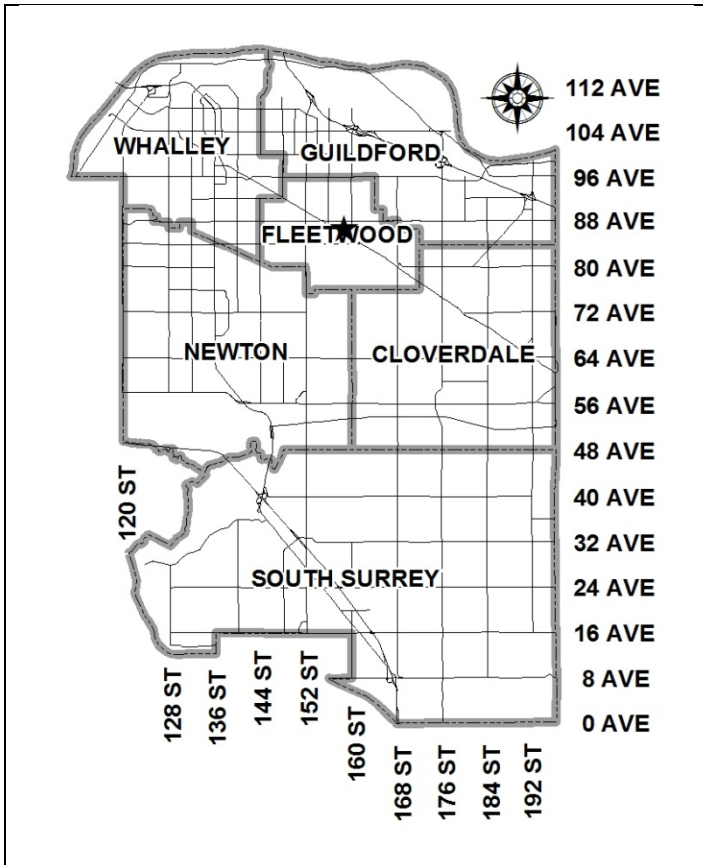


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0238-00

Planning Report Date: March 31, 2014

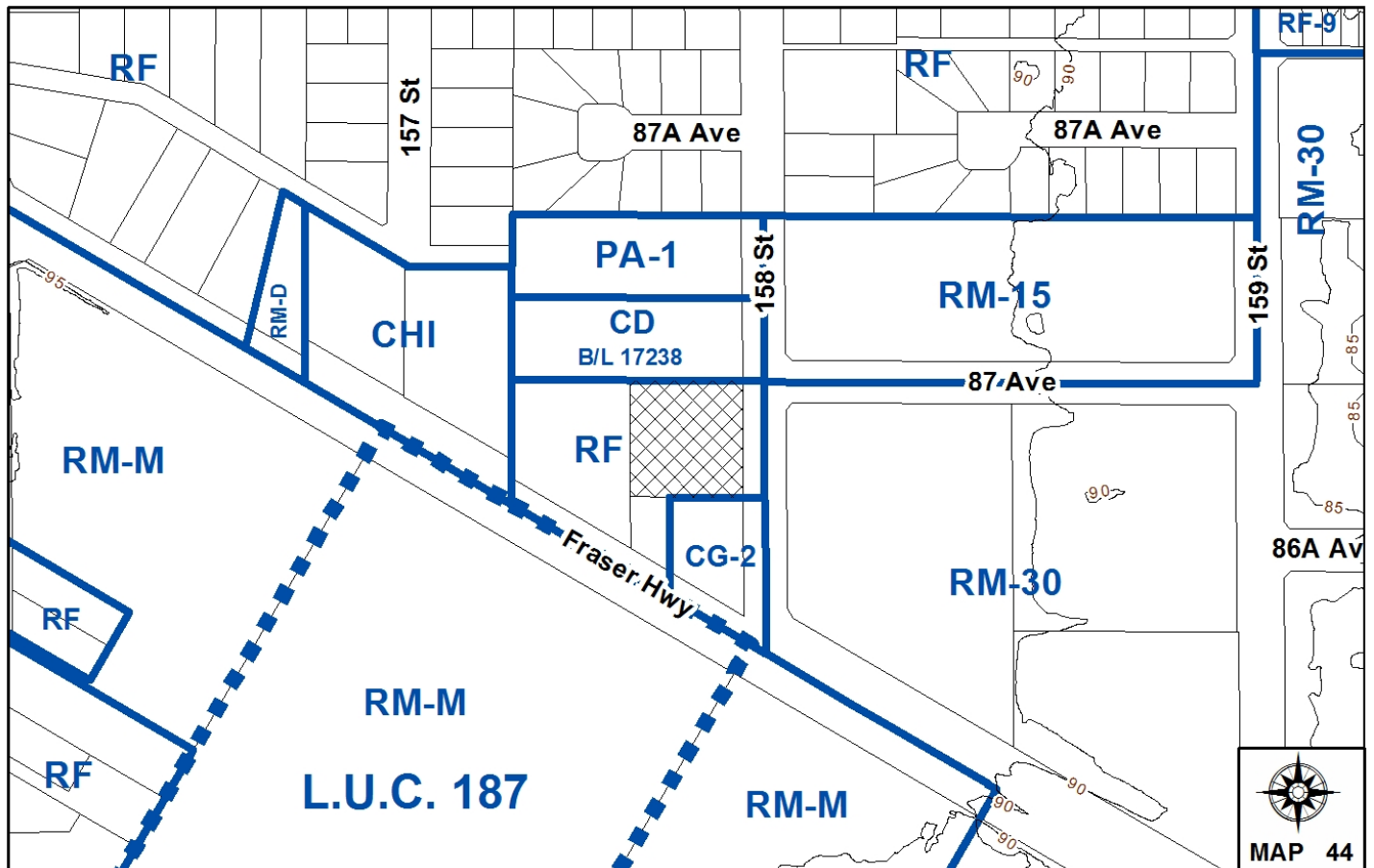


PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **Rezoning** from RF to RM-30
- **Development Permit**
- **Development Variance Permit**

in order to permit the development of 19 townhouse units.

LOCATION: 8679 - 158 Street
OWNER: Janda Group Holdings Inc.
ZONING: RF
OCP DESIGNATION: Urban
TCP DESIGNATION: Medium Density Townhouses



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to eliminate indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to reduce the front, rear, and side yard setbacks and to vary the enclosed parking requirement of the RM-30 Zone to allow one unenclosed tandem parking space for each unit with a tandem parking arrangement.

RATIONALE OF RECOMMENDATION

- The proposed land use, density and building form comply with the Fleetwood Town Centre Plan.
- The proposed setbacks create a more urban, pedestrian streetscape, in compliance with the Fleetwood Town Centre Plan.
- The proposed parking configuration enables a habitable room on the ground floor, facing the street and pedestrian areas.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site from Urban to Multiple Residential and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Multiple Residential 30 Zone (RM-30)" (By-law No. 12000) and a date be set for Public Hearing.
4. Council approve the applicant's request to eliminate the required indoor amenity space.
5. Council authorize staff to draft Development Permit No. 7913-0238-00 generally in accordance with the attached drawings (Appendix II).
6. Council approve Development Variance Permit No. 7913-0238-00 (Appendix VIII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (b) to reduce the minimum rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 5.9 metres (19 ft.);
 - (c) to reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 5.4 metres (18 ft.);
 - (d) to reduce the minimum south side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 2.0 metres (7 ft.); and
 - (e) to vary the parking requirement of the RM-30 Zone to allow one unenclosed tandem parking space for each unit with a tandem parking arrangement.
7. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (e) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (g) registration of a reciprocal access agreement with 15775 Fraser Highway, the lot to the south;
- (h) registration of a 4.2-metre (14-ft.) wide statutory right-of-way for public rights of passage along the north property line of the subject site that includes a 1.2-metre (4-ft.) wide boulevard and 1.5-metre (5-ft.) wide sidewalk;
- (i) registration of a statutory right-of-way for public rights of passage with the adjacent property to the west (15735 Fraser Highway); and
- (j) the applicant adequately address the impact of no indoor amenity space.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

4 Elementary students at Woodland Park Elementary School
2 Secondary students at North Surrey Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2015.

Parks, Recreation & Culture: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot.

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North:	Townhouses.	Medium Density Townhouses	CD (By-law No. 17238)
East (Across 158 Street):	Townhouses.	Apartment and Medium Density Townhouses	RM-30
South:	Telecommunications tower and gas station.	Medium Density Townhouses	RF and CG-2
West:	Vacant lot.	Medium Density Townhouses	RF

DEVELOPMENT CONSIDERATIONSBackground

- The 0.28-hectare (0.70-acre) subject site consists of one vacant lot located at 8679 – 158 Street in the Fleetwood Town Centre Plan area.
- The property is designated "Urban" in the Official Community Plan (OCP), is designated "Medium Density Townhouses" in the Fleetwood Town Centre Plan (TCP), and is zoned "Single Family Residential Zone (RF)".
- The subject site is located on 158 Street at 87 Avenue, just north of Fraser Highway. There are 3-storey townhouses on the adjacent properties to the north and east, and there is a vacant lot to the west, and a gas station and a 250-foot high telecommunications tower to the south.
- A 6.0-metre (20-ft.) wide statutory right-of-way, adjacent to the north property line of the subject site, was created in order to provide road access to the 23 units to the north, which was approved under Development Application No. 7910-0037-00.

Current Proposal

- The applicant is proposing to rezone the subject site to "Multiple Residential 30 Zone (RM-30)" in order to allow the development of 19 townhouse units.
- The net density for the proposed 19-unit townhouse development is 67 units per hectare/27.1 units per acre, with a floor area ratio (FAR) of 0.80, which is below the maximum density of 75 units per hectare/30 units per acre and FAR of 0.9 permitted in the RM-30 Zone.

Proposed Vehicular Access

- One vehicular entry to the site is proposed at 158 Street and will be achieved through a 4.2-metre (14 ft.) wide statutory right-of-way along the northern edge of the site to accommodate the completion of a shared access route. The access route will provide for future potential driveway access for the properties to the west and south. A boulevard and sidewalk will be provided along the south edge of the access route and along 158 Street.
- A statutory right-of-way for public access will also be registered to allow for potential future access for the adjacent property to the west at 15735 Fraser Highway.

PRE-NOTIFICATION

Pre-notification letters were mailed on February 20, 2014, and staff received two phone calls.

- Staff received a phone call from a resident who left a voicemail informing staff of their opposition to the project. The caller did not leave details as to the reasons for their objection.

(Despite several attempts, staff was unable to reach the caller.)

- Staff received a phone call from a representative of the Fleetwood Community Association, expressing concern about that the proposed number of tandem garage units and the resulting significant strain on parking in the neighbourhood.

(Due to site constraints, double car garages are not proposed as that would impact the overall unit yield. The proposed 100% tandem parking arrangement for the 19-unit townhouse proposal, is a continuation of the pattern already established as part of the 23-unit townhouse project to the north under Development Permit No. 7910-0037-00.

The subject site has 49 metres (161 ft.) of frontage along 158 Street, which will accommodate 5 additional on-street parking spaces. Due to its narrow street frontage, the townhouse project to the north could only provide 2 on-street parking spaces along 158 Street.

Further, the proposed development is within 75 metres (246 ft.) of a bus stop of a major bus route along Fraser Highway.)

JUSTIFICATION FOR OCP AMENDMENT

- The subject site is designated Medium Density Townhouses in the Fleetwood Town Centre Plan and Urban in the Official Community Plan (OCP).
- The applicant is proposing to redesignate the site from Urban to Multiple Residential to permit the proposed townhouse project with a proposed floor area ratio (FAR) of 0.8 and proposed unit density of approximately 67 units per hectare (27.1 upa). The proposed Multiple Residential designation is consistent with the Fleetwood Town Centre Plan and with the designation for the lands to the north and east.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, public consultation took place as part of the preparation of the Fleetwood Town Centre Plan (TCP). Given that the proposal is in compliance with the TCP, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

Building Design and Site Layout

- The proposed development contains nineteen (19), 3-bedroom units in four (4) buildings, which will flank a central north/south internal drive aisle.
- Floor areas of the townhouse units range in size from 116 square metres (1,249 sq. ft.) to 126 square metres (1,351 sq. ft.) per dwelling unit.
- All units are proposed with tandem parking with one enclosed parking space in a garage and one located on the driveway (see By-law Variance section), with visitor parking spaces located centrally on the site.
- All garages will be located at grade. The majority of the living areas are proposed on the upper floors, with the exception of one bedroom that is proposed on the ground floor of each unit.
- Buildings 1 and 2 front 158 Street and consist of a total of ten (10) street-oriented units with direct access from the front yard.
- Buildings 3 and 4 consist of a total of nine (9) units with private pedestrian access from the front yard to the outdoor amenity area located between Buildings 3 and 4.
- Buildings 2 and 4 will include horizontal vinyl siding in grey, hardie shingle accents in beige, and front doors in deep red. Buildings 1 and 3 will have horizontal vinyl siding in green, hardie shingle accents in light brown, and front doors in dark grey.
- All buildings include black roof shingles and white and dark grey accent colours for window trim, fascias, gutters, wood trim, window shutters and garage doors, and railings in stained wood.

