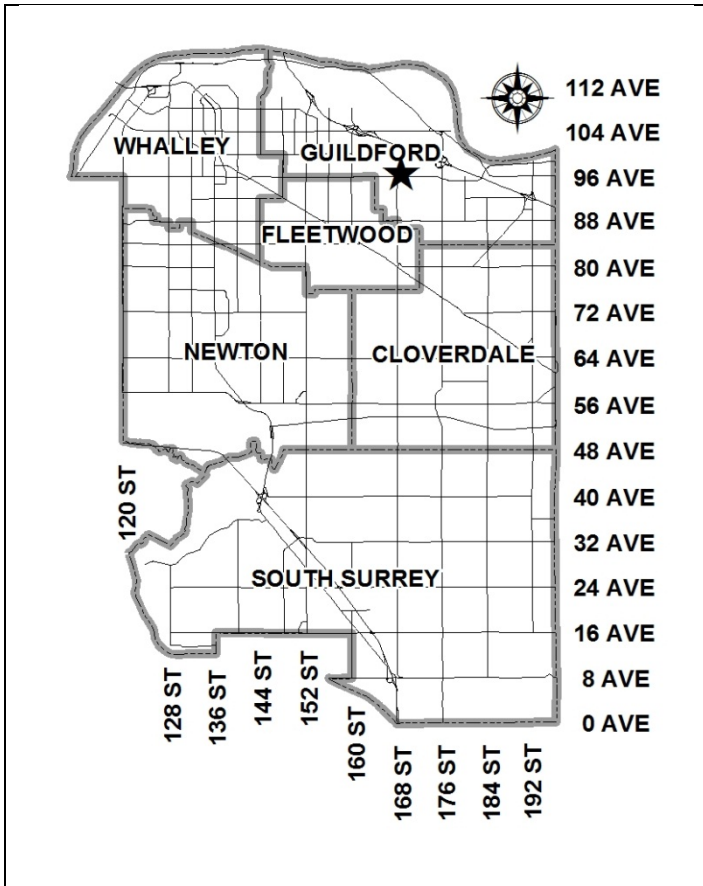


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0185-00

Planning Report Date: December 16, 2013



PROPOSAL:

- **Rezoning** from CG-2, C-4 and RA to CD (based on CG-2)
- **Development Permit**

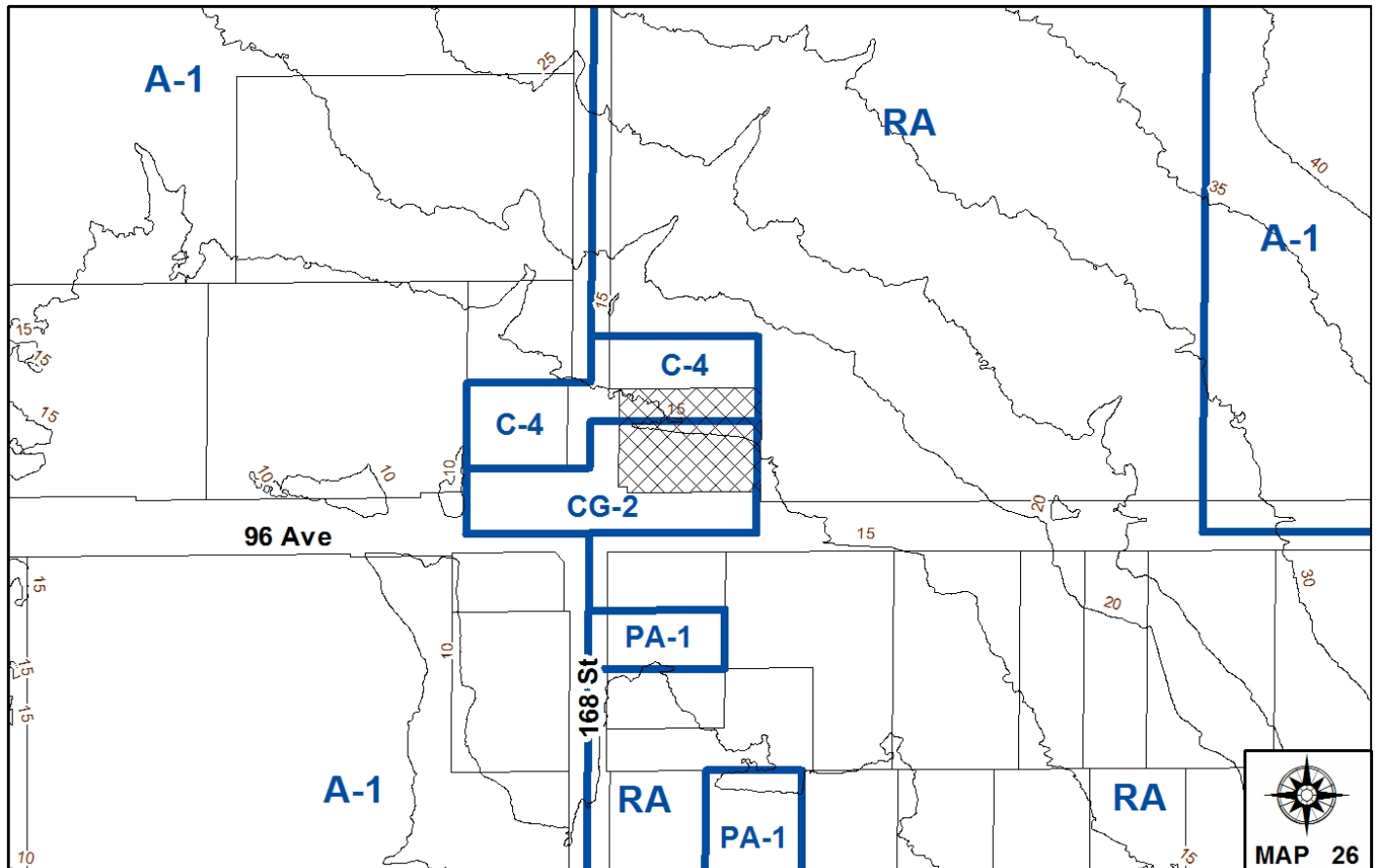
to permit the redevelopment of a gasoline service station, car wash and convenience store and incorporate a drive-through restaurant.

LOCATION: 16811 - 96 Avenue and
 9624 - 168 Street

OWNERS: Sandhurst Properties Inc.
 City Of Surrey

ZONING: CG-2, C-4 and RA

OCP DESIGNATION: Suburban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP designation.
- The size of the retail store and the inclusion of a drive-through restaurant are typical of new gasoline stations.
- Complies with City Policy No. O-58 Requirement for Alternative Fuel Infrastructure Related to Gasoline Stations, as the applicant intends to include propane as a fuel option.
- The proposal generally satisfies the OCP Design Guidelines for Gas Stations.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Combined Service Gasoline Station Zone (CG-2)" (By-law No. 12000), "Local Commercial Zone (C-4)" (By-law No. 12000) and "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7913-0185-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) issuance of a Certificate of Compliance from the Ministry of Environment, Contaminated Sites Branch;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (f) submission of adequate security to ensure the installation of the alternative fuel infrastructure, as per City Policy No. O-58, to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Recently vacant site, former Esso Gas Station.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Tynehead Regional Park	Suburban	RA
East:	Tynehead Regional Park	Suburban	RA
South (Across 96 Avenue):	Vacant land and Tynehead Community Hall	Designated Neighbourhood Commercial in Anniedale Tynehead NCP	RA and PA-1
West (Across 168 Street):	Vacant	Suburban	CG-2 and C-4

DEVELOPMENT CONSIDERATIONSBackground

- A gasoline service station was originally constructed on the CG-2-zoned subject site in 1957. The original gasoline service station consisted of refueling pumps and an automotive repair shop.
- In 1996, the service station underwent a renovation to improve the external aesthetics and to remove the automotive repair garage. As the site was not in a Development Permit Area at the time of the renovation, a Development Permit was not required before the issuance of a building permit.
- In 2012, the City initiated capitol construction works on 96 Avenue to construct the ultimate four-lane cross section of this road between 152 Street and 176 Street. The City and the owner of the CG-2-zoned portion of the subject site entered into negotiations for the acquisition of required road widening along the 96 Avenue frontage. However, during negotiations it was determined that the pump island canopy and the underground fuel tanks of the existing service station extended into the required road dedication. As a result, negotiations were put on hold pending resolution of the issue.
- All portions of the 96 Avenue road widening project between 152 Street and 176 Street have now been completed, other than the portion of road fronting the subject property. However, the owner of the subject site and the City have completed negotiations for the acquisition of this portion of 96 Avenue and the owner is ready to move forward with the redevelopment of the property.
- The Esso gasoline station on the CG-2-zoned portion of the subject site was recently demolished. No building existed on the C-4-zoned portion, which is City-owned. The site is,

therefore, currently vacant.

