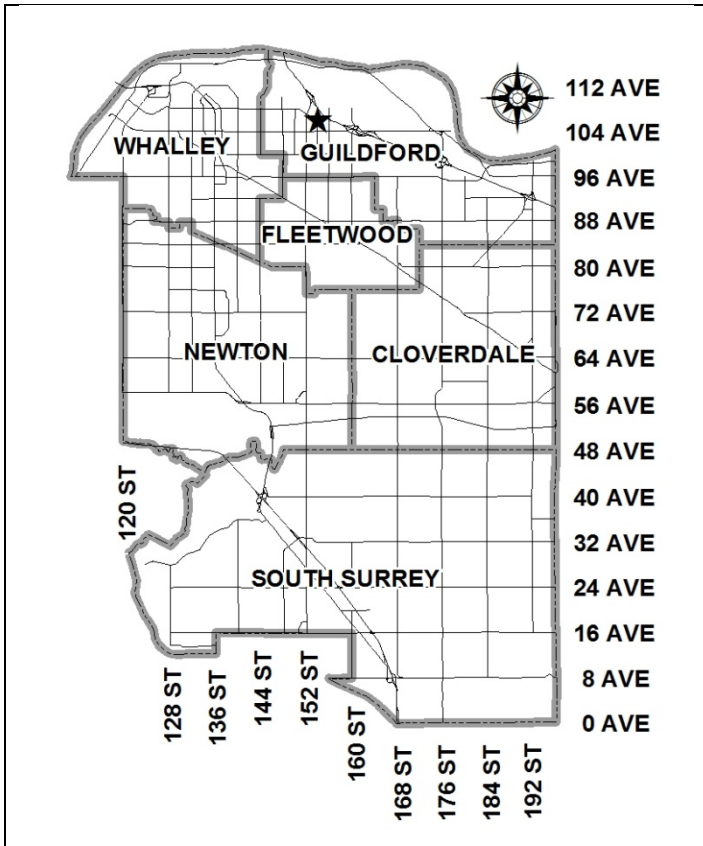


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7913-0216-00

Planning Report Date: December 16, 2013



**PROPOSAL:**

- **Development Permit**
- **Development Variance Permit**

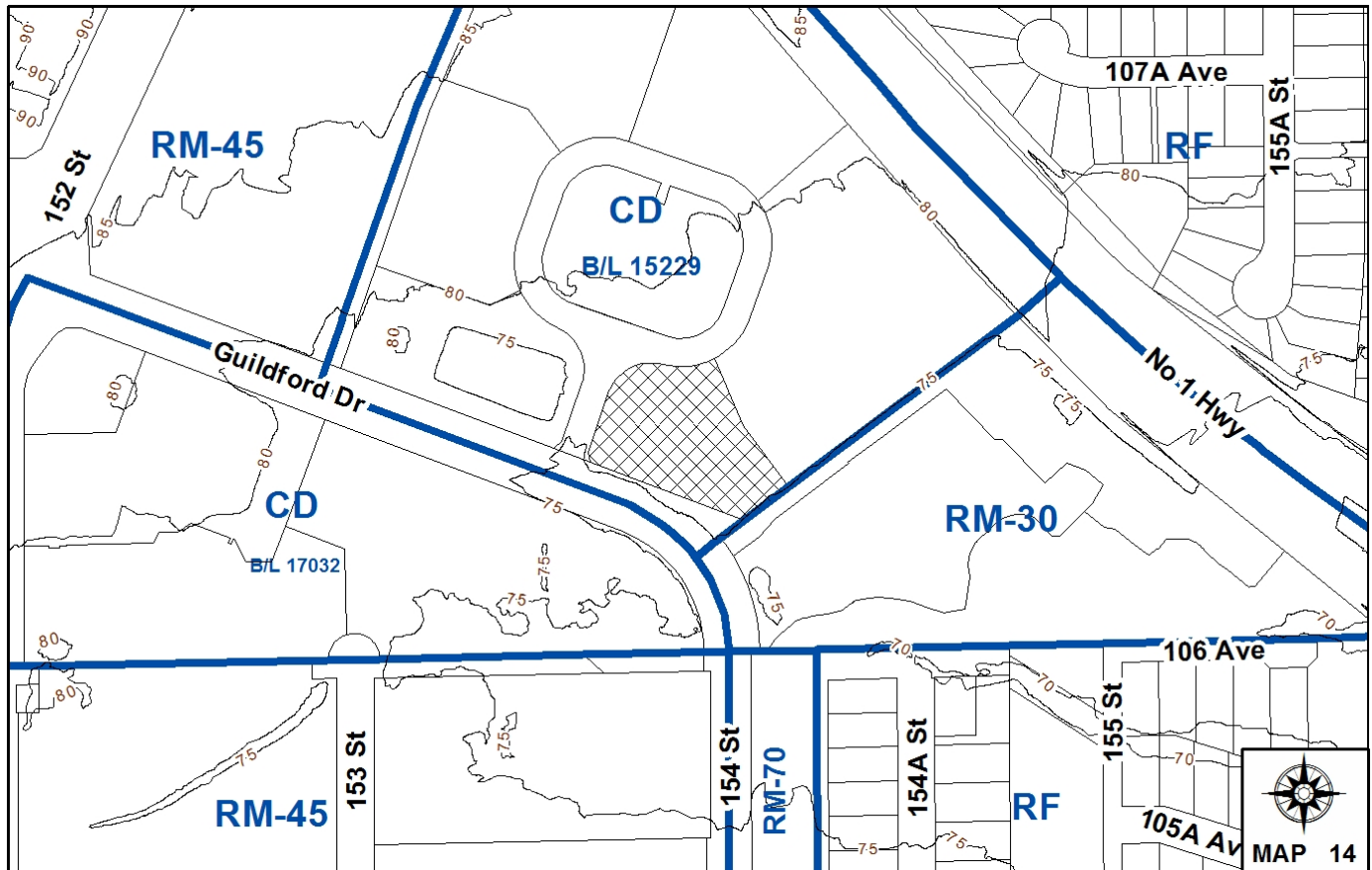
in order to permit the development of a two-storey automobile dealership in the North Surrey Auto Mall.

**LOCATION:** 15393 - Guildford Drive

**OWNER:** Pattison Surrey Auto Mall Ltd.

**ZONING:** CD (By-law No. 15229)

**OCP DESIGNATION:** Commercial



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval and issuance of Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to vary Sign By-law to allow two additional fascia signs for a total of four fascia signs.

### RATIONALE OF RECOMMENDATION

- With the exception of the proposed variance to the Sign By-law, the proposed Development Permit complies with the current zoning (CD By-law No. 15229) of the subject property.
- The form of the proposed building is consistent with the form of the existing buildings in the North Surrey Auto Mall.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council approve Development Permit No. 7913-0216-00, including a comprehensive sign design package, and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot within North Surrey Auto Mall, currently used for overflow vehicle display / storage by the adjacent auto dealerships.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across Private Road):	Hyundai auto dealership	Commercial	CD (By-law No. 15229)
East:	Toyota auto dealership and three-storey townhouse development	Commercial and Multiple Residential	CD (By-law No. 15229) and RM-30
South (Across Guildford Drive):	Vacant lot (under Development Application No. 7913-0230-00 to permit townhouses, currently pre-Council)	Multiple Residential	CD (By-law No. 17032)
West (Across Private Road):	Vacant lot within North Surrey Auto Mall	Commercial	CD (By-law No. 15229)

## DEVELOPMENT CONSIDERATIONS

- The subject site, which is currently vacant, is located at 15393 - Guildford Drive in the North Surrey Auto Mall, and is approximately 5,700 square metres (1.4 acres) in size. The site is designated Commercial in the Official Community Plan (OCP) and is zoned "Comprehensive Development Zone (CD)" (By-law No. 15229).
- The North Surrey Auto Mall project was originally approved by Council in 2004 under Development Application No. 7903-0176-00. The project consisted of the creation of seven (7) bare land strata lots around an internal private road system to be developed in phases by automobile dealerships. Four (4) of the lots have been developed and are currently occupied by automobile dealership buildings (Jeep / Dodge, Hyundai, Toyota and Volvo).
- The applicant is proposing to construct a two-storey Volvo dealership building approximately 1,470 square metres (15,850 sq.ft.) in size on the subject site (Strata Lot 1).
- The existing Volvo dealership, located on Strata Lot 3, intends to vacate their current building and occupy the proposed building on the subject site. A new automobile dealership will move into the existing building on Strata Lot 3.
- The proposed building will have a floor area ratio (FAR) of 0.26, which complies with the maximum FAR of 0.50 permitted in the CD Zone (By-law No. 15229).

## PRE-NOTIFICATION

- In accordance with Council policy, a Development Proposal Sign was installed on the subject site to inform adjacent owners about the proposed development. No telephone calls or letters of concern have been received.

## DESIGN PROPOSAL AND REVIEW

### Building Design

- The applicant proposes to construct a two-storey automobile dealership near the middle of the subject site. The proposed building will have a contemporary design.
- The proposed building, constructed of a steel frame and concrete blocks, incorporates silver and white aluminum panels, as well as white acrylic stucco cladding.
- Clear glazing in anodized aluminum frames are proposed along the north, west and south building elevations in order to enhance the overall design of the proposed building.
- Two (2) steel canopies with membrane roofs are proposed along the north and east building elevations, which will provide weather protection over the vehicle service area and the car wash bay.

- The main vehicle showroom is located within the western portion of the proposed building. Offices, vehicle parts and tool rooms, and a garbage / recycling room are situated behind (to the east of) the showroom. A total of six (6) vehicle service bays are proposed along the northeast section of the building.
- The second floor of the proposed building is comprised of offices and meeting rooms.
- The applicant proposes to install lighting throughout the subject site. The proposed lighting will be downward facing and will not create a significant glare on the existing townhouse development directly to the east or the planned residential development across Guildford Drive (Application No. 7913-0230-00).
- Vehicular access to the subject site is limited to a right-in only driveway at the northwest corner of the site, and a right-out only driveway at the north end of the site along the private auto mall road. There is no direct vehicular access from the subject site to Guildford Drive.
- No road dedication or rights-of-way are required, as part of the subject development application.

#### Trees and Landscaping

- The applicant proposes to retain the existing landscaping and trees that are located within the 3.0-metre (10 ft.) wide landscape strip along the south and east property lines. No existing trees are to be removed.
- In addition to retaining the existing landscaping along the eastern property line, the applicant has proposed to enhance the existing landscaping by planting additional conifers adjacent to the existing townhouse development, to help further screen the adjacent residential development from the proposed dealership.
- A total of 21 trees (katsura, spruce, pine, and cedar) are proposed throughout the site. Additional low-level landscaping is also proposed, including azaleas, roses, yew, fountain grass, ivy, and daylilies.
- The applicant proposes five (5) outdoor vehicle display pads parallel to the adjacent private roadway along the north lot line. Each vehicle display pad will be constructed of patterned concrete pavers, and will be surrounded by low-level landscaping. The proposed vehicle display pads are similar to the existing vehicle display pads located at other dealerships within the North Surrey Auto Mall.

#### Proposed Signage

- The applicant proposes a total of four (4) fascia signs on the proposed building – one (1) on the south building elevation and three (3) on the west building elevation.
- Two (2) 'Volvo' fascia signs are proposed above the two (2) main entrances along the south and west building elevations, will be installed on a blue alucobond panel that mark the entrance to the building. The fascia signs are constructed of individually illuminated channel letters, and are each approximately 0.4 metre (1.2 ft.) high and 2.4 metres (8 ft.) wide.

- A "Service" fascia sign and a vehicle dealership fascia sign ("Jimmy Pattison") are proposed on the west building elevation. The "Service" fascia sign is proposed on the vehicle service canopy. The two (2) fascia signs are constructed of individually illuminated channel letters, and are approximately 0.4 metre (1.0 ft.) high and 1.8 metres (6 ft.) wide and 0.5 metre (1.7 ft.) high and 4.9 metres (16 ft.) wide, respectively.
- The proposed Development Permit incorporates a variance to the Sign By-law to allow two (2) additional fascia signs on the west building elevation. The proposed variance to the Sign By-law is described in Appendix II.
- A free-standing sign is proposed near the right-in driveway at the northwest corner of the site. The proposed free-standing sign is approximately 3.7 metres (12 ft.) high, and will be installed at least 2.0 metres (6.6 ft.) from the property line. The size and design of the proposed free-standing sign is the same as the existing free-standing signs located within the North Surrey Auto Mall.

