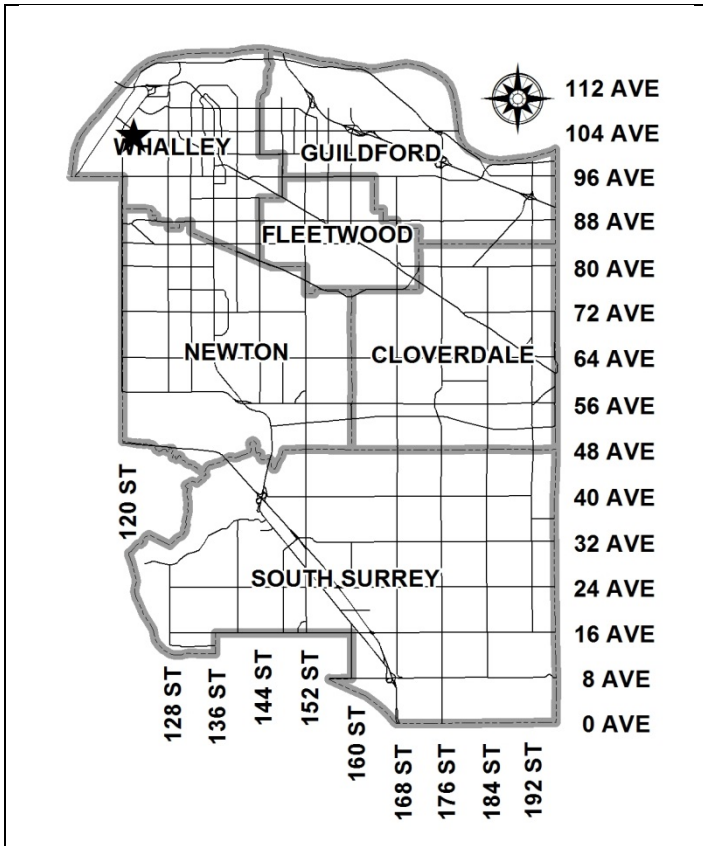


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0113-00

Planning Report Date: June 9, 2014



PROPOSAL:

- **Rezoning** from RF to RM-15
- **Development Permit**
- **Development Variance Permit**

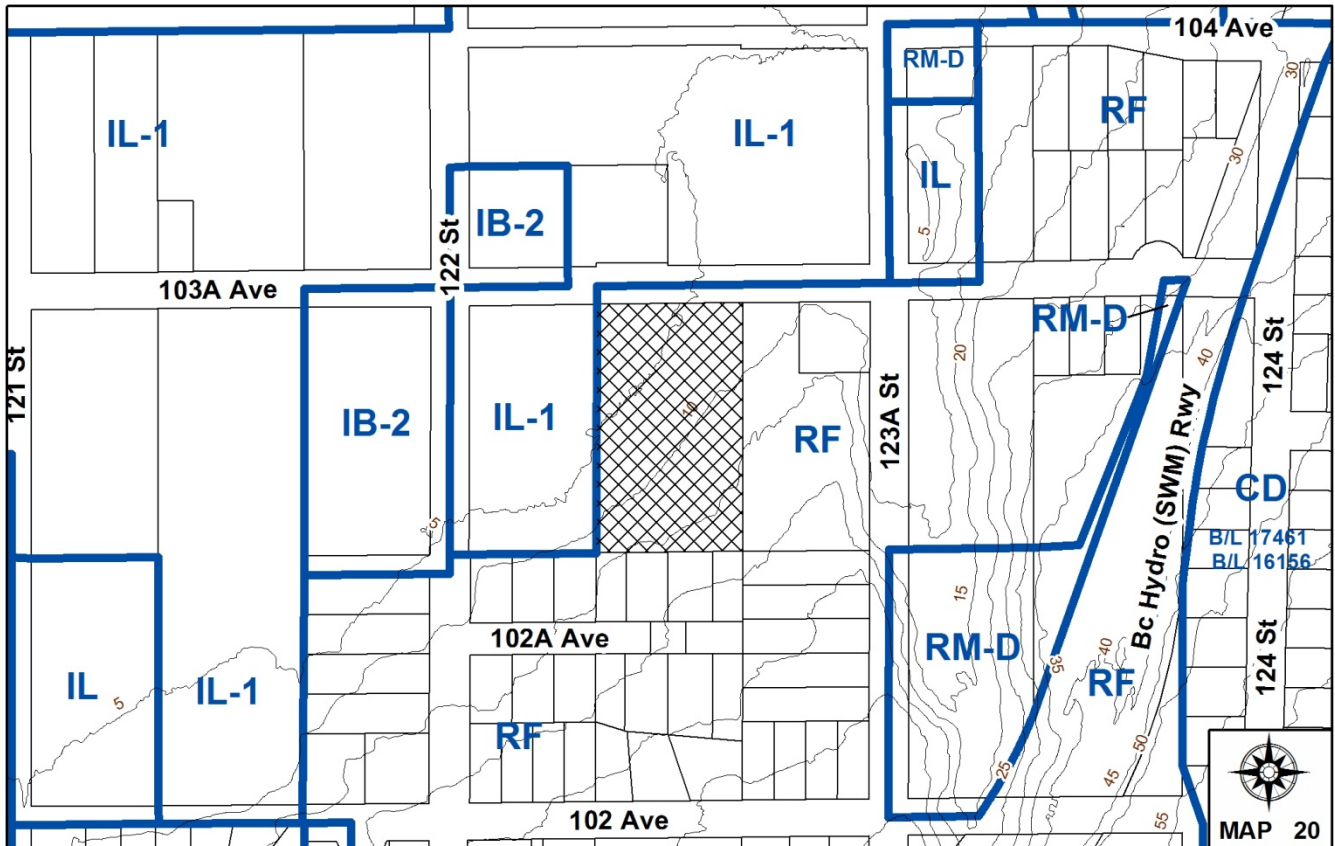
in order to permit the development of 18 townhouse units.

LOCATION: 12258 - 103A Avenue

OWNER: Ajit S Gill

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires relaxation of the east side yard setback from 7.5 metres (25 ft.) to 6 metres (20 ft.) for a principal building.

RATIONALE OF RECOMMENDATION

- Complies with the OCP Designation of Urban.
- The proposed strata townhouse development will better ensure that the Greater Vancouver Regional District sanitary main is protected.
- The proposed setback variance will have a minimal impact on adjoining residential properties and still provide a useable yard space for the applicable townhouse units. The reduced setback also reduces the height of a necessary retaining wall through the site.
- The proposed residential project features appropriate design articulation, high quality materials and generous landscaping treatment.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site in Development Application No. 7913-0113-00 from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Multiple Residential 15 Zone (RM-15)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7913-0113-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7913-0113-00 (Appendix VIII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum east yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6 metres (20 ft.) for a principal building.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of an acceptable tree survey and a statement regarding tree preservation;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;

- (k) registration of a Section 219 Restrictive Covenant on the proposed townhouse strata units notifying owners to the potential of noise related to adjacent industrial uses and to require mitigating measures to reduce the impact of external noise sources from the proximity to industrial uses;
- (l) submission of an acoustical report for the units adjacent to 103A Avenue and neighbouring industrial lands and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
- (m) registration of a shared reciprocal access agreement with the property to the east (12280 – 103A Avenue).

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- School District: **Projected number of students from this development:**
 4 Elementary students at Prince Charles Elementary School
 2 Secondary students at L. A. Matheson Secondary School
- The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by approximately Spring of 2015.
- (Appendix IV)
- Parks, Recreation & Culture: Parks has some concerns with respect to the pressure the project will place on existing Parks, Recreation and Culture facilities in the neighbourhood.
- Surrey Fire Department: The Fire Department has no concerns with the proposed development.
- Greater Vancouver Regional District (GVRD): GVRD has several concerns with the sewer trunk ROW that passes through the proposed development. GVRD requests that no trees or shrubs be planted on the ROW and that weight/load restrictions on the ROW be adhered to.
- FortisBC Gas: FortisBC has no objection in principal to the proposed project as long as certain conditions are adhered to.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling encumbered by sanitary sewer trunk and Teresen Gas right-of-ways.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 103A Avenue):	To the East: Metal fabrication. To the West: Non-conforming outside storage.	Light Impact/Business Park within South Westminster NCP	IB-2 and IL-1
East:	Single family dwelling on large residential property.	Urban within OCP	RF
South:	Single family dwellings.	Urban within OCP	RF
West:	Industrial building.	Light Impact/Business Park within South Westminster NCP	IB-2

DEVELOPMENT CONSIDERATIONSProposal

- The 0.97 hectare (2.4 ac.) subject site is located on the south side of 103A Avenue midblock between 122 Street and 123A Street in South Westminster. This site is designated Urban in the Official Community Plan (OCP). The site is currently vacant.
- The applicant proposes to rezone the site from “Single Family Residential Zone (RF)” to Multiple Residential 15 Zone (RM-15)” in order to permit the development of an 18-unit townhouse development consisting of 5 buildings.
- The proposed project will achieve a floor area ratio (FAR) of 0.598, which is less than the maximum 0.6 FAR permitted in the RM-15 Zone.
- The subject site is encumbered by a FortisBC gas right-of-way and a Greater Vancouver Regional District (GVRD) sanitary main (Appendix VI). These ROW’s encompass approximately 0.46 hectares (1.13 ac.) or 47% of the site and limit development to the northwest, southeast and southwest corners. Internal driveways will pass over the GVRD sanitary main which requires weight restrictions. The applicant does not propose any works within the FortisBC ROW except for landscaping.
- As part of the application a 0.445 meter (1.5 ft.) dedication is required for road widening along 103A Avenue.

- Due to the close proximity of neighbouring industrial properties to the immediate west and north across 103A Avenue, the applicant has retained an acoustic engineer to develop a noise mitigation strategy for the subject site. Final approval of this study and registration of the report by way of Restrictive Covenant on title, to notify future owners and to ensure the implementation of the measures recommended by the study, will be a condition of Final Approval.

PRE-NOTIFICATION

Pre-notification letters were mailed on June 21, 2013 and a Development Sign was installed on October 1, 2013 Staff received 2 responses with numerous concerns as follows:

- The proposed density is too high for this area of Whalley and is causing the character of the area to change.

(The proposed density is under 15 upa which is allowed under the Urban designation in the OCP. Due to the sensitivity of the GVRD sewer main, it was determined that a strata townhouse development would better maintain the right-of-way rather than single family dwellings.)

- Proximity to heavy and very loud metal fabrication industry is not appropriate for a townhouse.

(The applicant has completed a noise mitigation strategy for the proposed units. As a condition of Final Approval, this document will be registered on title to notify future owners, and to ensure that the measures recommended by the study will be implemented.)

- Traffic volumes will increase in the area.

(A previous land development subdivision application for the subject site was to subdivide into 9 Single Family (RF) Residential lots. Each RF lot would likely contain one legal suite which could equal 18 family units which is roughly equivalent to the 18 townhouse units proposed in the development.)

- The site and properties to the east are currently well treed and quite green. This area should remain as natural as possible.

(The applicant has been able to retain several trees along the eastern property line. Applicant has also provided a concept for how the neighbouring properties may develop for low-density townhouses in the future (Appendix VII) which includes a 30-metre buffer from the top of bank of Robson Creek to the west. This will preserve a large green belt in the area.)

DESIGN PROPOSAL AND REVIEW

Overall Design Considerations

- The proposed development contains 18, three-storey townhouses that are housed within five buildings.

- Exterior cladding materials include the extensive use of hardiboard siding in red, khaki and gray, with charcoal trim for all façades. The roofs are single pitched to increase the articulation of the roof line.
- Units range in size from 135 square metres (1,450 sq.ft.) to 166 square metres (1,790 sq.ft.). All units will have three bedrooms.
- The majority of the living areas are proposed on the upper floors, with the exception of a den that is proposed on the ground floor of the twelve (12) units with side-by-side parking configuration. The ground floor recreation rooms are approximately 2.75 metres (9 ft.) deep to ensure they are useable for purposes other than storage.

Landscaping and Resident Gardens

- A 6-metre (20 ft.) wide buffer consisting of 33 fir and cedar trees will be planted along the west property line to provide a buffer between the townhouse development and the neighbouring industrial development to the west. A 6-metre (20 ft.) wide drive aisle is next to the buffer which provides a minimum 12-metre (40 ft.) setback for all units from the industrial site.
- On-site landscaping will consist of trees such as Cedar, Fir and Maple interspersed with shrubs such as Heather, Laurel and Azalea.
- Each townhouse unit has access to a 6.5 square metres (72 sq. ft.) raised community garden plot, which provides outdoor amenity space for the residents.
- Due to grades and the sensitivity of the FortisBC gas ROW the applicant is proposing a 0.9 metre (3 ft.) retaining wall along the western side of the eastern drive aisle.

Amenity Space

- The RM-15 Zone requires that 54 square metres (581 sq.ft.) of both indoor and outdoor amenity space be provided (3.0 sq.m. / 32 sq.ft. per dwelling unit). The applicant proposes, indoor and outdoor amenity spaces in excess of these minimum requirements.

TREES

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder and Cottonwood	12	12	
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Ash	3	3	0
Butternut	3	3	0

Bitter Cherry	1	1	0
Big Leaf Maple	9	9	1
Coniferous Trees			
Western Red Cedar	3	0	3
Douglas Fir	17	8	9
Falsecypress	1	1	0
Grand Fir	1	1	0
Total (excluding Alder and Cottonwood Trees)	38	25	13
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	62		
Total Retained and Replacement Trees	75		
Contribution to the Green City Fund	\$300		

- The Arborist Assessment states that there are a total of 38 protected trees on the site, excluding Alder and Cottonwood trees. Twelve (12) existing trees, approximately 24% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 13 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 62 replacement trees on the site. The applicant is proposing 62 replacement trees, meeting City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 103A Avenue. This will be determined at the servicing agreement stage by the Engineering Department.
- The new trees on the site will consist of a variety of tree species including cedars, maples, firs and birch trees.
- In summary, a total of 75 trees are proposed to be retained or replaced on the site.

Parking and Circulation

- Access to the site is proposed from two driveways from 103 Avenue. All units will have vehicular access from the internal driveways.
- All units will have two parking spaces with 6 units proposed to have tandem garages and 12 units to have side-by-side double car garages.

