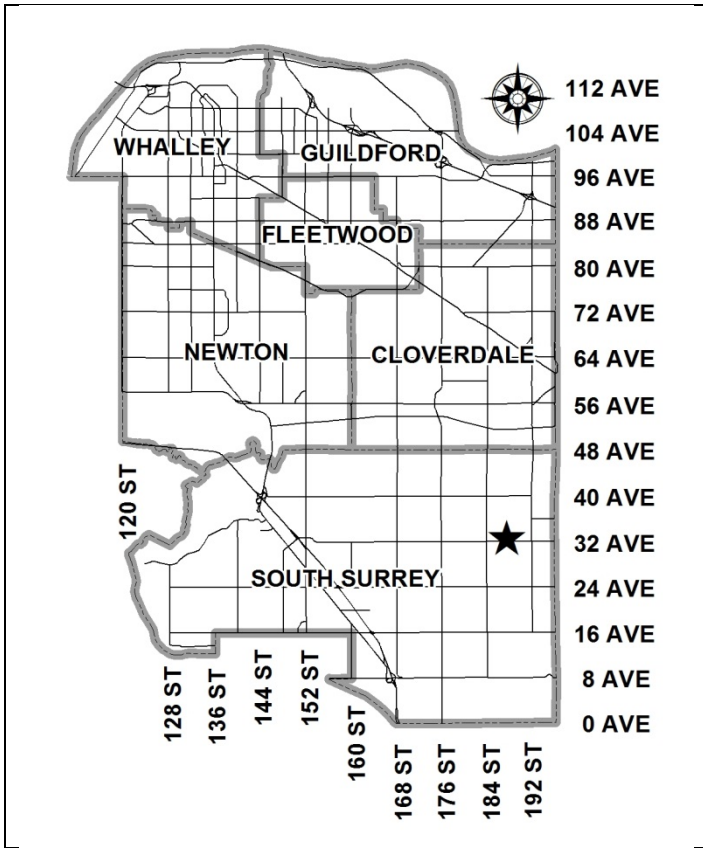


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0118-00

Planning Report Date: February 3, 2014



PROPOSAL:

- **Development Permit** for a warehouse building with associated office space and outdoor storage.

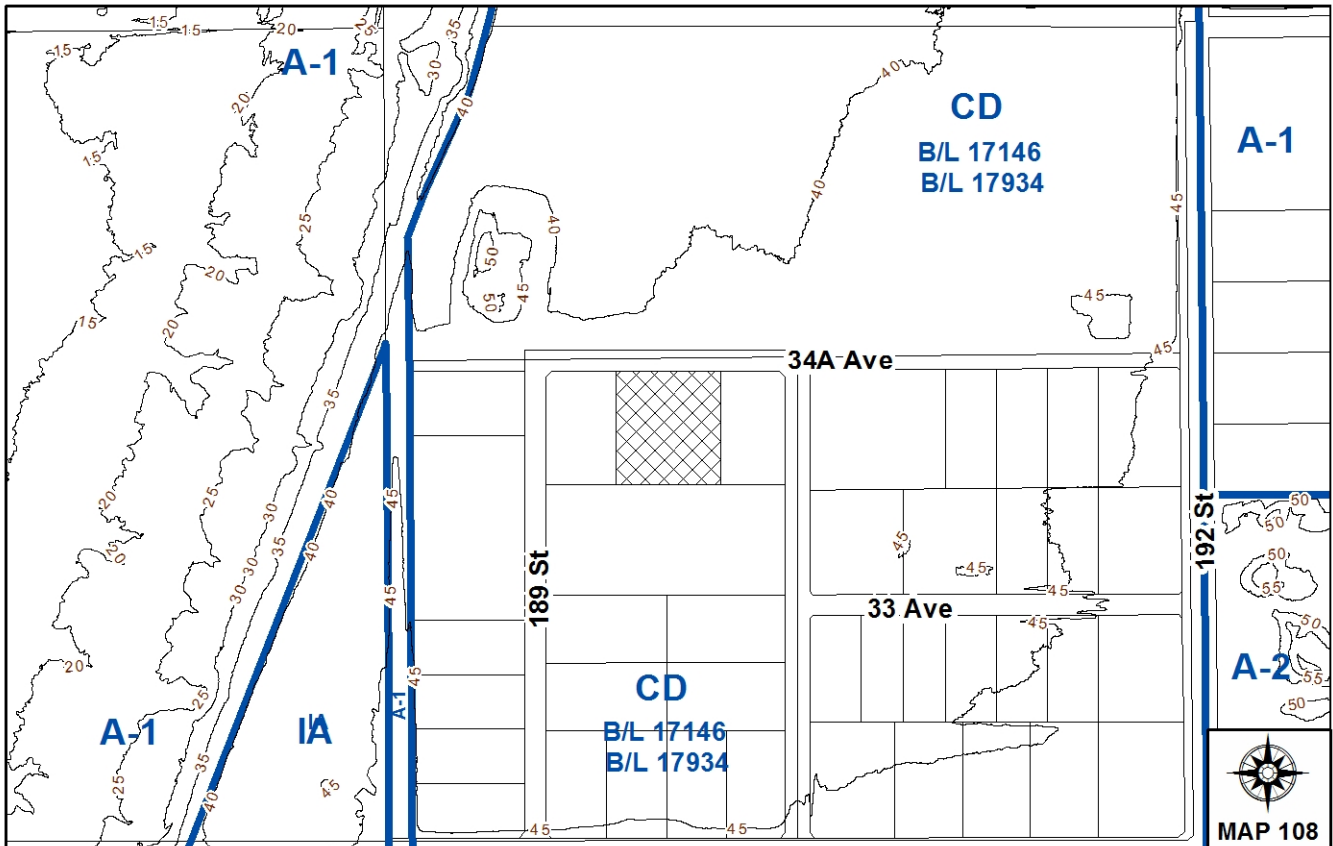
LOCATION: 18960 – 34A Avenue

OWNER: 0973237 B.C. Ltd.

ZONING: CD (Bylaw Nos. 17146/17934)

OCP DESIGNATION: Industrial

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Campbell Heights Local Area Plan (LAP).
- Complies with CD By-law Nos . 17146/17934, including the provision limiting the total area of outdoor display and storage to a maximum of 1.5 times the area covered by the principal building.
- The proposed development is consistent with the design guidelines outlined in the Campbell Heights Local Area Plan and the general development permit approved for Campbell Heights North.

RECOMMENDATION

The Planning & Development Department recommends that

1. Council authorize staff to draft Development Permit No. 7913-0089-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

REFERRALS

Engineering: The Engineering Department has no objection to the project, as outlined in Appendix III.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Undeveloped industrial land

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
All directions:	Undeveloped industrial land, lots recently created as part of the Campbell Heights North rezoning.	Industrial in the OCP. Business Park in the Campbell Heights Plan.	CD Bylaw Nos. 17146/17934

DEVELOPMENT CONSIDERATIONSContext

- The subject property is 1.15 ha (2.84 acres) in size, and located in the Campbell Heights North area, which has recently been rezoned and subdivided. This property was created under subdivision application no. 7912-0160-00.
- This site and surrounding properties are currently vacant, with little or no vegetation.