#### ADVISORY DESIGN PANEL

- This proposed project was not referred to the ADP, but was reviewed by staff and found satisfactory.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variance Table
Appendix III.	Development Permit No. 7913-0216-00

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

DN/da

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## DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 15229

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b>		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		5,700 sq.m.
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	40%	17.5%
Paved & Hard Surfaced Areas		67.5%
Total Site Coverage		85%
<b>SETBACKS ( in metres)</b>		
Front (West)	15 metres	26 metres
Rear (East)	7.5 metres	21 metres
Side #1 (North)	15 metres	13 metres
Side #2 (South)	7.5 metres	16.5 metres
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	9 metres	9 metres
Accessory		
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		N/A
Total		
<b>FLOOR AREA: Residential</b>		
		N/A
<b>FLOOR AREA: Commercial</b>		
Retail		784 sq.m.
Office		686 sq.m.
Total		1,470 sq.m.
<b>FLOOR AREA: Industrial</b>		
		N/A
<b>FLOOR AREA: Institutional</b>		
		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	<b>2,850 sq.m.</b>	<b>1,470 sq.m.</b>



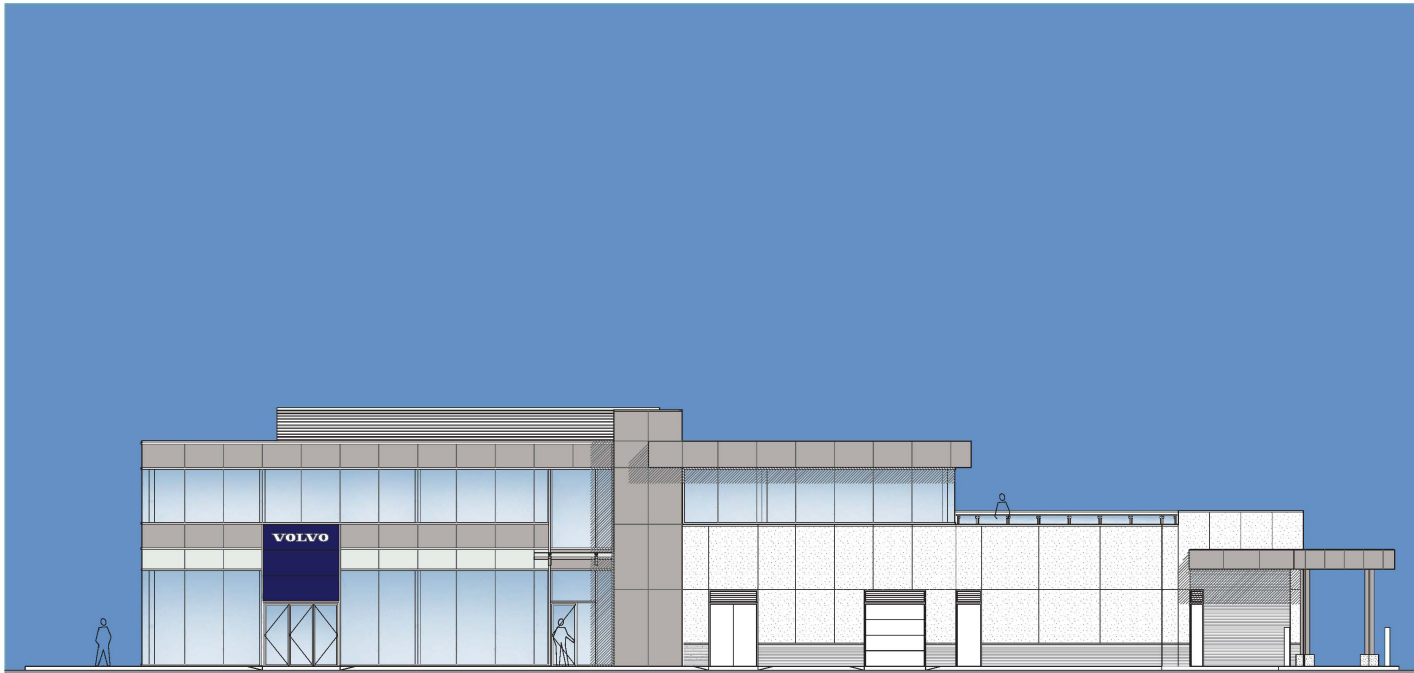
## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (net)	0.50	0.26
AMENITY SPACE (area in square metres)		
Indoor		N/A
Outdoor		N/A
PARKING (number of stalls)		
Retail	24	78
Office	14	21
Total Number of Parking Spaces	38	99
Number of disabled stalls	1	2
Number of small car stalls	25	11
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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**PROPOSED SIGN BY-LAW VARIANCE**

#	Proposed Variance	Sign By-law Requirement	Rationale
1	To allow two (2) additional fascia signs on the west building elevation for a total of four (4) fascia signs on the proposed building.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a)).	The two (2) proposed fascia signs are of an appropriate size and scale in relation to the proposed building.



# Proposed Volvo Auto Dealership



This drawing is the property of Millenia Architecture Corp and shall not be reproduced without permission.  
 The Contractor shall verify actual site conditions and dimensions and shall be responsible for notifying the architect of any discrepancies.  
 All work shall be carried out in strict accordance with current applicable building code and municipal by-laws.

project  
 Jim Pattison Auto Group  
 Proposed Volvo  
 Auto Dealership  
 North Surrey Auto Mall  
 Surrey, BC

title  
 Cover Sheet

project no. 13-  
 scale AS NOTED  
 drawn JLW  
 reviewed  
 date 11/22/2013

no.	date	description
1	NOV. 22/13	ISSUED FOR DPA
2	SEPT. 24/13	ISSUED FOR DPA

drawing no. of -



DEVELOPMENT SUMMARY	ADDRESS & BUILDING DATA	DRAWING INDEX																																																																																																																																																															
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Associates 200 - 1150 Marine Street Vancouver, BC V6B 3V1 tel: 604 684 2413 fax: 604 684 2884 contact: Darren Heath P.Eng.</p> <p><b>ELECTRICAL:</b> Smith &amp; Anderson-Pattison Engineering Ltd. 3381 - 8400 Brimley Street Burnaby, BC V5C 4E1 tel: 604 698 8008 fax: 604 698 8309 Contact: Dugan Deary, B.Sc.</p> <p><b>LANDSCAPE ARCHITECT:</b> PMG Landscape Architects Ltd. Suite C100 - 4188 204 Street Drive, Burnaby, BC V5C 6Y9 1-604-294-0011 contact: Mariana Manóvar</p>	<p><b>Architectural</b></p> <p>Issued For: No: Drawing:</p> <p>Revised for DPA, Nov. 22 /13</p> <ul style="list-style-type: none"> <li>• A0 Cover Sheet</li> <li>• A1.0 General Notes</li> <li>• A1.1 Site Plan</li> <li>• A2.1 Main Floor Plan</li> <li>• A2.2 Second Floor Plan</li> <li>• A2.3 Roof Plan</li> <li>• A3.1 Building Sections &amp; Construction Assemblies</li> <li>• A4.1 Building Elevations</li> <li>• A4.2 Building Elevations</li> <li>• A4.3 Building Elevations</li> <li>• C01 Strata Lot 1 Topographical Survey</li> <li>• L1 Site Grading Plan</li> <li>• L1 Landscape Plan</li> </ul>
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<b>FSR</b>	<b>15.837</b>	<b>(1,471m2)</b>	<b>1</b>	<b>.2581</b>																																																																																																																																																													
-	Permitted Minimum	Proposed Minimum																																																																																																																																																															
<b>Guldford Drive</b>	<b>15m</b>	<b>54'-10" (16.7m)</b>																																																																																																																																																															
<b>Automall Drive</b>	<b>15m</b>	<b>64'-10" (25.86m)</b>																																																																																																																																																															
<b>Side Yard East</b>	<b>7.5m</b>	<b>43'-10" (13.36m)</b>																																																																																																																																																															
<b>Rear Yard SE</b>	<b>7.5m</b>	<b>68'-0" (20.7m)</b>																																																																																																																																																															
<b>Landscape</b>	<b>3.0m</b>	<b>3.0m</b>																																																																																																																																																															
Floor	gross area (sf)	gross area (m2)	Occupancy																																																																																																																																																														
<b>Main Floor</b>	<b>9350</b>	<b>868.6</b>	<b>Group F2 Automobile Repair Garage, Salesroom &amp; Ancillary Offices, &amp; Parts Storage</b>																																																																																																																																																														
<b>Second Floor</b>	<b>6487</b>	<b>602.64</b>	<b>Group D General Office Use</b>																																																																																																																																																														
<b>Gross Floor Area Total</b>	<b>15837</b>	<b>1471.2</b>																																																																																																																																																															
Area	gross area (sf)	gross area (m2)	Notes																																																																																																																																																														
<b>Building Coverage</b>	<b>10632</b>	<b>1006.3</b>	<b>Includes Area Under Canopy</b>																																																																																																																																																														
<b>Landscape Area</b>	<b>9864.7</b>	<b>916.43</b>	<b>Planting Area and Permeable Surfaces</b>																																																																																																																																																														
<b>Hard Surface Area</b>	<b>40650</b>	<b>3776.4</b>																																																																																																																																																															
<b>Site Total</b>	<b>61346.7</b>	<b>5699.1</b>																																																																																																																																																															
Occupancy	area (sf)	area (m)	required	provided																																																																																																																																																													
<b>Main Floor Office</b>																																																																																																																																																																	
<b>3 stalls /1075sf (100m2)</b>	<b>912</b>	<b>84.7</b>	<b>2.54</b>	<b>3</b>																																																																																																																																																													
<b>Main Floor Service Bays</b>																																																																																																																																																																	
<b>3 stalls/Service Bay</b>	<b>2624</b>	<b>234.5</b>	<b>18</b>	<b>18</b>																																																																																																																																																													
<b>Main Floor Gross Floor Area</b>																																																																																																																																																																	
<b>1 stall /1075 sf (100m2)</b>	<b>5914</b>	<b>549.4</b>	<b>5.5</b>	<b>6</b>																																																																																																																																																													
<b>Excludes Office &amp; Service Bays</b>																																																																																																																																																																	
<b>Second Floor Office</b>																																																																																																																																																																	
<b>3 stall/1075sf (100m2)</b>	<b>6487</b>	<b>602.6</b>	<b>18.07</b>	<b>18</b>																																																																																																																																																													
<b>Parking for every vehicle owned, leased or operated</b>				<b>54</b>																																																																																																																																																													
<b>TOTAL</b>	<b>15837</b>	<b>1471.2</b>	<b>44.1</b>	<b>99</b>																																																																																																																																																													
<b>Notes</b>																																																																																																																																																																	
<b>Parking for Disabled</b>			<b>1</b>	<b>2</b>																																																																																																																																																													
<b>Small Car Ratio</b>			<b>25%(max.)</b>	<b>11%</b>																																																																																																																																																													
<b>Display &amp; Storage Car Parking (Not part of parking count) Refer to siteplan for location)</b>				<b>9</b>																																																																																																																																																													
<p style="text-align: center;"><b>SITE LOCATION PLAN</b></p>		<p>project</p> <p><b>Jim Pattison Auto Group</b></p> <p><b>Proposed Volvo</b></p> <p><b>Auto Dealership</b></p> <p><b>North Surrey Auto Mall</b></p> <p>Surrey, BC</p> <p>title</p> <p><b>General Notes &amp; Project Summary</b></p> <p><b>Location Plan</b></p> <hr/> <p>project no. 13-</p> <p>scale AS NOTED</p> <p>drawn JLW</p> <p>reviewed</p> <p>date 11/22/2013</p> <hr/> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%; text-align: center;">NOV. 22/13</td> <td style="width:50%; text-align: center;">REISSUED FOR DPA</td> </tr> <tr> <td style="text-align: center;">▲ SEPT. 24/13</td> <td style="text-align: center;">ISSUED FOR DPA</td> </tr> <tr> <td style="text-align: center;">no. 10 date</td> <td style="text-align: center;">description</td> </tr> <tr> <td style="text-align: center;">revisions</td> <td></td> </tr> </table> <p>drawing no. of -</p>	NOV. 22/13	REISSUED FOR DPA	▲ SEPT. 24/13	ISSUED FOR DPA	no. 10 date	description	revisions																																																																																																																																																								
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All work shall be carried out in strict accordance with current applicable building code and municipal bylaws.

