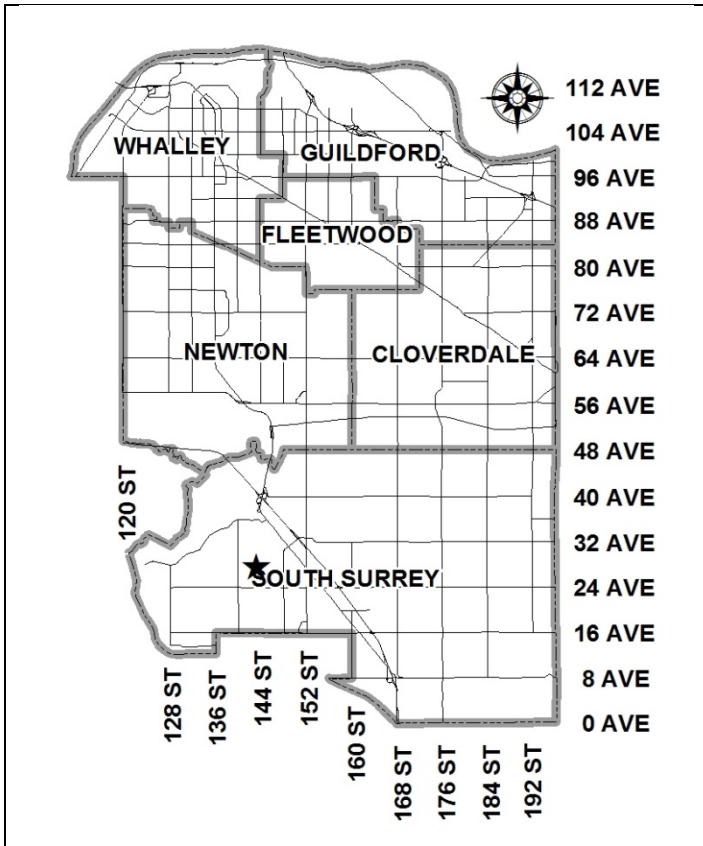


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0187-00

Planning Report Date: March 31, 2014



PROPOSAL:

- **Restrictive Covenant Amendment**
 in order to permit the removal of three trees.

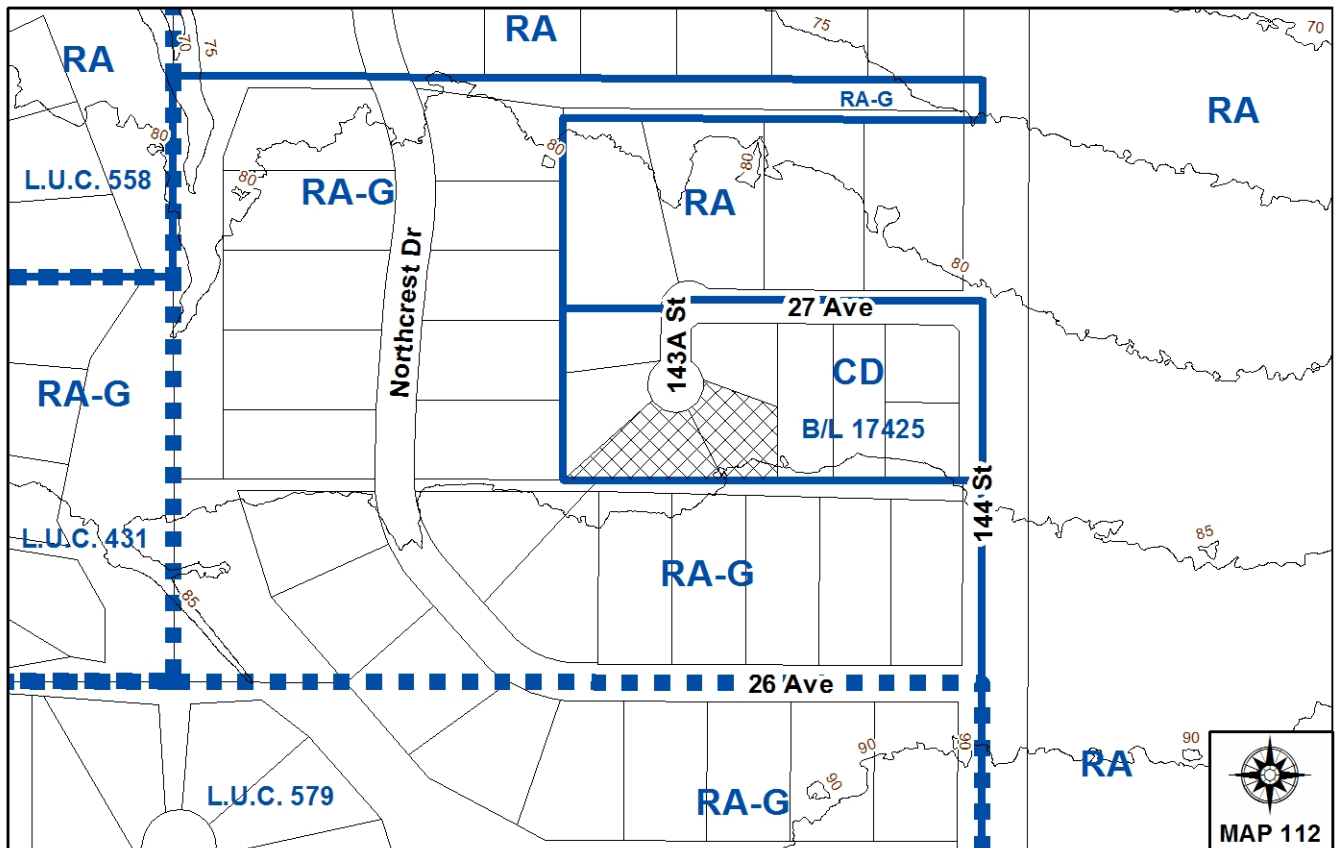
LOCATION: 2668 - 143A Street
 2650 - 143A Street

OWNERS: Amrik, Jisbinder and Manvir Purewal

ZONING: CD (By-law No. 17425)

OCP DESIGNATION: Suburban

LAP DESIGNATION: Half-Acre Residential



RECOMMENDATION SUMMARY

- The Planning & Development Department recommends that the proposal to amend Restrictive Covenant No. CA3194338 to permit the removal of one tree located on Lot 6 be denied; and
- Request the applicant to undertake mitigative measures to prevent the decline in health of two trees on Lot 7.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed Restrictive Covenant amendment will result in removal of three existing trees previously identified for retention under application No. 7910-0165-00. Under application No. 7910-0165-00, 18 trees were removed and 7 trees (including the 3 trees in this application) were retained.
- A minor amendment of the Restrictive Covenant to reduce the tree protection areas on Lots 6 and 7, was accepted to enable greater flexibility for the siting of new dwellings.
- The lots are of significant size that could easily accommodate a dwelling that does not conflict with the retained trees.
- A number of area residents and the Sunnyside Acres Heritage Society have expressed opposition with the removal of mature trees in the neighbourhood.
- The City Landscape Architect reviewed the proposed Restrictive Covenant amendment and is of the opinion that there is no adequate reason that the tree on Lot 6 be removed or the Restrictive Covenant be amended. As stated in the arborist report, proper pruning by a qualified arborist would address any limb drop and that the tree has a low risk to fail by toppling (i.e. windthrow failure) if maintained appropriately.
- The City Landscape Architect reviewed the proposed Restrictive Covenant amendment and is of the opinion that there is no adequate reason that the trees on Lot 7 be removed or the Restrictive Covenant be amended. The arborist report advises that some measures could be attempted to assist the trees to recovery, including soil amendment and supplemental watering for an interim period.
- Based on the assessment submitted by the arborist, every effort should be made to preserve the trees on Lot 7. However, if the trees cannot be recovered with measures to prevent the decline in health by the end of August, 2015 and pose a hazardous risk with proper documentation by a certified arborist, the trees can then be removed.

