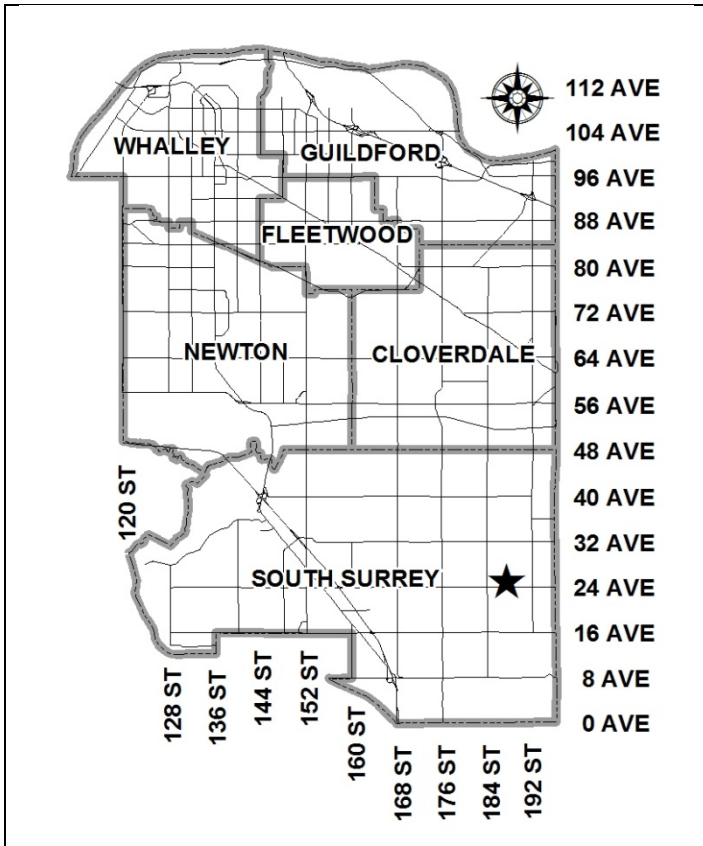


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7913-0178-00

Planning Report Date: October 28, 2013



**PROPOSAL:**

- **Development Permit**
- **Development Variance Permit**

To permit the development of an 3,317 m<sup>2</sup> (35,705 ft<sup>2</sup>) warehouse/ distribution centre with outdoor trailer parking in the side yard

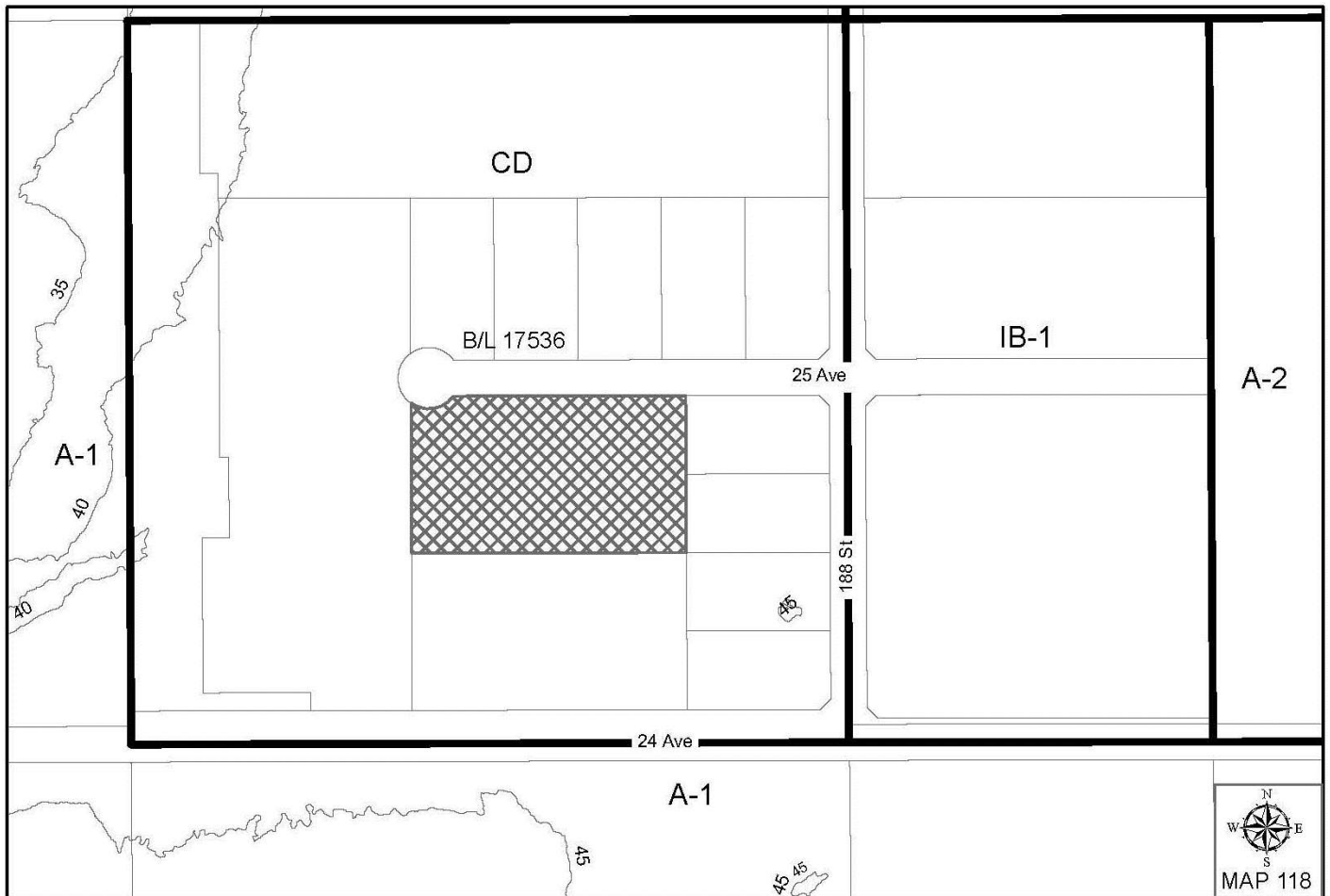
**LOCATION:** 18744 - 25 Avenue

**OWNER:** 0973298 B.C. Ltd.

**ZONING:** CD (By-law No. 17536)

**OCP DESIGNATION:** Industrial

**LAP DESIGNATION:** Business Park



### RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for a Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- A Development Variance Permit is required to vary CD (By-law No. 17536) in order to permit an outdoor trailer parking area within the western side yard.

### RATIONALE OF RECOMMENDATION

- The proposal complies with the Official Community Plan (OCP) and the Campbell Heights Local Area Plan (LAP).
- The development is consistent with the General Development Permit and the Campbell Heights 24 Design Guidelines registered on the site. The development is also generally consistent with the CD Zone (By-law No. 17536) governing the site.
- The DVP allowing for outdoor trailer parking within the side yard is supportable given the configuration of the site and the nature and logistics of the warehouse operation to accommodate time sensitive truckload freight shipping.
- The applicant has worked with staff to provide the appropriate screening along 25 Avenue to shield the internal on-site trailer parking and dock loading areas.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7913-0178-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7913-0178-00 (Appendix IV) allowing the following to proceed to Public Notification:
  - (a) to allow outdoor trailer parking within the side yard area.
3. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Vacant land

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 25 Avenue):	Vacant Land	Industrial/Technology Park/Business Park	CD (By-law No. 17536)
East:	Vacant Land	Industrial/Technology Park/Business Park	CD (By-law No. 17536)
South:	Vacant Land	Industrial/Technology Park/Business Park	CD (By-law No. 17536)
West:	Under DP application #7913-0169-00 for two industrial buildings.	Industrial/Technology Park/Business Park	CD (By-law No. 17536)

## DEVELOPMENT CONSIDERATIONS

### Background

- The development site is located on the south side of 25 Avenue, west of 188 Street in Campbell Heights South. The property measures 13,233 m<sup>2</sup> (3.27 acres) in area and was created by the applicant through an internal lot line cancellation in August 2013.
- The property is designated "Industrial" in the Official Community Plan (OCP) and "Technology/Business Park" in the Campbell Heights Local Area Plan (LAP).
- In November 2012, the property was rezoned to "Comprehensive Development Zone (CD)" from "General Agricultural Zone (A-1)" under application 7910-0301-00 and subdivided into two separate lots (12, 13), prior to being consolidated by the applicant.
- The CD Zone (By-law No. 17536) governing the site allows for light impact industry, warehouse uses, distribution centres, along with limited office and other accessory uses, forming part of a comprehensive design.
- Under the original rezoning and subdivision applications, the site was cleared and serviced for development. There are no trees or vegetation on the site.

### Proposal

- The proposed Development Permit (DP) will allow the applicant to develop a new warehouse operation with office space for CSA Transportation in Surrey. CSA Transportation provides trucking and freight shipping services throughout Canada and the US.
- The company currently has an operation in Richmond and the proposed building will act as the CSA Transportation's new Lower Mainland office and allow the company to expand its operations. Approximately 50 people will be employed on site.
- Overall the new 3,317 m<sup>2</sup> (35,705 ft<sup>2</sup>) building will consist of 2,829 m<sup>2</sup> (30,455 ft<sup>2</sup>) of warehouse space, serviced by 16 loading bays, along with 488 m<sup>2</sup> (5,250 ft<sup>2</sup>) of office space. The proposed warehouse/distribution centre generally complies with the CD zone (By-law No. 17536) for the site. The exception is the proposed trailer parking in the side yard.
- The CD zone currently does not allow for outdoor truck or trailer parking areas (associated with the use and operations of the lot), other than the loading spaces in front of the loading doors, within any front or side yard setback.
- A Development Variance Permit (DVP) is therefore required to permit a parking area for 16 trailers along the western side yard. As per the CD Bylaw, this area will be screened to a height of 2.5 metre [8 foot] solid fencing and substantial landscaping.