project

**Jim Pattison Auto Group**

**Proposed Volvo**

**Auto Dealership**

**North Surrey Auto Mall**

Surrey, BC

title

**General Notes & Project Summary**

**Location Plan**

project no. 13-

scale AS NOTED

drawn JLW

reviewed

date 11/22/2013

NOV. 22/13	REISSUED FOR DPA
▲ SEPT. 24/13	ISSUED FOR DPA
no. 10 date	description
revisions	

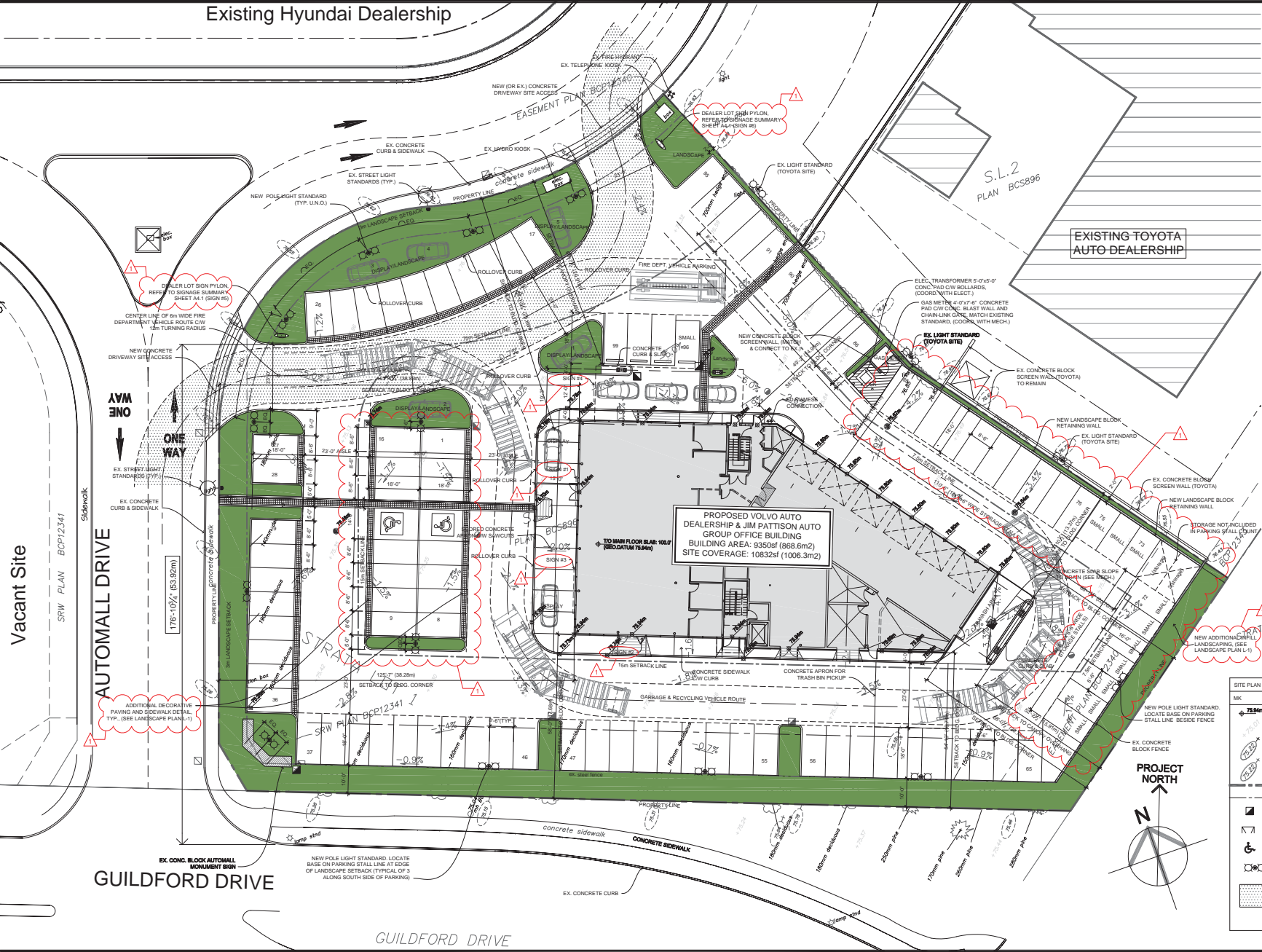
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7913-0216-00(B)

# Existing Hyundai Dealership

consultants



Floor	gross area (sq. ft.)	gross area (sq. m.)	Comments
Main Floor	9350	868.6	Group F2 Automobile Dealer by Auto Insurance & Primary Classes & Primary Storage
Second Floor	6407	593.4	Group F3 General Office Use
<b>Gross Floor Area Total</b>	<b>15757</b>	<b>1462.0</b>	

Company	area (sq. ft.)	area (sq. m.)	required	provided
Main Floor Office	813	75.2	2,24	2
Main Floor Service Bay	2028	188.5	19	19
Main Floor Open Floor Area	8514	786.4	8,8	0
Second Floor Office	6407	593.4	18,07	18
<b>Parking for every vehicle owned, leased or operated</b>				<b>84</b>
<b>TOTAL</b>	<b>15857</b>	<b>1471.2</b>	<b>44.1</b>	<b>80</b>



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project  
Jim Pattison Auto Group  
Proposed Volvo  
Auto Dealership  
North Surrey Auto Mall  
Surrey, BC

title  
Site Plan

SYMBOL	DETAILS
75.0m	PROPOSED FINISHED GRADE ELEVATION IN METERS
EXISTING GRADE ELEVATION	EXISTING GRADE ELEVATION ALONG PROPERTY LINE (METERS) REFER TO CIVIL GRADING PLAN
NEW GRADE ELEVATION	NEW GRADE ELEVATION (METERS) REFER TO CIVIL GRADING PLAN
PROPERTY LINE	PROPERTY LINE
SETBACK LINE	SETBACK LINE
CATCH BASIN	CATCH BASIN, REFER TO MECHANICAL OR CIVIL PLANS
WHEELCHAIR CURB RAMP	WHEELCHAIR CURB RAMP
PARKING STALL FOR DISABLED PRINTED SYMBOL	PARKING STALL FOR DISABLED PRINTED SYMBOL
POLE LIGHT STANDARDS	POLE LIGHT STANDARDS, REFER TO ELECTRICAL
FIRE TRUCK ROUTE & HEAVY DUTY APPROVAL	FIRE TRUCK ROUTE & HEAVY DUTY APPROVAL TO USE ON LOW CAPABILITY CURBS INHIBITS IS 4" TYPICAL U.S.O.

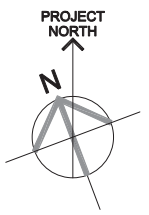
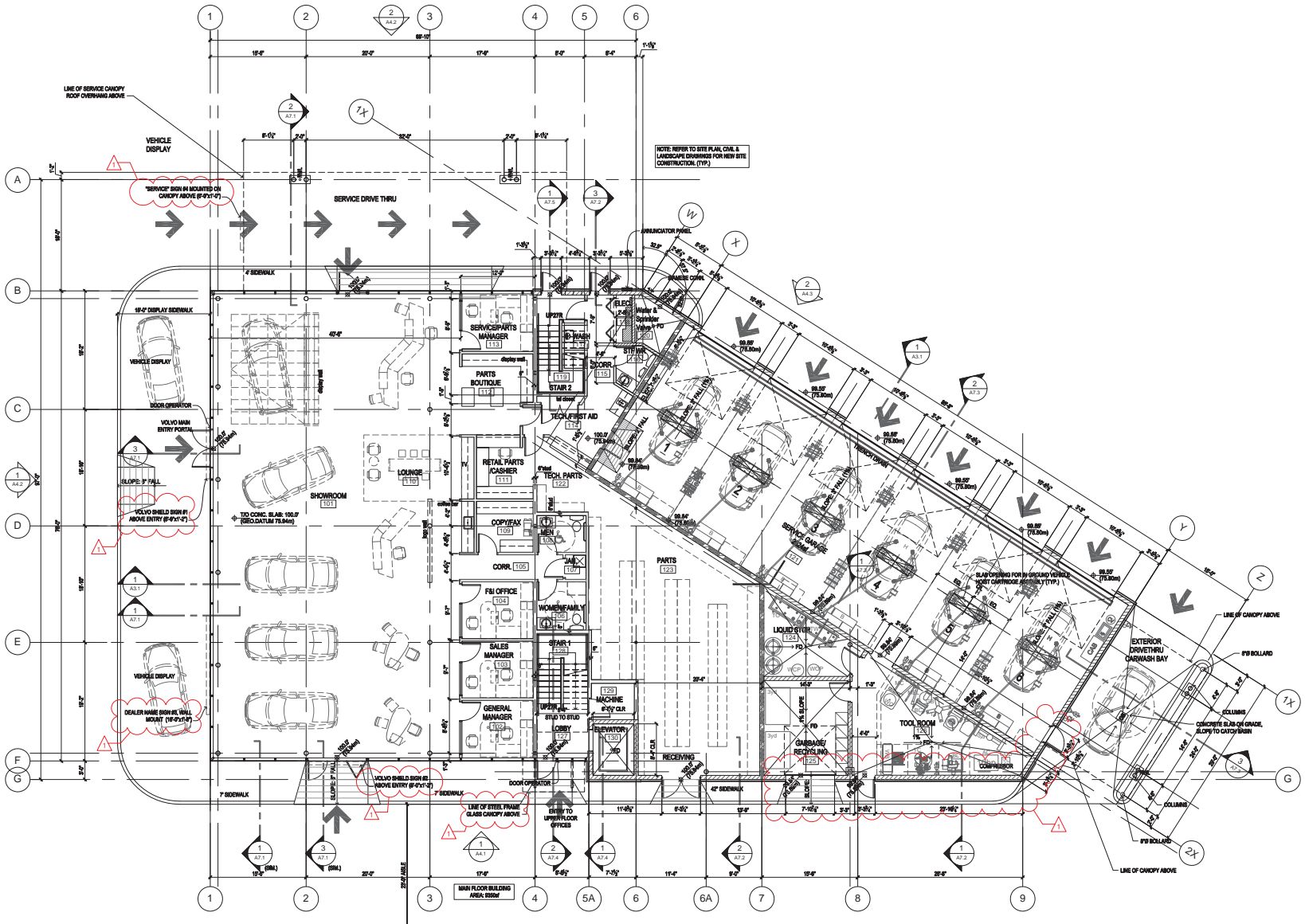
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drawn JLJ  
reviewed  
date 11/22/2013

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SEPT. 24/13	ISSUED FOR DPA
no. 10	descriptor
revisions	

drawing no. of -

**A1.1**

7913-0216-00(C)



**MILLENNIA**  
architecture corp

82-1488 Marine Drive  
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tel: 604.521.7288  
fax: 604.521.7344

