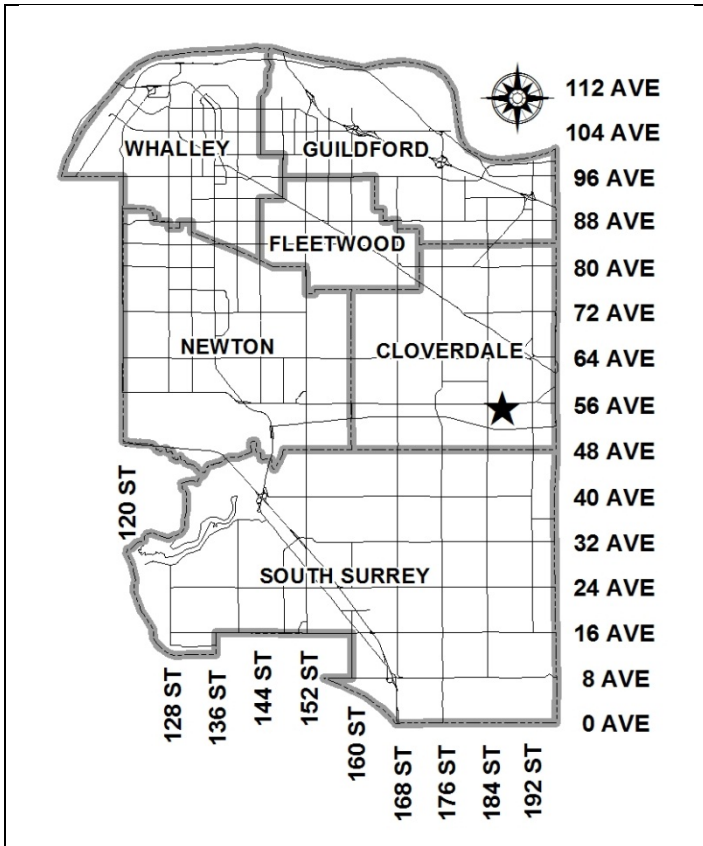


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7913-0196-00

Planning Report Date: November 12, 2013



**PROPOSAL:**

- **Development Permit**
- **Temporary Industrial Use Permit**

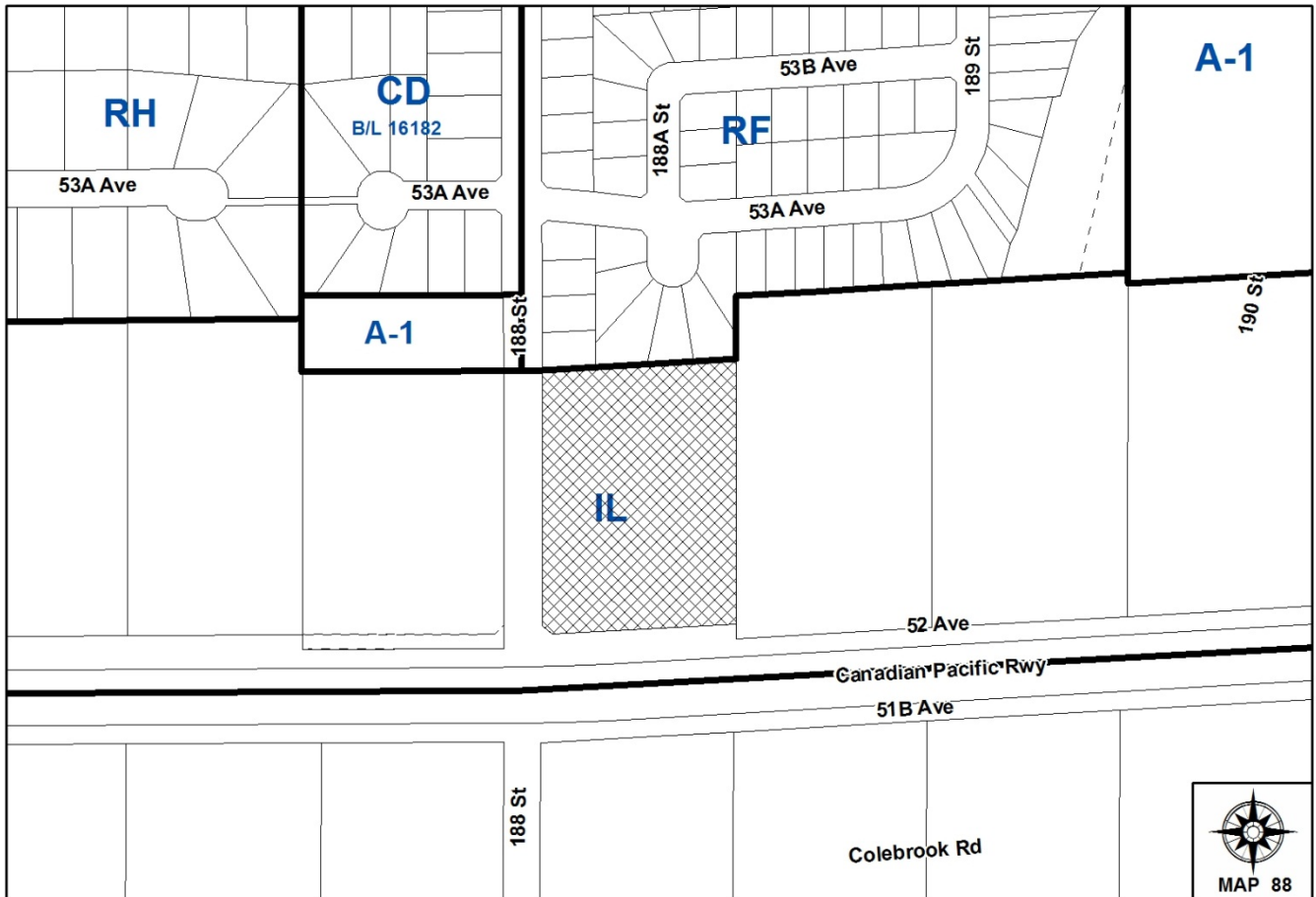
in order to permit the development of a trucking facility including office and maintenance building. The Temporary Industrial Use Permit is to allow truck parking prior to construction of the building, for a maximum of 2 years.

**LOCATION:** 18833 - 52 Avenue

**OWNER:** 0971200 BC Ltd

**ZONING:** IL

**OCP DESIGNATION:** Industrial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Temporary Industrial Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Industrial designation in OCP and IL Zone.
- Complies with the Cloverdale Local Area Plan.
- Landscaped buffering will be provided along the north property line, prior to the site being used for truck parking, to ensure improved separation between the proposed industrial activities and the existing single family lots to the north.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7913-0196-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Temporary Industrial Use Permit No. 7913-0196-00 (Appendix IV) to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval of Temporary Industrial Use Permit No. 7913-0196-00:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) completion of Pre-Servicing Requirements identified for the proposed truck parking (Appendix VI); and
  - (c) planting of the 10-metre (33 ft.) landscaping buffer along the rear lot line, to the satisfaction of the Planning and Development Department.
4. Council instruct staff to resolve the following issues prior to final approval of Development Permit No. 7913-0196-00:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

## REFERRALS

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling and vacant lots.	Urban	RF
East:	Unauthorized truck park currently under Development Application No. 7907-0088-00 for a Temporary Industrial Use Permit (Pre-Council).	Industrial	IL
South (Across 52 Avenue and Canadian Pacific Railway tracks):	Vacant untilled agricultural land within the ALR.	Agricultural	A-1
West (Across 188 Street):	Vacant lot.	Industrial	IL

DEVELOPMENT CONSIDERATIONS

Current Proposal:

- The subject lot is located at 18833 – 52 Avenue in southeast Cloverdale and encompasses an area of 1.5 hectares (3.7 acres). The subject site is designated Industrial under the Official Community Plan (OCP) and is zoned Light Impact Industrial Zone (IL).
- The applicant is proposing to develop the site in two phases. The first phase consists of a temporary truck parking facility, while the second phase consists of the construction of a building to house the consolidated operations of Lotus Terminals, a Surrey-based trucking firm, as well as a permanent, paved truck parking area.
- The temporary truck parking proposal, for which the applicant requires a Temporary Use Permit, will permit the applicant to park trucks, associated with the current business operation, on the site while the subject site is being serviced and the proposed building being constructed. The applicant will be required to obtain a Development Permit for the second phase of the proposal that will permit construction of the proposed building and the landscaping and paving of the site.

*Phase 1 – Temporary Industrial Use Permit (TUP) for Truck Parking:*

- The applicant is proposing to create a temporary truck parking area on the northern portion of the site that will be large enough to accommodate 11 tractors and 42 trailers (Appendix IV).
- The applicant advises that approximately 30 return trips per day will be made by the trucks belonging to the subject trucking firm. Trucks will leave the between 5:00 a.m. and 7:00 a.m.

and return in the afternoon. Not all trailers will leave every day and some may remain stored on site for several days without leaving.

- In 2008, City Council approved the rezoning of the lands immediately to the north of the subject site that resulted in the creation of a number of single family lots that are located on the northern boundary of the subject site.
- In order to mitigate the impact of the industrial lands to the south and the noise generated by the industrial activities on these lands, dwellings constructed on these lots are required to incorporate measures during construction, such as increased insulation and higher quality windows.
- Further, to increase the separation between these single family dwellings and the adjacent industrial lands, a 6-metre (20 ft.) wide landscape buffer was constructed on the southern portion of these single family lots as a condition of approval.
- To add to this existing landscaped buffer, and to improve separation between the two land uses and to screen the temporary and permanent truck parking area, the applicant is proposing to construct an additional 10 metres (33 ft.) of landscape buffer along the north property line of the subject site. This landscaped buffer will consist of maple, cypress, dogwood, spruce, aspen, oak and cedar trees, mixed with low growing shrubs.
- The applicant will be required to install this landscape buffer prior to Council being asked to consider issuance of the TUP for the proposed temporary truck parking.
- As part of the installation of this landscape buffer, the applicant is proposing to grade the site to the ultimate geodetic elevations that will be achieved under the proposed Development Permit for the site, so that the landscape buffer does not have to be removed and reinstalled when the proposed permanent building and permanent paved truck parking area are constructed.
- The applicant intends to complete the Development Permit and proceed with the construction of a permanent building by Spring 2014.

*Phase 2 – Development Permit for Trucking Facility with Office and Maintenance Building:*

- The second phase of the proposed development consists of a Development Permit to allow the construction of a permanent building that will house offices for the subject trucking company as well as an area for the maintenance of trucks. The second phase also incorporates the paving of the truck parking area and the landscaping of the balance of the site.
- The proposed building has a floor area of 2,878 square metres (31,000 sq. ft.). This translates to a floor area ratio (FAR) of 0.19 and a lot coverage of 11.2% which are below the maximum FAR of 1.0, and the maximum lot coverage of 60%, permitted in the IL Zone.
- The proposed building is located along the southern portion of the site facing 52 Avenue.
- The applicant proposes to provide 21 parking spaces for employees and visitors parking along the 52 Avenue and 188 Street frontages of the subject site. The number of proposed employee and visitor parking spaces is in accordance with the parking requirement of Surrey Zoning By-

law No. 12000.

- The applicant is also proposing to create and pave 42 parking spaces for trailers and 11 spaces for tractors within the northern portion of the site.

#### Site Access (Appendix V):

- The ultimate road network in the vicinity of the subject site has not yet been completed, particularly those sections of road that provide access to the industrial lands to the east and west of the subject site from Highway No. 10 and 192 Street, both of which are major arterial routes designated as truck routes.
- Further, the issue of truck traffic using roads through the residential areas to the north of the subject site is of significant concern to residents in these residential areas.
- As a result, finding an acceptable truck route to the subject site from Highway No. 10 and 192 Street has proven to be problematic.
- As part of the Roberts Bank Rail Corridor Program (RBRC), a new east-west connector route designed to accommodate industrial traffic will be constructed between 192 Street and 184 Street, to the east, south and west of the subject site. This project is tentatively scheduled to begin construction in Spring 2014, and completed by Fall 2014. The new route includes a new road connecting 52 Avenue to 54 Avenue east of the subject site, which will connect to 192 Street at a signalized intersection.
- Currently, the only access to the subject site, at least in the short term, is by way of 188 Street from Highway No. 10 to the subject site at 188 Street and 52 Avenue, even though 188 Street traverses the existing residential neighbourhood to the north. The use of 188 Street as truck access to the subject site is considered an interim solution only, until 52 Avenue east of the subject site has been constructed to the ultimate standard.
- As a requirement of the servicing agreement for both the TUP and the Development Permit, the applicant will be required to upgrade the pavement width along 188 Street along the frontage of the subject site to meet the City's design standards.

#### PRE-NOTIFICATION

- In accordance with Council policy, a Development Proposal Sign has been erected on the property and pre-notification letters were sent to area residents. To date staff have received four phone calls with the following concerns:
  - Increased amount of truck traffic along 188 Street.

*(The route to 192 Street along 52 Avenue is unusable due to substandard pavement and road conditions, and as a result, truck access to the subject site will be 188 Street in the short term.*

*The City is looking to complete two alternate routes. The first is construction of a new road connecting 52 Avenue to 54 Avenue which will connect to 192 Street at a signalized*

*intersection. However, construction of this truck route will likely not begin until the spring of 2014. The second route will connect the site via 52 Avenue to 184 Street. However, this route requires additional land dedication along 52 Avenue and is predicted to be constructed in 2014 (see Appendix V).*

- Neighbouring residential property owners are dealing with increased noise.

*(When properties to the north were rezoned to RF, a condition of approval was that a Section 219 Restrictive Covenant be registered on the each proposed residential lot to alert owners to potential future noise and to require noise mitigating measures in the design of the houses to be built on these lots.)*

- Screening or buffering of the development should be required to reduce glare impacting residential properties.

*(The applicant is proposing to install a 10-metre (33 ft.) wide landscaped buffer along the northern property line that will include a double row of trees to screen the subject site from the adjoining residential properties. Lighting is to be installed along the southern edge of the landscape buffer and will face away from the upland residential area.)*

#### DESIGN PROPOSAL AND REVIEW

- The proposal is for a single tenant building, with a two-storey office component and truck repair/terminal facility.
- The proposed building is approximately 61.9 metres (203 ft.) long by 27.4 metres (90 ft.) wide and will be located on the southern portion of the lot.
- The building is proposed to be constructed using tilt-up concrete panels and aluminum storefront glazing. The primary colours of the building are dark red, grey, and dark yellow. The proposed building is 9.3 metres (30.6 ft.) high, which is within the 18 metres (60 ft.) permitted in the IL Zone.
- The rooftop mechanical units will be screened by a cedar structure, painted grey.
- The building includes steel canopies along the north and south elevations and portions of the west elevation to provide an architectural element but to also provide weather protection.
- Seven large loading doors are proposed along the south elevation and five large and four small loading doors are proposed along the north elevation. All the larger doors are intended as access for tractor trailers only while the smaller doors are intended for smaller vehicles. The building is only intended for tractors. Trailers are intended to be repaired and maintained outside of the building.

#### On-Site Circulation:

- In general, trucks will leave in the morning and return in the evening. The applicant advises there will be limited daytime traffic.