- A total of 45 resident parking spaces are to be provided on-site. The parking spaces to be provided meet the minimum number and dimensional requirements in Surrey Zoning By-law No. 12000.
- A total of nine visitor parking spaces will be provided, which is more than the 4 spaces required under the Zoning By-law.
- To limit driveways along 103A Avenue, the applicant has proposed a shared access easement in favour of the property to the east. The applicant has produced a concept that shows how the two properties to the east can develop in the future.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 28, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• n/a
2. Density & Diversity (B1-B7)	• Meets permitted density of RM-15 Zone.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Development provides for private gardens for each unit and a composting area. • Swales and natural landscaping are provided. The applicant is retaining several mature trees. • Applicant is retaining 13 trees and proposing the planting of 62 trees.
4. Sustainable Transport & Mobility (D1-D2)	• n/a
5. Accessibility & Safety (E1-E3)	• The applicant is providing an outside play area for children.
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum east side yard setback from 7.5 metres (25 ft.) to 6 metres (20 ft.).

Applicant's Reasons:

- The variance is required due to the slope of the site and the limitations of the FortisBC and GVRD ROWs. The alternate option is a 2-metre (7 ft.) high retaining wall.

Staff Comments:

- Due to the slope of the site and sensitivity of construction within the FortisBC right-of-way, the applicant requires the reduced setback to reduce the height of a previously proposed 2-metre (7 ft.) retaining wall.
- The reduced east yard still provides a functional yard space for the proposed townhouse units.
- The east setback potentially interfaces with a future low density townhouse development
- Proposed variance does not require removal of any trees.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	GVRD and Teresan Right-of-Ways
Appendix VII.	Concept Plan for Neighbouring Properties
Appendix VIII.	Development Variance Permit No. 7913-0113-00

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-15

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		9,712.5 m ²
Road Widening area		33.6 m ²
Undevelopable area		4,775.3 m ²
Net Total		4,936.9 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	26%
Paved & Hard Surfaced Areas		50%
Total Site Coverage		76%
SETBACKS (in metres)		
Front	7.5 metres	7.5 metres
Rear	7.5 metres	7.62 metres
Side #1 (East)	7.5 metres	6 metres
Side #2 (West)	7.5 metres	12.1 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	11	11
Accessory	11 m Amenity 4.5 m others	6.1 m 3.65 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		0
One Bed		0
Two Bedroom		0
Three Bedroom +		18
Total		18
FLOOR AREA: Residential		2,955 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		2,955 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	37 uph / 15 upa	37 uph / 14.17 upa
# of units/ha /# units/acre (net)	36 uph / 18 upa	37 uph / 14.17 upa
FAR (gross)	5,827 m ²	0.304 FAR
FAR (net)	5,827 m ²	0.598 FAR
AMENITY SPACE (area in square metres)		
Indoor	48.87 m ²	75.84 m ²
Outdoor	48.87 m ²	5,960 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	36	36
Residential Visitors	3.6	9
Institutional		
Total Number of Parking Spaces	39.6	45
Number of disabled stalls	0	0
Number of small cars	10	0
Tandem Parking Spaces: Number / % of Total Number of Units	18 spaces or 50%	12 spaces or 33%
Size of Tandem Parking Spaces width/length	2.6 m x 13.4 m	2.6 x 13.4

Heritage Site	YES	Tree Survey/Assessment Provided	YES
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MULTIPLE BUILDINGS DATA SHEET

Proposed/Existing Zoning RM-15

Required Development Data	Building #1	Building #2	Building #3	Building #4	Building #5
SETBACK (in metres)					
Front (North)	7.62 m	8.08 m	43.69 m	59.69 m	90 m
Rear (South)	8.08 m	43.69 m	7.62 m	40 m	7.62 m
Side #1 (East)	15.28 m	15.28 m	30.25 m	7.62 m	6 m
Side #2 (West)	40.03 m	49.50 m	15.28 m	49.50 m	49.50 m
Building Height (in metres/storeys)	11 m	11 m	11 m	11 m	11 m
NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE					
Bachelor					
One Bedroom					
Two Bedroom					
Three Bedroom +	3	2	4	4	5
TOTAL FLOOR AREA	505 m ²	313 m ²	767 m ²	691 m ²	679 m ²

PROJECT DATA:

ZONING:
 EXISTING: RF - RESIDENTIAL SINGLE-FAMILY ZONE
 PROPOSED: RM-15 - MULTIPLE RESIDENTIAL ZONE
SITE AREA:
 2.4 Acres (104,544 s.f.) GROSS
 1.27 Acres (55,481 s.f.) NET

SITE COVERAGE:
 PERMITTED: 45% = 23,913.01 S.F. (53,140.03 S.F. X 0.45)
 PROPOSED: 26% = 13,816.41 S.F.
DENSITY:
 PERMITTED: 15 Units per Acre (UPA) 37 Units per Hectare (UPH) = 36 Units (2.4 Acres x 15 UPA)
 PROPOSED: 14.17 UPA = 18 Units
FLOOR AREA:

PERMITTED:
 0.6
 -
 33288.60 S.F. (55,481 S.F. X 0.6)
 0.569 = 31578.33 S.F.
PROPOSED SETBACKS:
 SIDE: West - 7.5 meters (25'), East - 6.0 m

REAR: 7.5 meters (25')
FRONT: 7.5 meters (25')
BUILDING HEIGHT:
 PERMITTED: 11 meters (36')
 PROPOSED: 11 meters (36')
PARKING:
 RESIDENT STALLS:
 REQUIRED: 2 STALLS PER UNIT = 36 STALLS (18 UNITS X 2)
 36 STALLS = 2 STALLS PER UNIT
PROPOSED VISITOR STALLS:

REQUIRED:
 0.2 STALLS PER UNIT = 3.6 STALLS (18 UNITS X 0.2) = 4 STALLS
 9 STALLS
PROPOSED AMENITY SPACE:
OUTDOOR SPACE:
 REQUIRED: 3 S.M. / UNIT = 581.25 S.F. (54.00 S.M.)
 PROVIDED: 64,157.64 S.F. (5,960.44 s.m.)
INTERIOR SPACE:
 REQUIRED: 3 S.M. / UNIT = 581.25 S.F. (54.00 S.M.)
 PROVIDED: 816.34 S.F. (75.84 s.m.)



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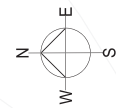
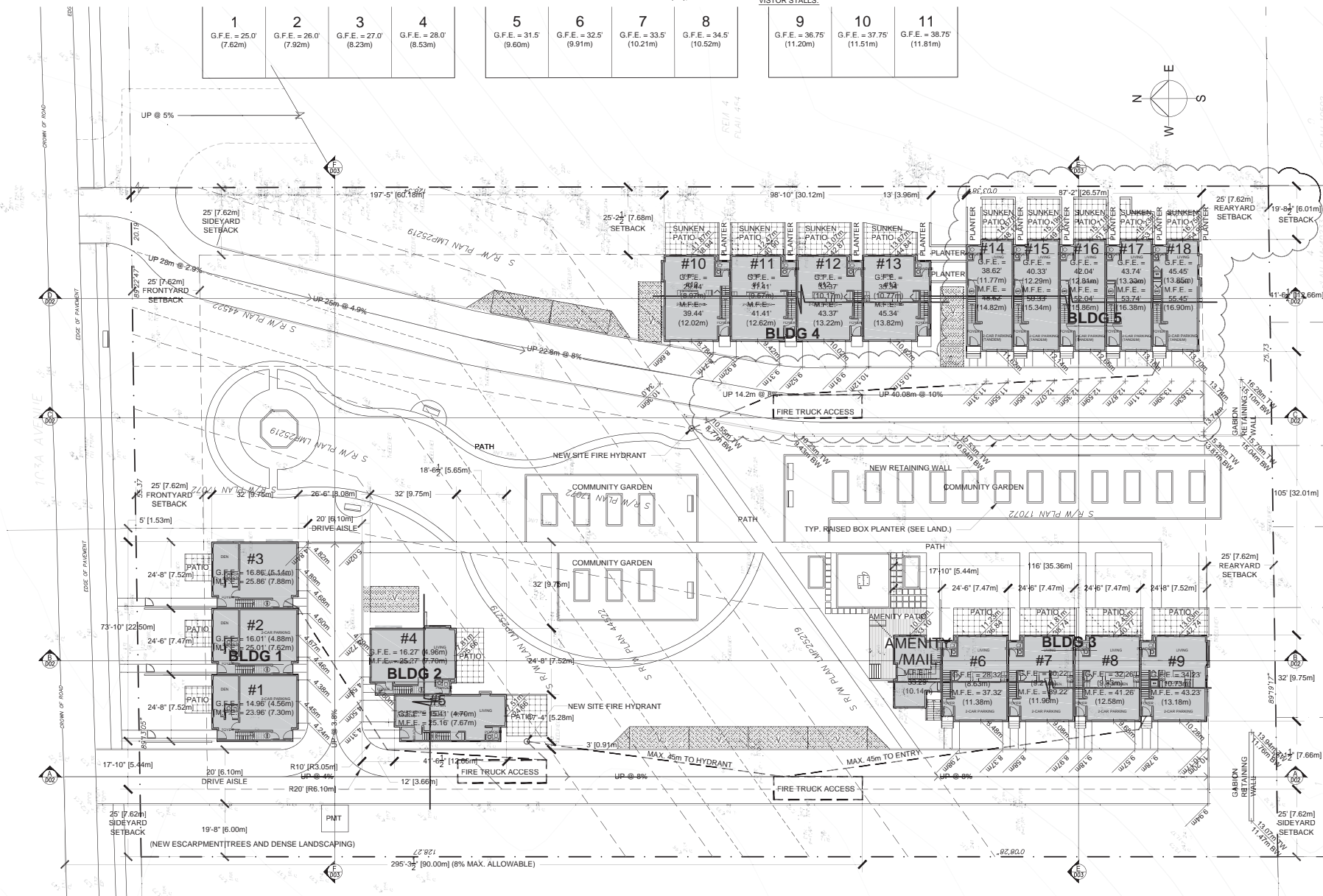
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19-Unit Townhouse Project
 12258 103 Avenue
 Surrey, BC

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Site Plan

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 Project Number:

Revision Date: June 3, 2014
 Print Date: June 3, 2014
 Dwg. No.

D01





NORTH ELEVATION (FRONTING 103a AVE.)



SOUTH ELEVATION



WOOD TRIM, FASCIA,
BENJAMIN MOORE
2127-30



HARDIE SIDING
JAMES HARDIE
COUNTRYLANE RED JH90-20



VERTICAL HARDIE SIDING,
HARDIE PANEL
JAMES HARDIE
KHAKI BROWN JH20-30



HARDIE SHINGLE
JAMES HARDIE
TIMBER BARK JH40-30



RAILING,
HARDIE PANEL TRIM (EASY TRIM)
CHARCOAL COLOR



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No Date Revision

No Date Revision

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12258 103a AVE.
SURREY, B.C.

Sheet Title
STREETSCAPE
COLOR RENDERING

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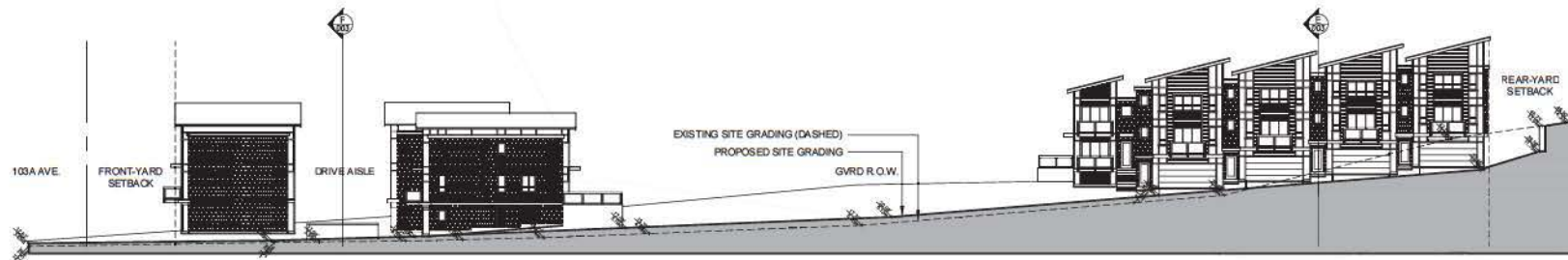
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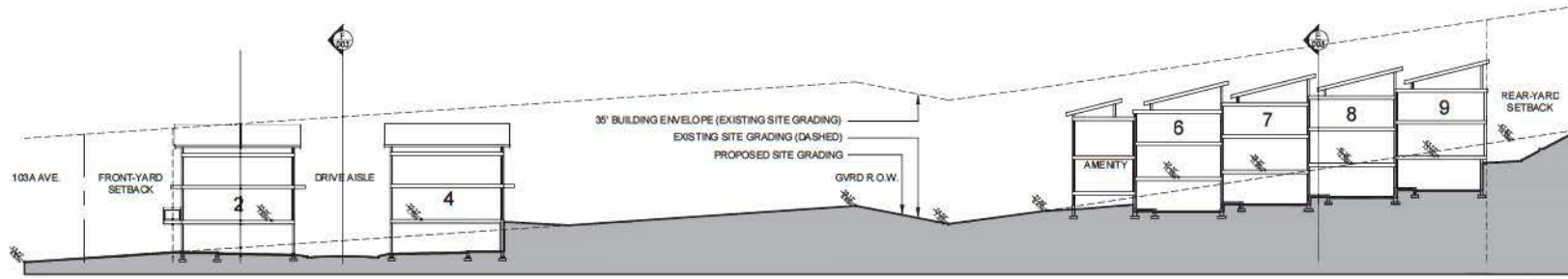
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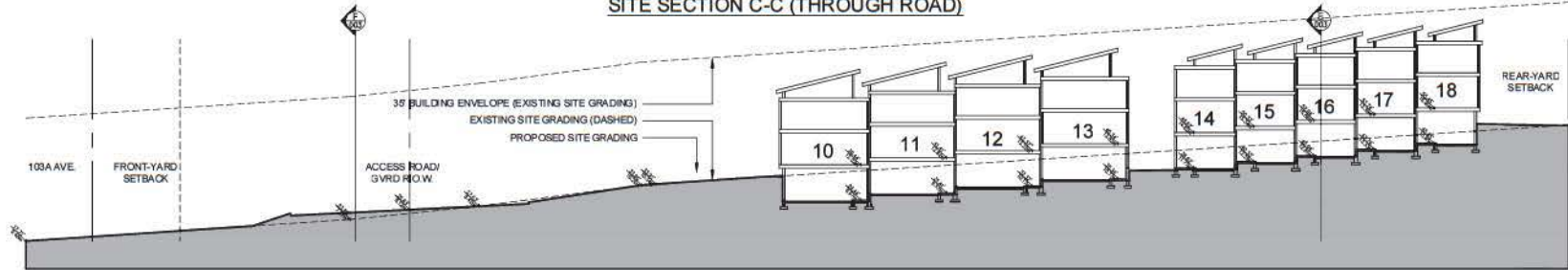
SITE SECTION A-A (THROUGH ROAD)



SITE SECTION B-B



SITE SECTION C-C (THROUGH ROAD)



SITE SECTION D-D



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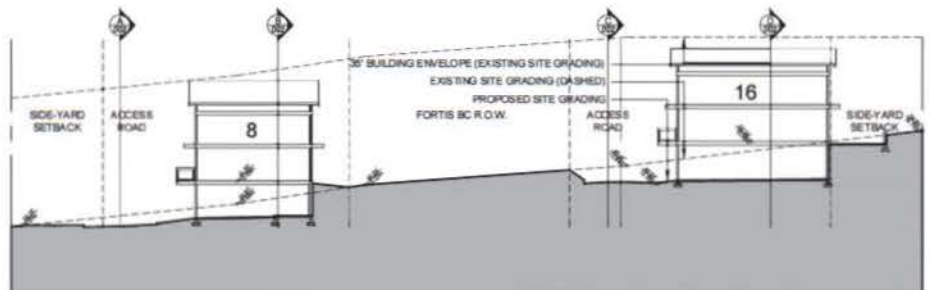
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19-Unit Townhouse Project
12258 103A Avenue
Surrey, BC

Sheet Title
Site Sections

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Project Number:

Revision Date:
Mar 14, 2014
Print Date:
AUG 20, 2012
Dwg. No.