## DESIGN PROPOSAL AND REVIEW

### Site Layout and Design

- The proposed warehouse facility will be sited on the east half of the development site. In all the building will cover 25% of the lot area. In contrast, the western side of the site will be used as an outdoor trailer parking and truck loading and staging area servicing the warehouse.
- The site will be serviced by three (3) separate vehicular accesses. The eastern driveway off 25 Avenue will service the employee and visitor parking lot to be located at the east side of the warehouse facility, while a second, gated in-only driveway at the southwest corner of the site will be used by solely by trucks accessing the internal shipping and staging area west of the building. The trucks will then exit the site using a second gated, out-only driveway on 25 Avenue, west of the building.
- A portion of the site's western property line is encumbered by an easement which provides shared vehicular access to the site and the neighbouring property to the west. Collectively and for security purposes the warehouse dock loading area and trailer parking area will be screened and gated from the employee and visitor parking area.
- Within the warehouse itself, a one storey office is proposed in the northeast corner which will help anchor the building and provide the street with animation. An additional small outdoor covered patio/amenity area is also proposed along the building's façade on 25 Avenue. The main entry to the building will be located on the east side of the building, adjacent to the employee and visitor parking lot. In all, the employee and visitor parking lot will provide a total of 37 parking stalls in keeping with the Zoning Bylaw requirements.
- The proposed building is generally consistent with the design guidelines outlined in the Campbell Heights Design Guidelines.
- The building will be a painted concrete tilt up structure, utilizing vision and spandrel glass, reveals and stone veneer to help break up the buildings' massing and add texture, especially at the office area and along the 25 Avenue frontage. The building will be finished in a range of lighter grey tones, with darker grey and blue accents.

### Landscaping

- The landscaping plan has been reviewed by staff and is generally acceptable. The proposed plan reflects the Campbell Heights requirements for storm water management and will incorporate bioswales along the north (front), south (rear) and side (east) property lines.
- Altogether the landscaping plan calls for a total of 46 new trees to be planted on site, along with shrubs and vines and groundcover along the perimeter of the site.
- Staff have also worked with the applicant to create an appropriate fence and landscape treatment along the front yard to screen the site's internal trailer parking and loading dock areas from 25 Avenue.

- The CD zone for the site calls for outdoor storage and parking areas in Area B to be completely screened to a height of at least 2.5 m (8 foot) by buildings and/or solid decorative fencing and/or substantial landscaping strips.
- In response the applicant has agreed to screen the site along 25 Avenue with alternating sections of 2.5 m (8 foot) high solid metal (aluminum) fence and 2.5 m (8 foot) vinyl coated chain link fence, accompanied by varying levels of planting. This screening is acceptable in the context of this site at the end of a cul-de-sac.
- The solid metal fencing, which will be painted in a matching ‘grizzle gray’ colour and read like an extension of the building, will be enhanced and softened by low level planting and shrubbery.
- In contrast, the chain link fence (vinyl coated in black) will be screened by 3 to 4 metre (10 -13 ft) conifer trees. The trees, which will be planted to a depth of 4 metres (13 ft) along the portions of the chain link fence, are expected to screen the fence over time and provide a solid green wall of natural vegetation.
- The trailer parking area will be further screened along the western side yard by a 2.5m (8 ft) black vinyl coated chain link fence with slats and use adulating planting to screen the parking area.

#### PRE-NOTIFICATION

- On August 14, 2013 a development sign was posted on the site. To date, staff have not received any comments on the proposal.
- On September 30, the project was also referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS has no objection to the proposal and notes the project will not have a significant impact on the Little Campbell river or watershed if the City’s drainage and environmental standards are adhered to.

#### SUSTAINABLE DEVELOPMENT CHECKLIST

On September 20, 2013 the applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• The development application is consistent with the prescribed use (Land Use Designations and Zoning) and site context.
2. Density & Diversity (B1-B7)	• The project density is in keeping with the Zoning By-law
3. Ecology & Stewardship (C1-C4)	• The project will incorporate bio-swales as per the Campbell Heights guidelines and will utilize low impact development standards (LIDS).

4. Sustainable Transport & Mobility (D1-D2)	• None
5. Accessibility & Safety (E1-E3)	• None
6. Green Certification (F1)	• None
7. Education & Awareness (G1-G4)	• None

#### ADVISORY DESIGN PANEL

- The project was not referred to the Advisory Design Panel (ADP), but was reviewed internally by the City's design staff. Staff are generally supportive of the proposed project but will require additional details concerning materials, lighting and landscaping.

#### BY-LAW VARIANCE AND JUSTIFICATION

##### (a) Requested Variance:

- To allow outdoor trailer parking (associated with the uses and operation of the site) within the west side yard of the property.

##### Applicant's Reasons:

- CSA Transportation requires on-site trailer parking to accommodate and respond to the time sensitive nature of truckload freight shipping and to provide temporary storage of their fleet.
- The location of the trailer parking, across from the facility's loading bays, will assist with the overall logistics of the site. The warehouse/distribution facility will be tasked with loading and unloading trucks, and the sorting and storing of goods, prior to arranging for off-site transportation.

##### Staff Comments:

- Given the proposed location of the warehouse/distribution facility at the east side of the development site, the trailer parking area will need to be located along the west side yard, as part of the site's overall shipping and operations yard.
- The applicant has provided an appropriate level of screening along the property's front yard to shield the internal trucking yard operations from 25 Avenue.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I	Lot Owners, Action Summary and Project Data Sheets
Appendix II	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III	Engineering Summary
Appendix IV	Development Variance Permit No. 7913-0178-00

*original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

HP/da

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DRV 10/24/13 11:28 AM



Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:     Name:             Christian Hamm  
                    Address:         Beedie Construction  
  3030 - Gilmore Diversion  
  Burnaby, BC V5G 3B4

                    Tel:             604-909-8742 - Work  
  604-909-8742 - Cellular
  
2.     Properties involved in the Application

  - (a)     Civic Address:            18744 - 25 Avenue
  
  - (b)     Civic Address:            18744 - 25 Avenue  
          Owner:                    0973298 BC Ltd.  
                                      Director Information:  
                                      Ryan Keith Beedie

No Officer Information Filed

          PID:                     029-156-441  
          Parcel A (Being a Consolidation of Lots 12 & 13, See CA3334208) Section 21  
          Township 7 New Westminster District Plan EPP24887
  
3.     Summary of Actions for City Clerk's Office

  - (a)     Proceed with Public Notification for Development Variance Permit No. 7913-0178-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

**DEVELOPMENT DATA SHEET**

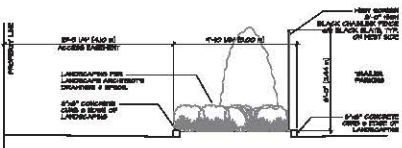
Proposed/Existing Zoning: CD Zone 17536

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>LOT AREA*</b>		
Gross Total	2,000 m <sup>2</sup> (.5 acres)	13,233 m <sup>2</sup> (3.27 acres)
Road Widening area		
Undevelopable area		
Net Total	2,000 m <sup>2</sup> (.5 acres)	13,233 m <sup>2</sup> (3.27 acres)
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	60%	25%
Paved & Hard Surfaced Areas		
Total Site Coverage		
<b>SETBACKS ( in metres)</b>		
Front	7.5 m (25 ft)	7.5 m(25 ft)
Rear	7.5 m (25 ft)	7.6 m (25ft)
Side #1 (E)	7.5 m (25 ft)	18.6 m (61 ft)
Side #2 (W)	7.5 m (25 ft)	85.9 m (281.8 ft)
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	14 m ( 45 ft)	9 m (29.5 ft)
Accessory	6 m (20 ft)	-
<b>NUMBER OF RESIDENTIAL UNITS</b>	-	-
Bachelor	-	-
One Bed	-	-
Two Bedroom	-	-
Three Bedroom +	-	-
Total	-	-
<b>FLOOR AREA: Residential</b>	-	-
<b>FLOOR AREA: Commercial</b>	-	-
Retail	-	-
Office	-	-
Total	-	-
<b>FLOOR AREA: Industrial</b>	13,233 m <sup>2</sup> (3.27 ft <sup>2</sup> )	3,317 m <sup>2</sup> (35,705 ft <sup>2</sup> )
<b>FLOOR AREA: Institutional</b>	-	-
<b>TOTAL BUILDING FLOOR AREA</b>	13,233 m <sup>2</sup> (3.27 ft <sup>2</sup> )	3,317 m <sup>2</sup> (35,705 ft <sup>2</sup> )

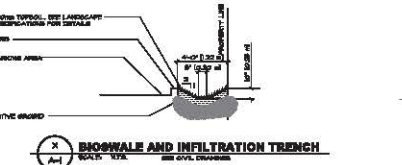
## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)	-	-
# of units/ha /# units/acre (net)	-	-
FAR (gross)	1.00	.250
FAR (net)	1.00	.250
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	-	-
Outdoor	-	-
<b>PARKING (number of stalls)</b>		
Commercial	-	-
Industrial	34	37
Residential Bachelor + 1 Bedroom	-	-
2-Bed	-	-
3-Bed	-	-
Residential Visitors	-	-
Institutional	-	-
Total Number of Parking Spaces	34	37
Number of disabled stalls	1	1
Number of small cars	9	TBD
Tandem Parking Spaces: Number / % of Total Number of Units	-	-
Size of Tandem Parking Spaces width/length	-	-