Proposal

- The site will be occupied by Blue Pine Enterprises Ltd., a landscaping company. This company's current operations at 19070 – 51B Avenue are non-conforming, given the property's A-1 zoning and its location in the Agricultural Land Reserve. To resolve this situation, Blue Pine proposes to relocate their operations to the subject property in Campbell Heights.
- The proposed development permit is to accommodate Blue Pine's landscaping operations, including a 1,932 m² (20,800 ft²) building, comprised of the following (see Appendix III for drawings):
 - a 1,189 m² (12,800 ft²) warehouse/shop; and
 - 743 m² (8000 ft²) of office space on two floors.
- Outdoor storage is proposed in the rear yard in compliance with the CD By-law.
- The building will be 11 m (36 ft) tall.

Parking, Access and Circulation

- Two vehicle accesses are proposed and have been approved by Engineering. The configuration allows trucks and other landscaping vehicles to enter the rear yard through one gate and exit through the other.
- Required parking for staff and visitors has been accommodated at the front of the site, with additional parking for landscaping vehicles, trailers, and equipment (under 5,000 kg) in the rear yard.

Outdoor Storage

- A partitioned storage area is proposed in the centre of the rear yard for storage of pavers, blocks, and other hard landscaping materials.
- Lock-block bins are proposed adjacent to the rear property line, where mulch, soil, gravel and other similar materials will be stored.
- Pipe storage is proposed on racks affixed to the outside of the building on the east side.
- These three storage areas combined will add up to 2,174 m² (23,400 ft²), which is 1.5 times the footprint of the building and in compliance with the maximum coverage permitted for outdoor storage.
- A 3.7 m (12 ft) wide landscaping strip is proposed in the rear yard, adjacent to the east property line and the eastern portion of the south property line. This landscaping will ensure that this area will not be used for outdoor storage in excess of what the zoning permits.
- Parking for fleet vehicles and trailers is proposed adjacent to the west property line.
- The remaining area in the rear yard is required for drive aisles between the storage areas, loading, and vehicle turning. Appendix III shows anticipated vehicle turning movements.

Design Proposal and Review

- The proposed building and site plan are consistent with the design guidelines outlined in the Campbell Heights LAP and the Campbell Heights North Design Guidelines document.
- The building is proposed to be tilt-up concrete, painted grey. Vertical accents of cultured stone are proposed on the office portion of the building, with clear glazing and a wood and glass canopy.

Landscaping Plan and Trees

- The landscaping plan has been reviewed and is acceptable, but the landscaping cost estimate has not yet been approved.
- The proposed landscaping reflects the registered restrictive covenant for landscaping and storm water management along the front property line. The restrictive covenant requires installation of a bio-swale and associated rain garden with planted trees, shrubs and groundcover.
- Landscaping includes a proposed 4 metre (13 foot) high green wall in the area used to screen and secure the rear yard.
- The front yard landscaping incorporates a pedestrian connection between the building and the sidewalk
- The entire perimeter of the rear outdoor storage area will be screened with a 2.4 metre (8 foot) high split-face concrete block fence.
- A 3.7 metre (12 foot) wide landscaping strip is proposed in the rear yard, adjacent to portions of the east and south property lines. Landscaping in this location will ensure that the area will not be used for outdoor storage of materials. The planting in this landscaping strip must be appropriate to withstand the potentially shady conditions.
- An arborist report was not required because there are currently no trees and very little vegetation at all on the property.

PRE-NOTIFICATION

- Pre-notification letters were not required for this application.
- This proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comments. The LCWS has no concerns.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on January 22, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The subject site is located within the Campbell Heights LAP. It is reflective of the land use designation and development permit guidelines.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> The proposed development has an FAR of 0.17, with a maximum FAR of 1.0 permitted in the zone.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> The development will feature on-site filtration with a rain garden and bio-swale. There is currently no vegetation on the site, so tree removal will not be required.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The proposed building will incorporate showers and change facilities that may be used by cyclists.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> CPTED principles have been considered in the site design: the rear storage yard is secured with a gate, and the site will be well-lit with good sight-lines.
6. Green Certification (F1)	<ul style="list-style-type: none"> Green certification will not be pursued.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> The applicant does not propose any sustainability education or awareness initiatives.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by ATA Architectural Design / Teck Construction and PMG Landscape Architects, respectively, dated January 28, 2014 and January 29, 2014.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MJ/da

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DRV 1/30/14 10:21 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Wes Macaulay
Teck Construction LLP
Address: 5197 - 216 Street
Langley, BC V3A 2N4
Tel: 604-534-7917 - Work
604-534-7917 - Fax

2. Properties involved in the Application
 - (a) Civic Address: 18960 – 34A Avenue

 - (b) Civic Address: 18960 – 34A Ave
Owner: 0973237 B.C. Ltd.
Director Information:
John Devries
Mike Lalonde
David Wayne Moe

No Officer Information Filed
PID: 029-167-019
Lot 2 Section 28 Township 7 New Westminster District Plan EPP31532

3. Summary of Actions for City Clerk's Office

DEVELOPMENT DATA SHEET

Zoning: CD (By-law Nos. 17146/17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		1.15 ha (2.84 acres)
Road Widening area		0
Undevelopable area		0
Net Total		1.15 ha (2.84 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		13.4%
Paved & Hard Surfaced Areas		80.6%
Total Site Coverage		94%
SETBACKS (in metres)		
Front		18.9
Rear		57.5
Side #1 (East)		31.1
Side #2 (West)		23.5
BUILDING HEIGHT (in metres/storeys)		
Principal		10.8
Accessory		n/a
NUMBER OF RESIDENTIAL UNITS		n/a
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		n/a
FLOOR AREA: Commercial		n/a
Retail		
Office		
Total		
FLOOR AREA: Industrial		1932.4
FLOOR AREA: Institutional		n/a
TOTAL BUILDING FLOOR AREA		1932.4