Current Proposal

- The subject site is located at 16811 – 96 Avenue and 9624 - 168 Street and comprises an area of 4,299 square metres (46,276 sq. ft.). The site is designated Suburban (with a minor sliver designated Conservation) in the Official Community Plan (OCP) and is currently zoned Combined Service Gasoline Station Zone (CG-2), Local Commercial Zone (C-4) and One-Acre Residential Zone (RA).
- As part of the negotiations for the road acquisition for the completion of 96 Avenue, a portion of 17269 – 96 Avenue owned by Metro Vancouver was subdivided by statutory right-of-way (BCP51985) and was transferred to the City. This new lot is split-zoned C-4 and RA. The area of this property is equivalent to the area of the required road dedications along 168 Street and 96 Avenue (0,145 hectares / 0.35 acres) and is included in the subject rezoning.
- The applicant is proposing to rezone the site from CG-2, C-4 and RA to a Comprehensive Development Zone (CD) based on the CG-2 and C-4 Zones and is including a drive-through restaurant component . The purpose of the rezoning is to allow for the redevelopment of a new Esso gasoline station, convenience store, car wash, and a drive-through restaurant.
- The applicant is proposing to construct a combined full-service and self-service gas station, a 71-square metre (765 sq. ft.) restaurant with a drive-through component , a 226-square metre (2,432 sq. ft.) convenience store and a 110-square metre (361 sq. ft.) car wash.
- The applicant was requested to consider providing additional fuel choices, other than gasoline, which is in keeping with the City’s objective of encouraging a wider use of more environmentally friendly fuels and incorporated in the service station zones in Zoning By-law No. 12000 through recent amendments.
- In accordance with City Policy No. O-58, approved by Council on June 25, 2012 (Corporate Report No. R146), any of the following alternative fuel or recharging infrastructure is to be provided with any new gasoline station:
 - Level-3 electric vehicle (EV) charging station (also known as a DC fast charger), or its equivalent;
 - Fast-fill compressed natural gas (CNG) vehicle refuelling station;
 - Hydrogen vehicle refuelling station; and/or
 - Liquefied petroleum gas (propane) vehicle refuelling station.
- The applicant has advised that the station will provide gasoline, bio-diesel and propane dispensing options. The provision of propane will be ensured by the submission of a \$75,000 letter of credit, as per City Policy No. O-58.

Proposed CD By-law

- The applicant is proposing to rezone the site to a CD Zone which will incorporate elements and requirements of both the CG-2 and C-4 Zones, but incorporates major modifications to the maximum size of the convenience store and includes a drive-through restaurant.

- The proposed floor area ratio (FAR) for the combined uses on this site is 0.10 which is below the maximum 0.30 FAR permitted in the CG-2 Zone, while the proposed lot coverage, including the convenience store, restaurant, car wash and area under the pump island is 10.2% which is below the maximum 30% permitted in the CG-2 Zone.
- The difference between the CG-2 Zone and the proposed CD By-law are as follows:

	CG-2 Zone	Proposed CD By-law
Permitted Uses	<ul style="list-style-type: none"> • Combined gasoline service station • Convenience store limited to 28 square metres (300 sq. ft.) 	<ul style="list-style-type: none"> • Combined gasoline service station • Convenience store with 226 square metre (2,432 sq. ft.) of floor area • Drive-through restaurant
Building Height	6.0 metres (20 ft.)	7.9 metres (26 ft.)
Accessory Building Height	4 metres (13 ft.)	4.9 metres (16 ft.)

- The convenience store floor area is proposed to be increased from the maximum 28 square metres (301 sq. ft.) permitted under the CG-2 Zone, to 226 square metres (2,432 sq. ft.). The proposed size is now typical of convenience stores associated with gas stations that have been redeveloped or purpose-built over the past ten years or so. The scale of this store is more in keeping with the type of retail permitted in the C-4 Zone.
- The maximum height of the convenience store will be 7.9 metres (26 ft.). This height is greater than other service station convenience stores because of the Esso signature architectural tower located above the convenience store entry doors.

PRE-NOTIFICATION

In accordance with Council policy, a development proposal sign was erected on the property and pre-notification letters were mailed to area residents (on August 23, 2013). To date, staff received one telephone call.

- The caller asked staff to clarify if there would be seating area in the restaurant. The caller was advised that the restaurant would incorporate seating, at which point the caller indicated that she was in support of the proposal.

DESIGN PROPOSAL AND REVIEW

- The proposal complies with the OCP Design Guidelines for Gas Stations in a residential area. The canopies have a low, slim profile, with recessed lighting on the underside of the canopy. The finishing materials of the convenience store/restaurant and the car wash reflect residential materials with the proposed stone and siding combination. The recycling and garbage containers have been located behind overhead garage-type doors.
- The main building which contains the drive-through restaurant and convenience store is located on the northerly portion of the site. The vehicles using the drive-through restaurant enter from the south side of the site near the 96 Avenue driveway access. The drive-through

egresses at the west side of the building, parallel 168 Street. There is adequate spacing to allow for approximately 16 vehicles to queue to place a food order.

- The pump islands are covered by a canopy which is not physically connected to the main structure. The car wash is oriented north/south and is located on the east portion of the site.
- As the site is immediately north, across 96 Avenue, from the historic Tynehead Community Hall, the design of the proposed convenience store and car wash reflect a similar heritage character with horizontal wood siding, shingle roofing and bracing underneath the roof overhang.
- The pump island canopy is minimalistic in its design and carries an illuminated red band around the canopy. The brand name (Esso) is located on the north and south elevations of the canopy which satisfies the maximum number of signs permitted in the Sign By-law.
- There are a total of six pumps proposed, with an at-grade propane refueling pad located near the car wash.
- The garbage and recycling area are enclosed behind overhead doors on the east side of the building.
- Parking for the patrons includes 9 parking spaces in front of the convenience store, and six in front of the car wash, totaling 15 spaces. The Zoning By-law requires a total of 12 spaces for the proposed uses on the site.
- Two vehicular access points are proposed: one from 96 Avenue which will be limited to right-in/right out; and the second on 168 Street.
- The OCP Design Guidelines for Gas Stations requires a minimum 3.0-metre (10 ft.) wide landscape area adjacent road frontages. The proposed landscaping along both the 96 Avenue and 168 Street frontages of the subject site satisfies this requirement and incorporates a mixture of deciduous and coniferous trees and shrubs, with some perennials.
- The existing cycling/walking path through Tynehead Regional Park joins the multi-use pathway that runs along the north side of 96 Avenue connecting at the south-east corner of the site. The applicant is proposing to enhance the intersection of these two major pathways by constructing a hard surfaced plaza with benches and a bike rack that can be enjoyed by park users, bike riders and customers of the convenience store and restaurant.
- A 4.1-metre (13.1 ft.) high free standing sign is proposed on the east side of the 96 Avenue driveway entrance. It is proposed to be set back 2.0 metres (6.54 ft.) from the new property line. The base of the sign has a similar stone accent base as the principal building. The fascia sign advertises the price of fuel, as well as the name of the convenience store, the drive-through company name, which is not confirmed at this time, and payment options available on site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on September 26, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The site is located in a rural area and has historic zoning.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> This is a commercial development in an area with few amenities. The target markets will be commuter traffic and users of the Tynehead Park and Off Leash Dog Park.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> The proposed CD By-law includes the provision of alternative fuels and propane is intended.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The site incorporates a resting area for pedestrians and cyclists, with bike racks and benches.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> N/A
6. Green Certification (F1)	<ul style="list-style-type: none"> No
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> The ratepayers association has been notified about the proposed development.