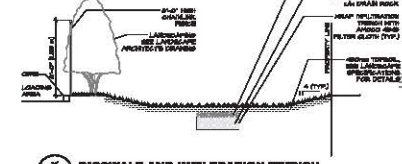
Heritage Site	NO	Tree Survey/Assessment Provided	NO
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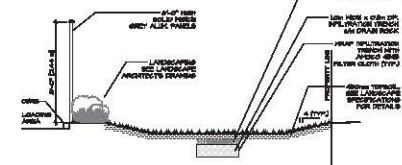
**H BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"



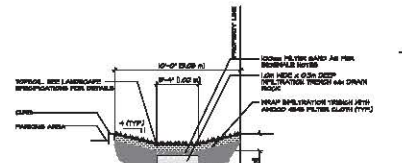
**X BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"



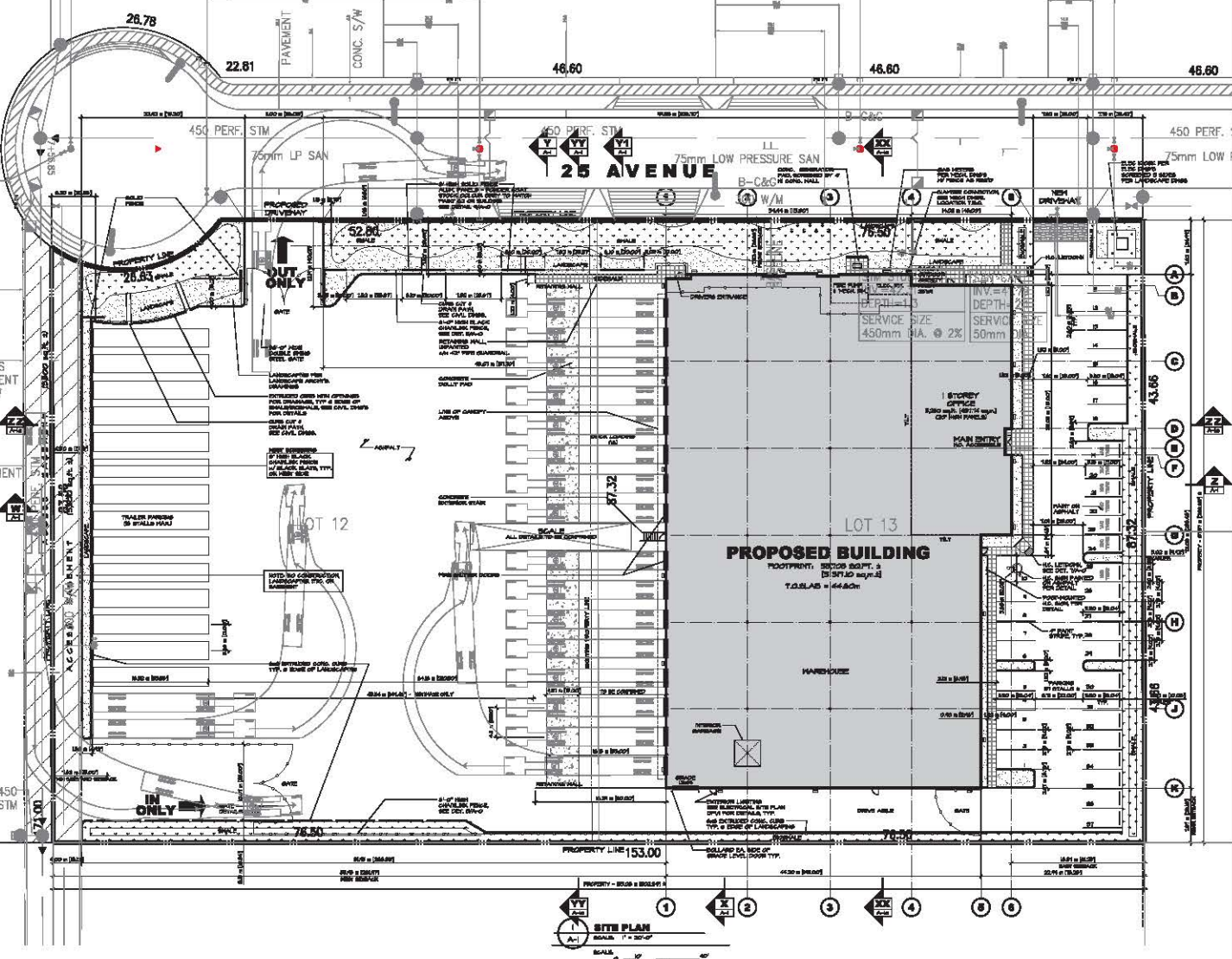
**Y BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"



**Y1 BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"



**Z BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"



**SITE PLAN**  
SCALE: 1/8" = 1'-0"



**AUTOTILES SHEET PATHS**  
BASED ON  
TAC 1999 WB-30

**GENERAL NOTES:**

- CONTRACTOR SHALL VERIFY THE ACCURACY OF THE CIVIL DRAWINGS FOR FINAL LOCATIONS & DIMENSIONS & SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DETECTION.
- CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO EXISTING UTILITIES, STRUCTURES, AND LANDSCAPE DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES AND SHALL PROVIDE THEM TO THE ARCHITECT UPON COMPLETION.
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**DEVELOPMENT DATA**

CIVIC ADDRESS: 25 AVENUE, SUITE 100, WILMINGTON, DE 19801

LEGAL DESCRIPTION: LOT 12 & 13, SECTION 1, TOWNSHIP 1, RANGE 1, COUNTY OF NEW CASTLE, DE

LOT AREA: 0.15 AC

PROPOSED BUILDING AREA: 15,000 SQ FT

PROPOSED FLOOR AREA: 15,000 SQ FT

PROPOSED PAVEMENT AREA: 15,000 SQ FT

PROPOSED PLANTING AREA: 15,000 SQ FT

PROPOSED PARKING AREA: 15,000 SQ FT

PROPOSED DRIVEWAY AREA: 15,000 SQ FT

PROPOSED BIKEWAY AREA: 15,000 SQ FT

PROPOSED TRAILWAY AREA: 15,000 SQ FT

PROPOSED WALKWAY AREA: 15,000 SQ FT

PROPOSED PLAYWAY AREA: 15,000 SQ FT

PROPOSED SPORTWAY AREA: 15,000 SQ FT

PROPOSED RECREATIONWAY AREA: 15,000 SQ FT

PROPOSED UTILITARIANWAY AREA: 15,000 SQ FT

PROPOSED OTHERWAY AREA: 15,000 SQ FT

PROPOSED TOTALWAY AREA: 15,000 SQ FT

PROPOSED TOTALAREA: 15,000 SQ FT

**NOTES**

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**SITE PLAN LEGEND**

PROPOSED DRIVEWAY	SEE CIVIL DRAWINGS
PROPOSED BIKEWAY	SEE CIVIL DRAWINGS
PROPOSED TRAILWAY	SEE CIVIL DRAWINGS
PROPOSED WALKWAY	SEE CIVIL DRAWINGS
PROPOSED PLAYWAY	SEE CIVIL DRAWINGS
PROPOSED SPORTWAY	SEE CIVIL DRAWINGS
PROPOSED RECREATIONWAY	SEE CIVIL DRAWINGS
PROPOSED UTILITARIANWAY	SEE CIVIL DRAWINGS
PROPOSED OTHERWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALAREA	SEE CIVIL DRAWINGS
PROPOSED TOTALPARKING	SEE CIVIL DRAWINGS
PROPOSED TOTALPLANTING	SEE CIVIL DRAWINGS
PROPOSED TOTALDRIVEWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALBIKEWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALTRAILWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALWALKWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALPLAYWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALSPORTWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALRECREATIONWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALUTILITARIANWAY	SEE CIVIL DRAWINGS
PROPOSED TOTALOTHERWAY	SEE CIVIL DRAWINGS

**Beetle Development Group**  
5810 OILMOORE AVENUE, BUNNARY, VA 23846  
TEL: (804) 693-5521 FAX: (804) 693-7360

**CHIP BARRETT ARCHITECT**  
1100 N. MARKET ST. SUITE 100, WILMINGTON, DE 19801  
TEL: (302) 441-1100 FAX: (302) 441-1101

**D.FORCE DESIGN INC.**  
2000 N. MARKET ST. SUITE 100, WILMINGTON, DE 19801  
TEL: (302) 441-1100 FAX: (302) 441-1101

**CSA TRANSPORTATION**  
ARCHITECTS & ENGINEERS  
1000 N. MARKET ST. SUITE 100, WILMINGTON, DE 19801  
TEL: (302) 441-1100 FAX: (302) 441-1101

**SITE PLAN**

SCALE: 1/8" = 1'-0"

PROJ. NO. 2012-001

DATE: 02/28/12

REV. 17

**WALL SCHEDULE**

- 1 - INTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON BOTH SIDES, INTERIOR FINISH
- 2 - INTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, INTERIOR FINISH ON OTHER SIDE
- 3 - INTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE
- 4 - EXTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE
- 5 - EXTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE, WITH CLADDING
- 6 - EXTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE, WITH CLADDING AND INSULATION
- 7 - EXTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE, WITH CLADDING AND INSULATION, WITH FINISH
- 8 - EXTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE, WITH CLADDING AND INSULATION, WITH FINISH AND ROOFING FOR STRUCTURAL
- 9 - EXTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE, WITH CLADDING AND INSULATION, WITH FINISH AND ROOFING FOR STRUCTURAL, WITH FINISH
- 10 - EXTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE, WITH CLADDING AND INSULATION, WITH FINISH AND ROOFING FOR STRUCTURAL, WITH FINISH AND ROOFING FOR STRUCTURAL, WITH FINISH
- 11 - EXTERIOR WALL, 8" CONCRETE CMU, 1/2" GYPSUM BOARD ON ONE SIDE, EXTERIOR FINISH ON OTHER SIDE, WITH CLADDING AND INSULATION, WITH FINISH AND ROOFING FOR STRUCTURAL, WITH FINISH AND ROOFING FOR STRUCTURAL, WITH FINISH AND ROOFING FOR STRUCTURAL

**WALL NOTES**

- 1 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
- 2 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
- 3 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
- 4 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
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- 6 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
- 7 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
- 8 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
- 9 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
- 10 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.
- 11 - FINISH FROM 12" R.O.C.S. 2" X 8" JOIST, HANGERS SHALL BE 2" X 4" LAG SCREW INTO JOIST.

