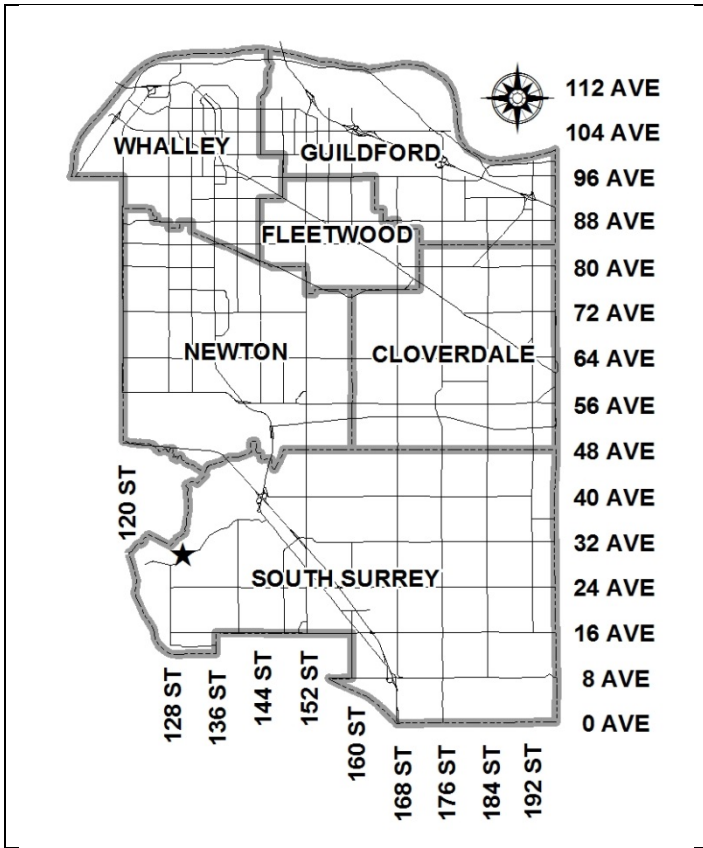


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0122-00

Planning Report Date: December 01, 2014



PROPOSAL:

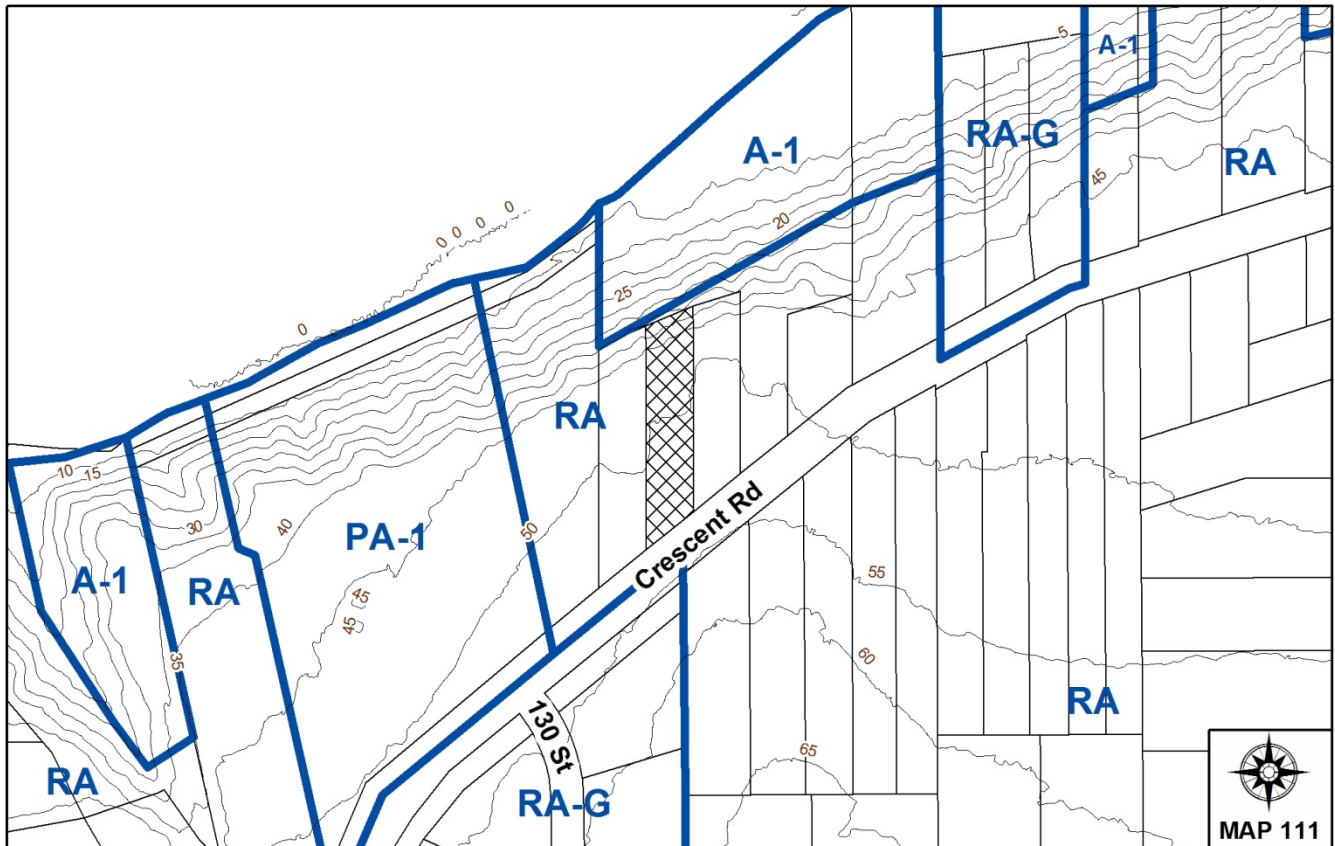
- **Development Variance Permit**
in order to allow retention of an accessory building