RECOMMENDATION

The Planning & Development Department recommends that:

- (a) Council deny the removal of Tree 571 on Lot 6;
- (b) Council request the applicant to undertake mitigative measures to prevent the decline in health of Trees 581 and 582 on Lot 7; and
- (c) Council allow Trees 581 and/or 582 to be removed if the mitigative measures are ineffective by the end of August, 2015 with the documentation and confirmation of a certified arborist.

If, however, Council finds merit in the proposal, the appropriate motion is as follows:

- (a) Council approve the applicant's request to amend Restrictive Covenant No. CA3194338 to permit the removal of three trees located on Lots 6 and 7.

REFERRALS

Trees and Landscaping: Trees and Landscaping does not support the removal of the trees. The arborist report states that proper pruning by a qualified arborist would address limb drop and that the trees have low risk of failure.

SITE CHARACTERISTICS

Existing Land Use: 2668 – 143A Street (Lot 6): Single family dwelling under construction.
2650 – 143A Street (Lot 7): Vacant lot.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 27 Avenue):	Suburban Residential	Suburban/ One-Acre Residential	RA
East:	Suburban Residential	Suburban/ Half-Acre Residential	CD (By-law No. 17425)
South and West:	Suburban Residential	Suburban/ One-Acre Residential	RA-G

DEVELOPMENT CONSIDERATIONS

Background

- The subject properties are located west of 144 Street and south of 28 Avenue. The property is designated "Suburban" in the Official Community Plan (OCP) and "Half-Acre Residential" in the Semiahmoo Peninsula Local Area Plan (LAP).
- The subject properties were created and rezoned from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" (By-law No. 17425) under Application No. 7910-0165-00 to permit 9 single family lots. The subdivision was approved on February 28, 2012.
- Both Lots 6 and 7 are irregular pie-shaped lots. Lot 6 is 1,609 square metres (17,319 square feet) in area and can accommodate a maximum dwelling size of 515 square metres (5,543 square feet). A dwelling at the maximum allowable size and lot coverage (25%) is currently under construction and nearing completion. Lot 7 is 1,858 square metres (20,000 square feet) and can accommodate a maximum dwelling size of 465 square metres (5,005 square feet). The lot is currently vacant.
- The associated rezoning and subdivision application required a Section 219 Restrictive Covenant in order to ensure tree retention for 7 existing trees. Subsequently, the same applicant applied for a minor amendment to Restrictive Covenant No. CA3194338 to reduce the required tree protection area on Lots 6 and 7 to permit greater flexibility for the siting of proposed dwellings. The Trees and Landscaping Division accepted the amendment on April 26, 2013.
- A tree bonding security of \$21,000 (\$3,000 per tree) was collected for the retention of the 7 trees as required under Section 36 of the Tree Protection Bylaw (No. 16100). The security will be held by the City until final building approval has been issued to ensure that the retained trees are properly protected and maintained.

Current Proposal

- The same applicant is proposing a major amendment to Restrictive Covenant No. CA3194338 to permit the removal of three trees – a Douglas-fir (Tree 571, 52 dbh) on Lot 6, a Douglas-fir (Tree 581, 72 dbh) and Western Redcedar (Tree 582, 45 dbh) on Lot 7.
- The applicant has retained Arbortech Consulting Ltd. to provide current assessments of the trees proposed to be removed on the subject properties.

PRE-NOTIFICATION

- A Development Proposal Sign was installed in front of the properties on December 16, 2013. To date, the Planning and Development Department has received one (1) phone call and one (1) email from area residents who inquired about the reasons for the proposal and to express objection to the proposed Restrictive Covenant amendment. Both residents expressed concerns that the subdivision of the lands in 2012 resulted in the removal of numerous trees (18) and that they were not supportive of removing additional mature trees that were previously identified to be protected. Residents also suggested that mitigative measures could be taken to reduce any risks to continue preservation.
- Staff received one (1) email from the Sunnyside Acres Heritage Society which indicated their sensitivity to the removal of or damage to trees and vegetation in the area. They expressed that if the trees on the subject properties were healthy, that they deserve full protection.

RESTRICTIVE COVENANT AMENDMENT EVALUATION

- (a) Amend Restrictive Covenant No. CA3194338 to permit the removal of Tree 571 on Lot 6.

Applicant's Reasons:

- The applicant advises that the tree poses a hazard to personal safety due to numerous falling branches. The applicant is also concerned with the close proximity of the tree to the constructed dwelling and the related damage and increased maintenance to the home.

Staff Comments:

- The tree proposed to be removed was previously assessed and identified to be retained under the rezoning and subdivision application No. 7910-0165-00 for which 18 trees were removed. Flexibility for the siting of the new dwelling was also granted by amending Restrictive Covenant No. CA3194338 to allow a reduction in the tree protection area.
 - The City Landscape Architect has reviewed the proposed Restrictive Covenant amendment and is of the opinion that there is no adequate reason that the tree be removed or the Restrictive Covenant be amended. As stated in the arborist report, proper pruning by a qualified arborist would address any limb drop and that the tree has a low risk to fail by toppling (i.e. windthrow failure) if maintained appropriately (Appendix IV).
- (b) Amend Restrictive Covenant No. CA3194338 to permit the removal of Trees 581 and 582 on Lot 7.

Applicant's Reasons:

- The applicant advises that the trees pose a hazard to personal safety due to numerous falling branches. The pie-shaped configuration of the lot together with the tree protection area at the front of the lot also limits the design of the entry area of the proposed dwelling.

Staff Comments:

- The trees proposed to be removed was previously assessed and identified to be retained under the rezoning and subdivision Application No. 7910-0165-00 for which 18 trees were removed.
- Flexibility for the siting of the proposed dwelling was granted by amending the Restrictive Covenant No. CA3194338 to allow a reduction of the tree protection area.
- The lot is of significant size (1,858 square metres /20,000 square feet) that could easily accommodate a dwelling that does not conflict with the retained trees.
- The City Landscape Architect has reviewed the proposed Restrictive Covenant amendment and is of the opinion that there is no adequate reason that the trees be removed or the Restrictive Covenant be amended. The arborist report advises that some measures could be attempted to assist the trees to recovery, including soil amendment and supplemental watering for an interim period (Appendix V).
- Based on the assessment submitted by the arborist, every effort should be made to preserve the trees. However, if the trees cannot be recovered with measures to prevent the decline in health by the end of August, 2015 and pose a hazardous risk with proper documentation by a certified arborist, the trees can then be removed.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Covenant Area Plan and Location of Retained Trees
Appendix III.	Tree Protection Areas and Proposed/Existing Dwellings
Appendix IV.	Tree Assessment for Lot 6
Appendix V.	Tree Assessment for Lot 7

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

DH/da

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DRV 3/27/14 11:40 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Amrik Purewal
 Address: 14360 – 91 Avenue
 Surrey, BC
 V3V 7T7

 Tel: 604-583-3533

2. Properties involved in the Application

- (a) Civic Address: 2668 - 143A Street
 2650 - 143A Street

- (b) Civic Address: 2668 - 143A St
 Owner: Amrik Purewal
 Jisbinder Kaur Purewal
 PID: 028-796-811
 Lot 6 Section 21 Township 1 New Westminster District Plan BCP50402

- (c) Civic Address: 2650 - 143A St
 Owner: Amrik Purewal
 Jisbinder Kaur Purewal
 Manvir Singh Purewal
 PID: 028-796-829
 Lot 7 Section 21 Township 1 New Westminster District Plan PLBCP50402

3. Summary of Actions for City Clerk's Office

SUBDIVISION DATA SHEET

Existing Zoning: CD

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.86
Hectares	0.35
NUMBER OF LOTS	
Existing	2
Proposed	
SIZE OF LOTS	
Range of lot widths (metres)	17.6 - 20.3 m
Range of lot areas (square metres)	1,609 m ² - 1,858 m ²
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	N/A
Lots/Hectare & Lots/Acre (Net)	
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	N/A
Estimated Road, Lane & Driveway Coverage	
Total Site Coverage	
PARKLAND	
Area (square metres)	N/A
% of Gross Site	
Required	
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	NO
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	N/A
Works and Services	
Building Retention	
Others	

**REFERENCE PLAN OF COVENANTS
OVER PARTS OF LOTS 6, 7 AND 8, ALL OF
SECTION 21 TOWNSHIP 1
NEW WESTMINSTER DISTRICT
PLAN BCP50402**

PURSUANT TO SECTION 99(1)(e), LAND TITLE ACT
BCGS 926.006

BOOK OF REFERENCE

DESCRIPTION	AREA	HATCHED AREA	TOTAL AREA
LOT 8, SEC 21, TP 1, NWD, PLAN BCP50402	118.0 Sq.m.	81.8 Sq.m.	200.9 Sq.m.
LOT 7, SEC 21, TP 1, NWD, PLAN BCP50402	118.8 Sq.m.	48.8 Sq.m.	165.5 Sq.m.
LOT 6, SEC 21, TP 1, NWD, PLAN BCP50402	78.3 Sq.m.	45.3 Sq.m.	118.8 Sq.m.