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project  
Jim Pattison Auto Group  
Proposed Volvo  
Auto Dealership  
North Surrey Auto Mall  
Surrey, BC

title  
Main Floor Plan

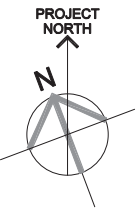
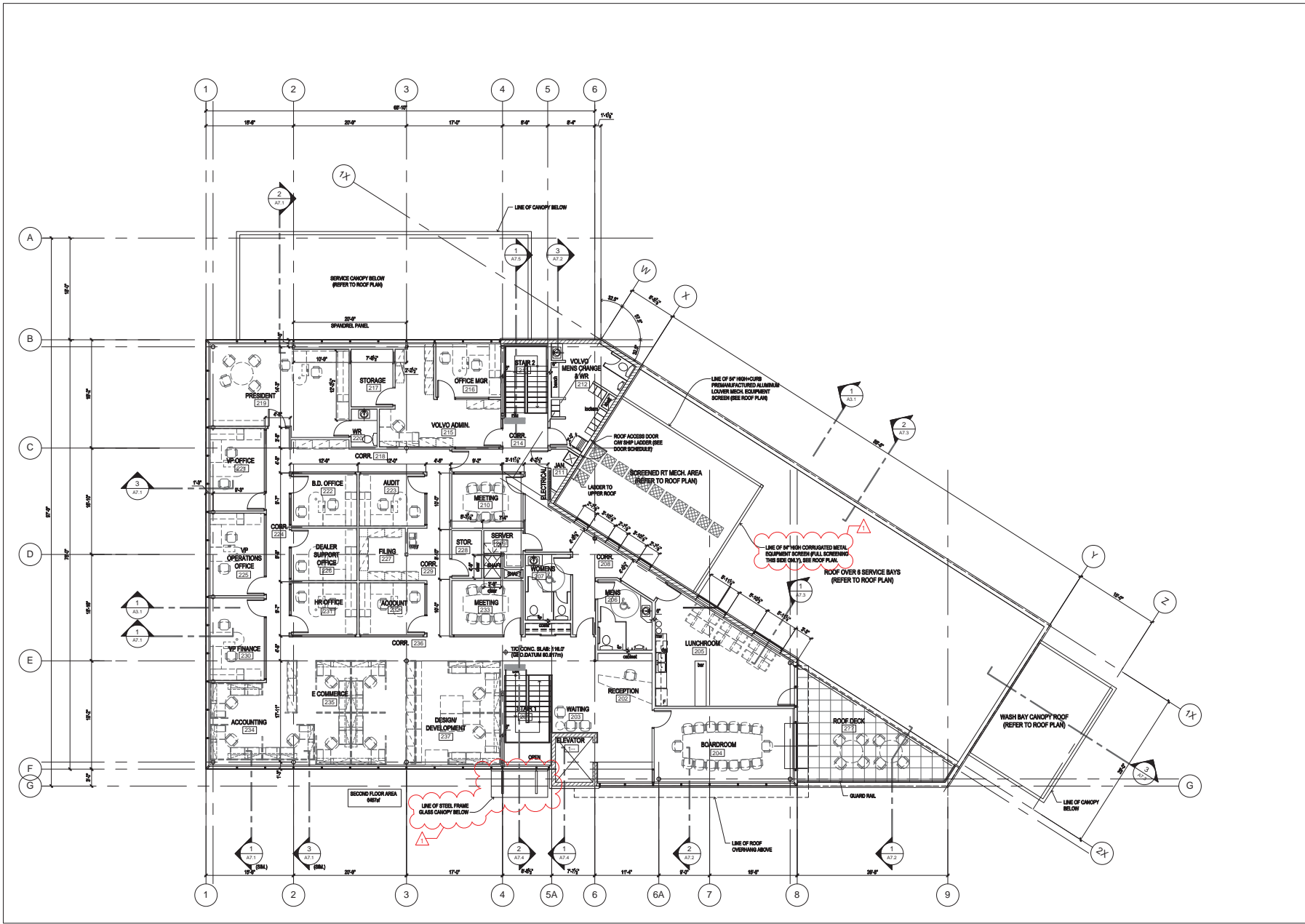
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drawn JL/V  
reviewed  
date 11/22/2013

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SEPT. 24/13	ISSUED FOR DPA
no. 101010	descriptor
revisions	

drawing no. of -

**A2.**

7913-0216-00(D)



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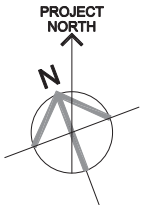
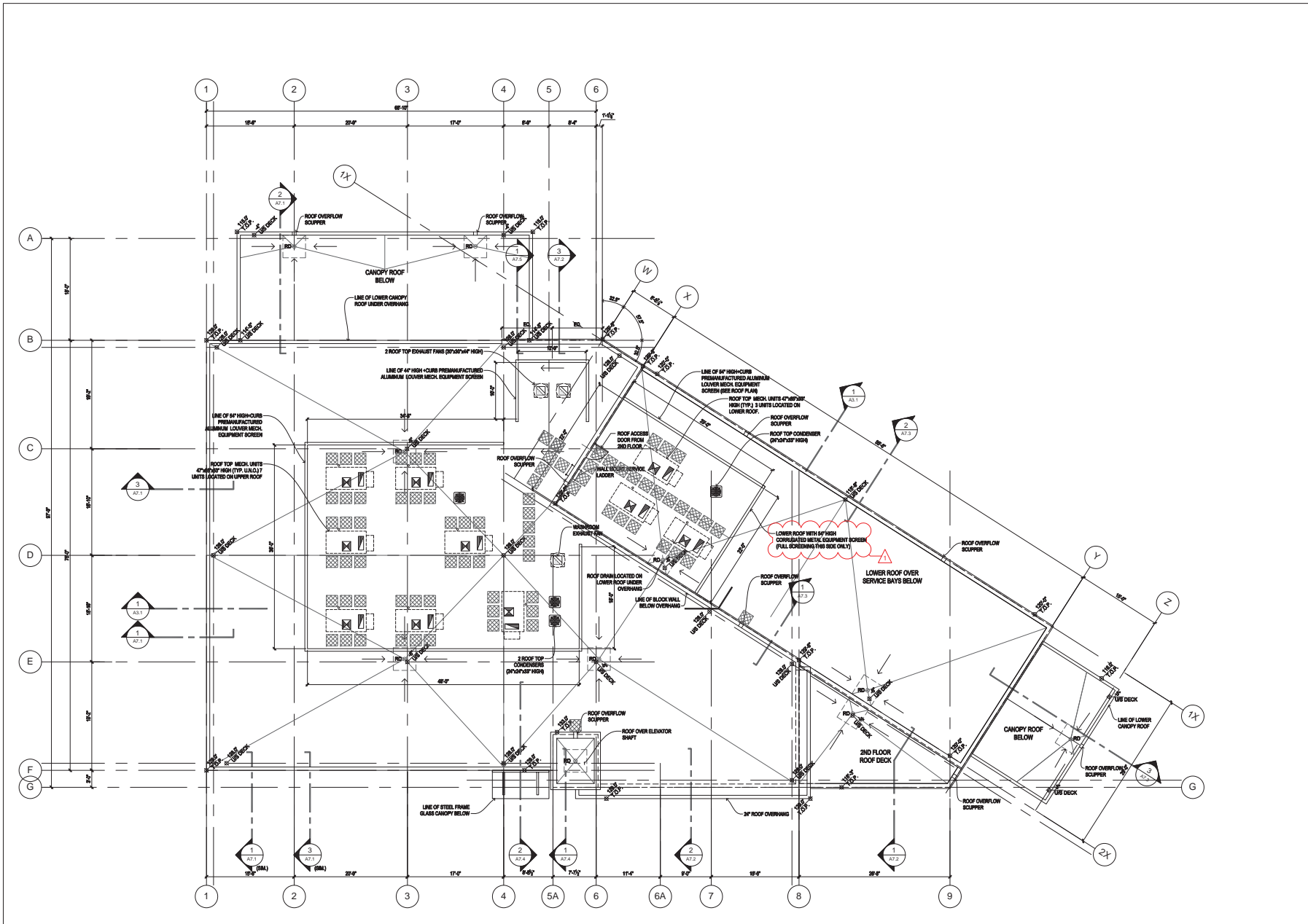
project  
 Jim Pattison Auto Group  
 Proposed Volvo  
 Auto Dealership  
 North Surrey Auto Mall  
 Surrey, BC  
 title  
 Second Floor Plan

project no. 13-  
 scale 1/8"=1'-0"  
 drawn JLW  
 reviewed  
 date 11/22/2013

NOV. 22/13	REISSUED FOR DPA
SEPT. 24/13	ISSUED FOR DPA
no. 10/10	description
revisions	
drawing no.	of -

A2

7913-0216-00(E)



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project  
Jim Pattison Auto Group  
Proposed Volvo  
Auto Dealership  
North Surrey Auto Mall  
Surrey, BC

title  
Roof Plan

project no. 13-  
scale 1/8"=1'-0"  
drawn JL/V  
reviewed  
date 11/22/2013

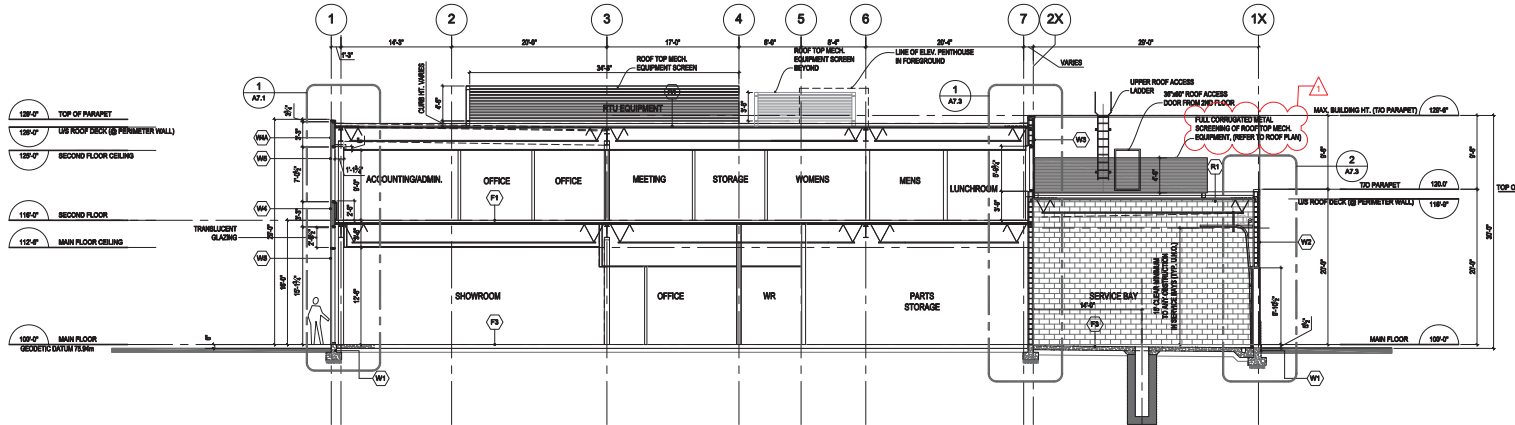
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2	SEPT. 24/13	ISSUED FOR DPA

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A2

7913-0216-00(F)





**1 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



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FLOOR CONSTRUCTION ASSEMBLY LEGEND	
MK	DETAILS
(P1)	<b>SECOND FLOOR ASSEMBLY (NON-COMBUSTIBLE NO PFR REQUIRED)</b> 1. FINISH FLOOR (AS SPECIFIED) 2. 3/4" CONCRETE TOPPING ON 1/2" STEEL DECK (P TOTAL THICKNESS) 3. OPEN WEB STEEL JOIST 4. SUSPENDED CEILING WHERE SPECIFIED (REFER TO REFLECTED CEILING PLAN)
(P2)	<b>SECOND FLOOR ASSEMBLY</b> 2 HR PFR (LC DESIGN U00) 1. FINISH FLOOR (AS SPECIFIED) 2. 3/4" CONCRETE TOPPING ON 1/2" STEEL DECK (P TOTAL THICKNESS) 3. OPEN WEB STEEL JOIST 7. 2 HR PFR SPRAY APPLIED FIRE PROTECTION OR SUSPENDED CEILING WHERE NOTED, REFER TO REFLECTED CEILING PLAN
(P3)	<b>MAIN FLOOR CONCRETE SLAB ON GRADE</b> 1. FINISH FLOOR (AS SPECIFIED) 2. 4" CONCRETE SLAB ON GALLY, WOVEN WIRE MESH (PER STRUCTURAL) 3. 4 MIL POLYETHYLENE MOISTURE BARRIER (TYPEK COMMERCIAL BUILDING WRAP OR EQUIV.) 4. 1" COMPACTED GRAVEL, FILL PER GEOTECHNICAL ENGINEER REPORT 4. NON-COMBUSTIBLE INSULATION MATERIAL