- Two driveway accesses are proposed for the heavy trucks and other vehicles. Weigh scales for weighing loads, will be located next to the 52 Avenue driveway which is proposed to be the ultimate primary access. A drive aisle is proposed along the eastern portion of the site to provide access to the trailer parking spaces at the northern portion of the site.
- The existing driveway on 188 Street will be the primary access for the TUP until new driveway locations can be completed. Due to existing fire hydrants and light standards within both proposed driveway accesses, creation of new driveways will be designed as part of the servicing agreement which will be finalized before the Development Permit is in order for consideration of approval.
- Due to the limited pavement width currently on 188 Street, no access to 188 Street will be allowed until the servicing agreement associated with the TUP is completed, for widening the pavement width on 188 Street around the existing driveway location.
- Gates are proposed to secure the parking areas of the site. The applicant is proposing a 20-metre (66 ft.) queuing area between the gates and the property line.
- The truck parking area will be paved which will limit the dust created by the parking of the vehicles.
- An approximate 2.4-metre (7.9 ft.) high east-west retaining wall is proposed through the middle of the site which helps with the transition of grades.

#### Landscaping:

- The applicant proposes to remove six (6) alders but proposes to plant approximately 90 trees.
- Along 52 Avenue in front of the building, the applicant has proposed a 3.0-metre (10 ft.) wide landscaping buffer of oak trees and mixed shrubs. Along 188 Street, the applicant is proposing a 1.5-metre (5 ft.) wide buffer consisting of oak trees and cedar hedges along the majority of the property line and a larger 10-metre (33 ft.) wide buffer along the northern portion of the property. Screened by the landscaping, a 2.4-metre (8 ft.) black chain link fence is proposed along the east, south and west. A cedar fence is proposed along the rear yards of the residential properties to the north.
- This proposed 10 metre (33 ft.) landscaping buffer along the north property line rear buffer area incorporates a variety of deciduous and coniferous trees and shrubs.

#### Lighting:

- The applicant proposes surface wall lighting on the building and pole-mounted lighting within the truck parking and entrance area. The 13 proposed pole lights are approximately 6 metres (20 ft.) in height. To limit impact on residential properties, the lighting poles at the rear of the property will face away from the residential area.

#### Signage:

- The applicant proposes a free-standing sign at the corner of 188 Street and 52 Avenue. The proposed sign is 2.1 metres (7 ft.) tall by 4 metres (13 ft.) wide for a total area of 8.5 square



metres (91 sq. ft.) which complies with the Sign By-law. The proposed sign has a brick base and will be a concrete cast-in-place sign with the civic address and lettering for Lotus Terminals. Lettering will be constructed of aluminum.

- The Lotus Terminals name and logo are proposed on the upper portion of the south and west building elevations. Proposed signage will be constructed of aluminum and has dimensions of approximately 0.9 metre (3 ft.) by 3.7 metres (12 ft.). The number and size of signage comply with the Sign By-law.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	Temporary Industrial Use Permit No. 7913-0196-00
Appendix V.	Map of Surrounding Area and Site Access
Appendix VI.	Pre-Servicing Requirements

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

JKS/da

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## DEVELOPMENT DATA SHEET

Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b>		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		1.4 hectares
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	60%	11.8%
Paved & Hard Surfaced Areas		78%
Total Site Coverage		89.8%
<b>SETBACKS ( in metres)</b>		
Front	7.5 metres	13.8 metres
Rear	7.5 metres	98.6 metres
Side #1 (West)	7.5 metres	20 metres
Side #2 (East)	7.5 metres	26.6 metres
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	18 metres	9.3 metres
Accessory		
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
<b>FLOOR AREA: Residential</b>		
<b>FLOOR AREA: Commercial</b>		
Retail		
Office		279 sq. metres
Total		
<b>FLOOR AREA: Industrial</b>		
		1,300 sq. metres
<b>FLOOR AREA: Institutional</b>		
<b>TOTAL BUILDING FLOOR AREA</b>	<b>8,400 sq. metres</b>	<b>1,579 sq. metres</b>

## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.11
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	17	17
Industrial	5	5
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	22	22
Number of disabled stalls		1
Number of small cars		1
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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KEY CONTEXT PLAN



VIEW C - LOOKING SOUTH - RAILWAY AND EMPTY LOTS



VIEW A - LOOKING NORTH - RESIDENTIAL PROPERTY



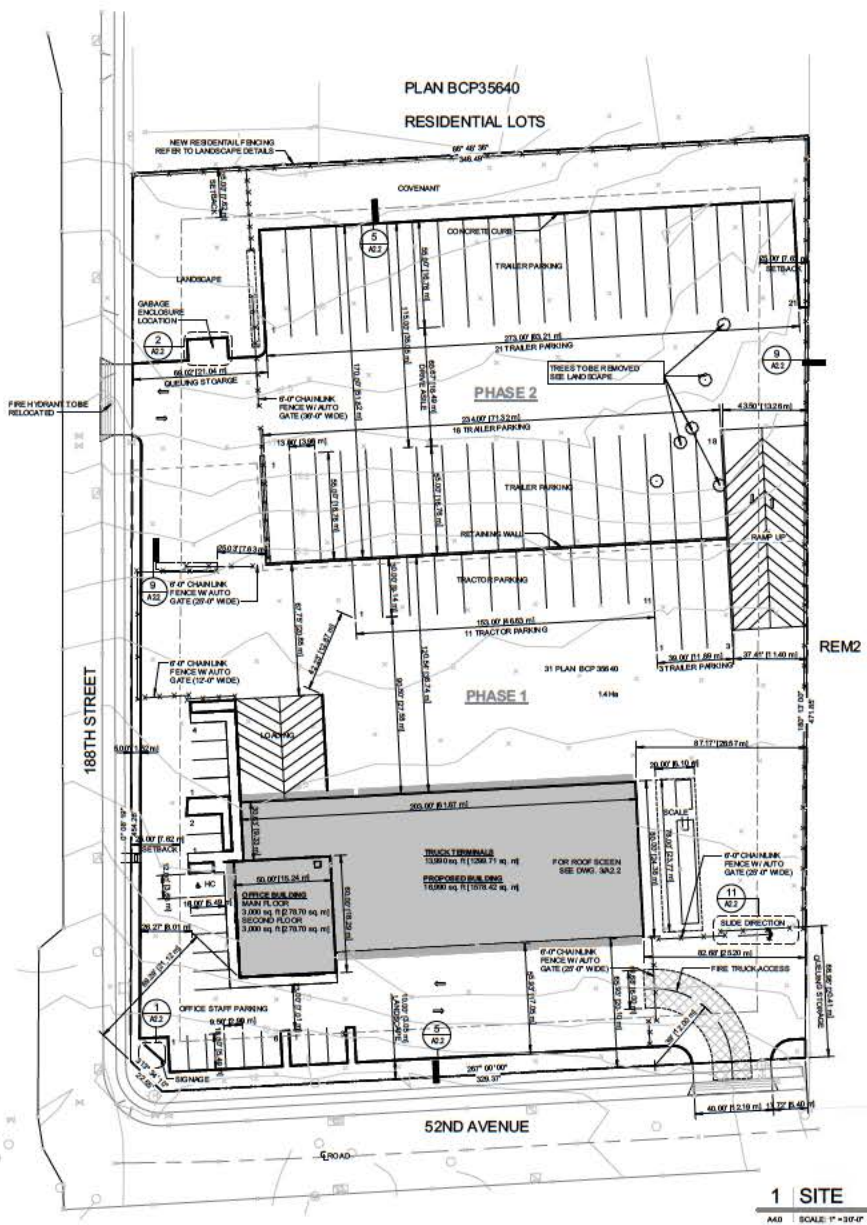
VIEW B - LOOKING EAST - TRUCK PARKING PROPERTY



VIEW D - LOOKING WEST - INDUSTRIAL ZONE PROPERTY

NO.	DATE	BY	DESCRIPTION
1			
2			
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**PROPERTY INFO:**

CIVIC ADDRESS: 18833-52 AVE, SURREY, B.C.  
 1.41 ha = 3.48 acres (1,011,890.29 sq ft.)

LEGAL DESCRIPTION: LOT 31, SECTION 4, TOWNSHIP 4, N.W.D., PLAN BCP35640

SITE PLAN DRAWN FROM SURVEY OR TANGIBLE LAND SURVEYING PLAN  
 DATE: JULY 31, 2013

**ZONING BY-LAW ANALYSIS**

- ZONING:** LIGHT INDUSTRIAL ZONE (L)
- SITE AREA:** 1.41 ha = 3.48 acres (1,011,890.29 sq ft.)
- SITE COVERAGE:**
  - BUILDING AREA = 16,800 sq ft
  - ACTUAL SITE COVERAGE = 11.16%
  - ALLOWABLE SITE COVERAGE = 60%
- MAXIMUM PERMISSIBLE HEIGHT:** 16.0 m (50.0 ft)  
 PROPOSED HEIGHT = 10.36m (34'0")
- SETBACKS:**
  - FRONT YARD: 7.5m (25' 0")
  - REAR YARD: 7.5m (25' 0")
  - SIDE YARD: 7.5m (25' 0")

\* ONE SIDE YARD MAY BE REDUCED TO 0.0 METER IF THE SIDE YARD ADJUTS LAND WHICH IS COMMERCIAL, OR INDUSTRIAL
- LANDSCAPING:** ALL LANDSCAPING TO SURVEY ZONING BYLAW  
 SEE LANDSCAPING PLANS FOR DETAILS
- PARKING REQUIREMENTS:**
  - INDUSTRIAL SPACE: 1 STALL PER 1,075 SQ FT OF GROSS FLOOR AREA  
 EXCLUDING RETAIL AREA (INCLUDING INCOLLARY OFFICE USE)
  - INDUSTRIAL SPACE: 16,800 SQ FT (1,575)
  - TOTAL STALLS REQUIRED = 16 (16/87)
  - TOTAL STALLS PROVIDED = 22
  - DISABLED PARKING = 1
  - PARKING SPACE SIZES:
    - TYP. SPACE (27'x18') = 2.40 m x 5.5 m (7.87x18.0)
    - TYP. SPACE (22'x18') = 2.13 m x 5.5 m (6.99x18.0)
    - TYP. SPACE (22'x16') = 2.00 m x 5.0 m (6.56x16.0)
    - TYP. INC-SPACE (22'x16') = 3.7 m x 5.5 m (12.0x16.0)

**1 SITE**  
 A40 SCALE: 1" = 32' 0"



NO.	DATE	BY	DESCRIPTION
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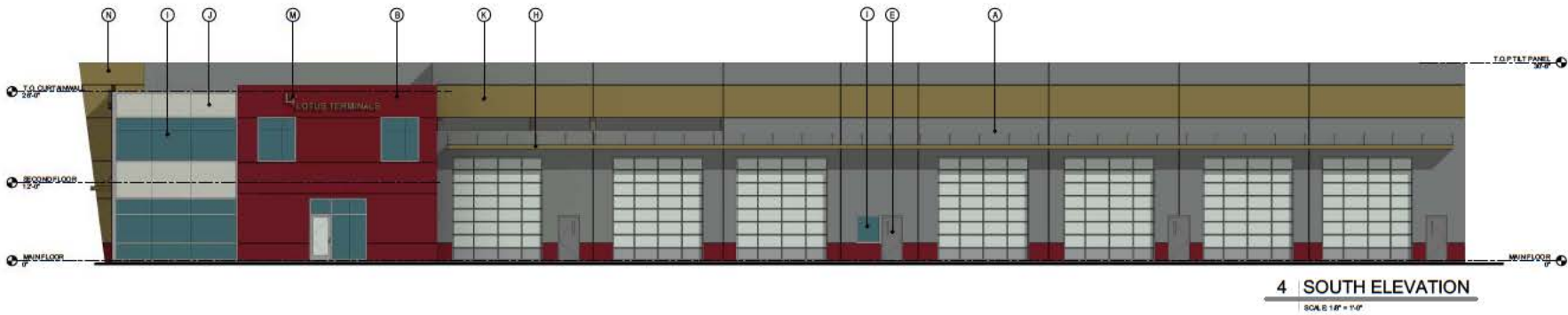
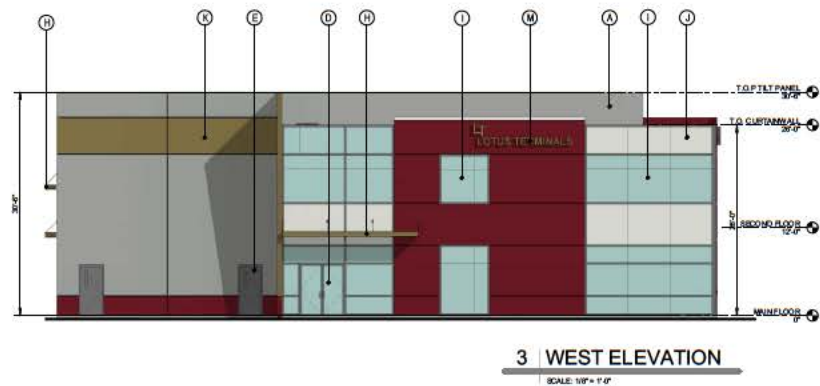
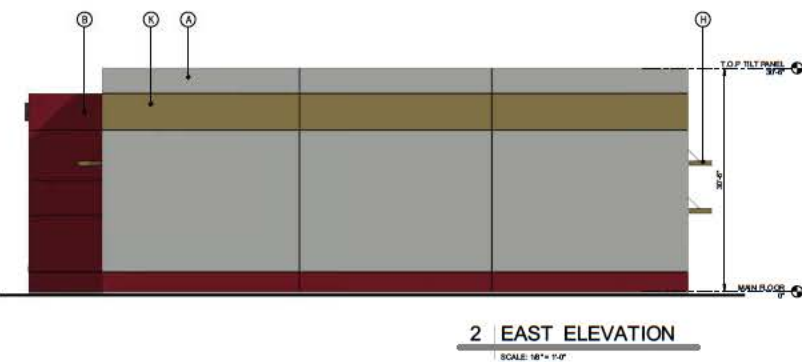
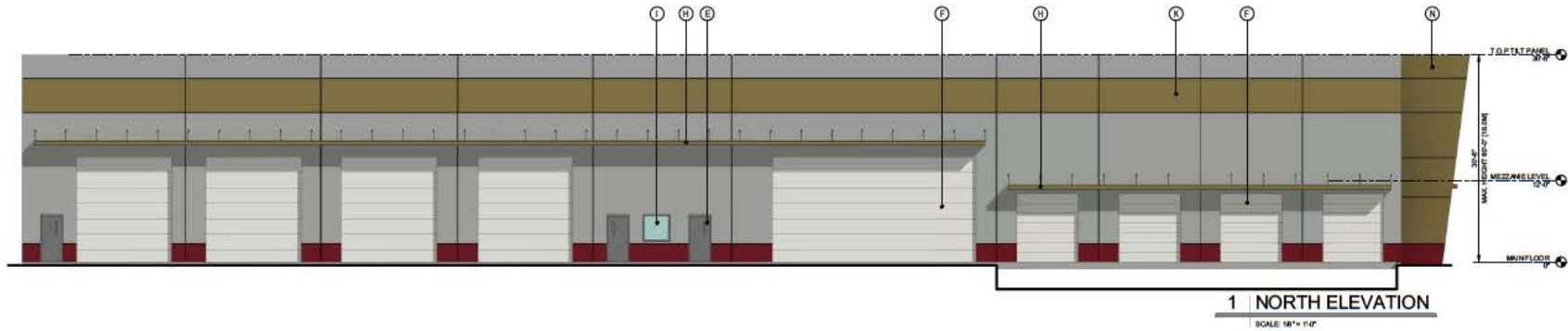
**LOTUS TERMINALS LTD**  
 18833-52 SURREY, BC