LEGEND

SCALE: 1:500



ALL DISTANCES ARE IN METRES
THE INTENDED PLOT SIZE OF THIS PLAN IS 360.0m IN HEIGHT BY 884.0m IN WIDTH (D SIZE) WHEN PLOTTED AT A SCALE OF 1:500.
NEIGHBOUR SURVEY AREA NO. 1
CITY OF SURREY, MAPS (CORS), 2009
GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 8712 AND 8644

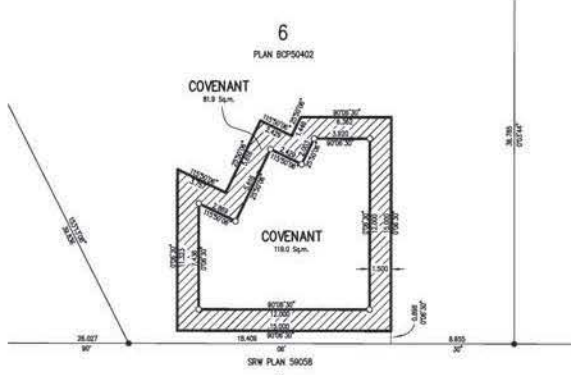
THIS PLAN SHOWS HORIZONTAL, GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY AVERAGE CORRECTION FACTOR OF 0.9999833 WHICH HAS BEEN DERIVED FROM CONTROL MONUMENTS 8712 AND 8644

THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE SET ALONG THE PRODUCTION OF THE PROPERTY BOUNDARY UNLESS OTHERWISE NOTED.
● INDICATES CONTROL MONUMENT FOUND
⊙ INDICATES STANDARD IRON POST FOUND
○ INDICATES STANDARD IRON POST PLACED
Sq.m. INDICATES SQUARE METRES

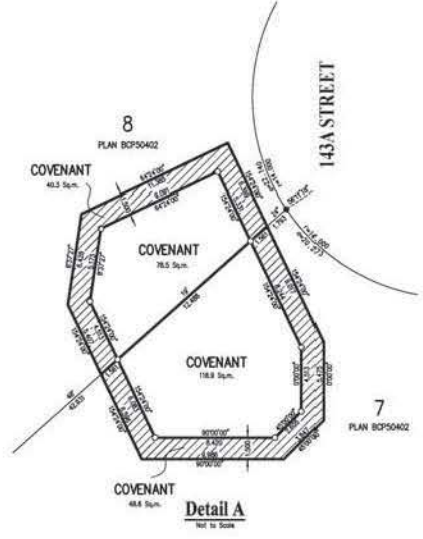
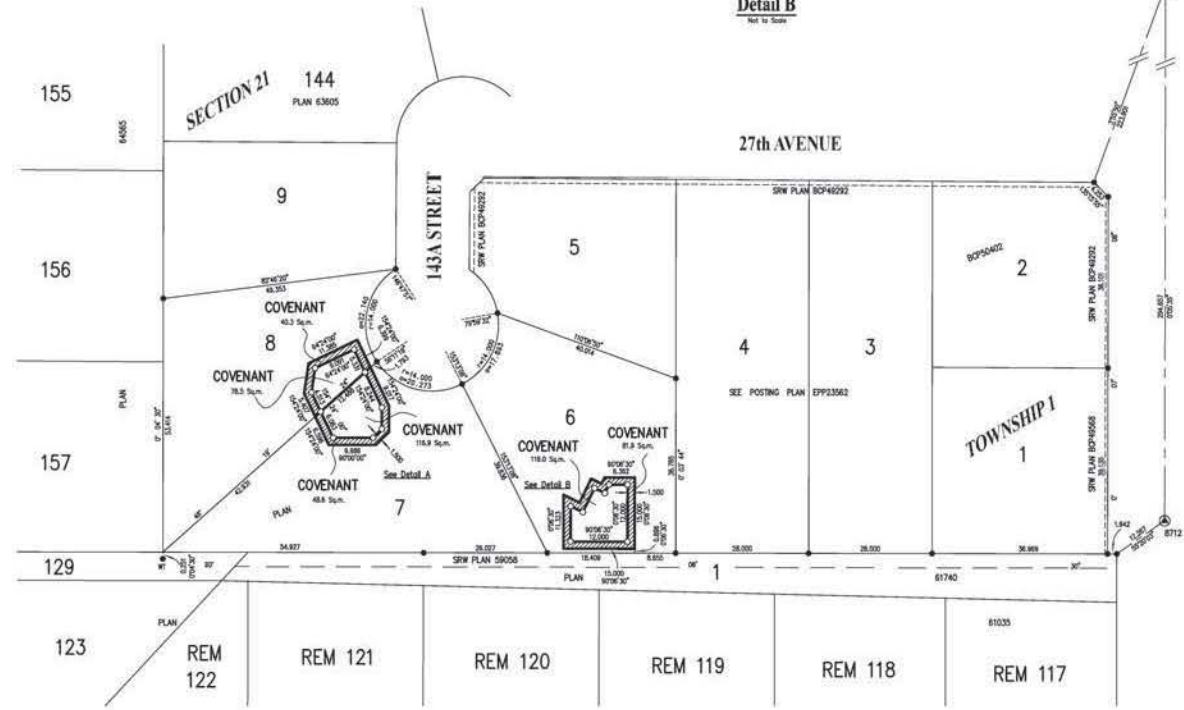


**K.Y. AND ASSOCIATES
LAND SURVEYING LTD.**
204, 8128 - 152nd Street
Surrey, B.C.
V3R 4G7
(604) 583-1818
(604) 583-1737
Web: 10258763
File: 102587_302.096

PLAN EPP30583



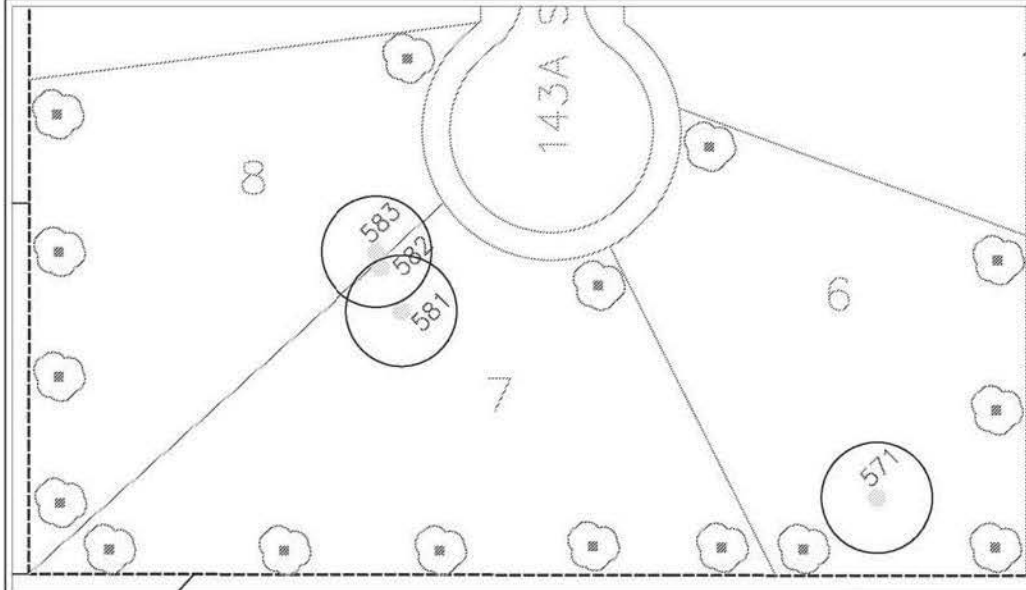
**1
PLAN 61740
Detail A
Not to Scale**



**Detail B
Not to Scale**

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT CITY OF SURREY

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 24th DAY OF APRIL, 2013
EUGENE G. WONG, R.S.L.S.