Landscaping

- Each unit will have a small front yard enclosed by a 1-metre (3-ft) tall picket fence, behind which will be layered planting consisting of Little-Leaf Box, Japanese Spurge, Blood Grass and Dwarf Fountain Grass, with a Redspire Ornamental Pear or Katsura Tree. Each front yard will have direct access to either the internal sidewalk along the west property line or the sidewalk along 158 Street, with each pedestrian entry defined by a picket gate.

- The lots to the south and west will be buffered from the proposed development through a 1.6-metre (6-ft.) high wood perimeter fence and a row of cedar hedge along the west perimeter.
- Rows of trees, including Ornamental Pear, Japanese Pagoda, Weeping Nootka Cypress, Columnar Armstrong Maple, Vine Maple, Japanese Maple and Katsura trees, will line the internal drive aisle and the west and east property lines.
- Permeable pavers will be used at the driveway access and the visitor parking spaces, which will be screened by a variety of shrubs and grasses.
- Hydro kiosks will be screened by Japanese and vine maples, and a variety of shrubs and layered plantings.

Parking

- The proposed development includes a total of 42 parking spaces, consisting of 38 resident parking spaces and 4 parking spaces for visitors, which comply with the parking requirements of the Surrey Zoning By-law. Visitor parking spaces are centrally located on the site.
- Resident parking spaces for all units are proposed in a tandem garage with one parking space located inside the garage, and the second space behind on the driveway (see By-law Variance section).

Amenity Space

- The RM-30 Zone requires that 57 square metres (614 sq. ft.) of indoor amenity space be provided (3.0 sq.m. / 32 sq.ft. per dwelling unit). The applicant is not proposing to provide any indoor amenity space due to the small scale nature of the development and the small size of the subject site. The applicant will be required to provide amenity contributions to mitigate the elimination of the required indoor amenity space in accordance with City policy.
- The RM-30 Zone requires that 57 square metres (614 sq. ft.) of outdoor amenity space be provided (3.0 sq.m. / 32 sq.ft. per dwelling unit). The applicant is proposing to provide 124 square metres (1,335 sq. ft.) of outdoor amenity space.
- The outdoor amenity area is located between Building 3 and 4, next to the visitor parking spaces, and will include a children's playground structure on a resilient play surface and seating.

Tree Survey and Preservation Plan

- Kerin Matthews, ISA Certified Arborist of Mountain Maple Garden & Tree Service Ltd. prepared an Arborist Assessment for the subject property. The table that follows provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	0	0	0
Cottonwood	2	2	0
Total (excluding Alder and Cottonwood Trees)	0	0	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		40	
Total Retained and Replacement Trees		40	
Contribution to the Green City Fund		\$0.00	

- The Arborist Assessment states that there are no protected trees on the site. All existing trees on site are Alder and Cottonwood trees. It was determined that no on site trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees. This will require a total of 2 replacement trees on the site. The applicant is proposing 40 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 158 Street. This will be determined at the servicing agreement stage by the Engineering Department.
- The new trees on the site will consist of a variety of trees including Vine Maple, Japanese Maple, Armstrong Maple, Katsura, Nootka Cypress, Fastigate Beech, Redspire Ornamental Pear, and Japanese Pagoda.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 10, 2013. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• Complies with Medium Density Townhouse designation in the Fleetwood Town Centre Plan.
2. Density & Diversity (B1-B7)	• Provides for opportunities for private backyard gardens.

Sustainability Criteria	Sustainable Development Features Summary
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Recycling pickup will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • N/A
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED principles applied by having habitable rooms on the ground floor of each unit.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • N/A

ADVISORY DESIGN PANEL

The application was not referred to the Advisory Design Panel (ADP), but was reviewed by staff and found to be generally acceptable.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
- To reduce the minimum rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 5.9 metres (19 ft.);
- To reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 5.4 metres (18 ft.); and
- To reduce the minimum south side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 2.0 metres (7 ft.).

Applicant's Reasons:

- The reduced front and rear yard setbacks help to achieve a pedestrian-friendly streetscape.
- The reduced side yard setbacks provide for a continuous streetscape given the property to the north is developed in the same manner, and if the property to the south is developed in the future.

Staff Comments:

- The RM-30 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines.
- A comparison of the proposed setbacks to what is permitted in the RM-30 Zone is shown in the table below:

	Minimum setbacks according to the RM-30 Zone.	Proposed setback to the principal building face
Front yard (east)	7.5 m (25 ft.)	4.5 m (15 ft.)
Rear yard (west)	7.5 m (25 ft.)	5.09 m (19 ft.)
Side yard (north)	7.5 m (25 ft.)	5.4 m (18 ft.)
Side yard (south)	7.5 m (25 ft.)	2.0 m (7 ft.)

- The proposed setbacks are similar in form and character as the existing townhouses to the north and east, which will create a consistent look and feel along 158 Street and 87 Avenue.
- The relaxation along the south property line is measured to the side of the units.
- Staff support the requested variances.

(b) Requested Variance:

- To vary the parking requirement of the RM-30 Zone to allow one unenclosed tandem parking space for each unit with a tandem parking arrangement.

Applicant's Reasons:

- The unenclosed parking space configuration provides for an additional room on the ground level, which allows for natural surveillance of the street and pedestrian areas.
- The proposed tandem parking arrangement with one space unenclosed, continues the pattern of tandem parking established to the north under Development Permit No. 7910-0037-00.
- Unit yield would be affected if double car garages are required.

Staff Comments:

- The RM-30 Zone requires that both resident parking spaces per unit be enclosed. There is currently no restriction on the amount of tandem parking proposed, however, staff do encourage double car garages where possible.
- The CD zoning (By-law No. 17238) for the 23-unit townhouse project to the north, permits 100% tandem parking, however 61% of resident parking must be enclosed.
- Having living space at street level along frontages and along internal pathways and open spaces is a desirable urban design objective, as it assists in promoting interaction

with the public realm as well as casual surveillance of the street and internal gathering spaces.

- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Fleetwood Town Centre Plan
Appendix VII.	OCP Redesignation Map
Appendix VIII.	Development Variance Permit No. 7913-0238-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Focus Architecture Incorporated and PMG Landscape Architects, respectively, dated February 6, 2014.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

LM/da

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DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		2,839.02
Road Widening area		
Undevelopable area		
Net Total		2,839.02
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45	39.1
Paved & Hard Surfaced Areas		39.9
Total Site Coverage		79
SETBACKS (in metres)		
Front	7.5	4.5*
Rear	7.5	5.9*
Side #1 (North)	7.5	5.4*
Side #2 (South)	7.5	2.0*
BUILDING HEIGHT (in metres/storeys)		
Principal	13.0	9.3
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		19
Total	21	19
FLOOR AREA: Residential	2,555.10	2,268.97
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA	2,555.10	2,268.97

*Variance requested

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	75 upha / 30 upa	66.9 upha / 27.1 upa
# of units/ha /# units/acre (net)	75 upha / 30 upa	66.9 upha / 27.1 upa
FAR (gross)	0.9	0.8
FAR (net)	0.9	0.8
AMENITY SPACE (area in square metres)		
Indoor	57	0
Outdoor	57	124
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	38	38
Residential Visitors	3.8	4
Institutional		
Total Number of Parking Spaces	42	42
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		38/90.4%
Size of Tandem Parking Spaces width/length		3.2m / 6.1m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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MULTIPLE BUILDINGS DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Building #1	Building #2	Building #3	Building #4
SETBACK (in metres)				
Front (East)	4.5*	4.5*	34.7	34.7
Rear (West)	36.1	36.1	5.9*	5.9*
Side #1 (North)	5.4*	31.7	35.3	5.4*
Side #2 (South)	26.5	2.0*	2.0*	28
Building Height (in metres/storeys)	9.3 / 3	9.3 / 3	9.3 / 3	9.3 / 3
NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE (in square metres)	116.04	116.04	116.04	116.04
Bachelor	125.51	125.51	125.51	125.51
One Bedroom				
Two Bedroom				
Three Bedroom +	5	5	4	5
TOTAL FLOOR AREA	593.38	593.38	483.1	599.14

*Variance requested



SITE RECONCILIATION

LEGAL DESCRIPTION: LOT C SECTION 26 TOWNSHIP 2 NWD PLAN 15650		SETBACKS (BUILDING FACE):		REQUIRED:	PROPOSED:
CIVIC ADDRESS: 8679 - 158 STREET		NORTH		7.5m	5.4m
ZONING INFORMATION:		SOUTH		7.5m	2.0m
ZONE:	EXISTING: R1 PROPOSED: RMA-30	EAST		7.5m	4.5m
LOT AREA:	30,599 sf = 0.7015 ac (0.284ha)	WEST		7.5m	5.9m
LOT DENSITY:	PERMITTED: 30 UPA x 0.7015 Ac = 21.05 units PROPOSED: 19 units (27.1 UPA)	BUILDING HEIGHT:	PERMITTED: 13.0 m PROPOSED: 9.3m	AMENITY:	
FLOOR AREA RATIO:	PERMITTED: 0.9 MAXIMUM PROPOSED: 2,269 m ² / 2,839 m ² = 0.80	OUTDOOR:	REQUIRED: 19 UNITS / 3 m ² per unit = 57 m ² PROPOSED: 124 m ²	INDOOR:	REQUIRED: 19 UNITS / 3 m ² per unit = 57 m ² PROPOSED: 0 m ²
LOT COVERAGE:	ALLOWABLE: 45% MAXIMUM PROPOSED: 39.1 % (1,110 m ²)	PARKING:	REQUIRED: RESIDENT: 19 UNITS x 2 CARS/UNIT = 38 CARS VISITOR: 19 UNITS x 0.2 CARS/UNIT = 3.8 (4 CARS) PROPOSED: RESIDENT: 38 CARS VISITOR: 4 CARS		

OVERALL FLOOR AREA SUMMARY							
UNIT TYPE	UNIT #s	GARAGE	LOWER	MAIN	UPPER	UNIT TOTALS	SITE TOTALS (NOT INCL. GRADE)
A - 3 BED	11	267 sq. ft.	219 sq. ft.	602 sq. ft.	528 sq. ft.	1,249 sq. ft.	13,739 sq. ft.
A1 - 3 BED	2	270 sq. ft.	235 sq. ft.	514 sq. ft.	540 sq. ft.	1,289 sq. ft.	2,878 sq. ft.
B - 3 BED	6	270 sq. ft.	235 sq. ft.	645 sq. ft.	571 sq. ft.	1,351 sq. ft.	8,106 sq. ft.
TOTAL	19	807 sq. ft.					24,423 sq. ft.

LOT COVERAGE SUMMARY			
BUILDING	# OF UNITS	LOT COVERAGE	
BUILDING 1	5	3,089 sq. ft.	269.96 m ²
BUILDING 2	5	3,161 sq. ft.	293.86 m ²
BUILDING 3	4	2,588 sq. ft.	239.98 m ²
BUILDING 4	5	3,119 sq. ft.	289.76 m ²
TOTAL # OF UNITS	19	11,940 sq. ft.	1,110.05 m²

2014-08	PLANNING COMMENTS
2013-19-21	ISSUED FOR DEVELOPMENT PERMIT
REVISIONS	
CONSULTANT	

CLIENT
SORAJE HOLDINGS LTD.

PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:

SUNNY LANE HOMES
8679 - 158 STREET SURREY, BC
SURREY FILE NO: -
DRAWING TITLE

SITE PLAN

DATE: 2013.08.23 FILE NO:
DWN: msj/mr
CHK: CH **1314**

SEAL
SHEET NO.
DP-01

APPENDIX II



CONCEPT PLAN
SCALE: 1" = 20'

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△	2014-02-08 PLANNING COMMENTS
	2013-10-21 ISSUED FOR DEVELOPMENT PERMIT
REVISIONS	
CONSULTANT	

CLIENT
SORAJE HOLDINGS LTD.