LOCATION: 13021 - Crescent Road

OWNER: Mark P. Nitsch

ZONING: RA

OCP DESIGNATION: Suburban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking reduced front yard setback to allow retention of an existing shed and garage.

RATIONALE OF RECOMMENDATION

- The requested variance to reduce the front yard setback on subject site will allow retention of existing and recently expanded shed and garage.
- The proposed setback relaxation will not impact the siting of the main dwelling, as it is situated towards the back of the property to take advantage of better views.
- No concerns raised by the Surrey Heritage Advisory Committee (HAC).
- Setback from Crescent Road pavement edge would be approximately 15 m (49 ft.) until road widening in the future.
- The applicant proposes to enhance the appearance of the building in accordance with the recommendations of the HAC, including the addition of windows and colours from the heritage catalogue.

RECOMMENDATION

1. The Planning & Development Department recommends that Council approve Development Variance Permit No. 7913-0122-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard setback for accessory building of the "One-Acre Residential Zone (RA)" from 18 metres (60 ft.) to 7.16 metres (23.5 ft.).
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering.

REFERRALS

Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Heritage Advisory Committee (HAC): *Support, with suggestion to improve the character of the building, to reflect the heritage designation of Crescent Road.*

SITE CHARACTERISTICS

Existing Land Use: single family dwelling

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Vacant portion of a large lot with a single family dwelling further to the east	Suburban	A-1
East:	Single family dwelling	Suburban	RA
South (Across Crescent Road):	Single family dwelling	Suburban	RA and RA-G
West:	Single family dwelling	Suburban	RA

DEVELOPMENT CONSIDERATIONSBackground and Site Context

- The subject site consists of 1 parcel of land located on the north side of Crescent Road, between 128 Street and 132 Street. The site is designated "Suburban" in the Official Community Plan (OCP).

- The subject site is currently zoned "One-Acre Residential Zone (RA)" (By-Law No. 12000), and is occupied by one single family dwelling. The subject site is 0.26 hectares (0.63 acres), with 30.45 m (100 ft.) frontage, and over 100 m (328 ft.) depth.
- Original accessory building and concrete paved area were completed by previous owner. Current owner expanded the building to the paved area, without a building permit. A stop work order was issued on November 08, 2011, and construction stopped.
- In 2012, the applicant applied to the Board of Variance, for the relaxation of the front yard setback for the accessory building, but was denied (2 votes against, and 2 votes for). The applicant was advised to seek Development Variance Permit. At the time, many residents voiced concerns regarding a business operated from the house, and the number of vehicles parked on the property. The applicant has a Business License for Home Occupation, and By-Law Enforcement has confirmed the applicant has an acceptable number of vehicles parked on his property.

Subject Proposal

- The applicant proposes to bring an existing accessory building under compliance through a setback relaxation. This will also allow the applicant to apply for a building permit for renovations and improvements to the building.
- The proposed building has incorporated improvements suggested by the HAC, including the addition of windows, and colours from the heritage catalogue.
- Currently the building has no windows, and the proposal incorporates one window on the gable on the south elevation, and windows at 1.5 m (5 ft.) height on the east and west elevations. Proposed colours are Benjamin Moore's "Edwardian Cream", and "Vancouver Green" (Appendix II).
- The applicant is required to dedicate approximately 3.5 m (11.5 ft.) along Crescent Road for future road widening. The 7.16 m (23.5 ft.) setback is calculated from this ultimate property line, though effectively, the setback from the building to the curb edge will be approximately 15 m (49 ft.) until future road widening.

Surrey Heritage Advisory Committee

- The proposed setback is along Crescent Road, which is a heritage designated road. No concerns were raised from the HAC regarding this application, and their comment was that the applicant should try to improve the quality of the building, once he is allowed to apply for a Building Permit.

Trees

- No trees were impacted by this addition to the accessory building, as it was constructed in an existing paved concrete area.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- Front yard setback for accessory building from 18 m (60 ft.) to 7.16 m (23.5 ft.).

Applicant's Reasons:

- Part of the accessory building was already constructed, and expansion was done over an existing concrete paved area.