**SITE PLAN**

SCALE	BY	DATE
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AS PREPARED	AK	2013.07.11
CHECKED	AK	2013.07.11
PROJECT NO.	AK	2013.07.11
DRAWING NO.	AK	2013.07.11

**A2.0**

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MATERIAL LEGEND	
A	CONCRETE TILT PANEL - GENERAL PAINT CLR127W CHARLSTON
B	CONCRETE TILT PANEL - GENERAL PAINT CLR039 WILMA CAME
D	PREFINISHED EXTRUDED ALUMINUM STORE FRONT - CLEAR ANODIZED FINISH
E	PREFINISHED METAL DOOR & FRAME
F	PREFINISHED OVERHEAD DOOR
H	STEEL CANOPY - GENERAL PAINT CLR127TA STRAW HAT
I	TINTED ALUMINUM CURTAINWALL GLAZING
J	SPRINKLER GLAZING IN EXT. GLAZING FRAMES - CLEAR ANODIZED FINISH
K	CONCRETE TILT PANEL SANDOR - GENERAL PAINT CLR127TA STRAW HAT
M	CONCRETE WING TILT PANEL - GENERAL PAINT CLR127TA STRAW HAT
N	CONCRETE WING TILT PANEL - GENERAL PAINT CLR127TA STRAW HAT

NO.	DATE	BY	DESCRIPTION

**BROCK CROOME ARCHITECT**  
ARCHITECTURE & INTERIOR DESIGN  
401 WEST CLAYTON AVENUE, ABOTSFORD B.C. V8B 3B9  
TEL: 604.883.1111 FAX: 604.883.1112 WWW.BROCKCROOME.COM

PROJECT NAME:  
**LOTUS TERMINALS LTD**

PROJECT ADDRESS:  
18833-52 SURREY, BC

DRAWING TITLE:  
**ELEVATIONS**

SCALE: 1/8" = 1'-0"

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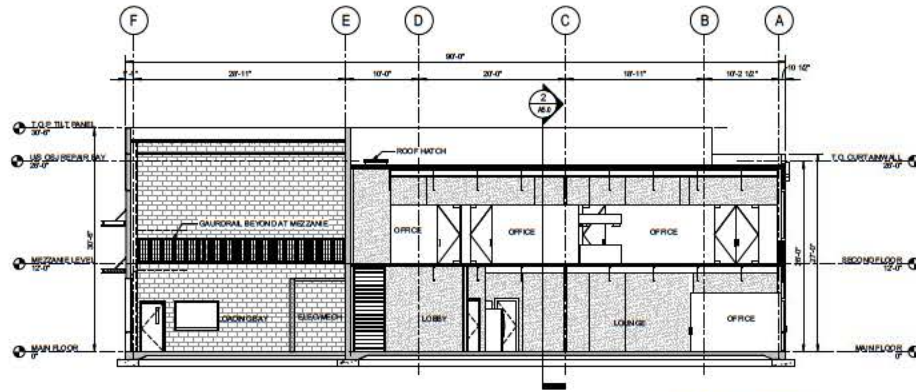
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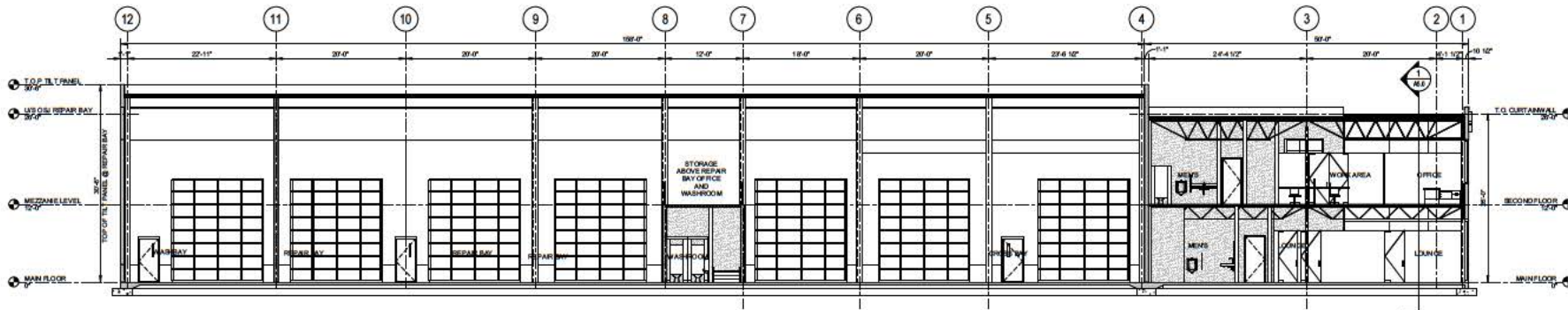
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**1 CROSS SECTION**  
SCALE: 1/8" = 1'-0"



**2 LONGITUDINAL SECTION**  
SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
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10	2016.11.22	ISSUED FOR PERMIT
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**BROCK CROOME ARCHITECT**  
ARCHITECTURAL FIRM INCORPORATED  
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**LOTUS TERMINALS LTD**

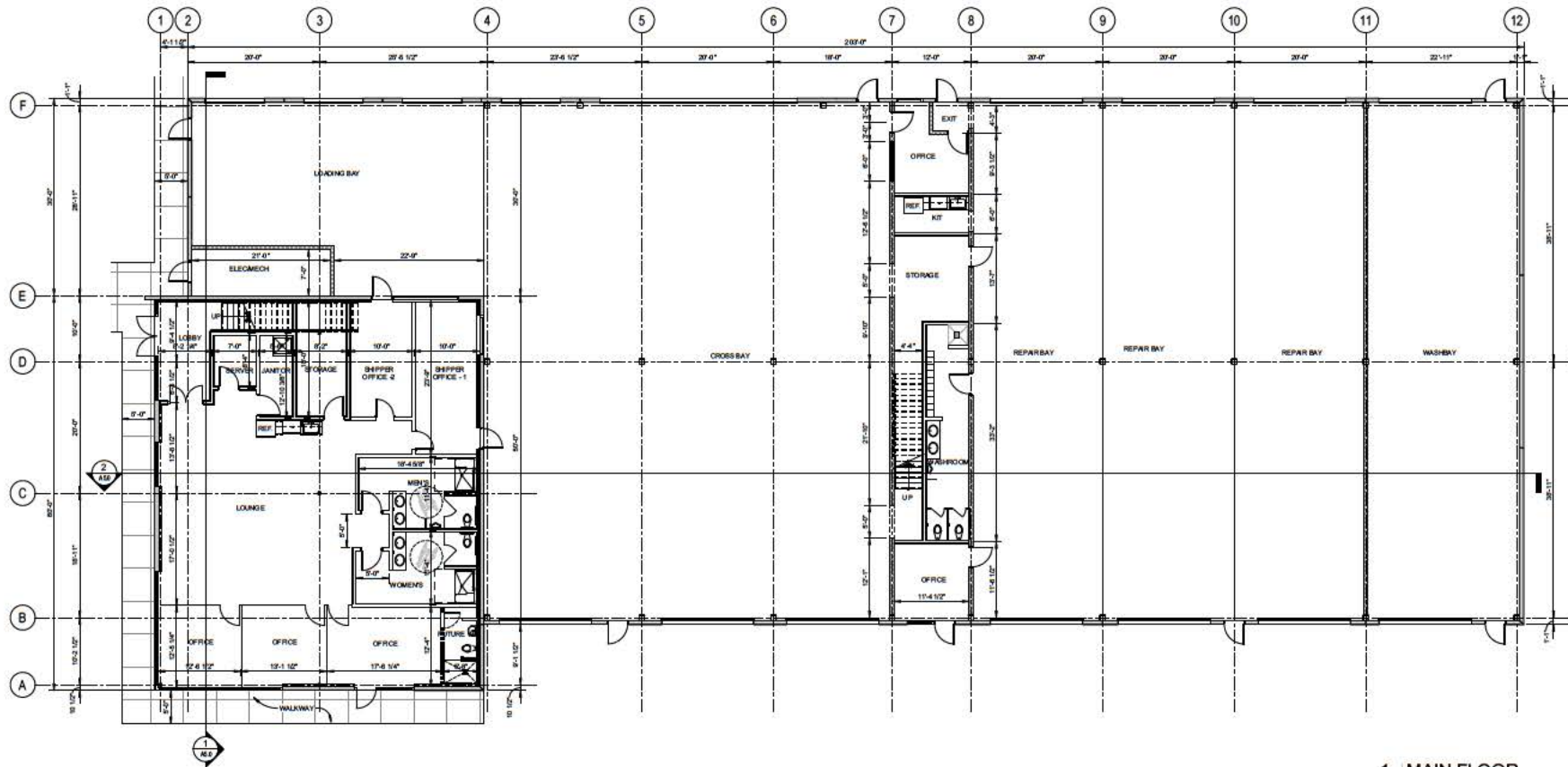
PROJECT ADDRESS  
**1833-52 SURREY, BC**

DRAWING TITLE  
**SECTIONS**

SCALE: 1/8" = 1'-0"  
DRAWN: [Name]  
CHECKED: [Name]  
PROJECT NO: [Number]  
DRAWING NO:

**A5.0**

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.



**1 MAIN FLOOR**  
A3.0 SCALE: 1/8" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	2011.01.11	PRJ	PRELIMINARY
2	2011.02.01	PRJ	REVISED
3	2011.02.01	PRJ	REVISED
4	2011.02.01	PRJ	REVISED
5	2011.02.01	PRJ	REVISED
6	2011.02.01	PRJ	REVISED
7	2011.02.01	PRJ	REVISED
8	2011.02.01	PRJ	REVISED
9	2011.02.01	PRJ	REVISED
10	2011.02.01	PRJ	REVISED
11	2011.02.01	PRJ	REVISED
12	2011.02.01	PRJ	REVISED



**BROCK CROOME ARCHITECT**  
ARCHITECTS & PLANNERS  
405-1075 W. BROAD AVENUE, VANCOUVER, BC V6K 6R6  
TEL: (604) 681-1111 FAX: (604) 681-1112

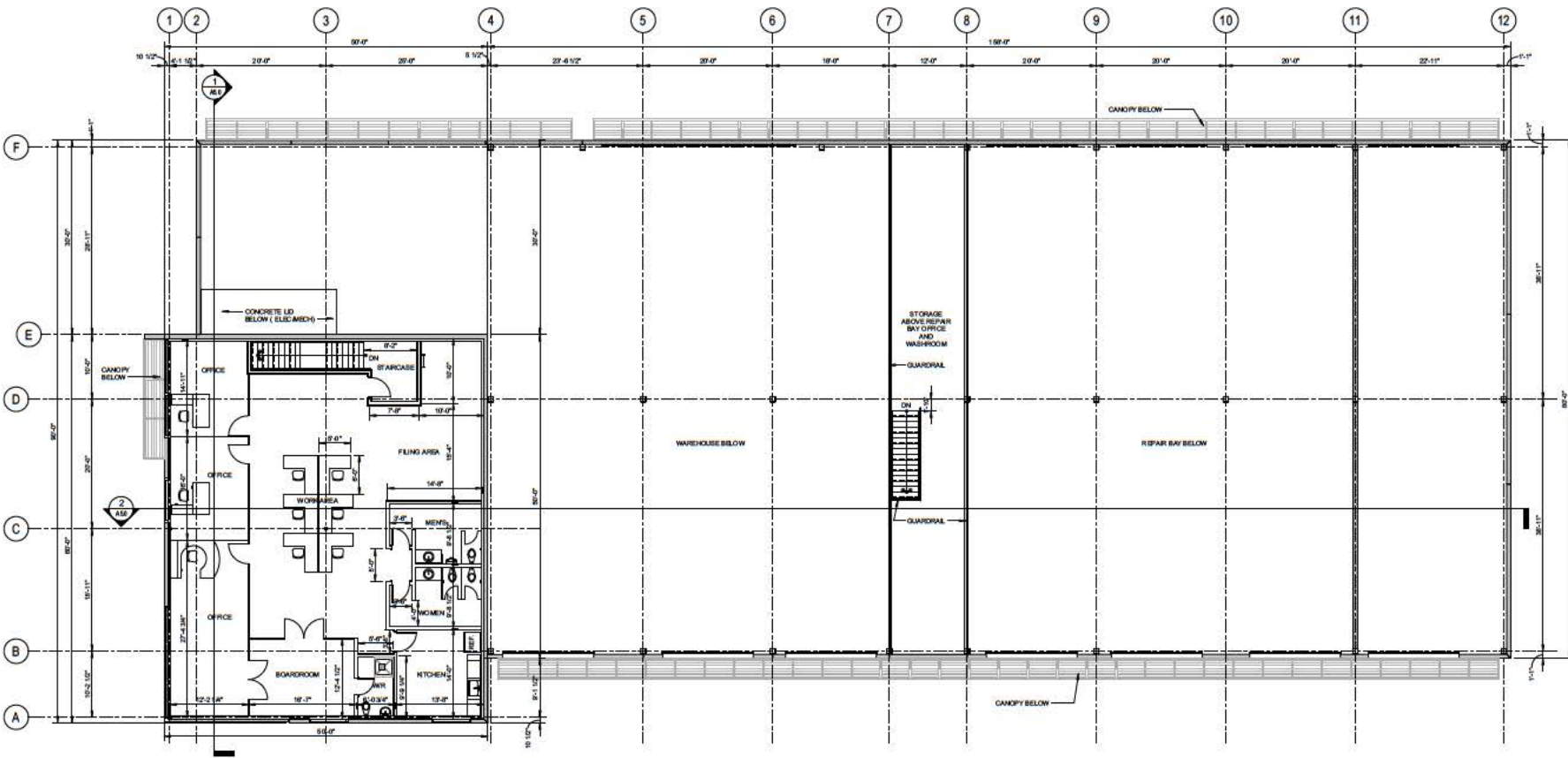
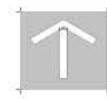
PROJECT NAME:  
**LOTUS TERMINALS LTD**  
PROJECT ADDRESS:  
**18833-52 SURREY, BC**

DRAWING TITLE:  
**MAIN FLOOR PLAN**

SCALE	1/8" = 1'-0"
DRAWN	W.K.P.
CHECKED	D.H.
PROJECT NO.	A3.0
DRAWING NO.	

**A3.0**

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND IS TO BE KEPT IN CONFIDENTIALITY WITHOUT FURTHER RECORDING.