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

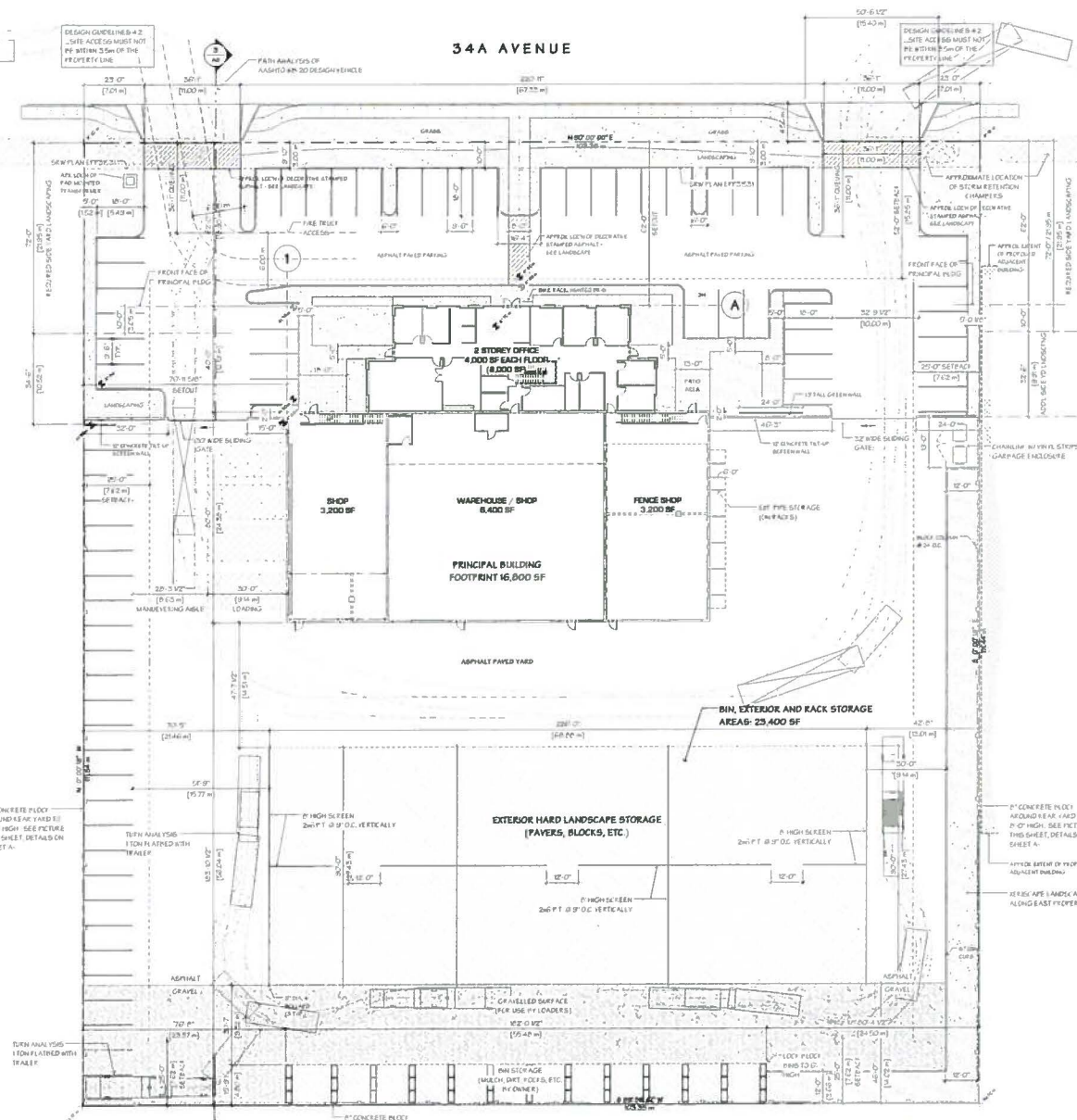
Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		n/a
# of units/ha /# units/acre (net)		n/a
FAR		0.17
AMENITY SPACE (area in square metres)		n/a
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		70
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		70
Number of disabled stalls		1
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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REVISIONS

REV	DATE	DESCRIPTION



ZONING SUMMARY

LEGAL DESCRIPTION
 LOT 2, SECTION 22, TOWNSHIP 7, N.E.W. WESTMINSTER DISTRICT PLAN 19770522

CINC ADDRESS
 18960 34A AVENUE, SURREY, P.C.

ZONING
 EP P11 M171G

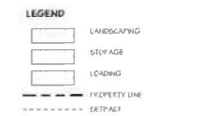
SITE INFORMATION
 SITE AREA: 10,523 sqm (104,025 SF)
 SITE CATCH BASIN: 125 x 105 x 1.5m (16,200 SF)

GROSS FLOOR AREA
 MAX ALLOWED G.F.A.: 100%
 MAIN FLOOR (EXC. STAIRS): 18,000 SF
 MAIN FLOOR (OFFICE): 37,600 SF (14,200 SF)
 2ND FLOOR (OFFICE): 37,600 SF (14,200 SF)
 TOTAL G.F.A.: 182,400 SF (20,200 SF)
 FUTURE MEZZANINE: 22,000 SF (2,400 SF)

PROPOSED P.A.R.
 PROPOSED P.A.R.: 1:17
 LOT COVERAGE: 60%
 MAX LOT COVERAGE: 70.25%
 PROPOSED COVERAGE: 15,600 SF (17.5%)

PARKING REQUIREMENTS
 PARKING REQUIRED: 11 LOTS OF PARKING AREA
 25,360 / 1,075 SF = 23 STALLS
 PARKING PROVIDED: 23 x 11C = 253 STALLS
 * ADDITIONAL 10% WITH PROPOSED AT GRANTS REQUEST

OUTDOOR STORAGE
 MAXIMUM ALLOWED F.C.F. IS THE PRINCIPAL BUILDING FOOTPRINT, UP TO A MAXIMUM A.C.S. COVERAGE OF THE LOT
 MAXIMUM ALLOWED BY P.A.R.: 18,000 SF x 15 = 270,000 SF
 MAXIMUM ALLOWED BY SITE AREA: 10,523 x 0.4 = 4,209 SF



BLOCK WALL EXAMPLE

ATA
 ARCHITECTURAL
 200-1687 West Broadway
 Vancouver, B.C. V6J 1X2
 TEL: 604-681-7310 FAX: 604-681-7371

BLUE PINE ENTERPRISES
 18960 34A AVENUE,
 SURREY, B.C.

TECK CONSTRUCTION LLP
 5197 - 210th STREET
 LANGLEY, B.C.

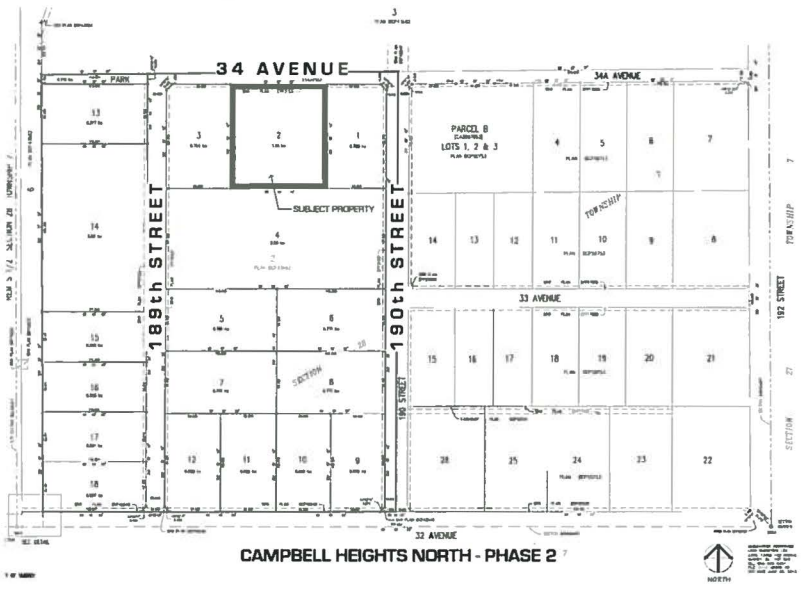
SITE PLAN

DATE: 18 DEC 13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"