ADVISORY DESIGN PANEL

The attached plans were not reviewed by the Advisory Design Panel but have been reviewed by Planning staff and, in general, were found to be satisfactory. Prior to issuance of the Development Permit, the applicant is to submit a landscaping cost estimate to the satisfaction of the City Landscape Architect.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Subdivision Layout, Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural prepared by GL Smith and Landscape Plans prepared by C. Kavolinas & Associates, dated October 4, 2013 and September 2013 respectively.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

LAP/da

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. Agent: Name: G.L. Smith Planning & Design Inc.
 Address: 229 - Sheppard Avenue West
 Toronto, Ontario M2N 1N2

 Tel: (416)497-3662 ext. 4301 - Work
 (416)497-3662 ext. 4301 - Fax

2. Properties involved in the Application
 - (a) Civic Address: 16811 - 96 Avenue
 9624 - 168 Street

 - (b) Civic Address: 16811 - 96 Avenue
 Owner: Sandhurst Properties Inc
 PID: 011-316-918
 South 165 Feet Lot 8 Section 6 Township 9 New Westminster District Plan 8652 Except
 Plan EPP26238

 - (c) Civic Address: 9624 - 168 Street
 Owner: City Of Surrey
 PID: 029-063-671
 That Part of Lot 1 Section 6 Township 9 New Westminster District Plan BCP44462 Shown
 on Plan BCP1985

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on CG-2 and C-4)

Required Development Data	Minimum Required / Maximum Allowed in CG-2 Zone		Proposed	
LOT AREA* (in square metres)				
Gross Total				
Road Widening area				
Undevelopable area				
Net Total			4,299m ²	
LOT COVERAGE (in % of net lot area)	30%		21%	
Buildings & Structures			62.6%%	
Paved & Hard Surfaced Areas			83.6%	
Total Site Coverage				
SETBACKS (in metres)	<u>Buildings</u>	<u>Canopy</u>	<u>Buildings</u>	<u>Canopy</u>
Front (168 St.)	12.0m	2.0m	12m	10.6m
Rear	4.0m	2.0m	6.6m	>2m
Side #1 (N)	12.0m	2.0m	5.9m	>2m
Side #2 (S)	12.0m	2.0m	23.2m	5.6m
BUILDING HEIGHT (in metres/storeys)				
Principal	6.0m		7.9m	
Accessory	4.0m		4.9m	
Canopy	6.0m		5.35m	
NUMBER OF RESIDENTIAL UNITS	n/a		n/a	
Bachelor				
One Bed				
Two Bedroom				
Total				
FLOOR AREA: Residential				
FLOOR AREA: Store	1,289m ²		297m ²	
Eating Establishment			71 m ²	
Car Wash			110 m ²	
Total	1,289m ²		478m ²	
FLOOR AREA: Industrial				
FLOOR AREA: Institutional				
TOTAL BUILDING FLOOR AREA	1,289m ²		478m ²	

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed in CG-2 Zone	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.30	.11
AMENITY SPACE (area in square metres)	n/a	n/a
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	9	9
Eating Establishment	3	6
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	12	15
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	N/A
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STATUTORY RIGHT OF WAY PLAN OF A PORTION OF LOT 1 SECTION 6 TOWNSHIP 9

NEW WESTMINSTER DISTRICT PLAN BCP44462 EXCEPT PLAN BCP 51980

BCGS 92G.017

PURSUANT TO SECTION 114, LAND TITLE ACT

LEGEND

- ⊙ DENOTES CONTROL MONUMENT FOUND
- DENOTES STANDARD IRON POST FOUND
- ⊙ DENOTES NON-STANDARD IRON POST FOUND
- DENOTES STANDARD IRON POST SET

SCALE 1:500



ALL DISTANCES ARE IN METRES.

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (USE C SIZE SHEET) WHEN PLOTTED AT A SCALE OF 1:500.

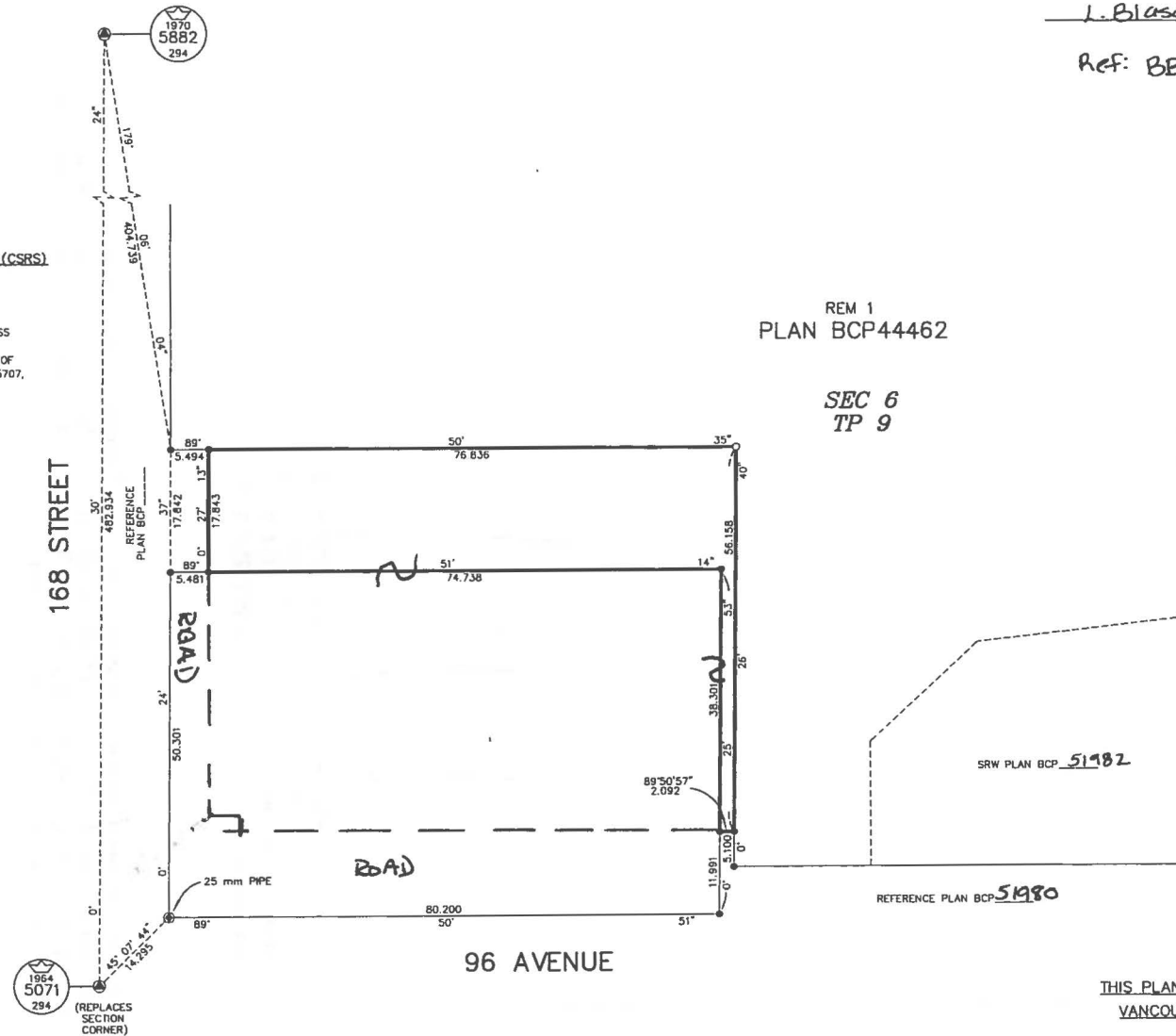
INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83 (CSRS)

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 5071 AND 5882.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9996020 WHICH HAS BEEN DERIVED FROM 5071, 5072, 5193, 5707, 5708, 5710, 8614 AND 5882.

