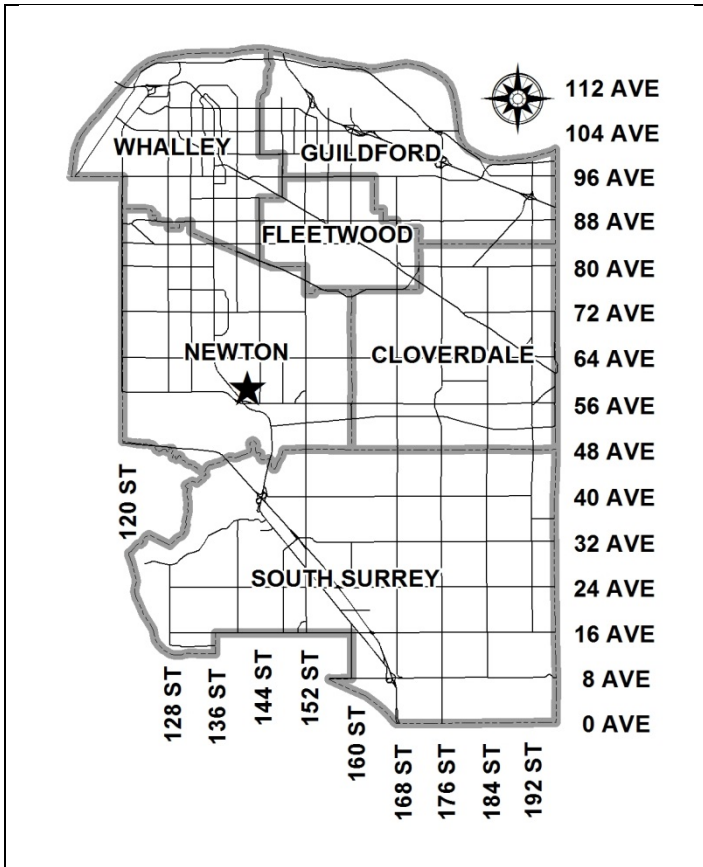


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0121-00

Planning Report Date: September 23, 2013



PROPOSAL:

- **NCP amendment** of a portion from Institutional to Office Park
- **Rezoning** from RH to CD

in order to facilitate lease tenants in the existing City Hall.