NO.	DATE	DESCRIPTION
1	2013.03.11	PRELIMINARY
2	2013.03.11	DESIGN DEVELOPMENT
3	2013.03.11	DESIGN DEVELOPMENT
4	2013.03.11	DESIGN DEVELOPMENT
5	2013.03.11	DESIGN DEVELOPMENT
6	2013.03.11	DESIGN DEVELOPMENT
7	2013.03.11	DESIGN DEVELOPMENT
8	2013.03.11	DESIGN DEVELOPMENT
9	2013.03.11	DESIGN DEVELOPMENT
10	2013.03.11	DESIGN DEVELOPMENT
11	2013.03.11	DESIGN DEVELOPMENT
12	2013.03.11	DESIGN DEVELOPMENT



**BROCK CROOME ARCHITECT**  
ARCHITECTURE, PLANNING AND INTERIOR DESIGN  
401-407 CLAYTON AVENUE, VANCOUVER, B.C. V6B 0K6  
TEL: 604-261-1111 FAX: 604-261-1112 WWW.KRAHN.COM

PROJECT NAME:  
**LOTUS TERMINALS LTD**

PROJECT ADDRESS:  
**18833-52 SURREY, BC**

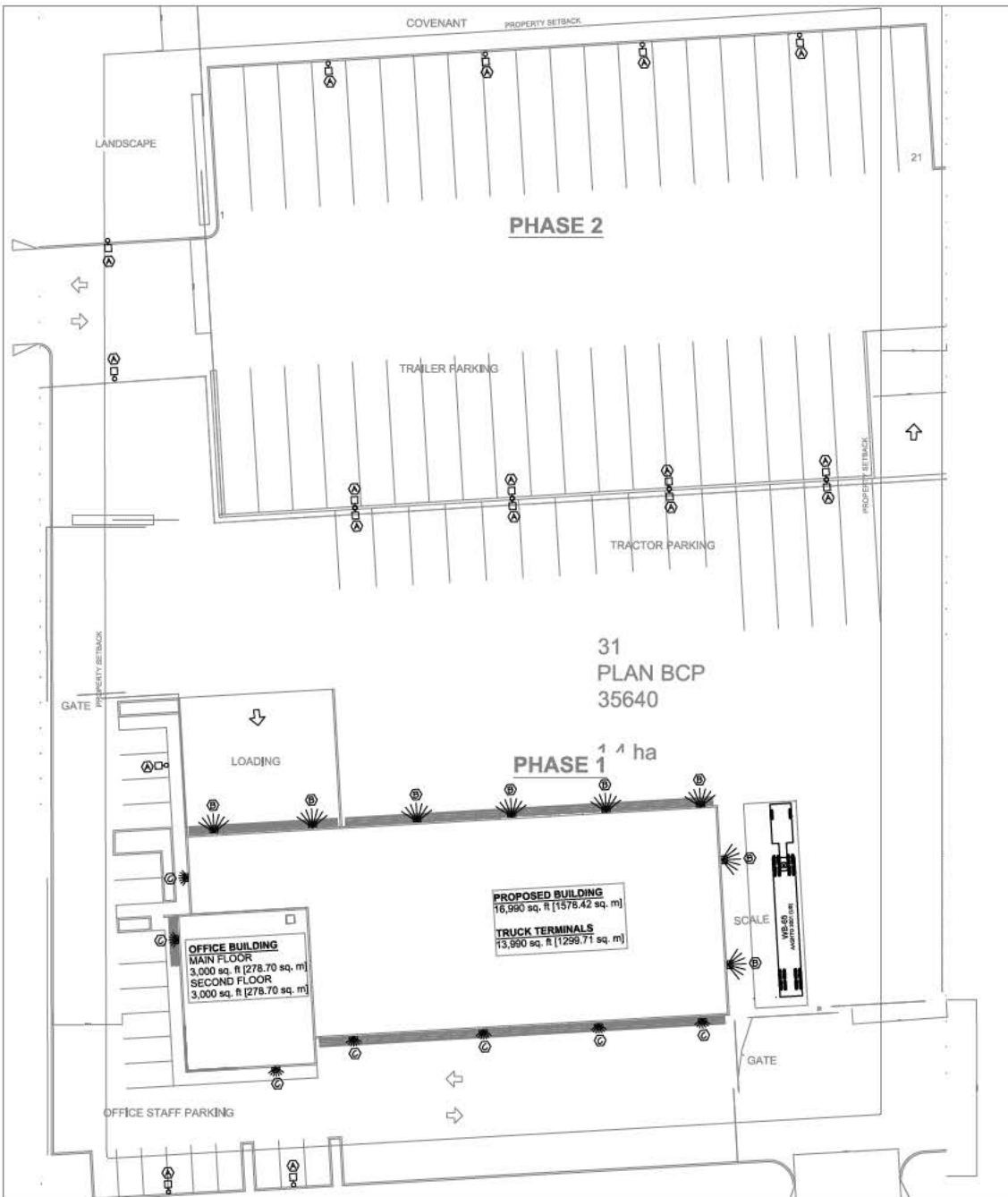
**1 SECOND FLOOR**  
SCALE: 1/8" = 1'-0"

DRAWING TITLE:  
**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
DRAWN: W.K.P.E.  
CHECKED: D.M.S.  
PROJECT NO: 1188  
DRAWING NO:

**A3.1**

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LIGHTING FIXTURE SCHEDULE			
FIXTURE TYPE	LAMP	NOTES	
① LITONIA 100W-2024-3000K-20-250W-SP-0A-EN	4000K PULSE START	POLE MOUNTED FIXTURE WITH 20' HANG-HIGH-200W-PP	
② LITONIA 100W-2024-3000K-20-250W-CA-EN-B	4000K PULSE START	SURFACE MOUNT, OFF-AISLE	
③ LITONIA 100W-2024-3000K-20-250W-CA-EN-B	1000H PULSE START	SURFACE MOUNT, OFF-AISLE	

NOTE:  
FIXTURES TO BE AS SPECIFIED OR APPROVED EQUAL.

NORTH ARROW:  
↑

**Krahn**  
GROUP OF COMPANIES

ABBOTSFORD OFFICE:  
404 WEST BAYVIEW AVENUE  
ABBOTSFORD, BC V3G 2B3  
TEL: (604) 857-3333

VANCOUVER OFFICE:  
810 - 101 HASTINGS STREET  
VANCOUVER, BC V6P 4G3  
TEL: (604) 278-1111

*brock cochrane*

BROCK COCHRANE ARCHITECT  
ARCHITECTURE PLANNING  
PERMISSIONS URBAN DESIGN

**KD Electrical**  
CONSULTANTS LTD.


1. 244240176 REVISION FOR CLIENT REVIEW

NO.	DATE	DESCRIPTION

PROJECT NAME:  
**Proposed Heavy Truck Repair  
for Lotus Terminals**

PROJECT ADDRESS:  
**18833-02 AVE  
SURREY, BC**

DATE: 08/14

**SITE PLAN  
LIGHTING LAYOUT**

SCALE:	1"=50'
DRAWN:	MP
CHECKED:	MB
PROJECT NO.:	170881
DRAWING NO.:	

**E1.0**

DESIGN'S LIABILITY IS LIMITED TO THE SCOPE OF THIS DOCUMENT.





1 | SITE PLAN  
1:10 SCALE 1" = 30'-0"

**PLANT LIST & LEGEND**

**TREES**

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	U.S. SPACING COMMENT #1
(Symbol)	15	ACER INCANONUM TULAM	NO LEAF MAPLE	10 CM CAL. 800
(Symbol)	4	ACER RUBRUM 'NORWAY'	AMERICAN MAPLE	10 CM CAL. 800
(Symbol)	4	QUERCUS PARVIFLORA 'STANBRIDGE'	NOCTUA OYSTER	20 FT. 800
(Symbol)	13	CORNUS UTICIFL	PACIFIC DOGWOOD	2 WH. 100 MILLI LITER FILL
(Symbol)	8	PECANUS	PERNAN SPICE	2 WH. 800
(Symbol)	11	POPULUS TREMULA CORD	TREMULA ASPEN	10 CM CAL. 800
(Symbol)	15	CORYLUS CORNUTA 'PACIFIC COAST'	POCKET GREEN CAN	10 CM CAL. 800
(Symbol)	15	TRIFOLIUM ALPINA	WESTERN RED CEDAR	2 WH. 800

**SHRUBS**

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	U.S. SPACING COMMENT #1
(Symbol)	8	BURNING BUSH	WAXEN FRINGE BUSH	# POT. 100 CM O.C.
(Symbol)	76	JUNIPERUS HORIZONTALIS 'TAUGH'	HUGHES JUNIPER	# POT. 60 CM O.C.
(Symbol)	13	FRAXINUS AMERICANA	LEY OF THE VALLEY BIRCH	# POT. 60 CM O.C.
(Symbol)	136	PRUNUS LANCEOLATA 'CITY LINDEN'	CITY LINDEN LABEL	# POT. 60 CM O.C.
(Symbol)	21	FRAXINUS AMERICANA	FRAXINUS COMMON	# POT. 60 CM O.C.
(Symbol)	8	FRAXINUS AMERICANA	FRAXINUS COMMON	# POT. 100 CM O.C.
(Symbol)	40	SPYRINUS BRANDEGII 'GOLD PLUM'	GOLD PLUM SPYRINUS	# POT. 60 CM O.C.
(Symbol)	136	VERBENA OFFICINALIS	DAVE VERBENA	# POT. 60 CM O.C.
(Symbol)	136	TRIFOLIUM ALPINA	EMERALD GREEN CEDAR	1.2 WH. 75 CM O.C.

**GROUNDCOVERS**

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	U.S. SPACING COMMENT #1
(Symbol)	87	ANDROSACEMONTANA	KIMMICKS	# POT. 45 CM O.C.
(Symbol)	6	HYDRANGEA	DAY LILY	# POT. 45 CM O.C.
(Symbol)	21	FRAXINUS AMERICANA	FRAXINUS COMMON	# POT. 60 CM O.C.

**NATIVE PLANTING / BUFFER AREA**

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	U.S. SPACING COMMENT #1
(Symbol)	32	GALEA OFFICINALIS	SEAL	# POT. 100 CM O.C.
(Symbol)	32	CONIUM MACULATUM	DOGWOOD	# POT. 100 CM O.C.
(Symbol)	32	ROSA PRINCEPS	BLACK ROSE	# POT. 100 CM O.C.
(Symbol)	32	FRAXINUS AMERICANA	FRAXINUS COMMON	# POT. 100 CM O.C.
(Symbol)	32	FRAXINUS AMERICANA	FRAXINUS COMMON	# POT. 100 CM O.C.

**EXISTING TREE SCHEDULE**

#	DATE	QTY	NOTE	REPLACEMENT EQUIVALENT
1	ALDER	30 CM	TO BE REMOVED	1 TREE
2	ALDER	30 CM	TO BE REMOVED	1 TREE
3	ALDER	40 CM	TO BE REMOVED	1 TREE
4	ALDER	30 CM	TO BE REMOVED	1 TREE
5	ALDER	40 CM	TO BE REMOVED	1 TREE
6	ALDER	30 CM	TO BE REMOVED	1 TREE

EXISTING RED ALDER TREES TO BE REMOVED

TOTAL REPLACEMENT TREES REQUIRED: 6 (SEE NEW PLANTING LIST ABOVE)

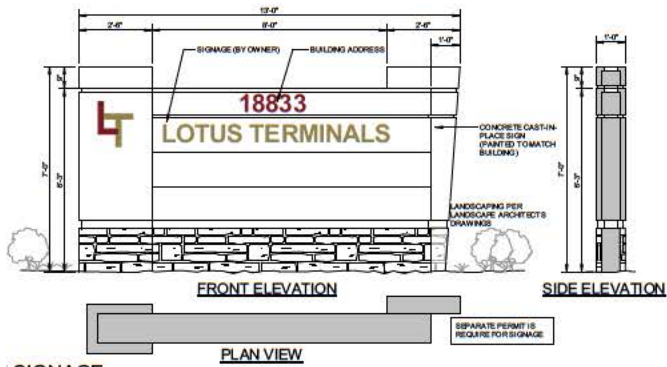


PROPOSED HEAVY TRUCK REPAIR FOR LOTUS TERMINALS

188 33-52 AVE  
SURREY, BC

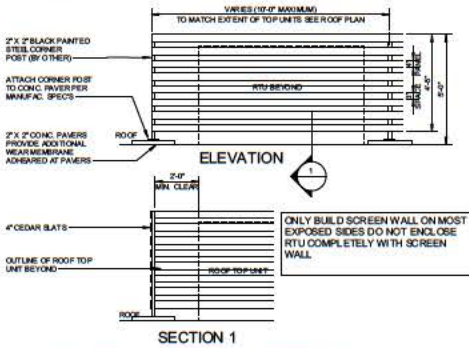
LANDSCAPE PLAN

L-1.0



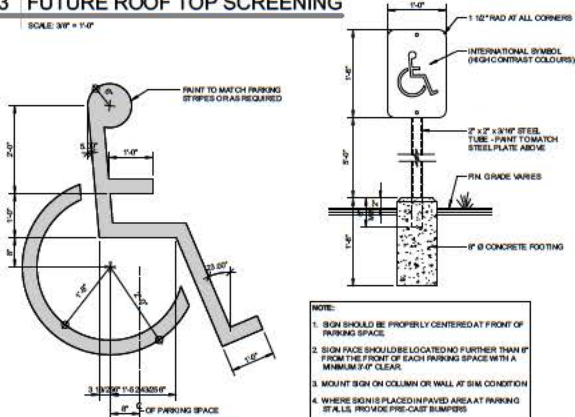
**1 SIGNAGE**

SCALE: 1/2" = 1'-0"



**3 FUTURE ROOF TOP SCREENING**

SCALE: 3/4" = 1'-0"

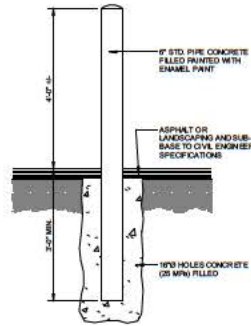


**7 HC SIGN PAINTED**

SCALE: 3/4" = 1'-0"

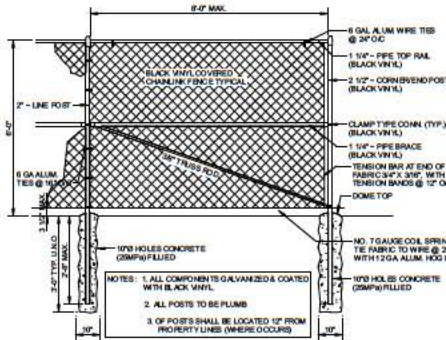
**8 POST MOUNTED H/C SIGN**

SCALE: 1" = 1'-0"



**10 BOLLARD DETAIL**

SCALE: 1 1/2" = 1'-0"

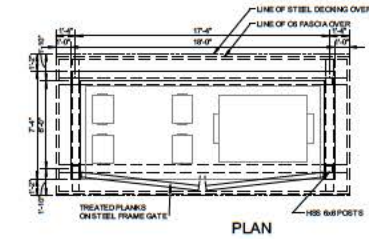


**9 TYPICAL FENCE DETAIL**

SCALE: 1/2" = 1'-0"