EXTERIOR WALL CONSTRUCTION ASSEMBLY LEGEND	
MK	DETAILS
(W1)	<b>FOUNDATION WALL CONSTRUCTION:</b> 1. DAMPROOFING 2. CONCRETE FOUNDATION WALL (THICKNESS VARIES) REFER TO STRUCTURAL 3. INSULATION?
(W2)	<b>CONCRETE BLOCK MASONRY WALL CONSTRUCTION:</b> <b>MAIN FLOOR UPPER</b> 1. EXTERIOR INSULATION FINISH SYSTEM (EIFS) ACRYLIC STUCCO FINISH & 2" FIBRO STYROFORM INSULATION WITH CAPILLARY BREAK/DRAINAGE CHANNEL (PER IBC) REFER TO SPECIFICATION 2. MOISTURE BARRIER 3. 8" (MIN) CONCRETE BLOCK 4. REFER TO STRUCTURAL FOR REINFORCING CONCRETE CORE FILL 5. INTERIOR FINISH AS SCHEDULED
(W3)	<b>CONCRETE BLOCK MASONRY WALL CONSTRUCTION:</b> <b>SECOND FLOOR</b> 1. EXTERIOR INSULATION FINISH SYSTEM (EIFS) ACRYLIC STUCCO FINISH & 2" FIBRO STYROFORM INSULATION WITH DRAINAGE CHANNEL (PER IBC) REFER TO SPECIFICATION 2. MOISTURE BARRIER 3. 8" (MIN) CONCRETE BLOCK 4. REFER TO STRUCTURAL FOR REINFORCING CONCRETE CORE FILL 5. 5/8" @ 16" O.C. METAL STUD FRAMING 6. 1/2" DENSULAR GOLD INSULATION BATT (R18) 7. 4 MIL POLYETHYLENE VAPOR BARRIER 8. 1/2" @ 16" O.C. METAL STUD FRAMING 9. INTERIOR FINISH AS SCHEDULED
(W4)	<b>ALUMINUM CURTAINWALL GLAZING SYSTEM - SPAN/PANEL SYSTEM</b> 1. ALUMINUM FRAME 2.5" WIDE @ 28" OVERALL @ 28" BACK MEMBER WITH THERMAL BREAK - REFER TO ELEVATIONS FOR CAPS 2. ALUM. COMPOSITE PANEL SPAN/PANEL 3. FIBERGLASS BATT INSULATION 4. SEALED METAL BACKPANEL 5. 2 1/2" @ 16" O.C. METAL STUD FRAMING 6. 1/2" @ 16" O.C. METAL STUD FRAMING (AS SCHEDULED)
(W5)	<b>ALUMINUM CURTAINWALL GLAZING SYSTEM - SPAN/PANEL SYSTEM (NON-INSULATED)</b> 1. ALUMINUM FRAME 2.5" WIDE @ 28" OVERALL @ 28" BACK MEMBER WITH THERMAL BREAK - REFER TO ELEVATIONS FOR CAPS 2. ALUM. COMPOSITE PANEL SPAN/PANEL 3. FIBERGLASS BATT INSULATION 4. SEALED PREFAB ALUMINUM BACKPANEL, FLUSH WITH MULLIONS

EXTERIOR WALL CONSTRUCTION ASSEMBLY LEGEND	
MK	DETAILS
(W6)	<b>ALUMINUM CURTAINWALL GLAZING SYSTEM - VISION GLASS MEMBER WITH THERMAL BREAK - REFER TO ELEVATIONS FOR CAPS</b> 1. ALUMINUM FRAME 2.5" WIDE @ 28" OVERALL @ 28" BACK MEMBER WITH THERMAL BREAK, LOW E ARGON FILL, THERMOFLEX, CLEAR AND TRANSLUCENT SECTIONS, REFER TO ELEVATIONS 2. DOUBLE GLAZED SEALED UNITS, LOW E ARGON FILL, THERMOFLEX, CLEAR AND TRANSLUCENT SECTIONS, REFER TO ELEVATIONS
(W7)	<b>METAL STUD FRAMED EXTERIOR WALL CONSTRUCTION:</b> 1. ALUMINUM COMPOSITE PANEL SYSTEM 2. SPUNBONDED CLEAR MOISTURE BARRIER (TYPEK COMMERCIAL BUILDING WRAP OR EQUIV.) @ 1/2" WIDE STRIPS OF ICE & WATER SHIELD MEMBRANE AS REQUIRED 3. 1/2" DENSULAR GOLD OR EXTERIOR GRADE PLYWOOD SHEATHING 4. 3/4" @ 16" O.C. METAL STUD FRAMING, VARIES, REFER TO DETAILS 5. FIBERGLASS INSULATION BATT (R18) 6. 4 MIL POLYETHYLENE VAPOR BARRIER 7. 1/2" @ 16" O.C. METAL STUD FRAMING (FINISH AS SCHEDULED)
(W8)	<b>METAL STUD FRAMED EXTERIOR PARAPET WALL CONSTRUCTION:</b> 1. ALUMINUM COMPOSITE PANEL SYSTEM 2. BUILDING WRAP OR ROOF MEMBRANE (OVER TOP OF PARAPET) 3. 1/2" DENSULAR GOLD SHEATHING 4. 3/4" @ 16" O.C. METAL STUD FRAMING (PFR WHERE NOTED) 5. 1" @ 16" O.C. METAL STUD FRAMING (PFR WHERE NOTED) 6. 1" @ 16" O.C. METAL STUD FRAMING (PFR WHERE NOTED) 7. INTERIOR FINISH AS SCHEDULED
(W9)	<b>CONCRETE BLOCK MASONRY WALL WITH METAL CLADDING EXTERIOR CONSTRUCTION:</b> 1. 1/2" CALVALINE CORRUGATED METAL CLADDING 2. (VERTICAL) 2x4 FRAMING 3. 2" FIBRO STYROFORM INSULATION WITH DRAINAGE CHANNELS 4. MOISTURE BARRIER 5. 8" (MIN) CONCRETE BLOCK 6. REFER TO STRUCTURAL FOR REINFORCING CONCRETE CORE FILL 7. INTERIOR FINISH AS SCHEDULED
(W10)	<b>CONCRETE BLOCK MASONRY WALL WITH COMPOSITE PANEL CLADDING EXTERIOR CONSTRUCTION:</b> 1. ALUMINUM COMPOSITE PANEL SYSTEM 2. SPUNBONDED CLEAR MOISTURE BARRIER (TYPEK COMMERCIAL BUILDING WRAP OR EQUIV.) @ 1/2" WIDE STRIPS OF ICE & WATER SHIELD MEMBRANE AS REQUIRED 3. 1/2" DENSULAR GOLD OR EXTERIOR GRADE PLYWOOD SHEATHING 4. 1/2" @ 16" O.C. METAL STUD FRAMING (OR METAL STUD FRAMING) 5. 3/4" @ 16" O.C. METAL STUD FRAMING (PFR WHERE NOTED) 6. 1" @ 16" O.C. METAL STUD FRAMING (PFR WHERE NOTED) 7. REFER TO STRUCTURAL FOR REINFORCING CONCRETE CORE FILL 8. INTERIOR FINISH AS SCHEDULED

INTERIOR WALL CONSTRUCTION ASSEMBLY LEGEND	
MK	DETAILS
(W11)	<b>INTERIOR PARTITION CONSTRUCTION:</b> 1. 1/2" GIB WALL FINISH 2. 5/8" @ 16" O.C. METAL STUD FRAMING (PFR WHERE NOTED ON PLAN) 3. MINERAL WOOL ACOUSTIC BATT INSULATION 4. 1/2" GIB WALL FINISH
(W12)	<b>1 HR PFR WALL ASSEMBLY CONSTRUCTION:</b> 1. 1 LAYER 1/2" TYPE X GIB WALL FINISH AS SCHEDULED 2. 5/8" @ 16" O.C. METAL STUD FRAMING (PFR WHERE NOTED ON PLAN) 3. MINERAL WOOL ACOUSTIC BATT INSULATION 4. 1 LAYER 1/2" TYPE X GIB WALL FINISH AS SCHEDULED
(W13)	<b>2 HR PFR WALL ASSEMBLY CONSTRUCTION:</b> 1. 2 LAYER 1/2" TYPE X GIB WALL FINISH AS SCHEDULED 2. 5/8" @ 16" O.C. METAL STUD FRAMING (PFR WHERE NOTED ON PLAN) 3. MINERAL WOOL ACOUSTIC BATT INSULATION 4. 2 LAYER 1/2" TYPE X GIB WALL FINISH AS SCHEDULED
(W14)	<b>CONCRETE BLOCK MASONRY WALL CONSTRUCTION:</b> 2 HR PFR WHERE NOTED ON PLAN (LC DESIGN U00) 1. 8" (MIN) CONCRETE BLOCK (FINISH AS SCHEDULED) 2. EXTERIOR GRADE PLYWOOD 3. REFER TO STRUCTURAL FOR REINFORCING

ROOF CONSTRUCTION ASSEMBLY LEGEND	
MK	DETAILS
(R1)	<b>TYPICAL ROOF CONSTRUCTION (NON-COMBUSTIBLE NO PFR REQUIRED)</b> 1. GRAVEL ROOF BALLAST 2. SINGLE PLY EPDM ROOFING MEMBRANE 3. 4" FIBRO ROOF INSULATION (R20) 4. 4 MIL POLYETHYLENE MOISTURE BARRIER 5. 1/2" STEEL DECK (REFER TO STRUCTURAL) 6. OPEN WEB STEEL JOIST ON 2x4 ROOF SLOPE TO ROOF DRAINS (REFER TO STRUCTURAL) 7. SUSPENDED CEILING WHERE SPECIFIED (REFER TO REFLECTED CEILING PLAN)
(R2)	<b>ROOF OVERHANG &amp; ENTRY CANOPY CONSTRUCTION</b> 1. GRAVEL ROOF BALLAST 2. SINGLE PLY EPDM ROOFING MEMBRANE 3. ROOF INSULATION (TYPICAL ROOF OR TAPERED TO CANOPY ROOF DRAINS, REFER TO DETAILS) 4. 1/2" EXTERIOR GRADE PLYWOOD 5. 1/2" STEEL DECK (REFER TO STRUCTURAL) 6. 1/2" @ 16" O.C. METAL STUD BATT INSULATION 7. 1/2" @ 16" O.C. METAL STUD BATT INSULATION 8. SPUNBONDED CLEAR MOISTURE BARRIER (TYPEK COMMERCIAL BUILDING WRAP OR EQUIV.) 9. ALUMINUM COMPOSITE PANEL SYSTEM (SCPT)
(R3)	<b>CANOPY NON-INSULATED ROOF CONSTRUCTION (NON-COMBUSTIBLE NO PFR REQUIRED)</b> 1. GRAVEL ROOF BALLAST 2. SINGLE PLY EPDM ROOFING MEMBRANE 3. 1/2" EXTERIOR GRADE PLYWOOD 4. 1/2" STEEL DECK (REFER TO STRUCTURAL) 5. STEEL JOIST ON 2x4 ROOF SLOPE TO ROOF DRAINS (REFER TO STRUCTURAL) 6. SCPT AS SPECIFIED
(R4)	<b>ROOF DECK CONSTRUCTION (NON-COMBUSTIBLE NO PFR REQUIRED)</b> 1. CONCRETE FINISH ON CAST-IN-PLACE FOOTINGS 2. SINGLE PLY EPDM ROOFING MEMBRANE 3. 4" FIBRO ROOF INSULATION (R20) 4. 4 MIL POLYETHYLENE MOISTURE BARRIER 5. 1/2" STEEL DECK (REFER TO STRUCTURAL) 6. STEEL JOIST ON 2x4 ROOF SLOPE TO ROOF DRAINS (REFER TO STRUCTURAL)