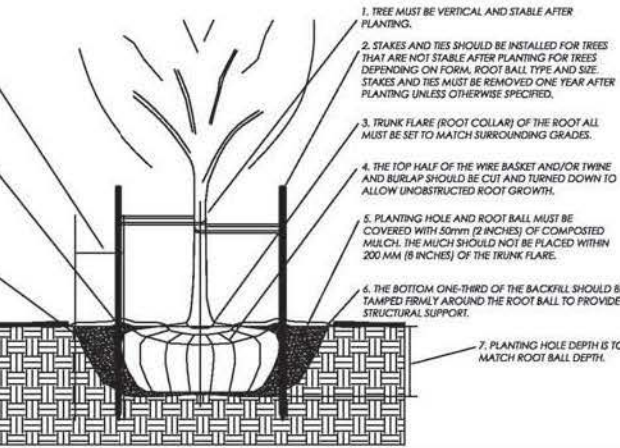


TREE PLANTING DETAIL
NOT TO SCALE

8. PLANTING HOLE MUST BE DUG TO AT LEAST 300mm (12 INCHES) LARGER THAN THE ROOT BALL ON ALL SIDES WITH SLOPED SIDE WALLS.

9. A 75mm (3 INCH) HIGH BERM (DYKE) OF SOIL MUST BE INSTALLED AT THE PERIMETER OF THE ROOT BALL TO AID IN DIRECTING SUPPLEMENTAL WATER TO THE ROOT BALL.

10. BACKFILL MUST BE OF APPROVED GROWING MEDIUM FOR QUALITY, COMPOSITION AND FERTILITY. LIGHTLY TAMP THE BACKFILL AND WATER IN AFTER PLANTING.



1. TREE MUST BE VERTICAL AND STABLE AFTER PLANTING.
2. STAKES AND TIES SHOULD BE INSTALLED FOR TREES THAT ARE NOT STABLE AFTER PLANTING FOR TREES DEPENDING ON FORM, ROOT BALL TYPE AND SIZE. STAKES AND TIES MUST BE REMOVED ONE YEAR AFTER PLANTING UNLESS OTHERWISE SPECIFIED.
3. TRUNK FLARE (ROOT COLLAR) OF THE ROOT BALL MUST BE SET TO MATCH SURROUNDING GRADES.
4. THE TOP HALF OF THE WIRE BASKET AND/OR TWINE AND BURLAP SHOULD BE CUT AND TURNED DOWN TO ALLOW UNOBSTRUCTED ROOT GROWTH.
5. PLANTING HOLE AND ROOT BALL MUST BE COVERED WITH 50mm (2 INCHES) OF COMPOSTED MULCH. THE MULCH SHOULD NOT BE PLACED WITHIN 200 MM (8 INCHES) OF THE TRUNK FLARE.
6. THE BOTTOM ONE-THIRD OF THE BACKFILL SHOULD BE TAMPED FIRMLY AROUND THE ROOT BALL TO PROVIDE STRUCTURAL SUPPORT.
7. PLANTING HOLE DEPTH IS TO MATCH ROOT BALL DEPTH.

Note: Tree locations herein are derived from topographic survey supplied by client.

- LEGEND:**
- ☐ denotes TREE NUMBER. Refer to tree inventory for type, size and condition data.
 - ☐ denotes tree to be RETAINED
 - ☐ denotes TREE PROTECTION FENCE to be installed to Tree Retention Area (TRA) limits.
 - ☐ denotes BUILDING SETBACK FROM RC for excavation use only.
 - ☐ denotes REPLACEMENT TREE to be planted. Refer to plant list for species and size specifications.



REV #	DATE	COMMENTS
2	MAY 10 2013	ADD REPLACEMENT TREES
1	APR 22 2013	LOT 7: MINOR MODIFICATION TO 1P2
0	APR 13 2013	FIRST SUBMISSION

TREE PLANTING GUIDELINES:

- THIS DRAWING REPRESENTS A CONCEPTUAL SCHEMATIC OF REPLACEMENT TREE PLANTING REQUIREMENTS. ACTUAL SELECTIONS OF SPECIES AND SIZES MUST CONFORM TO THE MUNICIPAL STANDARDS.
- REPLACEMENT TREES SHOULD BE PLANTED AT LEAST 2.0 M FROM ANY PROPERTY LINE AND AT LEAST 3 M FROM ANY ROADS, LANES, CATCH BASINS, LAWN DRAINS AND OTHER INFRASTRUCTURE, AND AT LEAST 4 M FROM BUILDINGS (4M FOR TREES OF LARGE MATURE SIZE CATEGORY).
- REPLACEMENT TREES ARE TO CONFORM TO CURRENT BC LANDSCAPE STANDARD AS PUBLISHED BY BCCLA/BCICLA IN REGARDS TO SPECIFICATIONS FOR QUALITY, SELECTION, SITE PREPARATION, HANDLING OF PLANTS, PLANTING METHODS, STAKING AND ESTABLISHMENT MAINTENANCE.
- ON DISTURBED SITES SUCH AS NEW SUBDIVISIONS, THE SOIL IN PLANTING AREAS (I.E. THE FRONT AND REAR YARDS OF NEW BUILDING LOTS) CAN BE HEAVILY COMPACTED AND ORGANIC COMPONENTS STRIPPED DURING CONSTRUCTION SITE PREPARATION ACTIVITIES. SUCH SOIL IS NOT ADEQUATE TO PROVIDE FOR TREE ESTABLISHMENT. SUITABLE GROWING MEDIUM MUST BE PROVIDED TO AT LEAST 600MM DEPTH WITHIN THE GROWING SITE OF EACH TREE, TO THE ESTIMATED CANOPY EXTENTS AT MATURITY.
- THE SPECIES CHOICES ARE FOR CONSIDERATION ONLY. IF ALTERNATE SPECIES ARE DESIRED BY THE OWNER, THE SPECIES MUST CONFORM TO THE MUNICIPAL STANDARDS, AND SHOULD CONFORM TO THE SIZE AND FORM OF THE TREE SPECIES THAT IS RECOMMENDED FOR THAT LOCATION (I.E. SMALL, MEDIUM OR LARGE AT MATURITY AND/OR COLUMNAR, PYRAMIDAL OR WIDE SPREADING CROWN).
- THE PLANTING SITE SURROUNDING THE BASE OF PLANTED TREES WOULD IDEALLY BE FINISHED AS PLANTING BEDS WITH SHRUBS AND/OR HERBACEOUS GROUND COVER (I.E. NOT GRASS LAWN) TO COMPLEMENT THE TREES. IF TREES ARE PLANTED WITHIN A LAWN AREA, THE GRASS SHOULD BE EXCLUDED FROM A HALCY CIRCLE OF AT LEAST 1.5M RADIUS AROUND EACH TREE TRUNK. HAND WEEDING IS FAVOURED OVER STRING TRIMMERS AND MOWERS DUE TO THE POTENTIAL FOR TRUNK AND ROOT DAMAGE FROM SUCH MECHANICAL DEVICES.
- WATERING OF THE ROOT BALL ON A FREQUENCY ADJUSTED TO SUIT THE WEATHER IS REQUIRED FOR AT LEAST ONE GROWING SEASON AFTER PLANTING. A ROOT BALL PROBE USING NORMAL TAP WATER PRESSURE SHOULD BE USED, OTHERWISE A SOAKING TO ACHIEVE THE EQUIVALENT OF 5 CM DEPTH OVER THE ENTIRE ROOT BALL PER WATERING EVENT IS RECOMMENDED.
- ALL STAKES AND RELATED HARDWARE MUST BE REMOVED AFTER THE ONE YEAR ESTABLISHMENT.
- FUTURE TREE MAINTENANCE SHOULD INCLUDE A REVIEW OF STRUCTURAL PRUNING REQUIREMENTS WITHIN THE FIRST FIVE YEARS. THE TREES SHOULD NOT BE TOPPED OR HEADED BACK. ALL PRUNING CUTS SHOULD BE MADE TO PROPER ARBORICULTURAL STANDARDS. IT IS RECOMMENDED THAT ANY ASSESSMENT OR TREATMENT TO REPLACEMENT TREES BE UNDERTAKEN BY A QUALIFIED ISA CERTIFIED ARBORIST WHO CAN DEMONSTRATE AND ASSESS PRUNING PROFICIENCY.