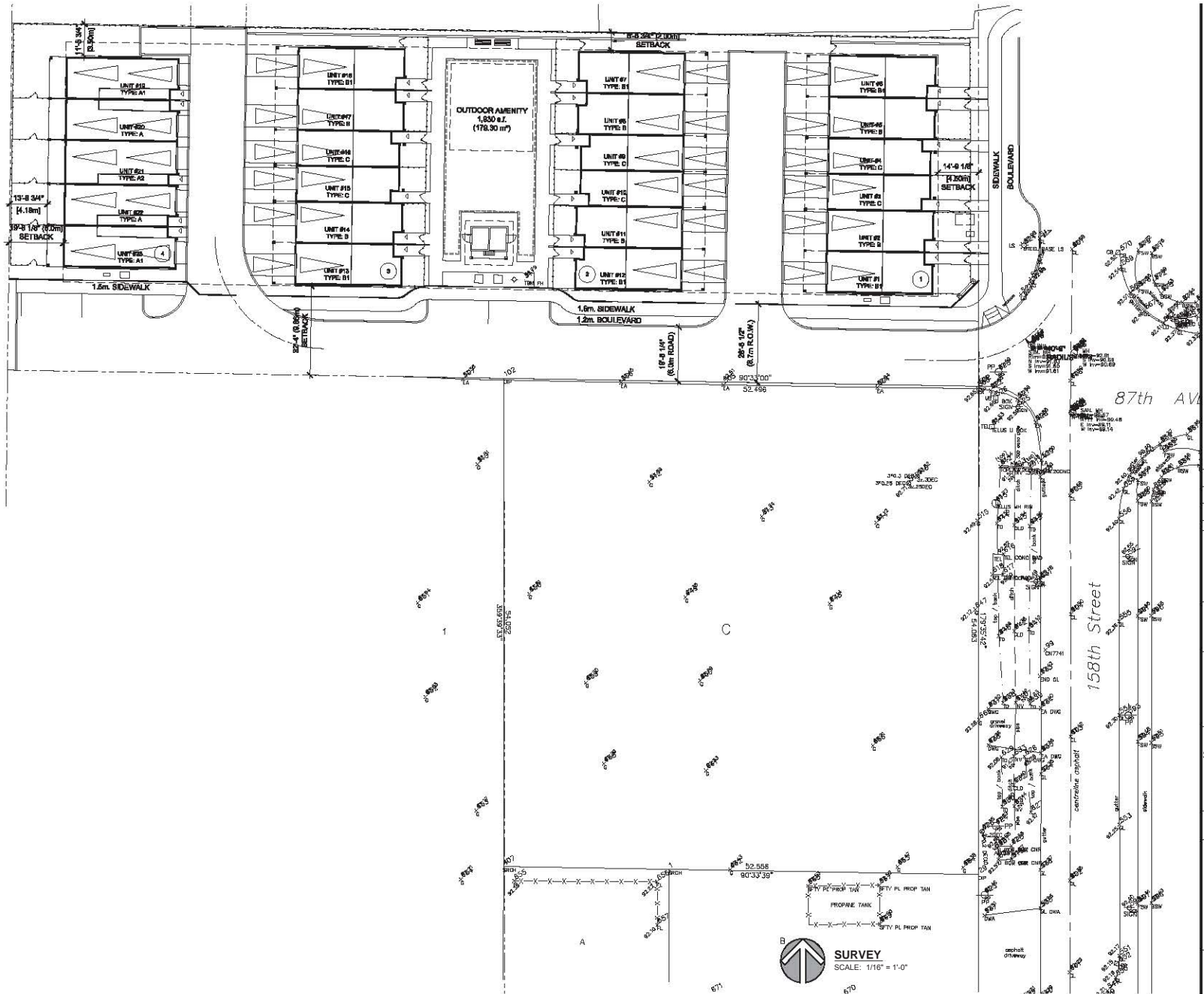
PROJECT
**PROPOSED TOWNHOUSE DEVELOPMENT:
SUNNY LANE HOMES**
8670 - 158 STREET SURREY, BC
SURREY FILE No. -
DRAWING TITLE

FUTURE CONCEPT PLAN

DATE	2013.08.23	FILE NO.
DWN.	msj/m	
CHK.	CH	1314

SEAL
SHEET NO.

DP-01a



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2014-02-08
PLANNING COMMENTS

2013-10-21
ISSUED FOR DEVELOPMENT PERMIT

REVISIONS

CONSULTANT

CLIENT
SORAJE HOLDINGS LTD.

PROJECT
PROPOSED TOWNHOUSE
DEVELOPMENT

SUNNY LANE HOMES

670 - 158 STREET SURVEY, BC
SURVEY FILE No. -
DRAWING TITLE

SURVEY

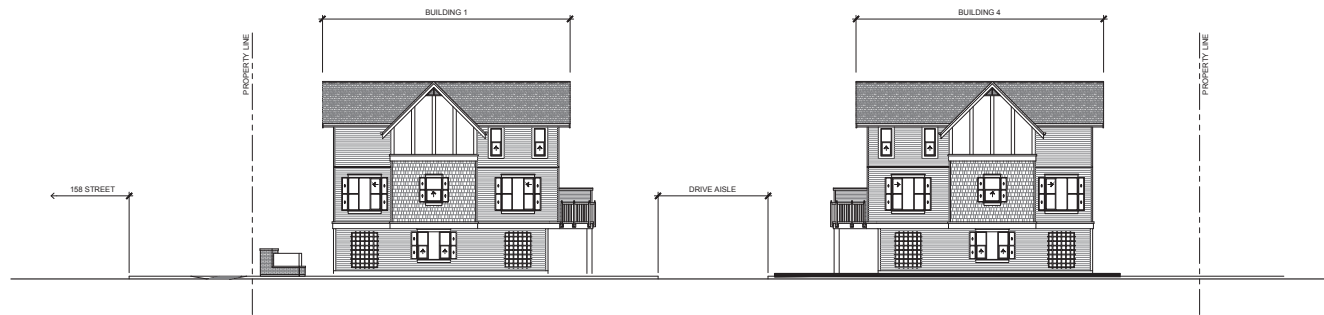
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DWN: CH 1314
CHK:

SEAL
SHEET NO.

DP-01b



EAST STREETScape - 158th STREET
 SCALE: 3/32" = 1'-0"



NORTH STREETScape - 87th AVENUE
 SCALE: 3/32" = 1'-0"

△	2014-02-08 PLANNING COMMENTS
	2013-10-21 ISSUED FOR DEVELOPMENT PERMIT
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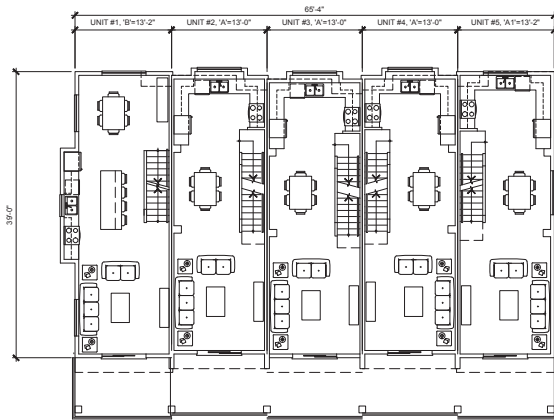
PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:
SUNNY LANE HOMES
 8679 - 158 STREET SURREY, BC
 SURREY FILE No: -
 DRAWING TITLE

STREETSCAPES

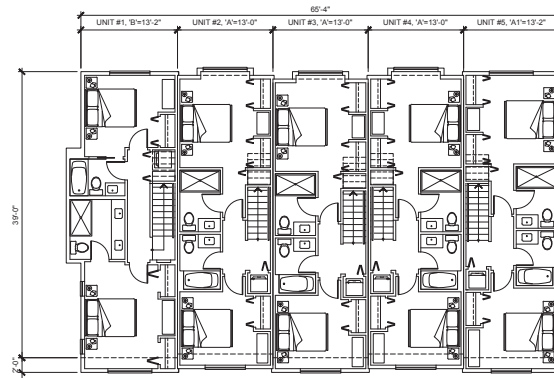
DATE	2013.08.23	FILE NO.	
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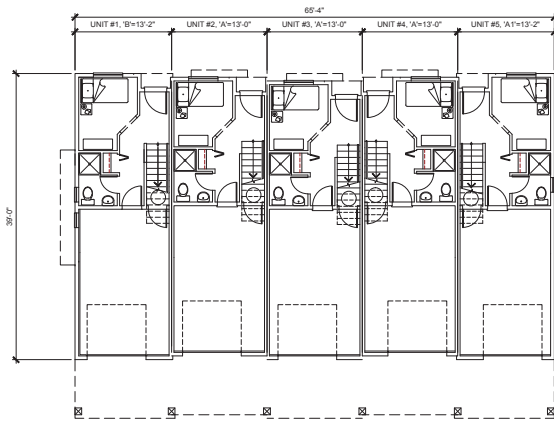
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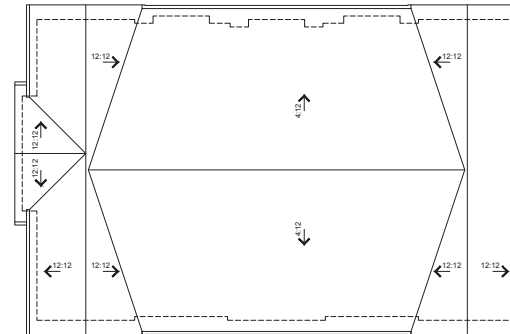
BUILDING 1 - MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 1 - UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 1 - LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 1 - ROOF PLAN
SCALE: 1/8" = 1'-0"

△	2014-02-06 PLANNING COMMENTS
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SUNNY LANE HOMES
8679 - 158 STREET SURREY, BC
SURREY FILE No. -
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**BUILDING 1:
PLANS**

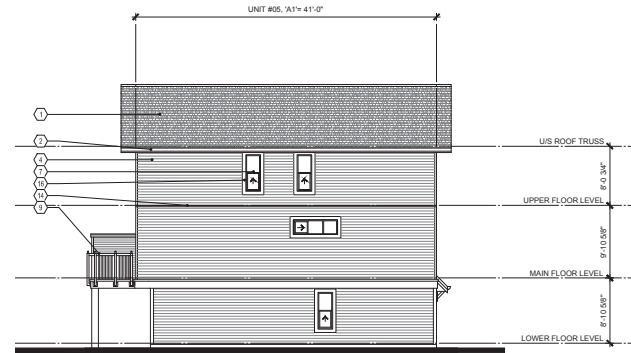
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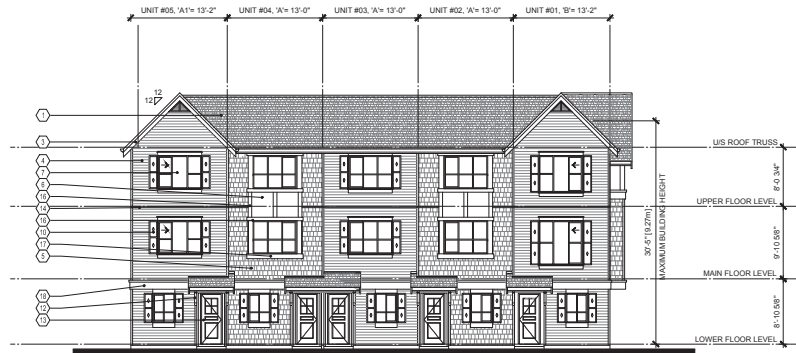
DP-02



BUILDING 1 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND

- | | | | |
|---|---|-----------------------------|---|
| ① COMPOSITE ASPHALT SHINGLES | ⑩ PAINTED HARDIE PANEL | ⑮ OVERHEAD GARAGE DOOR | ⑳ 1x6 PAINTED WOOD TRIM |
| ② 9" ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA | ⑪ SEALED DOUBLE GLAZED P.V.C. WINDOW | ⑯ DECORATIVE KNEE BRACKET | ㉑ 1x6 PAINTED WOOD TRIM |
| ③ 2x10 PAINTED WOOD FASCIA w/ 1x4 TRIM | ⑫ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR w/ TRANSOM | ⑰ ENTRY DOOR | ㉒ 2x4 TRIM ON 2x12 PAINTED WOOD TRIM c/w METAL FLASHING |
| ④ HORIZONTAL SIDING 4" EXPOSURE | ⑬ 42" HEIGHT ALUMINUM GUARDRAIL w/ GLASS | ⑱ METAL THRU WALL FLASHING | ㉓ 2x10 PAINTED WOOD TRIM c/w METAL FLASHING |
| ⑤ HARDIE SHINGLE SIDING | ⑭ DECORATIVE PAINTED WOOD PANEL SHUTTER | ⑲ STEEL DOOR FOR ELEC. ROOM | ㉔ 2x8 PAINTED WOOD TRIM c/w METAL FLASHING |

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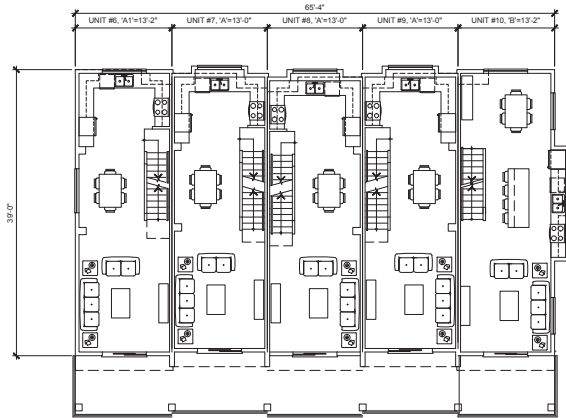
PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:
SUNNY LANE HOMES
#679 - 158 STREET SURREY, BC
SURREY FILE No. -

DRAWING TITLE
**BUILDING 1:
ELEVATIONS**

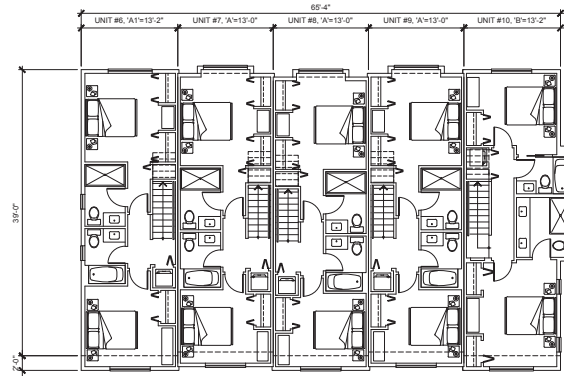
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SEAL SHEET NO.