DECK CONSTRUCTION ASSEMBLY LEGEND	
MK	DETAILS
(D1)	<b>TYPICAL ROOF CONSTRUCTION (NON-COMBUSTIBLE NO PFR REQUIRED)</b> 1. GRAVEL ROOF BALLAST 2. SINGLE PLY EPDM ROOFING MEMBRANE 3. 4" FIBRO ROOF INSULATION (R20) 4. 4 MIL POLYETHYLENE MOISTURE BARRIER 5. 1/2" STEEL DECK (REFER TO STRUCTURAL) 6. OPEN WEB STEEL JOIST ON 2x4 ROOF SLOPE TO ROOF DRAINS (REFER TO STRUCTURAL) 7. SUSPENDED CEILING WHERE SPECIFIED (REFER TO REFLECTED CEILING PLAN)
(D2)	<b>ROOF OVERHANG &amp; ENTRY CANOPY CONSTRUCTION</b> 1. GRAVEL ROOF BALLAST 2. SINGLE PLY EPDM ROOFING MEMBRANE 3. ROOF INSULATION (TYPICAL ROOF OR TAPERED TO CANOPY ROOF DRAINS, REFER TO DETAILS) 4. 1/2" EXTERIOR GRADE PLYWOOD 5. 1/2" STEEL DECK (REFER TO STRUCTURAL) 6. 1/2" @ 16" O.C. METAL STUD BATT INSULATION 7. 1/2" @ 16" O.C. METAL STUD BATT INSULATION 8. SPUNBONDED CLEAR MOISTURE BARRIER (TYPEK COMMERCIAL BUILDING WRAP OR EQUIV.) 9. ALUMINUM COMPOSITE PANEL SYSTEM (SCPT)
(D3)	<b>CANOPY NON-INSULATED ROOF CONSTRUCTION (NON-COMBUSTIBLE NO PFR REQUIRED)</b> 1. GRAVEL ROOF BALLAST 2. SINGLE PLY EPDM ROOFING MEMBRANE 3. 1/2" EXTERIOR GRADE PLYWOOD 4. 1/2" STEEL DECK (REFER TO STRUCTURAL) 5. STEEL JOIST ON 2x4 ROOF SLOPE TO ROOF DRAINS (REFER TO STRUCTURAL) 6. SCPT AS SPECIFIED
(D4)	<b>ROOF DECK CONSTRUCTION (NON-COMBUSTIBLE NO PFR REQUIRED)</b> 1. CONCRETE FINISH ON CAST-IN-PLACE FOOTINGS 2. SINGLE PLY EPDM ROOFING MEMBRANE 3. 4" FIBRO ROOF INSULATION (R20) 4. 4 MIL POLYETHYLENE MOISTURE BARRIER 5. 1/2" STEEL DECK (REFER TO STRUCTURAL) 6. STEEL JOIST ON 2x4 ROOF SLOPE TO ROOF DRAINS (REFER TO STRUCTURAL)

project  
 Jim Pattison Auto Group  
 Proposed Volvo  
 Auto Dealership  
 North Surrey Auto Mall  
 Surrey, BC

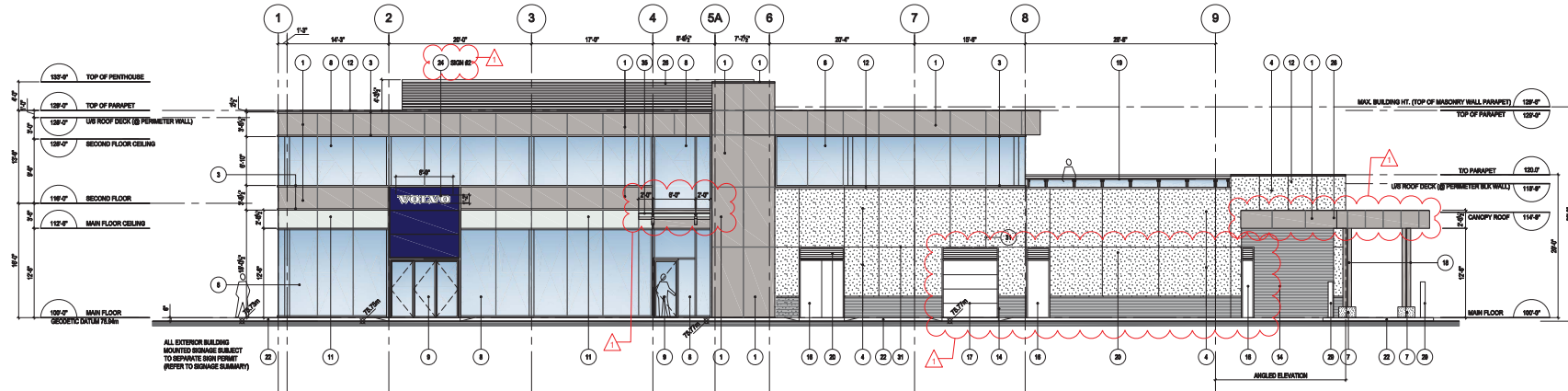
**Building Section & Construction Assembly Legend**

project no. 13-  
 scale 1/8"=1'-0"  
 drawn JLW  
 reviewed  
 date 11/22/2013

NOV. 22/13	REISSUED FOR DPA
SEPT. 24/13	ISSUED FOR DPA
no. 10	no. 10
revisions	revisions

drawing no. of -  
**A3**

7913-0216-00(G)



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS SPECIFICATIONS & LEGEND (REFER TO ELEVATIONS)**

MK	TYPE	SIZE	SPEC.	COLOUR/FINISH	NOTES
1	ALUM. COMPOSITE PANEL COLOUR A	-	ALCOBOND	SILVER CLEAR ANODIZED	
2	ALUM. COMPOSITE PANEL COLOUR B	-	ALCOBOND	WHITE - CHANTILLY LACE	
3	ALUMINUM CURTAINWALL FRAME GLAZING SYSTEM	2 1/2" WIDE 2" CHANNEL 1/2" MAX MEMBER	US ALUMINUM	CLEAR ANODIZED	HORIZONTAL CAPS, VERTICAL SILICON BUTT JOINTS INCLUDING OUTSIDE GLASS CORNERS, VERTICAL CAPS AT END PANEL. TYPICAL VALUES NOTED OTHERWISE.
4	ACRYLIC STUCCO COLOUR A	-	BANCO FINE SAND/LOAT	WHITE - CHANTILLY LACE	
5	ACRYLIC STUCCO COLOUR B	-	BANCO FINE SAND/LOAT		
6	NA	-	-		
7	ARCHITECTURAL CONCRETE	-	-	NATURAL	
8	DOUBLE GLAZED BEADED UNITS (TEMPERED)	-	LOW E & IRON FOLDED, SHADING COEFFICIENT 0.83	COLOUR WITH REFLECTING TINT?	SILICON BUTT JOINTS AS INDICATED
9	ALUMINUM FRAME T&B GLASS DOORS	-	US ALUMINUM	CLEAR ANODIZED	
10	SPANDREL GLASS PANEL	-	NA		
11	TRANSLUCENT GLAZING TREATMENT	-	-		
12	PREFIN. METAL FLASHING	-	VICWEST PREFINISHED METAL FLASHING	WHITE - CHANTILLY LACE	
13	ALUMINUM FRAME WINDOWS	-	US ALUMINUM	CLEAR ANODIZED	
14	PREFIN. METAL CLADDING	-	VICWEST CORRUGATED	GALVALUME	
15	PREFINABLE METAL PARAPET & PEE FRAMES	-	NA		
16	HOLLOW METAL DOORS & PEE FRAMES	-	PREMANUFACTURED INSULATED METAL (AUTOMAL STOWING)	WHITE - CHANTILLY LACE	
17	OVERHEAD DOORS	-	PREMANUFACTURED INSULATED METAL (AUTOMAL STOWING)	WHITE - CHANTILLY LACE	
18	STRUCTURAL STEEL COLUMNS PAINTED	-	-	DULUX VELVET BROWN GREY TO MATCH CLEAR ANOD.	

**PROPOSED SIGNAGE SUMMARY & LEGEND (REFER TO ELEVATIONS, SITE & MAIN FLOOR PLAN FOR LOCATIONS)**

No.	MK	TYPE	LOCATION	SIGN SIZE	SPEC.	COLOUR/FINISH	NOTES
#1	20	ALUM. COMPOSITE PANEL VOLVO WHEEL LOAD SIGN	WALL MOUNT WEST ELEVATION	8'-0" LONG x 4'-0" HIGH (ILLUMINATED AREA WITH LETTERS)	ALCOBOND PANEL WITH INDIVIDUAL ILLUMINATED CUTOUT LETTERS (4" HIGH x LENGTH 8" MAX)	WHITE LETTERS WITH VOLVO BLUE PANEL	ALL EXTERIOR BUILDING MOUNTED SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT
#2	20	ALUM. COMPOSITE PANEL VOLVO WHEEL LOAD SIGN	WALL MOUNT SOUTH ELEVATION	8'-0" LONG x 4'-0" HIGH (ILLUMINATED AREA WITH LETTERS)	ALCOBOND PANEL WITH INDIVIDUAL ILLUMINATED CUTOUT LETTERS (4" HIGH x LENGTH 8" MAX)	WHITE LETTERS WITH VOLVO BLUE PANEL	ALL EXTERIOR BUILDING MOUNTED SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT
#3	20	ILLUMINATED SIGNAGE DEALER NAME SIGN	WALL MOUNT WEST ELEVATION	10'-0" LONG x 4'-0" HIGH	SURFACE MOUNT 1/2" HIGH INDIVIDUAL CHANNEL LETTERS	WHITE LETTERS	ALL EXTERIOR BUILDING MOUNTED SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT
#4	20	ILLUMINATED SIGNAGE SERVICE SIGN	CANOPY MOUNT WEST ELEVATION	8'-0" LONG x 4'-0" HIGH	SURFACE MOUNT 1/2" HIGH INDIVIDUAL CHANNEL LETTERS	WHITE LETTERS	ALL EXTERIOR BUILDING MOUNTED SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT
#5, #6	-	NORTH SURREY AUTO MALL DEALER LOT SIGN QUANTITY: 2 (SEE DETAIL SML2)	PRECASTING DEALER LOT SIGN AT EACH ENTRANCE (SEE DETAIL SML2)	SEE DETAIL SML2	SEE DETAIL SML2	DEALER LOT SIGN NOTES (FROM NORTH SURREY COUNCIL): One Dealer Lot sign will be permitted at each of the following addresses into the dealership Lot. The sign will be set in standardized format and size, with its location subject to the NSRM standard and the local zoning bylaw regarding signage within downtown. For the contractor, exact dimensions of the sign, including any mechanical brims and materials, refer to the Design Concept. Signage graphics for the manufacturer tags to be provided and submitted for approval to the North Surrey Auto Mall by the Owner in accordance with the Design Concept. These signs must be owned by the dealer lot Owner and not leased. For design concept see Appendix C (PAGES 10, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100).	

**EXTERIOR MATERIALS SPECIFICATIONS & LEGEND (REFER TO ELEVATIONS)**

MK	TYPE	SIZE	SPEC.	COLOUR/FINISH	NOTES
19	STEEL GLAZING ON GLASS PANELS	-	-	POWDERCOAT GREY TO MATCH CLEAR ANODIZED	
20	PREFIN. METAL LOCKERS & GRILLS	-	PREFINISHED METAL	WHITE - CHANTILLY LACE	
21	CONCRETE FOUNDATION	-	-	NATURAL	
22	CONCRETE SIDEWALKS & CURBS	-	-	NATURAL	
23	STEEL ANGLE/CHANNEL CORNER GUARDS	-	-	WHITE - CHANTILLY LACE	
24	ALUM. COMPOSITE PANEL VOLVO WHEEL LOAD SIGN	-	ALCOBOND PANEL WITH INDIVIDUAL ILLUMINATED LETTERS (4" HIGH x LENGTH 8" MAX)	VOLVO BLUE	ALL EXTERIOR BUILDING MOUNTED SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT REFER TO SIGNAGE SUMMARY
25	ILLUMINATED SIGNAGE DEALER NAME SIGN	-	SURFACE MOUNT 1/2" HIGH INDIVIDUAL CHANNEL LETTERS (2" HIGH x 10" LONG MAX)	WHITE	ALL EXTERIOR BUILDING MOUNTED SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT REFER TO SIGNAGE SUMMARY
26	MEDIA EQUIPMENT COVERED ENCLOSURE	-	PREMANUFACTURED ALUMINUM EXTRUSION EQUIPMENT SCREEN	CLEAR ANODIZED	MITRED CORNERS
27	ROOF DECK	-	-		
28	STEEL FRAME CANOPY (LOADING AND NOTED)	-	-		
29	CONCRETE FILLED STEEL BOLLARDS	-	-	WHITE - CHANTILLY LACE	
30	ROOF OVERHANG BOFFIT	-	-		
31	STUCCO REMVAL JOINT	-	-		
32	LIGHT FIXTURES	-	-		
33	MEDIA EQUIPMENT ENCLOSURE SCREEN	-	VICWEST CORRUGATED	GALVALUME	
34	ILLUMINATED SIGNAGE SERVICE SIGN	-	SURFACE MOUNT 1/2" HIGH INDIVIDUAL CHANNEL LETTERS (2" HIGH x 10" LONG MAX)	WHITE	ALL EXTERIOR BUILDING MOUNTED SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT REFER TO SIGNAGE SUMMARY
35	STEEL FRAME & GLASS SOUTH ENTRY CANOPY	-	PROJECTS F OVER ENTRANCE	FRAMELESS LAMINATED GLASS ON BRONZE CLIPS W/INDWATER NIBBED ON CHANTILLY LACE STEEL FRAME	