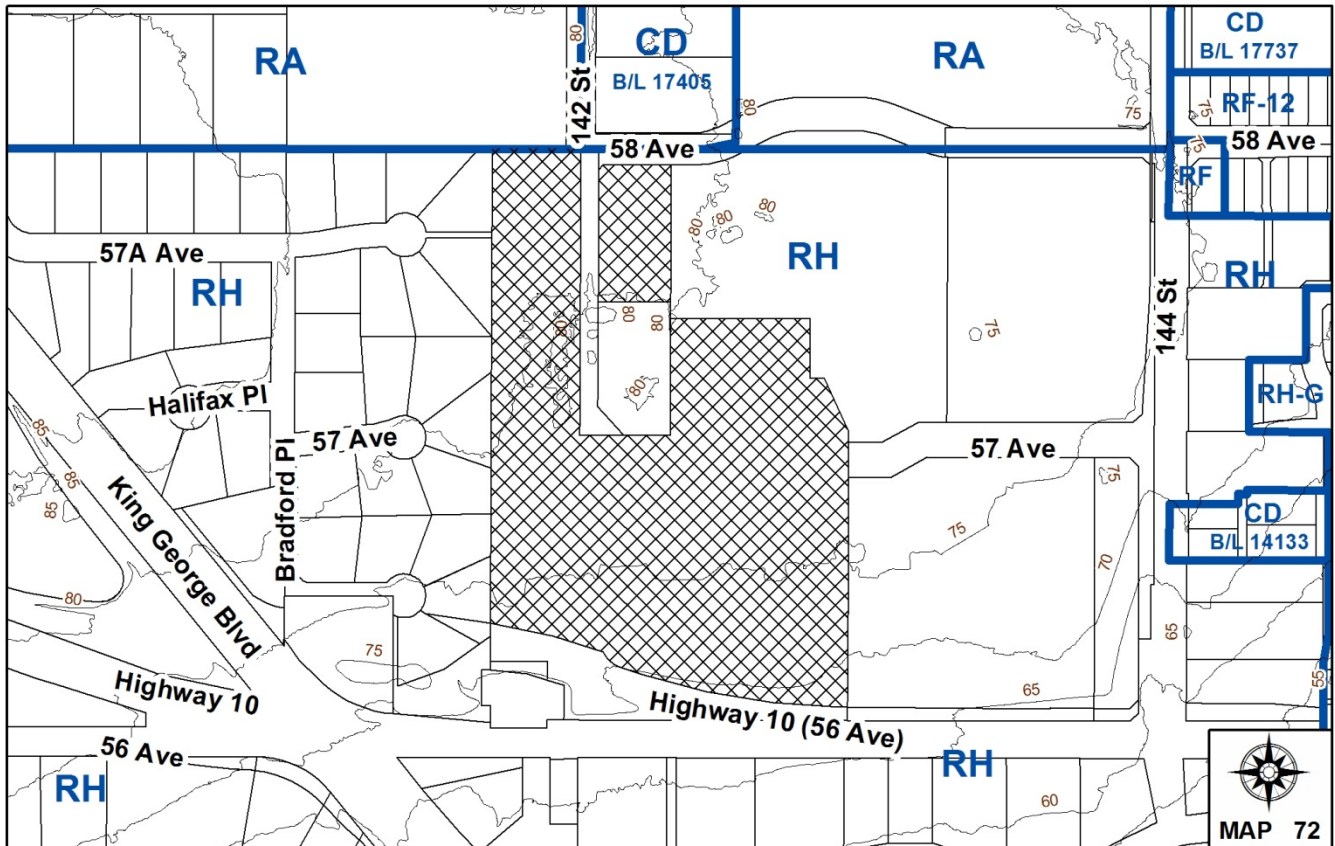
LOCATION: 14245 - 56 Avenue

OWNER: City Of Surrey

ZONING: RH

OCP DESIGNATION: Urban

NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposal requires an amendment to the South Newton Neighbourhood Concept Plan on a portion of the subject site from Institutional to Office Park.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- The proposal will allow the existing City Hall complex to be leased to a broader range of new tenants once the relocation to the New City Hall is complete.
- Area residents have not raised objections to the proposal.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Half-Acre Residential Zone (RH)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering; and
 - (b) approval from the Ministry of Transportation & Infrastructure.
3. Council pass a resolution to amend the South Newtown NCP to redesignate a portion of the land from "Institutional" to "Office Park" when the project is considered for final adoption.

REFERRALS

Engineering: There are no engineering requirements relative to the proposed CD By-law amendment.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval from MOTI has been granted.

SITE CHARACTERISTICS

Existing Land Use: Surrey City Hall

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Directly North and Across 58 Avenue):	Expansion of the existing Surrey Pre-Trial Services Centre and recently approved 119-unit townhouse development.	Urban/Institutional and Townhouses (25 u.p.a. max.)	RH and CD (By-law No. 17405)

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East:	Surrey Provincial Court House, Pretrial Building and Surrey RCMP Headquarters.	Urban/Institutional	RH
South (Across Hwy. No. 10):	Single family residences.	Suburban/Suburban Residential Half-Acre (LAP)	RH
West (Across):	Greenway and single family residences.	Urban/Utility R/W Greenway and Urban/Suburban Residential ½ acre	RH

JUSTIFICATION FOR PLAN AMENDMENT

NCP Amendment

- The subject site has two designations in the South Newton Neighbourhood Concept Plan (NCP) comprised of Utility Right-of-way Greenway and Institutional.
- The applicant is proposing to amend the portion designated Institutional from Institutional to Office Park (Appendix III).
- The proposed NCP amendment to Office Park will accommodate the proposed office, universities, colleges and institutes and general service uses with limited accessory uses while maintaining the existing character of the site.
- Staff support the proposed amendment.

DEVELOPMENT CONSIDERATIONS

Background

- On March 1, 2010, Council approved the Build Surrey program which consists of a series of large scale capital projects across the City.
- As described in Corporate Report No. R138 (June 10, 2010), the Build Surrey program identified a number of projects that included a New City Hall and Civic plaza in the City Centre.
- It has been envisioned that the New City Hall and Civic plaza will create a new civic precinct in the vicinity of the Central Surrey SkyTrain Station that will become the civic heart for all of Surrey.
- On January 9, 2012, Council approved Development Permit No. 7910-0160-00 to permit a new, 6-storey City Hall and large community plaza located at 13450 – 104 Avenue. Construction of the new facility is currently underway with occupancy planned for November 2013.

