
- Building to have fins running vertically on the east and west facades with frosted glass screen.
- South façade with horizontal louvers.
- Entrance to building is marked with a folded metal plate announcement and provides solar control for glazing elements. The mechanical systems are concealed.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Will be retaining the trees along 152A Street and new plantings along 102A Avenue to replace existing trees.
- Bicycle parking at entry points with his and her washrooms/shower facilities on the second floor.
- Plug ins for two electric cars.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
Rezoning and Development Permit for a 4-storey office building
10207 / 21 153 Street, Guildford
File No. **13-0011-00**

It was
recommends that the applicant address the following recommendations and revise and resubmit to the Planning staff.

Moved by T. Wolf
Seconded by J. Makepeace
That the Advisory Design Panel (ADP)

Carried

STATEMENT OF REVIEW COMMENTS

Site

- Well resolved and well presented.

No action required.

- Since there is more parking than the by-law requires, there could be less surface parking and more amenity.

Our experience suggests that a successful project is one that provides sufficient parking as per market demand; not necessarily what the City By-

law dictates. We have responded to the request of more amenities, as suggested by the Panel, by adding outdoor seating, which is located at the corners of the building.

- An outdoor amenity area could be developed in the south parking cut-out. Alternatively, on the roof.

See above comments.

Building Form and Character

- Elegant building well designed with clear architectural concept and character.

No action required.

- Consider a more direct lobby through the building.

Consideration of this concept will occur with the tenancy that may ultimately occupy this space.

- Careful consideration should be given to the large amount of glazing.

Insulated spandrel glazing has been added at each floor and the amount of clear glazing has been reduced.

- Could add more colour, maybe the fins.

May consider two coloured fins

Landscaping

- Very nice scheme.

No action required.

- 152A streetscape will provide a nice cadence with boulevard and benches between.

No action required.

- Consider unit paving in surface parking stalls to provide a more plaza-like character.

See revised drawings.

Sustainability

- Building should have less glass. The amount of glass wall increases cooling and heating loads and it will be difficult to meet building code requirements for minimum envelope requirements.

Insulated spandrel glazing has been added at each floor and the amount of clear glazing has been reduced. The look we are trying to achieve is with significant glazing. We have run an energy simulation implementing improved glazing performance and other energy saving measures to compensate for the increased amount of glazing.

Things we have done are as follows:

- a. Introduced insulated spandrel to reduce the overall glazing to about 70%*
- b. Improved glazing shading coefficient and u-factor.*
- c. Sunshades and fins to reduce solar loads.*
- d. High efficiency LED lighting.*
- e. Distributed water to air heat pumps with a cooling tower and boiler will provide improved system efficiency over ASHRAE.*

With the improvements we are presently about 10% better than ASHRAE 90.1-2004 which is what is presently referenced in the BCBC Part 10.

- Shading that has been provided to reduce solar load is quite good, but less glass would provide even better comfort and energy savings.

Insulated spandrel glazing has been added at each floor and the amount of clear glazing has been reduced.

- The proposed four-pipe, fan coil, heating and cooling system can be very efficient. To complement this system, consider a packaged, rooftop heat recovery unit be installed and connected to CO₂ sensors in the office space. These CO₂ sensors will allow the amount of fresh air supplied match the occupancy and provide an efficient ventilation system.