PLANT LIST:

PLEASE USE BOTANICAL NAME WHEN ORDERING PLANT MATERIAL.

CODE	CAL/HT	BOTANICAL NAME	COMMON NAME
SMALL MATURE SIZE:			
AG	5cm CAL.	ACER GRISEUM	PAPERBARK MAPLE
AP	5cm CAL.	ACER PALMATUM	JAPANESE MAPLE
AT	5cm CAL.	ACER TEGUMINOSUM	SNAKEBARK MAPLE
CC	5cm CAL.	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD
CK	5cm CAL.	CORNUS KOUSA	KOUSA DOGWOOD
CM	3.0m	CORYLUS MAXIMA VAR. PURPUREA	PURPLE GIANT ALBERT
SC	5cm CAL.	PRUNUS SARGENTII RANCHO	SARGENT CHERRY (UPRIGHT)
YC	5cm CAL.	PRUNUS X YEDDENSIS	YOSHINO CHERRY (SPREADING)
SJ	5cm CAL.	STRAX JAPONICUS	JAPANESE SNOWBELL
SR	5cm CAL.	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC
MEDIUM MATURE SIZE:			
AR	5cm CAL.	ACER RUBRUM	RED MAPLE
CB	5cm CAL.	CARPINUS BETULUS 'FASTIGIATA'	FASTIGIATE HORNBEAM
CJ	5cm CAL.	CERCIDIPHYLLUM JAPONICUM	KATSURATREE
CNP	3.0m	CHAMAECYPARIS NOOTKATENSIS 'PEN'	WEeping YELLOW CEDAR
FSD	5cm CAL.	FAGUS SYLVATICA 'DAWYKII'	FASTIGIATE BEECH
GB	5cm CAL.	GINGKO BILOBA 'MAGYAR'	MAGYAR UPRIGHT GINGKO
GT	5cm CAL.	GLIEDIZIA TRIACANTHOS 'NERBIS'	HONEY LOCUST
SP	5cm CAL.	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA
PO	3.0m	PICEA OMORICA	SERBIAN SPRUCE
ZS	5cm CAL.	ZELKOVA SERRIATA	JAPANESE ZELKOVA
LARGE MATURE SIZE:			
APS	5cm CAL.	ACER PLATANODES 'SUPERFORM'	SUPERFORM MAPLE
PM	3.0m	PSEUDOTSUGA MENZIESII	DOUGLAS-FIR
QS	5cm CAL.	QUERCUS COCCINEA	SCARLET OAK
QP	5cm CAL.	QUERCUS PALLISTRIS	PIN OAK
TP	3.0m	THUJA PLICATA	WESTERN REDCEDAR

acigroup.ca

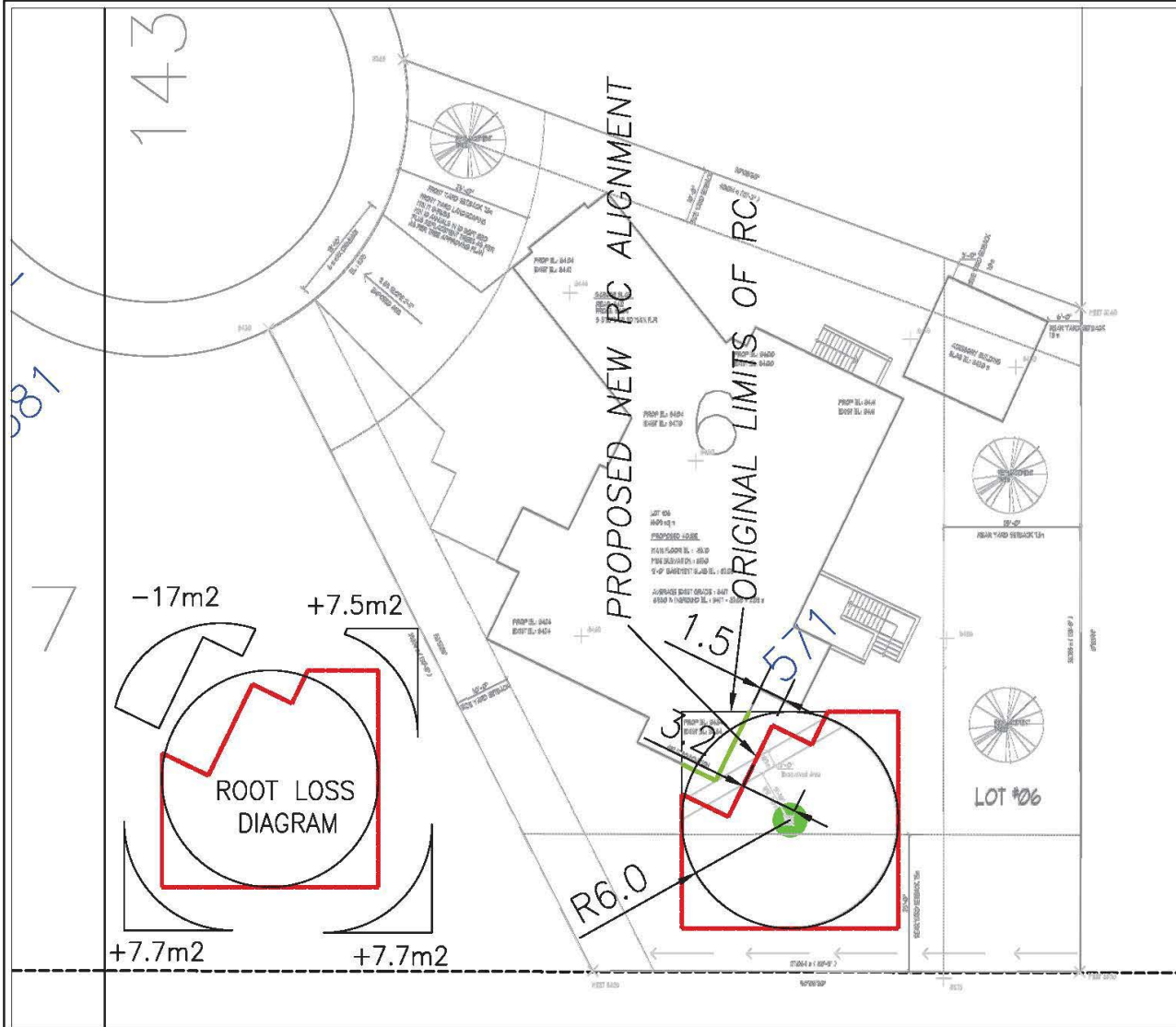
ARBORTECH CONSULTING

GREATER VANCOUVER OFFICE:
SUITE 200 - 3740 CHATHAM STREET, RICHMOND, BC CANADA V7E 2Z3
FRASER VALLEY OFFICE:
SUITE 109 - 1528 MCCALLUM ROAD, ABBOTSFORD, BC CANADA V2S 8A3



TREE MANAGEMENT DRAWING

PROJECT:	Lots 6, 7 and 8: OF 9 LOT SUBDIVISION
ADDRESS:	2650, 2667, 2668 143A STREET SURREY, BC
CLIENT:	AMRIKA ENTERPRISES
ACL FILE:	10258
SHEET:	1 OF 1



Note: Tree locations herein are derived from topographic survey supplied by client.
 Note: Conceptual architectural site plan supplied by client.