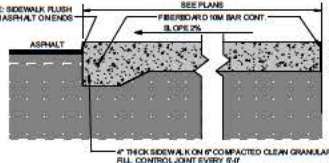
**2 GARBAGE ENCLOSURE**

SCALE: 1/4" = 1'-0"



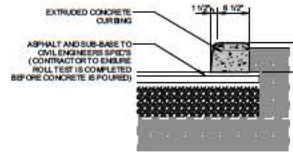
**4 FLUSH SIDEWALK**

SCALE: 1 1/2" = 1'-0"



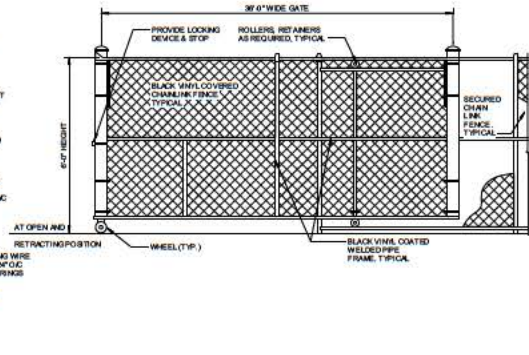
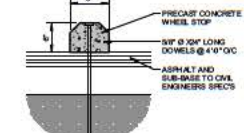
**5 EXTRUDED CURB**

SCALE: 1" = 1'-0"



**6 WHEEL STOP**

SCALE: 1" = 1'-0"



**11 SLIDING GATE**

SCALE: 1/2" = 1'-0"



**BROCK CROOME ARCHITECT**  
ARCHITECTURE, LANDSCAPE ARCHITECTURE  
401-1071 CLAYTON AVENUE, SUITE 100, VANCOUVER, BC V6E 2K6  
TEL: 604-273-1111 FAX: 604-273-1112  
PROJECT NAME:  
**LOTUS TERMINALS LTD**

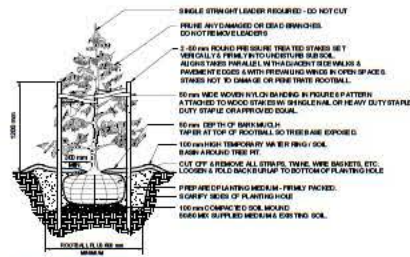
PROJECT ADDRESS:  
**18833-52 SURREY, BC**

DRAWING TITLE:  
**SITE DETAILS**

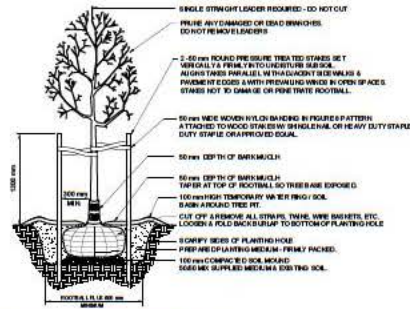
SCALE: AS SHOWN  
DRAWN: WJ/KPE  
CHECKED: DC  
PROJECT NO: 18833  
DRAWING NO:



**CONIFEROUS TREE**  
NO SCALE



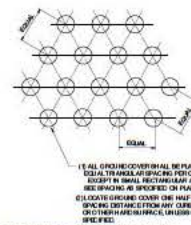
**CONIFEROUS TREE**  
NO SCALE



**DECIDUOUS TREE IN SHRUB AREAS**  
NO SCALE

**LANDSCAPE NOTES**

1. ALL LANDSCAPE WORK AND MATERIALS TO MEET REQUIREMENTS OF THE SURVEY PARTS A THROUGH CONSTRUCTION DOCUMENTS AND THE BC LANDSCAPE STANDARDS LATEST EDITION OR CITY OF SURREY STANDARD FOR SURFACE.
2. CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT OR PROJECT MANAGER.
3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITY AND SERVICES WITH THE CITY OF SURREY, CONTRACTOR MANAGER, AND/OR OTHER RELEVANT AUTHORITIES PRIOR TO ANY EROSION CONTROL OR DIGGING FOR TREE PITS.
4. ALL PLANT MATERIAL TO MEET EXCEED SPECIFICATIONS OF THE CANADIAN STANDARDS HANDBOOK 3000 AND THE BC LANDSCAPE STANDARDS, LATEST EDITION, AND BE CERTIFIED AS DISEASE FREE.
5. NO PLANT MATERIAL SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL.
6. UNLESS OTHERWISE SPECIFIED LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR PERIOD NOT LESS THAN ONE (1) YEAR FOR FINAL ACCEPTANCE. LANDSCAPE CONTRACTOR SHALL MAINTAIN LANDSCAPE ON REGULAR BASIS AND REPLACE ALL DEAD AND/OR POORLY CONDITIONED PLANTS IMMEDIATELY WHEN DISCOVERED OR NOTIFIED, AT ADDITIONAL COST.
7. SUPPLIED PLANTING MEDIUM SHALL BE AS SPECIFIED IN THE BC LANDSCAPE STANDARDS LATEST EDITION.
8. CHEMIST TEST SOIL WILL BE TESTED BY ACCREDITED COMMERCIAL SOIL PRODUCT AND BROUGHT UP TO SPECIFICATIONS OF BC LANDSCAPE STANDARDS AS APPROVED IN WRITTEN FORM TO USE IN LANDSCAPE.
9. DEPTHS OF PLANTING MEDIUM SHALL BE AS SHOWN IN PLANTING DETAILS.
10. ALL PLANT MATERIAL TO BE THOROUGHLY WATERED AND SOAKED AT TIME OF PLANTING.
11. CONTRACTOR TO MAINTAIN LANDSCAPE AND PLANT MATERIAL TO SUBSTANTIAL COMPLETION INCLUDING REGULAR WATERING, PRUNING AND FERTILIZATION.
12. CONTRACTOR SHALL MAINTAIN SITE AND PROTECT TO REMAIN AND CORRECTLY APPEARANCE FOR DURATION OF LANDSCAPE WORKS AND MAINTENANCE PERIOD. ALL WORK OF EXCESS AND AS NOTICED WAS TO REMAIN TO BE CONTROLLED AS THEY ACCUMULATE UNDERPOOR OF DAILY RAINFALL MAINTAIN.



**GROUND COVER PLANTING**  
NO SCALE



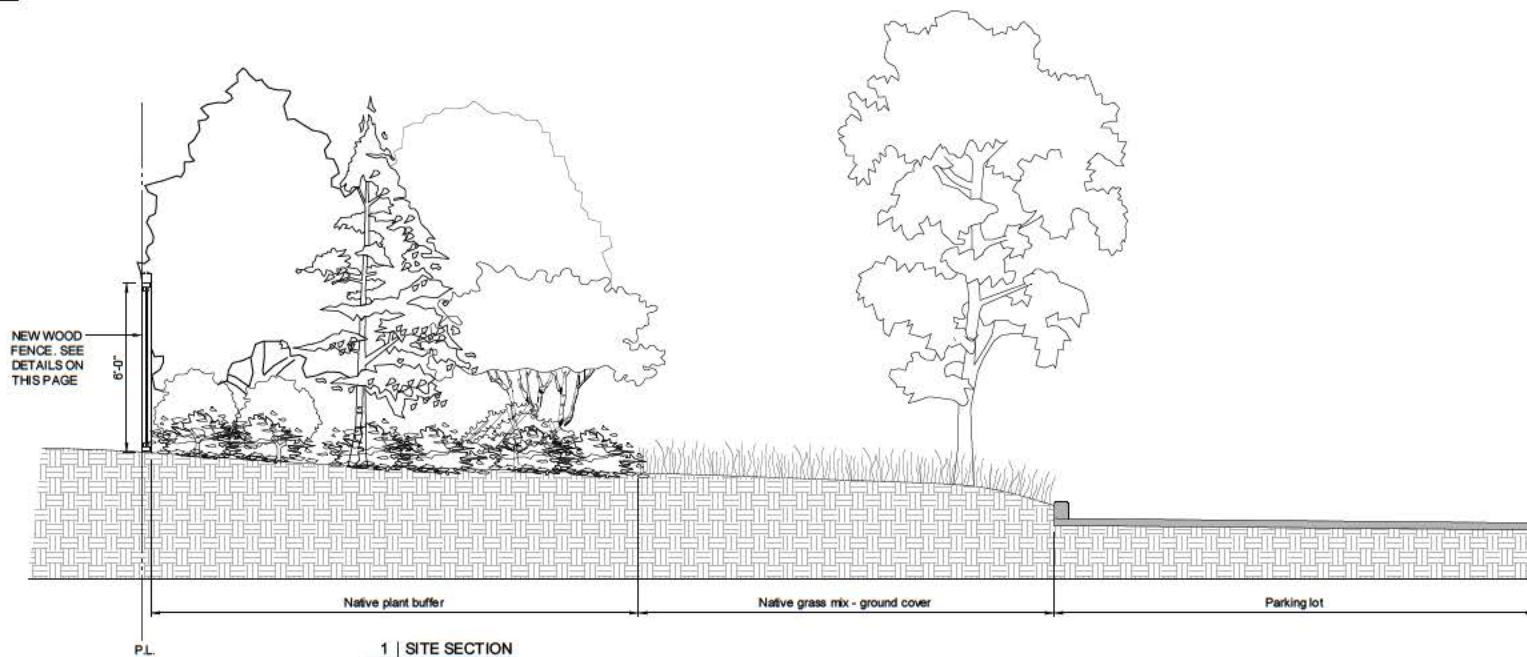
LANDSCAPE SERVICES  
 150-1500 STREET 18  
 VANCOUVER, BC V6L 5R5  
 TEL: 604-273-7777  
 FAX: 604-273-7778  
 WWW.KRAHN.CO.UK



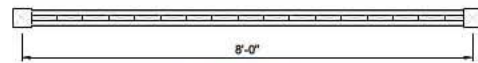
1-2014-0001 - RE-RENDERED FOR P.X.  
 MAP - SAVED - 10/06/2014  
 PROJECT NAME: Proposed Heavy Truck Repair for Lotus Terminals  
 PROJECT ADDRESS: 188-33-52 AVE SURREY, BC  
 DRAWING NO.: PLANTING DETAILS & NOTES

SCALE:	AS NOTED
DESIGN:	SAL/DAV
DRAWING NO.:	2014
PROJECT NO.:	1014
DATE:	

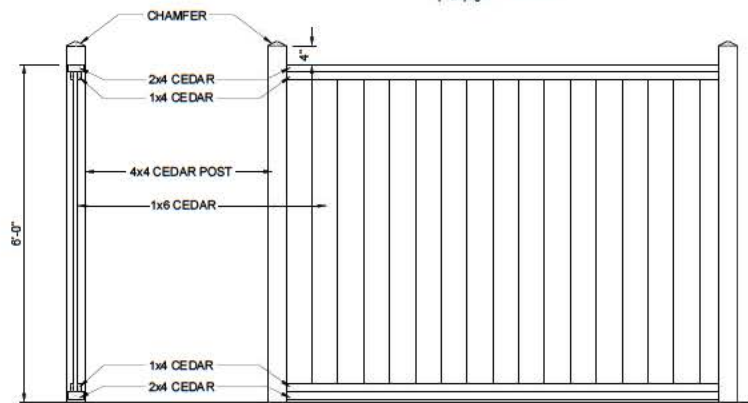




**1 | SITE SECTION**  
L-3.0 | SCALE: 1/2" = 1'-0"



**HORIZONTAL SECTION**  
1" = 1'-0"



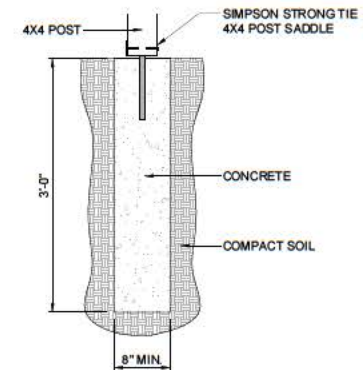
**VERTICAL SECTION**  
1" = 1'-0"

**ELEVATION**  
1" = 1'-0"

**2 | FENCE DETAILS**  
L-3.0 | SCALE: AS NOTED



**2 | PANEL SUPPORT**  
L-3.0 | SCALE: 3" = 1'-0"



**3 | POST FOOTING**  
L-3.0 | SCALE: 1-1/2" = 1'-0"



PROJECT NO.	
DATE	
PROJECT NAME	Proposed Heavy Truck Repair for Lotus Terminals
PROJECT ADDRESS	168 33-52 AVE SURREY, BC
PROJECT NO.	
DATE	
DESIGN	
DRAWING NO.	
PROJECT NO.	L-3.0
DATE	
<b>L-3.0</b>	
SCALE: 1/2" = 1'-0"	



**A. CITY GENERAL NOTES**

- FOR THE PURPOSE OF CONSTRUCTION AND ACCOUNTABILITY THE DEVELOPER MUST ADVISE THE SURVEY CITY INSPECTOR, IN WRITING, WHICH OF THE NOTES IS GOING TO BE THE RESPONSIBILITY OF THE DEVELOPER'S CONTRACTOR.
- CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE CITY OF SURREY HIGHWAY AND TRAFFIC BYLAW NO. 13007, SUBDIVISION BYLAW AND THE APPLICABLE MUNICIPAL MASTER SPECIFICATIONS AND STANDARD DETAIL DRAWINGS, CITY OF SURREY STANDARD CONSTRUCTION DOCUMENTS, SUPPLEMENTARY SPECIFICATIONS & STANDARD DRAWINGS AND CITY DESIGN CRITERIA.
- TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE DEVELOPER AND THE DEVELOPER SHALL COMPLY WITH SECTION 52 OF THE INDUSTRIAL HEALTH AND SAFETY REGULATION OF THE WORKERS COMPENSATION BOARD OF B.C. AND THE INSTRUCTIONS OUTLINED ON THE CITY ROAD AND RIGHT-OF-WAY PERMIT AND TRAFFIC CONSTRUCTION PERMIT ISSUED BY THE CITY.  
  
THE DEVELOPER IS TO HAVE ON SITE, A COPY OF THE CURRENT "B.C. TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS" AS PUBLISHED BY THE MINISTRY OF TRANSPORTATION AND HIGHWAYS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY PERMITS FOR WORK WITHIN THE CITY ROAD ALLOWANCE.
- WHERE UTILITY OR SERVICE CROSSINGS ARE REQUIRED ACROSS EXISTING PAVEMENTS, AN UNDERGROUND METHOD OF INSTALLATION IS REQUIRED UNLESS SPECIAL APPROVAL IS GIVEN FROM THE CITY FOR AN OPEN CUT OPERATION. ALL EXISTING PAVEMENTS, DRIVEWAYS, DRIVEWAYS, ETC., ARE TO BE RESTORED TO ORIGINAL OR BETTER CONDITION AND IN ACCORDANCE WITH CITY SPECIFICATIONS AND THE PAVEMENT CUT POLICY.
- SURREY'S ISA MONUMENTS ARE TO BE PROTECTED AND SHOULD THEY REQUIRE RAISING OR RELOCATING, THE DEVELOPER WILL NOTIFY SURREY'S SURVEY DEPARTMENT AT 604-591-4323 FIFTY-FOUR (48) HOURS IN ADVANCE OF SCHEDULING WORK AFFECTING THEM. AN ISA MONUMENT SHALL BE CONSIDERED TO BE DISTURBED OR DESTROYED, BY THE DEVELOPER, IF THE CONSTRUCTION FOR THE PROJECT:  
(1) LOWERS THE GRADE OF THE ROAD AT THE LOCATION OF AN ISA MONUMENT(S).  
(2) RAISES THE GRADE OF THE ROAD AT THE LOCATION OF AN ISA MONUMENT(S) OR  
(3) INSTALLS ANY UNDERGROUND UTILITIES (INCLUDING IG GAS, BC HYDRO, BC TELEPHONE, GWD WATER/SANITARY SEWER/ DRAINAGE ETC) WITHIN 1.500 METRE RADIUS OF THESE MONUMENTS).  
  
