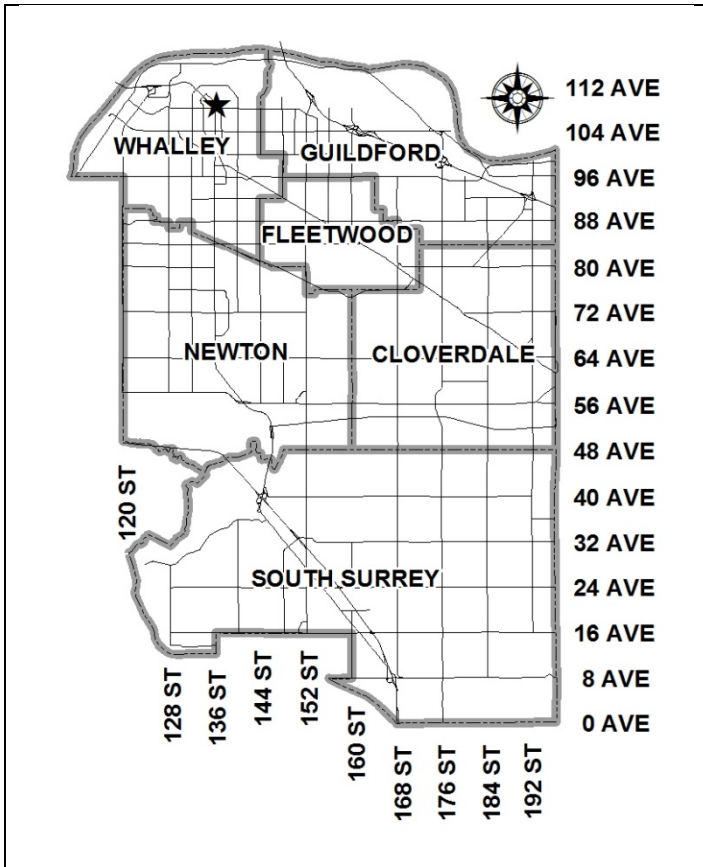


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0012-00

Planning Report Date: April 28, 2014

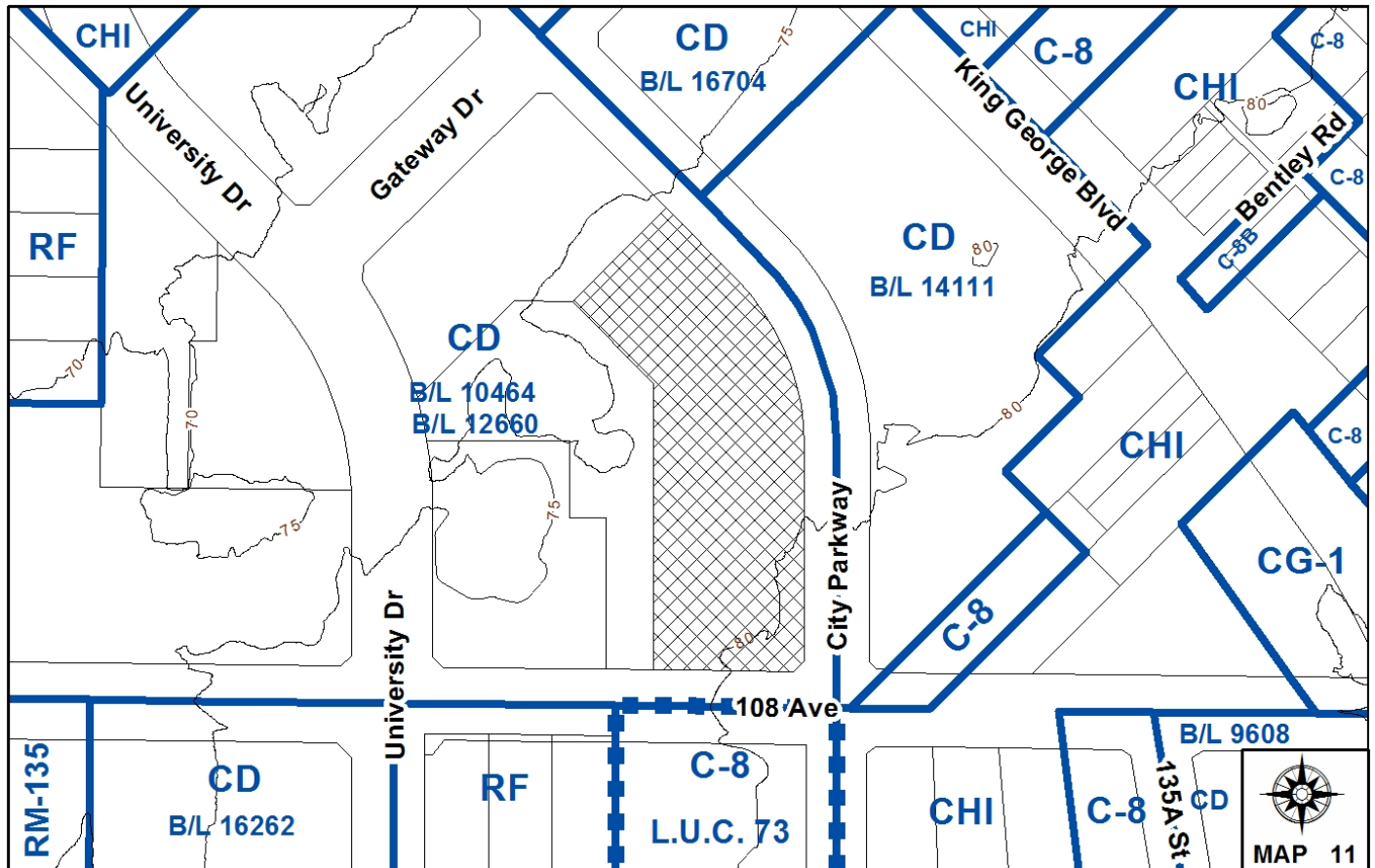


PROPOSAL:

- Development Permit
- Development Variance Permit

in order to permit the development of a 5-storey office/retail development.

LOCATION: 13479 - 108 Avenue
OWNER: Bosa Properties (Gateway-Comm) Inc.
ZONING: CD By-law No. 10464 amended by By-law No. 12660
OCP DESIGNATION: City Centre



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to vary site coverage, lot size and building height.

RATIONALE OF RECOMMENDATION

- Complies with the "City Centre" OCP Designation.
- The proposed density and building form are appropriate for this part of City Centre and generally consistent with CD By-law No. 10464 that was approved for the site in 1990 and amended in 1995 by By-law No. 12660.
- The proposed 5-storey office/retail development will allow for a further variety of land uses for the surrounding residents, as well as create a community hub.
- The proposed development will achieve a more urban, pedestrian streetscape in compliance with the City Centre Land Use Concept Plan.
- The proposed development will complement the Station Tower development and Gateway SkyTrain Station to the west, which were constructed in 1994.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7914-0012-00, generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7914-0012-00 (Appendix VII) varying the following provisions of CD By-law No. 10464 as amended by By-law No. 12660, to proceed to Public Notification:
 - (a) to vary Section D. Site Coverage, to increase the maximum site coverage from 90% to 96%;
 - (b) to vary Section E. Subdivision, to reduce the minimum lot size required for subdivision, from 2,000 square metres (0.5 acre) to 1,650 square metres (0.41 acre); and
 - (c) to vary Section F. Height of Buildings, to increase the maximum building height from 3 storeys (12 ft.) to 5 storeys (91 ft.).
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the Planning and Development Department;
 - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (e) submission of a final landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (g) the applicant to register a Restrictive Covenant to ensure that a permanent pedestrian connection is provided on the lot, between City Parkway and the privately-owned open space to the west.

REFERRALS

Engineering:	No objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix III.
Parks, Recreation & Culture:	No objection to the proposed development.
Surrey Fire Department:	No concerns with the proposed development.
Ministry of Environment (MOE):	A Site Profile has been submitted to the MOE and to the Site Registrar due to the former automotive-oriented and lumber storage operations off-site (to the east) on the parent parcel. The MOE has no objection to the processing of the application.

SITE CHARACTERISTICS

Existing Land Use: Vacant property, devoid of buildings, with some trees.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across City Parkway):	Existing 4-storey apartment buildings.	City Centre	CD By-law No. 16704 and CD By-law No. 14111
Northwest:	Vacant land.	City Centre	CD By-law No. 10464 as amended by By-law No. 12660
East (Across City Parkway):	Existing 4-storey apartment buildings.	City Centre	CD By-law No. 14111
South (Across 108 Avenue):	Existing single storey multi-tenant commercial building.	City Centre	LUC No. 73 (C-8 underlying)
West:	Publically accessible privately-owned open space area, existing 19-storey office tower (Station Tower) and Gateway SkyTrain Station.	City Centre	CD By-law No. 10464 as amended by By-law No. 12660

DEVELOPMENT CONSIDERATIONS

- The 7,325-square metre (1.8-acre) site is located at 13478 - 108 Avenue, in the City Centre area, to the immediate east of the Gateway SkyTrain Station. Once subdivided, the development site will be 5,672 square metres (1.4 acres) in size. Once the road dedication has been subtracted, the net development area is 5,506 square metres (1.36 acres).
- The site is zoned "Comprehensive Development Zone (CD)" (By-law No. 10464 as amended by By-law No. 12660). The site is designated "Mixed-Use 5.5 FAR" in the City Centre Land Use Concept Plan and is designated "City Centre" in the Official Community Plan (OCP).
- A continuation of the BC Parkway, a multi-use pathway that connects Vancouver to Surrey, is to be located along the eastern edge of this development site, parallel City Parkway.
- The applicant, Bosa Properties, has applied for a Development Permit, Development Variance Permit and subdivision, to allow for a 5-storey office/retail development, consisting of 12,573 sq.m. (135,329 sq.ft.) of commercial floor area, with at-grade retail and 4 floors of office space above.
- The proposed 2-lot subdivision will allow the remaining northern lot to be assembled with the vacant lot to the north (13450 Gateway Drive), which is also owned by the subject applicant/owner, for a future multiple residential development and thereby comply with the "Mixed-Use" designation.
- The proposed density of the development is a floor area ratio (FAR) of 2.3, which complies with the "Mixed-Use 5.5 FAR" land use designation of the City Centre Plan.
- The CD By-law that regulates the site permits a maximum FAR of 3.9.
- The applicant is proposing a development which will accommodate an urban format supermarket consisting of approximately 1,924 square metres (20,708 sq.ft.), a major chain drug store consisting of approximately 933 square metres (10,047 sq.ft.), a bank consisting of 328 square metres (3,529 sq.ft.), as well as two individual commercial retail units (CRUs) ranging from 157 square metres (1,689 sq.ft.) to 164 square metres (1,763 sq.ft.). Four floors of office space will be situated above the retail. A total of 12,573 sq.m. (135,329 sq.ft.) of commercial floor area is proposed.
- A Development Variance Permit is required to vary the CD By-law, to allow an increase in site coverage on the proposed southern lot, to allow for a new 1,650-square metre (0.41 acre) lot to be created which is less than the minimum 2,000-square metre (0.5 acre) size, and to allow an increase in building height (see By-law Variance section).
- Residents in the past have expressed a desire to have a direct pedestrian connection from City Parkway to the existing open space area further west. The applicant for this project proposes to accommodate this connection with a 1.8-metre (6 ft.) wide sidewalk along an internal driveway, at the north of the proposed commercial building, which will also serve as the main access to the underground parkade and truck loading and unloading area.