LEGEND:

- denote TREE NUMBER. Refer to tree inventory for type, size and condition data.
- denote tree to be RETAINED
- denote TREE PROTECTION FENCE to be installed to Tree Retention Area (TRA) limits.
- denote BUILDING SETBACK FROM RC for excavation use only.

Scale 1:250

REV #	DATE	COMMENTS
0	APR 13 2013	FIRST SUBMISSION

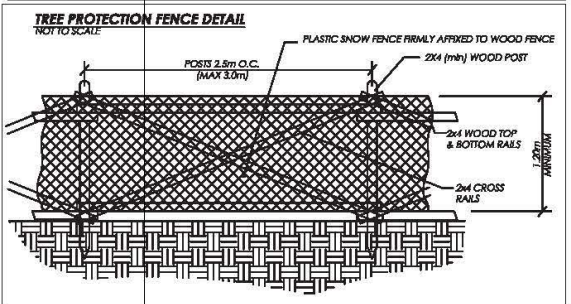
acigroup.ca

ARBORTECH CONSULTING a division of: **ACU GROUP**

GREATER VANCOUVER OFFICE:
 SUITE 200 - 3740 CHATHAM STREET, RICHMOND, BC CANADA V7E 2Z3 p 604.275.3484

FRASER VALLEY OFFICE:
 SUITE 109 - 1528 MCCALLUM ROAD, ABBOTSFORD, BC CANADA V2S 8A3 p 604.755.7132

- TREE PROTECTION GUIDELINES:**
- TREE PROTECTION ZONES (TPZ):** THE TPZ ALIGNMENTS ARE SHOWN ON THE TREE MANAGEMENT DRAWING AS PREPARED BY THIS OFFICE. THESE ALIGNMENTS ARE BASED ON SITE AND TREE CONDITIONS AS DETERMINED BY THE PROJECT ARBORIST, AND THEY SUPERSEDE ANY OTHER TREE PROTECTION SETBACKS PROVIDED BY OTHERS (INCLUDING CITY GUIDELINE DERIVED SETBACKS).
 - TREE PROTECTION FENCES (BARBERIS) BARRIERS MUST BE** ERECTED AT ALIGNMENTS AS SHOWN ON THE DRAWINGS, MAINTAINED IN GOOD CONDITION UNTIL THE RESTRICTIONS ARE LIFTED, AND THE RESTRICTIONS IMPLEMENTED AS PER THE GUIDELINES HEREIN. THE FENCE CONSTRUCTION IS TO MEET OR EXCEED THE DETAIL HEREIN AND/OR MUNICIPAL STANDARDS. TREE PROTECTION FENCING MUST BE INSPECTED AND APPROVED BY THE MUNICIPALITY AND/OR THE PROJECT ARBORIST PRIOR TO ANY DEMOLITION, SITE PREPARATION OR CONSTRUCTION WORK COMMENCING. ANY CONTINGENT CHANGES TO THE TPZ FENCES MUST BE APPROVED IN ADVANCE BY THE PROJECT ARBORIST.
 - SURVEY OF FENCES:** IF ANY TREE PROTECTION FENCES ARE ALIGNED WITH OR WITHIN CLOSE PROXIMITY TO A RESTRICTIVE COVENANT, A PROPERTY LINE, AND/OR AN ENVIRONMENTALLY SENSITIVE OR PROTECTED AREA, THE CONTRACTOR MUST UNDERTAKE A SURVEY OF THE LOCATION OF THOSE LINES SUCH THAT THE TREE PROTECTION FENCE CAN BE INSTALLED AND INSPECTED ACCURATELY.
 - OFFENCES AND PENALTIES:** UNAUTHORIZED REMOVAL OF, OR DAMAGE TO, RETAINED TREES, AND/OR ENCROACHMENT INTO THE TPZ MAY CONSTITUTE AN OFFENCE UNDER MUNICIPAL BYLAW PROVISIONS, AND MAY BE SUBJECT TO FINES, PENALTIES AND/OR DELAYS IN THE PROJECT. THE OWNER, THEIR CONTRACTORS OR THEIR SUB-CONTRACTORS COULD BE LIABLE FOR SUCH FINES AND/OR ANY OTHER RELATED COSTS. IN ADDITION, RELATED EXTRA COSTS TO THE OWNER MAY INCLUDE CERTAIN REMEDIAL TREATMENTS TO THE TREES AND/OR THE SOIL IN THE TREE PROTECTION ZONES, TREE REPLACEMENT PLANTING, AND/OR OTHER MEASURES AS REQUIRED BY THE MUNICIPALITY.
 - SIGNAGE:** SIGNS STATING "TREE PROTECTION AREA - NO ENTRY" IN MINIMUM 10 CM LETTERING SHOULD BE PLACED ON THE TREE PROTECTION FENCE AT A SURFACE FREQUENTLY THE OWNER, CONTRACTORS, SUB CONTRACTORS OR TRADERS SHOULD BE MADE AWARE OF THE RESTRICTIONS THEREIN, AND TREE CONSULTATION WITH THE OFFICE FOR ANY ACCESS THEREIN. IT IS RECOGNIZED THAT CERTAIN UNPREDICTABLE CONSTRUCTION CONFLICTS WITH TPZ MAY ARISE THAT COULD INTERFERE WITH THE RETENTION OF THE SELECTED TREES. HOWEVER ANY ENCROACHMENT OR CHANGES TO THE TREE RETENTION SCHEME ARE SUBJECT TO APPROVAL IN ADVANCE BY THE PROJECT ARBORIST AND THE MUNICIPALITY. CERTAIN RESTRICTIONS NOTED HEREIN MAY BE WAIVED IF THEY ARE CONSIDERED BY THE PROJECT ARBORIST TO BE ACCEPTABLE AND/OR IF THE IMPACTS TO THE TREES CAN BE SUCCESSFULLY MITIGATED BY IMPLEMENTING SPECIAL MEASURES, PROTECTION SYSTEMS, COMPENSATORY TREATMENTS, AND/OR FOLLOW-UP WORKS, AS SPECIFIED BY THIS OFFICE.
 - TREE PROTECTION GUIDELINES:** ANY WORK ACTIVITIES WITHIN THE TPZ SHOULD INCLUDE THE ADVANCE APPROVAL AND THE ON-SITE SUPERVISION OF THE PROJECT ARBORIST. SUPERVISION AND ON-SITE DIRECTION MAY BE REQUIRED. THE TRUNKS, BRANCHES, FOLIAGE AND ROOTS OF RETAINED TREES, AS WELL AS THE SOIL WITHIN THE TREE PROTECTION ZONES, MUST NOT BE DAMAGED BY CONSTRUCTION ACTIVITIES (THIS INCLUDES DIRECT MECHANICAL DAMAGE FROM MALCHING OPERATION, AS WELL AS INDIRECT DAMAGE SUCH AS SOIL HYDROLOGY CHANGES, BURNED TO THE GROUND FROM EQUIPMENT EXHAUST, ETC.) EXCEPT AS APPROVED AND DIRECTED BY THE PROJECT ARBORIST. ACTIVITIES WITHIN AND ACCESS TO THE TPZ ARE RESTRICTED DURING THE **BUILDING PREPARATION, CONSTRUCTION AND LANDSCAPE INSTALLATION** PHASES OF THE PROJECT AS FOLLOWS:
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 - NO SOIL DISTURBANCE WITHIN TPZ INCLUDING TRENCHING FOR UNDERGROUND SERVICES OR UTILITIES, EXCAVATION, FILL PLACEMENT, BROADCAST SEEDING, OVERSEED SERVICE INSTALLATION, ETC.
 - NO STORAGE OR TRANSPORT OF SOIL, SPILL, CONSTRUCTION MATERIALS, WASTE MATERIALS, ETC., THROUGH TPZ.
 - NO CONCRETE, SUDGED, DRYWALL, PAINT, OR OTHER POTENTIALLY TOXIC MATERIALS MAY BE WASHED WITHIN OR ADJACENT TO TPZ.
 - NO PASSAGE OR OPERATION OF VEHICLE OR EQUIPMENT THROUGH TPZ.
 - NO PLACEMENT OF TEMPORARY STRUCTURES OR SERVICES, ETC., WITHIN TPZ.
 - NO ATTERING LIGHTS, SIGNS, CABLES OR ANY OTHER DEVICE TO RETAINED TREES.
 - NO UNAUTHORIZED PRUNING OR CUTTING OF RETAINED TREES. ANY PRUNING OR OTHER TREATMENT OF A RETAINED TREE MUST BE COMPLETED BY A QUALIFIED ARBORIST OR TREE SERVICE EMPLOYING A CERTIFIED ARBORIST, TO COMPLY WITH ANSI A300 STANDARDS, AND/OR UNDER THE DIRECTION OF A PROJECT ARBORIST FROM THIS OFFICE.
 - EXCAVATIONS ADJACENT TO THE TPZ REQUIRES ATTENTION AND DIRECTION BY THE PROJECT ARBORIST
 - LANDSCAPING:** THE LANDSCAPING PHASE IS WHEN RETAINED TREES CAN BE SEVERELY DAMAGED. THE OPERATION OF EQUIPMENT, PLACEMENT OF GROWING MEDIA, GRADING AND SUB-BASE PREPARATION FOR HARD LANDSCAPE FEATURES (E.G. SIDEWALKS AND PATIOS), SITE PREPARATION FOR RETAINING WALLS AND FOOTINGS, EXCAVATION FOR FENCES, SIGNS AND OTHER LANDSCAPE FEATURES, DRILLING OF PLANTING HOLES FOR NEW PLANTS AND TREES, THE DRILLING OF TRENCHES FOR IRRIGATION, GRABWALLS AND LIGHTING, REFLECTIVE ACCESS BY WORKERS, THE PLACEMENT OF TUBS AND OTHER FINISHING WORKS ALL HAVE A VERY HIGH POTENTIAL FOR TREE DAMAGE (I.E. ROOT LOSS OR DAMAGE, TRUNK WOUNDS, SURFACING SOIL DAMAGE AFFECTS, ETC.). IT IS VITAL THAT THE LANDSCAPE WORKS RESPECT THE LIMITATIONS ON ACTIVITIES WITHIN THE TPZ. THEREFORE THE LANDSCAPE INSTALLATION START SHOULD BE ADVISED, ON-SITE DIRECTION BY THE PROJECT ARBORIST IS STRONGLY RECOMMENDED.
 - PERMITTING AND REGULATORY ITEMS:** ANY TREE PROPOSED FOR REMOVAL MAY BE SUBJECT TO CITY PERMITTING REQUIREMENTS AND CONDITIONS, AND MAY REQUIRE NEIGHBOUR AUTHORIZATION (I.E. IN THE CASE OF OFF-SITE OR SHARED OWNERSHIP TREES). IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN PERMITS AND AUTHORIZATIONS ACCORDINGLY, AND TO MEET THE CONDITIONS THEREOF. THE ACTIVITIES OF PROTECTED BIRD SPECIES, AND ANY BIRDS OF CERTAIN OTHER SPECIES, MAY BE PROTECTED BY FEDERAL AND PROVINCIAL LAWS OR STATUTES. IF NESTS ARE OBSERVED THE OWNER IS ENCOURAGED TO RETAIN A QUALIFIED PROFESSIONAL (R.P., B.C.) TO PROVIDE ASSESSMENT AND IMPACT MITIGATION ADVICE AS NECESSARY. IT IS RECOMMENDED TO OBTAIN A TIMBER MARK, IN THE GREATER VANCOUVER AND FRASER VALLEY REGIONAL, CONTACT THE CHILLIWACK FOREST DISTRICT OFFICE AT 604 586 4400.