Appendix II

COMPRIHT RESERVED
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REVISIONS	
NO.	DATE



1 LOCATION PLAN
 1" = 300'-0"

PROJECT BRIEF

Blue Pine Enterprises is a landscape company based in Surrey, B.C. As the business has expanded, Blue Pine has been in need of a new, larger base of operations in an industrial neighbourhood. The company employs approximately 150 person across all their sites. On any given work day, about 20 persons (mostly office staff) will be present on the site, though as many as 50 persons may be at the office for meetings or administrative purposes. Blue Pine has a truck fleet of approximately 70 pickups, 1 ton flatbeds, and one tandem dump truck. Most of the fleet do not go to the office and most employees of the company travel directly from their homes to their current work sites.

The project is located in Phase 2 of the Campbell Heights North Business Park, but as of the date of this document the nature of surrounding developments is unknown.

Site and Landscaping
 The site, which faces north onto 34 Avenue, slopes gradually, with an approximate 3' drop from south to north. The site is essentially flat from east to west.

The site has two access points, with the western access point used as the entry to the site by larger vehicles, and the eastern access point used as an exit. Planting is provided along the front of the site for visitors and staff, and in the rear of the site for company vehicles that are not currently on one of Blue Pine's work sites.

Landscaping design is by FMG Landscape Architects, who are well-respected for their work. The design of the landscape has been done to showcase Blue Pine as a landscape contractor, and thus the species of plants have been chosen so that the site will be attractive year-round.

Building and Site Design
 The project comprises a two-story bit-up concrete office that backs onto a double-height warehouse (shop and repair garage). The office components in the front of the building has expressive single-slope roof forms with decorative bracing. The roof and lowered office walls (in comparison to the warehouse beyond), break up the volume of the project and provide greater visual interest to the overall form of the building.

On the west side of the warehouse, a four-bay garage will allow the company to perform regular maintenance on their vehicle fleet. The rest of the space will be dedicated to material storage and a fabrication shop for fencing, wetting and other hard landscape material prep for their ongoing projects.

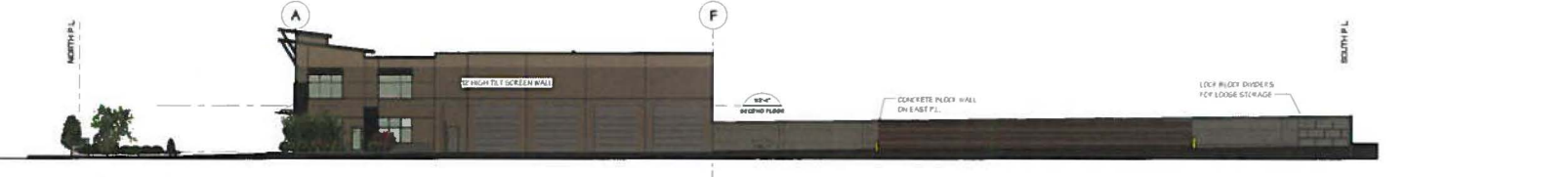
The back section of the site will be entirely enclosed with 2 1/2" face concrete block fencing to 8' height along the west, east and south property lines, and secured with two rolling gates. The back section of the site will be screened at the north end by 12" high bit-up concrete walls finished to match the main building. A 12" tall green wall will be provided along the wall securing the east entrance to the rear yard.

Parking for utility trailers, Bobcats, concrete mixers, pickups, etc. will be provided along the entire length of the west property line. Most of these items will be parked toward the south end of the property when they are not in use to provide their movement of large vehicles around the back of the building.

Galvanized pipe used for fence fabrication and irrigation will be stored on flatbed units along the eastern wall of the warehouse. In the main area of the rear yard, a concrete pad will be poured to allow storage of hard landscape materials such as concrete blocks, precast landscape benches, and so on. Ballards will bound the pad to prevent vehicles from damaging the products being stored on the pad. Along the southern property line, Lark Block will be used to provide containment of other landscape material, such as gravel, mulch, rock, and other materials that can be occupied by Bobcats or loaders into vehicles for delivery to site.



2 NORTH STREETSCAPE
 3/8" = 1'-0"



3 SITE SECTION N-9 (LOOKING EAST)
 3/8" = 1'-0"

ATA
 ARCHITECTURAL TALENT ASSOCIATION
 200-1687 West Renasway
 Vancouver, B.C. V6J 1X2
 TEL: 604-736-1770 FAX: 604-736-1771

PROJECT
BLUE PINE ENTERPRISES

TECK CONSTRUCTION LLP
 2107 - 210th STREET
 LANGLEY, B.C.