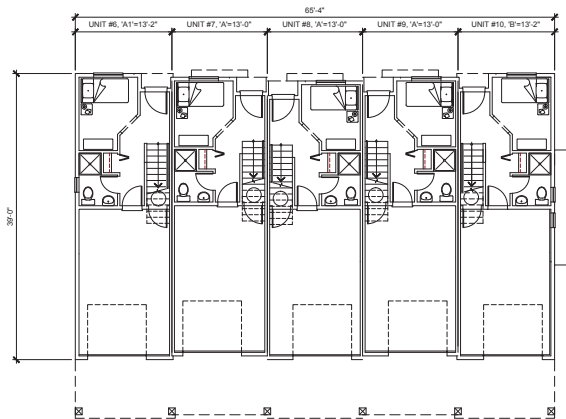
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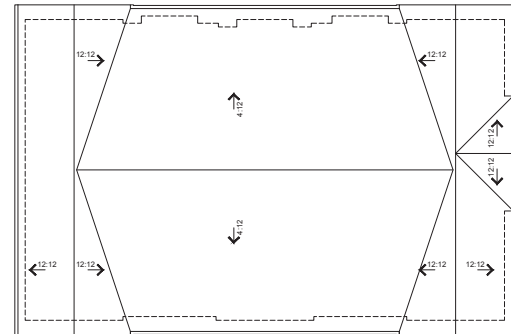
BUILDING 2 - MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 2 - UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 2 - LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 2 - ROOF PLAN
SCALE: 1/8" = 1'-0"

2014-02-08	PLANNING COMMENTS
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PROJECT
**PROPOSED TOWNHOUSE DEVELOPMENT:
SUNNY LANE HOMES**
#679 - 158 STREET SURREY, BC
SURREY FILE No. -
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**BUILDING 2:
PLANS**

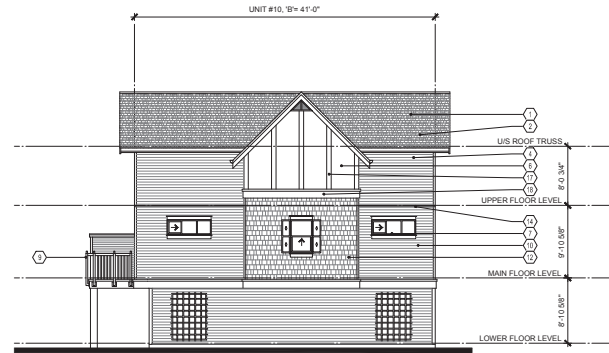
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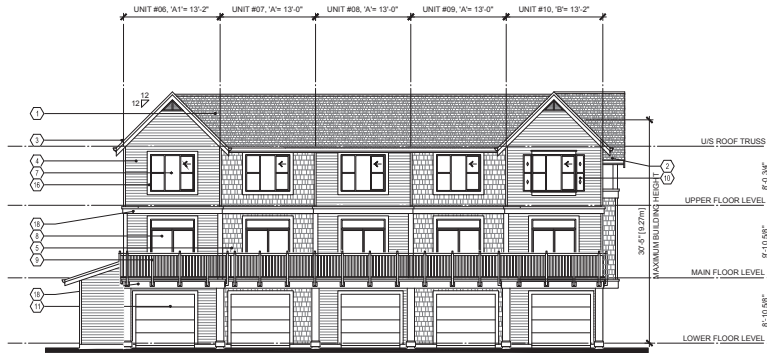
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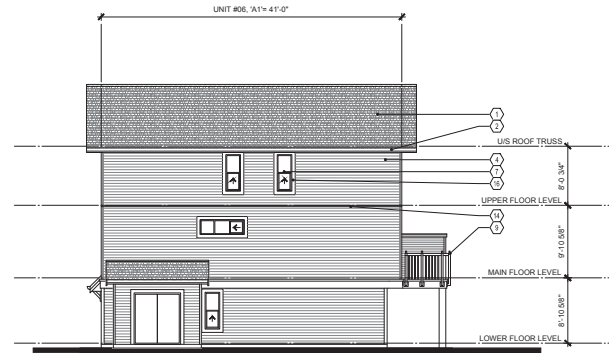
BUILDING 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND

- | | | | |
|---|---|-----------------------------|---|
| ① COMPOSITE ASPHALT SHINGLES | ⑩ PAINTED HARDIE PANEL | ⑱ OVERHEAD GARAGE DOOR | ⑳ 1x4 PAINTED WOOD TRIM |
| ② 9" ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA | ⑪ SEALED DOUBLE GLAZED P.V.C. WINDOW | ⑳ DECORATIVE KNEE BRACKET | ㉑ 1x6 PAINTED WOOD TRIM |
| ③ 2x10 PAINTED WOOD FASCIA w/ 1x4 TRIM | ⑫ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR w/ TRANSOM | ㉑ ENTRY DOOR | ㉒ 2x4 TRIM ON 2x12 PAINTED WOOD TRIM c/w METAL FLASHING |
| ④ HORIZONTAL SIDING 4" EXPOSURE | ⑬ 42" HEIGHT ALUMINUM GUARDRAIL w/ GLASS | ㉒ METAL THRU WALL FLASHING | ㉓ 2x10 PAINTED WOOD TRIM c/w METAL FLASHING |
| ⑤ HARDIE SHINGLE SIDING | ⑭ DECORATIVE PAINTED WOOD PANEL SHUTTER | ㉓ STEEL DOOR FOR ELEC. ROOM | ㉔ 2x8 PAINTED WOOD TRIM c/w METAL FLASHING |

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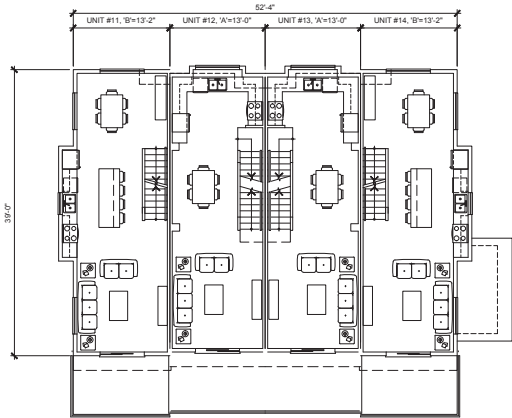
PROJECT
**PROPOSED TOWNHOUSE DEVELOPMENT:
SUNNY LANE HOMES**
#679 - 158 STREET SURREY, BC
SURREY FILE No. -
DRAWING TITLE

**BUILDING 2:
ELEVATIONS**

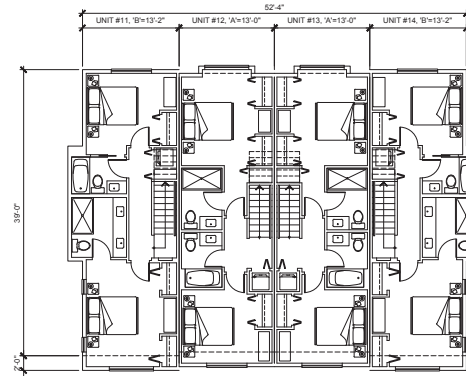
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CHK: CH **1314**

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SHEET NO.

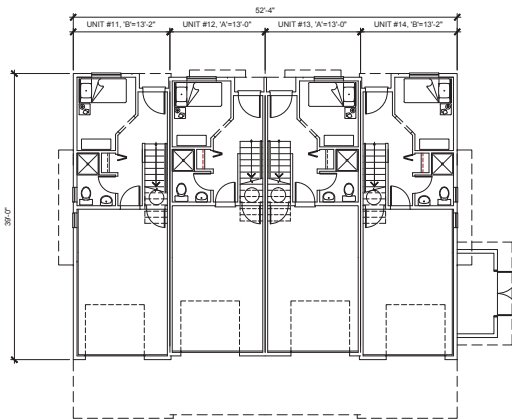
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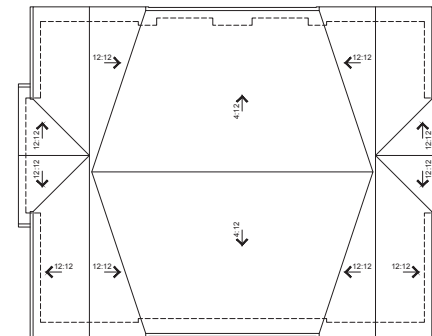
BUILDING 3 - MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 3 - UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 3 - LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 3 - ROOF PLAN
SCALE: 1/8" = 1'-0"

2014-02-06	PLANNING COMMENTS
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PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:
SUNNY LANE HOMES
#679 - 158 STREET SURREY, BC
SURREY FILE No: -
DRAWING TITLE

BUILDING 3: PLANS

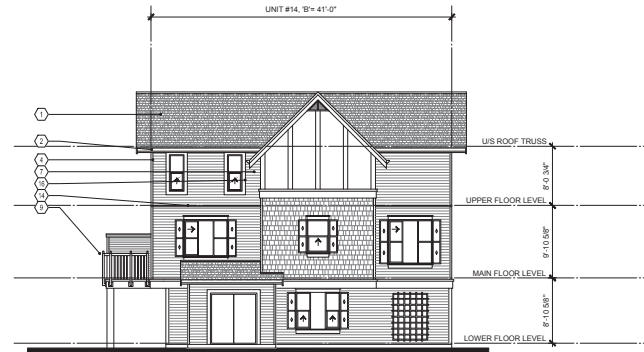
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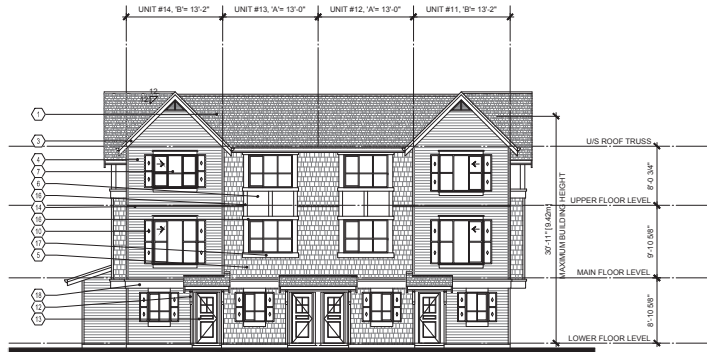
DP-06



BUILDING 3 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND

- | | | | |
|---|---|-----------------------------|---|
| ① COMPOSITE ASPHALT SHINGLES | ④ PAINTED HARDIE PANEL | ⑦ OVERHEAD GARAGE DOOR | ⑩ 1x4 PAINTED WOOD TRIM |
| ② 9' ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA | ⑤ SEALED DOUBLE GLAZED P.V.C. WINDOW | ⑧ DECORATIVE KNEE BRACKET | ⑪ 1x6 PAINTED WOOD TRIM |
| ③ 2x10 PAINTED WOOD FASCIA w/ 1x4 TRIM | ⑥ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR w/ TRANSOM | ⑨ ENTRY DOOR | ⑫ 2x4 TRIM ON 2x12 PAINTED WOOD TRIM c/w METAL FLASHING |
| ④ HORIZONTAL SIDING 4" EXPOSURE | ⑩ 42" HEIGHT ALUMINUM GUARDRAIL w/ GLASS | ⑬ METAL THRU WALL FLASHING | ⑬ 2x10 PAINTED WOOD TRIM c/w METAL FLASHING |
| ⑤ HARDIE SHINGLE SIDING | ⑪ DECORATIVE PAINTED WOOD PANEL SHUTTER | ⑭ STEEL DOOR FOR ELEC. ROOM | ⑭ 2x8 PAINTED WOOD TRIM c/w METAL FLASHING |

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PROJECT
**PROPOSED TOWNHOUSE DEVELOPMENT:
SUNNY LANE HOMES**

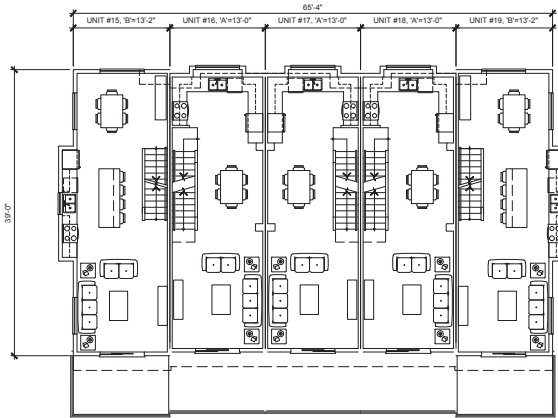
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**BUILDING 3:
ELEVATIONS**