D02



SITE SECTION E-E



SITE SECTION F-F



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No.	Date	Revision
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Consultants

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12258 103A Avenue
Surrey, BC

Sheet Title
Site Sections

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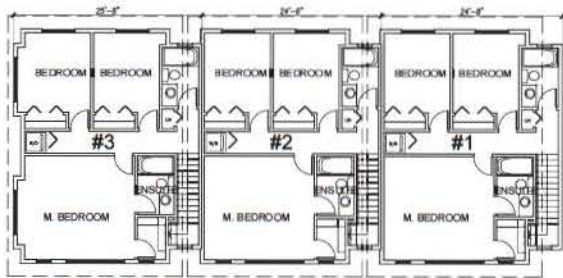
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Revision Date	Print Date
AUG. 20, 2012	AUG. 20, 2012

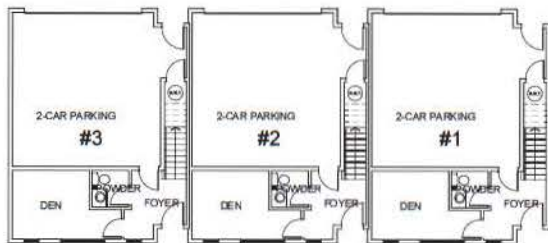
Dwg. No.
D03



UPPER FLOOR



MAIN FLOOR



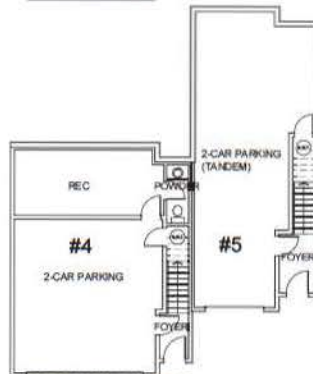
GROUND FLOOR BUILDING 1



UPPER FLOOR



MAIN FLOOR



GROUND FLOOR

BUILDING 2



MATTHEW CHENG ARCHITECT INC.

1040 BR. 405 STREET ASTORIA
VANCOUVER, BC V6A 1K6
TEL: 604.271.5121 FAX: 604.271.1888
E-MAIL: MCHENG@MCA-BC.COM

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No.	Date	Revision
01	07/07/2014	Issuance
02		
03		

Consultants

Project Title
19-Unit Townhouse Project

1225B 103A Avenue
Surrey, BC

Sheet Title
**FLOOR PLANS
BLDG #1 & #2**

Drawn: MS/MC
Checked:

Scale: 1/8" = 1'-0"
Project Number:

Revision	Date	Print Date
1	Mar 14, 2014	Aug 07, 2013

Dep. No.
D04



MATTHEW CHENG ARCHITECT INC.

1261 ST. JOE PLAZA AT/BFC
VANCOUVER, BC V6L 1K3
TEL: 604-731-8321 FAX: 604-731-8322
CELL: 604-697-0551 Email: mch@matcheng.ca

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No.	Date	Revision
01	yyyy/mm/dd	Description
02		
03		

Consultants

Project Title
19-Unit Townhouse Project

12258 103A Avenue
Surrey, BC

Sheet Title
**FLOOR PLANS
BLDG #3**

Drawn:
MS/HG

Checked:

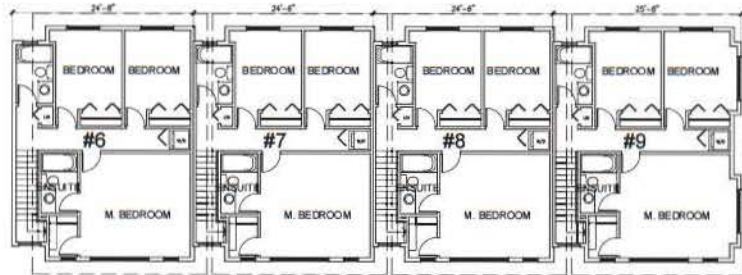
Scale:
1/8"=1'-0"

Project Number:

Revision Date: Mar 14, 2014	Print Date: Aug 07, 2013
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Dwg. No.

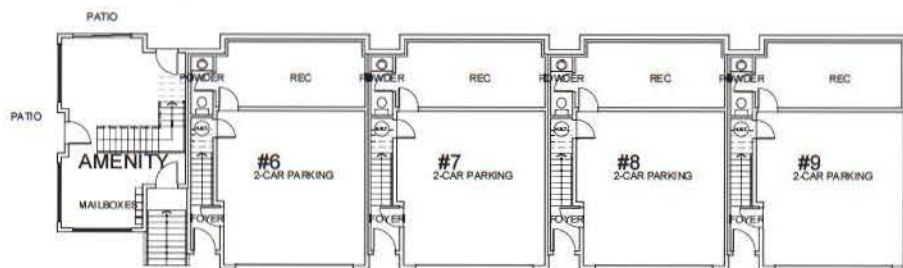
D05



UPPER FLOOR



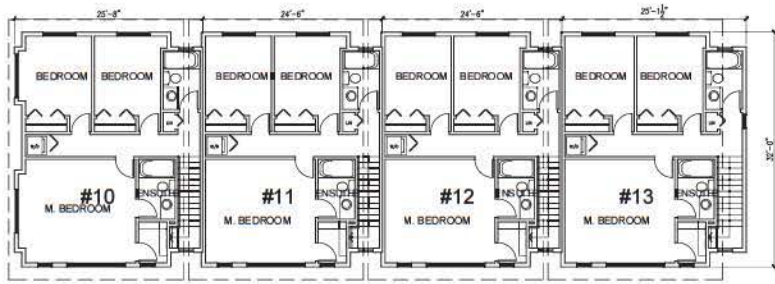
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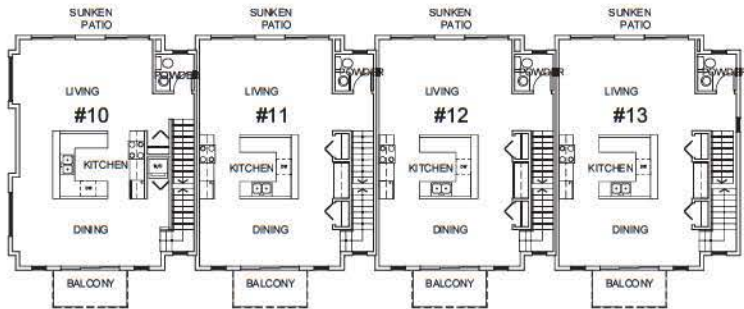
GROUND FLOOR

BUILDING 3

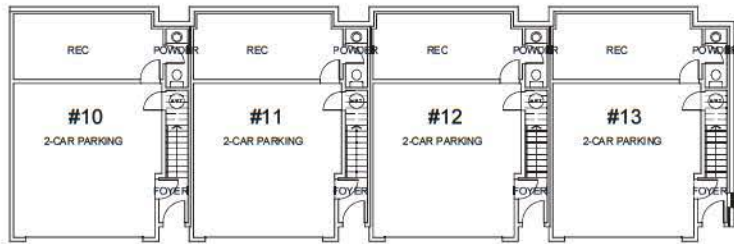
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UPPER FLOOR

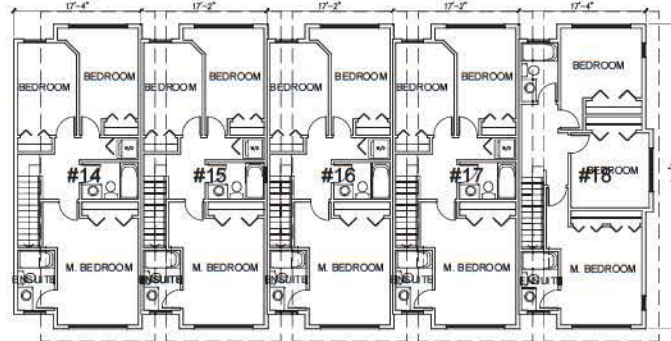


MAIN FLOOR

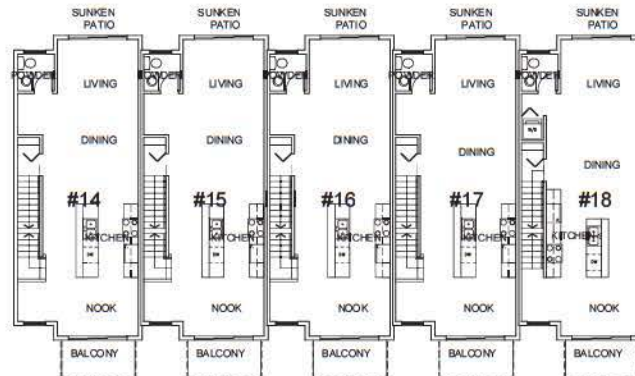


GROUND FLOOR

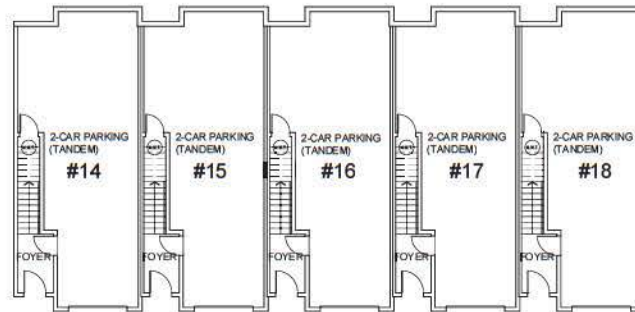
BUILDING 4



UPPER FLOOR



MAIN FLOOR



GROUND FLOOR

BUILDING 5



MATTHEW CHENG ARCHITECT INC.

2012 BC 478 FRANK AVENUE
VANCOUVER, BC V6A 3E9
Tel: 604-773-9371 Fax: 604-773-9368
Cell: (604) 697-0667 Email: mat@matarch.ca

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No.	Date	Revision	Description
01	11/11/2014		
02			
03			

Consultants:

Project Title
19-Unit Townhouse Project

12258 103A Avenue
Surrey, BC

Sheet Title
**FLOOR PLANS
BLDG #4 & #5**

Drawn:
MS/HC

Checked:

Scale:
1/8"=1'-0"

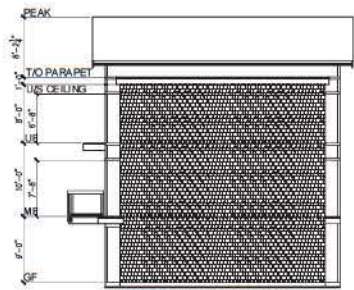
Project Number:

Revision Date:
Mar 14, 2014

Print Date:
Mar 03, 2014

Dwg. No.

D06



WEST ELEVATION



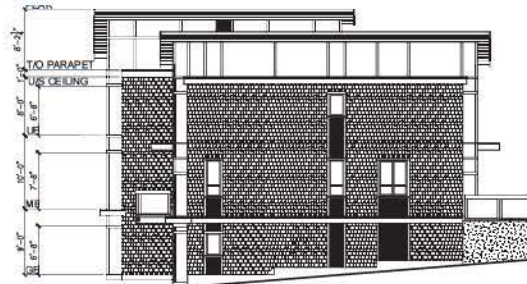
SOUTH ELEVATION



NORTH ELEVATION (103a AVE.)
BUILDING 1



EAST ELEVATION



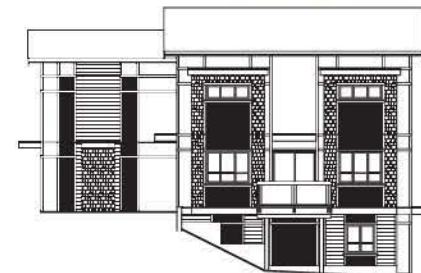
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION
BUILDING 2



EAST ELEVATION



**MATTHEW CHENG
ARCHITECT INC.**

2012-25, 475 PARKWAY AVENUE
VANCOUVER, BC V6A 3E5
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No.	Date	Revision	Description
01	07/07/2013		
02			
03			

Consultants:

Project Title
19-Unit Townhouse Project

12258 103A Avenue
Surrey, BC

Sheet Title
**ELEVATIONS
BLDG #1 & #2**

Drawn:
MS/HC

Checked:

Scale:
1/8"=1'-0"

Project Number:

Revision Date:
Mar 14, 2014

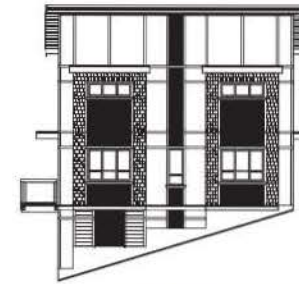
Print Date:
Aug 07, 2013

Dwg. No.