PROJECT NUMBER
 -

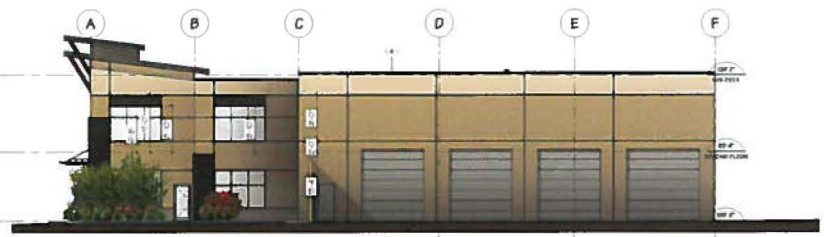
SHEET TITLE
LOCATION PLAN, STREETSCAPE, SITE SECTIONS

DATE
 11/08/13

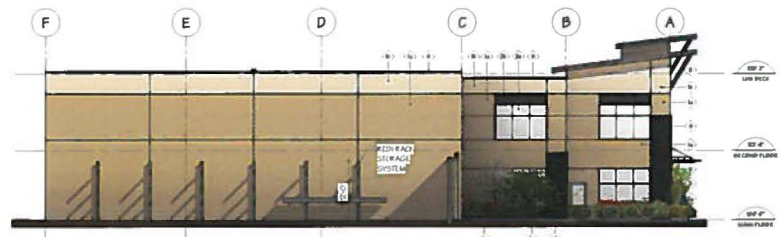
PROJECT NO.
AQ-01



1 NORTH ELEVATION
1/8" = 1'-0"

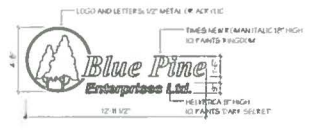


2 WEST ELEVATION
3/32" = 1'-0"

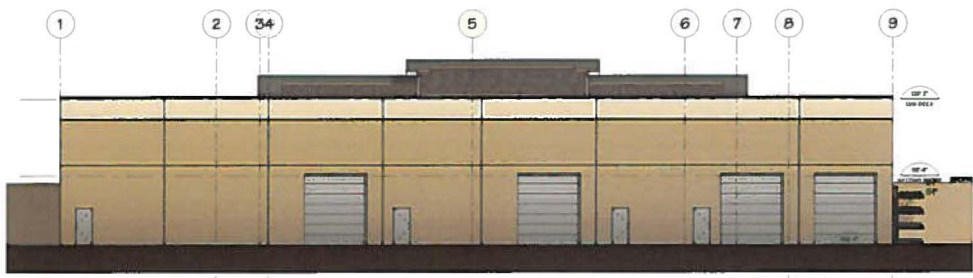


3 EAST ELEVATION
3/32" = 1'-0"

NO.	DESCRIPTION
1a	101 PAINTS 'MEADOWLANDS'
1b	101 PAINTS 'SEA GULL GREY'
1c	101 PAINTS 'GREY TWIST'
2a	101 GLASS
2b	SPANDREL GLASS
3	ALUMINUM MULLIONS - BLACK FINISH
4	ROCKY MOUNTAIN STONE FINISH/TECK LUDGESTONE 'BLACK TUBE'
5	STEEL - POWDERCOATED BLACK
6	FLASHING - BLACK



5 SIGN DETAIL
1/4" = 1'-0"



4 SOUTH ELEVATION
3/32" = 1'-0"

EVERYTHING WE DRAW FOR THIS IS DONE BY THE ARCHITECT AND ANY AND ALL CHANGES TO THE DRAWINGS MUST BE MADE BY THE ARCHITECT. THE CONTRACTOR SHALL HAVE NO CREDIT FOR ANY CHANGES MADE TO THE DRAWINGS.

REV	DATE	DESCRIPTION

ATA ARCHITECTURAL LTD
 200-1167 West Breakway
 Vancouver, B.C. V6J 1X2
 TEL: 604-736-3770 FAX: 604-736-3771

PROJECT
BLUE PINE ENTERPRISES

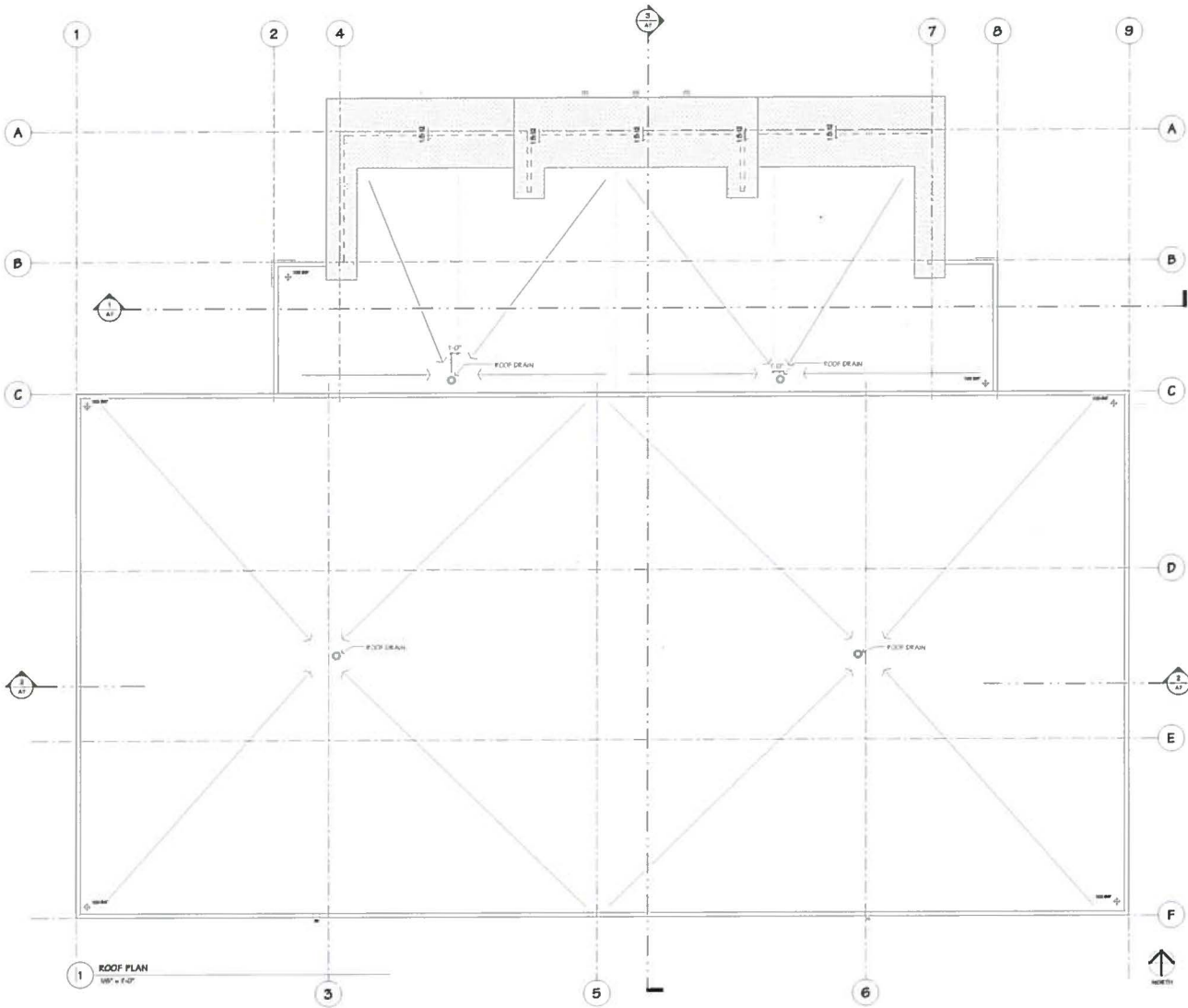
TECK CONSTRUCTION LLP

5107 - 216th STREET
 LANGLEY B.C.