Staff Comments:

- The 7.16 m (23.5 ft.) will only come into effect when Crescent Beach is widened to its ultimate cross-section. Visual setback at this time will be approximately 15 m (49 ft.) from the building to the pavement edge on Crescent Road.
- Accessory building is at an angle from the property line, and only one corner will be at 7.16 m (23.5 ft.) setback from the road. The other corner of the building will be at 12.1 m (39.5 ft.).
- The design of the building is compatible with the heritage character of Crescent Road. The design of the building is included as a schedule in the Development Variance Permit.
- Staff support this variance to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan and Building Elevations
Appendix III.	Engineering Summary
Appendix IV.	Development Variance Permit No. 7913-0122-00

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

LFM/da

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DRV 11/27/14 11:40 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Mark Nitsch

Address: 13021 - Crescent Road
Surrey, BC V4P 1J6

Tel: 604-209-7885

2. Properties involved in the Application

(a) Civic Address: 13021 - Crescent Road

(b) Civic Address: 13021 - Crescent Road
Owner: Mark P Nitsch
PID: 011-363-002
Lot 2 Section 20 Township 1 New Westminster District Plan 8804

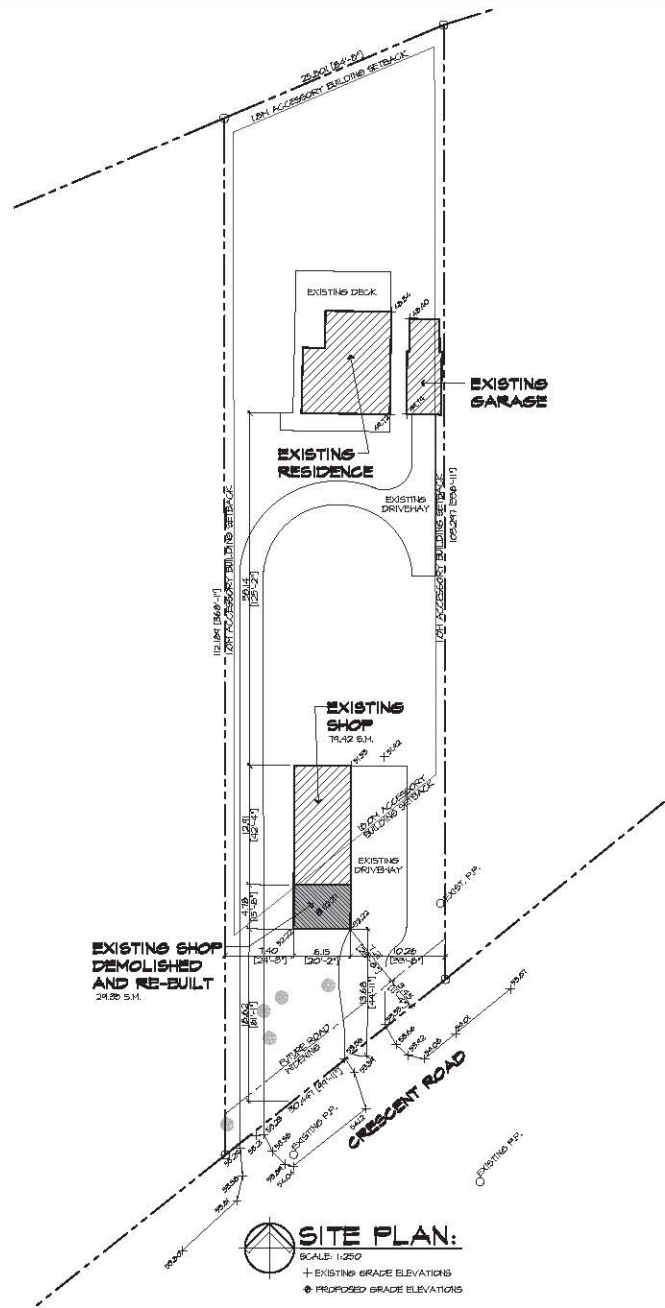
3. Summary of Actions for City Clerk's Office

(a) Proceed with Public Notification for Development Variance Permit No. 7913-0122-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

SUBDIVISION DATA SHEET

Proposed Zoning: RA

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.63 acres
Hectares	0.26 hectares
NUMBER OF LOTS	
Existing	1
Proposed	1
SIZE OF LOTS	
Range of lot widths (metres)	30.45 m
Range of lot areas (square metres)	2,559 m ²
DEV. VARIANCE PERMIT required	
Building Retention	YES
Front Yard setback (accessory building)	
Existing	18 m (60 ft)
Proposed	7.16 m (23.5 ft)



GENERAL NOTES:

- 1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE AND ALL OTHER LOCAL CODES AND BY-LAWS OF THE CITY OF SURREY.
- 2) THE CONTRACTOR AND ALL SUBTRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO START OF ANY WORK OR ORDERING OF MATERIALS, AND SHALL REPORT ANY PROPOSED REVISIONS OR ANY ERRORS OR DISCREPANCIES TO PLANTER IN IMMEDIATELY. ANY DISCREPANCIES NOT REPORTED BEFORE THE RESPONSIBILITY OF THE CONTRACTOR.
- 3) THE CONTRACTOR AND ALL SUPPLIERS, SUBTRADES ETC. ARE TO ENSURE THAT THEY ARE WORKING ON CURRENT PLANS AND SHOULD VERIFY THAT THEY ARE IN POSSESSION OF THE LATEST ISSUE.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE CORRECTION OF DEFICIENCIES, AS DETERMINED BY THE ENGINEER OR DESIGNER.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACINGS REQUIRED FOR CONSTRUCTION LOADINGS AND STABILITY UNTIL THE PROJECT IS COMPLETED.
- 6) WELLS AND SEPTIC DISPOSAL SYSTEMS ARE THE RESPONSIBILITY OF OTHERS AND SHOULD BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL AUTHORITIES HAVING JURISDICTION.
- 7) THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT WATER COLLECTED IN GUTTERS, DOWNSPOUTS AND FOUNDATION PERIMETER DRAINS IS DISCHARGED IN ACCORDANCE WITH LOCAL AUTHORITIES HAVING JURISDICTION.
- 8) GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- 9) ALL CONCRETE TO BE PLACED ON FIRM, UNDISTURBED SOIL, FREE OF ANY LOOSE, ORGANIC OR FROSTY MATERIAL.
- 10) CONCRETE FOOTINGS AND WALL STRENGTH - MIN. 25 MPa ■ 28 DAYS
FLOOR SLABS & SIDEWALKS - MIN. 32 MPa ■ 28 DAYS
- 11) APPLY ASPHALT EMULSION WATERPROOFING TO EXTERIOR OF FOUNDATION WALL BELOW FINISHED GRADE LEVEL IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- 12) ALL LOAD BEARING STUDS, FLOOR JOISTS TO BE MIN. 5 P.F. NO 2 OR BETTER. BUILT-UP BEAMS TO BE S.P.F. NO. 2 OR BETTER. HOOD PLATES WHICH ARE SUPPORTED ON OR IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY FOAM BULL BRACKETS.
- 13) PROVIDE DOUBLE JOISTS UNDER ALL PARTITION WALLS PARALLEL TO JOIST SPAN. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC.
- 14) SITING OF BUILDINGS MUST BE VERIFIED BY A LEGAL LAND SURVEYOR PRIOR TO PLACING ANY CONCRETE, AND MUST BE IN ACCORDANCE WITH ALL LOCAL BY-LAWS AND REGULATIONS.
- 15) ALL PRE-MANUFACTURED BEAMS AND JOISTS TO BE CERTIFIED BY SUPPLIER.
- 16) 6 MIL. POLY V.B. SHALL BE INSTALLED ON THE WARM SIDE OF THE INSULATION.
- 17) ELECTRICALLY CONNECTED SMOKE ALARMS SHALL BE INSTALLED ON EACH STOREY OF THE DWELLING UNIT AS PER CODE.
- 18) ALL MECHANICAL AND ELECTRICAL DRAWINGS AND DESIGN SHALL BE DONE BY OTHERS.
- 19) DRAWINGS ARE NOT INTENDED TO BE SCALED, AND LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- 20) ALL INTERIOR AND EXTERIOR FINISHES SHALL BE SPECIFIED BY THE OWNER. ANY FINISHES SHOWN ON PLANS SHALL BE CONFIRMED BY OWNER.
- 21) ALL EXTERIOR THRU-WALL OPENINGS, DOORS AND WINDOWS MUST BE PROVIDED WITH PROPER HEAD FLASHINGS WITH END DRAHS TO PREVENT ANY WATER PENETRATION.

DRAWING INDEX:

*NOTE: ALL DRAWINGS ARE INTENDED TO BE "AS-BUILT" FROM INFORMATION GIVEN BY THE OWNER.

- A-1 SITE PLAN, GENERAL NOTES AND DRAWING INDEX
- A-2 FOUNDATION AND FLOOR PLAN
- A-3 ELEVATIONS AND SECTION

SITE DATA

OWNER ADDRESS:
1001 CRESCENT ROAD, SURREY, B.C.

LEGAL DESCRIPTION:
LOT 2, SECTION 20, TOWNSHIP 1, 18-D PLAN 8804

ZONING:

SRN18B, RA (1 ACRE RESIDENTIAL) ZONE

ACCESSORY BUILDING SETBACKS:	REQUIRE	PROPOSED
FRONT -	10.0M	7.2M EXISTING (VARIANCE REQUIRED)
REAR -	1.8M	86.5M EXISTING
SIDE -	1.0M	7.5M & 10.8M EXISTING

ACCESSORY BUILDING HEIGHT: MAX. ALLOWED = 4.0M
PROPOSED = 3.67M

LOT COVERAGE: MAX. ALLOWED = 20%
EXISTING COVERAGE = 4%
PROPOSED COVERAGE = 4%
(DEMOLISH PORTION OF EXISTING SHOP AND RE-BUILD ON SAME FOOTPRINT)