D07



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION
BUILDING 3



EAST ELEVATION



**MATTHEW CHENG
ARCHITECT INC.**

104 ST. GEORGE STREET
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No.	Date	Revision
01	yyyy/mm/dd	Description
02		
03		

Consultants

Project Title
**19-Unit Townhouse
Project**

12258 103A Avenue
Surrey, BC

Sheet Title
**ELEVATIONS
BLDG #3**

Drawn:
MS/HG
Checked:

Scale:
1/8"=1'-0"

Project Number:

Revision Date:
Mar 14, 2014

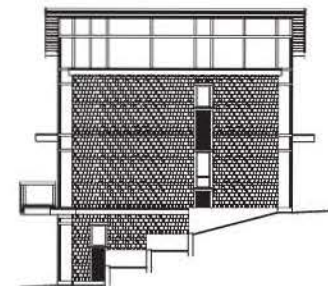
Print Date:
Aug 07, 2013

Dwg. No.

D08



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION (103a AVE.)
BUILDING 4



EAST ELEVATION



MATTHEW CHENG ARCHITECT INC.

1245 BR. 405 STREET ANCHER
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E-MAIL: info@matthewcheng.ca

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No.	Date	Revision
01	03/03/2014	Issued for Construction
02		
03		

Consultants

Project Title
19-Unit Townhouse Project

1225B 103A Avenue
Surrey, BC

Sheet Title
**ELEVATIONS
BLDG #4**

Drawn:
MS/HC

Checked:

Scale:
1/8" = 1'-0"

Project Number:

Revision Date:
Mar 14, 2014

Print Date:
Mar 03, 2014

Dep. No.

D09



MATTHEW CHENG ARCHITECT INC.

12125 - 670 PAVAN AVENUE
VANCOUVER, BC V6A 3E3
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CELL: 604.660-0667 EMAIL: mat@matcheng.ca

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No.	Date	Revision	Description
01	07/07/2014	01	Issued
02			
03			

Consultants:

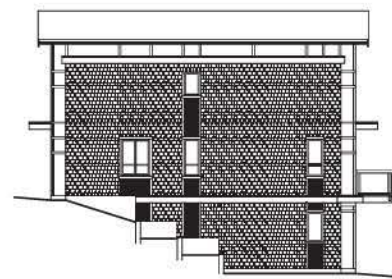
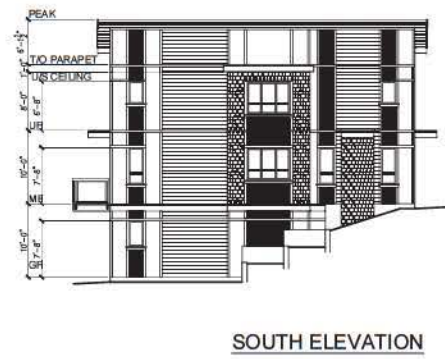
Project Title
19-Unit Townhouse Project
12258 103A Avenue
Surrey, BC

Sheet Title
**ELEVATIONS
BLDG #5**

Drawn:
MS/HC
Checked:
Scale:
1/8"=1'-0"
Project Number:

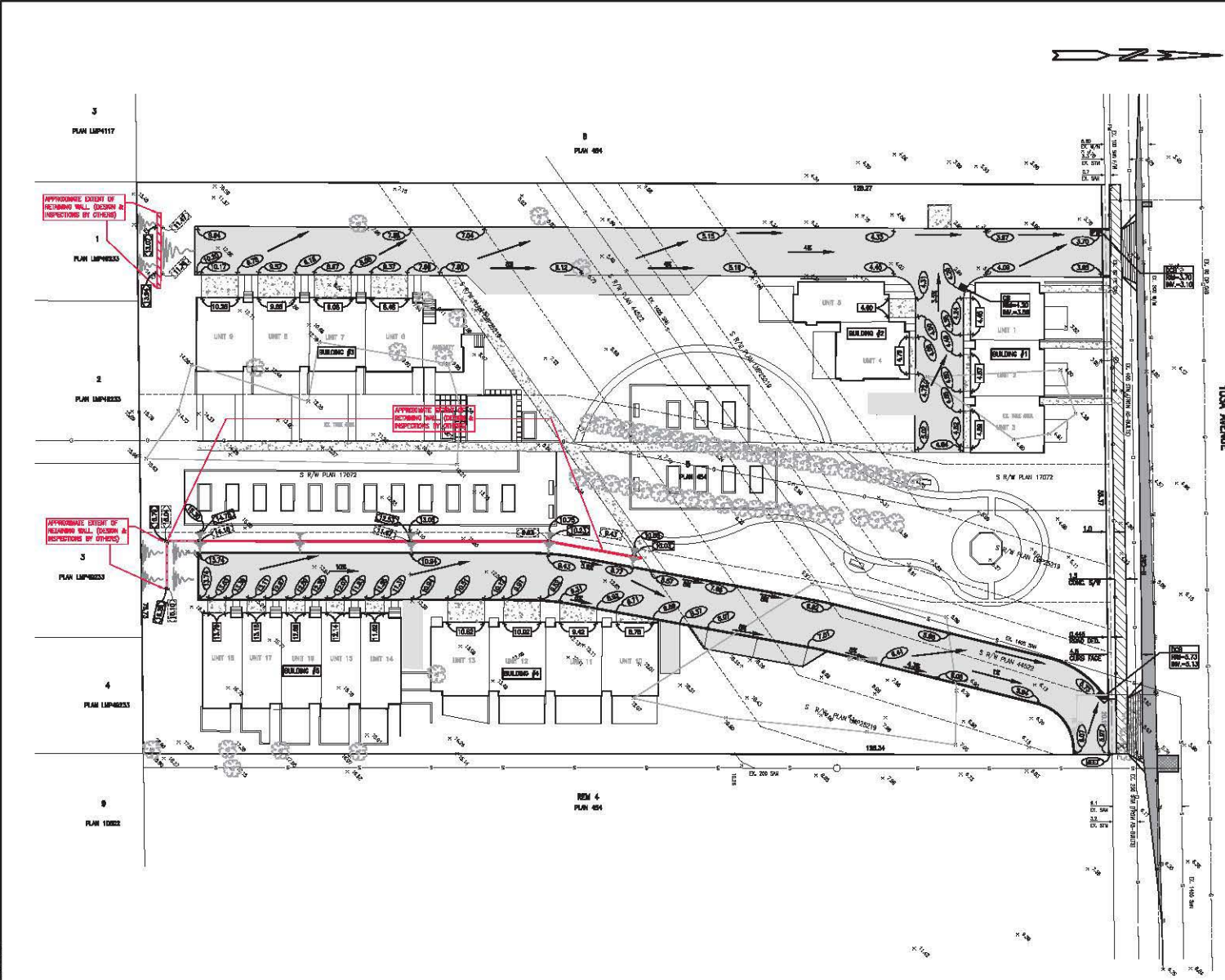
Revision Date: Mar 14, 2014
Print Date: Aug 07, 2013

Dwg. No.
D10



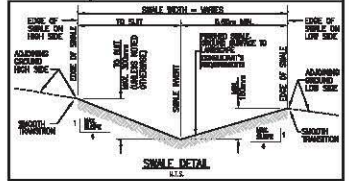
**NORTH ELEVATION (103a AVE.)
BUILDING 5**

EAST ELEVATION



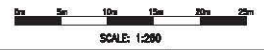
- ON-SITE LOT GRADING LEGEND**
- EXISTING GROUND SURFACE ELEVATION.
 - EXISTING GROUND SURFACE CONTOUR ELEVATION.
 - EXISTING SWALE.
 - NEW SWALE.
 - DIRECTION OF PROPOSED SURFACE FLOW.
 - NEW SLOPE AS PER GEOTECHNICAL CONSULTANT'S REQUIREMENTS.
 - BOTTOM OF PROPOSED RETAINING WALL.
 - TOP OF PROPOSED RETAINING WALL.
 - NEW PAVED AREA AS PER GEOTECHNICAL CONSULTANT'S REQUIREMENTS.

- ON-SITE LOT GRADING NOTES:**
1. ALL DIMENSIONS ARE METERS UNLESS NOTED OTHERWISE.
 2. CONTRACTOR SHALL COMPLY WITH ALL NOTES AND SPECIFICATIONS ON THE "ON-SITE NOTES" SHEET.
 3. CONTRACTOR SHALL RESERVE ANY AND ALL REQUIRED WORKS TO PRECONSTRUCTION CONDITION OR BETTER, AND TO THE SATISFACTION OF THE PROPERTY OWNERS.
 4. CONTRACTOR SHALL TAKE-IN ALL NEW SURFACE WORKS TO EXISTING SURFACE WORKS FORMING A SMOOTH TRANSITION.
 5. CONTRACTOR SHALL RESERVE EXISTING PAVEMENT CUT AND PATCHES TO MATCH STANDARDS, WHERE NEW ASPHALT PAVEMENT MEETS EXISTING ASPHALT PAVEMENT, CONTRACTOR SHALL PROVIDE A MINIMUM 250MM WIDE x 40MM THICK ASPHALT MILL AND LAY JOINT.
 6. REFER TO ARCHITECTURAL DRAWINGS FOR SITE LAYOUT, BUILDING LAYOUT, LINE FINISHES, WELLSHEDS DROPS IN RAMP AND CURB DETAILS.
 7. REFER TO STRUCTURAL AND/OR GEOTECHNICAL DRAWINGS FOR RETAINING WALL DETAILS AND SPECIFICATIONS, CONNECTION, REINFORCEMENT AND CENTERLINE OF RETAINING WALLS BY OTHERS.
 8. UPON CONSTRUCTION SUBSTANTIAL COMPLETION, THE CONTRACTOR'S SUPERVISOR TO PROVIDE PLAN ENGINEERING INC. WITH COMPLETE DETAIL DRAWING OR A DETAIL DRAWING AS-BUILT INFORMATION FOR THE NEW WORKS AND SERVICES BEING ON THIS DRAWING SUBJECT TO COORDINATION WITH PLAN ENGINEERING INC. PRIOR TO COMMENCEMENT OF THE AS-BUILT FIELD SURVEY.



PRELIMINARY

NOT FOR CONSTRUCTION



PRELIMINARY DATA:
ALL DIMENSIONS ARE
GEOMETRIC AND METRIC
AND REFER TO SURVEY
MONUMENTARY NO.
0721
LOCATED AT:
123A STREET &
103A AVENUE
AND HAVING
ELEVATION
7.907M

NO.	REVISIONS	DATE	SCALE	CONTRACT
1	ISSUED FOR PERMIT		1:200	
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3	ISSUED FOR PERMIT			
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Hub Engineering Inc.
Engineering and Development Consultants

101 - 7488 - 130 Street, Surrey, B.C. V0R 1A8
Tel: 604-572-4588 Fax: 604-501-1628 E-mail: mail@he-inc.com

Member
PACIFIC WEB GROUP
Web Site Development & E-commerce Support

CLIENT: **RITE STYLE MANUFACTURING**
12050 - 90 AVENUE
SURREY, B.C. V0V 1B0

PROJECT: **TOWNHOUSE DEVELOPMENT**
1225B - 103A AVENUE
SURREY, B.C.