THE CITY WILL INVOICE THE DEVELOPER A NON REFUNDABLE FLAT RATE FEE OF \$1,750.00 FOR EACH ISA MONUMENT DISTURBED OR DESTROYED OR \$1,550 FOR EACH HIGH PRECISION SECONDARY BENCHMARK DISTURBED OR DESTROYED OR \$7,200 FOR EACH HIGH PRECISION NETWORK BENCHMARK DISTURBED OR DESTROYED.
- ALL STREET, TRAFFIC, AND ADVISORY SIGNS, PAVEMENT MARKINGS AND NO-POST GUARDRAILS REQUIRED BUT NOT NECESSARILY SHOWN ON THE DRAWINGS, SHALL BE INSTALLED BY THE CITY AT THE DEVELOPER'S COST.

**A. CONSULTANT'S SUPPLEMENTARY GENERAL NOTES:**

- FIXED DIMENSIONS SHALL GOVERN OVER SOLOID DIMENSIONS.
- ALL DIMENSIONS AND ELEVATIONS ARE METRIC.
- THE CONTRACTOR SHALL REFERENCE THE ARCHITECTURAL DRAWINGS FOR THE SITE TO CONFIRM BUILDING AND CURB ALIGNMENTS LAYOUT.
- THE LOCATION OF EXISTING UNDERGROUND SERVICES IS NOT GUARANTEED, AND HAS BEEN COMPILED FROM A COMBINATION OF AS-CONSTRUCTED DRAWINGS AND GROUND SURVEYS. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND SERVICES BY HAND EXCAVATION OR HYDRO-VACUUM EXCAVATION TO CONFIRM THEIR LINE AND GRADE PRIOR TO COMMENCEMENT OF SITE SERVICING. ANY AND ALL DISCREPANCIES SHALL BE COMMUNICATED TO KM CIVIL CONSULTANTS LTD. IMMEDIATELY.
- SHOP DRAWINGS, IF REQUIRED, SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW AND COMMENT PRIOR TO ORDERING MATERIALS. COMMENT IS PROVIDED BY THE CONSULTANT REFER TO GENERAL ARRANGEMENT OF SHOP DRAWING COMPONENTS DIMENSIONS AND ELEVATIONS ONLY AND DO NOT CONSTITUTE A DETAILED DESIGN REVIEW OF INDIVIDUAL COMPONENT DETAILS, WHICH IS THE RESPONSIBILITY OF THE MANUFACTURER.
- THE CONTRACTOR SHALL INSURE THAT THEY ARE WORKING FROM A CERTIFIED COPY OF THE ISSUED FOR CONSTRUCTION DRAWINGS PRIOR TO COMMENCING CONSTRUCTION. ANY DRAWINGS NOT BEARING THE ISSUED FOR CONSTRUCTION REVISION NOTE SHALL NOT BE USED FOR CONSTRUCTION.

**B. CONSULTANT'S SUPPLEMENTARY ROADWORKS NOTES:**

- THE CONTRACTOR SHALL COORDINATE ALL COMPACTION/DENSITY TESTING WITH THE DEVELOPER'S GEOTECHNICAL ENGINEER DURING PREPARATION OF ROAD SURFACE, AND PLACEMENT OF SUB BASE FILLS AND PAVEMENT STRUCTURE GRAVELS.
- ALL CHANGES IN GRADE SHALL BE FORMED USING SMOOTH VERTICAL CURVES.
- COMPACTED ROAD SUB BASE AND BASE MATERIALS SHALL EXCEED A MINIMUM OF 0.30m BELOW THE SIDEWALK AND/OR CURB AND GUTTER.
- CONDITIONS FOR PLACEMENT OF ASPHALT OR PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE SPECIFICATIONS DETAILED UNDER THE MMCD SPECIFICATIONS AND THE CITY SUPPLEMENTARY SPECIFICATIONS.

- WHERE INFILLING OF EXISTING DITCHES IS REQUIRED OR WHERE SERVICES ARE CONSTRUCTED IN A FILL SECTION, FILL MATERIAL IS TO BE IN ACCORDANCE WITH CITY SPECIFICATIONS AND IS TO BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.
- DRIVEWAY BOULEVARD CROSSINGS TO EACH OF THE PROPOSED LOTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CITY STANDARD DRAWINGS.
- RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT MUST BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION.
- THE DEVELOPER WILL REQUIRE WRITTEN AUTHORIZATION FROM A PRIVATE PROPERTY OWNER, WITH A COPY TO THE CITY, PRIOR TO ANY ENTRY ONTO PRIVATE PROPERTY AND A WRITTEN RELEASE, FROM THE PROPERTY OWNER, WHEN COMPLETED.
- WHEN NATIVE SITE GRANULAR BACKFILL IS PROPOSED FOR USE IN TRENCHES THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING FOR PERFORMANCE OF IN PLACE DENSITY AND SIEVE TESTING. SELECTION OF THE PROFESSIONAL ENGINEER AND USE OF THE SITE MATERIAL IS TO BE APPROVED BY THE CITY. THE SITE MATERIAL MUST FALL WITHIN ONE OF THE GRANULAR BACKFILL MATERIAL SPECIFICATIONS. FILLER SAND IS NOT ACCEPTABLE AS TRENCH BACKFILL MATERIAL.
- THE DEVELOPER SHALL FACILITATE AND SUPPLY ALL NECESSARY SAFETY EQUIPMENT REQUIRED UNDER THE WCB REGULATIONS FOR THE CITY OR ITS REPRESENTATIVES OR THE ENGINEER OF RECORD TO INSPECT THE SANITARY SEWER AND STORM SEWER SYSTEMS. THE EQUIPMENT SHALL BE SUPPLIED UNTIL SUCH TIME AS A CERTIFICATE OF COMPLETION IS ISSUED BY THE CITY.
- DEVELOPER IS TO VERIFY THE LOCATION AND ELEVATION OF ALL PIPES, OR OTHER UTILITY CROSSINGS, PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS.
- THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER TO DESIGN A SEDIMENT AND EROSION CONTROL SYSTEM IN THE DEVELOPMENT IN ORDER TO PREVENT SILT DISCHARGES TO THE STORM DRAINAGE SYSTEM AND WATERCOURSES.
- THE "TREE CUTTING AND PRESERVATION BYLAW NO. 1288" REQUIRES THAT A CUTTING PERMIT BE OBTAINED BEFORE ANY TREES ARE REMOVED FROM THE SITE. OTHER PROVISIONS OF THE BYLAW MAY ALSO BE APPLICABLE.

**B. CITY ROADWORK NOTES**

- THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUB-GRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF THE PROPOSED AND EXISTING ROAD STRUCTURE AND SUB-GRADE. SELECTION OF THE PROFESSIONAL ENGINEER IS TO BE APPROVED BY THE CITY.
- EXISTING VALVE BOXES, MANHOLES, ETC. WITHIN THE ROAD ALLOWANCE MUST BE ADJUSTED TO SUIT THE PROPOSED FINISHED GRADE.
- ALL LOOSE, ORGANIC, OTHERWISE DELETED MATERIALS OR SOFT SPOT(S) ARE

**C. CONSULTANT'S SUPPLEMENTARY SANITARY AND STORM SEWER NOTES:**

- ALL ON-SITE PIPERWORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE, PART 7, PLUMBING SERVICES.
- ALL STORM MAIN PIPE SHALL BE PVC DR35 (150mm TO 200mm DIAMETER) OR PVC RIBBED (200mm DIAMETER AND GREATER). WHERE STORM MAINS ARE TO BE INSTALLED UNDER BUILDINGS, ALL PIPE SHALL BE PVC DWM.
- ALL SANITARY MAIN PIPE SHALL BE PVC DR28 (150mm DIAMETER) OR PVC DR35 (200mm DIAMETER AND GREATER). WHERE SANITARY MAINS ARE TO BE INSTALLED UNDER BUILDINGS, ALL PIPE SHALL BE PVC DWM.
- ALL STORM SEWER PIPES WITH LESS THAN 1.0m COVER TO BE CONCRETE INCAISED OR DWM PIPE IN ACCORDANCE WITH BRITISH COLUMBIA BUILDING CODE, 2006, PLUMBING SERVICES (PART 7).
- STORM AND SANITARY SERVICE CONNECTIONS SHALL BE INSTALLED TO WITHIN 1.0m OF BUILDING FOUNDATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR TO INSURE THAT SERVICE CONNECTIONS ARE INSTALLED AT A LINE AND GRADE THAT WILL FACILITATE CONNECTION TO THE BUILDING DRAINAGE/SANITARY SYSTEM.
- ALL CLEANOUTS INSTALLED WITHIN THE TRAVELLED PORTION OF THE ROADWAY SHALL BE COMPLETE WITH LIDS CAPABLE OF SUPPORTING 120 TONNAGE TRAFFIC LOADING.

**D. CONSULTANT'S SUPPLEMENTARY WATERWORKS NOTES:**

- ALL WATERMAINS SHALL BE INSTALLED WITH MINIMUM 1.2m COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED. FOR INSTALLATIONS WITH LESS THAN 1.2m COVER, A CONCRETE PIPE CAP, PER MMCD STD 07 - ALTERNATIVE 2 SHALL BE UTILIZED.
- ALL WATERMAIN SHALL BE PVC C900 OR DUCTILE IRON PC80, UNLESS OTHERWISE NOTED.
- WATERMAIN SERVICE CONNECTIONS SHALL BE INSTALLED TO WITHIN 1.0m OF BUILDING FOUNDATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR TO INSURE THAT SERVICE CONNECTIONS ARE INSTALLED AT A LINE AND GRADE THAT WILL FACILITATE CONNECTION TO THE BUILDING WATER SYSTEM.
- ON-SITE WATER SYSTEM PRESSURE, DESIGNATION, AND BACTERIOLOGICAL TESTING SHALL BE PERFORMED BY A CERTIFIED TESTING FIRM, RETAINED BY THE CONTRACTOR AT THE CONTRACTOR'S COST, UNDER WITNESS BY THE CONSULTANT. WATERMAIN TEST RESULTS SHALL BE FORWARDED TO THE CONSULTANT IMMEDIATELY UPON RECEIPT FOR REVIEW AND DISTRIBUTION TO THE CITY.
- THE IN OF ON-SITE WATER SYSTEM TO MUNICIPAL SYSTEM TO BE COMPLETED BY THE CITY.

TO BE EXCAVATED AND REMOVED FROM THE ROADWAY AND UTILITY TRENCHES IN THE ROADWAY AS PER THE GEOTECHNICAL CONSULTANT'S REPORT OR AS DIRECTED BY THE CITY.

**C. CITY SANITARY SEWER AND STORM SEWER NOTES**

- UNLESS PRIOR APPROVAL IS GIVEN TO THE DEVELOPER BY THE CITY, TIE-INS AND CONNECTIONS TO EXISTING SANITARY SEWERS ARE TO BE PERFORMED BY THE CITY AT THE DEVELOPER'S COST.
- ALL SERVICE CONNECTIONS SHALL BE MADE TO THE MAIN WHEREVER POSSIBLE. SHOULD A CONNECTION HAVE TO BE MADE TO A MANHOLE, THE CONNECTION INVERT SHALL BE AT THE SAME ELEVATION AS THE CROWN OF THE HIGHEST SEWER MAIN.
- ALL MANHOLES ARE TO BE A MINIMUM OF 150MM DIAMETER UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER AND STORM SEWER SERVICE CONNECTIONS ARE TO BE A MINIMUM 100MM DIAMETER.
- ALL GRANULAR PIPE BEDDING SHALL BE EITHER TYPE 1 OR TYPE 2 ONLY AS PER THE CITY SPECIFICATIONS.

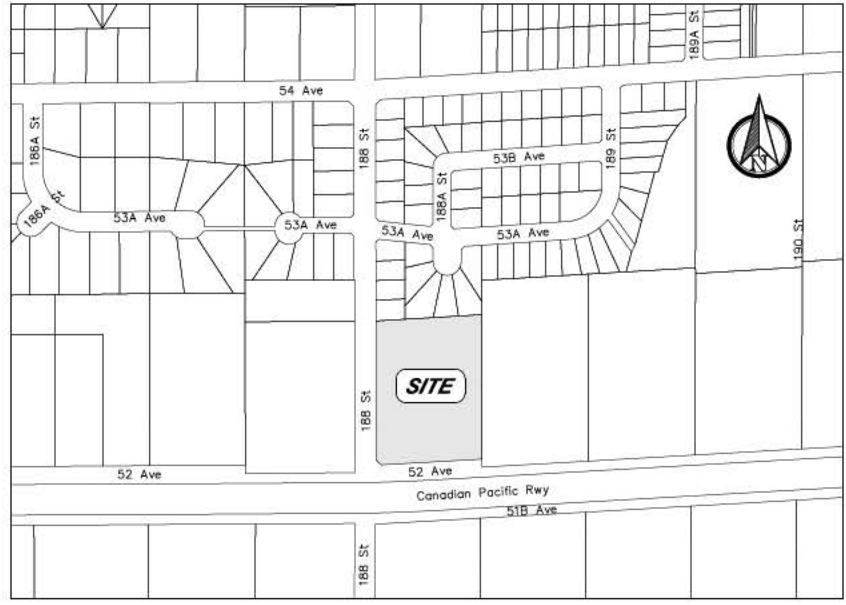
**D. CITY WATER WORKS NOTES**

- THE DEVELOPER SHALL SUPPLY ALL MATERIALS AND FITTINGS REQUIRED FOR THE TIE-IN OF THE NEW WATER MAINS BY THE CITY.
- ALL NEW WATER MAINS AT TIE-IN POINTS, ARE TO BE CAPPED 1.5 M FROM THE EXISTING WATER MAIN. THE PROPOSED WATER MAIN IS TO BE SET AT THE LINE AND GRADE TO MEET THE EXISTING WATER MAIN.
- TIE-INS TO EXISTING WATER MAINS AND FINAL TESTING AND CHLORINATION OF NEW MAINS IS TO BE PERFORMED BY THE CITY AT THE DEVELOPER'S COST.
- ALL DOMESTIC SERVICE CONNECTIONS WILL BE A MINIMUM OF 19 MM DIAMETER UNLESS OTHERWISE SPECIFIED.
- WHERE 100 MM DIAMETER PIPE IS USED IT WILL BE DUCTILE IRON (D.I.) AND SHALL CONFORM TO THE CITY SPECIFICATIONS.
- NON-CAVITY FITTINGS OR VALVES ETC. ARE TO BE USED.
- NO CAST IRON VALVES OR FITTINGS.