PROJECT NUMBER
 -

PROJECT TITLE
ELEVATIONS

SCALE
 As indicated SHEET NO.
 DATE 02/17/18
 DRAWN BY
A6 OF 1



1 ROOF PLAN
1/8" = 1'-0"

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REVISIONS

REV	DATE	DESCRIPTION

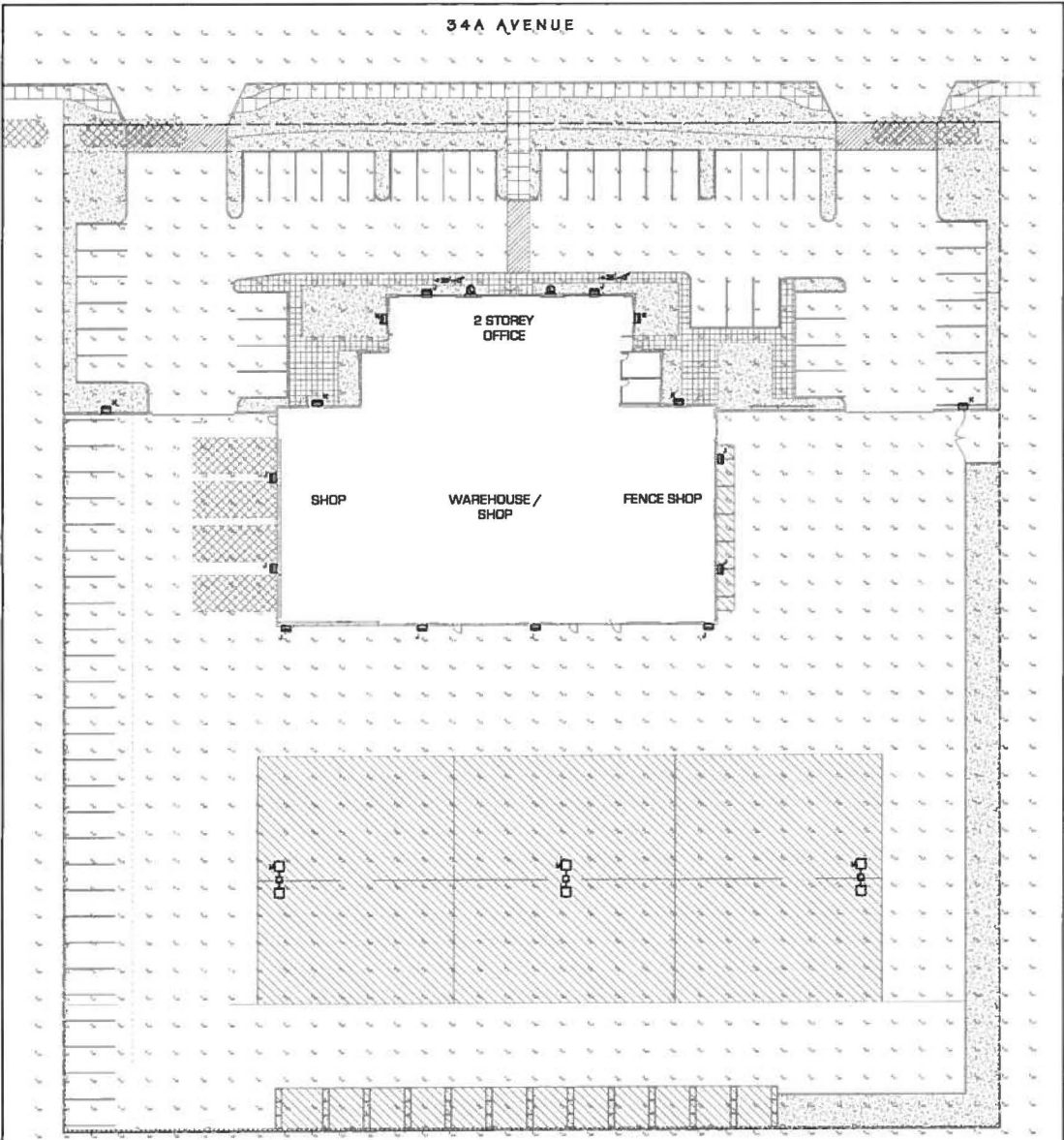
ATA
 ARCHITECTURAL (113)
 200-1687 West Broadway
 Vancouver, B.C. V6J 1X2
 TEL: 604.776.3730 FAX: 604.776.3771

PROJECT
BLUE PINE ENTERPRISES

TECK CONSTRUCTION LLP
 5187 - 216th STREET
 LANGLEY B.C.

PROJECT NAME: -
 SHEET TITLE: **ROOF PLAN**

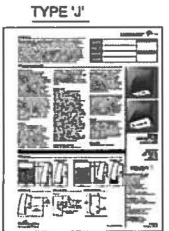
SCALE: 1/8" = 1'-0" 10/11/2013
 DATE: FEB 12
 DRAWN BY: -
 CHECKED BY: -
 APPROVED BY: -
A4 OF -



ELECTRICAL SITE PLAN
SCALE: 1" = 30'-0"

NOTE:
1.) MEASURED VALUES MAY VARY DUE TO ACTUAL FIELD CONDITIONS, CALCULATION TOLERANCES AND MEASUREMENT TECHNIQUES. ALL MEASUREMENTS INDICATED ARE IN FOOT/CENTIMETERS.

FIXTURE SCHEDULE		
TYPE	DESCRIPTION	MOUNTING
J	LARGE LED WALLPACK	+ 3'-0" AFF UNLESS OTHERWISE NOTED
K	SMALL LED WALLPACK	+ 1'-0" AFF
L	LED DECORATIVE WALLSCENE	+ 1'-0" AFF
M	EXTORIOR POLE LIGHT	POLE MOUNTED AT 30'-0" AFF, SEE DETAIL ON THIS SHEET

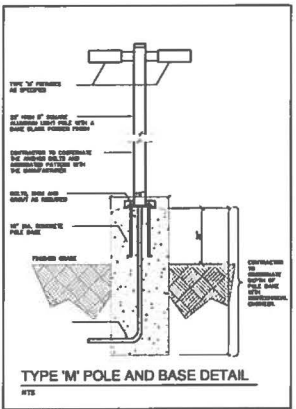


EXTERIOR LIGHTING DESIGN METHODOLOGY:

THE EXTERIOR LIGHTING SYSTEMS FOR THIS PROJECT HAVE BEEN DESIGNED TO MINIMIZE/REDUCE LIGHT POLLUTION AND GLARE. FOOT CANDLE LEVELS AT PROPERTY LINES ARE DESIGNED TO HAVE MINIMAL OFF SITE IMPACT AND BE DARK SKY COMPLIANT.

THE FOLLOWING STANDARDS ARE OBSERVED IN MEETING THIS DESIGN CRITERIA:

- IESNA RECOMMENDED PRACTICES
- IESNA ILLUMINANCE - EXTERIOR LIGHTING CONTROLS
- CAMPBELL MIDDLETOWN BUSINESS PARK DESIGN GUIDELINES SECTION 5.5, 6.4, AND 6.5



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REVISIONS	
REVISION	DESCRIPTION
1	JAN 23, 2014 ISSUED FOR DP
2	JAN 27, 2014 RE-CHECKED FOR DP
3	JAN 28, 2014 RE-CHECKED FOR DP