**GENERAL LEGEND**

- 1 - INTERIOR WALL
- 2 - EXTERIOR WALL
- 3 - FLOOR FINISH
- 4 - CEILING FINISH
- 5 - ROOF FINISH
- 6 - WINDOW SCHEDULE
- 7 - DOOR SCHEDULE
- 8 - PARTITION SCHEDULE
- 9 - MULLION SCHEDULE
- 10 - PANEL SCHEDULE

**GENERAL NOTES**

- 1 - SEE MECHANICAL DRAWINGS FOR FLOOR DRAINS, HALL DRAINS & SINK DRAINS.
- 2 - APPLICABLE WORKS SPECIFICATIONS, SECTION 05 20 00, SHALL BE REFERRED TO.
- 3 - SEE STRUCTURAL DRAWINGS FOR FLOOR SLABS, BEAMS & WALLS.

**INTERIOR GLAZING**

GLAZING TYPE	DESCRIPTION
1	1/2" CLEAR GLASS, 2" X 4" ABOVE FINISHED FLOOR
2	1/2" CLEAR GLASS, 2" X 4" ABOVE FINISHED FLOOR
3	1/2" CLEAR GLASS, 2" X 4" ABOVE FINISHED FLOOR

**GENERAL LEGEND**

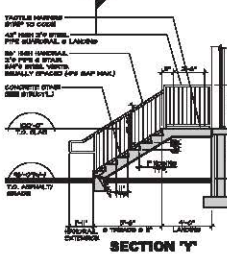
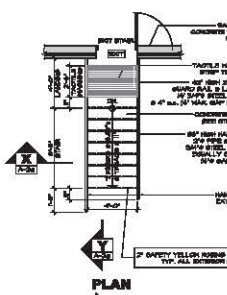
- 1 - INTERIOR WALL
- 2 - EXTERIOR WALL
- 3 - FLOOR FINISH
- 4 - CEILING FINISH
- 5 - ROOF FINISH
- 6 - WINDOW SCHEDULE
- 7 - DOOR SCHEDULE
- 8 - PARTITION SCHEDULE
- 9 - MULLION SCHEDULE
- 10 - PANEL SCHEDULE

**GENERAL NOTES**

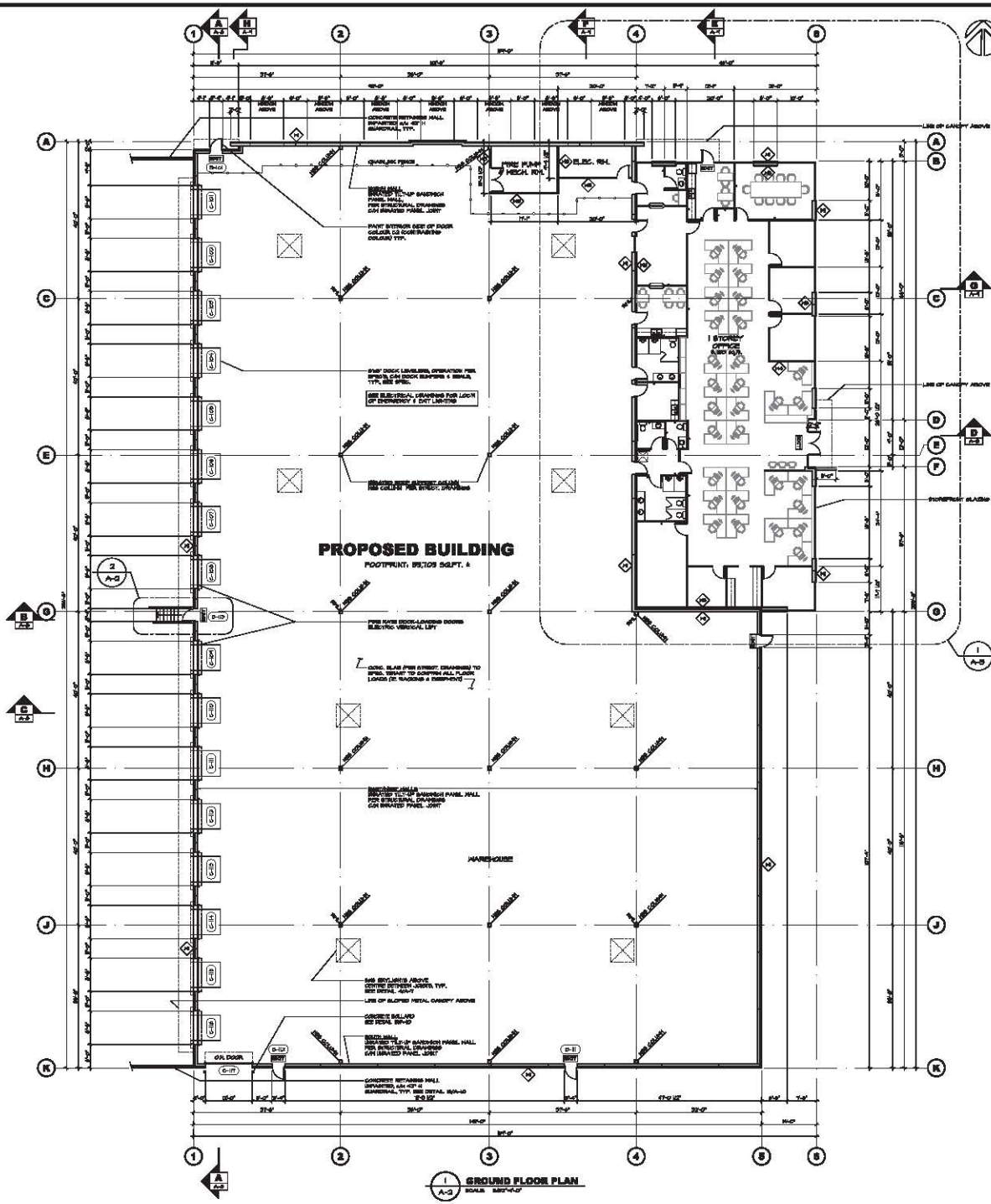
- 1 - SEE MECHANICAL DRAWINGS FOR FLOOR DRAINS, HALL DRAINS & SINK DRAINS.
- 2 - APPLICABLE WORKS SPECIFICATIONS, SECTION 05 20 00, SHALL BE REFERRED TO.
- 3 - SEE STRUCTURAL DRAWINGS FOR FLOOR SLABS, BEAMS & WALLS.

**ALL DOORS, GLAZING & SKYLIGHTS TO COMPLY FULLY WITH ASHRAE 90.1 2004. SUPPLIER/ SUB-CONTRACTORS TO PROVIDED REQUIRED DOCUMENTATION.**

**ALL CONSTRUCTION TO CONFORM TO B.C.S.C. 2012 3.1.8. FOR NON-COMBUSTIBLE CONSTRUCTION. ALL SUPPLIERS AND CONTRACTORS TO VERIFY THAT PRODUCTS CONFORM TO REQUIREMENTS FOR NON-COMBUSTIBLE CONSTRUCTION.**



**2 EXTERIOR CONCRETE STAIR DETAIL**  
SCALE: 1/4" = 1'-0"



**Beeble | Development Group**  
3620 GILMORE DR., BURNABY, B.C. V5A 3B4  
TEL: (604) 456-3221 FAX: (604) 452-7478

**CHIP BARRETT ARCHITECT**  
11111 148 AVENUE WEST, SUITE 200, RICHMOND, B.C. V6V 2G7  
TEL: (604) 273-2222 FAX: (604) 273-2223  
WWW.CHIPBARRETTARCHITECT.COM

**D.FORCE DESIGN INC.**  
11111 148 AVENUE WEST, SUITE 200, RICHMOND, B.C. V6V 2G7  
TEL: (604) 273-2222 FAX: (604) 273-2223  
WWW.DFORCEDESIGN.COM