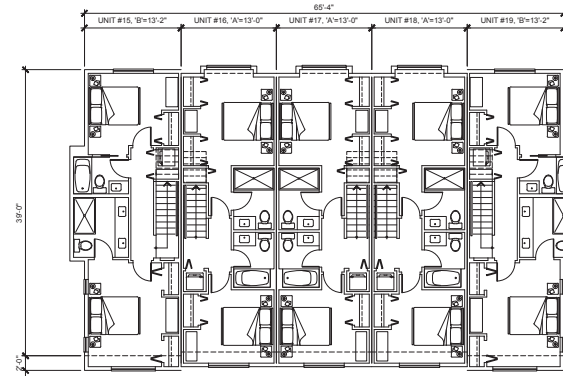
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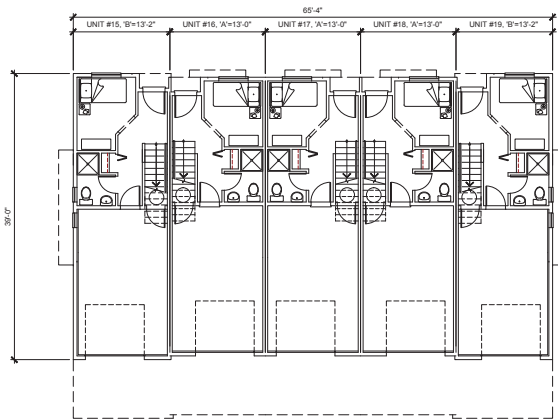
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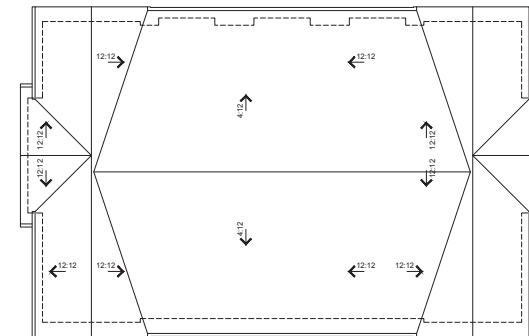
BUILDING 4 - MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 4 - UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 4 - LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 4 - ROOF PLAN
SCALE: 1/8" = 1'-0"

2014-02-08	PLANNING COMMENTS
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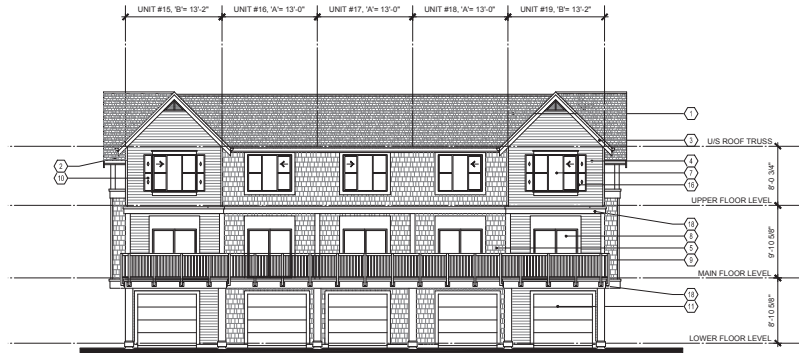
PROJECT
PROPOSED TOWNHOUSE
DEVELOPMENT:
SUNNY LANE HOMES
#679 - 156 STREET SURREY, BC
SURREY FILE No. -
DRAWING TITLE

**BUILDING 4:
PLANS**

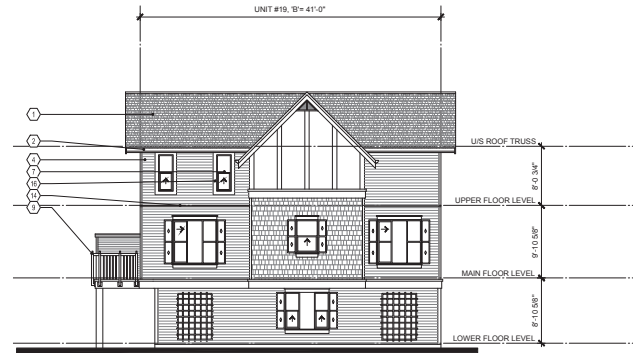
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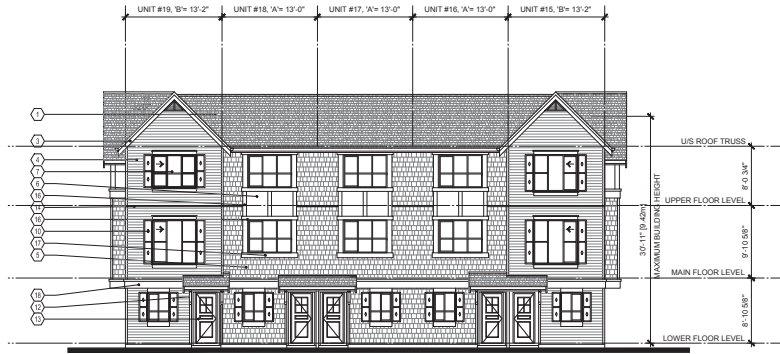
DP-08



BUILDING 4 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND

- | | | | |
|---|---|-----------------------------|---|
| ① COMPOSITE ASPHALT SHINGLES | ④ PAINTED HARDIE PANEL | ⑪ OVERHEAD GARAGE DOOR | ⑲ 1x4 PAINTED WOOD TRIM |
| ② 1" ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA | ⑤ SEALED DOUBLE GLAZED P.V.C. WINDOW | ⑫ DECORATIVE KNEE BRACKET | ⑳ 1x6 PAINTED WOOD TRIM |
| ③ 2x10 PAINTED WOOD FASCIA w/ 1x4 TRIM | ⑥ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR w/ TRANSOM | ⑬ ENTRY DOOR | ㉑ 2x4 TRIM ON 2x12 PAINTED WOOD TRIM c/w METAL FLASHING |
| ④ HORIZONTAL SIDING 4" EXPOSURE | ⑦ 42" HEIGHT ALUMINUM GUARDRAIL w/ GLASS | ⑭ METAL THRU WALL FLASHING | ㉒ 2x10 PAINTED WOOD TRIM c/w METAL FLASHING |
| ⑤ HARDIE SHINGLE SIDING | ⑧ ⑩ DECORATIVE PAINTED WOOD PANEL, SHUTTER | ⑮ STEEL DOOR FOR ELEC. ROOM | ㉓ 2x8 PAINTED WOOD TRIM c/w METAL FLASHING |

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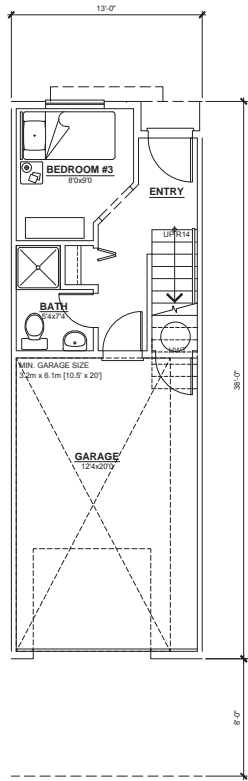
PROJECT
**PROPOSED TOWNHOUSE DEVELOPMENT:
SUNNY LANE HOMES**
#679 - 158 STREET SURREY, BC
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DRAWING TITLE

**BUILDING 4:
ELEVATIONS**

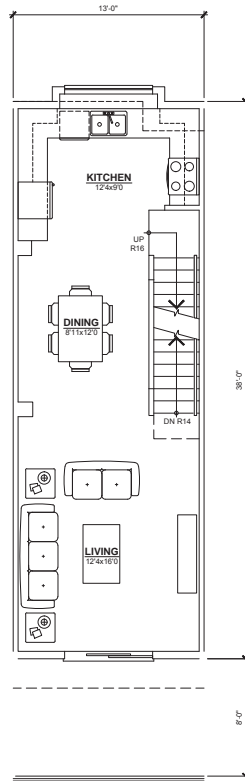
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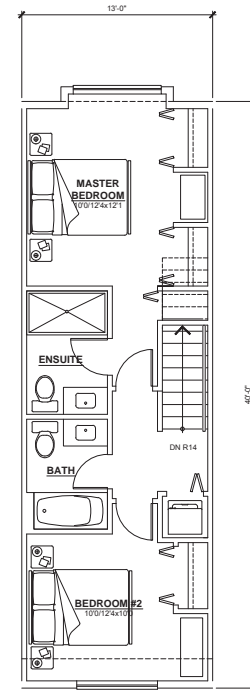
DP-09



UNIT 'A' - LOWER FLOOR
SCALE: 1/4" = 1'-0"



UNIT 'A' - LOWER FLOOR
SCALE: 1/4" = 1'-0"



UNIT 'A' - LOWER FLOOR
SCALE: 1/4" = 1'-0"

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FOCUS

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t 804.853.5202 f 804.853.5642
e info@focus.ca

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PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:

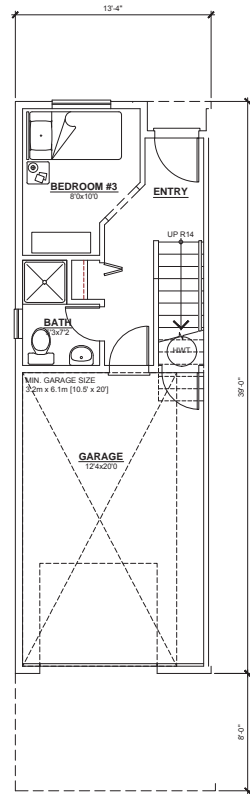
SUNNY LANE HOMES
8679 - 158 STREET SURREY, BC
SURREY FILE No: -
DRAWING TITLE

UNIT 'A' PLANS

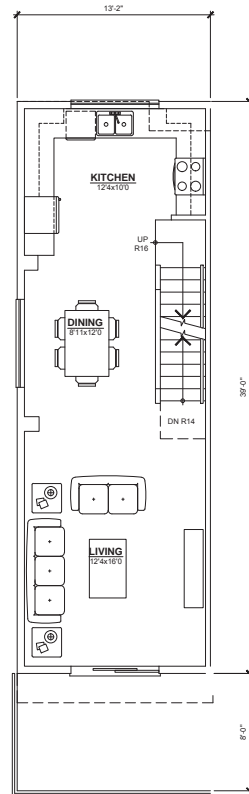
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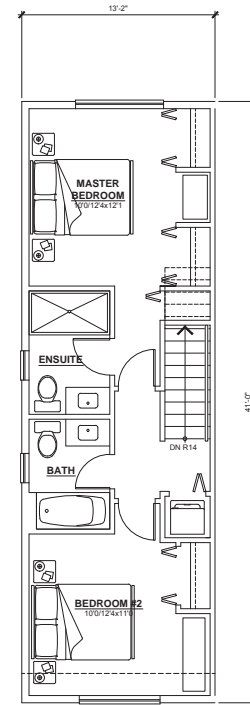
DP-10



UNIT 'A1' - LOWER FLOOR
SCALE: 1/4" = 1'-0"



UNIT 'A1' - LOWER FLOOR
SCALE: 1/4" = 1'-0"



UNIT 'A1' - LOWER FLOOR
SCALE: 1/4" = 1'-0"

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2013-10-21	ISSUED FOR DEVELOPMENT PERMIT
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CONSULTANT	

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PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:

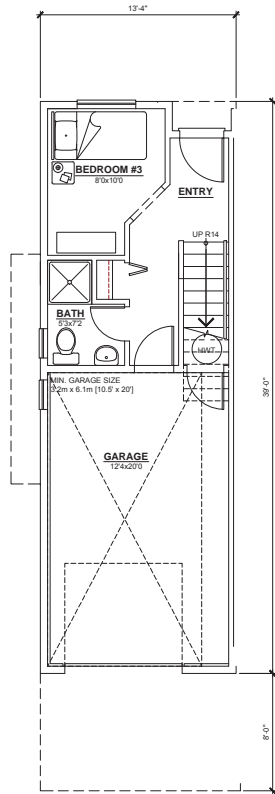
SUNNY LANE HOMES
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SURREY FILE NO. -
DRAWING TITLE

UNIT 'A1' PLANS

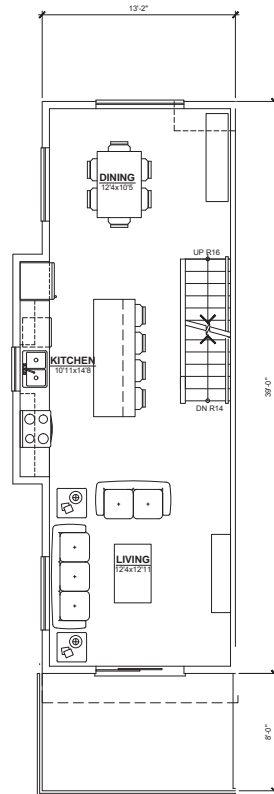
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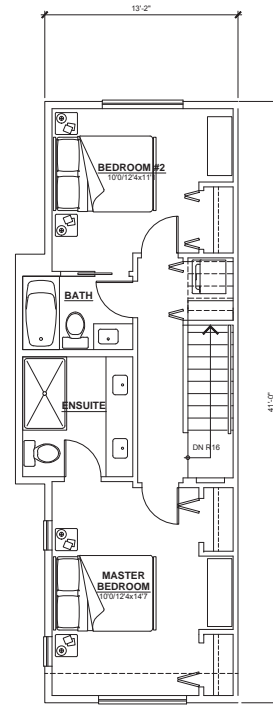
DP-11



UNIT 'B' - LOWER FLOOR
SCALE: 1/4" = 1'-0"



UNIT 'B' - LOWER FLOOR
SCALE: 1/4" = 1'-0"



UNIT 'B' - LOWER FLOOR
SCALE: 1/4" = 1'-0"

2014-02-06	PLANNING COMMENTS
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PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:

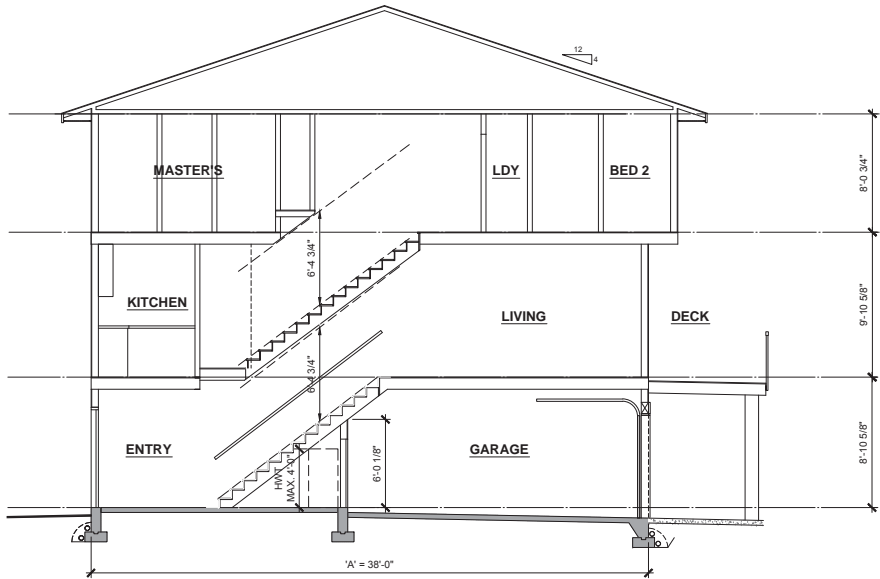
SUNNY LANE HOMES
8679 - 158 STREET SURREY, BC
SURREY FILE No. -
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UNIT 'B' PLANS

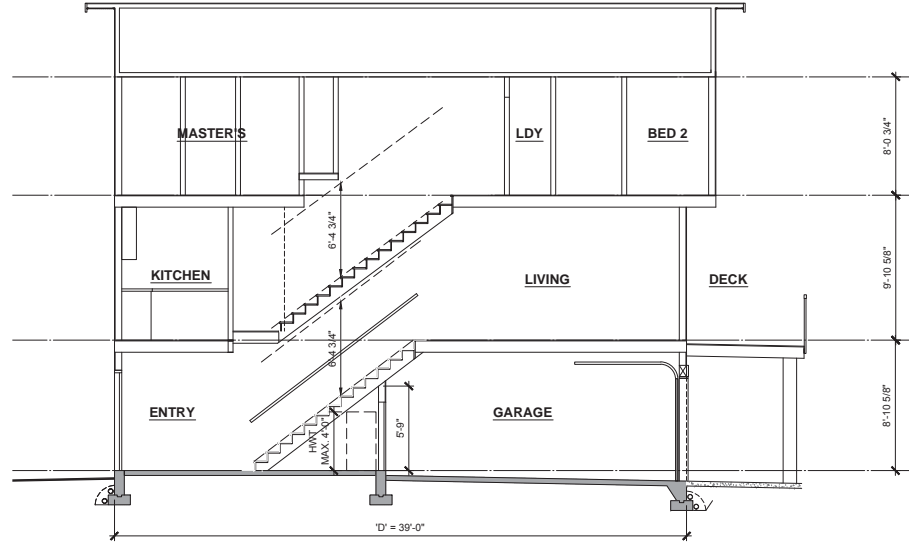
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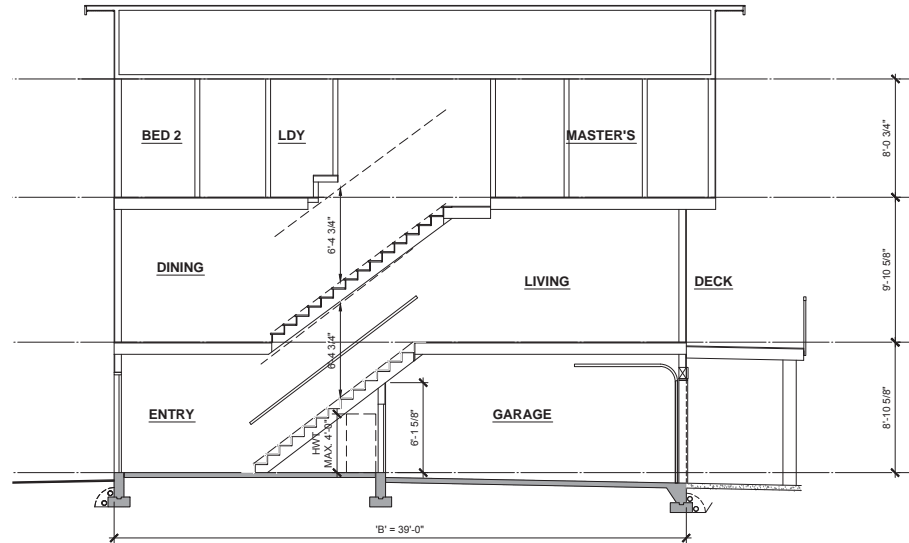
DP-12



UNIT 'A' STAIR SECTION
SCALE: 1/4" = 1'-0"



UNIT 'A1' STAIR SECTION
SCALE: 1/4" = 1'-0"



UNIT 'B' STAIR SECTION
SCALE: 1/4" = 1'-0"

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2014-02-06	PLANNING COMMENTS
2013-10-21	ISSUED FOR DEVELOPMENT PERMIT
REVISIONS	
CONSULTANT	

CLIENT
SORAJE HOLDINGS LTD.

PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:

SUNNY LANE HOMES
8679 - 158 STREET SURREY, BC
SURREY FILE NO: -
DRAWING TITLE

SECTION

DATE	2013.06.23	FILE NO.	
DWN.	AL	CH	1314
CHK.			

SEAL
SHEET NO.

DP-13



1



2



3



4



5

PROPOSED TOWNHOUSE DEVELOPMENT - SUNNY LANE HOMES

SUNNIE HOLDINGS LTD.

8679 158 Street Surrey BC

2014.02.01 SITE CONTEXT

FOCUS



PROPOSED TOWNHOUSE DEVELOPMENT - SUNNY LANE HOMES

SORAJE HOLDINGS LTD.

8879 158 Street Surrey BC

2021.10.21
STREETSCAPES



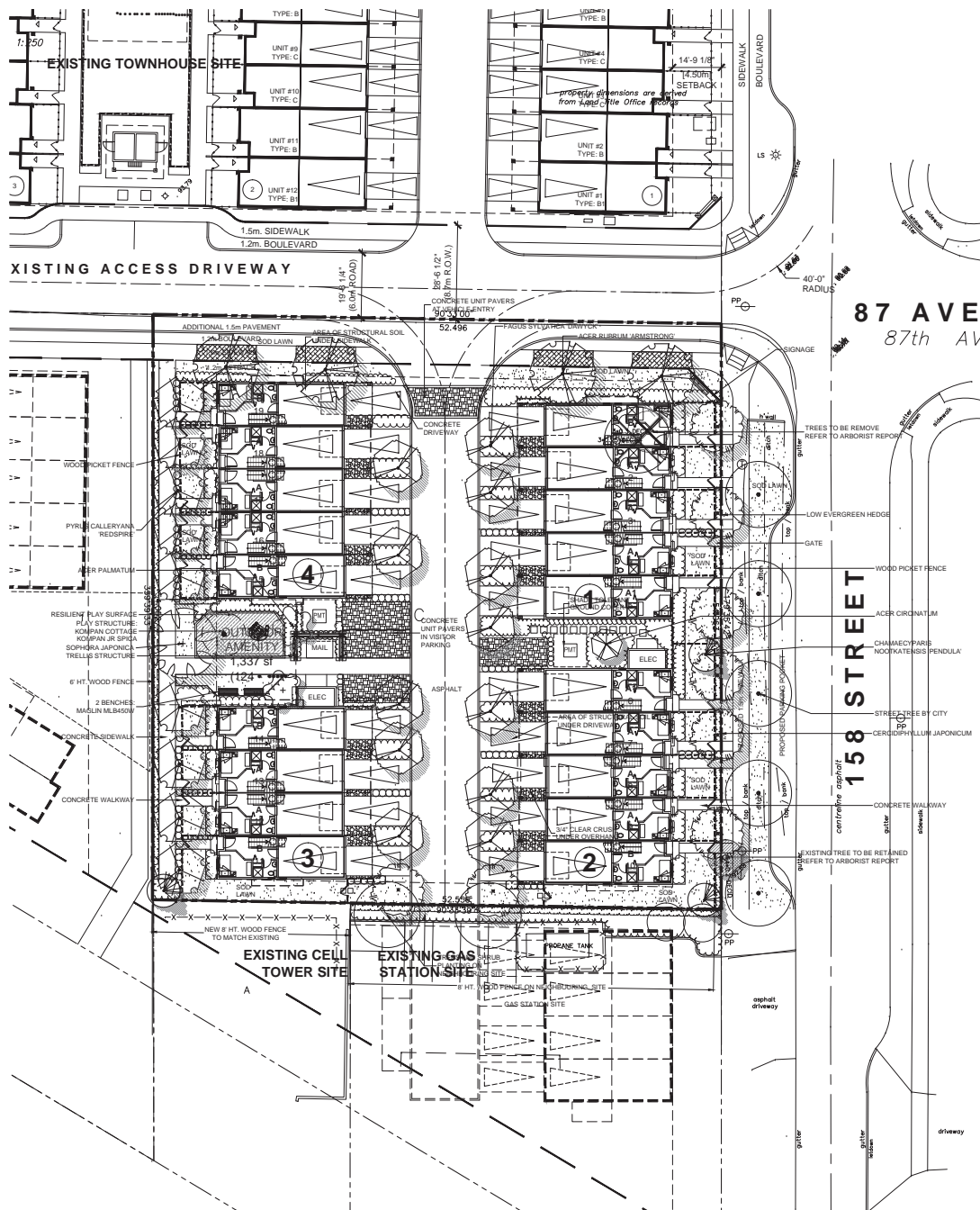


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pmg
LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011 - f. 604 294-0022

SEAL:



87th AVENUE
87th AVENUE

PLANT SCHEDULE				PMG PROJECT NUMBER: 13-136
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	1	ACER CIRCINATUM	VINE MAPLE	1.8M HT; BAB; 3 STEM CLUMP
	2	ACER PALMATUM	JAPANESE MAPLE	50M CAL; 2M HT; BAB
	4	ACER RUBRUM 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	60M CAL; 2M STD; BAB
	4	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	60M CAL; 1.8M STD; BAB
	3	CHAMAECYPARIS NODIKATENSIS 'PENDULA'	WEeping KNOTHA CYPRESS	3M HT; BAB
	12	FAGUS SYLVATICA 'DAWYCK'	FASTIGIATE OR DAWYCK BEECH	60M CAL; 1.8M STD; BAB
	9	PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE ORNAMENTAL PEAR	60M CAL; 1.5M STD; BAB
	1	SOPHORA JAPONICA	JAPANESE PAGODA TREE	60M CAL; 1.8M STD; BAB
SHRUB	51	AZALEA JAPONICA 'CORAL BELLS'	AZALEA SHELL PINK	#2 POT; 25CM
	44	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#2 POT; 25CM
	4	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#2 POT; 50CM
	5	HYDRANGEA MACROPHYLLA 'MASIA'	BIGLEAF HYDRANGEA RED	#2 POT; 50CM
	66	NANDINA DOMESTICA	HEAVENLY BAMBOO	#3 POT; 50CM
	25	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	#2 POT; 40CM
	13	NANDINA DOMESTICA 'MOON BAY'	MOON BAY HEAVENLY BAMBOO	#3 POT; 50CM
	6	PIERIS JAPONICA 'FOREST FLAME'	PIERIS WHITE BLOOMS	#3 POT; 50CM
	18	RHOODOENDRON 'BOUY BELLS'	RHOODOENDRON PINK	#3 POT; 30CM
	4	RHOODOENDRON 'HOTEL'	RHOODOENDRON CANARY YELLOW	#3 POT; 50CM
	8	RHOODOENDRON 'UNIQUE'	RHOODOENDRON YELLOW APRIL	#3 POT; 30CM
	10	ROSA MEDELAN 'SONICA'	MEDIAN ROSE PINK	#2 POT; 40CM
	8	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT; 30CM
	39	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA PINK	#2 POT; 40CM
	33	TAXUS X MEDIA 'HOKUSI'	HICK'S YEW	1.5M H.B.B.
	79	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.8M HT; BAB
	14	VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT; 30CM
GRASS	61	FESTUCA CINEREA 'ELIJAH BLUE'		#1 POT
	37	IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT
	40	PENNETSETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL	16	HEMEROCALLIS 'YELLOW STONE'	DAYLILY LIGHT YELLOW	#1 POT; 1/2 FAN
	62	HELICHERA MACRANTHA 'PALACE PURPLE'	CORAL BELLS PURPLE RED	15CM POT
	53	HOSTA FORUNTEI 'FRANCE'	HOSTA GREEN AND WHITE VARIEGATED	#1 POT; 1 EYE
	73	LAVENDULA ANGSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT
GC	44	ELIUNYMIUS JAPONICA 'EMERALD GAITY'	ELIUNYMIUS SILVER VARIEGATED	#1 POT; 25CM
	222	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT; 15CM
	13	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM

NOTES: - PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CIVIL STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. - REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. - SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. - SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NO.	DATE	REVISION DESCRIPTION	DR.
1	14 FEB 05	REV. PER NEW SITE PLAN/STY COMMENTS	DA

CLIENT:

PROJECT:

TOWNHOUSE DEV.
8679 - 158TH STREET
SURREY, BC

DRAWING TITLE:
**LANDSCAPE
TREE PLAN**

DATE: 13 SEP 19 DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN: DO **L1**
DESIGN:
CHKD: MCV **OF 3**

EXISTING ACCESS DRIVEWAY

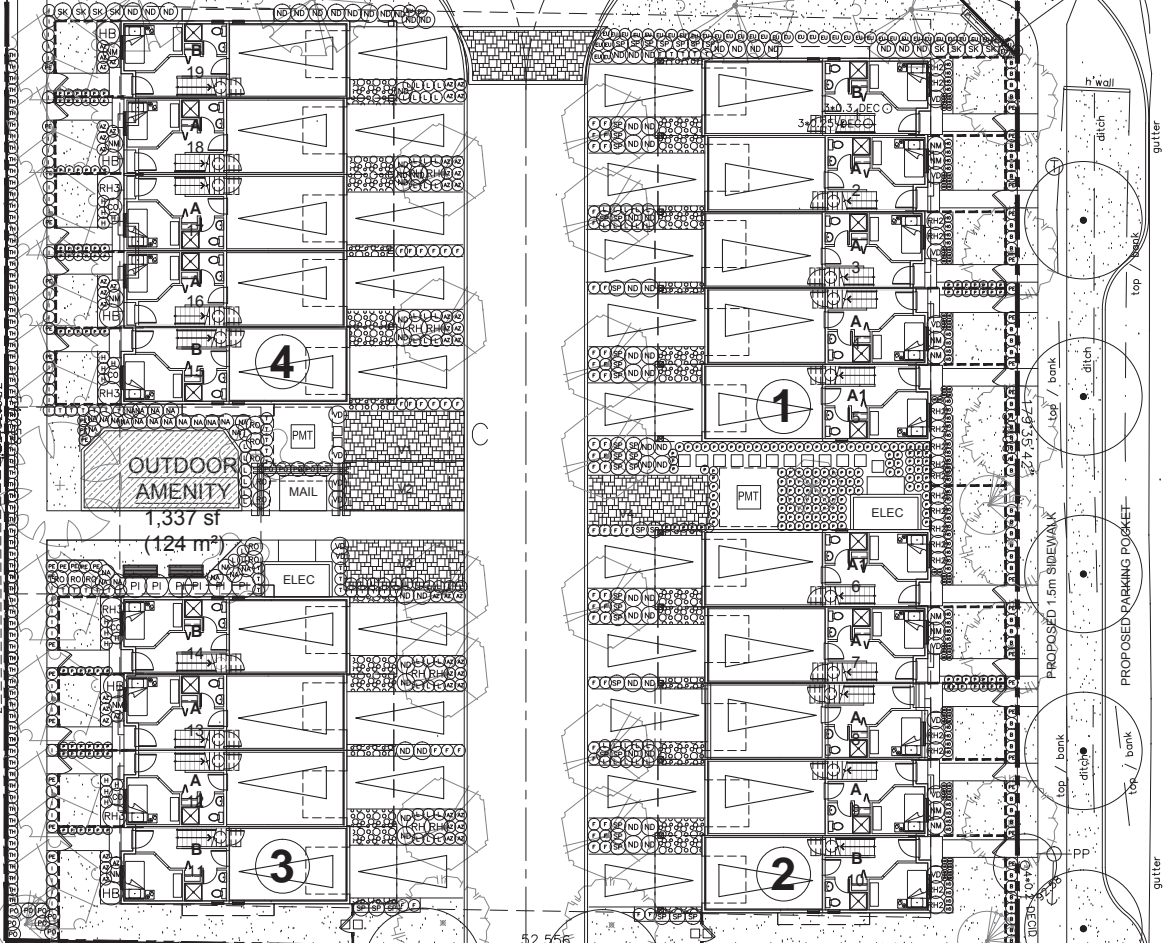
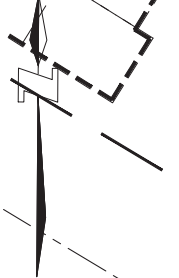
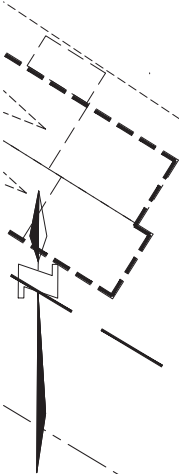
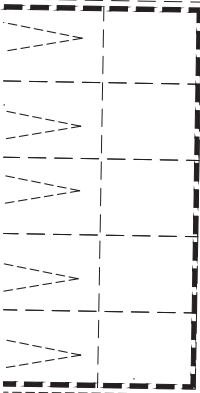
1.2m BOULEVARD

19'-6 1/4"
(6.0m ROAD)

28'-6 1/2"
(8.7m R.O.W.)

90'-33.00"
52.496

ADDITIONAL 1.5m PAVEMENT
1.2m BOULEVARD
1.5m SIDEWALK



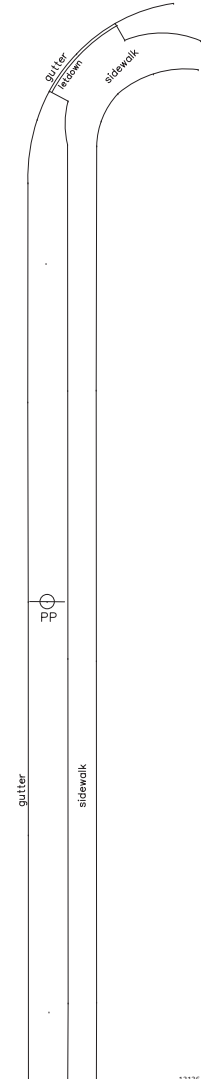
EXISTING CELL TOWER SITE

EXISTING GAS STATION SITE

PROPANE TANK

87 AVE
87th AVE.

158 STREET
centrale asphalt



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pmg
LANDSCAPE ARCHITECTS

Suite C100 - 4185 Still Cree Drive
Burnaby, British Columbia V5C 6G9
p. 604 294-0011 - f. 604 294-0022

SEAL:

Table with 3 columns: NO., DATE, REVISION DESCRIPTION, DR.

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

TOWNHOUSE DEV.

8679 - 158TH STREET
SURREY, BC

DRAWING TITLE:

LANDSCAPE SHRUB PLAN

DATE: 13 SEP 19
SCALE: 1/16"=1'-0"
DRAWN: DO
DESIGN:
CHKD: MCV

DRAWING NUMBER:

L2

OF 3

13136-2.ZIP

PMG PROJECT NUMBER:

13-136

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: March 18, 2014 **PROJECT FILE: 7813-0238-00**

**RE: Engineering Requirements
Location: 8679 158 Street**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE

Property and Right-of-Way Requirements

- Register 0.5-metre statutory right-of-way (SRW) along 158 Street; and
- Register 4.2-meter wide SRW over the internal access road to allow for public rights of passage; and extend SRW over a 3.0 meter x 3.0 meter corner cut at the intersection of 158 Street and the access road.

Works and Services

- construct 158 Street to a 20-metre through local road;
- construct storm sewer along 158 Street and provide onsite management features; and
- provide the lot with storm, water, and sanitary service connections.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager

sk



Tuesday, December 10, 2013
 Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at the elementary school. A new North Clayton Area Secondary school is an approved project which is in planning stage and is anticipated that there would be an enrolment move (Coast Meridian Elementary catchment) to the proposed new North Clayton Area Secondary School when it opens.

THE IMPACT ON SCHOOLS

APPLICATION #: 13 0238 00

SUMMARY

The proposed 18 townhouse units are estimated to have the following impact on the following schools:

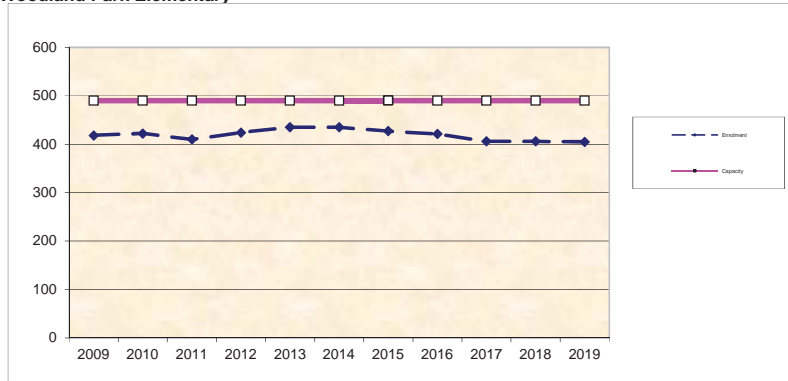
Projected # of students for this development:

Elementary Students:	4
Secondary Students:	2

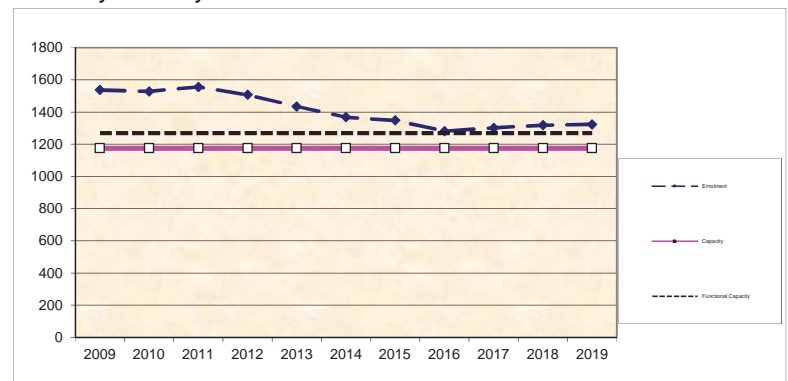
September 2013 Enrolment/School Capacity

Woodland Park Elementary	
Enrolment (K/1-7):	54 K + 381
Capacity (K/1-7):	40 K + 450
North Surrey Secondary	
Enrolment (8-12):	1435
Nominal Capacity (8-12):	1175
Functional Capacity*(8-12):	1269

Woodland Park Elementary



North Surrey Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

TREE PRESERVATION SUMMARY

Surrey Project No:

Project Location: 8679 – 158 St., Surrey, BC

Arborist: Kerin Matthews

Detailed Assessment of the existing trees or an Arborist’s Report is submitted on file. The following is a summary of the tree assessment report for quick reference:

1) General tree assessment of the subject site

The site is mostly bare.

2) Summary of the proposed tree removal and replacement:

_____ The summary will be available for final adoption.

_____ Number of protected trees identified.....	(A) 3
_____ Number of protected trees declared hazardous due to natural causes.....	(B) 0
_____ Number of protected trees to be removed.....	(C) 2
_____ Number of protected trees to be retained (A-B-C).....	(D) 1
_____ Number of replacement trees required (C-B) x 2.....	(E) 2
_____ Number of replacement trees proposed.....	(F) 2
_____ Number of replacement trees in deficit (E-F).....	(G) 0
_____ Total number of protected & replacement trees on site (D+F).....	(H) 2
_____ Number of Lots proposed in the project.....	(I) 1
_____ Average number of trees per lot (H/I)	2

3) Tree survey & preservation / replacement plan

_____ Tree survey and preservation/replacement plan is attached

_____ This plan will be available before final adoption

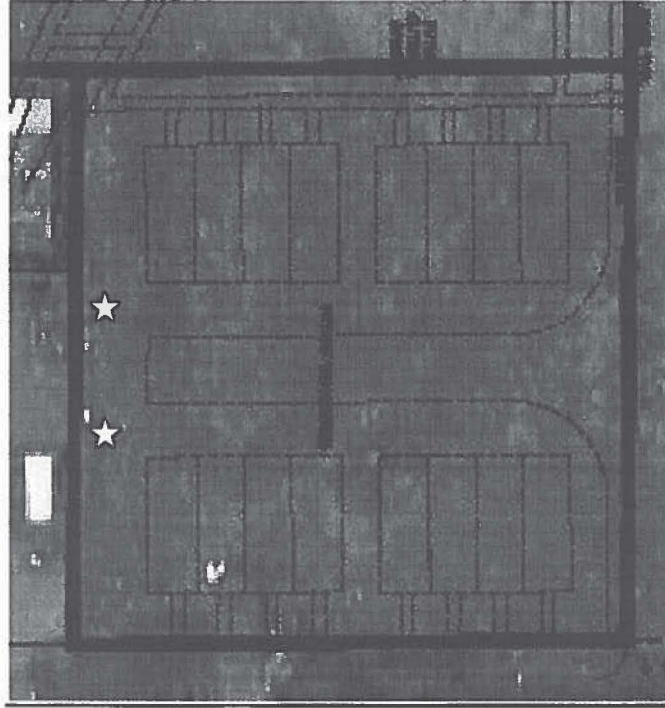
Summary & Plan prepared and submitted by: Kerin Matthews, Arborist