- The applicant has indicated that the proposed pedestrian connection will likely need to close, temporarily, when the future development to the north is under construction. A Restrictive Covenant will be registered on the northern portion of the site, to ensure a permanent pedestrian connection is incorporated.

Parking Requirements

- As per the parking requirements of Surrey Zoning By-law No. 12000, 71 parking spaces are required for the office component and 82 parking spaces are required for the retail component, for a total of 153 parking spaces.
- The applicant is proposing 107 parking spaces for the office component and 82 parking spaces for the retail component, for a total of 189 parking spaces. Of the total 189 parking spaces, 5 will be designated for disabled persons. The proposed office parking exceeds the Zoning By-law requirements, and the proposed parking for the retail component complies with the Zoning By-law requirements.
- As per the bicycle parking requirements of Surrey Zoning By-law No. 12000, 11 bicycle parking spaces are required for the development. The proposed development accommodates 31 bicycle parking spaces, which exceeds the Zoning By-law requirement.

PRE-NOTIFICATION

- Pre-notification letters were not required to be sent, as the application does not involve a rezoning but only a Development Permit and Development Variance Permit. A sign was required to be installed on the site as notification for the Development Permit and subdivision applications. Staff have received no comments except for one resident enquiring about the sales signage installed on site.

DESIGN PROPOSAL AND REVIEW

- The proposed building will be of a simple orthogonal shape for the ground level retail component, with a rectangular “floating” box on top consisting of the office component.
- The entry lobby to the office component of the building will be from 108 Avenue, with a shared entry lobby to the proposed supermarket and drug store from City Parkway. Two (2) commercial retail units (CRUs) are proposed, fronting 108 Avenue, with one CRU fronting City Parkway at the northeastern corner of the development.
- Showering and changing facilities for office employees are proposed at the mezzanine level above the office entry lobby.
- The material and colour palette will include concrete in light gray, with spandrel panels in green and blue. Glazing will be clear and blue in colour. Metal cladding will add accent colours to the building in red and brown. The canopy will be in a grey steel colour.
- An ivy wall is proposed to screen the majority of the west elevation, to assist in softening the expanse of wall facing the open space to the west.

- Mechanical equipment located on the roof will be screened with an oval shaped screen which is to create a visual contrast to the orthogonal shaped building below.
- Vehicular access to the development will be from a driveway located at the north end of the proposed commercial development. Access to the commercial loading, as well as the customer parking will be from this driveway.
- The driveway will be lined to the north with trees and a sidewalk, to allow for pedestrians to connect to the open space to the west.

TREE PRESERVATION AND REPLACEMENT (Appendix IV)

- Kelly Broome, ISA Certified Arborist of Van der Zalm and Associates Inc. prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Cherry	11	11	0
English Oak	1	1	0
Honey Locust	9	0	9
Katsura	3	3	0
Littleleaf Linden	10	5	5
Paper Birch	1	1	0
Pear-fruited	1	1	0
Sweetgum	10	10	0
Coniferous Trees			
Black Pine	3	3	0
Douglas Fir	1	1	0
Western Red Cedar	6	6	0
TOTAL	56	42	14
Total Replacement Trees Proposed (excluding boulevard trees)		31	
Total Retained and Replacement Trees		45	

- The Arborist Assessment states that there are a total of 56 protected trees on the site. There are no Alder or Cottonwood trees on-site. It was determined that 14 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees at a 2 to 1 replacement ratio. This will require a total of 84 replacement trees on the site. Since only 31 replacement trees can be accommodated on the site, the deficit of 53 replacement trees will require a cash-in-lieu payment of \$15,900, representing \$300 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.

- In addition to replacement trees, boulevard trees will be planted on 108 Avenue and City Parkway. This will be determined at the servicing agreement stage by the Engineering Department.
- The new trees on the site will consist of Katsura and Autumn Brilliance Serviceberry trees.
- In summary, a total of 45 trees are proposed to be retained or replaced on the site with a contribution of \$15,900 to the Green City Fund.

DISTRICT ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix V for location). The District Energy System consists of three primary components:
 - Community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - Distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".
- It should be noted that there may be an opportunity for the District Energy Utility to provide cooling, as well as heating, to the proposed development, should the appropriate agreements be reached between the District Energy Utility and the developer.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on January 16, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposed development is located within City Centre area. • The proposed development partially complies with the “Mixed-Use 5.5 FAR” designation in the City Centre land use plan. A residential component is planned under a future separate phase.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed development complies within the maximum density of 5.5 FAR. • The proposed development does not include a mix of land uses, nor housing types or unit sizes. This first phase is a commercial component only.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development intends to incorporate Low Impact Development Standards (LIDS), such as cisterns/rain barrels, swales/rain gardens and dry swales. • The proposed development intends to provide for recycling pick-up.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The project intends to include electric vehicle plug-ins and secure bicycle parking. • The proposed development intends to provide: direct pedestrian linkages to transit stops, shower and change facilities and bike racks/lockers.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The design of the building has been “opened up” at the northeast corner to allow for more visibility. • A 1.8 m (6 ft.) wide sidewalk will be constructed along the north side of the north driveway.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The project will be seeking the Leed Gold equivalency.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • N/A

ADVISORY DESIGN PANEL (Appendix VII)

Date: March 13, 2014 and April 10, 2014

The majority of the ADP recommendations have been addressed, except for the following, which the applicant has agreed to complete, prior to consideration of final approval:

- Completion of the outstanding ADP recommendations.
- Show the detail to resolve the interface between the proposed commercial building and the entrance to the open space at the southwest corner of the site.

- Incorporating a lighting scheme for the open space where the location of the proposed building has reduced visibility to the open space from the street and the surrounding areas. Consider the policing aspects for access and visual surveillance for police and emergency vehicles.
- Reviewing the slope of the driveway with a civil engineer. The slope should only start ramping down from the edge of the statutory right-of-way at City Parkway.
- Completion of outstanding landscape comments.
- Showing specific details of proposed commercial signage.

BY-LAW VARIANCES AND JUSTIFICATION (Appendix VII)

(a) Requested Variance:

- To vary Section D. Site Coverage of CD By-law No. 10464 as amended by By-law No. 12660, to increase the maximum site coverage from 90% to 96%.

Applicant's Reasons:

- To achieve efficient space planning, the building footprint area has been maximized within the limitation of the building setback from the property line.
- The sidewalks and vehicle driveway have been covered with a reasonable amount of paving materials to ensure a quality pedestrian experience.
- Since the total gross site area was reduced by the road dedication, the total percentage of the site coverage increases.

Staff Comments:

- The increase in site coverage is nominal and, therefore, staff support the proposed variance.

(b) Requested Variance:

- To vary Section E. Subdivision of CD By-law No. 10464 as amended by By-law No. 12660, to reduce the minimum lot size required for subdivision, from 2,000 square metres (0.44 acre) to 1,650 square metres (0.41 acre).

Applicant's Reasons:

- The site area of proposed Lot 8-A is more suitable to the commercial program of the development.
- Proposed Lot 8-B (the remainder lot) and Lot 7 (13450 Gateway Drive) will be consolidated for a future multiple residential development.

Staff Comments:

- Staff have no issue with the proposed reduced lot area for subdivision.

(c) Requested Variance:

- To vary Section F. Height of Buildings of CD By-law No. 10464 as amended by By-law No. 12660, to allow for an increase in building height from the maximum 3 storeys (12 ft.) to 5 storeys (91 ft.).

Applicant's Reasons:

- The increase in building height is to accommodate the feasibility of the commercial program of the development.

Staff Comments:

- Staff have no issue with the increased height, as the adjacent existing commercial building (Station Tower) to the west is 19 storeys (73 metres/240 ft.) in height.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	District Energy - Map of Service Area A
Appendix VI.	ADP Comments
Appendix VII.	Development Variance Permit No. 7914-0012-00

INFORMATION AVAILABLE ON FILE

- Traffic Impact Study prepared by Bunt and Associates, dated March 13, 2014.
- Complete Set of Architectural and Landscape Plans prepared by IBI/HB Architects and Van der Zalm and Associates, both dated April 16, 2014.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

PL/da

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Rob Elliott
 Bosa Properties (Gateway-Comm) Inc.
 Address: 1201, 838 - West Hastings Street
 Vancouver, BC V6C 0A6

 Tel: 604-299-1363

2. Properties involved in the Application
 - (a) Civic Address: 13479- 108 Avenue

 - (b) Civic Address: 13479 - 108 Avenue
 Owner: Bosa Properties (Gateway-Comm) Inc.
 PID: 017-716-977
 Lot 8 Section 15 Block 5 North Range 2 West New Westminister District Plan LMP3367

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No.7914-0012-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final approval of the Development Permit No. 7914-0012-00.

DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 10464 as amended by By-law No. 12660

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		5,672 sq.m.
Road Widening area		166 sq.m.
Undevelopable area		
Net Total		5,506 sq.m
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		68%
Paved & Hard Surfaced Areas		28%
Total Site Coverage	90%	96%*
SETBACKS (in metres)		
Front (108 Avenue)	2.0 m	2.7 m
Rear (North)	7.5 m	10.4 m
Side (West)	0 m	0.6 m
Flanking Side (City Parkway)	2.0 m	6.6 m
BUILDING HEIGHT (in metres/storeys)		
Principal	3 storeys	5 storeys*
Accessory		
NUMBER OF RESIDENTIAL UNITS	n/a	n/a
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential	n/a	n/a
FLOOR AREA: Commercial		
Retail		3,781.4 sq.m.
Office		6,240.4 sq.m.
Underground parkade with a roof over 0.8 m above existing grade		2,550.7 sq.m.
Total		12,573 sq.m.
FLOOR AREA: Industrial		n/a
FLOOR AREA: Institutional		n/a
TOTAL BUILDING FLOOR AREA	104,051 sq.m.	12,573 sq.m.

* **Seeking Variance.**

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	n/a	n/a
# of units/ha /# units/acre (net)	n/a	n/a
FAR (gross)		
FAR (net)	3.9 FAR for entire Block 1, including the Station Tower and future high rise residential	2.3 FAR
AMENITY SPACE (area in square metres)	n/a	n/a
Indoor		
Outdoor		
PARKING (number of stalls)		
Retail	82	82
Office	71	107
Industrial		n/a
Residential Bachelor + 1 Bedroom		n/a
2-Bed		
3-Bed		
Residential Visitors		n/a
Institutional		n/a
Total Number of Parking Spaces	153	189
Number of disabled stalls	2	5
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		0
Size of Tandem Parking Spaces width/length		n/a

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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GATEWAY

SUBMISSION FOR DEVELOPMENT PERMIT APPLICATION

APRIL 16, 2014

Sheet List Table

Sheet Number	Sheet Title
A0.00	COVER SHEET
A0.02	SURVEY
A0.10	SITE CONTEXT PLAN
A0.11	SITE CONTEXT PHOTOS 1
A0.12	SITE CONTEXT PHOTOS 2
A0.21	SHADOW STUDY (MARCH)
A0.22	SHADOW STUDY (JUNE)
A0.23	SHADOW STUDY (SEPTEMBER)
A0.24	SHADOW STUDY (DECEMBER)
A0.30	SITE ANALYSIS
A0.33	PROPERTY LINE DIAGRAM
A0.40	STATISTICS
A0.50	SIGNAGE
A0.60	MATERIAL PALETTE
A0.61	PRECEDENT IMAGES
A0.70	WINDOW OPENING PERCENTAGE
A1.00	SITE PLAN
A1.01	SITE PLAN WITH FUTURE DEVELOPMENT
A1.10	LEVEL P3
A1.11	LEVEL P2

A1.12	LEVEL P1 - LOADING
A1.13	LEVEL 1 COMMERCIAL
A1.14	LEVEL 1 MEZZANINE
A1.15	LEVEL 2 OFFICE
A1.16	LEVEL 3 OFFICE
A1.17	LEVEL 4 OFFICE
A1.18	LEVEL 5 OFFICE
A1.19	ROOF PLAN
A2.01	EAST ELEVATION
A2.02	SOUTH ELEVATION
A2.03	WEST ELEVATION
A2.04	NORTH ELEVATION
A3.01	SECTION A-A
A3.02	SECTION B-B
A8.00	3D VIEW- NO.1
A8.01	3D VIEW- NO.2
A8.02	3D VIEW- NO.3
A8.03	3D VIEW- NO.4
A8.04	3D VIEW- NO.5
A8.05	3D VIEW- NO.6
A8.06	3D VIEW- NO.7
A8.07	3D VIEW- NO.8

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NO.	DATE	DESCRIPTION
4	APR 16, 2014	RE-ISSUED FOR DP
3	APR 9, 2014	RE-ISSUED FOR ADR
2	MAR 6, 2014	ISSUED FOR ADR
1	JAN 15, 2014	ISSUED FOR DP

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

SEAL

SUB-CONSULTANT

PRIME CONSULTANT
 IBI GROUP
1155 West Beaver Creek
West Vancouver, BC V8V 3M9, Canada
Tel: 778-412-3100
Fax: 778-412-1000

PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO:	32004
DRAWN BY:	PF/CI SM/NZ
CHK'D BY:	MB
SCALE:	N/T/S
DATE:	APRIL 3, 2014

SHEET TITLE
COVER SHEET

SHEET NUMBER	REV.
A0.00	
1 OF 1	



CLIENT

BOSA
PROPERTIES

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NO.	DATE	DESCRIPTION
4	APR 18, 2014	RE-ISSUED FOR DP
3	APR 9, 2014	RE-ISSUED FOR ADP
2	MAR 6, 2014	ISSUED FOR ADP
1	JULY 15, 2014	ISSUED FOR DP

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

IBI

PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO: 32004

DRAWN BY: PFC/SB/NZ

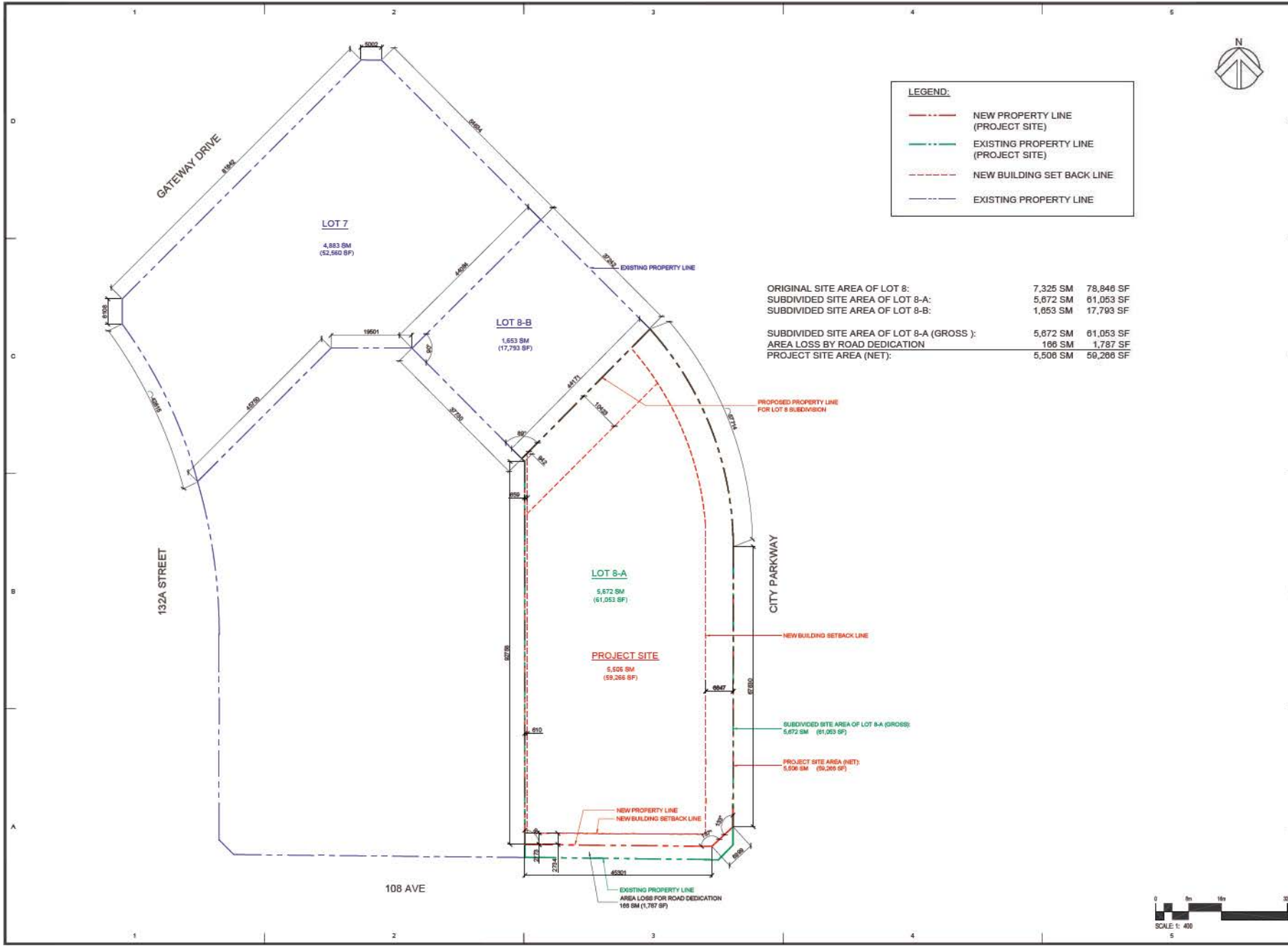
CHECKED BY: MB

SCALE: NTS

DATE: APRIL 9, 2014

SHEET TITLE
SITE CONTEXT PLAN

SHEET NUMBER	REV
A0.10	—
1 OF 1	



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4	APR 16, 2014	RE-ISSUED FOR SP
3	APR 3, 2014	RE-ISSUED FOR ADP
2	MAR 6, 2014	ISSUED FOR ADP
1	JAN 16, 2014	ISSUED FOR SP

REVISIONS:

NO.	DATE	APPR.	DESCRIPTION
-----	------	-------	-------------

IBI GROUP
IBI GROUP
100-1000 Pacific Street
Vancouver BC V6E 4R1 Canada
Tel: 604 683 8337
Fax: 604 683 8362

PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO.: 32004

DRAWN BY: PFC/SW/HZ

CHECKED BY: MB

SCALE: 1:400

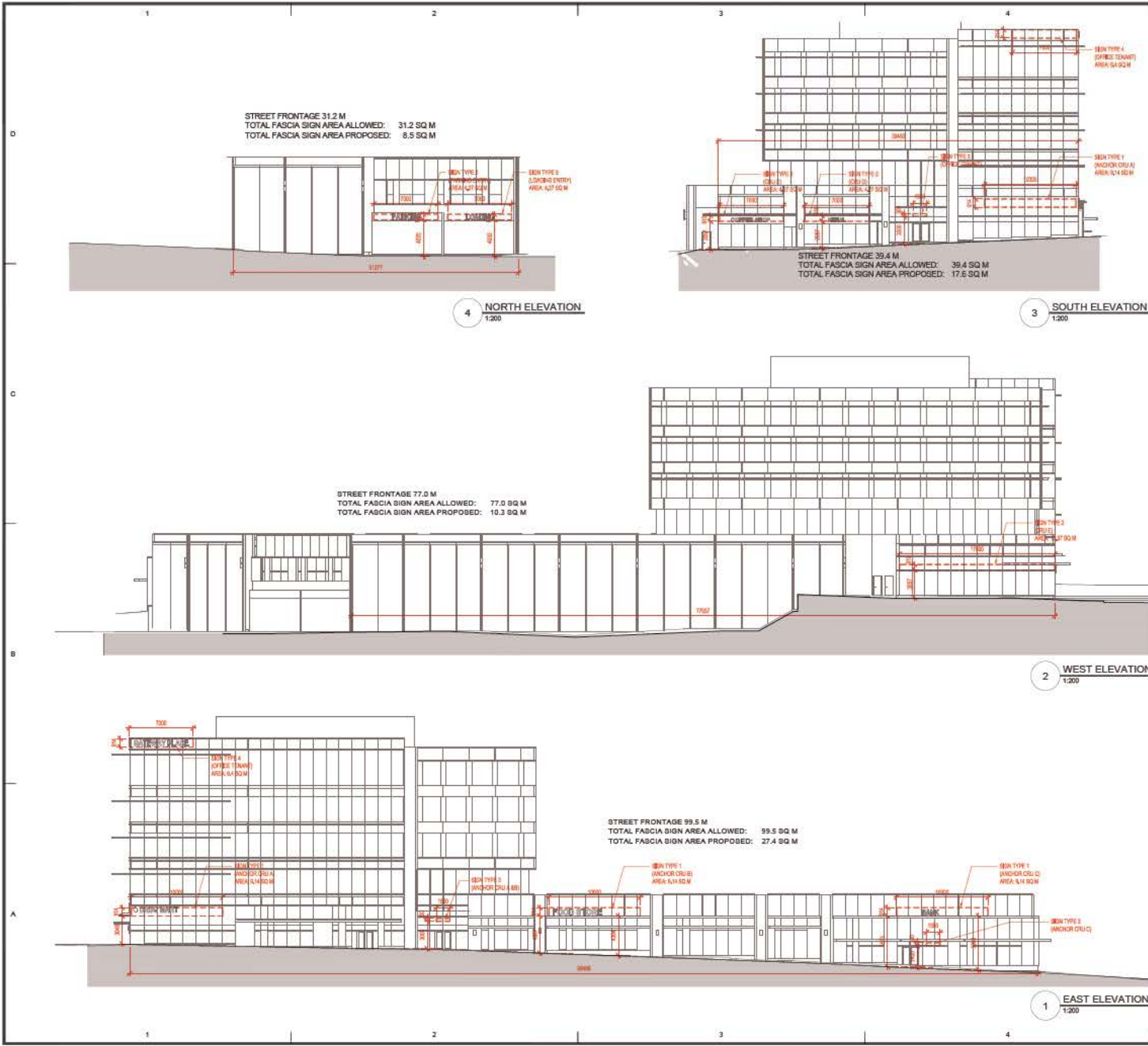
DATE: APRIL 3, 2014

SHEET TITLE
PROPERTY LINE
DIAGRAM

SHEET NUMBER
A0.33
1 OF 1



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SIGN GUIDELINES

THIS SIGN GUIDELINES WILL ENSURE THE DESIGN INTENT OF THE SIGNAGE IS MET BY NEW COMMERCIAL RETAIL TENANTS, AND THE OFFICE TENANT. IT DESCRIBES WHAT TYPES OF SIGNS ARE AVAILABLE FOR NEW TENANTS AND HOW TO INCORPORATE THEIR GRAPHICS AND CORPORATE IDENTITY INTO THE PREDETERMINED LOCATIONS ON THE BUILDING FACADE ALONG 106 AVE AND CITY PARKWAY. IT WILL ALSO ENSURE THAT SIGN PERMIT APPLICATIONS CAN BE COMPLETED WITHOUT CONFLICTS WITH THE CITY OF SURREY'S SIGN BYLAW

FABRICATION AND INSTALLATION

ANY EXPOSED WIRING OR CONDUIT IS NOT ALLOWED. ALL WIRES, CONDUCTORS, AND OTHER ELECTRICAL EQUIPMENT MUST BE CONCEALED WITHIN AN APPROVED RACEWAY OR WITHIN THE BUILDING WITH ACCESS FROM THE TENANT'S SPACE. ALL MEASUREMENTS ARE APPROXIMATE AND SHOULD BE VERIFIED BEFORE INSTALLATION OF SIGNAGE. ALL SIGNS NEED TO BE DESIGNED PROFESSIONALLY BY TRAINED DESIGNER AND ENGINEER CERTIFIED TO ENSURE PUBLIC SAFETY

SIGN TYPE LEGEND

- 1. ANCHOR TENANT FASCIA SIGN**
INDIVIDUAL INTERNALLY LIT LETTERS.
514 MM (3'-0") MAX. OVERALL HEIGHT.
762 MM (2'-6") MAX. LOGO HEIGHT.
762 MM (2'-6") MAX. LETTER HEIGHT.
2 LINES MAX.
457 MM (1'-5") MAX. PROJECTED FROM THE BUILDING FACE
- 2. TENANT FASCIA SIGN**
INDIVIDUAL INTERNALLY LIT LETTERS.
762 MM (2'-6") MAX. OVERALL HEIGHT.
610 MM (2'-0") MAX. LOGO HEIGHT.
610 MM (2'-0") MAX. LETTER HEIGHT.
1 LINES MAX.
457 MM (1'-5") MAX. PROJECTED FROM THE BUILDING FACE
- 3. TENANT UNDER CANOPY SIGN**
INDIVIDUAL INTERNALLY LIT LETTERS.
300 MM (1'-0") MAX. OVERALL HEIGHT.
1500 MM (5'-0") MAX. OVERALL LENGTH.
2400 MM (8'-0") MIN. 3000MM (10'-0") MAX. HEIGHT
CLEARANCE FROM GRADE
MIN. 1200 MM (4'-0") MAX. 1800 MM (6'-0") PROJECTED FROM THE BUILDING FACE
- 4. OFFICE ROOF SIGN**
INDIVIDUAL INTERNALLY LIT LETTERS.
MOUNTED ON CURTAIN WALL. MULLIONS
514 MM (3'-0") MAX. LETTER AND LOGO HEIGHT
- 5. PARKING ENTRANCE FASCIA SIGN**
INDIVIDUAL INTERNALLY LIT LETTERS.
610 MM (2'-0") MAX. OVERALL HEIGHT W/ NO LOGO.

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DATE: 03/10/2014

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3	APR 3, 2014	RE-ISSUED FOR ADP
2	MAR 6, 2014	ISSUED FOR ADP
1	JAN 15, 2014	ISSUED FOR DP

NO. 1 DATE DESCRIPTION

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

DESIGNER
IBI GROUP

PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO.: 32004
DRAWN BY: PFC/SW/AZ
CHECKED BY: MB
SCALE: 1:200
DATE: APRIL 3, 2014

SHEET TITLE
SIGNAGE

SHEET NUMBER
A0.50
1 OF 1

MATERIAL LEGEND	
1 METAL SCREEN	BM# 2109-50- GRAY
2 LOW-E GLASS	CLEAR
3 LOW-E GLASS	BLUE
4 GLASS SPANDREL PANEL	BM# 2067-60- BLUE
5 GLASS SPANDREL PANEL	BM# 561- GREEN
6 IVY WALL	
7 METAL CLADDING PANEL	BM# 2103-10- BROWN

8 METAL CLADDING PANEL	BM-# 2087-10-RED
9 ARCHITECTURAL CONCRETE	BM#2108-50- LIGHT GRAY
10 SUNSHADE	BM# 2122-10- GRAY
11 CANOPY STEEL FRAME	BM-# 2122-10- GRAY
12 METAL DOOR	BM# 2109-50- LIGHT GRAY
13 EXTERIOR LIGHT FIXTURE	BM-#2122-10- GRAY
14 TWO SIDED GLASS SYSTEM	
15 CONVENTIONAL GLAZING SYSTEM	



8- METAL CLADDING PANEL
BM-#2087-10-RED



11- CANOPY STEEL FRAME
BM-#2122-10-GRAY



7- METAL CLADDING PANEL
BM-#2103-10- BROWN



2- LOW-E GLASS
CLEAR



3- LOW-E GLASS
BLUE



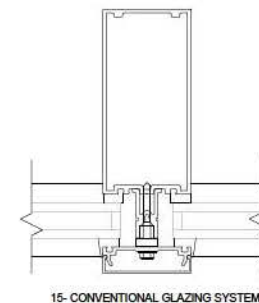
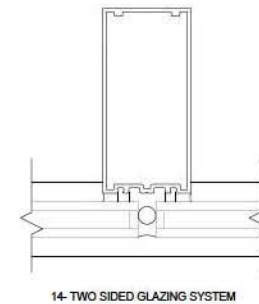
5- SPANDREL PANEL
BM-#561- GREEN



6- SPANDREL PANEL
BM-#2067-60-BLUE



9- ARCHITECTURAL CONCRETE
BM-#2108-50-LIGHT GRAY



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3	APR 9, 2014	RE-ISSUED FOR ACP
2	MAR 6, 2014	ISSUED FOR ACP
1	JAN 15, 2014	ISSUED FOR DP