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The Contractor shall verify actual site conditions and dimensions and shall be responsible for notifying the architect of any discrepancies.  
All work shall be carried out in strict accordance with current applicable building code and municipal by-laws.

project  
Jim Pattison Auto Group  
Proposed Volvo  
Auto Dealership  
North Surrey Auto Mall  
Surrey, BC

title  
South Building  
Elevation & Exterior  
Material Legend

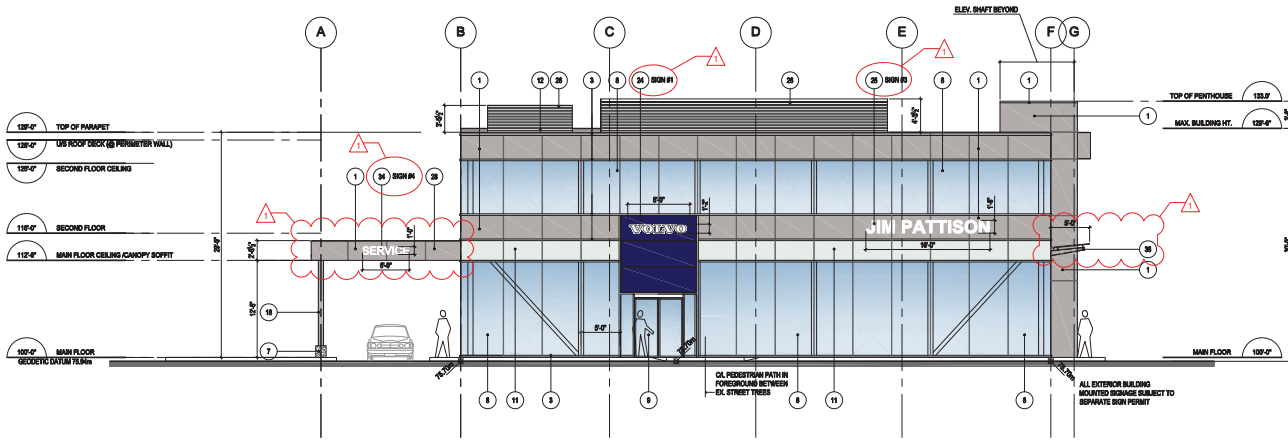
project no. 13-  
scale 1/8"=1'-0"  
drawn JL/V  
revised  
date 11/22/2013

NOV. 22/13	REISSUED FOR DPA
SEPT. 24/13	ISSUED FOR DPA
no. 10 date	description
revisions	

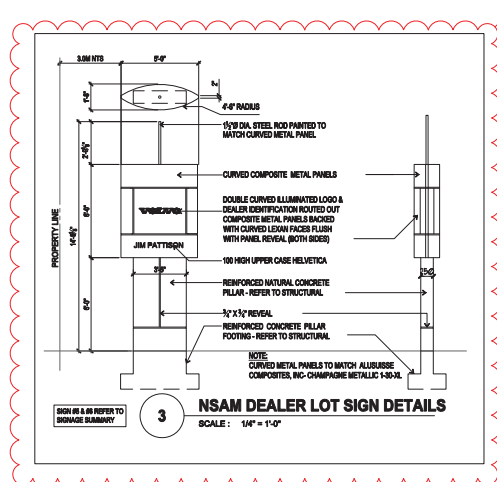
drawing no. of -

A4.

7913-0216-00(H)



**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 NSAM DEALER LOT SIGN DETAILS**  
SCALE: 1/4" = 1'-0"



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All work shall be carried out in strict accordance with current applicable building code and municipal bylaws.

project  
Jim Pattison Auto Group  
Proposed Volvo  
Auto Dealership  
North Surrey Auto Mall  
Surrey, BC

title  
West & North  
Building Elevations

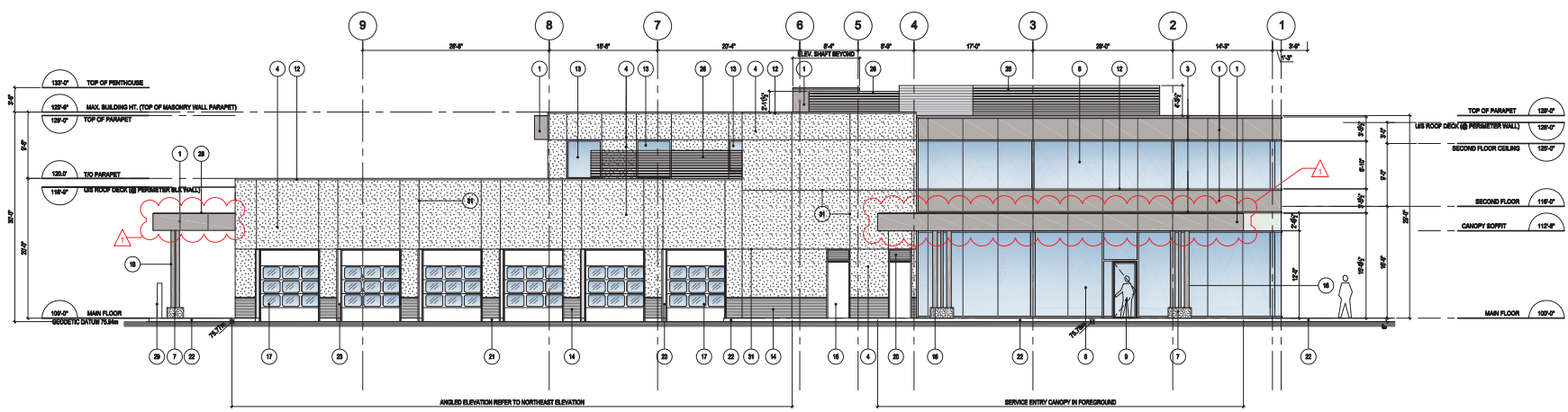
project no. 13-  
scale 1/8" = 1'-0"  
drawn JLJ  
reviewed  
date 11/22/2013

no.	date	description
NOV. 22/13	REISSUED FOR DPA	
SEPT. 24/13	ISSUED FOR DPA	

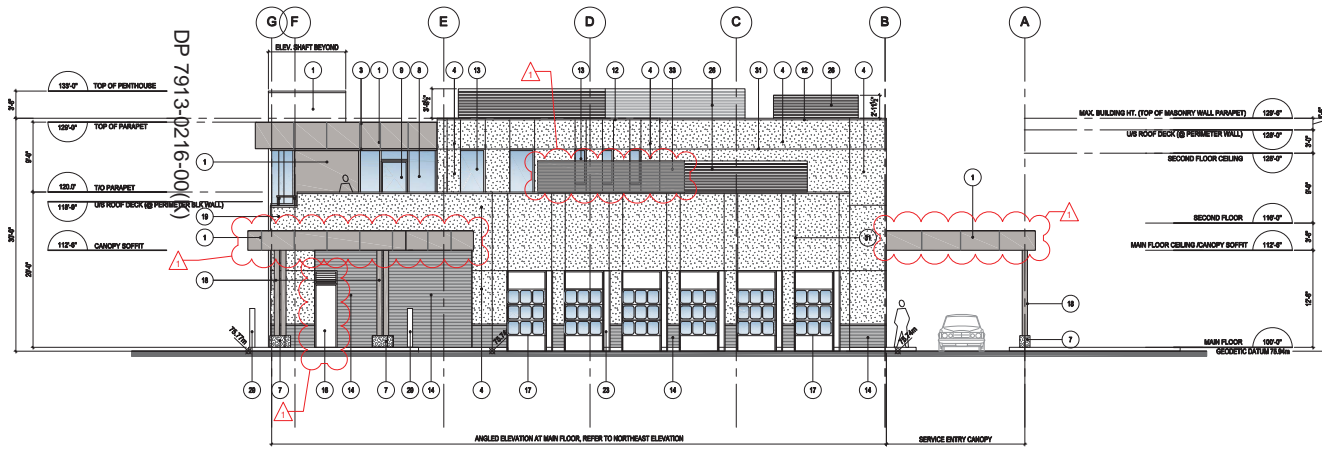
drawing no. of -

**A4**

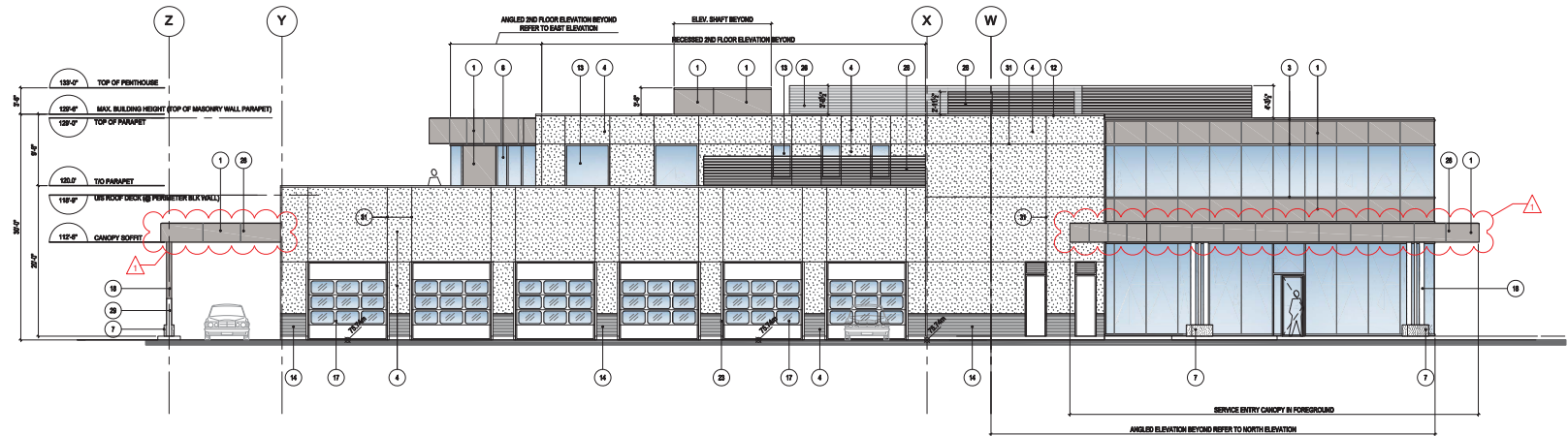
7913-0216-00(1)



**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 NORTHEAST ELEVATION**  
SCALE: 1/8" = 1'-0"



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All work shall be carried out in strict accordance with current applicable building codes and municipal bylaws.

project  
Jim Pattison Auto Group  
Proposed Volvo  
Auto Dealership  
North Surrey Auto Mall  
Surrey, BC