CITY OF SURREY
SURVEY SECTION

14245 - 56 AVE.
SURREY, B.C. V3X 3A2
TEL. (604) 591-4253
FAX. (604) 591-8693



PLAN BCP 51985

DEPOSITED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.

April 22, 2013
2012

L. Blaschuk per: AF
REGISTRAR

Ref: BB 3007239

REM 1
PLAN BCP44462

SEC 6
TP 9

SRW PLAN BCP 51982

REFERENCE PLAN BCP 51980

THIS PLAN LIES WITHIN THE GREATER
VANCOUVER REGIONAL DISTRICT

I, MONTGOMERY C. BRISSON, A BRITISH COLUMBIA LAND SURVEYOR,
CERTIFY THAT I WAS PRESENT AT AND PERSONALLY
SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN, AND THAT THE
SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON
THE 28TH DAY OF JULY, 2010. THE PLAN WAS COMPLETED,
AND CHECKED, AND THE CHECKLIST FILED UNDER # 113234, ON
THE 28TH DAY OF JULY, 2012.

INSPECTED UNDER THE LAND TITLE ACT
THIS 27th DAY OF NOVEMBER, 2012.

MONTGOMERY C. BRISSON, BCLC

B.C.L.S.

Proposed Plan of Subdivision
Appendix II



PROJECT NUMBER:
 229 Sheppard Ave W.
 Toronto, ON
 M5S 1K2
 T:416.477.3662
 F:1.855.672.7999
 info@gsrl.co
 www.gsrl.co

Robert M. DORRIS, Architect, ARIBA
 Project: James & Chen, Interior and
 Architecture
 1. TO CONFORM TO ALL APPLICABLE
 2. TO CONFORM TO ALL APPLICABLE
 3. TO CONFORM TO ALL APPLICABLE
 4. TO CONFORM TO ALL APPLICABLE

GENERAL NOTES:
 1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED AND UNLESS SPECIFICALLY NOTED TO THE CONTRARY.
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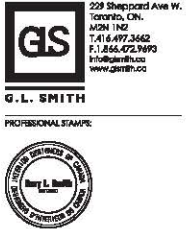
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 WOOD SIDING COLOUR: T.S.A.
 T.O. BRICK: (2000)
 STONE COLOUR: T.S.A.
 BRICK: T.O. CONC. SLAB (0.00)

1 FRONT ELEVATION (SOUTH)
 ELEV. SCALE: 1:50

2 SIDE ELEVATION (WEST)
 ELEV. SCALE: 1:50

3 SIDE ELEVATION (EAST)
 ELEV. SCALE: 1:50

4 REAR ELEVATION (SOUTH)
 ELEV. SCALE: 1:50



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 2. 10/21/2013 REVISED AS PER COMMENTS FROM
 3. 10/21/2013 REVISED AS PER COMMENTS FROM



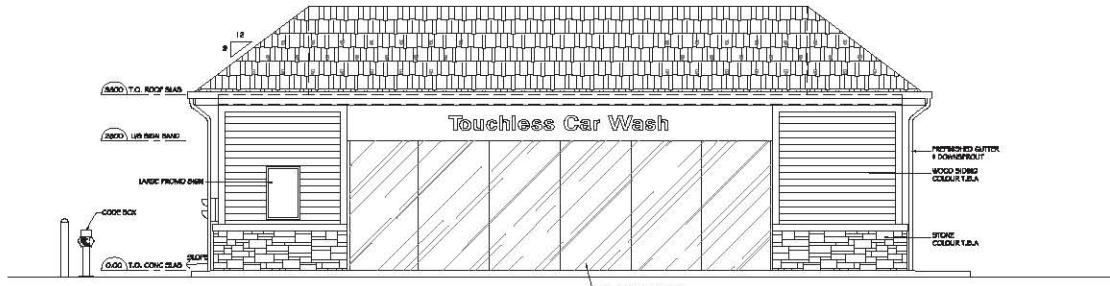
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 SURREY BC
 V4N 2C5

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 FOR COMMENTS ONLY

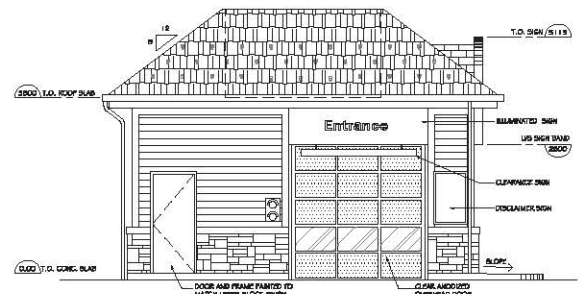
REVISION	DATE	DESCRIPTION

PROPOSED EXTERIOR ELEVATIONS FOR C-STORE

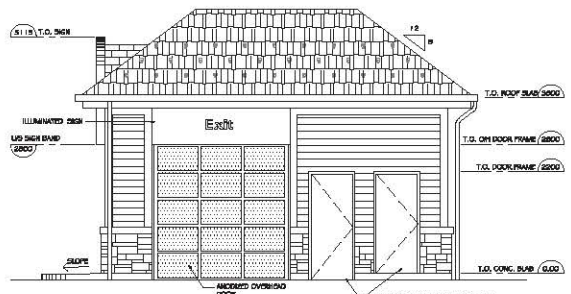
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 CHECKED BY: GS
 PROJECT NO: 12-1075



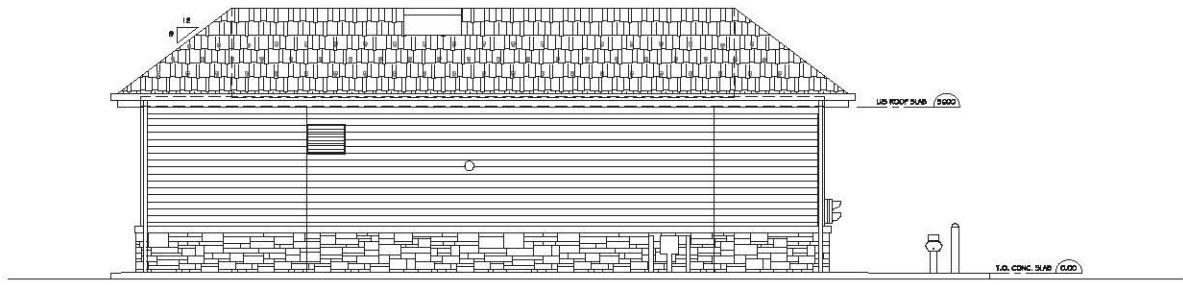
1 FRONT ELEVATION (WEST)
ELEV.
SCALE: 1:50



2 SIDE ELEVATION (NORTH)
ELEV.
SCALE: 1:50



3 SIDE ELEVATION (SOUTH)
ELEV.
SCALE: 1:50



4 REAR ELEVATION (EAST)
ELEV.
SCALE: 1:50

PROJECT NUMBER: _____

Richard M. DORRIS, Architect, ARBC
Project Number: 229 Sheppard Ave. W. TORONTO, ON. M2N 1N2
1 416 497 3662
1 855 672 7999
RDORRIS@GMAIL.COM

1 PREPARED BY: RDORRIS
2 CHECKED BY: RDORRIS
3 APPROVED BY: G.L. SMITH OR LUY YU

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6. CONTRACTOR SHALL NOT BE USED FOR INFORMATION UNLESS SHOWN AND MARKED BY THE ARCHITECT.