LOT 0, BLK 3, SED 30, BLK 0, N HWY 2 & 16, HUB PLAN 404

DATE: **Jun 3, 2014**

SHEET TITLE: **PRELIMINARY LOT GRADING PLAN**
1225B - 103A AVENUE

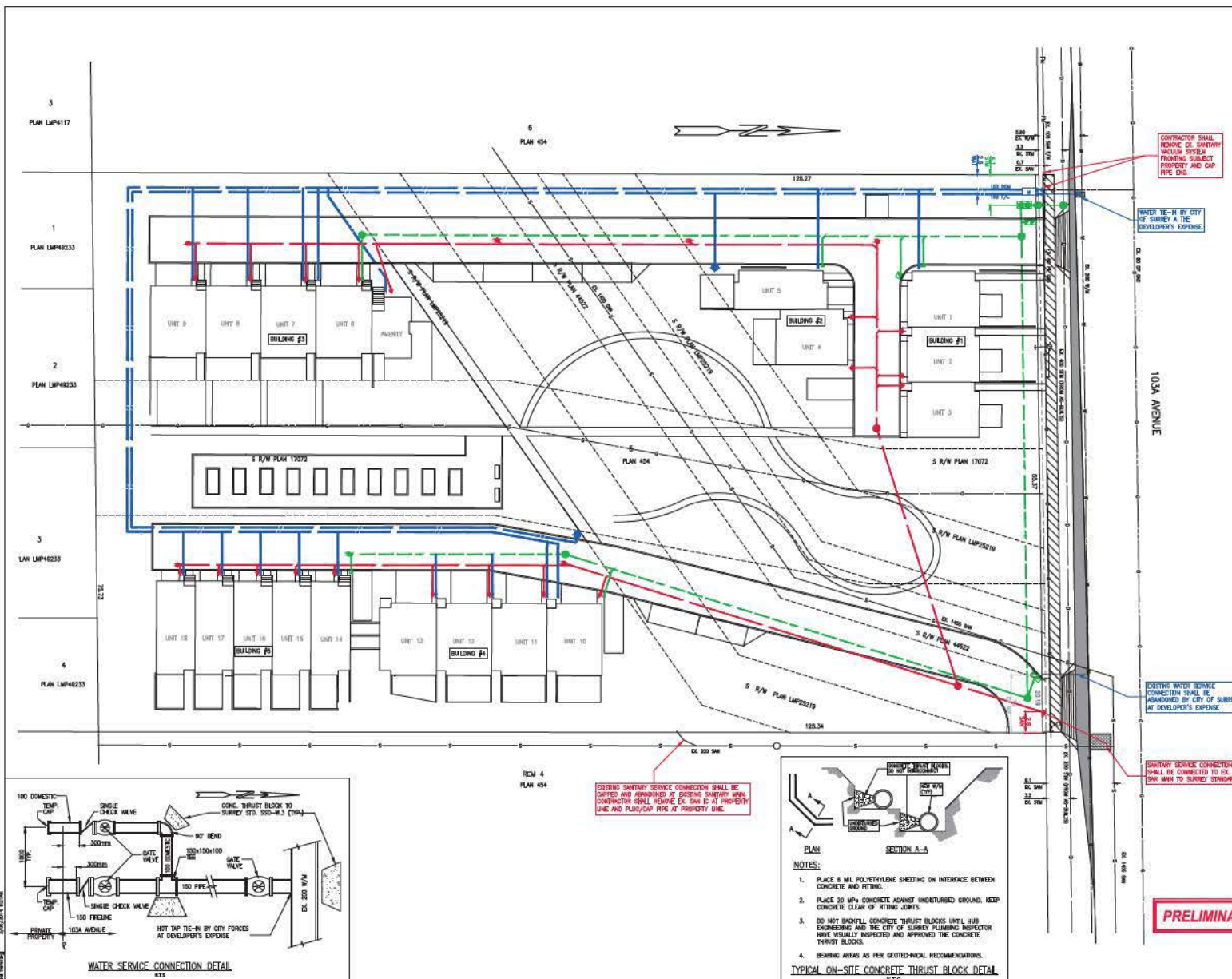
MUNICIPAL PROJECT: **13-0113-00**

JOB FILE NO: **ON-BASE**

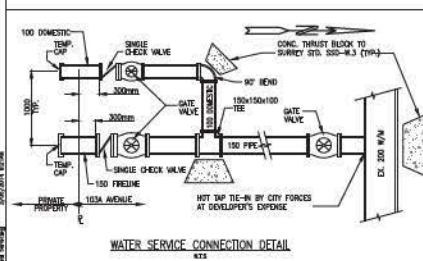
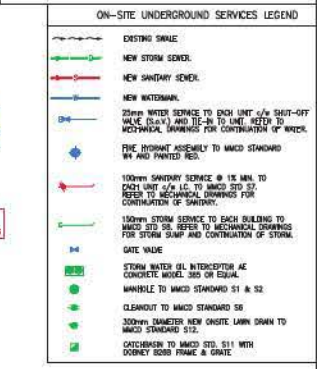
DRAWN BY: **12088-A**

REV. NO. **1**

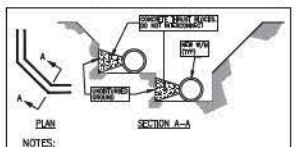
DESIGN ALL RIGHTS BEARING PROVIDED NUMBER 1



- ON-SITE UNDERGROUND SERVICES NOTES:**
- CONTRACTOR SHALL REFER TO MECHANICAL CONSULTANT'S DRAWINGS FOR CONTINUATION OF STORM SEWER, SANITARY SEWER AND WATER INTO BUILDING AND SHALL ADVISE HUB ENGINEERING IMMEDIATELY OF ANY DISCREPANCY.
 - CONTRACTOR SHALL INSTALL TRAPPING HOODS AT ALL OIL, LCO, AND CSWFI OUTLETS.
 - ALL DIMENSIONS ARE METRIC UNLESS NOTED OTHERWISE.
 - ALL EXISTING UNDERGROUND WORKS AND SERVICES SHOWN HEREON ARE APPROXIMATE ONLY AND BASED ON AS-CONSTRUCTED RECORDS; CONTRACTOR SHALL EXPOSE AND VERIFY EXACT LOCATION AND SIZE OF ANY AND ALL EXISTING UNDERGROUND WORKS AND SERVICES AT TIE-IN AND CROSSING POINTS PRIOR TO CONSTRUCTION, AND ADVISE ENGINEER IMMEDIATELY OF ANY DISCREPANCY.
 - CONTRACTOR SHALL RESTORE ANY AND ALL DISTURBED WORKS TO ORIGINAL OR BETTER CONDITION, INCLUDING RESTORING EXISTING PAVEMENT TO MATCH SURROUNDING.
 - ALL SANITARY SEWERS AND WATER LINES SHALL BE CONSTRUCTED WITH MINIMUM 0.91m (3 FEET) OF COVER.
 - ALL STORM SEWER PIPE, REGARDLESS OF PIPE MATERIAL, SHALL BE CONSTRUCTED WITH 0.45m (18") OF COVER UNLESS SPECIFICALLY NOTED OTHERWISE.
 - ALL STORM SEWER PIPES UNDER PAVED AREAS HAVING LESS THAN 0.91m (3 FEET) OF COVER TO FINISHED GRADE SHALL BE REINFORCED CONCRETE ASTM C-76-74 CL. II OR PVC DRY PIPE.
 - AT ALL WATER LINE CROSSINGS OF STORM AND/OR SANITARY SEWERS:
 - WATER LINES ARE TO CROSS UNDER STORM SEWERS.
 - WATER LINE JOINTS AS PER MANUFACTURER'S RECOMMENDATIONS.
 - SHOULD ANY VERTICAL COVER HOODS BE REQUIRED ON THE WATER LINE WAY MAKE TO CROSS UNDER SEWERS.
 - SHOULD ANY VERTICAL COVER HOODS BE REQUIRED ON THE WATER LINE, THEY SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION, AND SHALL INCLUDE TIE-RODS AND SEPARATE CONCRETE ANCHOR BLOCKS. NO 90° VERTICAL DOWN SEWERS ARE ALLOWED.
 - CONTRACTOR SHALL COMPLY WITH ALL NOTES AND SPECIFICATIONS ON THE "ON-SITE NOTES" SHEET.
 - TIE-IN TO EXISTING WATER AND SANITARY SEWER CONNECTIONS SHALL NOT BE MADE UNTIL NEW WATER AND SANITARY SEWER LINES HAVE BEEN TESTED, PASSED AND APPROVED FOR TIE-IN BY THE CITY OR MUNICIPALITY AND HUB ENGINEERING INC.
 - LODS FOR ALL APPURTENANCES SHALL BE CONSTRUCTED FLUSH WITH FINISHED GRADE AND LODS FOR EXISTING APPURTENANCES ADJUSTED TO BE FLUSH WITH FINISHED GRADE UNLESS NOTED OTHERWISE.
 - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL SUPPLY SHOP DRAWING OF OIL INTERCEPTOR FOR APPROVAL BY HUB ENGINEERING AND THE MUNICIPALITY.
 - BEFORE TO MATCH STANDARDS IS REQUIRED FOR ALL NEW MANHOLES. REINFORCING TO MATCH STANDARDS IS REQUIRED FOR ALL NEW TIE-INS TO EXISTING MANHOLES. REINFORCING FOR ALL NEW MANHOLES AND REINFORCING FOR ALL NEW TIE-INS TO EXISTING MANHOLES SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE MATCH STANDARDS.
 - CONCRETE THURST BLOCKS TO BE IN ACCORDANCE WITH MATCH STANDARD Dwg. W1 ARE REQUIRED AT ALL BENDS AND FITTINGS.
 - THE CONTRACTOR SHALL NOT INSTALL ANY OF THE UNDERGROUND SERVICES SHOWN ON THIS DRAWING UNTIL HUB ENGINEERING INC. AND THE PLUMBING INSPECTOR OF THE CITY OR MUNICIPALITY HAVE INSPECTED AND APPROVED THE UNDERGROUND SERVICES FOR BACKFILLING. THEREAFTER, THEY SHALL NOT BE LEFT OPEN OVER NIGHT.
 - CONTRACTOR SHALL COORDINATE ALL TESTING OF THE SANITARY SEWERS, WATER LINES, WATER METERS, WATER METER CHAMBERS, OILCOLLECTOR, OILPANS, ETC. WITH THE PLUMBING INSPECTOR OF THE CITY OR MUNICIPALITY. CONTRACTOR SHALL PROVIDE HUB ENGINEERING INC. WITH COPIES OF ALL TESTING RESULTS.
 - UPON SUBSTANTIAL COMPLETION OF CONSTRUCTION, THE CONTRACTOR'S SERVICES SHALL PROVIDE HUB ENGINEERING INC. WITH COMPLETE CERTIFIED (WITH B.C.L.S. OR P. ENG. SEAL) AS-BUILT INFORMATION FOR THE NEW WORKS AND SERVICES SHOWN ON THE DRAWING. CONTRACTOR'S SERVICES IS TO COORDINATE WITH HUB ENGINEERING INC. PRIOR TO COMMENCEMENT OF THE AS-BUILT FIELD SURVEY.

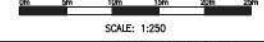


EXISTING SANITARY SERVICE CONNECTION SHALL BE CAPED AND HANDHOLED AT EXISTING SANITARY MAIN. CONTRACTOR SHALL REMOVE EX. SAN. I.P. AT PROPERTY LINE AND PLUG/CAP PIPE AT PROPERTY LINE.



- PLAN NOTES:**
- PLACE 8 MIL POLYETHYLENE SHEETING ON INTERFACE BETWEEN CONCRETE AND FITTING.
 - PLACE 20 MPa CONCRETE AGAINST UNDISTURBED GROUND. KEEP CONCRETE CLEAR OF FITTING JOINTS.
 - DO NOT INSTALL CONCRETE THURST BLOCKS UNTIL HUB ENGINEERING AND THE CITY OF SURREY PLUMBING INSPECTOR HAVE VISUALLY INSPECTED AND APPROVED THE CONCRETE THURST BLOCKS.
 - BEARING AREAS AS PER GEOTECHNICAL RECOMMENDATIONS.
- TYPICAL ON-SITE CONCRETE THURST BLOCK DETAIL**

PRELIMINARY NOT FOR CONSTRUCTION



NO.	REVISIONS	DATE	SOLD HERE TO
1		1/25/10	NSB
2			NSB
3			NSB
4			NSB
5			NSB
6			NSB
7			NSB
8			NSB
9			NSB
10			NSB

Hub Engineering Inc.
Engineering and Development Consultants

101 - 7485 - 130 Street, Surrey, B.C. V3W 1H8
Tel: 604-572-4328 Fax: 604-501-1625 E-mail: info@hub-inc.com

PACIFIC LAND GROUP

CLIENT: RITE STYLE MANUFACTURING
12050 - 90 AVENUE
SURREY, B.C. V3V 1B5

PROJECT: TOWNHOUSE DEVELOPMENT
12258 - 103A AVENUE
SURREY, B.C.

LOT 5, BLK 3, S2D 30, BLK 5, N RANGE 2 W, N90 PLAN 454

DATE: Mar 5, 2014

CONCEPTUAL SERVICING PLAN
12258 - 103A AVENUE

MUNICIPAL PROJECT: 13-0113-00

HUB PROJECT: ON-BASE

DRAWING NO.: 12068-B

SCALE: 1:250

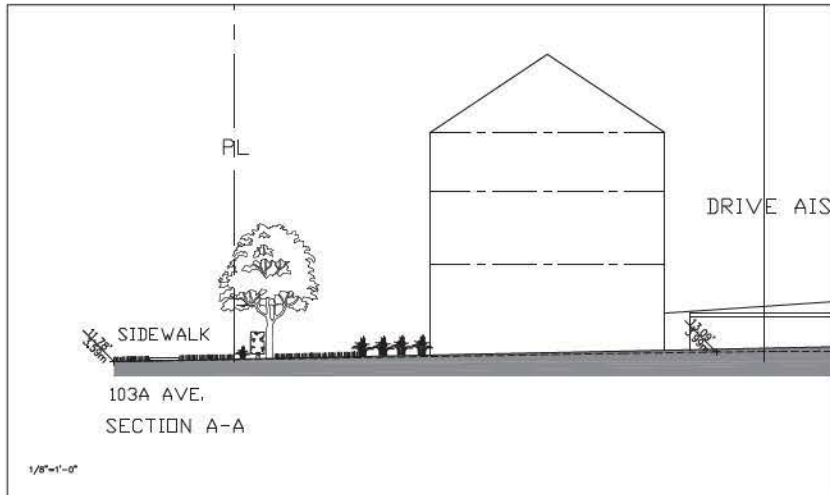
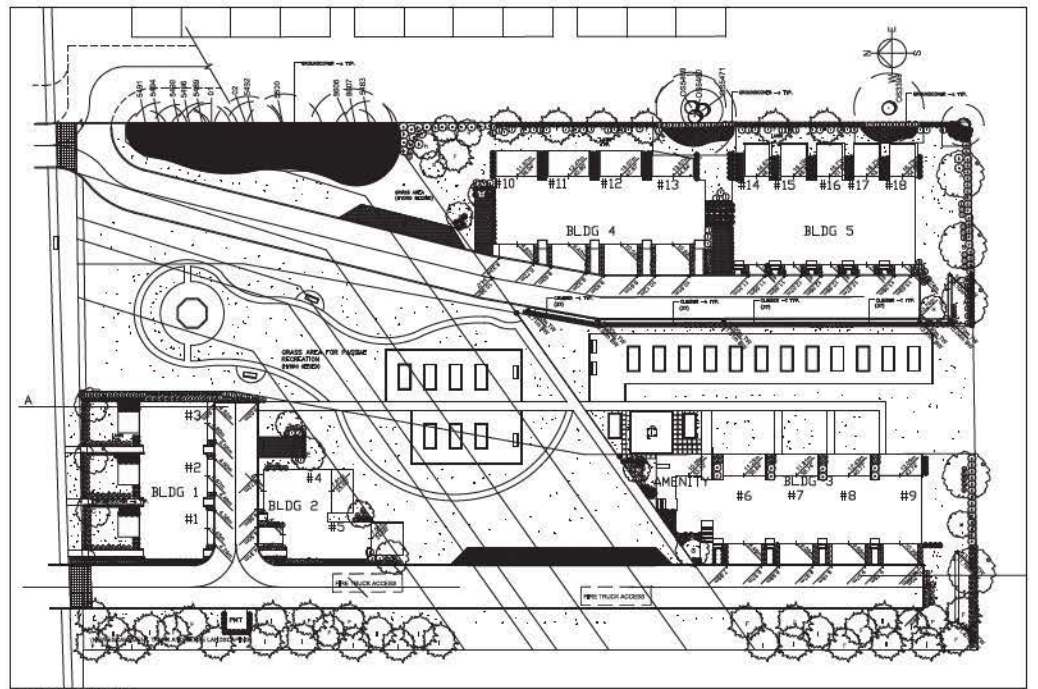
DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBERS

PLANT LIST					
Quantity	Symbols	Botanical Name	Common Name	Size	Spacng
Trees					
2	A	Aesculus x Camea Brioti	Red Horse Chestnut	6cm cal B&B	as shown
3	B	Acer rubrum 'Red Sunset'	Red Sunset Maple	6cm cal B&B	as shown
3	C	Betula jacquemonti	Whitbarked Himalayan Birch	6cm cal B&B	as shown
3	D	Cornus mas	Cornelian Cherry Dogwood	5cm cal B&B	as shown
2	E	Magnolia Kobus	Kobus Magnolia	5cm cal B&B	as shown
18	F	Pseudotsuga menziesii	Douglas Fir	2.75m High	as shown
1	G	Prunus 'Yedoensis Akebono'	Akebono Flowering Cherm	5cm cal B&B	as shown
8	H	Acer circinatum	Vine Maple	5cm cal B&B	as shown
22	I	Thuja plicata	Wesem red Cedar	2.75m High	as shown
Shrubs & Others					
168	a	Azalea japonica 'Damant Lachs'	Azalea	# 1 pot	as shown
96	b	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	# 1 pot	as shown
5	c	Stipa tenuissima	Mexican Feather Grass	# 1 pot	as shown
22	d	Osmanthus heterophyllus 'Variegatus'	Variegated False Holly	# 2 pot	as shown
42	e	Prunus lusitana	Portugal Laurel	# 2 pot	as shown
50	f	Polystichum manitum	Wesem Sword Fern	# 2 pot	as shown
115	g	Prunus laurocerusus 'Otto Luyken'	Otto Luyken English Laurel	# 2 pot	as shown
20	h	Cornus sericea	Red wig Dogwood	# 3 pot	as shown
49	i	Rhododendron 'Cunningham White'	Rhododendron	# 2 pot	as shown
4	j	Rhododendron 'May Fleming'	Rhododendron	# 2 pot	as shown
33	k	Rosa rugosa 'Alba'	Rose	# 2 pot	as shown
38	l	Mohonia aquilorum	Oregon Grape	# 2 pot	as shown
173	m	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	5' High, B&B	as shown
42	n	Taxus x media 'H. M. Eddie'	Eddies Yew	4' High, B&B	as shown
3	o	Viburnum davidi	David Viburnum	# 2 pot	as shown
12	p	Helictotrichon sempervirens	Blue Owl Grass	# 1 pot	as shown
208	q	Carex morrow 'Aureovariegata'	Variegated Sedge	# 1 pot	as shown
16	r	Iris sibirica 'Flight of Butterflies'	Siberian Iris	# 1 pot	as shown
2088	s	Actinostaphylos uva-ursi	Vancouver Jade	10cm pot	15' o.c.
148	t	Parthenocissus quinquefolia	Virginia creeper	# 1 pot	as shown

TOTAL 62 REPLACEMENT TREES REQUIRED, 62 REPLACEMENT TREES PROPOSED

NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All growing medium to be tested by PSAI (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depths:
lawn-5"/150mm, 9" on slab
groundcover & shrubs-18"/450mm, min 18" on slab
trees-12"/300mm, all around the rootball, 24" small trees on slab, 30" medium sized trees on slab
For detailed info see specifications
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure twine around rootballs to be cut and removed to prevent girdling.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be "9.5mm screened composted bark mulch".
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
- Provide hose bibs to cover all landscaped areas.
- All retaining walls shall be Alan Block retaining walls.



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DATE	REVISIONS
April, 14	DP Submission

JHL Design Group Inc.
Landscape Architecture + Urban Design

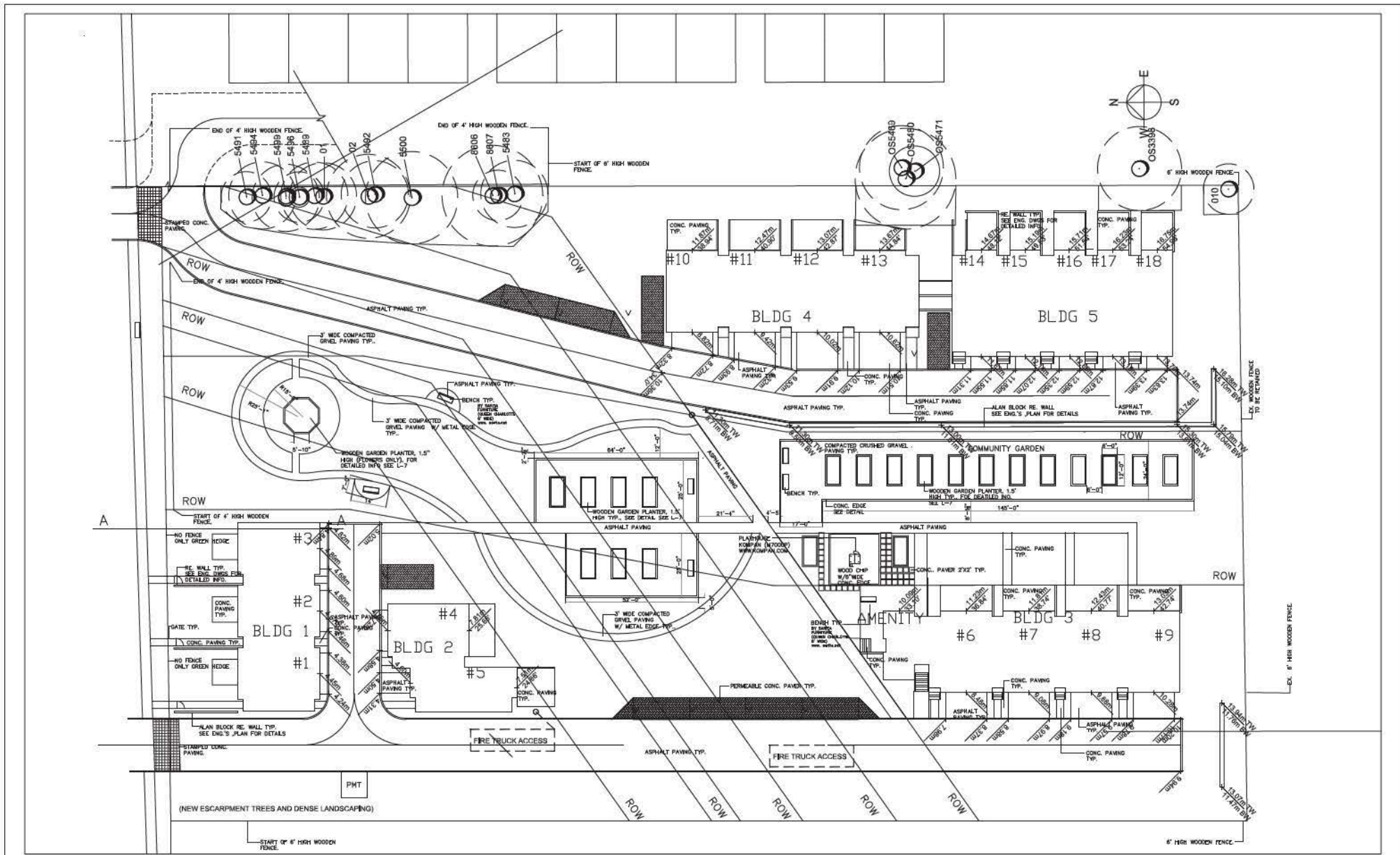
4370, Maple Street, Vancouver, BC
Tel: 604-283-8813
Fax: 604-277-8854
Email: jhldesign@telus.net

SCALE
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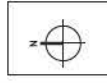
DATE	PROJECT TITLE
April, 14	MULTIFAMILY RESIDENTIAL DEVELOPMENT 12255, 103 A AVENUE, SURREY, BC

DRAWING TITLE
OVERALL REFERENCE PLAN NOTES, SECTION, PLANT LIST

FIG. NO.
L-1



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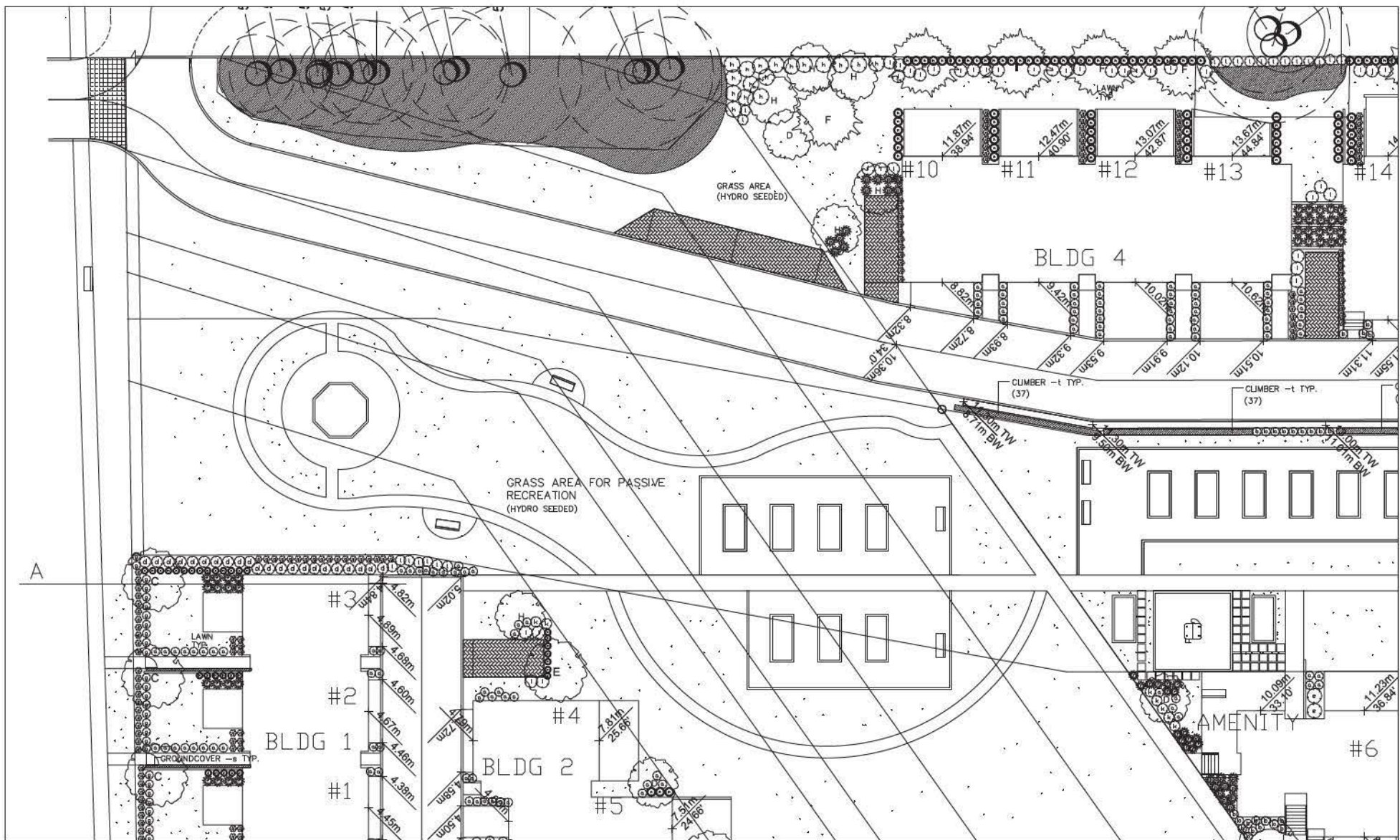
4370 Maple Street, Vancouver, BC
Tel: 604-293-2613
Fax: 1-800-277-9554
Email: jhl@jhl-design.ca

SCALE: 1/16" = 1'-0"
DATE: April, 14
DRAWN: [Signature]
JOB NO: [Number]

PROJECT TITLE
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
12208, 103 A AVENUE, SURREY, BC

DRAWING TITLE
HARD LANDSCAPE PLAN
(INFO ON PROPOSED FENCES & MATERIAL PLAN)

Sheet number: **L-2**



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DATE	REVISIONS
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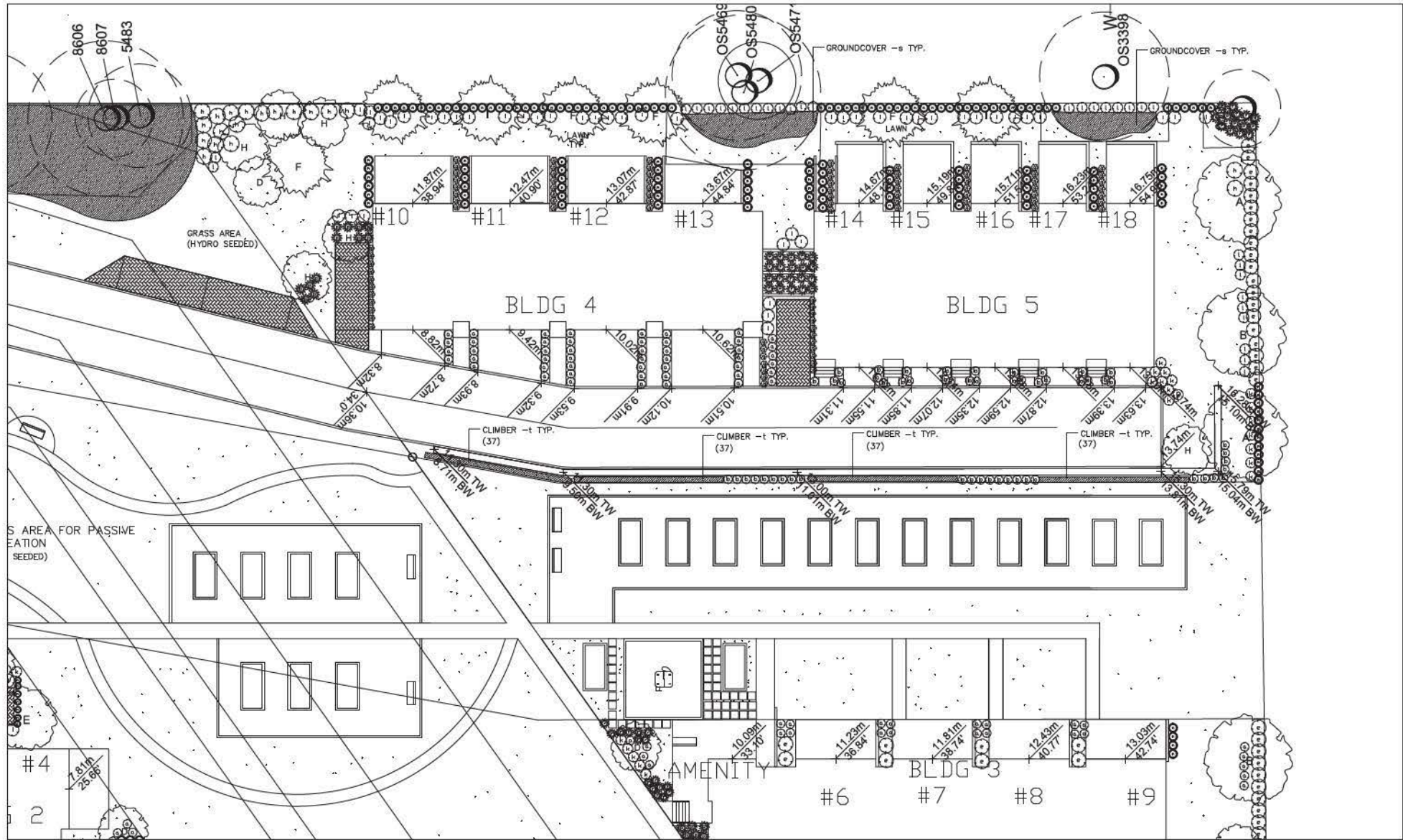
4370, Maple Street, Vancouver, BC
Tel: 604-283-8813
Fax: 604-277-8824
Email: jhl@jhlgroup.ca