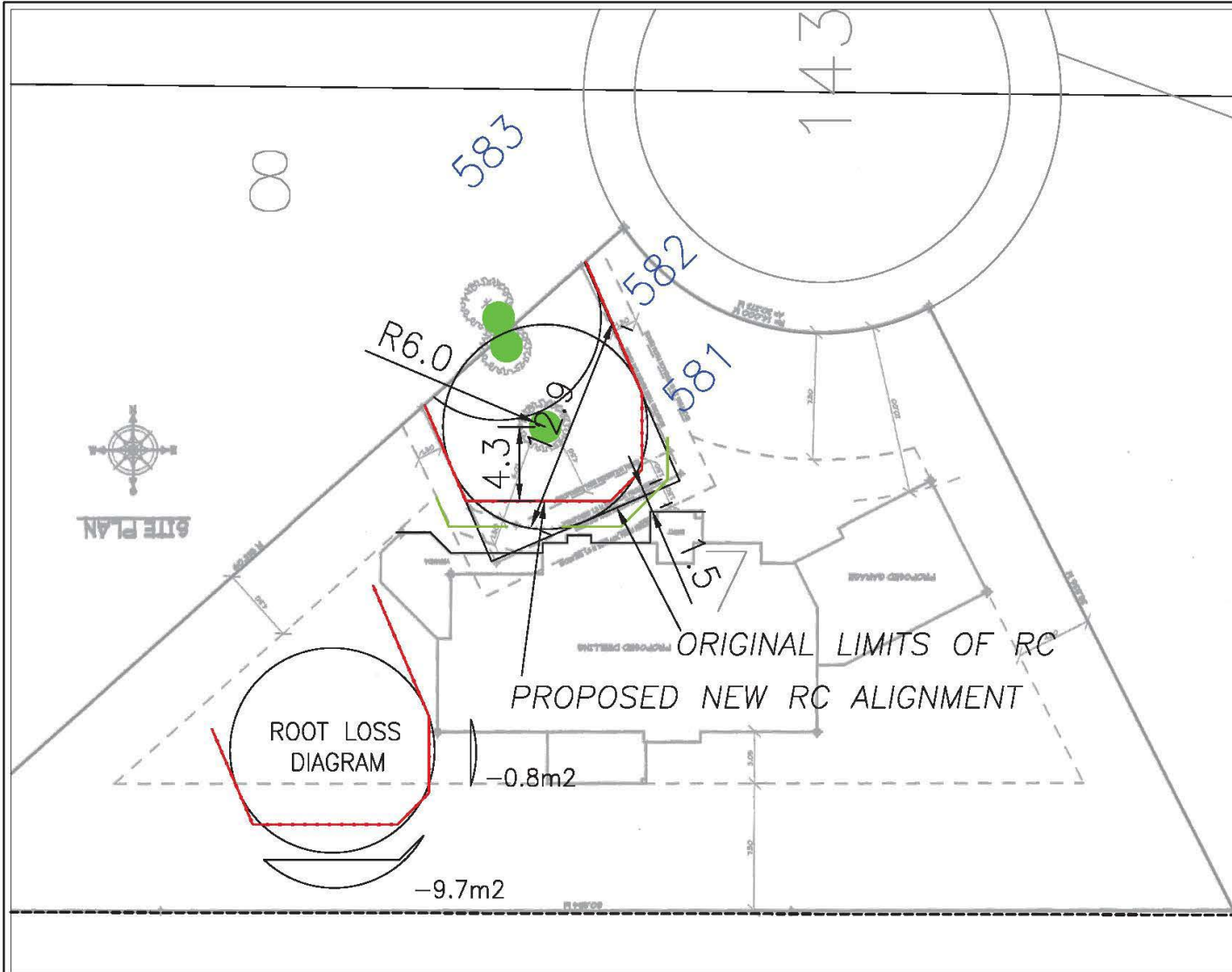
TREE MANAGEMENT DRAWING FOR RC

PROJECT: **BP APPLICATION LOT 6**

ADDRESS: **2668 143A STREET SURREY, BC**

CLIENT: **AMRIKA ENTERPRISES**

ACL FILE: **10258** SHEET: **2 OF 4**



Note: Tree locations herein are derived from topographic survey supplied by client.
 Note: Conceptual architectural site plan supplied by client.

LEGEND:
 * denote TREE NUMBER. Refer to tree inventory for type, size and condition data.
 ● denote tree to be RETAINED
 --- denote TREE PROTECTION FENCE to be installed to Tree Retention Area (TRA) limits.
 --- denote BUILDING SETBACK FROM RC for excavation use only.