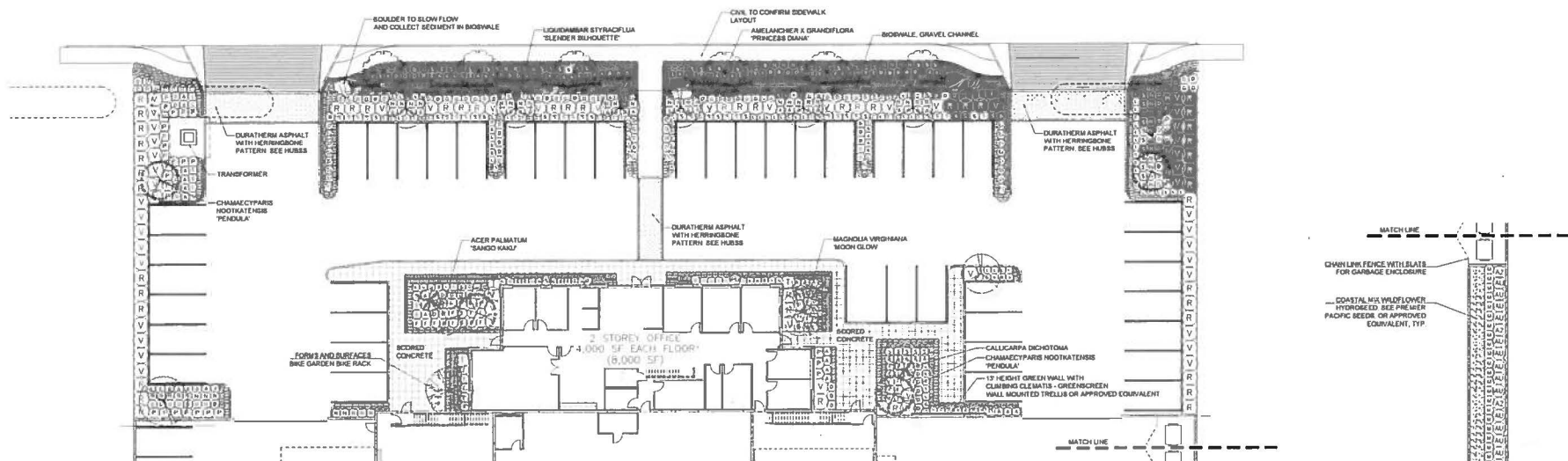
PROJECT
BLUE PINE ENTERPRISES

TECK CONSTRUCTION LLP
5197-218th STREET
LANDLEY B.C.

PROJECT SML-1331
NUMBER
SHEET ELECTRICAL SITE PLAN
TITLE
SCALE: AS NOTED
DATE: JAN 2014
DRAWN BY: SML
DRN. BY: ELC

SHEET No.
1 OF 1

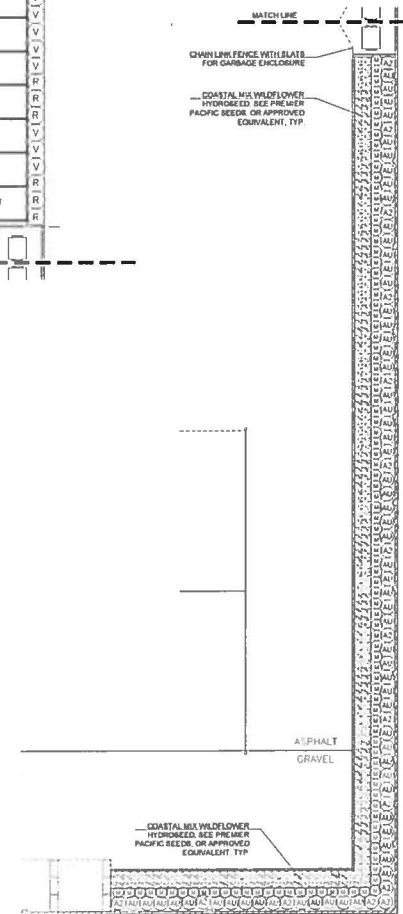
SEAL



COMPREHENSIVE PLANT SCHEDULE PMG JOB NUMBER: 13-045

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
(Symbol)	3	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	2.5M HT
(Symbol)	6	AMELANCHIER X GRANDIFLORA 'PRINCESS DIANA'	PRINCESS DIANA SERVICEBERRY	2.5M HT, BAB
(Symbol)	4	CHAMAECYPARIS NODATENSIS 'PENDULA'	WEeping NOOTKA CYPRESS	2.5M HT, BAB
(Symbol)	7	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	6CM CAL, 2M STD, BAB
(Symbol)	2	MAGNOLIA VIRGINIANA 'MOON GLOW'	SWEETBAY MAGNOLIA (WHITE)	3M HT, STD
(Symbol)	2	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	6CM CAL, 1.5M STD, BAB
SHRUB				
(Symbol)	18	AUCUBA JAPONICA 'MR. GOLDSTRIKE'	MALE GOLD-SPOTTED AUCUBA	#2 POT, 50CM
(Symbol)	84	AUCUBA JAPONICA 'SERRATIFOLIA'	SAWTOOTHED JAPANESE AUCUBA	#2 POT, 50CM
(Symbol)	57	AZALEA JAPONICA 'MOTHERS DAY'	AZALEA, DARK-RED	#3 POT, 40CM
(Symbol)	3	CALLICARPA DICHOTOMA	BEAUTYBERRY	#10 POT, 1M STD.
(Symbol)	165	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	#3 POT, 80CM
(Symbol)	103	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY	#2 POT, 40CM
(Symbol)	63	NANDINA DOMESTICA 'GULF STREAM'	HEAVENLY BAMBOO, DWARF	#3 POT, 50CM
(Symbol)	45	PHILADELPHUS X VIRGINIALIS 'DWARF SNOWFLAKE'	DWARF SNOWFLAKE MOCK ORANGE	#3 POT, 80CM
(Symbol)	9	PICEA ORIENTALIS 'BERGMANN'S GEM'	DWARF ORIENTAL SPRUCE	0.5M HT
(Symbol)	52	RHODODENDRON 'ANNA KRUSCHKE'	RHODODENDRON, BLUE	#3 POT, 50CM
(Symbol)	129	SARCOCOCOA HOOKERIANA VAR. HUMILIS	HIMALAYAN SWEET BOX	#3 POT, 35CM
(Symbol)	100	SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#3 POT 40CM
(Symbol)	6	TSUGA CANADENSIS 'GRACILIS'	DWARF CANADIAN HEMLOCK	#10 POT
(Symbol)	51	VIBURNUM TINUS 'SPRING BOUQUET'	DWARF VIBURNUM	#3 POT, 50CM
GRASS				
(Symbol)	40	ASPLENUM SCOLOPENDRIUM	HART'S TONGUE FERN	#1 POT
(Symbol)	98	CAREX GLAUCA	BLUE SEDGE	#1 POT
(Symbol)	160	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
(Symbol)	52	JUNCUS EFFUSUS	COMMON RUSH	#1 POT
VINE				
(Symbol)	3	CLEMATIS ARMANDI 'SNOWDRIFT'	EVERGREEN CLEMATIS	#3 POT, 75CM; STAKED
PERENNIAL				
(Symbol)	87	CROCOSMIA 'LYCIFER'	RED CROCOSMIA	#1 POT
(Symbol)	53	HELLEBORUS x HYBRIDUS	LENTEN ROSE	#2 POT
(Symbol)	169	HEMEROCALLIS 'WHITE TEMPTATION'	DAYLILY, WHITE	#2 POT, 2-3 FAN
GC				
(Symbol)	77	BLECHNUM SPICANT	DEER FERN	#1 POT, 20CM
(Symbol)	120	CORNUS CANADENSIS	BUNCHBERRY	#1 POT, 20CM
(Symbol)	305	GALTHERIA PROCUMBENS	WHITETREGREEN	#1 POT, 20CM
(Symbol)	143	GALTHERIA SHALLOI	SALAL	#2 POT, 20CM
(Symbol)	58	LONICERA PILEATA	PRIVET HONEYSUCKLE	#2 POT, 25CM
(Symbol)	34	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#3 POT, 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