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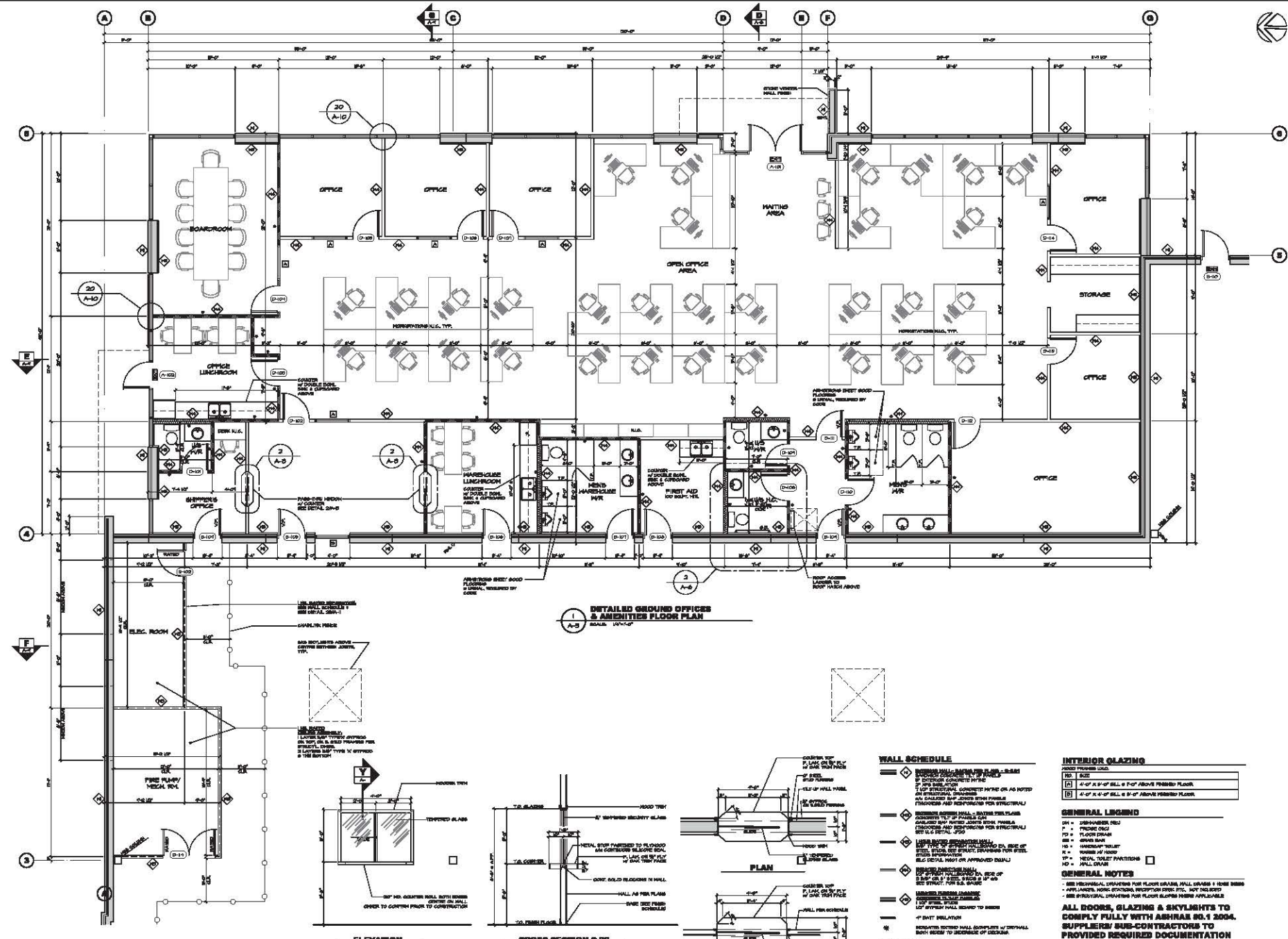
**CSA TRANSPORTATION**  
1111 10th St. W. Vancouver, B.C. V6H 3G7

**OVERALL FLOOR PLAN**

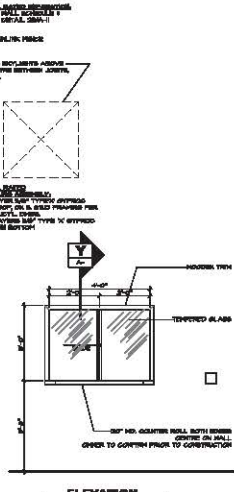
REV. 1  
DATE: 03/11/2013

PROJECT: 10th St. W. Vancouver, B.C. V6H 3G7

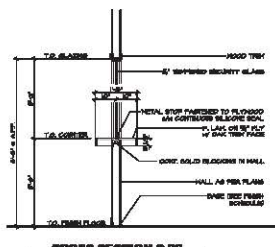
SHEET: A-2 OF 8



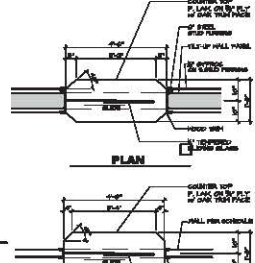
**1**  
**DETAILED GROUND OFFICES & AMENITIES FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**2**  
**INTERIOR PASS-THRU WINDOW DETAIL**  
 SCALE: 1/2" = 1'-0"



**CROSS SECTION 'X-Y'**  
 BOTTOM VIEW



**PLAN**

- WALL SCHEDULE**
- ◆ EXTERIOR WALL - CONCRETE CURB - 6" MIN. THICK  
 - 4" MIN. THICK CONCRETE CURB  
 - 2" MIN. THICK CONCRETE CURB OR AS NOTED  
 - 1" MIN. THICK CONCRETE CURB OR AS NOTED  
 - 1/2" MIN. THICK CONCRETE CURB OR AS NOTED
  - ◆ INTERIOR WALL - 1/2" GYP BOARD ON 2x4 STUDS  
 - 5/8" GYP BOARD ON 2x4 STUDS  
 - 5/8" GYP BOARD ON 2x4 STUDS  
 - 5/8" GYP BOARD ON 2x4 STUDS  
 - 5/8" GYP BOARD ON 2x4 STUDS
  - ◆ CONCRETE CURB - 4" MIN. THICK CONCRETE CURB OR AS NOTED  
 - 2" MIN. THICK CONCRETE CURB OR AS NOTED  
 - 1" MIN. THICK CONCRETE CURB OR AS NOTED
  - ◆ PARTITION WALL - 1/2" GYP BOARD ON 2x4 STUDS  
 - 5/8" GYP BOARD ON 2x4 STUDS
  - ◆ GLASS CURB - 4" MIN. THICK CONCRETE CURB OR AS NOTED  
 - 2" MIN. THICK CONCRETE CURB OR AS NOTED  
 - 1" MIN. THICK CONCRETE CURB OR AS NOTED
  - ◆ PARTITION WALL - 1/2" GYP BOARD ON 2x4 STUDS  
 - 5/8" GYP BOARD ON 2x4 STUDS
- WALL NOTES**
- CONFORM TO ALL LOCAL BUILDING CODES AND ALL APPLICABLE AIA STANDARDS, AS NOTED.
  - ALL PARTITION WALLS TO CONFORM TO ASHRAE 90.1-2009 FOR ENERGY EFFICIENCY.
  - CONFORM TO ALL LOCAL BUILDING CODES AND ALL APPLICABLE AIA STANDARDS, AS NOTED.
  - ALL PARTITION WALLS TO CONFORM TO ASHRAE 90.1-2009 FOR ENERGY EFFICIENCY.

- INTERIOR GLAZING**
- | ITEM | DESCRIPTION                                   |
|------|---|
| 1    | 4'-0" x 4'-0" SILL & TOP ABOVE FINISHED FLOOR |
| 2    | 4'-0" x 4'-0" SILL & TOP ABOVE FINISHED FLOOR |
- GENERAL LEGEND**
- ◆ EXTERIOR WALL
  - ◆ INTERIOR WALL
  - ◆ PARTITION WALL
  - ◆ GLASS CURB
  - ◆ WINDOW CURB
  - ◆ WINDOW CURB
  - ◆ WINDOW CURB
- GENERAL NOTES**
- USE MECHANICAL DRAWINGS FOR FLOOR DRAINS, WALL DRAINS & HOLE SIZES.
  - APPLIANCES, HOODS, STOVE, REFRIGERATION ETC. NOT INCLUDED.
  - SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCEMENT.
- ALL DOORS, GLAZINGS & SKYLIGHTS TO CONFORM FULLY WITH ASHRAE 90.1-2009. SUPPLIER/SUB-CONTRACTORS TO PROVIDE REQUIRED DOCUMENTATION.**
- ALL CONSTRUCTION TO CONFORM TO I.C.B.C. 2012 2.1.5. FOR NON-COMBUSTIBLE CONSTRUCTION. ALL SUPPLIERS AND CONTRACTORS TO VERIFY THAT PRODUCTS CONFORM TO REQUIREMENTS FOR NON-COMBUSTIBLE CONSTRUCTION.**

The drawing set is prepared and checked by the architect and is not to be construed as a contract. The contract documents and specifications govern over this drawing set.