C. OTHER COMPETENT BUSINESS

D. NEXT MEETING

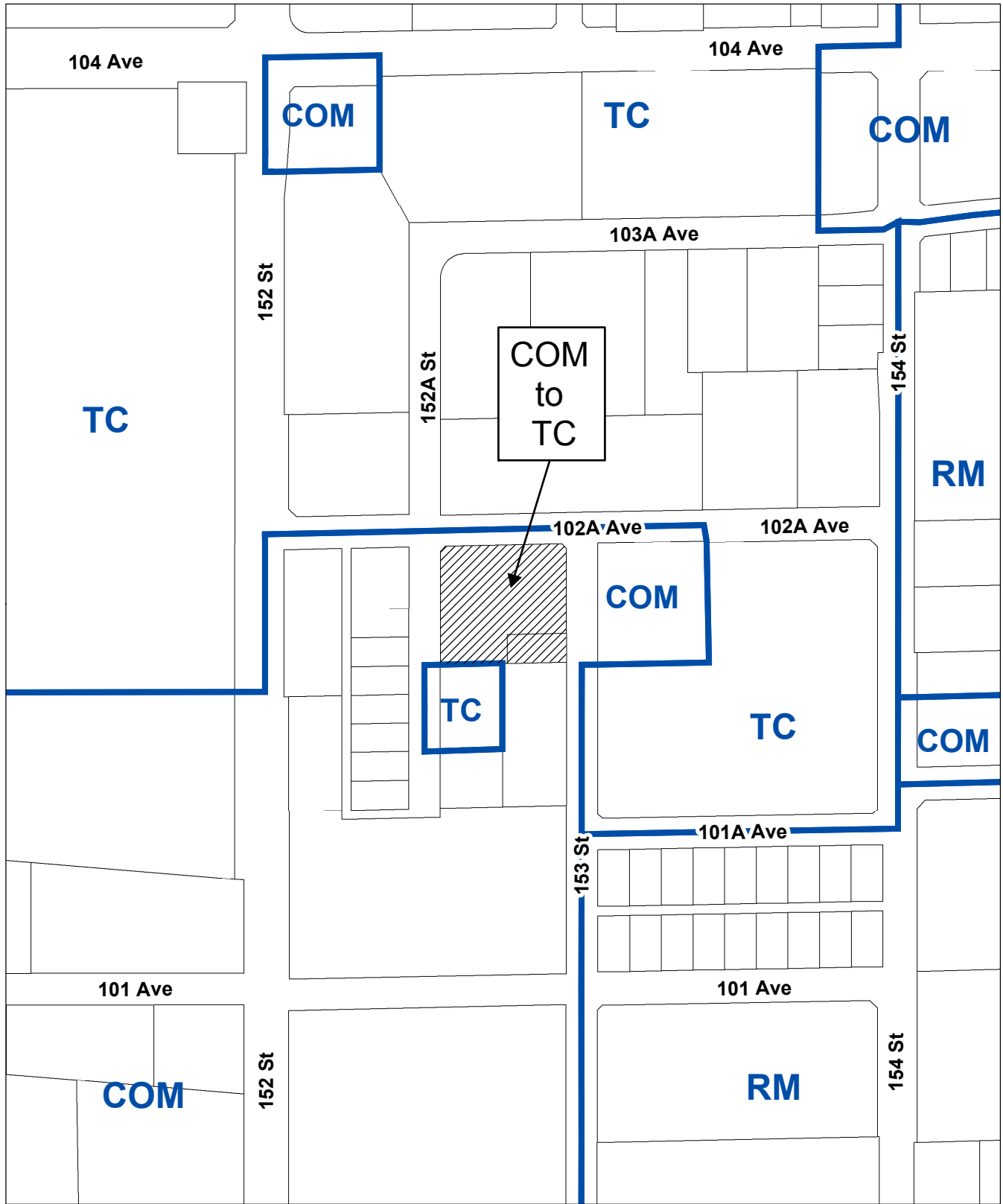
The next Advisory Design Panel is scheduled for Thursday, May 9, 2013

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 7:10 pm.

Jane Sullivan, City Clerk

Tim Ankenman, Chair
Advisory Design Panel



OCP Amendment

Proposed amendment from Commercial to
Town Centre



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7913-0011-00

Issued To: GUILDFORD REAL ESTATE CORPORATION
("the Owner")

Address of Owner: 2733 - McKenzie Avenue
Surrey, BC
V4A 3H2

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 007-469-314
 Lot 33 Section 28 Block 5 North Range 1 West New Westminster District Plan 19442

10207 - 153 Street

Parcel Identifier: 023-866-462
 Lot 1 Section 28 Block 5 North Range 1 West New Westminster District Plan LMP34196

10221 - 153 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title has been issued, as follows:

Parcel Identifier:

- (b) If the civic addresses change, the City Clerk is directed to insert the new civic address for the Land, as follows:

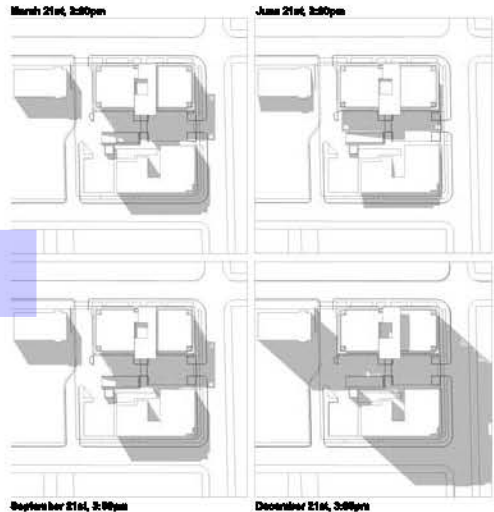
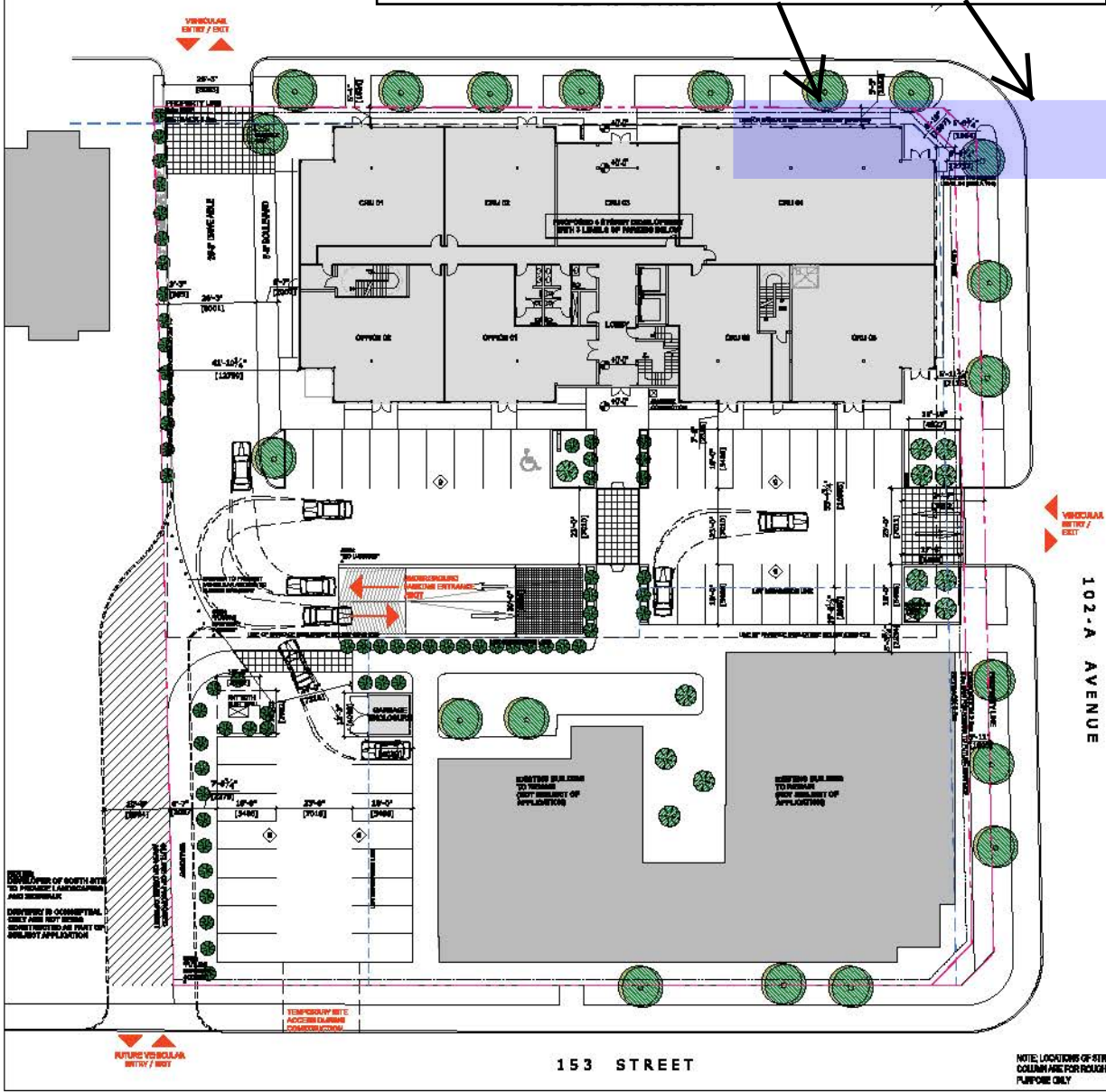
4. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:
 - (a) to defer the works and services requirements for a portion of 102A Avenue.
5. The landscaping and the siting of buildings and structures shall be in accordance with the drawings numbered 7913-0011-00 (A) (the "Drawing") which is attached hereto and forms part of this development variance permit.
6. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit applies to the replacement of any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

Variance to defer a portion of the the off-site Works and Services on 102A Avenue.



FRANCL
ARCHITECTURE

1000 BROADVIEW AVENUE, SUITE 100
OTTAWA, ONTARIO K1K 2K8
TEL: 613-735-1111 FAX: 613-735-1112

SITE STATISTICS

CWIC ADDRESS: 102-A Avenue at 153-A St., Surrey, B.C.