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GS

G. L. SMITH

PROFESSIONAL STAMPE

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REVISION

NO.	DATE	DESCRIPTION	BY

NO.	DATE	DESCRIPTION	BY
1	2015-10-15	ISSUED FOR PERMITS	SL
2	2015-10-15	ISSUED FOR PERMITS	SL
3	2015-10-15	ISSUED FOR PERMITS	SL
4	2015-10-15	ISSUED FOR PERMITS	SL

On the Run

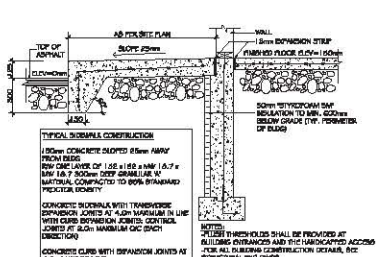
16811 96TH AVENUE
SURREY BC
V4N 2C5

PROPOSED EXTERIOR ELEVATIONS FOR CAR WASH

NO.	DATE	DESCRIPTION	BY
1	2015-10-15	ISSUED AS PER COMMENTS RECEIVED FROM PERMITS DEPARTMENT	SL
2	2015-10-15	ISSUED AS PER COMMENTS RECEIVED FROM PERMITS DEPARTMENT	SL
3	2015-10-15	ISSUED AS PER COMMENTS RECEIVED FROM PERMITS DEPARTMENT	SL
4	2015-10-15	ISSUED AS PER COMMENTS RECEIVED FROM PERMITS DEPARTMENT	SL

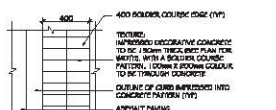
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DRAWN BY: SL	DRAWING NO: EL-2
CHECKED BY: GS	PROJECT NO: 12-1075

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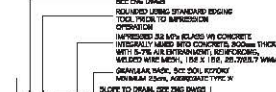
1 SECTION THROUGH SIDEWALK (TYP.)
SCALE: 1:20

TYPICAL REINFORCEMENT CONSTRUCTION:
1. 150mm CONCRETE SLAB 150mm THICK FROM BENCH.
2. REINFORCEMENT BARS OF 10mm DIA. @ 150mm X 150mm (A.7 x B.7) IN 100mm DEEP CHAIRS IN BENCH.
3. REINFORCEMENT BARS OF 10mm DIA. @ 150mm X 150mm (A.7 x B.7) IN 100mm DEEP CHAIRS IN BENCH.
4. REINFORCEMENT BARS OF 10mm DIA. @ 150mm X 150mm (A.7 x B.7) IN 100mm DEEP CHAIRS IN BENCH.



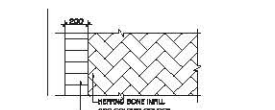
2 APRON PLAN (TYP.)
SCALE: 1:20

NOTES:
1. FINISH GRADE OF CONCRETE CURB TO BE 50mm ABOVE FINISHED FLOOR (SLAB) SOffit.
2. REINFORCEMENT BARS TO BE 10mm DIA. @ 150mm X 150mm (A.7 x B.7) IN 100mm DEEP CHAIRS IN BENCH.
3. REINFORCEMENT BARS TO BE 10mm DIA. @ 150mm X 150mm (A.7 x B.7) IN 100mm DEEP CHAIRS IN BENCH.



3 SECTION THROUGH IMPRESSED CONCRETE PAVING, APRON & DISPLAY AREA (TYP.)
SCALE: 1:20

NOTES:
1. INSTALL TO MANUFACTURERS SPECIFICATIONS & FINISH SUBMITTED WITH APPROVED DRAWINGS.
2. COORDINATE WITH ARCHITECTURAL DRAWINGS AND SOIL REPORT.
3. IMPRESSED CONCRETE, SEE SUPPLEMENTARY NOTES TO DRAWING 100-1000-1000.
4. PATTERN OF IMPRESSED CONCRETE TO BE TYPICAL. 5. BLOCKOUT YOUR SURFACE.



4 OPEN PAVED AREAS PLAN (TYP.)
SCALE: 1:20

NOTES:
1. FINISH GRADE OF CONCRETE CURB TO BE 50mm ABOVE FINISHED FLOOR (SLAB) SOffit.
2. REINFORCEMENT BARS TO BE 10mm DIA. @ 150mm X 150mm (A.7 x B.7) IN 100mm DEEP CHAIRS IN BENCH.



5 IMPRESSED CONCRETE APRON PLAN & SECTION (TYP.)
SCALE: 1:20

NOTES:
1. FINISH GRADE OF CONCRETE CURB TO BE 50mm ABOVE FINISHED FLOOR (SLAB) SOffit.
2. REINFORCEMENT BARS TO BE 10mm DIA. @ 150mm X 150mm (A.7 x B.7) IN 100mm DEEP CHAIRS IN BENCH.

BACKLOG - IMPRESSED CONCRETE GUIDELINES FOR LRS

PART I - CONCRETE
1.01 FOR DIFFERENT APPLICATION CONCRETE SHALL CONFORM TO C.S.A. TYPE 1 AND FOR CLASS C2 CONCRETE TYPE A, TYPE 400 - MINIMUM 50 MPa COMPRESSIVE STRENGTH - 28 DAYS MINIMUM WETTED WEIGHT MATERIAL RATIO - 2:1:1 - AIR CONTENT - 4.0% TO 5.0% FOR CLASS C2 CONCRETE TYPE A OR 6.0% TO 8.0% FOR CLASS C2 CONCRETE TYPE 400
1.02 SLUMP SHALL NOT EXCEED 100mm

PART II - COLOUR
1.01 FOR DIFFERENT APPLICATION, IT IS RECOMMENDED THAT ALL COLOUR SHALL BE INTRODUCED INTO CONCRETE (TRIAL BATCH) FOR COLOUR MATCH BEFORE PLACING

PART III - FINISHING
1.01 ALL CONCRETE SHALL BE FINISHED BY A PERSONNEL TRAINED TO DO SO AND ALL FINISHING OPERATIONS SHALL BE DONE TO THE STANDARD OF THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT. THE FINISHING OPERATIONS SHALL BE DONE TO THE STANDARD OF THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT.

PART IV - JOINTING, CURING AND SEALING
1.01 ALL CONCRETE SHALL HAVE CONTROL JOINTS SHOWN IN 4 TO 10 HOURS AFTER PLACEMENT
1.02 CONCRETE SHALL HAVE CONTROL JOINTS SHOWN IN 4 TO 10 HOURS AFTER PLACEMENT

PART V - PLACING AND FINISHING
1.01 ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT. THE FINISHING OPERATIONS SHALL BE DONE TO THE STANDARD OF THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT.

PART VI - IMPRESSIONS
1.01 ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT. THE FINISHING OPERATIONS SHALL BE DONE TO THE STANDARD OF THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT.

PART VII - FINISHING
1.01 ALL CONCRETE SHALL BE FINISHED BY A PERSONNEL TRAINED TO DO SO AND ALL FINISHING OPERATIONS SHALL BE DONE TO THE STANDARD OF THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT. THE FINISHING OPERATIONS SHALL BE DONE TO THE STANDARD OF THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT.

PART VIII - IMPRESSIONS
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PART IX - FINISHING
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PART X - FINISHING
1.01 ALL CONCRETE SHALL BE FINISHED BY A PERSONNEL TRAINED TO DO SO AND ALL FINISHING OPERATIONS SHALL BE DONE TO THE STANDARD OF THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT. THE FINISHING OPERATIONS SHALL BE DONE TO THE STANDARD OF THE MANUFACTURER'S RECOMMENDATION AND OTHER PROFESSIONAL GUIDANCE FOR THE PROJECT.