NO.	DATE	DESCRIPTION
1		
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5	06/11/16	FINAL PLANNING APPROVAL
6	07/07/16	CONTRACT SIGNATURE
7	07/21/16	PLANNING REVISION
8	07/21/16	PLANNING REVISION
9	07/21/16	ISSUED FOR CONSTRUCTION
10	07/21/16	ISSUED FOR CONSTRUCTION
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PROJEC: 160103-0001  
 DRAWING: 160103-0001-01  
**CSA TRANSPORTATION**  
 ARCHITECTS 1974 & 1988 STELLA ASSOCIATES, S.P.A.  
 (SPAIN)

**DETAILED FLOOR PLAN**

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PROJEC: 160103-0001  
 DRAWING: 160103-0001-01  
**A-3**

10. All drawings are the property of the architect and shall remain confidential. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

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PROJECT: TRANSPORTATION  
**CSA**  
 TRANSPORTATION  
 ADDRESS: 10715 & 10600 20TH AVE, BERTHO, CO, 80526

**OVERALL ELEVATIONS**

REV. DATE DESCRIPTION

DATE: 08/23/18

PROJECT: TRANSPORTATION

**A-4**

**MATERIAL LEGEND**

- CONCRETE TILT-UP WALL TYP. - PAINTED
- VERTICAL R. CORNERS - PAINTED
- PANEL JOINT DUALIZED OVER STEEL FORM JOINTS - PAINTED
- PRE-FINISHED METAL CAP FLASHING
- INTERIOR FRAMES - CLEAR ANODIZED ALUMINUM
- STURDIFRONT GLASS
- STEEL HANDRAILS - PAINTED
- STEEL RECEPTION OVERHEAD DOORS - PAINTED
- STEEL GLAZING - POLISHED CHROME
- CONCRETE REPAIRS WALLS - NATURAL FINISH UNPAINTED TYP.
- MULLION LIGHT - SEE BLUE
- CORNER'S BEAR HAVEL PIPE ANODIZED ALUMINUM
- REINFORC. GLAZING CHANNELS TO MATCH CHANNEL GLAZING
- STEEL GLAZING CHANNELS TO MATCH CHANNEL GLAZING
- STEEL SULLY'S - PAINTED
- CONC. CURB WALLS - PAINTED
- PAINT SYSTEMS AND REVEALS

NOTE: NOT ALL MATERIALS ARE APPLICABLE

**LEGEND:**

- SPANDREL GLAZING
- RAY RECES IN CONCRETE TILT-UP WALLS
- STEEL VERTICALS - GRAY PRIMA LUMINA STONE

**PROJECT COLOURS**

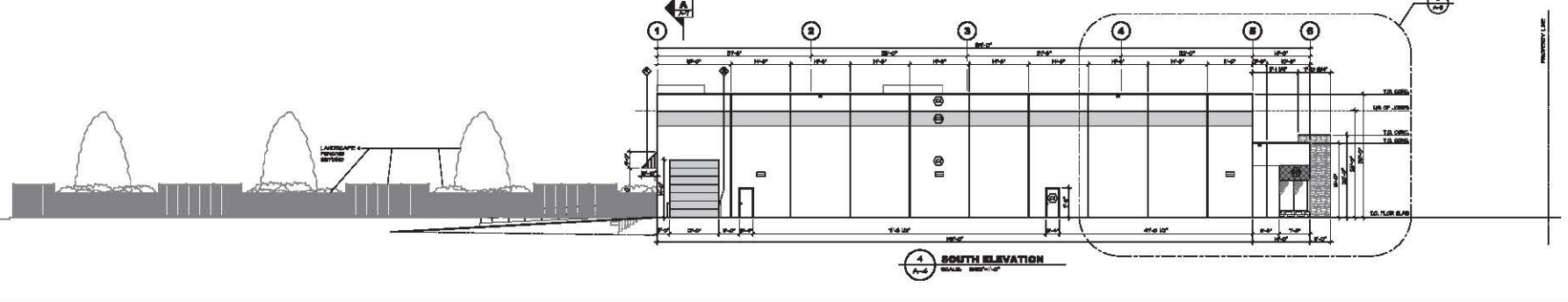
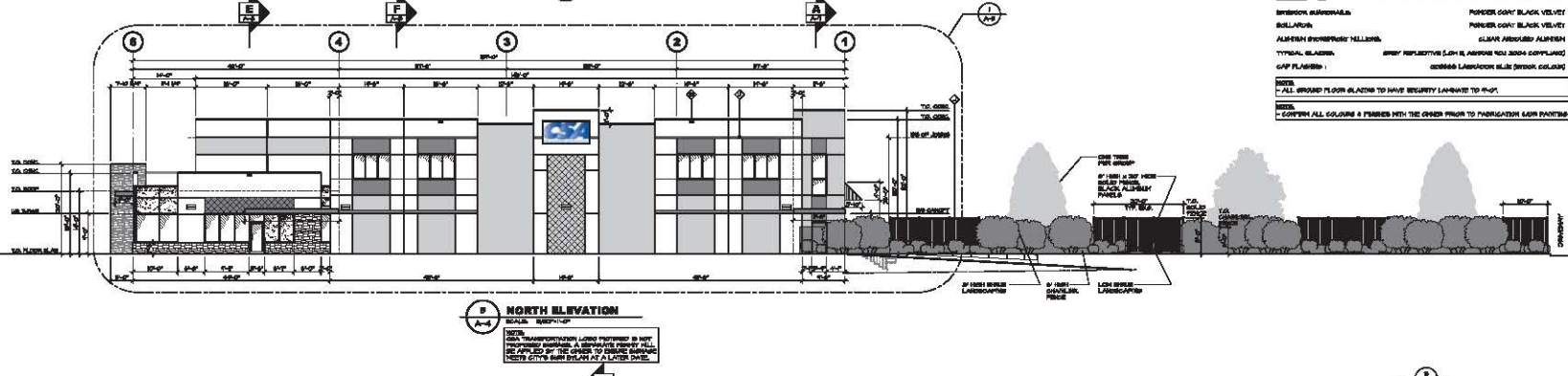
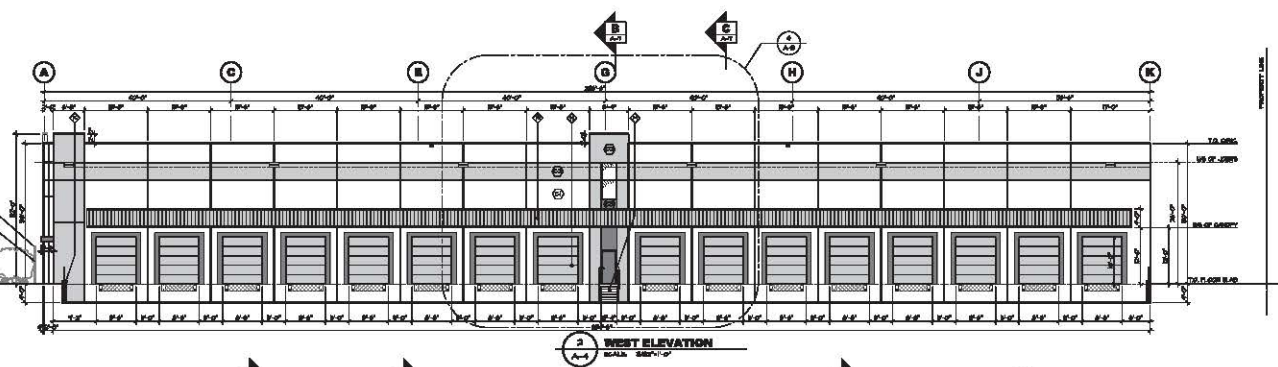
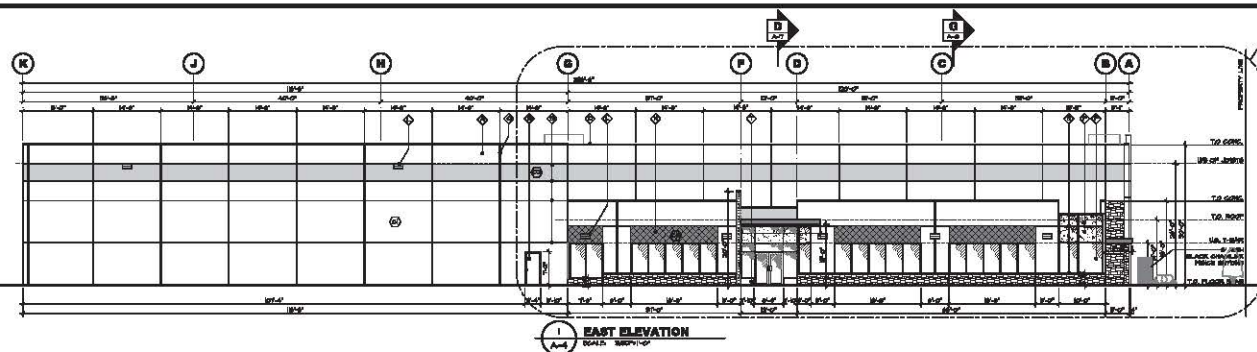
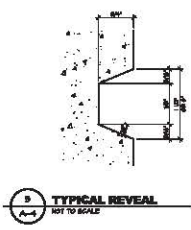
- WALL FIELD COLOUR: BROWN HELLING
- WALL FIELD COLOUR: WOOD GRAY
- WALL ACCESSORY COLOUR: BROWN HELLING
- WALL ACCESSORY COLOUR: WOOD GRAY
- FIELD ACCESSORY COLOUR: BROWN HELLING
- WOOD GRAY

**INTERIOR MATERIALS:**

- INSULATION: POLYURETHANE BLACK VELOCITY
- ALUMINUM OVERHEAD DOORS: CLEAR ANODIZED ALUMINUM
- TYPICAL GLAZING: BRW REFLECTIVE LOW E ANODIZED 100.0004 COVETLARG
- CAP FLASHING: ANODIZED ALUMINUM BLACK

**NOTES:**

- ALL GROUND FLOOR GLAZING TO HAVE SECURITY LAMINATE TO TOP.
- CONVEY ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION AND PAINTING.