LEGAL DESCRIPTION: Lot 1, Section 28, Block 5 North, Range 1 West, New Westminster District L.M.P. Lot C

FRONTAGE (102-A St.): 78.80m

DEPTH (153-A Ave.): 74.68m

SITE AREA:
 Gross Site Area: 4,119m² (94,304 sq.Ft.)
 Road Widening Deduction: 81m² (868 sq.Ft.)
 Net Site Area: 4,038m² (83,326 sq.Ft.)

DEVELOPMENT STATISTICS:

	Development permitted under existing zoning	Proposed development
ZONING:	CD-18 Town Centre Commercial Zone	-
USES:	Office, retail, service, eatery	Office, retail
SETBACKS:		
Front	102-A St.: 1.0m (min.)	1.00m (8'-0")
Side yard (on fronting street)	102-A Ave.: 2.5m (min.) (2.0m deduction + 1.0m setback)	3.00 (clear) (2.0m deduction + 1.00m (8'-0") setback)
Corner	3.0m (min.)	3.70m (12'-0") (1.70+2.0m deduction)
GROSS FLOOR AREA:	-	4,027m ² (82,719sq.Ft.)
FLOOR SPACE RATIO:	1.00 (max.)	1.00
HEIGHT:	14m (45'-11") (max.)	17.0m (55'-4")
NUMBER OF STOREYS:	n/a	4
PARKING SPACES:	128 required (70ms above ground: 98 stalls = 45,801m ² x 2 stalls/1,075sq.Ft.; Ground floor: 43 stalls = 14,465m ² x 3 stalls/1,075sq.Ft.)	230 (42 surface, 226 underground) Reg. stall (18' x 8'-0") 206 Small car (10' x 8'-0") 42 (10%) H/C stall (10' x 12') 3
BICYCLE SPACES:	n/a (see per parking by-law)	n/a (see per parking by-law)
LOADING SPACES:	n/a (see per parking by-law)	n/a (see per parking by-law)

Date	By	Description
05	02nd June '10	Issued for EDP Revision 4
04	12th May '10	Issued for EDP Revision 3
03	05th Apr '10	Issued for AGP
02	09th Apr '10	Issued for EDP Revision 2
01	18th Mar '10	Issued for EDP Revision 1

GUILDFOOT OFFICE
102-A Ave. at 153-A St.,
Surrey, B.C.

SITE PLAN

Scale: 1/2" = 1'-0"

North Arrow

Scale: 1/2" = 1'-0"

Project No: A 001

NOTES: Affected Area

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

- (a) FROM: TOWN CENTRE COMMERCIAL ZONE (C-15)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 023-866-462
 Lot 1 Section 28 Block 5 North Range 1 West New Westminster District Plan LMP34196
 10221 – 153 Street

- (b) FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 007-469-314
 Lot 33 Section 28 Block 5 North Range 1 West New Westminster District Plan 19442
 10207 – 153 Street

(hereinafter both (a) and (b) shall be referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of retail, office, service, recreational and community uses developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Retail stores* excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*.
2. *Personal service uses* excluding *body rub parlours*.
3. *General service uses* excluding *drive-through banks*.
4. *Eating establishments* excluding *drive-through restaurants*.
5. *Neighbourhood pub*.
6. *Liquor store*.
7. *Office uses* excluding *social escort services* and *methadone clinics*.
8. *Indoor recreational facilities*.
10. *Parking facilities*.
11. *Entertainment uses* excluding *arcades* and *adult entertainment stores*.
12. *Community services*.
13. *Child care centres*.

C. Lot Area

Not applicable to this Zone.

D. Density

The *floor area ratio* shall not exceed 1.50.

E. Lot Coverage

The *lot coverage* shall not exceed 80%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum setbacks:

Use	Setback	<i>Front Yard</i> [North]	<i>Rear Yard</i> [South]	<i>Side Yard on Flanking Street</i> [153 Street]	<i>Side Yard on Flanking Street</i> [152 A Street]	<i>Side Yard</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		1.1 m [4 ft.]	7.5 m* [25 ft.]	1.9 m [6 ft.]	1.5 m [5 ft.]	0 m [0 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1 of this Zone, *buildings and structures* may be sited zero metres (0 ft.) from interior *lot lines*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 18 metres [60 ft].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft].

H. Off-Street Parking

1. Refer to Table C.2 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Tandem parking* may be permitted for company fleet *vehicles*.
3. Notwithstanding Sub-section A.2(c) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended the *underground parking* can be located within 2.0 metres [6.6 ft.] of the *front lot line*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.
2. Garbage containers and *passive recycling containers* shall not be located within any required *setbacks* adjacent any *residential lot*.
3. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this Zone.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1,850 sq. m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-15 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2013, No. 17856, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-15 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, Chapter 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

READ A THIRD TIME ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK

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