Date: April 25, 2012

NOTE: Replacement ratio for Cottonwoods = 1:1

TREE REPLACEMENT PLAN

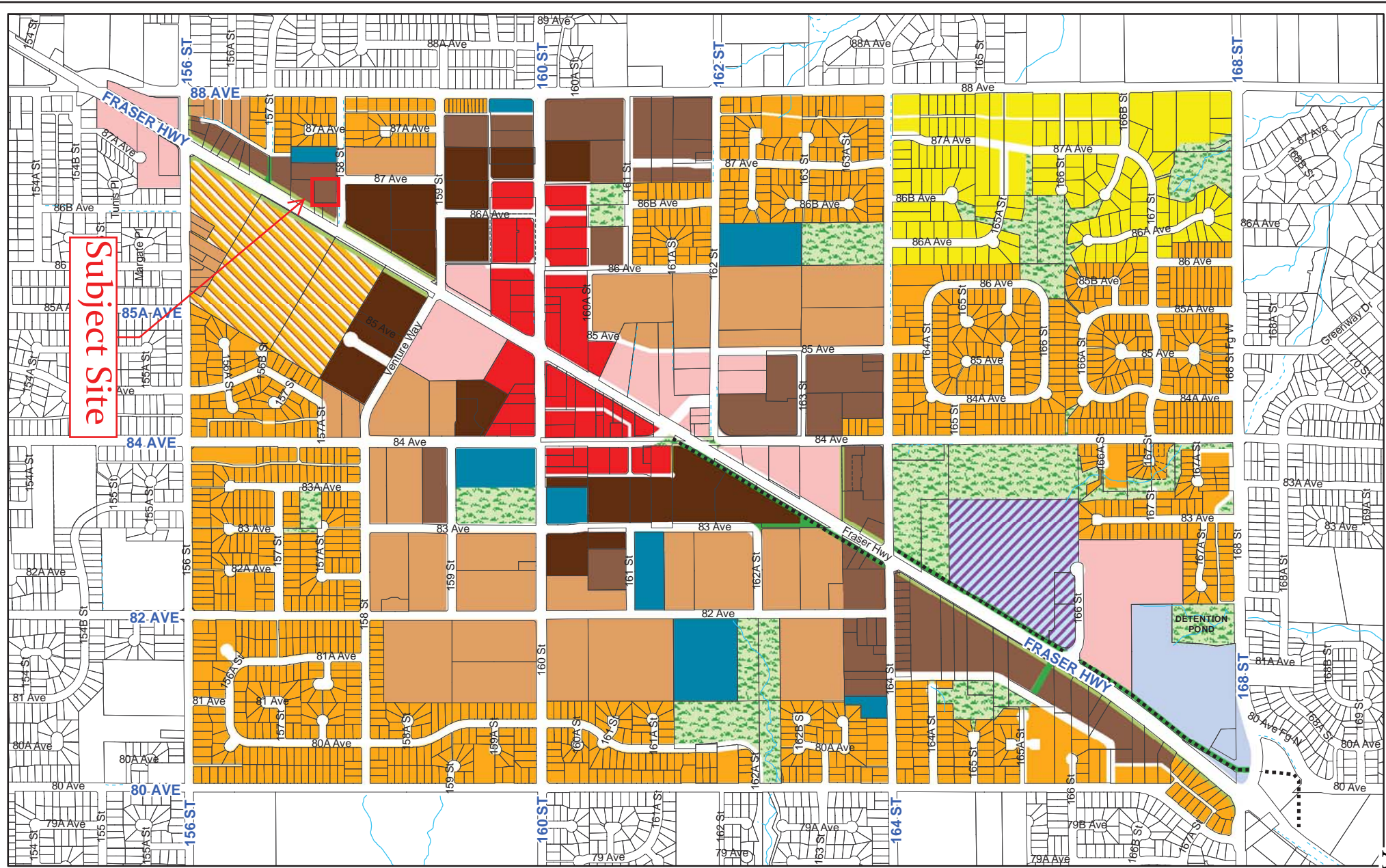
For property located at 8679 – 158 St., Surrey, BC



☆ = 2, *Ginkgo biloba* 'Princeton Sentry' (Ginkgo), 5cm cal.

TOTAL PROPOSED REPLACEMENTS = 2

Note: Final Location of replacement trees to be determined at time of planting. They should not interfere with driveways, visibility, buildings, services or sidewalks. The trees on this list are subject to availability; alternate species may need to be chosen. All plant material, topsoil depth, and quality and installation to be to the BC Landscape Standard, recent edition.



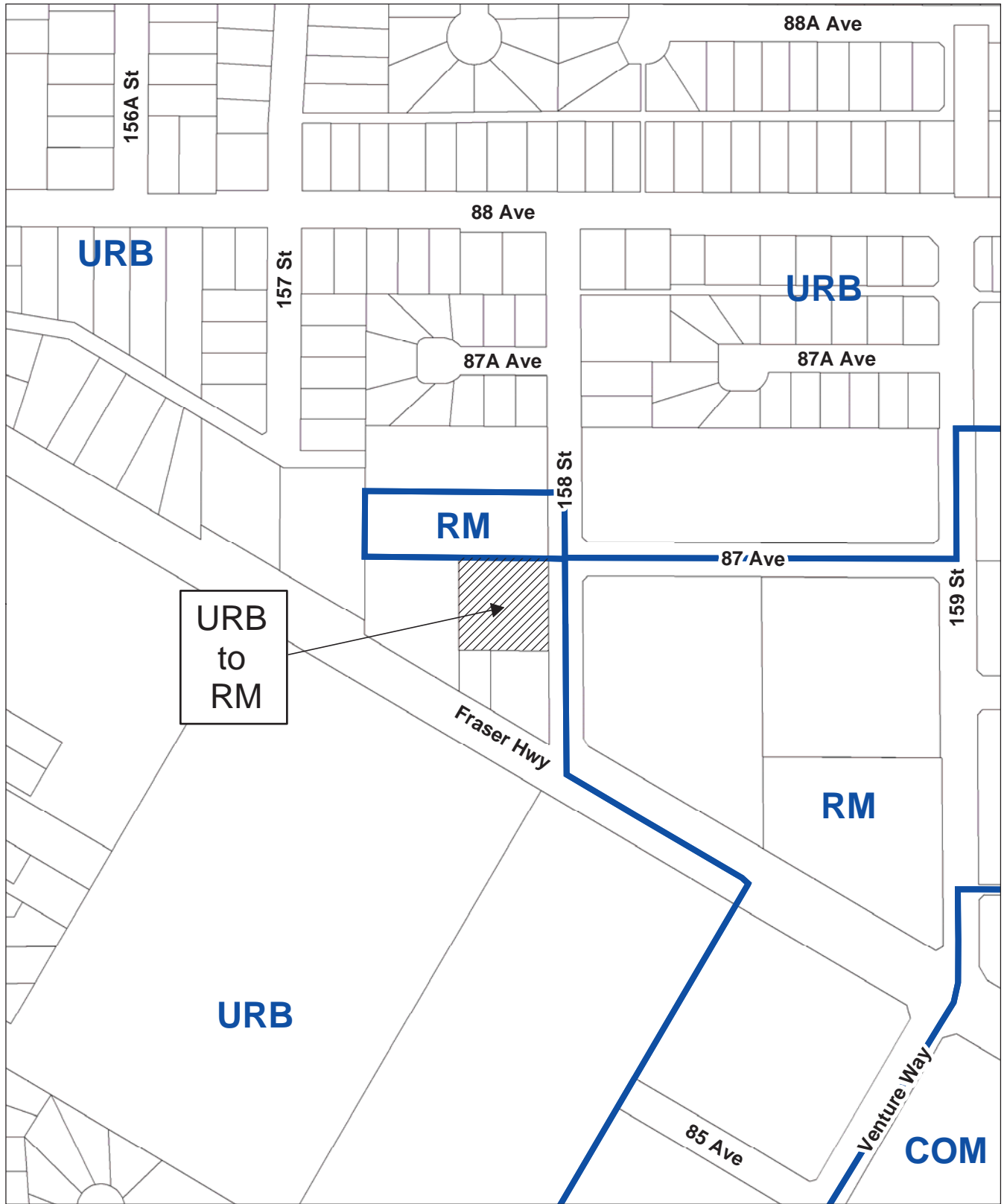
- | | | | |
|---|------------------------|--------------------------|--------------------------------------|
| Community Commercial | Low Density Townhouses | Industrial | Institutional / Commercial |
| Highway Commercial | Single Family Urban | Institutional | Multiuse Corridor / Landscape Buffer |
| Apartments and/or High Density Townhouses | Single Family Suburban | Parks & Linear Corridors | Buffer Within Private Land |
| Medium Density Townhouses | Manufactured Homes | 4m Wide Paved Path | |

FLEETWOOD TOWN CENTRE LAND USE PLAN

City of Surrey Planning & Development Department

Approved by Council Nov. 1, 2000 - Amended 13 November 2013

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



OCP Amendment 7913-0238-00
Proposed amendment from Urban to Multiple Residential



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7913-0238-00

Issued To: JANDA GROUP HOLDINGS INC.

("the Owner")

Address of Owner: 8338 - 120 Street
Surrey, BC V3W 3N4

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-114-386

Lot "C" Section 26 Township 2 New Westminster District Plan 15650

8679 - 158 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum front yard setback is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the principal building, as shown on the proposed site layout shown on Schedule A which is attached hereto and forms part of this development variance permit;
 - (b) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum rear yard setback is reduced from 7.5 metres (25 ft.) to 5.9 metres (19 ft.) for the principal building, as shown on the proposed site layout shown on Schedule A;
 - (c) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum north side yard setback is reduced from 7.5 metres (25 ft.) to 5.4 metres (18 ft.) for the principal building, as shown on the proposed site layout shown on Schedule A;
 - (d) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum south side yard setback is reduced from 7.5 metres (25 ft.) to 2.0 metres (7 ft.) for the principal building, as shown on the proposed site layout shown on Schedule A; and
 - (e) In Section H. Off-Street Parking and Loading/Unloading of Part 22 Multiple Residential 30 Zone (RM-30), the requirement for parking spaces to be enclosed and attached to the dwelling unit is varied to allow one unenclosed tandem parking space for each unit with a tandem parking arrangement, as shown on the proposed site layout shown on Schedule A.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan



SITE RECONCILIATION

LEGAL DESCRIPTION: LOT C SECTION 26 TOWNSHIP 2 NWD PLAN 15650		SETBACKS (BUILDING FACE):		REQUIRED:	PROPOSED:
CIVIC ADDRESS: 8679 - 158 STREET		NORTH	7.5m	7.5m	5.4m
ZONING INFORMATION:		SOUTH	7.5m	7.5m	2.0m
ZONE:	EXISTING: R1 PROPOSED: RMA-30	EAST	7.5m	7.5m	4.5m
LOT AREA:	30,599 sf = 0.7015 ac (0.284ha)	WEST	7.5m	7.5m	5.9m
LOT DENSITY:	PERMITTED: 30 UPA x 0.7015 Ac = 21.05 units PROPOSED: 19 units (27.1 UPA)	BUILDING HEIGHT:	PERMITTED: 13.0 m PROPOSED: 9.3m	AMENITY:	
FLOOR AREA RATIO:	PERMITTED: 0.9 MAXIMUM PROPOSED: 2,269 m ² / 2,839 m ² = 0.90	OUTDOOR:	REQUIRED: 19 UNITS / 3 m ² per unit = 57 m ² PROPOSED: 124 m ²	INDOOR:	REQUIRED: 19 UNITS / 3 m ² per unit = 57 m ² PROPOSED: 0 m ²
LOT COVERAGE:	ALLOWABLE: 45% MAXIMUM PROPOSED: 39.1 % (1,110 m ²)	PARKING:	REQUIRED: RESIDENT: 19 UNITS x 2 CARS/UNIT = 38 CARS VISITOR: 19 UNITS x 0.2 CARS/UNIT = 3.8 (4 CARS) PROPOSED: RESIDENT: 38 CARS VISITOR: 4 CARS		

OVERALL FLOOR AREA SUMMARY							
UNIT TYPE	UNIT #s	GARAGE	LOWER	MAIN	UPPER	UNIT TOTALS	SITE TOTALS (NOT INCL. GRADE)
A - 3 BED	11	267 sq ft	219 sq ft	602 sq ft	528 sq ft	1,249 sq ft	13,739 sq ft
A1 - 3 BED	2	270 sq ft	235 sq ft	514 sq ft	540 sq ft	1,289 sq ft	2,878 sq ft
B - 3 BED	6	270 sq ft	235 sq ft	645 sq ft	571 sq ft	1,351 sq ft	8,106 sq ft
TOTAL	19	807 sq ft					24,423 sq ft

LOT COVERAGE SUMMARY			
BUILDING	# OF UNITS	LOT COVERAGE	
BUILDING 1	5	3,089 sq ft	288.96 m ²
BUILDING 2	5	3,161 sq ft	293.86 m ²
BUILDING 3	4	2,588 sq ft	239.98 m ²
BUILDING 4	5	3,119 sq ft	289.76 m ²
TOTAL # OF UNITS	19	11,940 sq ft	1,110.05 m²

2014-02-08	PLANNING COMMENTS
2013-10-21	ISSUED FOR DEVELOPMENT PERMIT
REVISIONS	
CONSULTANT	

CLIENT
SORAJE HOLDINGS LTD.

PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT:

SUNNY LANE HOMES
8679 - 158 STREET SURREY, BC
SURREY FILE NO: -
DRAWING TITLE

SITE PLAN

DATE	2013.08.23	FILE NO.	
DWN.	msj/m		
CHK.	CH	1314	

SEAL SHEET NO.

SCHEDULE A
DP-1



SITE PLAN
SCALE: 1/16" = 1'-0"