SCALE: 1/16"=1'-0"
DATE: April, 14
DRAWN:
JOB NO.:

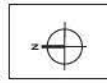
PROJECT TITLE
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
12256, 103 A AVENUE, SURREY, BC

DRAWING TITLE
LANDSCAPE PLAN

DWG. NO.
L-5



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DATE	REVISION
April, 14	SP Submission

JHL Design Group Inc.
Landscape Architecture + Urban Design

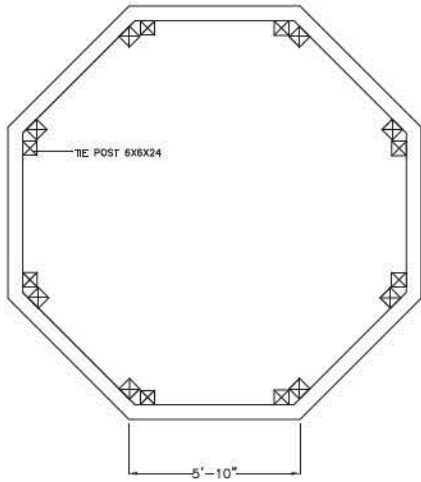
4370 Maple Street, Vancouver, BC
Tel: 604-283-8813
Fax: 1-888-277-8554
Email: jhl@jhl-design.com

SCALE: 1/16"=1'-0"
DATE: April, 14
DRAWN:
JOB NO.:

PROJECT TITLE
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
12256, 103 A AVE. N.E., SURREY, BC

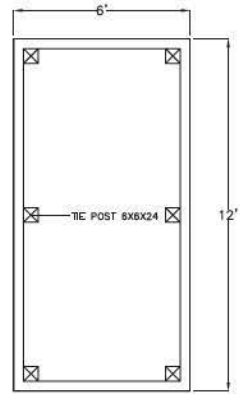
DRAWING TITLE
LANDSCAPE PLAN

Sheet No.
L-6



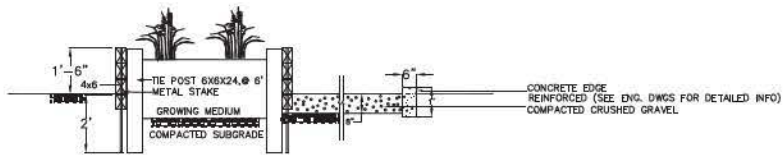
PLAN

RAISED WOODEN
COMMUNITY GARDEN
(FOR FLOWERS ONLY)



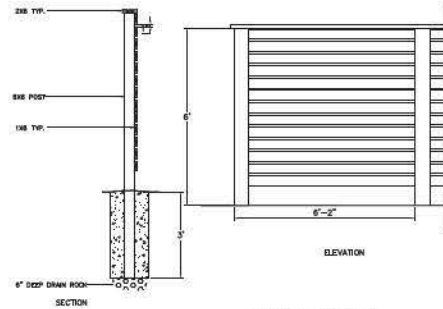
PLAN

RAISED WOODEN
COMMUNITY GARDEN

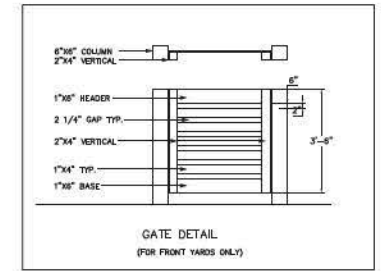


SECTION

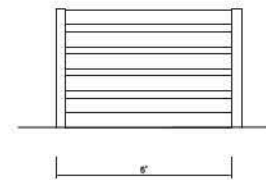
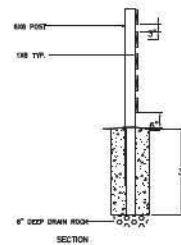
COMMUNITY GARDEN DETAIL



6' HIGH FENCE DETAIL

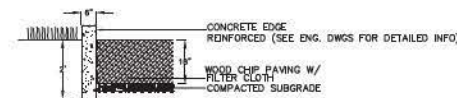


GATE DETAIL
(FOR FRONT YARDS ONLY)



ELEVATION

4' HIGH FENCE DETAIL



CONCRETE EDGE FOR PLAY AREA DETAIL

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Landscape Architecture + Urban Design

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Fax: 604-277-8554
Email: jhl@jhl.com

SCALE	1/2"=1'-0"
DATE	April, 14
DRAWN	
CHECKED	

PROJECT TITLE
MULTIFAMILY RESIDENTIAL DEVELOPMENT
12250, 103 A AVENUE, SURREY, BC

DRAWING TITLE
DETAILS

SH. NO.
L-7



IMAGE OF PROPOSED BENCH



IMAGE OF PROPOSED PLAY HOUSE

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Fax: 1-800-277-2834
Email: jhl@jhl.com

SCALE	1/2"=1'-0"
DATE	April, 14
DRAWN	
JOB NO.	

PROJECT TITLE	MULTI-FAMILY RESIDENTIAL DEVELOPMENT 12288, 103 A AVENUE, SURREY, BC
---------------	---

DRAWING TITLE	DETAILS
---------------	---------

SEE PLAN
L-8



Friday, May 23, 2014

Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. Space utilization options are being considered to reduce capacity shortfall at Kwantlen Park Secondary and space surplus at LA Matheson Secondary. The proposed development will not have an impact on these projections.

THE IMPACT ON SCHOOLS

APPLICATION #: 13-0113 00

SUMMARY

The proposed 18 townhouse units are estimated to have the following impact on the following schools:

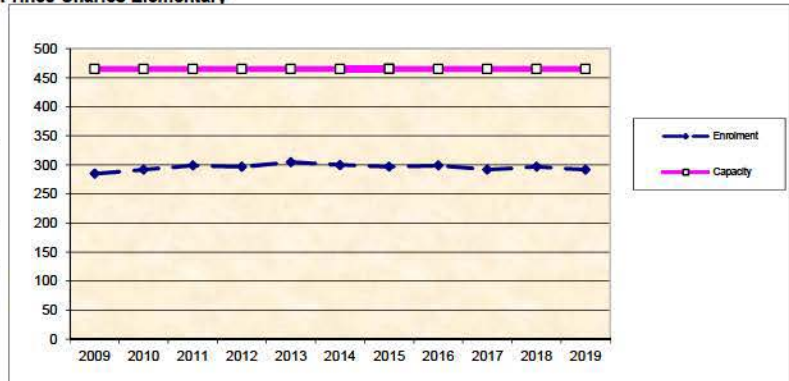
Projected # of students for this development:

Elementary Students:	4
Secondary Students:	2

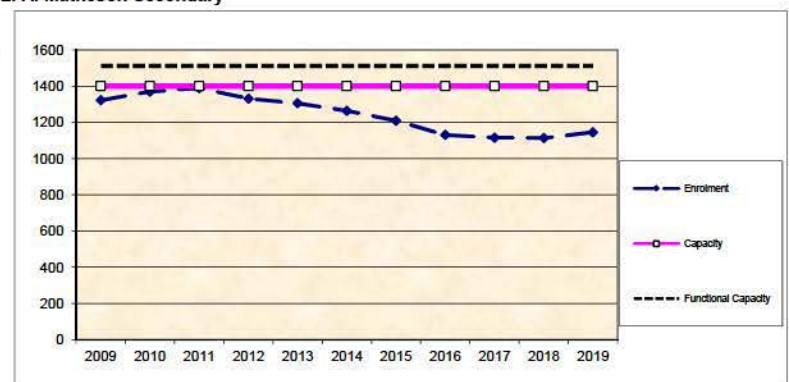
September 2013 Enrolment/School Capacity

Prince Charles Elementary	
Enrolment (K/1-7):	41 K + 264
Capacity (K/1-7):	40 K + 425
L. A. Matheson Secondary	
Enrolment (8-12):	1306
Nominal Capacity (8-12):	1400
Functional Capacity*(8-12):	1512

Prince Charles Elementary



L. A. Matheson Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

SURREY TREE PRESERVATION SUMMARY

Surrey Project No: TBD
Project Location: 12258 - 103A Avenue
Arborist: Peter Mennel ISA (PN-5611A)

Detailed Assessment of the existing trees or an Arborist's Report is submitted on file.
The following is a summary of the tree assessment report for quick reference.

1. General Tree Assessment

The dominant tree resource includes the row of mixed native coniferous and broadleaf species along the east side of the site. Species in this area include mature Douglas-fir, western redcedar and bigleaf maple. The maples are poorly structured while the well structured Douglas-fir at the north end have been recommended for preservation. Ground cover across much of the remainder of the site includes invasive species and sapling stage pioneer tree species along with a few ornamental broadleaf tree species.

2. Summary of Proposed Tree Removal and Replacement

The summary will be available before final adoption.

Number of Protected Trees identified	(A) 50
Number of Protected Trees declared hazardous due to natural causes	(B) 0
Number of Protected Trees to be removed	(C) 37
Number of Protected Trees to be retained (A-C)	(D) 13
Number of Replacement Trees required (12 alder and cottonwood X 1 and 25 others X 2)	(E) 62
Number of Replacement Trees proposed	(F) TBD
Number of Replacement Trees in deficit (E-F)	(G) TBD
Total number of Prot. and Rep. Trees on site (D+F)	(H) TBD
Number of lots proposed in the project	(I) NA
Average number of Trees per Lot	(H/I) NA

3. Tree Survey and Preservation/Replacement Plan

Tree Survey and Preservation/Replacement Plan is attached

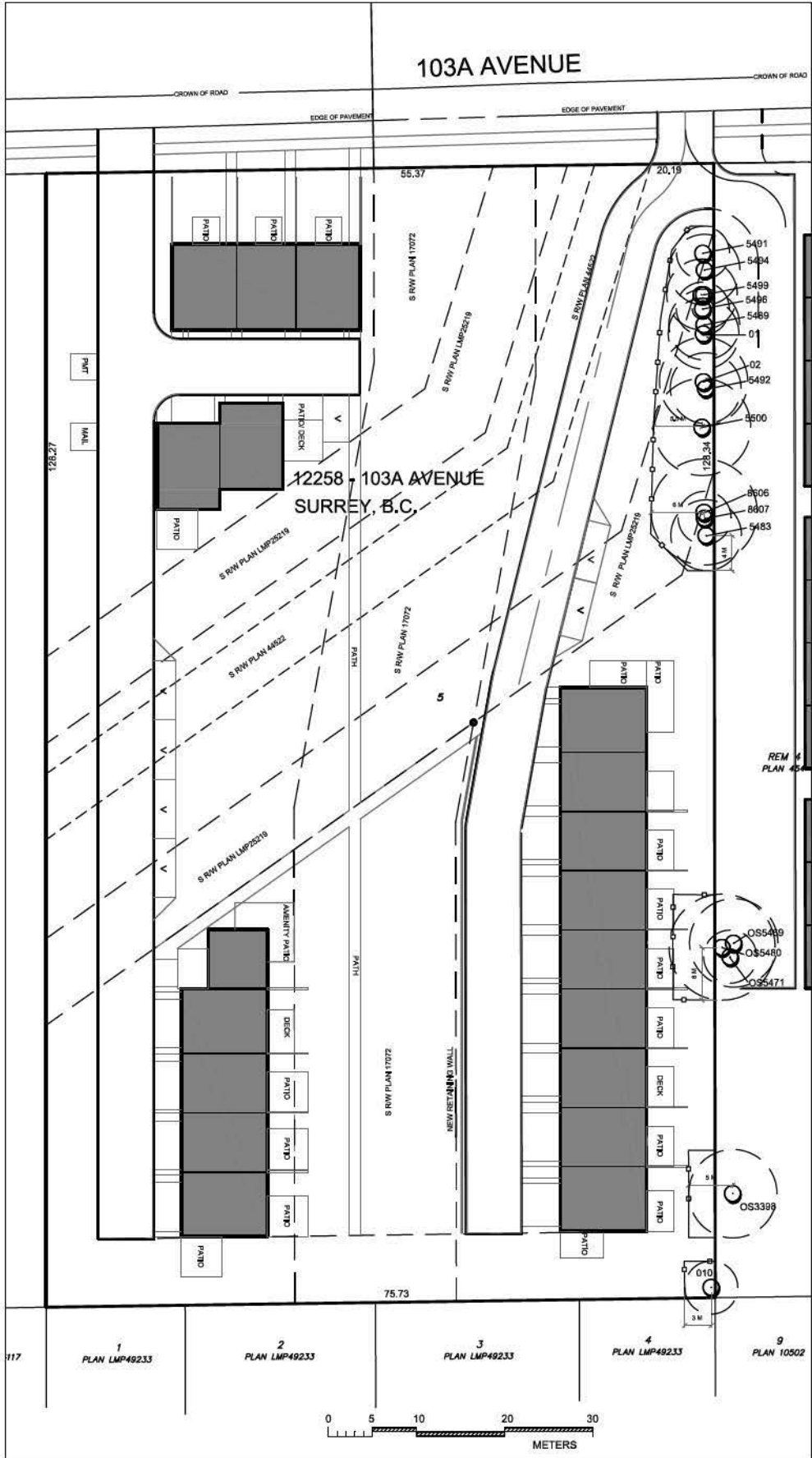
This plan will be available before final adoption

Summary and plan prepared and submitted by Mike Fadum and Associates Ltd.