- With the relocation of the City of Surrey City Hall from South Newton to City Centre, the existing City Hall buildings in South Newton will be vacated.
- The City of Surrey will retain ownership of the existing municipal complex and lease space to new tenants.
- In order to facilitate new lease tenants, the Realty Department, on behalf of the City of Surrey, has submitted a Rezoning application.

Current Proposal

- The subject site, at 14245 – 56 Avenue, is located on the northwest corner of 56 Avenue and 144 Street in South Newton.
- The 6.5-hectare (16-acre) subject site is zoned "Half-Acre Residential Zone (RH)" and designated Utility R/W Greenway and Institutional in the South Newton Neighbourhood Concept Plan (NCP) and Urban in the Official Community Plan (OCP).
- Surrey Zoning By-law No. 12000 permits Public Uses, including Municipal Buildings, to be located in all zones therefore permitting the existing City Hall under the current RH zoning.
- In order to accommodate new lease tenants beyond those falling under the category of Public Uses, the applicant is proposing to rezone the site from "Half-Acre Residential Zone (RH)" to "Comprehensive Development Zone (CD)".
- The applicant has indicated in order to attract specific lease tenants, the permitted uses proposed include office use, universities, colleges and institutes and general service uses. Proposed accessory uses include eating establishments, child care centre and indoor recreational facilities.

Proposed CD Zone

- The applicant is proposing a CD Zone for the site in order to tailor the site to accommodate specific potential tenants.
- The proposed CD by-law includes uses from the PI Zone in order to include universities, colleges and institutes as a permitted use. Office use and general service uses as well as accessory uses that include eating establishments, child care centre and indoor recreational facilities are also proposed.
- Currently the existing floor area ratio (FAR) is 0.22 with 13% lot coverage. The applicant is not proposing any new construction at this time. However, in order to allow for potential expansion in the future, the CD Zone includes a maximum FAR of 0.50 and maximum lot coverage of 40%.
- The proposed CD by-law prescribes a building setback of 7.5 metres (25 ft.) from all lot lines.
- The existing building height is 16.5 metres (54 ft.) and remains the maximum permitted height for principal buildings on site.

PRE-NOTIFICATION

Pre-notification letters were sent out on July 15, 2013 and staff received two phone calls. The callers expressed the following concerns:

- Concern with tree removal in light of all the trees recently removed from this neighbourhood.

(Staff indicated that the proposal was only to rezone the subject site to facilitate new lease tenants and that new lease tenants would be locating in the existing buildings and that no new building construction was being proposed at this time. As a result, no trees are proposed to be removed.)

- Concerned with permitted uses, more specifically uses associated with the Remand Centre.

(Staff explained that at this time, the applicant has not confirmed any new tenants but remain in discussion and negotiations with perspective lessees.

Uses associated with the Remand Centre are provided within the Centre itself.)

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on September 10, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within an established neighbourhood in the South Newton NCP. An amendment of a portion from Institutional to Office Park is required.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposal does not include any new building construction but the rezoning will allow for future expansion on the site.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The owner will maintain the existing recycling and organic pick-up program. All existing trees and vegetation will be retained.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The existing complex includes preferential carpool parking and showers and change facilities for cyclists. There is also direct access to public transit on site.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Proper lighting is provided in the pedestrian and parking areas. There is also on-site security that will be maintained for future tenants.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The typical notifications to area residents occurred (ie. development proposal signage and pre-notification letters).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets and Survey Plan
- Appendix II. Engineering Summary
- Appendix III. NCP Plan
- Appendix IV. Proposed CD By-law

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

JLM/da

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APPENDIX IInformation for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Ken Woodward
 City of Surrey
 Address: 14245 - 56 Avenue
 Surrey, BC V3X 3A2

 Tel: 604-598-5722

2. Properties involved in the Application
- (a) Civic Address: 14245 - 56 Avenue

- (b) Civic Address: 14245 - 56 Avenue
 Owner: City Of Surrey
 PID: 017-234-701
 Lot 4 Section 9 Township 2 New Westminster District Plan LMP21 Except Plans BCP19894,
 BCP21351 and BCP46372