DATE: 10/01/2024
SCALE: AS NOTED
DRAWN: R.H.
CHECKED: J.H.
PROJECT NO.: 10022
SHEET NO.: A-1

DATE: 10/01/2024
SCALE: AS NOTED
DRAWN: R.H.
CHECKED: J.H.
PROJECT NO.: 10022
SHEET NO.: A-1

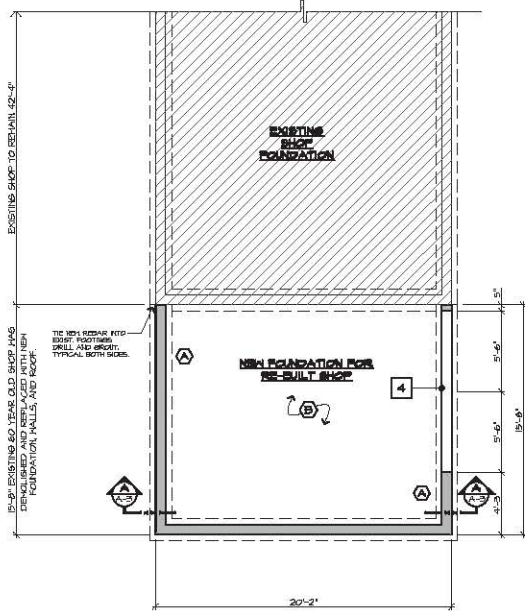
PLAN TECH
Drafting | Design

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Surrey, BC V3W 0G6
Phone: 604-598-2588
www.plan-tech.ca

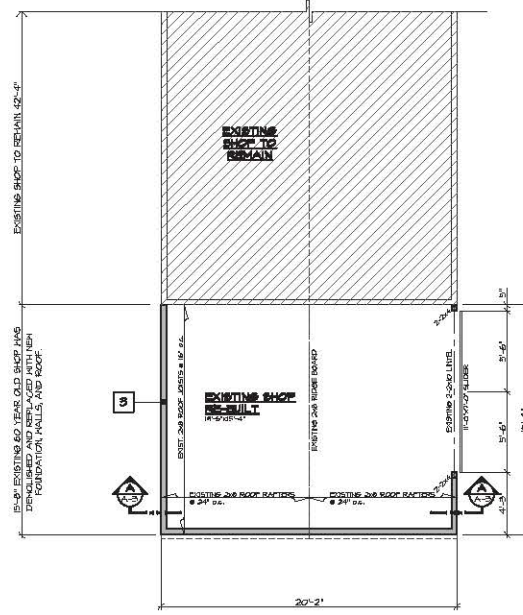
PROJECT: TUNDRA DEVELOPMENTS
EXISTING ADDITION
SURREY, BC

DRAWING: SITE PLAN, GENERAL NOTES & DRAWING INDEX

DATE: 10/01/2024
SCALE: AS NOTED
DRAWN: R.H.
CHECKED: J.H.
PROJECT NO.: 10022
SHEET NO.: A-1



FOUNDATION PLAN:
SCALE: 1/4"=1'-0"



FLOOR PLAN:
SCALE: 1/4"=1'-0"

INFORMATION SHOWN IS "AS-BUILT" INFORMATION ONLY.
NOTE: PLANS SHOWN ARE TO REPRESENT EXISTING INFORMATION ONLY.

FOUNDATION & FOOTING SCHEDULE			
SYM.	CONCRETE FOOTINGS SIZE	CONCRETE FTG. REINFORCING	CONCRETE WALL OR COLUMN SIZE
(A)	18"HD. X 8"DP. CONT.	<ul style="list-style-type: none"> 6"X 2"EM BARS CONTINUOUS 18" CHLS HJE @20" O.C. ALT. 	<ul style="list-style-type: none"> 18"X 18" CONC. FOR. WALL HEIGHT AS PER SITE REQUIREMENTS

* INFORMATION PROVIDED BY OWNER FOR EXISTING FOOTINGS AND FOUNDATION WALLS

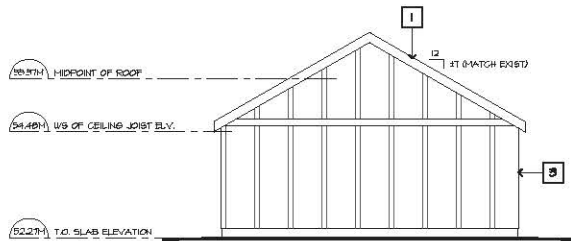
CONCRETE SLAB SCHEDULE			
CONCRETE SLAB SIZE	CONCRETE SLAB REINFORCING	FILL MATERIAL	REMARKS TYPICAL LOCATIONS
(B) PROPOSED 4" CONC. SLAB (28 MPa)	PROPOSED 10# BARS @ 24" O.C. EM	PROPOSED 10# 1/2" WEL-COMPACTED GRANULAR FILL TO NEW STD. PRODUCTION DENSITY	PROPOSED ON 6 MIL POLY

DATE: MAY 2024
SCALE: AS NOTED
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CHECKED: JHL
PROJECT NO.: 0222
SHEET NO.: A-2

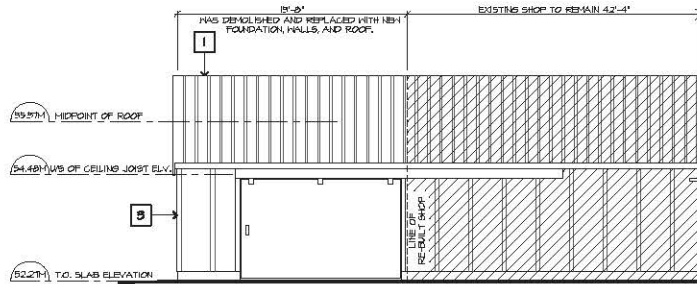
PROJECT: TUNDRA DEVELOPMENTS EXISTING ADDITION
SHEETS: 20
DRAWING: FOUNDATION AND FLOOR PLAN