PART XI - FINISHING
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PART XV - FINISHING
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PART XVII - FINISHING
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PART XX - FINISHING
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PART XXI - FINISHING
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PART XXV - FINISHING
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1 **2** **3** **4** **5**

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1	ISSUED FOR PERMITS		
2	ISSUED FOR CONSTRUCTION		

REVISION

NO.	DESCRIPTION	DATE	BY

On the Run

16811 96TH AVENUE
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V4N 2C5

REVISION

NO.	DESCRIPTION	DATE	BY

SITE PLAN DETAILS

PRINT DATE:	SCALE:
4-Oct-15	AS NOTED
DRAWN BY:	DRAWING NO.:
SL	DET 1
CHECKED BY:	PROJECT NO.:
GS	12-1075

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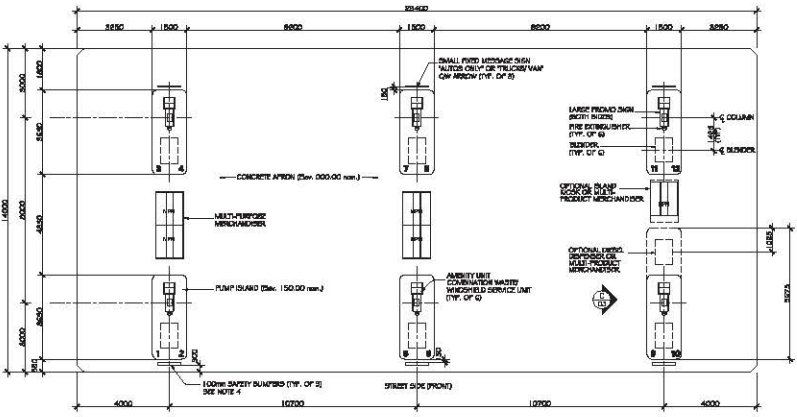
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RODNEY M. DUNN, Architect, ARBC
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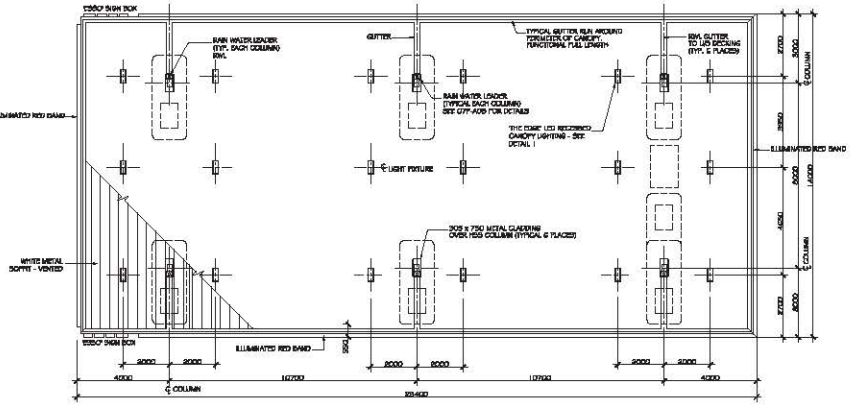
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- ALL DIMENSIONS ARE PERMANENT UNLESS THE NATURE OF THE MATERIALS AND THE WAY THEY ARE USED REQUIRE OTHERWISE.
- CONSTRUCTION SHALL BE TO THE PERIODIC BUSINESS CYCLE, UNLESS NOTED TO THE CONTRARY.
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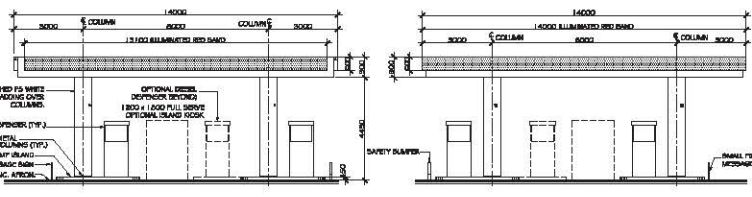
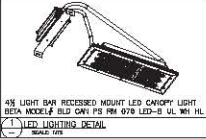
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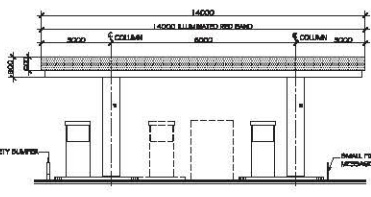
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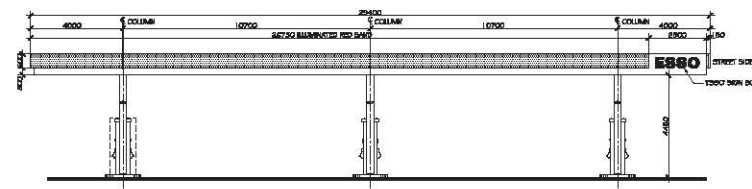
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- ALL DUNN FASTENINGS ARE TO BE COKE/SEALED.
- NO CHANGING IS TO BE VISIBLE.
- SEMI MANUFACTURE MILL FABRICATE SIGAGE TO DIMENSIONS SHOWN ON CANOPY DRAWING. CANOPY MANUFACTURER TO FABRICATE AND ERIGT CANOPY TO SAME DIMENSIONS SHOWING. DISUSE SIGN SUPPORT FRAMING IS PLUMB AND SQUARE AND CONFORM TO DIMENSIONS PRIOR TO INSTALLING LIGHT SYSTEM.



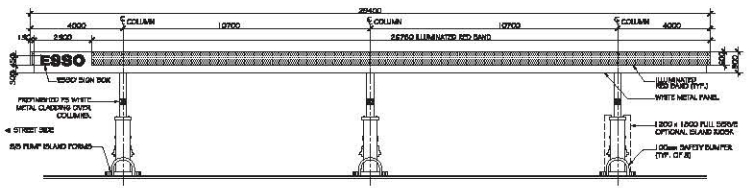
3 PUMP ISLAND-ELEVATION
 DET 2 SCALE: 1:100



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 DET 2 SCALE: 1:100



5 PUMP ISLAND-ELEVATION
 DET 2 SCALE: 1:100



6 PUMP ISLAND-ELEVATION
 DET 2 SCALE: 1:100

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 SURREY BC
 V4N 2C5

REVISION

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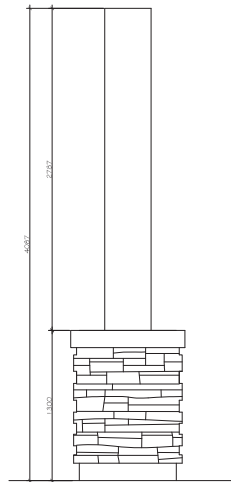
PUMP ISLAND DETAILS

PRINT DATE: 4-Oct-13
SCALE: AS NOTED
DRAWN BY: SL
CHECKED BY: GS
PROJECT NO.: 15-1015

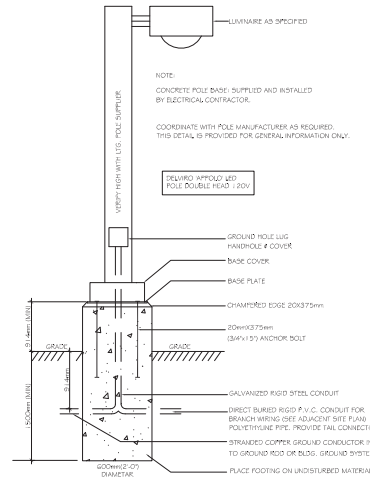
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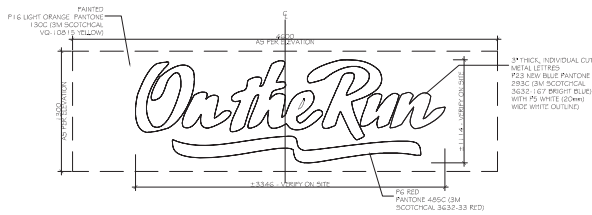
1 FREE STANDING SIGN ELEVATION
DET 3 SCALE: 1:20