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

SEAL

SUB-CONSULTANT

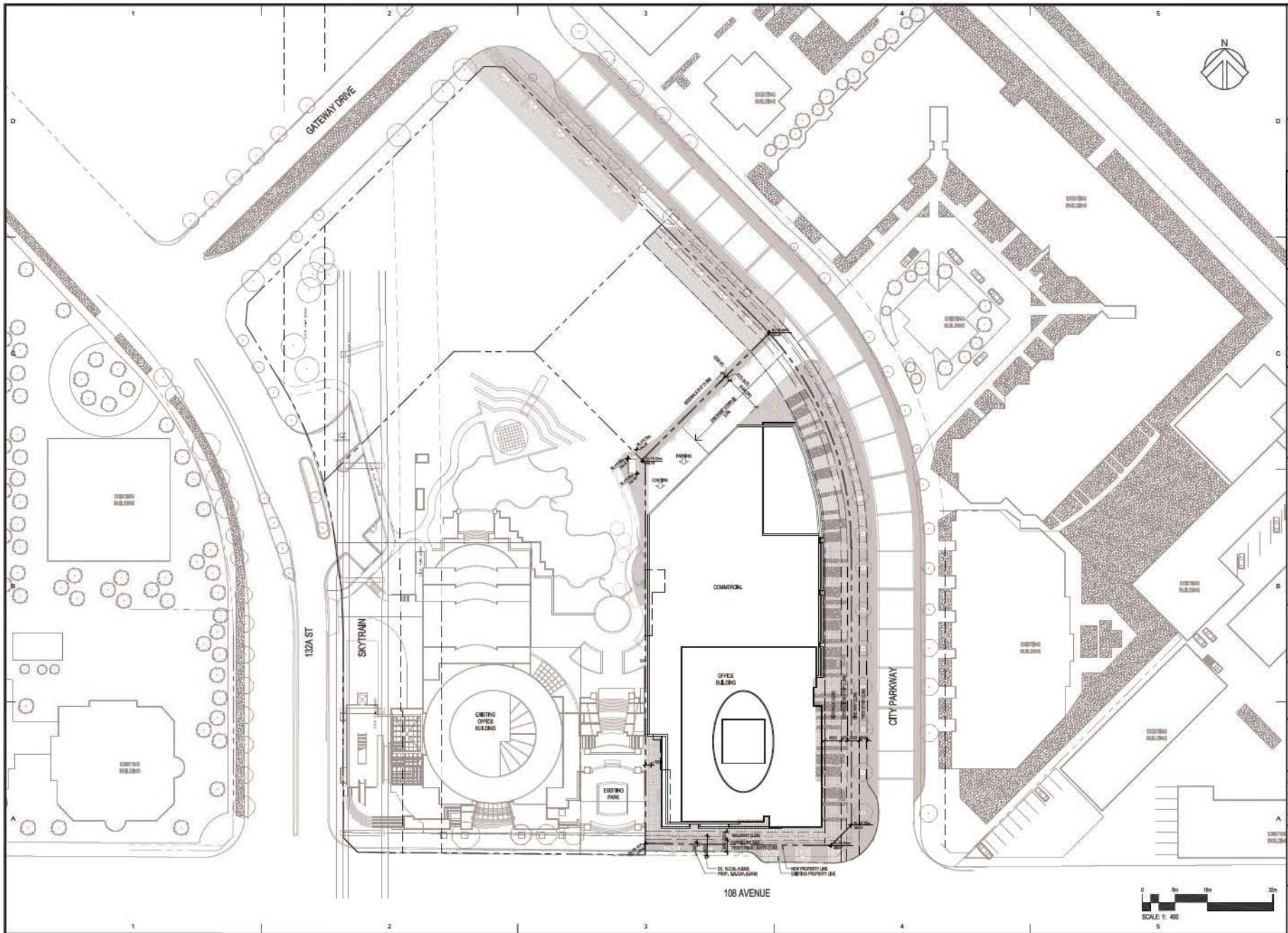
PRIME CONSULTANT
 IBI GROUP
 110 - 1100 West Beaver Street
 Richmond BC V6X 4E1 Canada
 TEL: 604 273 0100
 WWW.IBIGROUP.COM

PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO: 32004
 DRAWN BY: PFC/SM/NZ
 CHECKED BY: MB
 SCALE: NTS
 DATE: APRIL 3, 2014

SHEET TITLE
MATERIAL PALETTE

SHEET NUMBER	REV:
A0.60	---
1 OF 1	



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1	JAN 15, 2014	ISSUED FOR SP

REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP
 1888 Avondale
 130 - 1300 Street Street
 Vancouver BC V6E 4B7 Canada
 TEL: 604 261 8822
 WWW.IBIGROUP.COM

PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO.: S2004

DRAWN BY: PFC/SW/HZ

CHECKED BY: MB

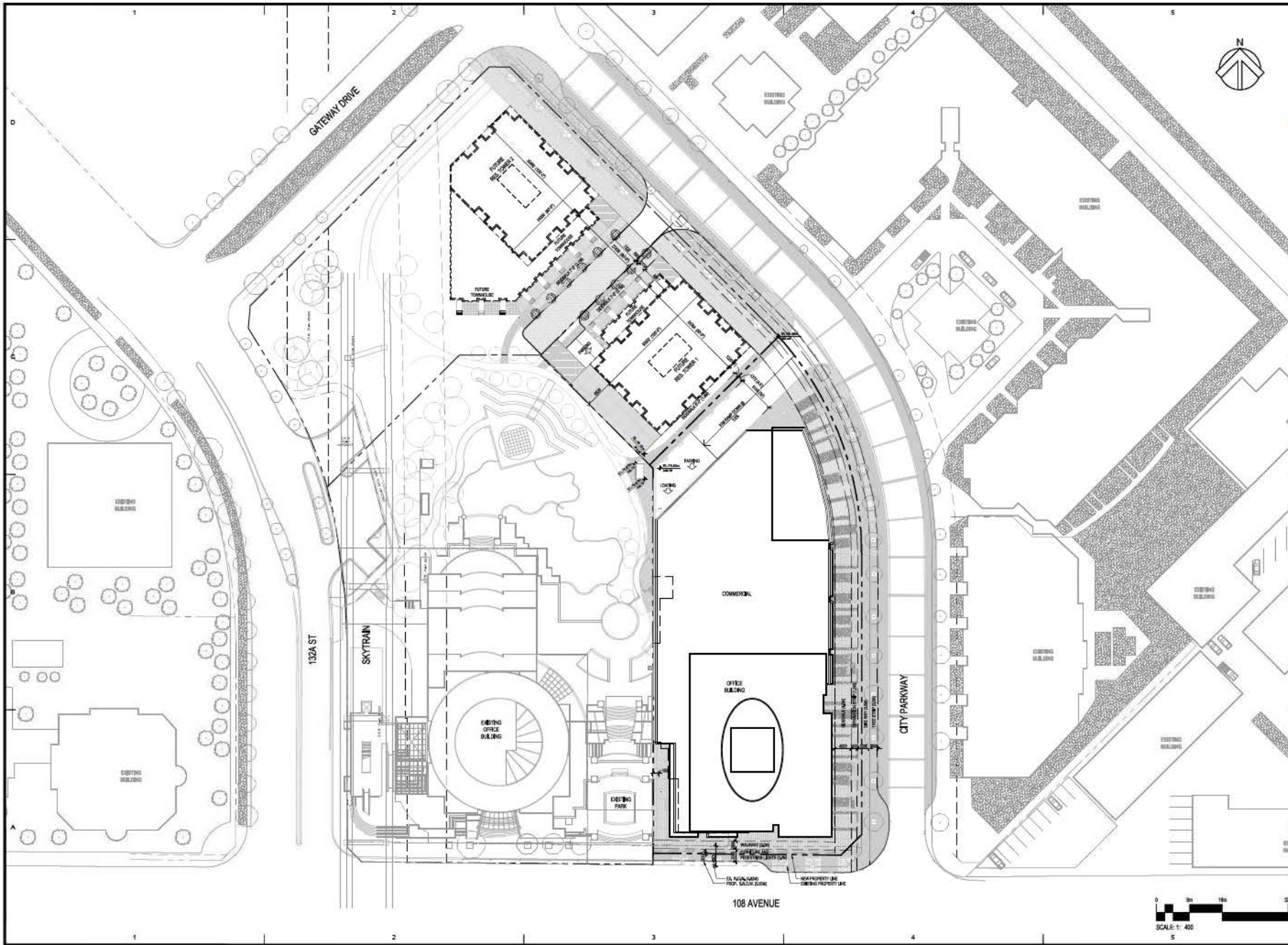
SCALE: 1:400

DATE: APRIL 3, 2014

SHEET TITLE
SITE PLAN

SHEET NUMBER
A1.00
 1 OF 1

REV: _____



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1	JAN 15, 2014	ISSUED FOR DP
NO.	DATE	DESCRIPTION

NO.	DATE	APPR	DESCRIPTION
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REVISIONS:

NO.	DATE	APPR	DESCRIPTION
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SCALE:

PRIME CONSULTANT:
 IBI GROUP
 1201-1200 Fraser Street
 Vancouver BC V6A 4K7 Canada
 Tel: 604 683 6707
 Fax: 604 683 6700