Date: May 28, 2013



103A AVENUE



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

CLIENT
C/O MATTHEW CHENG ARCHITECTS INC

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN

12258 103A AVE.,
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION

NOTE: TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO SURREY STANDARDS, REASSESS TREES WITH LOT GRADING PLANS.

SHEET TITLE
T2 - TREE PROTECTION PLAN

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DRAWN
SGL

SCALE
AS SHOWN

DATE
MAY 9, 2013

T-2
SHEET 2 OF 2

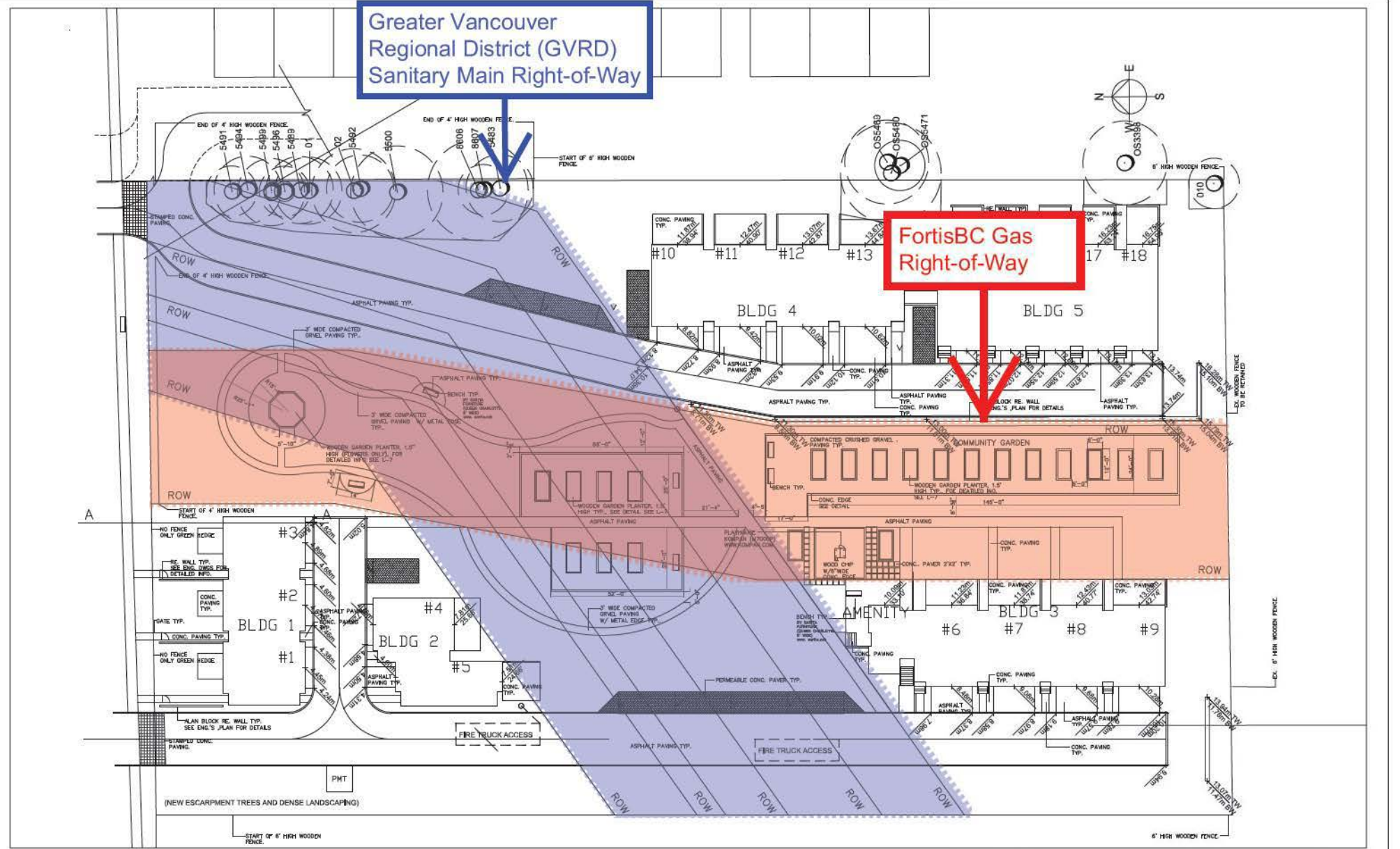
LEGEND

- TREE TO BE RETAINED
- TREE PROTECTION FENCING
- MINIMUM NO DISTURBANCE ZONE (6X DIAMETER AS PER CITY OF SURREY POLICY)



Greater Vancouver
Regional District (GVRD)
Sanitary Main Right-of-Way

FortisBC Gas
Right-of-Way



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DATE	REVISIONS
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JHL Design Group Inc.
Landscape Architecture + Urban Design

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Tel: 604-293-2613
Fax: 1-800-277-9654
Email: jhl@jhl-design.ca

SCALE: 1/16" = 1'-0"
DATE: Apr 14, 14
DRAWN: [Signature]
JOB NO: [Number]

PROJECT TITLE
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
12328, 103 A AVENUE, SURREY, BC

DRAWING TITLE
HARD LANDSCAPE PLAN
(INFO ON PROPOSED FENCES)
MATERIAL PLAN

Sheet Number: **L-2**

DENSITY CALCULATIONS :

- GROSS SITE AREA = 2.4ac
- NET DEVELOPABLE AREA (AFTER 103A AVENUE DEDICATION = 2.38ac
- NET ONSITE UNDEVELOPED AREA (REFER TO CROSS HATCHED AREA) = 1.18ac
- NET DEVELOPABLE AREA = 1.21ac
- MAXIMUM NUMBER OF UNITS ALLOWED PER RM-15 ZONING = 15 PER ACRE x 1.21ac = 18
- NUMBER OF PROPOSED UNITS = 18

DENSITY CALCULATIONS (FOR EASTERN PROPERTIES) :

- GROSS SITE AREA = 2.07ac
- NET DEVELOPABLE AREA (AFTER 103A AVENUE DEDICATION = 2.06ac
- NET DEVELOPABLE AREA = 0.72ac
- MAXIMUM NUMBER OF UNITS ALLOWED PER RM-15 ZONING = 15 PER ACRE x 0.72ac = 10.8
- NUMBER OF POSSIBLE UNITS = 11



G:\MAD\2012-058\Layouts\August_01_2012\Lot Layout - Op3 TownHome-Aug02_2012.dwg [Lot Portrait 11x17] 8/02/2012 12:10PM

Hub Engineering Inc.
 Engineering and Development Consultants

Member
PACIFIC LAND GROUP
 Land Use, Development & Environmental Strategists

101 - 7485 - 130 Street, Surrey, B.C. V3W 1H8
 Tel: 604-572-4328 Fax: 604-501-1625 E-mail: mail@hub-inc.com

CLIENT:	AJIT GILL		PROJECT:	12258-103A AVENUE, SURREY	
DRAWING TITLE:	TOWNHOUSE DEVELOPMENT - CONTEXT PLAN-OPTION III				
PROJECT No.	2012-058	DATE:	AUG 2012	LEGAL:	LOT 5, SEC 30, BK 5, NR 2W, NWD PLAN 454
SCALE:	1:1000		MUNICIPAL PROJECT No.:		
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES					

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7913-0113-00

Issued To: Ajit S Gill
("the Owner")

Address of Owner: 9030 - 120A STREET
SURREY BC V3V 1B5

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-565-721
Lot 5 Block 3 Section 30 Block 5 North Range 2 West New Westminster District Plan 454
12258 103A Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address changes, the City Clerk is directed to insert the new civic address for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) to reduce the minimum side yard (East) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6 metres (20 ft.) to the building face.

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

PROJECT DATA:

ZONING: R1 - RESIDENTIAL SINGLE-FAMILY
EXISTING ZONE: RM1.5 - MULTIPLE RESIDENTIAL
PROPOSED ZONE: 24 Acres (104,944.1) GROSS
 1.27 Acres (54,881 s.t.) NET

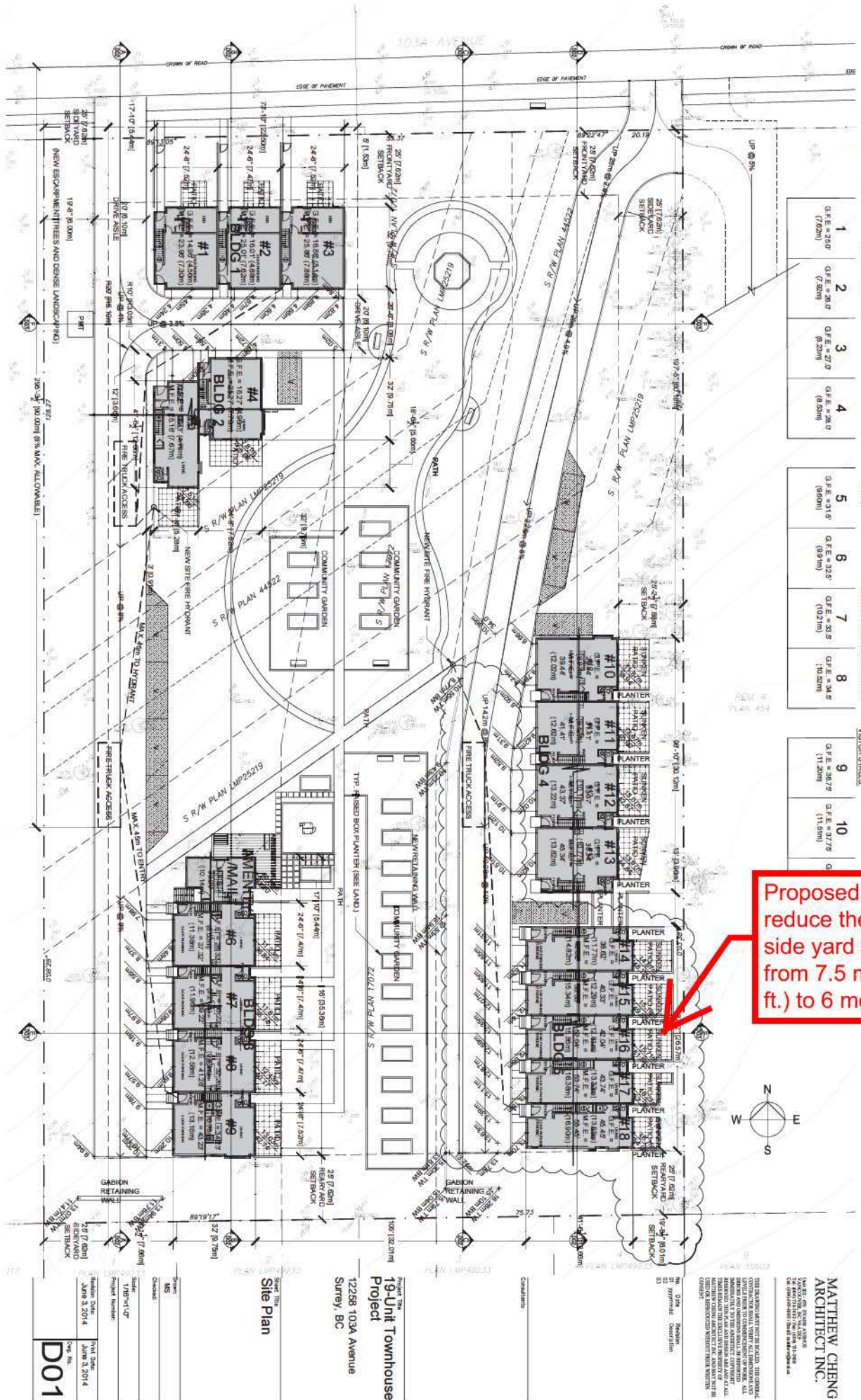
SITE COVERAGE: REFINISHED: 45% = 22,913.01 SF (531.40 x 0.0 SF, X)
 0.4%
DENSITY: 25% = 13,816.41 S.F.
PERMITTED DENSITY: 15 Units per Acre (U/P/A) @ 9 Units per Acre (U/A) = 36 Units @ 2.4 Acres x 15 U/P/A = 54 Units

FLOOR AREA: PROPOSED: 14,171 UPA = 18 Units
PERMITTED: 0.6
 3,338,800
SETBACKS: PROPOSED: 0.6
 0.099 = 3157/9333 S.F.
 W.M. = 7.5 metres (25), East = 6.0m

REAR BUILDING HEIGHT: 7.5 metres @ 7.5 metres @
PROPOSED: 11 metres @ 11 metres @
PARKING: X
REQUIRED: 2 STALLS PER UNIT X 2 = 36 STALLS
PROPOSED: 36 STALLS
VISION STALLS: 9 STALLS

SPACE: 0.2 STALLS PER UNIT = 36 STALLS
 (18 UNITS X 0.2) = 4 STALLS
 9 STALLS
 3 S.M. / UNIT = 54 S.F. (5400 S.M.)
 6457/04 S.F. (630044 S.M.)
 3 S.M. / UNIT = 54 S.F. (5400 S.M.)
 81634 S.F. (79664 S.M.)

Proposed variance to reduce the eastern side yard setback from 7.5 metres (25 ft.) to 6 metres (20 ft.)



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Project Title: 19-Unit Townhouse Project
Address: 12288 103A Avenue, Surrey, BC

Scale: 1/8" = 1'-0"
Project Number: 19-014
Revision Date: 19/01/2014
Drawn By: J. B. 2014
Check: M.S.
Client: [Redacted]
Drawn: [Redacted]
Scale: 1/8" = 1'-0"
Project Number: 19-014
Revision Date: 19/01/2014
Drawn By: J. B. 2014
Check: M.S.
Client: [Redacted]
Drawn: [Redacted]

D01