title  
**East & Northeast  
Building Elevations**

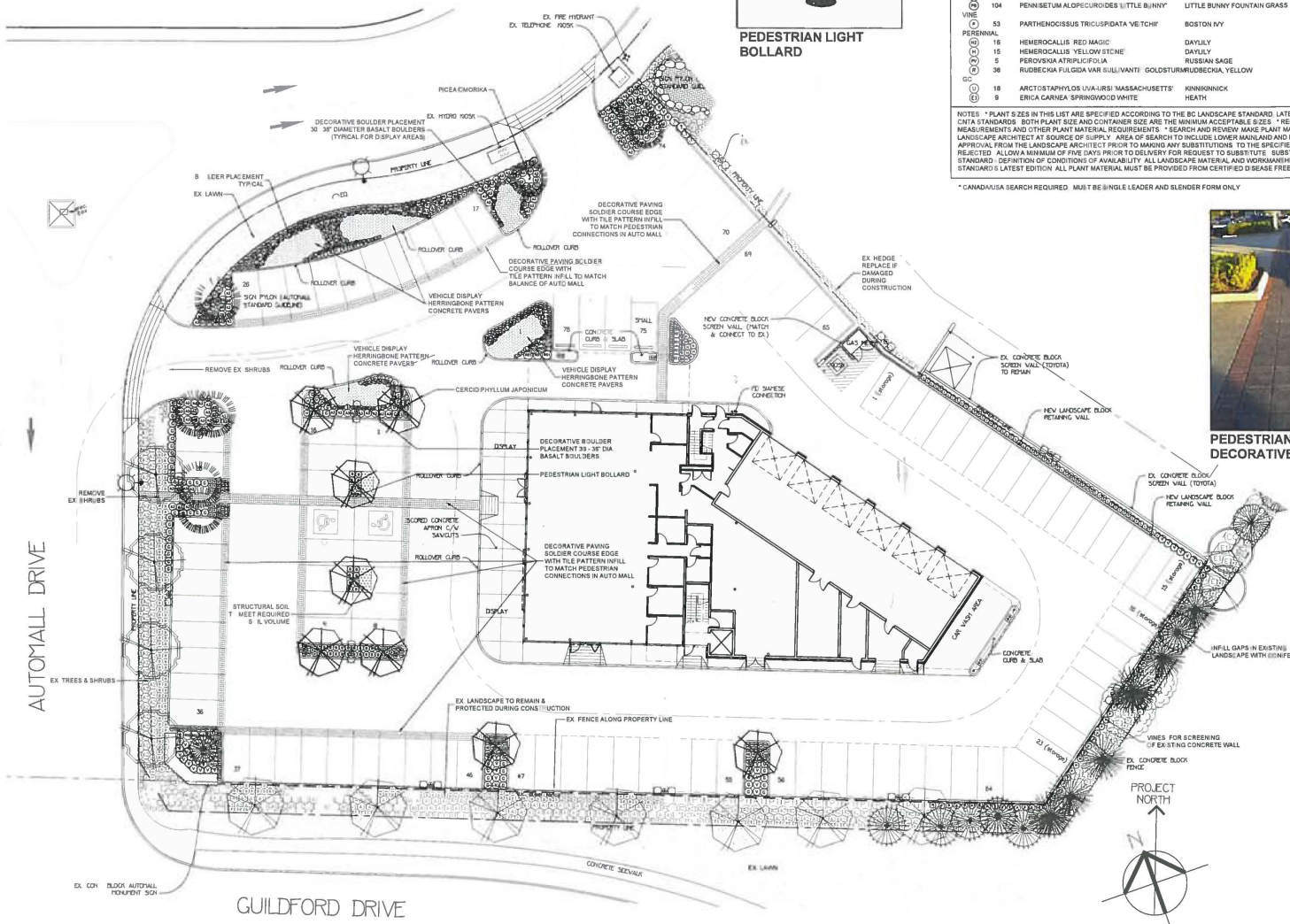
project no. 13-  
scale 1/8"=1'-0"  
drawn JLJ  
reviewed  
date 11/22/2013

NOV. 22/13	REISSUED DPA
SEPT. 24/13	ISSUED FC DPA
no. /date	descriptive revisions

drawing no. of -

**A4**

7913-0216-00(J)



PEDESTRIAN LIGHT BOLLARD



PEDESTRIAN CONNECTION DECORATIVE PAVING

PLANT SCHEDULE				PMG PROJECT NUMBER: 13-114
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	8	CERCIDIPHYLLUM JAPONICUM	KATSURU TREE	7.5CM CAL, 2.0M STD. B&B
	8	PICEA GOMORICA	SERBIAN SPRUCE	3.0M HT. VB. SINGLE LEADER SPECIMEN
	3	PNUS NIGRA	AUSTRIAN BLACK PINE	3M HT B&B
	2	THUJA PLICATA EXCELSA	WESTERN RED CEDAR	4M HT B&B
SHRUB	120	AZALEA JAPONICA 'HARDIZER'S BEAUTY'	AZALEA LIGHT PINK	#3 POT, 40CM
	30	AZALEA JAPONICA 'PURPLE SIRENDOUR'	AZALEA RED-VIOLET	#3 POT, 40CM
	42	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#3 POT, 40CM
	21	ROSA 'NOMADI'	CARPET ROSE, PINK	#2 POT, 40CM
	4	TAXUS MEDIA 'NICKIS'	NICK'S YEW	1.0M B&B
	48	VBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT, 30CM
GRASS	19	CALAMAGROSTIS ACUTIFLORA KARL FORDERER	FEATHER REED GRASS	#1 POT, HEAVY
	73	CAREX ICE DANCE	FROSTED SEDGE	#1 POT
	80	HELICTOTRICHON BULMERIENSIS	BLUE GRASS	#1 POT
	57	LUXULA SYLVATICA 'SILENT'	GREATER WOOD RUSH	#1 POT
	104	PENNISETUM ALPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT
VINE	53	PARTHENOCISSUS TRICUSPIDATA VEITCHII	BOSTON IVY	#2 POT, 60CM STAKED
PERENNIAL	18	HEMEROCALLIS RED MAGIC	DAYLILY	#1 POT, 1.5 FAN
	15	HEMEROCALLIS YELLOW STICNE	DAYLILY	#1 POT, 1.5 FAN
	5	PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	#1 POT
	38	RUBROCOCA FULGIDA VAR. SULLIVANTI MASSACHUSETTS	GOLDSTURMRUBROCOCA, YELLOW	15CM POT
G.C.	18	ARCTOSTAPHYLOS (VIA IIRI) MASSACHUSETTS	KINKINICK	#1 POT, 20CM
	8	ERICA CARNEA SPRINGWOOD WHITE	HEATH	#1 POT

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. \* CONTAINER SIZES SPECIFIED AS PER CANITA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OR OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

\* CANADIANA SEARCH REQUIRED. MUST BE SINGLE LEADER AND SLENDER FORM ONLY.

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Suite C100 - 4185 Birch Creek Drive  
Burnaby, British Columbia, V5C 0G9  
p: 604-294-0011 f: 604-294-0022

SCALE

Plans checked by [Signature]  
Planning & Development, City of Surrey  
Date 2013/12/04  
 Acceptable  Not Acceptable

NO.	DATE	REVISION DESCRIPTION	DR.
1	13 NOV 15	REVISE PAVING / ADDITION PLANTING	
2	13 SEP 13	NEW SITE / REVISE PAVING	
3	13 SEP 11	NEW SITE PLAN / COMMENTS	

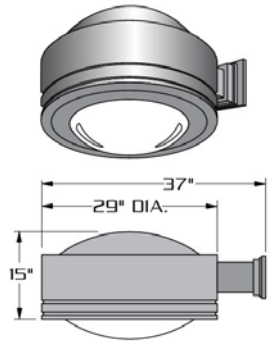
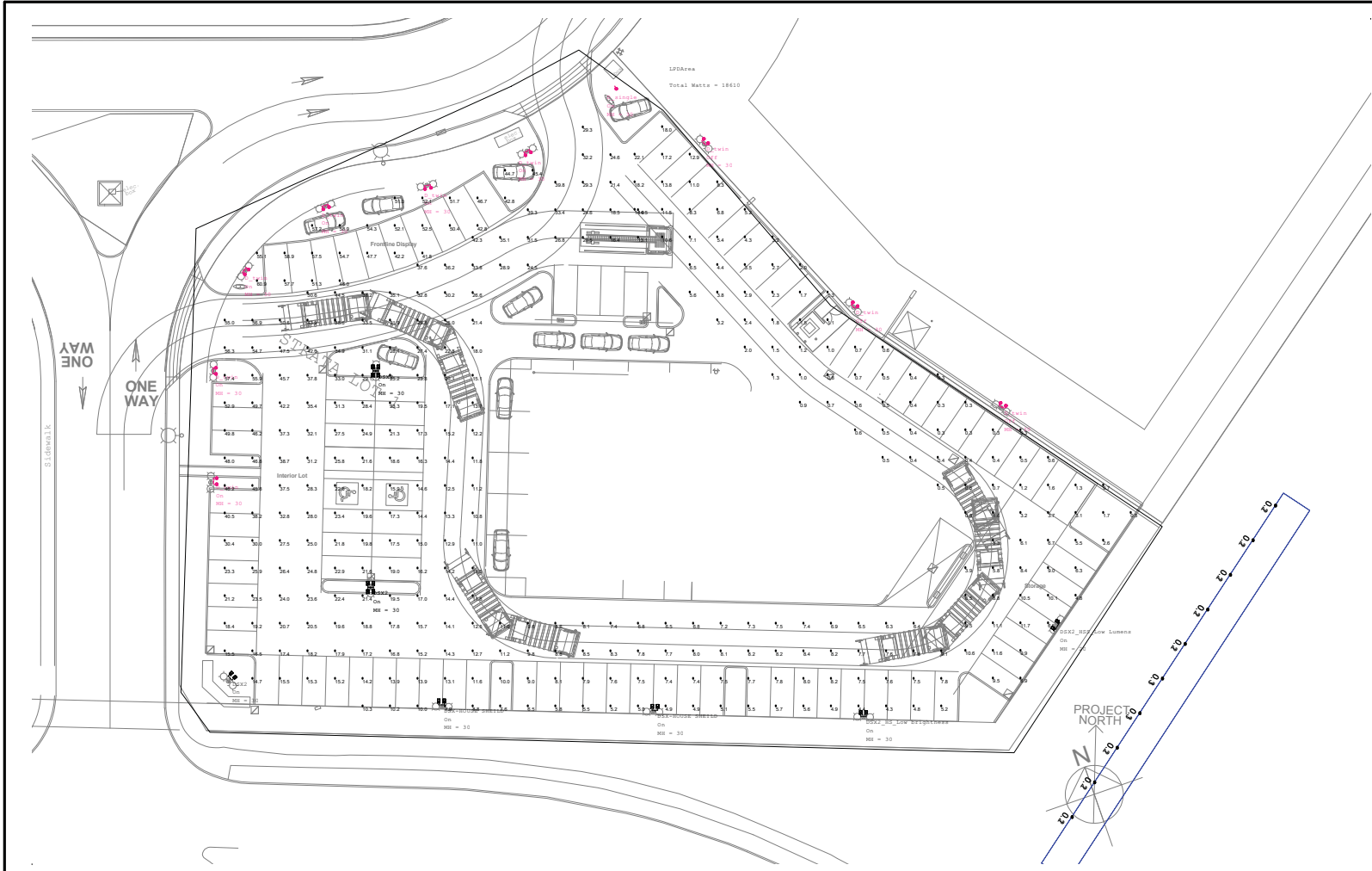
PROJECT  
**VOLVO DEALERSHIP**  
LOT 1 NORTH SURREY AUTO MALL  
SURREY, B.C.

DRAWING TITLE  
**LANDSCAPE PLAN**

DATE 13 AUG 28 DRAWING NUMBER  
SCALE 3/16"=1'-0"  
DRAWN MM  
DESIGN MM  
CHKD

L1

OF 1



Type D (as per existing)  
2 per pole



DSX2 - LED  
2 per pole

**PROJECT**  
**Volvo JPAG - Hybrid Solution:**  
**Pre-curfew illumination**  
**Frontline: US arch lighting work**  
**RVL29 1000w MH**  
**Interior Lot: Lithonia DSX2 LED**  
**275/142w LED**  
Date: 11/22/13

**REVISIONS**

Rev	Description

ILLUMINANCE VALUES	DIMENSIONS
Footcandles	Feet/Inches
Layout by:	SCALE
Dugan Doherty Senior Project Manager - Electrical 1 604 294 8414 ext 4054 m 604 362 7703 Dugan.Doherty@smithandandersen.com	1" = 16'-0"
	PAGE
	<b>E1</b>

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Description
	9	D twin	ROTATED OPTICS	108000	1.000	RVL29-ASY (Existing 1000MH)
	5	DSX2	ROTATED OPTICS	N.A.	1.000	DSX2 LED 80C 1000 40K T3M MVOLT
	1	DSX2_HSS	ROTATED OPTICS	N.A.	1.000	DSX2 LED 80C 530 40K T3S MVOLT HS
	1	D single	SINGLE	108000	1.000	RVL29-ASY (Existing 1000MH)
	1	DSX2_HS	ROTATED OPTICS	N.A.	1.000	DSX2 LED 100C 700 40K T3S MVOLT HS
	2	DSX-HOUSE	ROTATED OPTICS	N.A.	1.000	DSX2 LED 80C 1000 40K T3M MVOLT HS

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Frontline	Illuminance	Fc	51.06	60.9	41.8	1.22	1.46
houses vertical_Side_1	Illuminance	Fc	0.16	0.3	0.1	1.60	3.00
Interior Lot	Illuminance	Fc	20.68	57.4	4.3	4.81	13.35
Storage	Illuminance	Fc	4.47	22.1	0.3	14.90	73.67

LPD Area Summary		
Label	Total Watts	
LPDArea	18610	

- NOTES:**
1. Luminaires mounted at 30' AFG.
  2. Calculation points are set on a 10' x 10' grid.
  3. Initial light levels are shown at grade.