PROJECT TITLE:
GATEWAY
 Surrey, BC

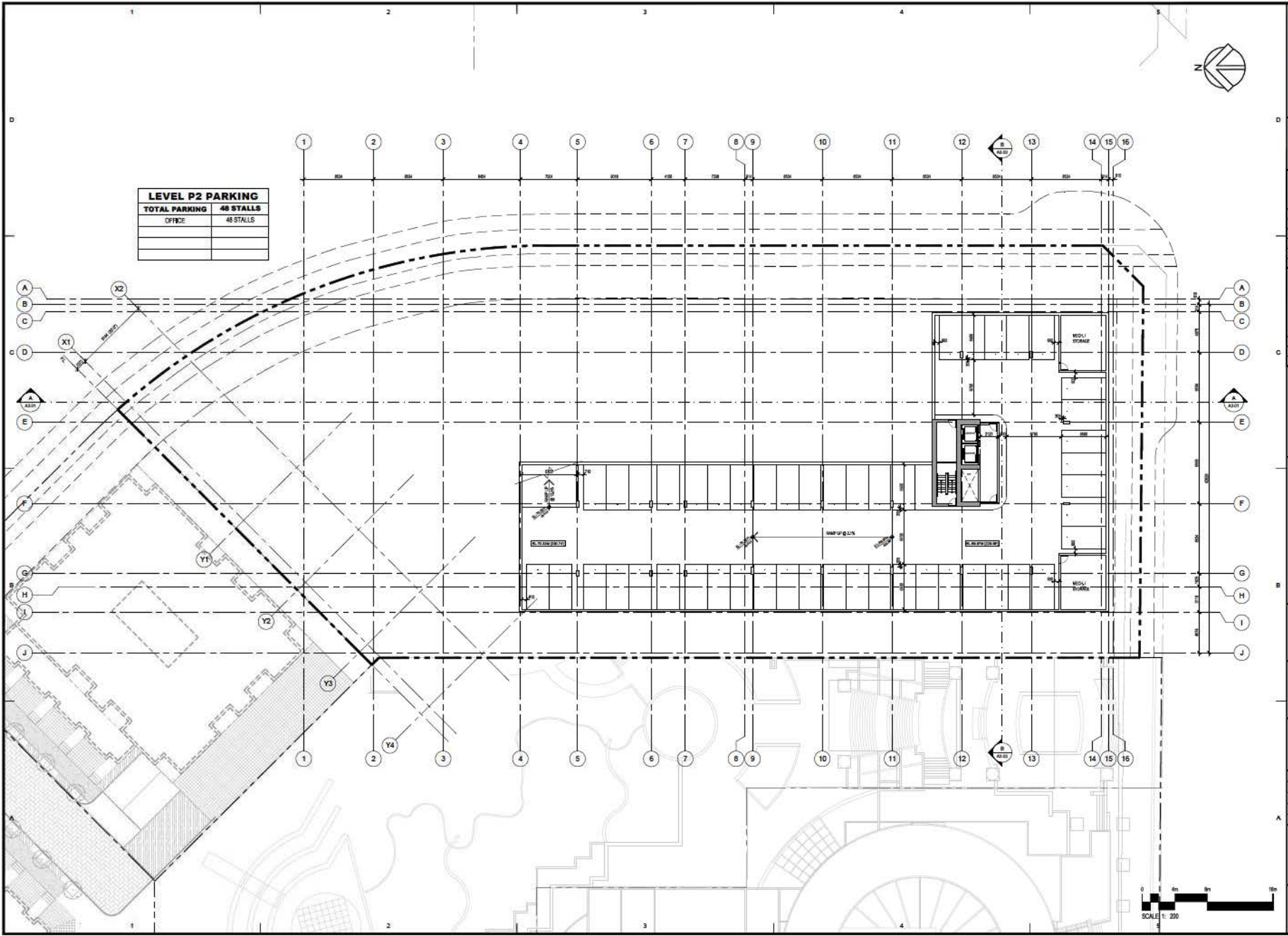
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DATE: APRIL 9, 2014

SHEET TITLE:
SITE PLAN WITH FUTURE DEVELOPMENT

SHEET NUMBER	REV.
A1.01	1



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 Plot Title: GATEWAY
 Plot User: PFC/SAM/IZ



LEVEL P2 PARKING	
TOTAL PARKING	48 STALLS
OFFICE	48 STALLS

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2	MAR 6, 2014	ISSUED FOR ACP
1	JAN 16, 2014	ISSUED FOR DP

ISSUES

NO.	DATE	APPR	DESCRIPTION

REVISIONS

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

IBI

PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO: 32004

DRAWN BY: PFC/SW/NZ

CHECKED BY: MB

SCALE: 1:200

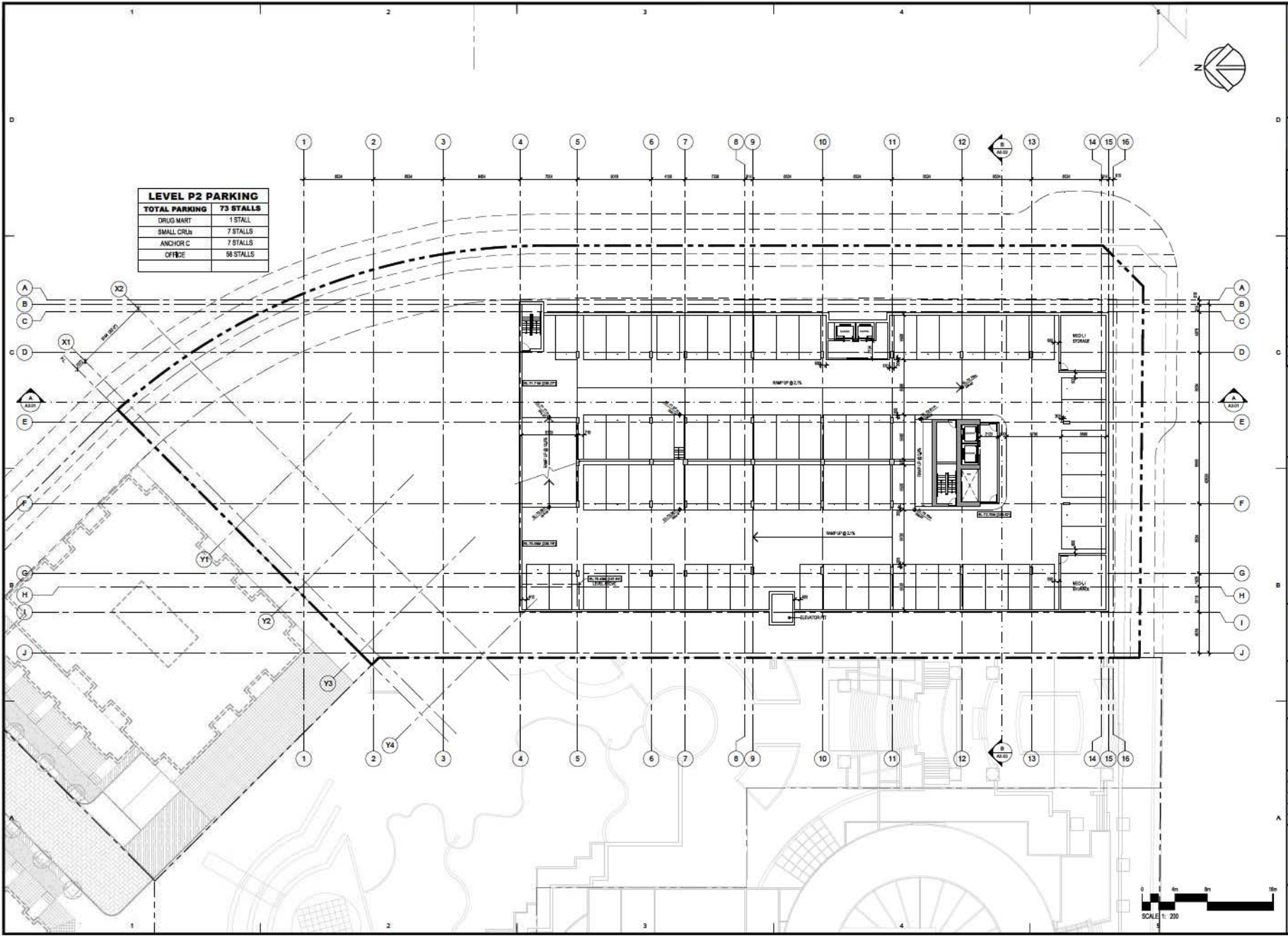
DATE: APRIL 3, 2014

SHEET TITLE
LEVEL P3

SHEET NUMBER: **A1.10**

REV: 1 OF 1

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 Plot User: PFC/SW/NZ



LEVEL P2 PARKING	
TOTAL PARKING	73 STALLS
DRUG MART	1 STALL
SMALL CARS	7 STALLS
ANCHOR C	7 STALLS
OFFICE	58 STALLS

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2	MAR 6, 2014	ISSUED FOR ACP
1	JAN 16, 2014	ISSUED FOR DP

ISSUES

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

IBI

PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO: 32004

DRAWN BY: PFC/SW/NZ

CHECKED BY: MB

SCALE: 1:200

DATE: APRIL 3, 2014

SHEET TITLE
LEVEL P2

SHEET NUMBER
A1.11

REV: _____

1 OF 1



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2	MAR 6, 2014	ISSUED FOR ACP
1	JAN 15, 2014	ISSUED FOR DP

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

PRIME CONSULTANT

IBI

IBI GROUP Inc.
100-1000 West Beaver Street
Vancouver, BC V6B 4Y1 Canada
Tel: 604 833 5700
Fax: 604 833 5940