3. Summary of Actions for City Clerk's Office
- (a) Introduce a By-law to rezone the property.
- (b) Application is under the jurisdiction of MOTI.
- (c) MOTI File No. 2013-03359.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		65,460
Road Widening area		
Undevelopable area (Hydro)		8,006
Net Total		57,455
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	40%	13%
Paved & Hard Surfaced Areas		43%
Total Site Coverage		56%
SETBACKS (in metres)		
Front (S)	7.5 m	
Rear (N)	7.5 m	
Side #1 (E)	7.5 m	
Side #2 (W)	7.5m	
BUILDING HEIGHT (in metres/storeys)		
Principal		16.5 m
Accessory		4.5 m
NUMBER OF RESIDENTIAL UNITS	n/a	
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential	n/a	
FLOOR AREA: Commercial		
Retail		
Office		138,044 m ²
Total		138,044 m ²
FLOOR AREA: Industrial	n/a	
FLOOR AREA: Institutional	n/a	
TOTAL BUILDING FLOOR AREA		12,825 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.40	0.22
AMENITY SPACE (area in square metres)		
Indoor	n/a	
Outdoor		
PARKING (number of stalls)	611	
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	611	
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 18, 2013** PROJECT FILE: **7813-0121-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 14245 No 10 (56 Ave) Hwy**

OCP AMENDMENT/NCP AMENDMENT/REZONE

As the proposed Rezone is to allow the existing use there are no engineering requirements relative to the OCP Amendment/NCP Amendment/Rezone at this time. A no build Restrictive Covenant should be placed on North West Portion of the Property fronting 142 Street and 58 Avenue.

Future Rezones or subdivisions will trigger Property and Works and Services Requirements as noted below:

POTENTIAL FUTURE REZONE/SUBDIVISION REQUIREMENTS

Property and Right-of-Way Requirements

- Provide necessary dedications for 142 Street and 57 Avenue.
- Provide corresponding corner cut dedications.

Works and Services

- Construct 142 Street, 57 Avenue and 58 Avenue to Appropriate Standard; and
- Extend Services along road frontages.

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of a Building Permit on the existing building:

Works and Services

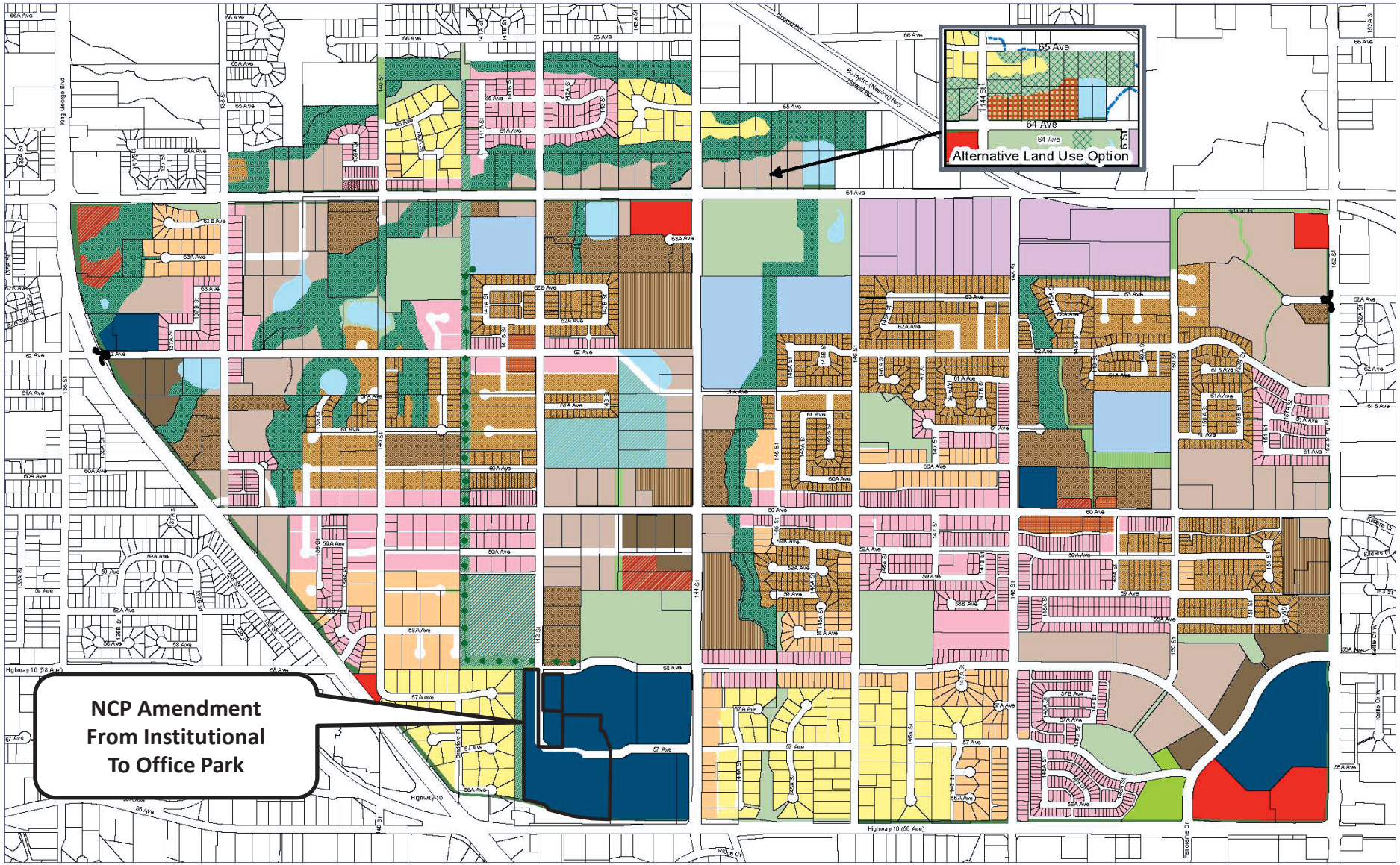
- Ensure service connections are adequate.