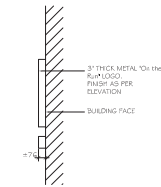
2 FREE STANDING SIGN ELEVATION
SCALE: 1:20



3 LIGHTING POLE DETAIL (TYP)
DET 3 SCALE: 1:20



4 NON-ILLUMINATED STOREFRONT SIGNAGE (ABOVE BOTH ENTRANCES)
SCALE: 1:25



5 SIDE ELEVATION
SCALE: 1:25

PROJECT NUMBER:

Baldwin M. CHORNY, Architect, AIBC
P. 604.683.6333
F. 604.683.6333
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AIA 10000

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F. 416.497.9693
info@glsmith.ca
www.glsmith.ca

1. ALL CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE BUILDING CODE AS AMENDED AND TO ALL OTHER APPLICABLE LAWS.
2. ALL CONSTRUCTION SHALL BE THE PROPERTY OF THE PROJECT AND SHALL NOT BE CONSIDERED AS THE PROPERTY OF THE CONTRACTOR.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY MECHANICAL, ELECTRICAL, STRUCTURAL AND OTHER PROFESSIONAL SERVICES FOR THE PROJECT.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY MECHANICAL, ELECTRICAL, STRUCTURAL AND OTHER PROFESSIONAL SERVICES FOR THE PROJECT.
5. CONTRACTOR SHALL NOT BE USED FOR CONSTRUCTION UNLESS RELEASED AND SIGNED BY THE ARCHITECT.
6. CONTRACTOR SHALL NOT BE USED FOR CONSTRUCTION UNLESS RELEASED AND SIGNED BY THE ARCHITECT.

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REV	DATE	DESCRIPTION	BY

REV	DATE	DESCRIPTION	BY

PROJECT TITLE:

On the Run

16811 96TH AVENUE
SURREY BC
V4N 2C5

REV	DATE	DESCRIPTION	BY

REV	DATE	DESCRIPTION	BY

DRAWING TITLE:

SITE PLAN DETAILS

PRINT DATE: 4-Oct-13 SCALE: AS NOTED

DRAWN BY: SL DRAWING NO:

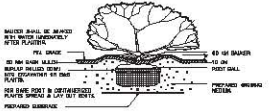
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PROJECT NO: 12-1075

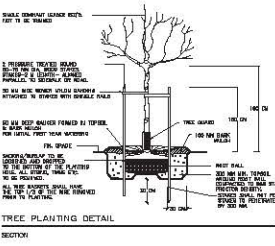
DRAWING NOT FOR CONSTRUCTION FOR COMMENTS ONLY

NOTES / GENERAL

1. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED PROPAGATORS. ALL PLANT MATERIAL MUST BE PROVIDED WITH A "PROOF OF PURCHASE" DOCUMENT. ALL PLANT MATERIAL MUST BE PROVIDED WITH A "PROOF OF PURCHASE" DOCUMENT. ALL PLANT MATERIAL MUST BE PROVIDED WITH A "PROOF OF PURCHASE" DOCUMENT.
2. No. growing medium depth over proposed substrate shall be:
Lawn areas 400 mm
Bed areas 400 mm
Shrub areas 400 mm
Tree pits 300 mm around root ball.
3. Draining medium shall have physical and chemical properties as described in the Standards for Land 2 and Land 3 (Table 2) and for some use elsewhere where the context and location is the same as for Land 1 applications. Properties and types of growing medium components shall be free off-site using a mechanical screening system. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil substrate for shrubs is a representative sample taken from the 100 mm soil to be used in the area.
4. In-situ or imported soils shall satisfy the requirements of the Standards for growing medium. Soils shall be clearly free from salinity, avoid the overly plant toxic, meet or replicate parts of woods plant pathogenic organisms, both in situ, stone max 30 mm and gravelly depth. All planting beds and media are 50 mm thick media.
5. Plant species and varieties may not be substituted without the approval of the Landscape Architect.
6. The contractor shall guarantee the maintenance and watering for a period of one (1) full year from the date of final acceptance, unless otherwise specified. All plant material not surviving at a given location during the guarantee period shall be replaced by the contractor at the owner's cost in the same.
7. The contractor shall clear away from the site all material on it, including, but not limited to, the location of the tree, leave the root ball the size of the tree trunk, and remove the tree trunk from the site of installation.



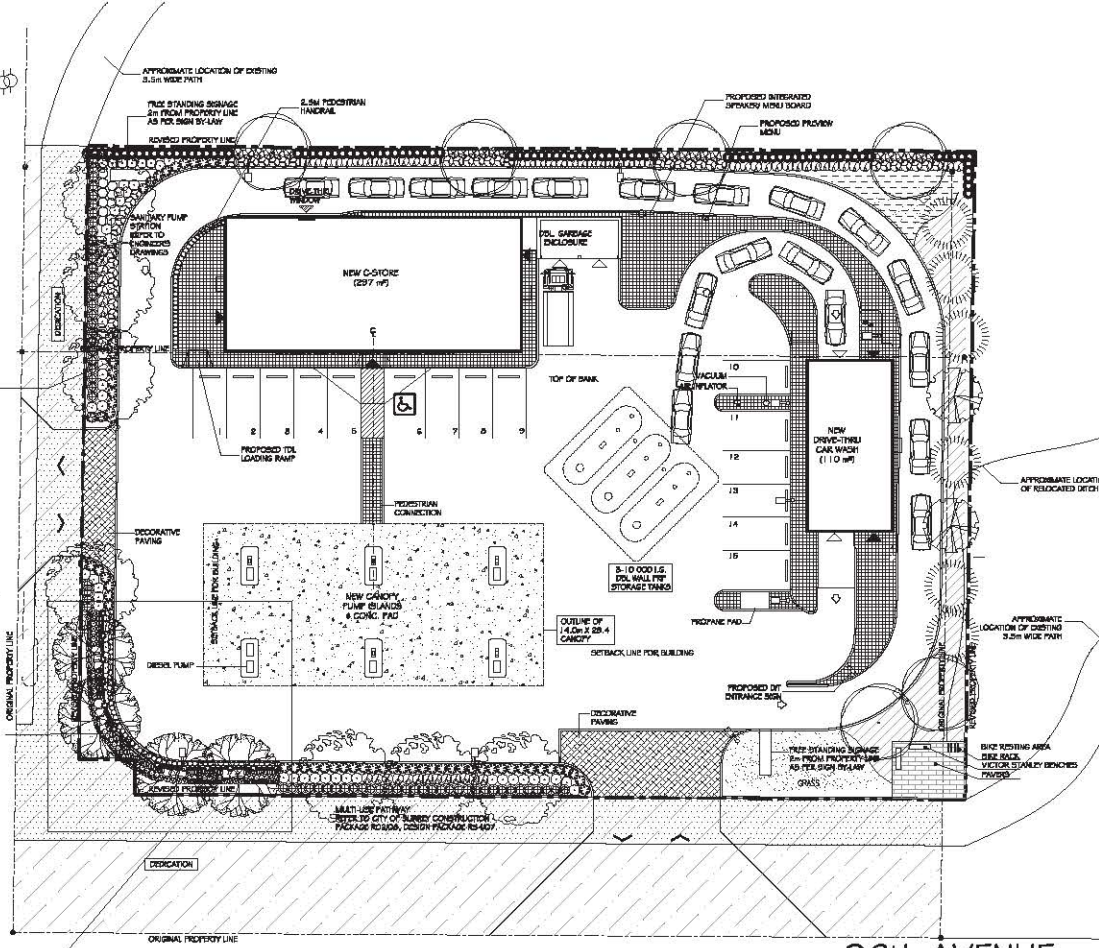
PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION



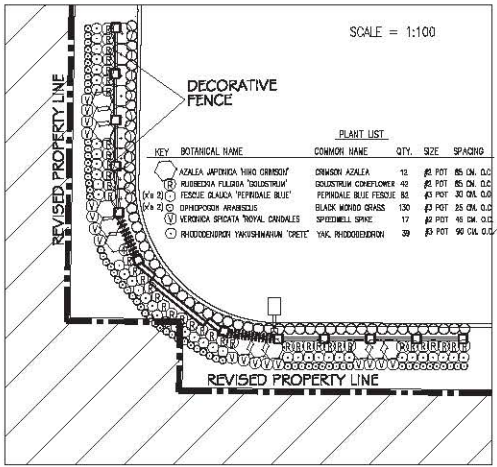
N.T.S.