PROJECT TITLE

GATEWAY
Surrey, BC

PROJECT NO: 32004
DRAWN BY: PFC/SW/NZ
CHECKED BY: MB
SCALE: 1:200
DATE: APRIL 3, 2014

SHEET TITLE

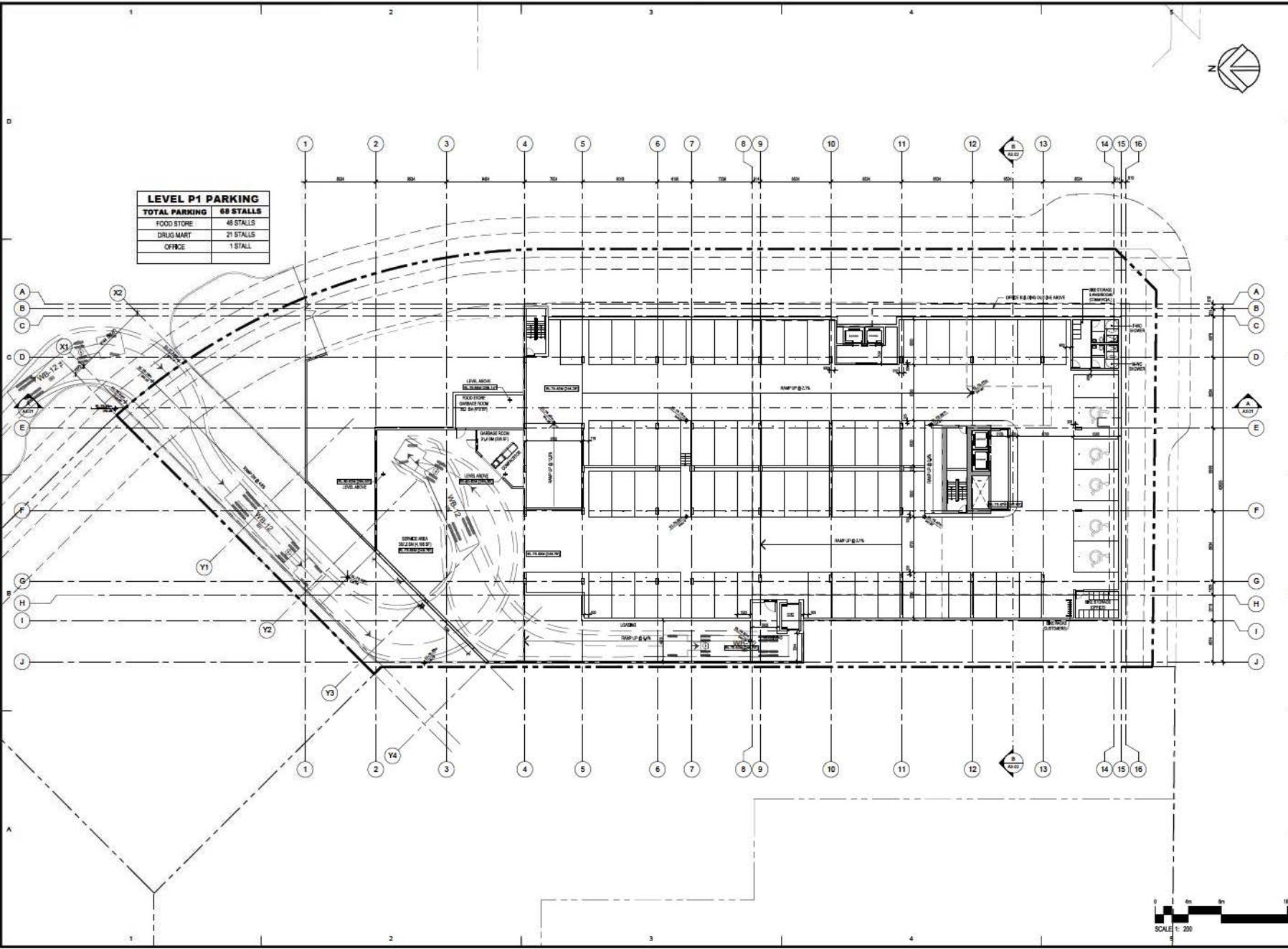
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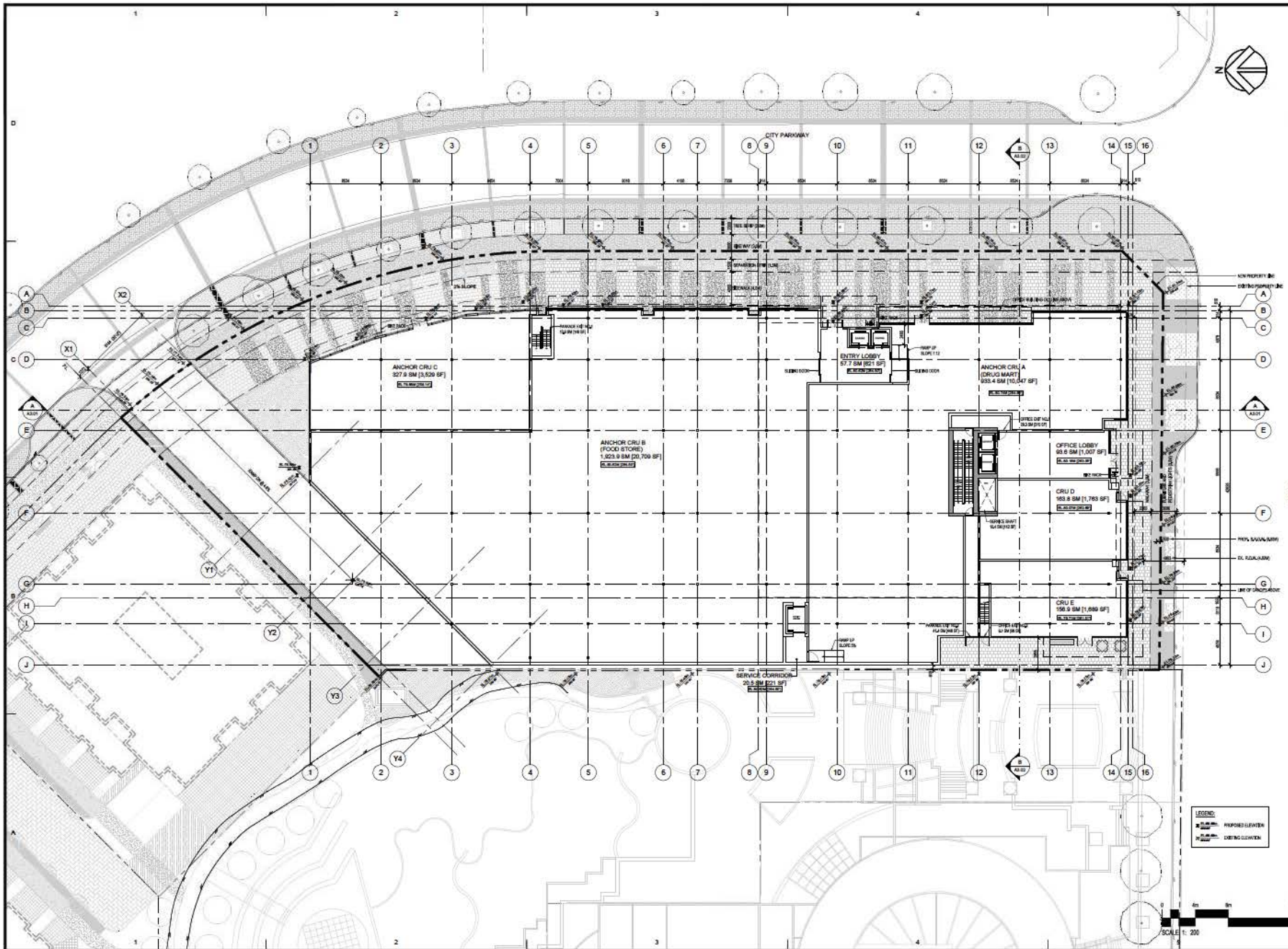
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A1.12

1 OF 1

LEVEL P1 PARKING	
TOTAL PARKING	68 STALLS
FOOD STORE	46 STALLS
DRUG MART	21 STALLS
OFFICE	1 STALL

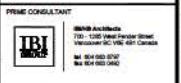




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1	JAN 15, 2014	ISSUED FOR DP

NO.	DATE	APPR	DESCRIPTION
REVISIONS			



PROJECT TITLE
GATEWAY
 Surrey, BC

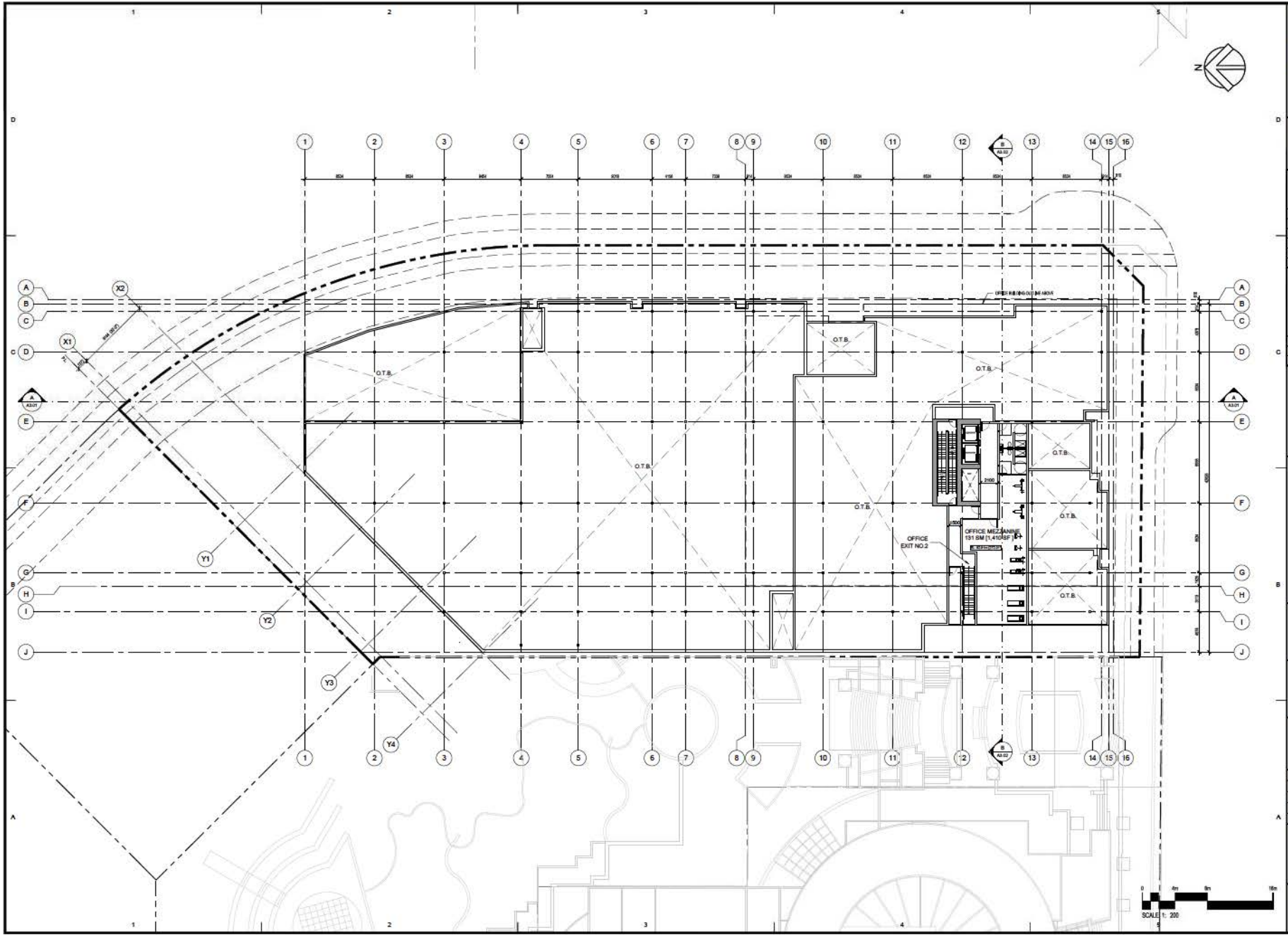
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DRAWN BY: PFC/SM/NZ
CHECKED BY: MB
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DATE: APRIL 3, 2014
SHEET TITLE
LEVEL 1 COMMERCIAL