1/2" HIGH  
 BLACK PAINT  
 1/2" HIGH ALUM.  
 PANEL, BEYOND

1/2" HIGH  
 1/2" HIGH ALUM.  
 CHANNEL  
 PANEL BEHIND  
 LAMINATED  
 GLASS  
 1/2" HIGH  
 ALUM.  
 PANEL BEHIND

TO CONC.  
 TO CONC.  
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 TO CONC.

LANDSCAPE  
 PLANTING  
 BEHIND

ROAD

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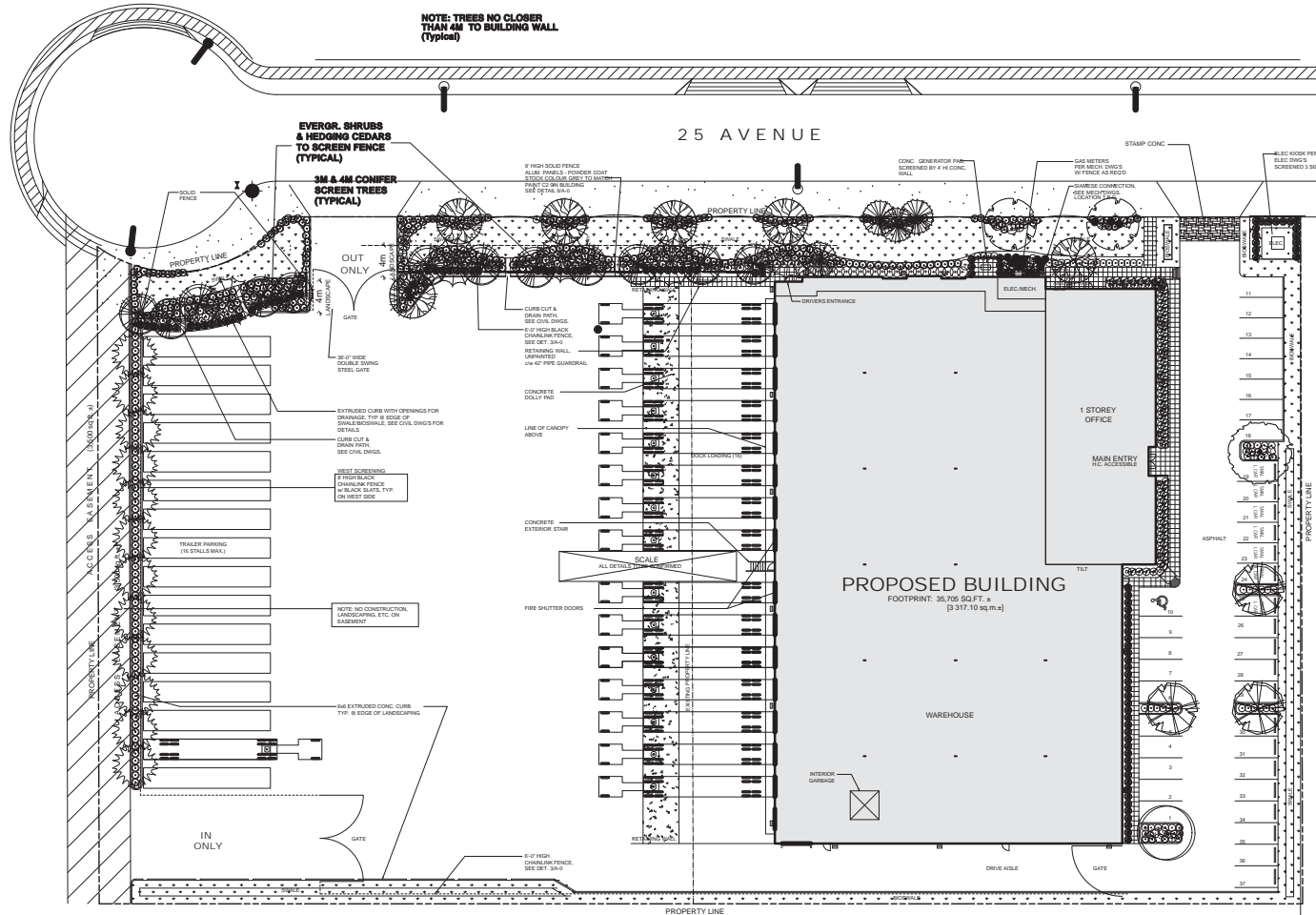
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**PLANT LIST**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
<b>Trees</b>				
	2	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6cm cal / 2m std
	4	<i>Chamaecyparis nodulataensis</i>	Nootka Cypress	3m ht / natural form
	1	<i>Fagus sylvatica 'purpurea'</i>	Purple Beech	7cm cal / 2m std
	1	<i>Fraxinus americana 'Autumn Purple'</i>	Ash	6cm cal / 2m std
	3	<i>Liquidambar styraciflua 'Wopleston'</i>	Sweet Gum	6cm cal / 2 std
	6	<i>Betula jacquemontii</i>	Himalayan Birch	5cm cal / 2m std
	5	<i>Sequoiadendron giganteum</i>	Giant Redwood	4m ht
	12	<i>Thuja occidentalis 'Purdy's'</i>	Western Red Cedar	2.5m H / tree form
	12	<i>Tsuga heterophylla</i>	Western Hemlock	3m ht
<b>Shrubs</b>				
	89	<i>Azalea japonica 'Rosebud'</i>	Japanese Azalea	#3 pot
	2	<i>Hydrangea macrophylla 'Blue Wave'</i>	Hydrangea	#3 pot
	469	<i>Lonicera pileata</i>	Evergreen Honeysuckle	#2 pot
	9	<i>Pieris japonica 'Temple Bell'</i>	Japanese Andromeda	#3 pot
	47	<i>Prunus l. 'Oto Luykeni'</i>	Oto Luyken Laurel	#3 pot
	25	<i>Photinia fraseri</i>	Photinia	#3 pot
	6	<i>Rhododendron 'Christmas Cheer'</i>	Rhododendron (medium var.)	#3 pot
	1	<i>Rhododendron 'Anna Rose Whitney'</i>	Rhododendron (tall var.)	#7 pot
	13	<i>Rosa mediana (various var.)</i>	Hardy French Rose var.	#3 pot
	11	<i>Spiraea x bumaldii 'Froebel'</i>	Spiraea Var.	#3 pot
	113	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Cedar	1.8m ht
	89	<i>Viburnum davidii</i>	Davie's Viburnum	#2 pot
	7	<i>Weigela 'Bratton Ruby'</i>	Weigela	#3 pot
<b>Ground Covers/Perennials</b>				
	25	<i>Colostephus lowfast</i>	Colostephus (shrubby ground cover)	10 cm pot / 45cm o.c. / heavy
	13	<i>Erica darleyensis 'Kramer's Red'</i>	Winter Heather	#1 pot / 45cm o.c.
<b>Notes:</b>				
1. Specification as per most recent BC 'Landscape Standards' and Landscape Design Inc. 'Spec Notes'.				
2. Plants to be selected by Landscape Architect at nursery.				





---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 30, 2013** PROJECT FILE: **7813-0178-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 18718/18744 - 25 Avenue**

**DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to issuance of the Development Permit/  
Development Variance Permit.

**BUILDING PERMIT**

Based on the Development Permit Plans submitted the following issues are to be addressed  
through the Building Permit and/or lot line cancellation process:

***Works and Services***

- Remove existing driveway letdowns and re-instate boulevards.
- Remove, cap and grout redundant service connections.
- Construct new driveway letdowns as approved by the City's Transportation Planning Section.
- Works and services associated with Parent Development project 7810-0301-00 must be completed and accepted prior to issuance of Building Permit.
- Provide on-site stormwater management features as specified in the design drawings for 7810-0301-00 and associated stormwater management design brief requirements specified in the Restrictive Covenant Registered on title.

Based on the Development Permit Plans submitted a Servicing Agreement may not required as a condition of issuance of the Building Permit as all works are likely achievable through City Road and Right of way Permits. Any water service connection works are to be completed by City forces at the applicant's expense.



Rémi Dubé, P.Eng.  
Development Services Manager

LR

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7913-0178-00

Issued To: 0973298 B.C. LTD.  
("the Owner")

Address of Owner: 3030 - Gilmore Diversion  
Burnaby, BC V5G 3B4

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-156-441

Parcel A (Being a Consolidation of Lots 12 & 13, See CA3334208) Section 21 Township 7 New Westminster District Plan EPP24887

18744 - 25 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:  
  
In Section J.3 of Special Regulations of "Comprehensive Development Zone (CD By-law No. 17536)" in Area B, areas for parking of trucks and trailers associated with the uses and operations allowed on the *lot*, other than loading spaces in front of the loading doors, may be located within the *side yard*.
4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
8. This development variance permit is not a building permit.