N.T.S.

168th STREET



96th AVENUE



PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
1	BETULA PAPIRYFERA	PAPER BIRCH	2	5 CM. CAL.	AS SHOWN	B. & E.
2	MAGNOLIA GALAXY	GALAXY MAGNOLIA	7	6 CM. CAL.	AS SHOWN	B. & E.
3	CORRUS HUTTALII EDDIE'S WHITE WONDER	PACIFIC DOGWOOD	5	6 CM. CAL.	AS SHOWN	B. & E.
4	CORRUS RUBRUM	RED FLOWERING DOGWOOD	4	6 CM. CAL.	AS SHOWN	B. & E.
5	THUJA PLICATA	WESTERN RED CEDAR	6	3.00 METERS	AS SHOWN	B. & E.
6	ABELIA 'EDWARD GOWCHER'	EDWARD GOWCHER ABELIA	20	#3 POT	80 CM. O.C.	
7	HYDRANGEA MACROPHYLLA 'NIXKO BLUE'	HYDRANGEA	6	#3 POT	80 CM. O.C.	
8	RHOCHODENDRON 'YAKUSHIMANU 'CRETE'	YAK, RHOCHODENDRON	42	#3 POT	80 CM. O.C.	
9	RHOCHODENDRON FINNISH 'ELVIRA'	FINNISH RHOCHODENDRON	9	#3 POT	80 CM. O.C.	
10	BILUUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	91	#3 POT	45 CM. O.C.	
11	ROSA MEIDLAND 'PINK'	PINK MEIDLAND ROSE	42	#3 POT	80 CM. O.C.	
12	VBURNUM TINUS DWARF	SPRING BOUQUET VBURNUM	44	#3 POT	80 CM. O.C.	
13	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	64	#3 POT	80 CM. O.C.	
14	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	80	#3 POT	80 CM. O.C.	
15	PIERIS JAPONICA 'FOREST FLAME'	LILY-OF-THE-VALLEY	24	#3 POT	80 CM. O.C.	
16	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	80	1.80 METERS	85 CM. O.C.	
17	ARCTOSTAPHYLOS UVA URSI	BEARBERRY	115	#1 POT	45 CM. O.C.	
18	POLYSTICHUM MUNITUM	SWORD FERN	53	#2 POT	90 CM. O.C.	
19	GAULTHERIA SHALLOON	SALAL	450	#3 POT	45 CM. O.C.	

REVISED SITE PLAN	1
DATE	REVISED
BY	DATE
DATE	DATE
DATE	DATE

C.KAVOLINAS & ASSOCIATES INC.
LSCA OSLA
2463 JOUGLAUX COURT
ABBOTSFORD, B.C.
V2X 3C8
PHONE (604) 857-3378

CLIENT
MUEL SMITH
DL SMITH PLANNING & DESIGN INC.
229 SHEPPARD AVENUE WEST
TORONTO, ONTARIO
M2N 1J2
PHONE (416) 457-3682

TITLE
LANDSCAPE PLAN
PROPOSED
COMMERCIAL DEVELOPMENT
19811 - 96 AVENUE
SURREY, B.C.

SCALE 1:200	DATE AUG/12
DATE	DATE
DATE	DATE
DATE	DATE

PRINTED ON JOB SHEET
DRAWING NO. L-1

INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: November 20, 2013 **PROJECT FILE: 7813-0185-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 16811 96 Avenue and 9624 168 Street**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment

REZONE/SUBDIVISION

Works and Services

- Coordinate driveway locations and property line elevations with the City road works project;
- Construct onsite storm water management features to mitigate runoff quality and quantity impacts;
- Pay 50% cash-in-lieu for construction of watermain on 168 Street;
- Construct private sanitary force main complete with odour control to service the development; and
- Register required legal documents for access restrictions, drainage servicing, and sanitary servicing.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

Rémi Dubé, P.Eng.
Development Services Manager

sk

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

- (a) FROM: COMBINED SERVICE GASOLINE STATION ZONE (CG-2)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 011-316-918
 South 165 Feet Lot 8 Section 6 Township 9 New Westminster District Plan 8652 Except
 Plan EPP26238
 16811 - 96 Avenue

- (b) FROM: LOCAL COMMERCIAL ZONE (C-4) AND ONE-ACRE RESIDENTIAL ZONE (RA)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 029-063-671
 That Part of Lot 1 Section 6 Township 9 New Westminster District Plan BCP44462 shown
 on Plan BCP1985
 9624 - 168 Street

(hereinafter both 1.(a) and (b) shall be referred to as the "Lands")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of full service *gasoline stations* or combined full-service and self-service *gasoline stations* and *accessory uses* including *convenience store*, automotive repair and *drive-through restaurants*.

B. Permitted Uses

Lands and structures shall be used for the following uses only, or for a combination of such uses:

1. *Gasoline station* provided that:
 - (a) *Alternative fuel infrastructure* shall be available on the same *lot*; and
 - (b) Where self-service hoses are available, at least an equal number of full-service hoses shall be available on the same *lot*.
2. *Accessory uses* including the following:
 - (a) *Automotive service uses of vehicles* less than 5,000 kilograms [11,023 lbs.] *G.V.W.* including car wash facilities;
 - (b) *Retail stores* limited to the following:
 - i. *Convenience store* provided that the total sales and display area open to the public is not more than 300 square metres [3,229 sq. ft.]; and
 - ii. Sale of automotive accessories.
 - (c) *Eating establishments* including *drive-through restaurants*.

C. Lot Area

Not applicable to this Zone.

D. Density

The *floor area ratio* shall not exceed 0.30.

E. Lot Coverage

The *lot coverage* shall not exceed 30%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback	Front Yard	Rear Yard	Side Yard	Side Yard on Flanking Street
<i>Principal Buildings and Accessory Buildings and Structures</i>		12.0 m. [40 ft.]	4.0 m. [13 ft.]	4.0 m. [13 ft.]	12.0 m. [40 ft.]
<i>Pump Islands and Kiosk *</i>		4.5 m. [15 ft.]	4.0 m. [13 ft.]	4.0 m. [13 ft.]	4.5 m. [15 ft.]
Canopies		2.0 m. [7 ft.]	2.0 m. [7 ft.]	2.0 m. [7 ft.]	2.0 m. [7 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

* The kiosk shall not exceed a *gross floor area* of 5 square metres [50 sq.ft.].

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings and pump island canopies*: The *building height* shall not exceed 7.9 metres [25.9 ft.].
2. *Accessory buildings and structures*: The *height* shall not exceed 4.9 metres [16 ft.].

H. Off-Street Parking

1. Refer to Table C.2 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

I. Landscaping

1. All portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abuts a *highway*, a continuous *landscaping* strip of not less than 3 metres [10 ft.] in width shall be provided within the *lot*.

3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Except in those portions where a *building* abuts the *lot line*, screen planting at least 1.5 metres [5 ft.] high in a strip at least 1.5 metres [5 ft.] wide and a solid decorative fence at least 1.5 metres [5 ft.] high shall be provided along all *lot lines*.
5. Loading areas, garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

Not applicable to this Zone.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
4,000 sq. m. [1 ac.]	50 metres [165 ft.]	70 metres [230 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the CG-2 as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2013, No. 17856, as may be amended or replaced from time to time, and the development cost charges shall be based on the CG-2 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__.

PASSED SECOND READING on the _____ th day of _____, 20__.

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__.

PASSED THIRD READING on the _____ th day of _____, 20__.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__.

MAYOR

CLERK