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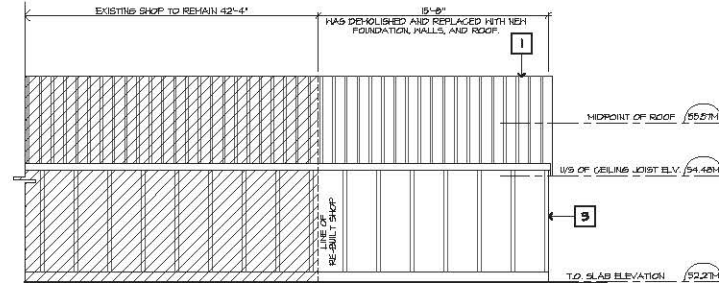
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PROJECT NO.: 0222
SHEET NO.: A-2



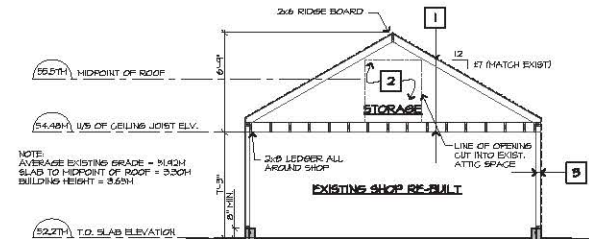
SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



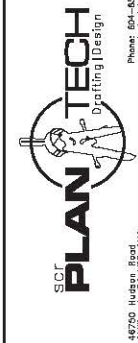
A SECTION
SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND

- 1** PROPOSED ROOF STRUCTURE
PRE-FINISHED METAL ROOFING (MATCH EXIST)
BUILDING PAPER
1/2" PLYWOOD
2x6 BATTERS @ 24"o.c.
2x6 COLLAR TIES @ 24"o.c.
5/8" TIE PLYWOOD
SOLID BLOCKING BETWEEN JOIST SPACES
2x6 ROOF JOISTS @ 16"o.c.
- 2** VENTED ATTIC SPACE
1 SF. TO 800 SF. CEILING AREA
- 3** EXTERIOR WALL
BOARD AND BATTEN SIDING
SOFFIT BUILDING PAPER
1/2" PLYWOOD
2x4 STUDS @ 16"o.c.
- 4** DROP FOUNDATION HALL
AT DOOR OPENING
- 5** CONC. FDN. HALL (SEE FOR SCHEDULE)
CONC. FOOTING (SEE FOR SCHEDULE)
- 6** BACKFILL WITH CLEAN
GRAVULAR, FREE-DRAINING MATERIAL
(PROPOSED)
PERMETIC DRAINAGE PIPING
AS PER DISTRICT'S SPEC'S.
MINIMUM 18" FROST PROTECTION
UNLESS OTHERWISE SPECIFIED BY LOCAL CODES

DATE:	10/17/2024
SCALE:	AS NOTED
DRAWN:	RH
CHECKED:	JH
PROJECT NO.:	10222
SHEET NO.:	A-3

PROJECT: **TUNDRA DEVELOPMENTS
EXISTING ADDITION**
SHEETS: 2/3
DRAWING: **ELEVATIONS AND SECTION**



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TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 6, 2014** PROJECT FILE: **7813-0122-00**

RE: **Engineering Requirements
Location: 13021 Crescent Road**

DEVELOPMENT VARIANCE PERMIT

The following issues are to be addressed as a condition of issuance of the Development Variance Permit:

Property and Right-of-Way Requirements

- Dedicate 3.442 metre along Crescent Road for the 27.0 metre Arterial Road Standard. The applicant is advised to enter into a Highway License Agreement (HLA) to allow the gate and Fence currently installed to remain until the future widening of Crescent Road occurs. The HLA will include appropriate indemnification clauses.

Works and Services

- The applicant is advised that the lot does not have an existing storm service connection. The runoff from any hard surface (building, driveway, deck) cannot be concentrated and discharged to the north over the bluff due to stability concerns. Infiltration into the surrounding pervious surfaces may be considered if geotechnical conditions allow. Should it be determined that this is not possible then a storm service connection with inspection chamber must be installed to service the lot. If a pumped service connection is required, the applicant must register a restrictive covenant for a pumped storm service connection.

A Servicing Agreement is not required for the proposed Development Variance Permit, however, a processing fee of \$1,296.75 (GST included) is required to administer the legal document requirements. If required a storm service connection can be constructed subject to issuance of a City Road and Right-of-Way Permit obtainable at the Engineering front counter which includes payment of securities and permit fees.