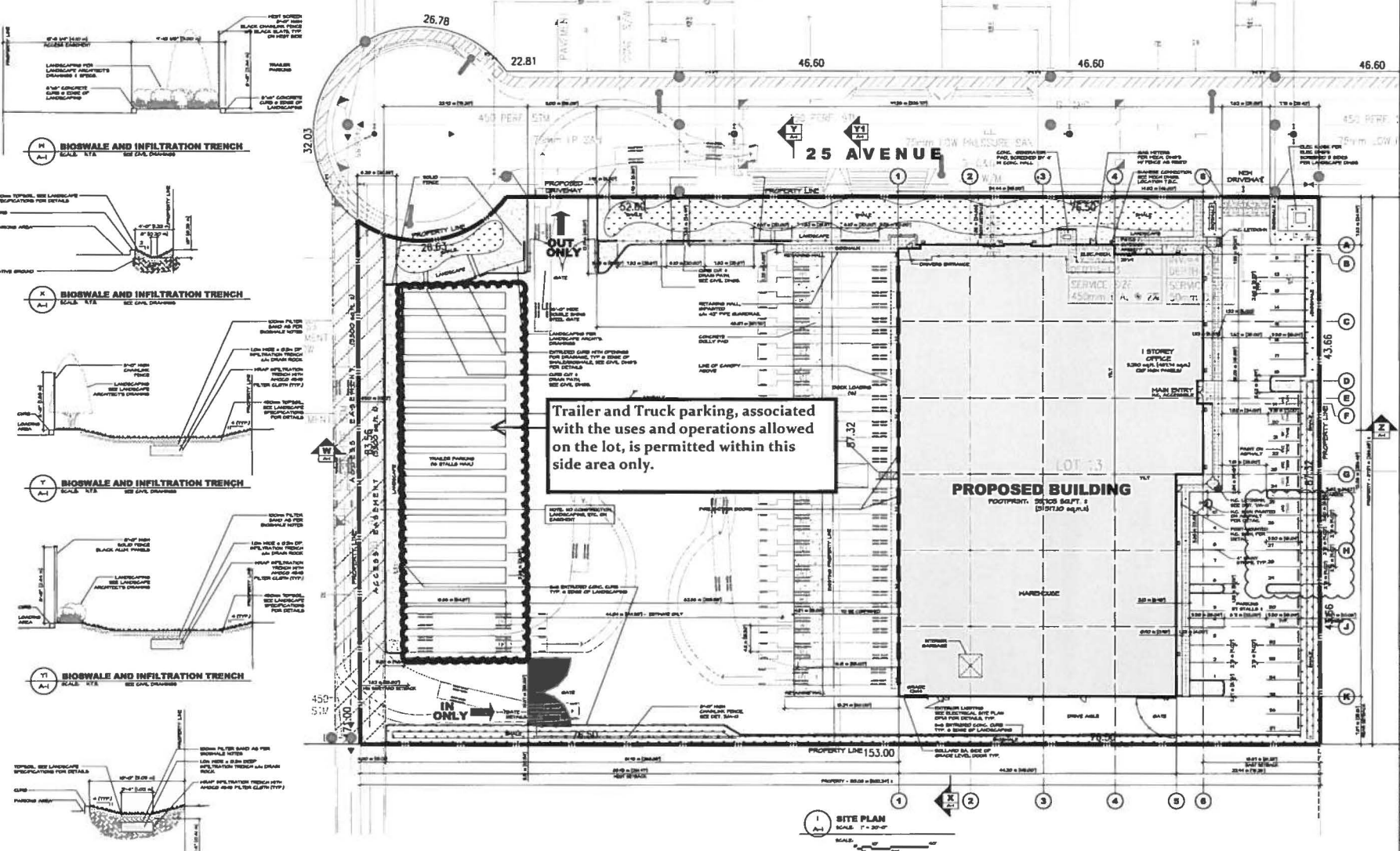
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

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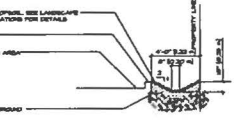
Mayor – Dianne L. Watts

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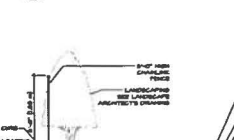
City Clerk – Jane Sullivan



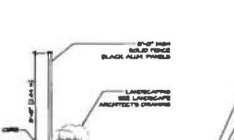
**M BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"  
SEE CIVIL DRAWINGS



**N BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"  
SEE CIVIL DRAWINGS



**Y BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"  
SEE CIVIL DRAWINGS



**Y1 BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"  
SEE CIVIL DRAWINGS



**Z BIOSWALE AND INFILTRATION TRENCH**  
SCALE: 1/4" = 1'-0"  
SEE CIVIL DRAWINGS



**GENERAL NOTES:**

1. SITE PLAN SHALL BE CONSIDERED ONLY, SEE CIVIL DRAWINGS FOR FINAL LOCATIONS.
2. CONTRACTOR TO PROVIDE DESIGN FOR WALL BARRIERS BY REFERENCED ALLIANCE DURING CONSTRUCTION, SUBJECT TO CITY ENGINEER'S REVIEW.
3. SEE MECHANICAL ENGINEERING DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & VESSELS.
4. SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL.
5. ALL CONSTRUCTION PRODUCTS AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE BUILDING CODES, LOCAL ORDINANCES, REGULATIONS, TESTS, METHODS AND ALL ALL APPLICABLE TO THE PROJECT.
6. SUBCONTRACTORS ARE SOLELY RESPONSIBLE TO OBTAIN NECESSARY PERMITS AND TO HAVE NECESSARY DOCUMENTATION AVAILABLE, DEMONSTRATING FULL COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
7. THE CONTRACTOR MUST OBTAIN ALL NECESSARY AND APPROPRIATE PERMITS AND APPROVALS FROM THE CITY ENGINEER, LOCAL OFFICIALS, INSURANCE, UTILITIES, TESTS, METHODS AND ALL ALL APPLICABLE TO THE PROJECT.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SUPPLIER'S MANUFACTURING SPECIFICATIONS AND THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER, LOCAL OFFICIALS, INSURANCE, UTILITIES, TESTS, METHODS AND ALL ALL APPLICABLE TO THE PROJECT.
9. ALL MATERIALS IN THE CONSTRUCTION TO BE USED FROM THESE REFERENCED SPECIFICATIONS AND THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER, LOCAL OFFICIALS, INSURANCE, UTILITIES, TESTS, METHODS AND ALL ALL APPLICABLE TO THE PROJECT.
10. SUBCONTRACTORS SHALL BE CONTACTED AND INSTALLED SO THAT ALL JOBS ARE COMPLETED AND ALL MATERIALS ARE INSTALLED AND ALL JOBS ARE COMPLETED AND ALL MATERIALS ARE INSTALLED AND ALL JOBS ARE COMPLETED AND ALL MATERIALS ARE INSTALLED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION FROM HERE TO BE SHOWN BY ANY PARTY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION FROM HERE TO BE SHOWN BY ANY PARTY.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION FROM HERE TO BE SHOWN BY ANY PARTY.
14. ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION FROM HERE TO BE SHOWN BY ANY PARTY.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION FROM HERE TO BE SHOWN BY ANY PARTY.
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20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION FROM HERE TO BE SHOWN BY ANY PARTY.

**DEVELOPMENT DATA**

NET LOT AREA: 182 N.A. (3.21 AL.)  
 PROPOSED BUILDING AREA FOOTPRINTS: 88 N.A. (1.61 AL.)  
 SITE COVERAGE: 48% MAX.  
 P.A.L. (PERMITTED FLOOR AREA / SITE AREA) = 0.280

**RETRAGS:**

FRONT SETBACK	10' (1.83 FT)	PROPOSED	140' (25.47 FT)
REAR SETBACK	10' (1.83 FT)	PROPOSED	140' (25.47 FT)
SIDE SETBACK	10' (1.83 FT)	PROPOSED	140' (25.47 FT)
MIN. SIDE YARD SETBACK	5' (0.91 FT)	PROPOSED	140' (25.47 FT)

**NOTE: SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING**

**NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION FROM HERE TO BE SHOWN BY ANY PARTY.
- CONTRACTOR TO PROVIDE DESIGN FOR WALL BARRIERS BY REFERENCED ALLIANCE DURING CONSTRUCTION, SUBJECT TO CITY ENGINEER'S REVIEW.
- SEE MECHANICAL ENGINEERING DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & VESSELS.
- SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL.
- NO FREE STANDING SIGNS.

**NOTE: SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING**

**SITE PLAN LEGEND**

- PROPOSED GRADE SEE CIVIL AND DRP'S
- EXIST. GRADE
- DRY GRADE
- TRUCK TRAIL
- TRUCK TRAIL
- TRUCK TRAIL

**Beedie | Development Group**  
 3030 CLAUDE DRIVE, BURNABY, B.C. V5A 3K4  
 TEL: (604) 435-3321 FAX: (604) 432-7349

**CHIP BARRETT ARCHITECT**  
 1000 WEST 10TH AVENUE, SUITE 100  
 VANCOUVER, B.C. V6H 1T4  
 TEL: (604) 681-7777 FAX: (604) 681-7778  
 WWW.CHIPBARRETTARCHITECT.COM

**D.EDGE DESIGN LTD.**  
 1000 WEST 10TH AVENUE, SUITE 100  
 VANCOUVER, B.C. V6H 1T4  
 TEL: (604) 681-7777 FAX: (604) 681-7778  
 WWW.DEDGEDESIGN.COM

NO.	DATE	DESCRIPTION
1	NOV 20 10	BLANK SHEET
2	NOV 20 10	BLANK SHEET
3	NOV 20 10	BLANK SHEET
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19	NOV 20 10	BLANK SHEET
20	NOV 20 10	BLANK SHEET

**PROJECT DRAWING NUMBER: A-1**

**CSA TRANSPORTATION**  
 ADDRESS: 1070 15TH AVENUE, SUITE 100, BURNABY, B.C. V5A 3K4  
 TEL: (604) 435-3321 FAX: (604) 432-7349

**SITE PLAN**

NO.	DATE	DESCRIPTION
1	NOV 20 10	BLANK SHEET
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