Scale 1:250

REV #	DATE	COMMENTS
1	APR 22 2018	MINOR MODIFICATION TO TPE
0	APR 13 2013	FIRST SUBMISSION

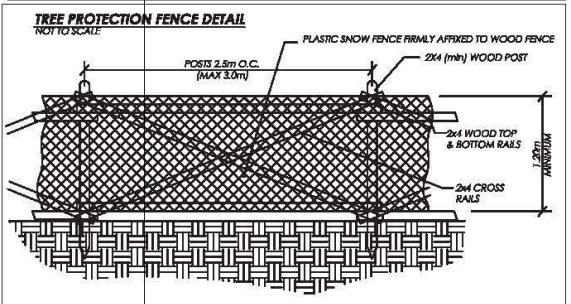
acigroup.ca

ARBORTECH CONSULTING a division of: **ACU GROUP**

GREATER VANCOUVER OFFICE:
 SUITE 200 - 3740 CHATHAM STREET, RICHMOND, BC CANADA V7E 2Z3 p 604.275.3484

FRASER VALLEY OFFICE:
 SUITE 109 - 1528 MCCALLUM ROAD, ABBOTSFORD, BC CANADA V2S 8A3 p 604.755.7132

- TREE PROTECTION GUIDELINES:**
- TREE PROTECTION ZONES (TPZ):** THE TPZ ALIGNMENTS ARE SHOWN ON THE TREE MANAGEMENT DRAWING AS PREPARED BY THIS OFFICE. THESE ALIGNMENTS ARE BASED ON SITE AND TREE CONDITIONS AS DETERMINED BY THE PROJECT ARBORIST, AND THEY SUPERSEDE ANY OTHER TREE PROTECTION SETBACKS PROVIDED BY OTHERS (INCLUDING CITY GUIDELINE DERIVED SETBACKS).
 - TREE PROTECTION FENCES (BARBERS):** BARBERS MUST BE ERECTED AT ALIGNMENTS AS SHOWN ON THE DRAWING, MAINTAINED IN GOOD CONDITION UNTIL THE PROJECT MEETS SUBSTANTIAL COMPLETION, AND THE RESTRICTIONS IMPLEMENTED AS PER THE GUIDELINES HEREIN. THE FENCE CONSTRUCTION IS TO MEET OR EXCEED THE DETAIL HEREIN AND/OR MUNICIPAL STANDARDS. TREE PROTECTION FENCING MUST BE INSPECTED AND APPROVED BY THE MUNICIPALITY AND/OR THE PROJECT ARBORIST PRIOR TO ANY DEMOLITION, SITE PREPARATION OR CONSTRUCTION WORK COMMENCING. ANY CONTINGUATED CHANGES TO THE TPZ FENCES MUST BE APPROVED IN ADVANCE BY THE PROJECT ARBORIST.
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 - LANDSCAPING:** THE LANDSCAPING PHASE IS WHEN RETAINED TREES CAN BE SEVERELY DAMAGED. THE OPERATION OF EQUIPMENT, PLACEMENT OF GROWING MEDIA, GRADING AND SUB-BASE PREPARATION FOR HARD LANDSCAPE FEATURES (E. SIDEWALKS AND PATIOS), SITE PREPARATION FOR RETAINING WALLS AND FOOTINGS, EXCAVATION FOR FENCES, SIGNS AND OTHER LANDSCAPE FEATURES, DESIGNING OF PLANTING HOLES FOR NEW PLANTS AND TREES, THE DROPPING OF BRANCHES OR IRRIIGATION, GRASSMAGE AND LIGHTING, REFLECTIVE ACCESS BY WORKERS, THE PLACEMENT OF TUBS AND OTHER FINISHING WORKS ALL HAVE A VERY HIGH POTENTIAL FOR TREE DAMAGE (E. ROOT LOSS OR DAMAGE, TRUNK WOUNDS, SURFACING SOIL DAMAGE AFFECTS, ETC.). IT IS VITAL THAT THE LANDSCAPE WORKS RESPECT THE LIMITATIONS ON ACTIVITIES WITHIN THE TPZ. THEREFORE THE LANDSCAPE INSTALLATION START SHOULD BE ADVISED, ON-SITE DIRECTION BY THE PROJECT ARBORIST IS STRONGLY RECOMMENDED.
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TREE MANAGEMENT DRAWING FOR RC

PROJECT: **BP APPLICATION LOT 7**

ADDRESS: **2650 143A STREET SURREY, BC**

CLIENT: **AMRIKA ENTERPRISES**

ACL FILE: **10258** SHEET: **3 OF 4**

ARBORTECH CONSULTING



a division of:

November 25, 2013

Attn.: **Doris Ho**
City of Surrey
 14245 56th Avenue
 Surrey, BC V3X 3A2

cc: **Amrik Purewal – Owner**
 ACL File: **10258**
 Project Ref: **2668 143A Street Surrey BC**
 Re: **Tree 571**

Dear Ms. Ho,

Pursuant to my site visit from October 18 2013, I report that the retained fir tree #571 was successfully protected through to the “lock-up” stage of house construction.

The owner has expressed concern about the potential for the tree to fail in whole, as well as branches breaking and the related risks to his family. I observed that there were branches on the ground that had naturally failed from this tree during recent late summer wind storms, and one of those branches was nearly 10 cm diameter.

The owner is also concerned about the overhanging foliage above the roof and related damage and increased maintenance related to that.

My commentary in respect of the owner’s risk concerns are that;

- With the continued and successful protection of this tree through to completion of construction and landscaping, this tree is and should continue to be at low risk to fail by toppling (i.e. windthrow failure).
- There is risk of branch failure during high wind events or from heavy precipitation loads. Branch breakage is a nature risk with trees in general, but more commonly with this species than with many other species. There are many limbs of the medium size category that could cause serious personal injury or property damage. Pruning can be an effective mitigation treatment, however it would not eliminate that risk. And in this case, I cannot identify any limbs that have significantly more risk than the other limbs, so pruning would be indiscriminate at best. It is common in our region for these risks to be tolerated by tree owners. It is my understanding that the owner wishes to remove this tree to address his risk concerns.

If you require any further information, please contact the undersigned.

Regards,

Norman Hol, Consulting Arborist
 Direct: **604 813 9194**
 Email: **norm@aclgroup.ca**



Qualifications:

ISA Certified Arborist #PN-0730
 Certified Tree Risk Assessor #0076
 Certified Wildlife and Danger Tree Assessor
 Land Survey Technologist

ARBORTECH CONSULTING



a division of:

November 25, 2013

Rev 1: January 14 2014

Attn.: **Doris Ho**
City of Surrey
 14245 56th Avenue
 Surrey, BC V3X 3A2

cc: **Amrik Purewal – Owner**
 ACL File: **10258**
 Project Ref: **2650 143A Street Surrey BC**
 Re: **Trees 581 and 582**

Dear Ms. Ho,

Pursuant to my site visit from October 18 2013, I report that the retained fir tree #'s 581 and 582 appear to have been adequately protected through to the completion of the civil infrastructure construction (servicing, lot grading, etc). There is no house construction commenced on this lot as yet. The owner has expressed concern about the current health condition of the tree.

- Tree # 581 is in early stages of declining health, manifested by random limb mortality in all parts of the crown.
- The adjacent fir tree # 582 located to the northwest, as well as off-site tree # 583 located on adjacent lot 8 are also in declining health as manifested by overall severely reduced vigour and dieback. This is relevant in that it is an indicator as to the cause of the dieback.
- It is my opinion that the decline in health is from root related issues. It could be from a general soil hydrology change in the past few years related to the lot grading and civil works, or it could be root disease related.
- Some measures could be attempted to try and assist trees 581 and 582 in recovery. Those measures may include soil amendment and supplemental watering for an interim period. I expect that tree this tree will continue to decline if untreated, and it is possible that even if treated it may still not recover. I understand that owner wishes to remove and replace these two trees.



If you require any further information, please contact the undersigned.

Regards,

Norman Hol, Consulting Arborist
 Direct: **604 813 9194**
 Email: **norm@aclgroup.ca**

Qualifications:
 ISA Certified Arborist #PN-0730
 Certified Tree Risk Assessor #0076
 Certified Wildlife and Danger Tree Assessor
 Land Survey Technologist