Rémi Dubé, P.Eng.
Development Services Manager

CE

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7913-0122-00

Issued To: MARK NITSCH

("the Owner")

Address of Owner: 13021 - Crescent Road
Surrey, BC V4P 1J6

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-363-002
Lot 2 Section 20 Township 1 New Westminster District Plan 8804

13021 - Crescent Road

(the "Land")
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F. Yards and Setbacks of Part 12 One-Acre Residential Zone (RA), the minimum Front Yard setback for *Accessory Buildings* and *Structures Greater Than 10 square metres [105 sq. ft.]* in Size is reduced from 18 metres [60 ft] to 7.16 metres [23.5 ft].
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

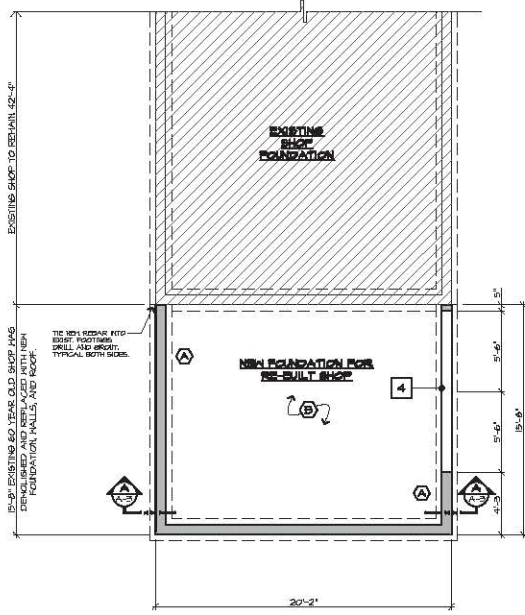
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

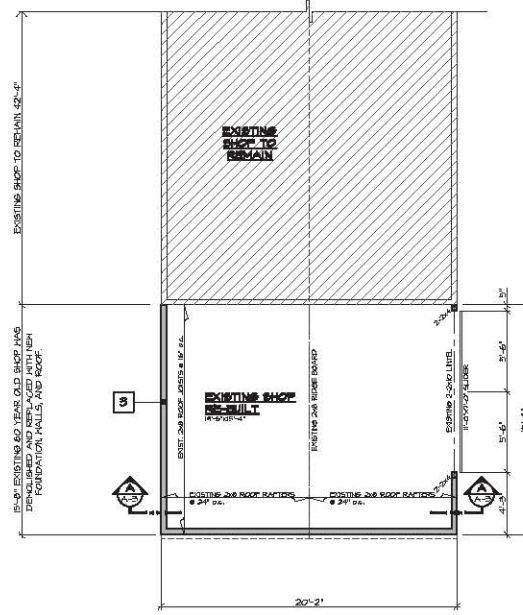
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor -

City Clerk -



FOUNDATION PLAN:
SCALE: 1/4"=1'-0"



FLOOR PLAN:
SCALE: 1/4"=1'-0"

INFORMATION SHOWN IS "AS-BUILT" INFORMATION ONLY.
NOTE: PLANS SHOWN ARE TO REPRESENT EXISTING INFORMATION ONLY.

FOUNDATION & FOOTING SCHEDULE			
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			<ul style="list-style-type: none"> 12"X 18" HORIZ. BARS CONT. 18"X 18" VERTS. @20" O.C. 1/2"X ANCHOR BOLTS @10' O.C.

* INFORMATION PROVIDED BY OWNER FOR EXISTING FOOTINGS AND FOUNDATION WALLS

CONCRETE SLAB SCHEDULE			
CONCRETE SLAB SIZE	CONCRETE SLAB REINFORCING	FILL MATERIAL	REMARKS TYPICAL LOCATIONS
(B) PROPOSED 4" CONC. SLAB (28 MPa)	PROPOSED 10# BARS @ 24" O.C. EM	PROPOSED 10# 4" WELL-COMPACTED GRANULAR FILL TO NEW STD. PROCTOR DENSITY	PROPOSED ON 6 MIL POLY

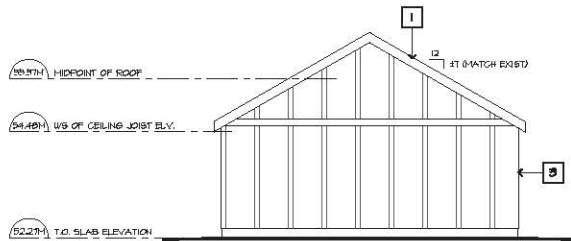
DATE: MAY 2024
SCALE: AS NOTED
DRAWN: RHL
CHECKED: JHL
PROJECT NO.: 0222
SHEET NO.: A-2

PROJECT: TUNDRA DEVELOPMENTS EXISTING ADDITION
SHEETS: 20
DRAWING: FOUNDATION AND FLOOR PLAN

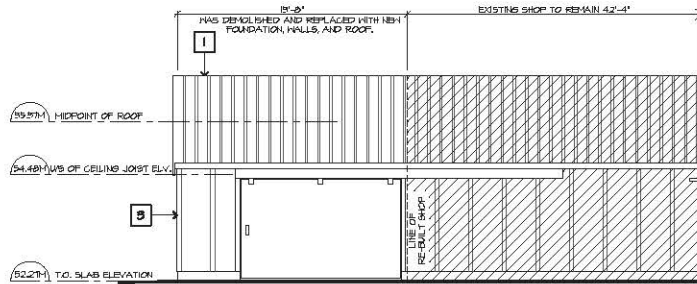
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Channahon, IL 61018-0106
Phone: 815-468-2884
www.plan-tech.com