PROJECT
BLUE PINE WAREHOUSE
LOT 2 34TH AVE CAMPBELL HEIGHTS
SURREY, BC

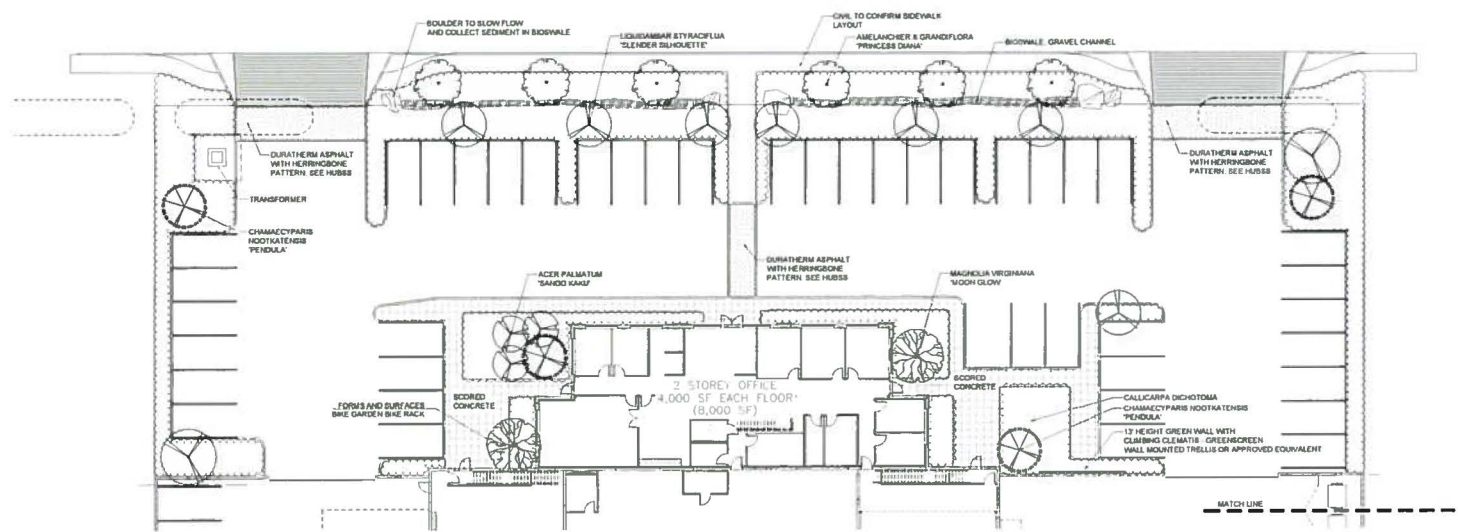
DRAWING TITLE
SHRUB PLAN

DATE: 13 MAR 20 DRAWING NUMBER
SCALE: 1/8" = 1'-0"
DRAWN: RC
DESIGN: RC
CHECK: MCT

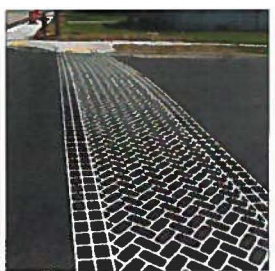
L2

OF 1

SCALE



FORMS AND SURFACES BIKE GARDEN BIKE RACK



DURATHERM ASPHALT - SEE HUBBS



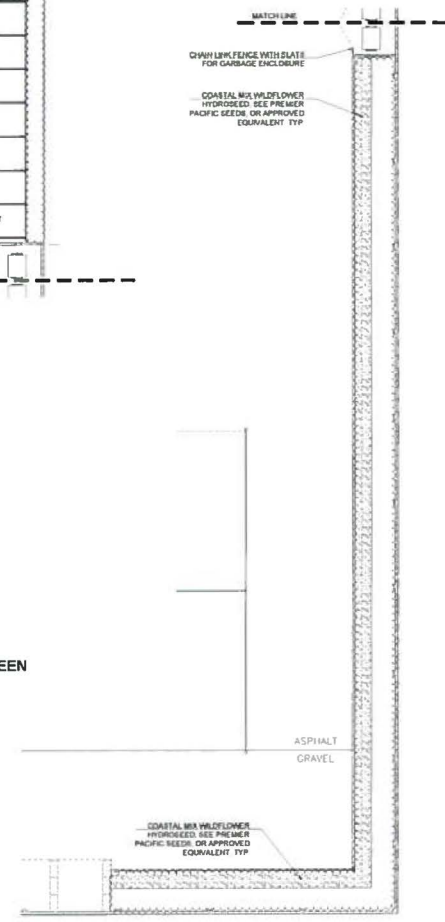
CHAIN LINK FENCE WITH SLATS FOR GARBAGE ENCLOSURE



WALL MOUNTED GREENSCREEN

TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	3	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	2.5M HT
	6	AMELANCHIER X GRANDIFLORA 'PRINCESS DIANA'	PRINCESS DIANA SERVICEBERRY	2.5M HT, B&B
	4	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping NOOTKA CYPRESS	2.5M HT, B&B
	7	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	6CM CAL, 2M STD, B&B
	2	MAGNOLIA VIRGINIANA 'MOON GLOW'	SWEETBAY MAGNOLIA (WHITE)	3M HT, STD.
	2	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	6CM CAL, 1.5M STD, B&B



NO.	DATE	REVISION DESCRIPTION	BY	CHKD
1	23 MAR 20	REV 001 NEW PLAN	RC	RC
2	23 MAR 20	REV 002 NEW PLAN	RC	RC

CLIENT _____

PROJECT
BLUE PINE WAREHOUSE
LOT 2 34TH AVE CAMPBELL HEIGHTS
SURREY, BC

DRAWING TITLE
LANDSCAPE PLAN

DATE 23 MAR 20 DRAWING NUMBER
SCALE 1/2" = 1'-0"
DRAWN RC
DESIGN RC
CHKD MCK

L1
OF 1



**TO: Manager, Area Planning & Development
 - South Surrey Division
 Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: January 28, 2014 PROJECT FILE: 7813-0118-00

**RE: Engineering Requirements (Commercial/Industrial)
 Location: 18899 - 32 Avenue**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit:

- Completion and acceptance of Surrey Project 7812-0160-00.
- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7812-0160-00 and address through the BP process.



Rémi Dubé, P.Eng.
Development Services Manager

LR