DRAWING INDEX	
SHEET NO.	DRAWING TITLE
1	LOCATION PLAN AND GENERAL NOTES
2	SITE GRADING PLAN

SITE GRADING LEGEND:	
EXISTING SURVEY ELEVATION	19.00
PROPOSED GRADE ELEVATION	19.00
DIRECTION OF OVERLAND FLOW	→
EXISTING GROUND CONTOUR	10
LANDSCAPED AREA - SEE LANDSCAPE ARCHITECTS PLANS FOR DETAILS	[Pattern]
PROPOSED ASPHALT PAVEMENT STRUCTURE PER GEOTECHNICAL RECOMMENDATIONS	[Pattern]
PROPOSED CONCRETE SIDEWALKS SEE ARCHITECTURAL DRAWINGS FOR DETAILS	[Pattern]
CONCRETE CURB & GUTTER REFER TO ARCHITECTS PLANS FOR DETAILS	[Pattern]
RETAINING WALL	[Symbol]
RIDGELINE	[Symbol]

LEGEND		
PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	GRAVEL SURFACE TREATMENT
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	CURB AND GUTTER
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	SANITARY FORCE MAIN
[Symbol]	[Symbol]	SANITARY SEWER SERVICE (c/w INSPECTION CHAMBER)
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	STORM SEWER SERVICE (c/w INSPECTION CHAMBER)
[Symbol]	[Symbol]	CATCH BASIN - TOP INLET
[Symbol]	[Symbol]	CATCH BASIN - SIDE INLET
[Symbol]	[Symbol]	LAWN DRAIN
[Symbol]	[Symbol]	SWALE
[Symbol]	[Symbol]	DITCH
[Symbol]	[Symbol]	SIDEWALK (ASPHALT)
[Symbol]	[Symbol]	SIDEWALK (CONCRETE)
[Symbol]	[Symbol]	WATERMAIN
[Symbol]	[Symbol]	WATER SERVICE CONNECTION
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	AIR VALVE
[Symbol]	[Symbol]	HYDRANT AND VALVE ASSEMBLY
[Symbol]	[Symbol]	CAFFED END
[Symbol]	[Symbol]	BLOW-OFF
[Symbol]	[Symbol]	UNDERGROUND BLOW-OFF
[Symbol]	[Symbol]	JUNCTION BOX
[Symbol]	[Symbol]	UNDERGROUND HYDRO/TELEPHONE GAS MAIN
[Symbol]	[Symbol]	UTILITY POLE
[Symbol]	[Symbol]	UTILITY POLE WITH LIGHT
[Symbol]	[Symbol]	STREET LIGHT



LOCATION PLAN  
SCALE 1:2500

ISSUED FOR PRE-LOAD FILL PERMIT APPLICATION		NWP	ECB	SEM	
ISSUED FOR DEVELOPEMENT PERMIT		NWP	IRM	SEM	
No.	DATE	REVISION	DRN	TECH	ENG

**KM Civil CONSULTANTS LTD.**

ABBOTSFORD OFFICE  
# 400-34077 Gladys Avenue  
Abbotsford, BC V2S 2E8  
Tel: 604-855-6511 Fax: 604-855-1900

VANCOUVER OFFICE  
# 210-1311 Kodenay Street  
Vancouver, BC V6K 4J3  
Tel: 604-294-6662 Fax: 604-294-6665

**LOTUS TERMINALS LTD. c/o KRAHN ENGINEERING LTD.**

#400-34077 GLADYS AVENUE,  
ABBOTSFORD, B.C. V2S 2E8  
ATTENTION: SARAN BAL  
TEL: (604) 855-1101 FAX: (604) 854-2227

DESIGNED: NWP		APPROVED: SEM		SCALE: AS SHOWN
DATE: AUGUST, 2013		DRAWING NO.: 1		REVISION: 2





REFER TO DRAWING 1 FOR LEGEND

- NOTES:
1. ALL DIMENSIONS AND ELEVATIONS ARE METRIC.
  2. REFER TO ARCHITECTURAL PLANS FOR DETAILED CURB AND BUILDING ALIGNMENT/LAYOUT, AS WELL AS DETAILS OF CONCRETE SIDEWALKS, STILES, COLOURING, AND TYPES.

GRADE VARIES MIN. 0.8% TO MAX. 3.0%

ALL ROADWORKS TO BE IN CONFORMANCE WITH GEOTECHNICAL REPORT PREPARED BY: DATE:

MIN. 75mm ASPHALT PLACED IN TWO LIFTS

MIN. 100mm GRANULAR BASE (19mm MINUS CRUSHED GRAVEL) COMPACTED TO 95% MPOD

MIN. 200mm IMPORT GRANULAR SUB-BASE (75mm MINUS PIT-RUN) COMPACTED TO 95% MPOD

APPROVED SUB-GRADE

\*UPPER COURSE 35mm ASPHALT #2

\*LOWER COURSE 40mm ASPHALT #2

TYPICAL ASPHALT STRUCTURE  
N.T.S.

PROP. FENCE (TYP) REFER TO ARCHITECTS PLANS FOR DETAILS.

**BEFORE YOU DIG**

EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE COMPILED FROM A COMBINATION OF VARIOUS AS-CONSTRUCTED RECORD DRAWINGS AND SOME FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WHERE POTENTIAL CONFLICTS EXIST. CONTRACTOR TO CONTACT TELUS, B.C. HYDRO, FORTISSIC AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPROPRIANCES REQUIRING ADJUSTMENT. ANY DISCREPANCIES REQUIRING CHANGES TO THE DESIGN MUST BE REPORTED TO KM CIVIL CONSULTANTS IMMEDIATELY.

INSTALL 12.2m WIDE CONC. DRIVEWAY, LETDOWN AND RAMP PER SSD-R-42. CONFIRM DRIVEWAY LOCATION WITH ARCHITECT PRIOR TO CONSTRUCTION.

INSTALL 11.0m WIDE CONC. DRIVEWAY LETDOWN AND RAMP PER SSD-R-42. CONFIRM DRIVEWAY LOCATION WITH ARCHITECT PRIOR TO CONSTRUCTION.

REMOVE EX. CONC. DRIVEWAY RAMP AND LETDOWN AND RENSTATE BOULEVARD AND CONC. B/C&G.

SEGMENTAL BLOCK LANDSCAPE WALL AS REQUIRED TO MAINTAIN MAX. 2:1 SLOPE TO R (TYP.)

TOP OF WALL ELEVATIONS AT 0.2m ABOVE FINISHED ASPHALT GRADE AT TOP OF WALL (TYP.)

REFER TO STRUCTURAL DRAWINGS FOR RETAINING WALL DETAILS (TYP)

CPR R.O.W.

52 AVE.

188 ST.

No.	DATE	REVISION	DRN	TECH	ENG
2	10.11.2013	RE ISSUED FOR DEVELOPMENT PERMIT	NWP	SM	SM
1	08.20.2013	ISSUED FOR DEVELOPMENT PERMIT	NWP	SM	SM

LEGAL DESCRIPTION:  
LOT 31, SECTION 4, TOWNSHIP 8 PLAN BCP35640,  
NEW WESTMINSTER DISTRICT

REMARKS:  
ELEVATIONS ARE GEODETIC (CVDS) GRID-2005 - IN METERS  
DERIVED FROM CONTROL MONUMENT 9722 LOCATED ON THE  
CENTERLINE OF 54 AVE. 180 WEST OF 188 ST.  
ELEVATION = 33.73m

**KM Civil**  
CONSULTANTS LTD.

ABBOTSFORD OFFICE  
# 400-34077 Gladys Avenue  
Abbotsford, BC V2S 2E8  
Tel: 604-855-6501 Fax: 604-855-1900

VANCOUVER OFFICE  
# 210-1311 Kodeney Street  
Vancouver, BC V6K 4Y3  
Tel: 604-294-6882 Fax: 604-294-6885

LOTUS TERMINALS LTD. c/o  
KRAHN ENGINEERING LTD.  
8400-34077 GLADYS AVENUE,  
ABBOTSFORD, B.C. V2S 2E8  
ATTENTION: SARAN BAL  
TEL: (604) 855-1101 FAX: (604) 854-2227

**SITE GRADING PLAN**

18833-52 AVE.

DESIGNED: NWP  
DRAWN: NWP  
REVISED: SM  
APPROVED: SM  
SCALE: HORIZ. 1:250  
VERT. VARY

PROJECT/CLIENT NUMBER	DRAWING NO.
ISSUED/ISSUING NUMBER	2
PROJECT/PROJECT NUMBER	18833-52 AVE
DATE	AUGUST, 2013
REVISIONS	2

---

**TO: Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: November 6, 2013**                      **PROJECT FILE: 7813-0196-00**

---

**RE: Engineering Requirements (Commercial/Industrial)  
Location: 18833 52 Ave**

**TEMPORARY USE PERMIT**

The following issues are to be addressed as a condition of issuance of the Temporary Use Permit:

***Works and Services***

- Construct interim widening of existing pavement on 188 Street to a minimum of 8.0 metre width (use existing driveway).
- Possible construction of non-standard half road to site along 52 Avenue either to the east or west or wait for City to complete works through a Capital Construction Project.
- Provide stormwater quality feature associated with temporary truck parking usage.
- Provide Restrictive Covenant restricting truck movement to and from the north on 188 St.

A Servicing Agreement is required prior to issuance of Development Permit.

**DEVELOPMENT PERMIT**

The following issues are to be addressed as a condition of issuance of the Development Permit as the estimated value of the associated Building Permit exceeds \$400,000 which triggers works and services:

***Works and Services***

- Construct interim widening of existing pavement on 188 Street to a minimum of 8.0 metre width, from existing driveway to 52 Avenue.
- Construct 11.000 metre wide driveways on 188 Street and 52 Avenue (remove existing driveway on 188 Street).
- Relocate existing fire hydrants on 188 Street and 52 Avenue due to conflict with driveways.
- Relocate existing streetlight on 52 Avenue due to conflict with proposed driveway.
- Possible construction of a non-standard half road 52 Avenue, either to the east of west of 188 Street to provide access to the site if the applicant elects to complete DP ahead the City's completion of these works through a Capital Works project.
- Provide adequately sized service connections, stormwater management feature and associated restrictive covenants.
- Provide Restrictive Covenant restricting truck movement to and from the north on 188 St.

A Servicing Agreement is required prior to issuance of Development Permit.



Rémi Dubé, P.Eng.  
Development Services Manager  
HB

## CITY OF SURREY

(the "City")

**TEMPORARY INDUSTRIAL USE PERMIT**

NO.: 7913-0196-00

Issued To: 0971200 BC LTD  
("the Owner")

Address of Owner: 3, 19585 - 56 Avenue  
Surrey, BC V3S 6K3

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-471-829  
Lot 31 Section 4 Township 8 New Westminster District Plan BCP35640  
18833 - 52 Avenue

(the "Land")

- 3 The Land has been designated as a Temporary Industrial Use Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
4. The temporary use permitted on the Land shall be for tractor parking for 52 overweight vehicles and trailers as shown on Schedule A.
5. The temporary use shall be carried out according to the following conditions:
  - (a) Servicing agreement conditions must be completed and 10-metre (33 ft.) landscaping buffer along the rear of the property line shall be installed as shown on Schedule B which is attached hereto and forms part of this permit;
  - (b) Parking is restricted to vehicles over 5,000 kilograms [11,000 lbs.] GVW; and
  - (c) Upon the termination of this Temporary Industrial Use Permit any pavement, curb stops, and landscaping shall comply with Development Permit No. 7913-0196-00.

6. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$10,000

7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
8. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
9. This temporary use permit is not transferable.
10. This temporary use permit shall lapse on or before two years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .

ISSUED THIS      DAY OF      , 20 .

---

Mayor – Dianne L. Watts

---

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.



Authorized Agent: Signature

DAVID BATTEN (Krahn Eng. Ltd.)

Name (Please Print)

OR

\_\_\_\_\_  
Owner: Signature

\_\_\_\_\_  
Name: (Please Print)

TO THE CITY OF SURREY:

I, \_\_\_\_\_ (Name of Owner)

being the owner of Lot 31 Section 4 Township 8 New Westminster District Plan BCP35640  
(Legal Description)

known as 18833 - 52 Avenue  
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

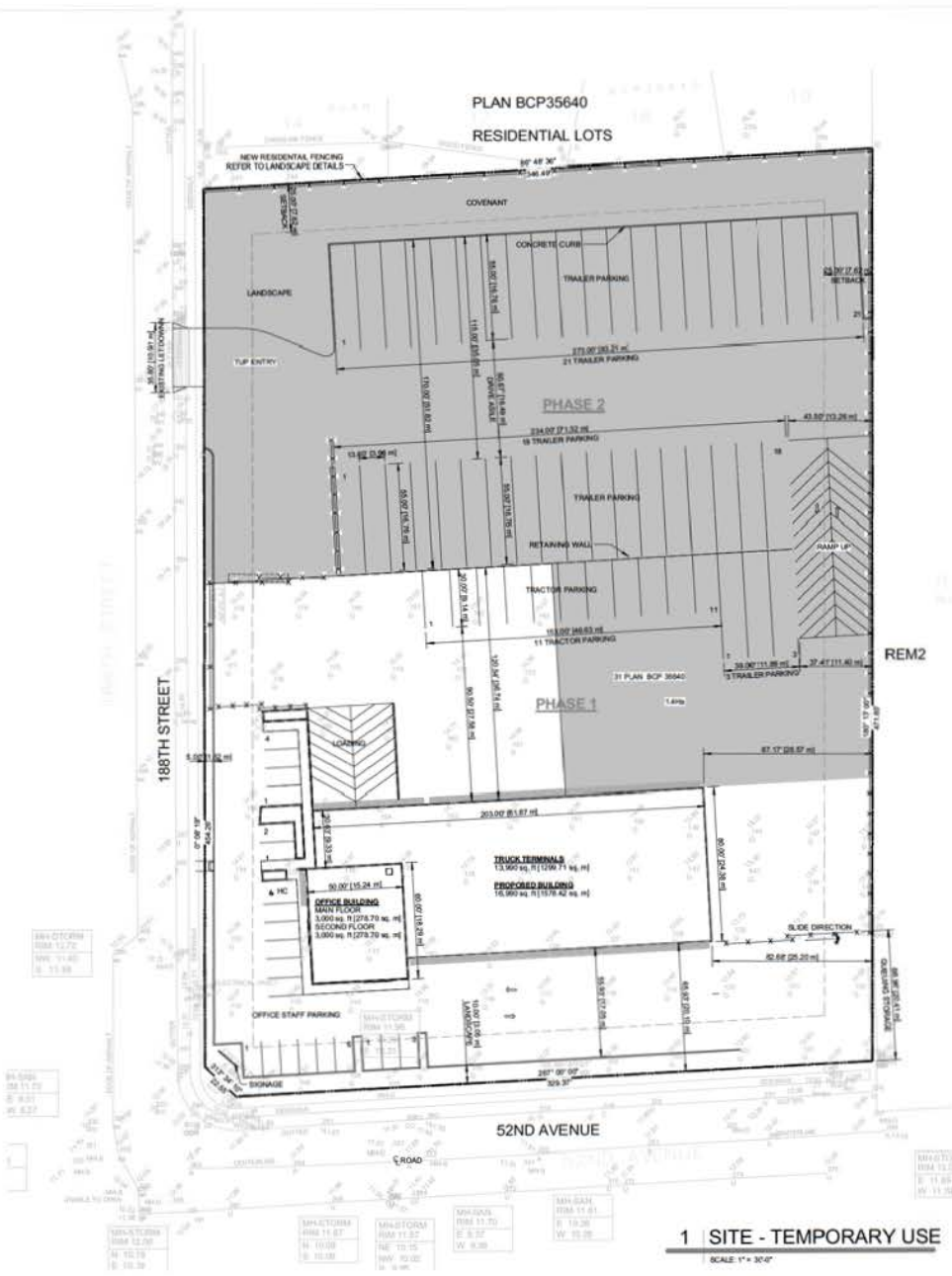
\_\_\_\_\_  
(Owner)