DATE: MAY 2024
SCALE: AS NOTED
DRAWN: RHL
CHECKED: JHL
PROJECT NO.: 0222
SHEET NO.: A-2

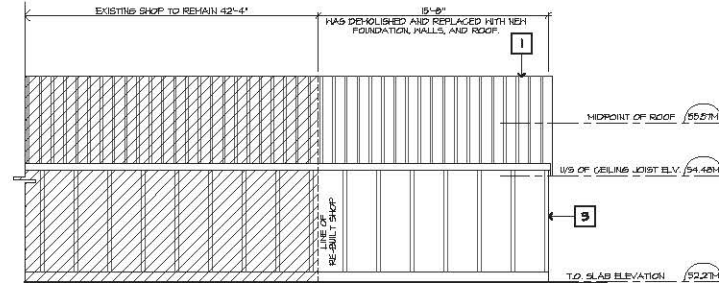
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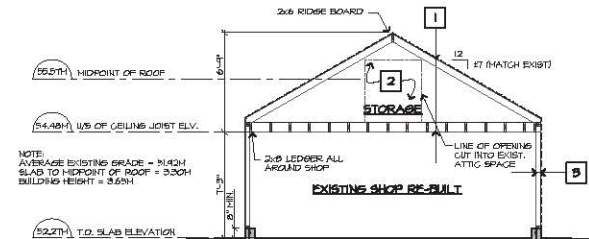
SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



A SECTION
SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND

- 1** PROPOSED EDGE STRUCTURE
PRE-FINISHED METAL ROOFING (MATCH EXIST.)
BUILDING PAPER
1/2" PLYWOOD
2x6 BATTENS @ 24"o.c.
2x6 COLLAR TIES @ 24"o.c.
5/8" TIE PLYWOOD
SOLID BLOCKING BETWEEN JOIST SPACES
2x8 ROOF JOISTS @ 16"o.c.
- 2** VENTED ATTIC SPACE
1 SF. TO 800 SF. CEILING AREA.
- 3** EXTERIOR WALL
BOARD AND BATTEN SIDING
BOHIL BUILDING PAPER
1/2" PLYWOOD
2x4 STUDS @ 16"o.c.
- 4** DROP FOUNDATION HALL
AT DOOR OPENING
- 5** CONC. FOR HALL (SEE FOR SCHEDULE)
CONC. FOOTING (SEE FOR SCHEDULE)
- 6** BACKFILL WITH CLEAN
GRAVULAR, FREE-DRAINING MATERIAL.
(PROPOSED)
PERMETIC DRAINAGE PIPING
AS PER DISTRICT'S SPEC'S.
MINIMUM 18" FROST PROTECTION
UNLESS OTHERWISE SPECIFIED BY LOCAL CODES

DATE:	NOV. 2024
SCALE:	AS NOTED
DRAWN:	RH
CHECKED:	JH
PROJECT NO.:	0222
SHEET NO.:	A-3

PROJECT: TUNDRA DEVELOPMENTS
EXISTING ADDITION
SHEET: 2/3
DRAWING: ELEVATIONS AND SECTION
A-3

SCF PLAN TECH
Drafting | Design
46750 Ingleton Blvd
Charlotte, NC 28216-5106
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2. 10/2022 - 11/2022 - 12/2022 - 01/2023 - 02/2023 - 03/2023 - 04/2023 - 05/2023 - 06/2023 - 07/2023 - 08/2023 - 09/2023 - 10/2023 - 11/2023 - 12/2023 - 01/2024 - 02/2024 - 03/2024 - 04/2024 - 05/2024 - 06/2024 - 07/2024 - 08/2024 - 09/2024 - 10/2024 - 11/2024 - 12/2024 - 01/2025 - 02/2025 - 03/2025 - 04/2025 - 05/2025 - 06/2025 - 07/2025 - 08/2025 - 09/2025 - 10/2025 - 11/2025 - 12/2025 - 01/2026 - 02/2026 - 03/2026 - 04/2026 - 05/2026 - 06/2026 - 07/2026 - 08/2026 - 09/2026 - 10/2026 - 11/2026 - 12/2026 - 01/2027 - 02/2027 - 03/2027 - 04/2027 - 05/2027 - 06/2027 - 07/2027 - 08/2027 - 09/2027 - 10/2027 - 11/2027 - 12/2027 - 01/2028 - 02/2028 - 03/2028 - 04/2028 - 05/2028 - 06/2028 - 07/2028 - 08/2028 - 09/2028 - 10/2028 - 11/2028 - 12/2028 - 01/2029 - 02/2029 - 03/2029 - 04/2029 - 05/2029 - 06/2029 - 07/2029 - 08/2029 - 09/2029 - 10/2029 - 11/2029 - 12/2029 - 01/2030 - 02/2030 - 03/2030 - 04/2030 - 05/2030 - 06/2030 - 07/2030 - 08/2030 - 09/2030 - 10/2030 - 11/2030 - 12/2030 - 01/2031 - 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