Rémi Dubé, P.Eng.
Development Services Manager

LR

NOTE: Detailed Land Development Engineering Review available on file



**NCP Amendment
From Institutional
To Office Park**

SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

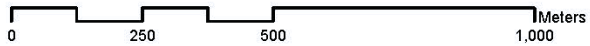
- Apartments 45 upa max
- Townhouses 25 upa max
- Townhouses 20 upa max
- Townhouses 15 upa max
- Single Family Small Lots
- Row Housing

- Single Family Residential Flex 6 to 14.5
- Single Family Residential
- Suburban Residential 1/2 Acre
- Mixed Com/Res Apartments
- Mixed Com/Res Townhouse

- Commercial
- Institutional
- Office Park
- Industrial
- Schools
- Proposed School

- Proposed School and Park
- Parks
- Proposed Park and Walkway
- Recreational
- Creeks and Riparian Set-back

- Buffers
- Detention Ponds
- Utility R/W Greenway
- WALKWAY



Adopted by Council Resolution December 6, 2004 Amended 29 July 2013

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: HALF-ACRE RESIDENTIAL ZONE (RH)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 017-234-701

Lot 4 Section 9 Township 2 New Westminster District Plan LMP21 Except Plans BCP19894, BCP21351 and BCP46372

14245 - 56 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of offices, public and private universities and colleges and limited service uses which are to be developed in accordance with a *comprehensive design*, where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. Office uses excluding *social escort services* and *methadone clinics*.
- 2. Universities named under the University Act R.S.B.C. 1996, c. 468.
- 3. Colleges and institutes designated as such under the College and Institute Act R.S.B.C. 1996, c. 52.

4. *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*.
5. *Accessory uses* including the following:
 - (a) *Eating establishments* excluding *drive-through restaurants*;
 - (b) *Child care centres*; and
 - (c) *Indoor recreational facilities*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum density shall not exceed a floor area ratio of 0.1 or a building area of 300 square metres [3,230 sq.ft.], whichever is smaller.
2. The maximum density may be increased to a maximum floor area ratio of 0.50 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.

E. Lot Coverage

The *lot coverage* shall not exceed 40%.

F. Yards and Setbacks

Buildings and *structures* shall be sited not less than 7.5 metres [25 ft.] from all *lot lines*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 16.5 metres [54 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

Off-street parking spaces shall be provided in accordance with Part 5 Off-Street parking of Surrey Zoning By-law, 1993, No. 12000, as amended.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 3.0 metres [10 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Loading areas, garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Child care centres* shall be located on the *lot* such that these centres have direct open access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq. m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-8 as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2013, No. 17856, as may be amended or replaced from time to time, and the development cost charges shall be based on the PI Zone for uses listed under Section B.2 and B.3 and the C-8 Zone for all other uses.
10. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
11. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
12. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

READ A FIRST AND SECOND TIME on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

READ A THIRD TIME ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

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