\_\_\_\_\_  
(Witness)





PLAN BCP35640  
RESIDENTIAL LOTS



**LEGEND**

■ TEMPORARY USE

1 SITE - TEMPORARY USE  
SCALE: 1" = 30'0"



NO.	DATE	DESCRIPTION
1	2023.07.11	ISSUED FOR PERMIT
2	2023.07.11	ISSUED FOR PERMIT
3	2023.07.11	ISSUED FOR PERMIT
4	2023.07.11	ISSUED FOR PERMIT
5	2023.07.11	ISSUED FOR PERMIT
6	2023.07.11	ISSUED FOR PERMIT
7	2023.07.11	ISSUED FOR PERMIT
8	2023.07.11	ISSUED FOR PERMIT
9	2023.07.11	ISSUED FOR PERMIT
10	2023.07.11	ISSUED FOR PERMIT



**BROCK CROOME ARCHITECT**  
ARCHITECTS  
100-10151 148th Street, Surrey, BC V4N 1N4  
1-800-461-7777 • www.krahn.com

**LOTUS TERMINALS LTD**

PROJECT ADDRESS  
**18833-02 SURREY, BC**

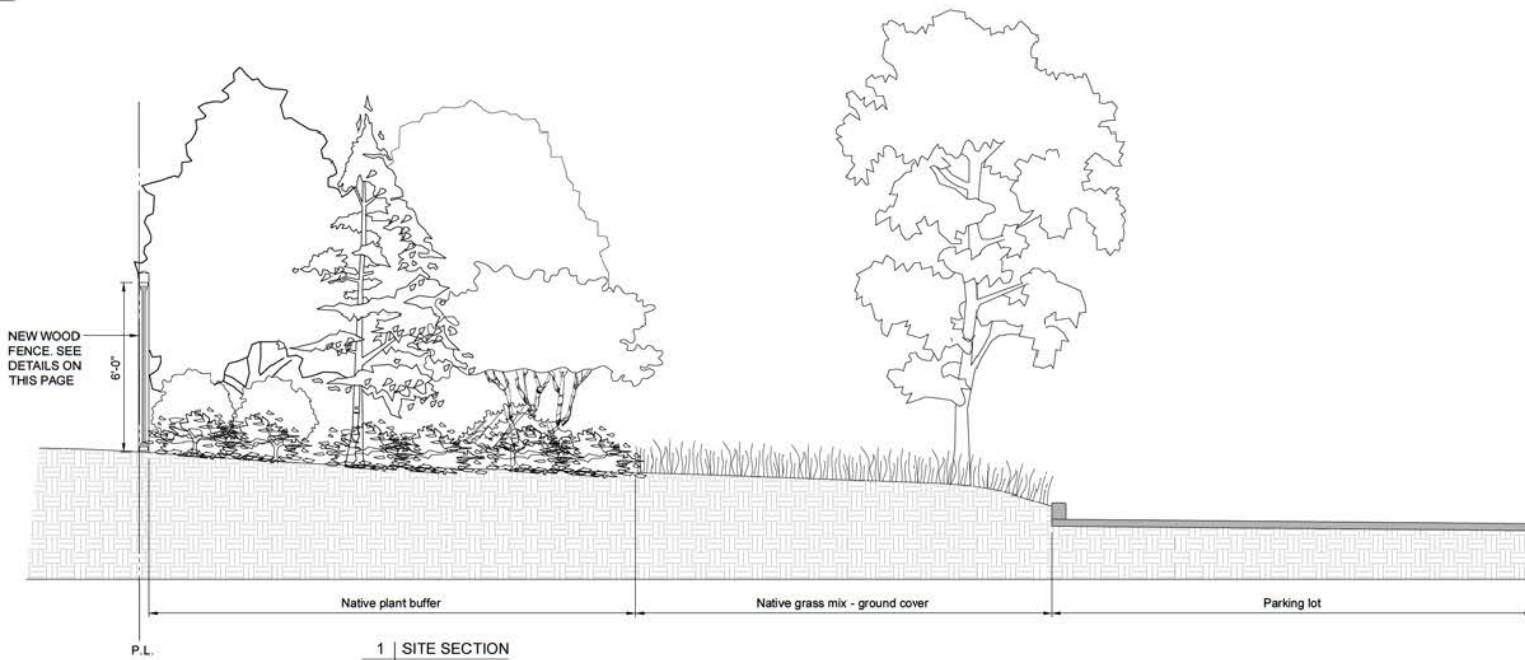
PROJECT TITLE  
**SITE - TEMPORARY USE**

SCALE	As Shown
DATE	18.08.23
DRAWN	DC
CHECKED	DC
PROJECT NO.	230007
DRAWING NO.	

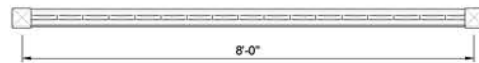
THIS DRAWING IS PROPERTY OF BROCK CROOME ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SHOWN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PRIOR WRITTEN CONSENT.



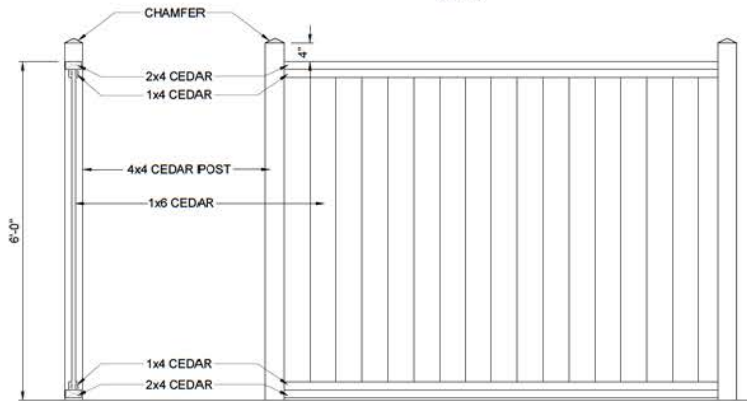




1 | SITE SECTION  
L-3.0 | SCALE: 1/2" = 1'-0"



HORIZONTAL SECTION  
1" = 1'-0"



VERTICAL SECTION  
1" = 1'-0"

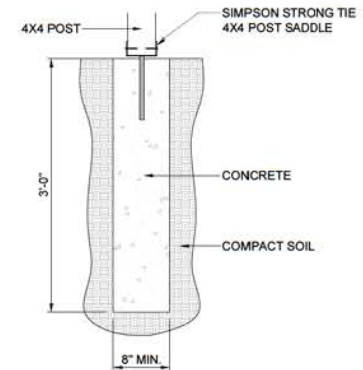
ELEVATION  
1" = 1'-0"

2 | FENCE DETAILS  
L-3.0 | SCALE: AS NOTED



STEEL BRACKETS  
TO ATTACH 1X4

2 | PANEL SUPPORT  
L-3.0 | SCALE: 3" = 1'-0"



3 | POST FOOTING  
L-3.0 | SCALE: 1-1/2" = 1'-0"

NOT TO SCALE



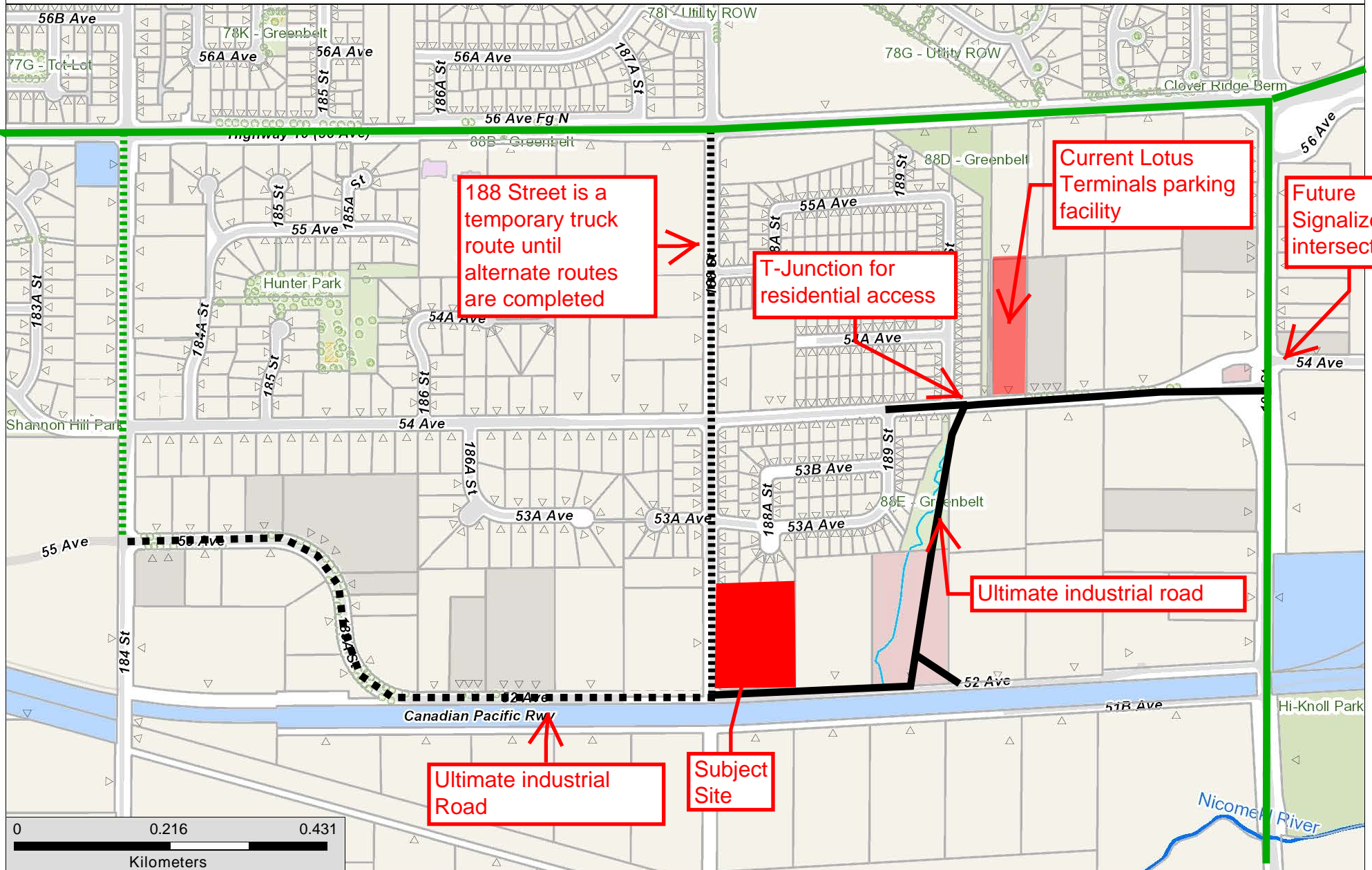
18833-52 AVE  
SURREY, BC V3W 2G4  
TEL: 604-591-1111  
WWW.KRAHN.COM



PROJECT NO.	
DATE	
PROJECT NAME	Proposed Heavy Truck Repair for Lotus Terminals
PROJECT ADDRESS	18833-52 AVE SURREY, BC
PROJECT DESCRIPTION	SITE SECTION AND CEDAR FENCING DETAILS
DESIGNED BY	
CHECKED BY	
DATE	
SCALE	
PROJECT NO.	L-3.0
DATE	



# Map of Surrounding Area and Site Access



188 Street is a temporary truck route until alternate routes are completed

T-Junction for residential access

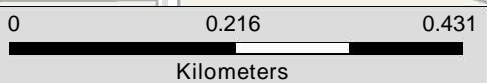
Current Lotus Terminals parking facility

Future Signalized intersection

Ultimate industrial road

Ultimate industrial Road

Subject Site



The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca.

Enter Map Description

Scale: 1: 7,191  
Map created on: September-30-13

## **Pre-Servicing Requirements for Temporary Industrial Use Permit No. 7913-0196-00 (Truck Parking)**

### **Landscaping Requirements**

- The northern 10-metres (33 ft.) boundary of the site shall be landscaped and/or buffered to mitigate visual and noise impacts on adjacent residential developments, to the satisfaction of the City Landscape Architect.

### **Engineering Services Requirements**

- A storm water servicing concept and lot grading plan must be submitted to the City's Engineering Department for review and approval;
- The northern portion of 188 Street, fronting the property must be constructed to a structural and width standard to accommodate trucks to the satisfaction of the General Manager, Engineering;
- All other engineering requirements must be addressed to the satisfaction of Engineering, including the installation of a water quality/sediment control inlet chamber to the satisfaction of the General Manager, Engineering;
- The parking area shall be designed to support the anticipated vehicle load in order to prevent dirt from being tracked onto the City roadway;
- An area of asphalt or concrete paving shall be provided on the site in the area where its driveway meets the fronting road to prevent tracking of dirt or mud onto the public street to the satisfaction of the General Manager, Engineering;
- City staff to perform a site inspection to ensure that all site requirements have been met prior to the issuance of the Temporary Industrial Use Permit.
- Registration of all applicable Restrictive Covenants including a restrictive covenant to limit access to 188 Street upon the opening of alternate accesses to truck routes; and
- Engineer of Record to provide letter confirming all pre-servicing requirements have been satisfied.

### **Planning Requirements**

- Sealed engineering drawings and related information are to be provided related to the layout of the site, including any buildings or structures on the site, site access, drive aisles, parking stall layout, signage and landscaping, demonstrating that the layout as proposed will allow for adequate space for manoeuvring and parking of all vehicles on site in an orderly manner up to the full capacity of the parking lot;
- The parking spaces in the truck parking lot are to be visually delineated at all times to the satisfaction of the General Manager, Planning and Development, so as to assist in ensuring the orderly parking of vehicles on the site at all times; and
- Adequate washroom facilities are to be provided on the site to the satisfaction of the General Manager, Planning and Development, but in any case there shall be a minimum of one such facility on the site.