SHEET NUMBER	REV
A1.13	

LEGEND:
 ■ PROPOSED ELEVATION
 ▨ EXISTING ELEVATION



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NO.	DATE	DESCRIPTION
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1	JAN 15, 2014	ISSUED FOR DP

REVISIONS:

NO.	DATE	APPR	DESCRIPTION

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP
 170 - 1500 West Broadway Street
 Vancouver, BC V6J 4R1 CANADA
 TEL: 604 683 0202
 FAX: 604 683 0203

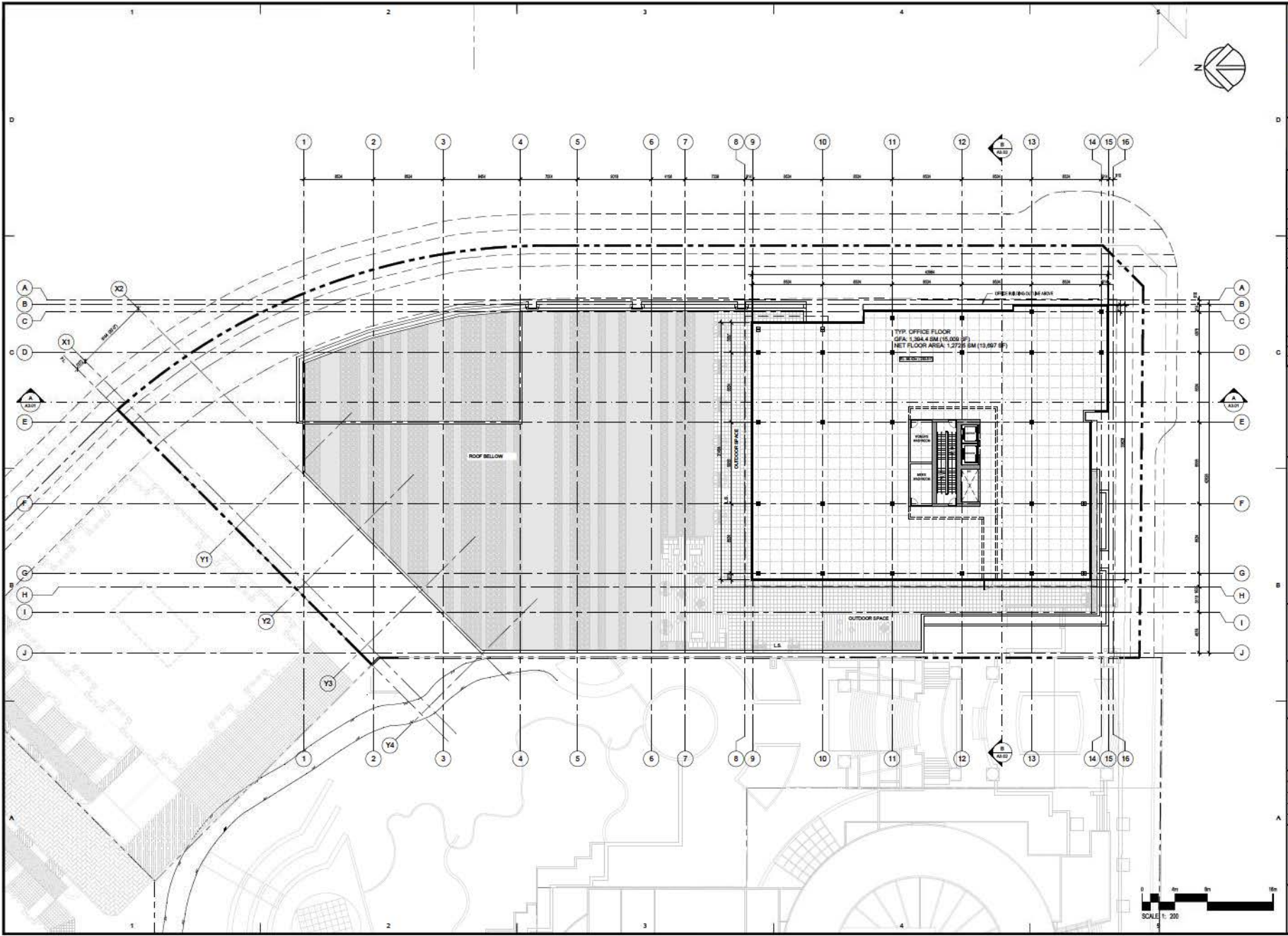
PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO: 32004
DRAWN BY: PFC/SW/NZ
CHECKED BY: MB
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DATE: APRIL 3, 2014

SHEET TITLE
LEVEL 1 MEZZANINE

SHEET NUMBER
A1.14
 1 OF 1

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1	JAN 16, 2014	ISSUED FOR DP

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

SCALE

SUB-CONSULTANT

PRIME CONSULTANT

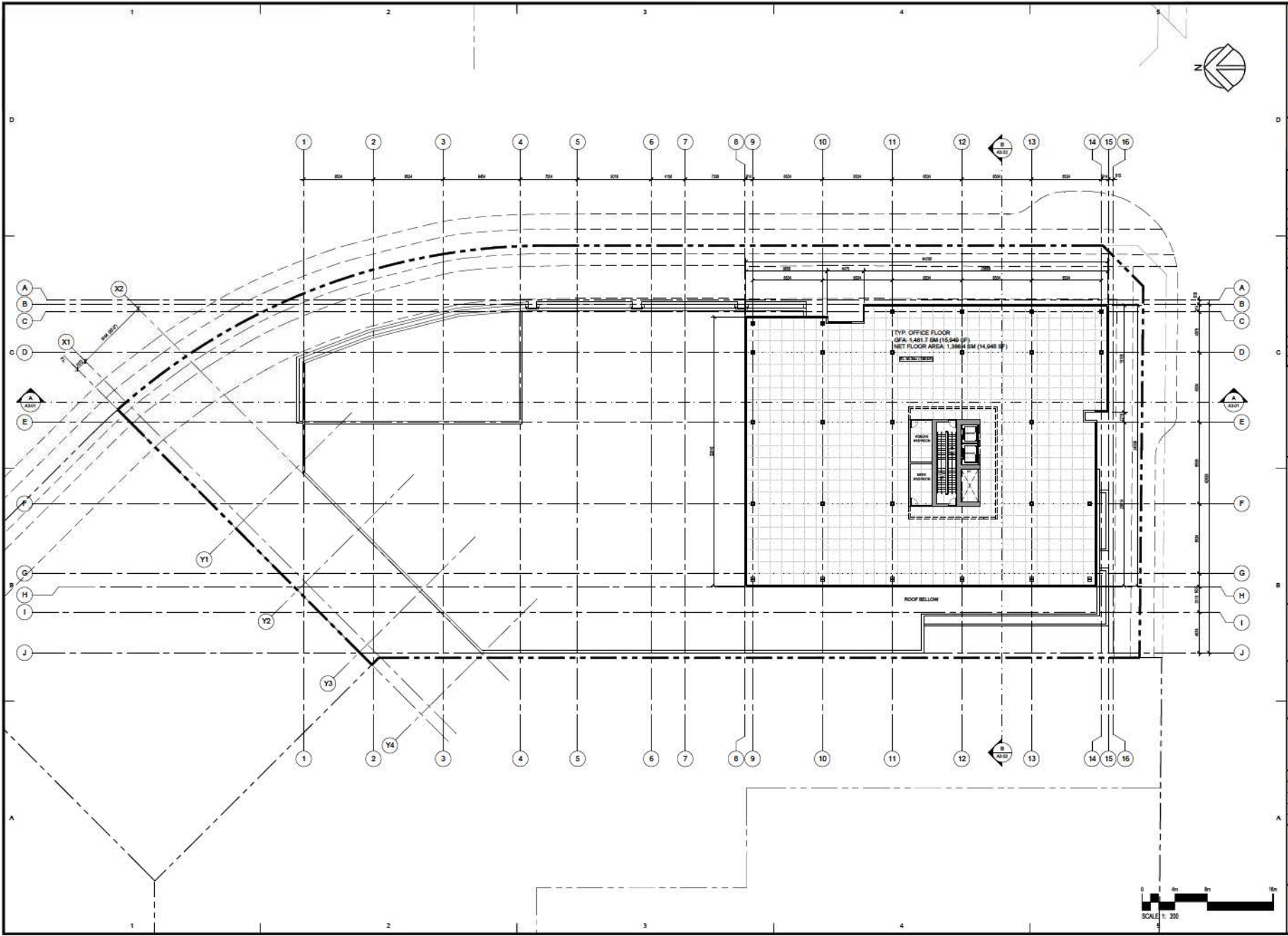
 170 - 1500 West Beaver Street
 Richmond BC V6X 4E1 Canada
 Tel: 604 883 0200
 Fax: 604 883 0202

PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO: 32004
 DRAWN BY: PFC/SW/NZ
 CHECKED BY: MB
 SCALE: 1:200
 DATE: APRIL 3, 2014

SHEET TITLE
LEVEL 2 OFFICE

SHEET NUMBER	REV:
A1.15	---
1 OF 1	



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REVISIONS

NO.	DATE	APPR.	DESCRIPTION
4	APR 16, 2014	RE-ISSUED FOR DP	
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2	MAR 6, 2014	ISSUED FOR ADP	
1	JULY 16, 2014	ISSUED FOR DP	

REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP
 1000 West Broadway Street
 Vancouver BC V6E 4E7 Canada
 Tel: 604 683 0200
 Fax: 604 683 0400

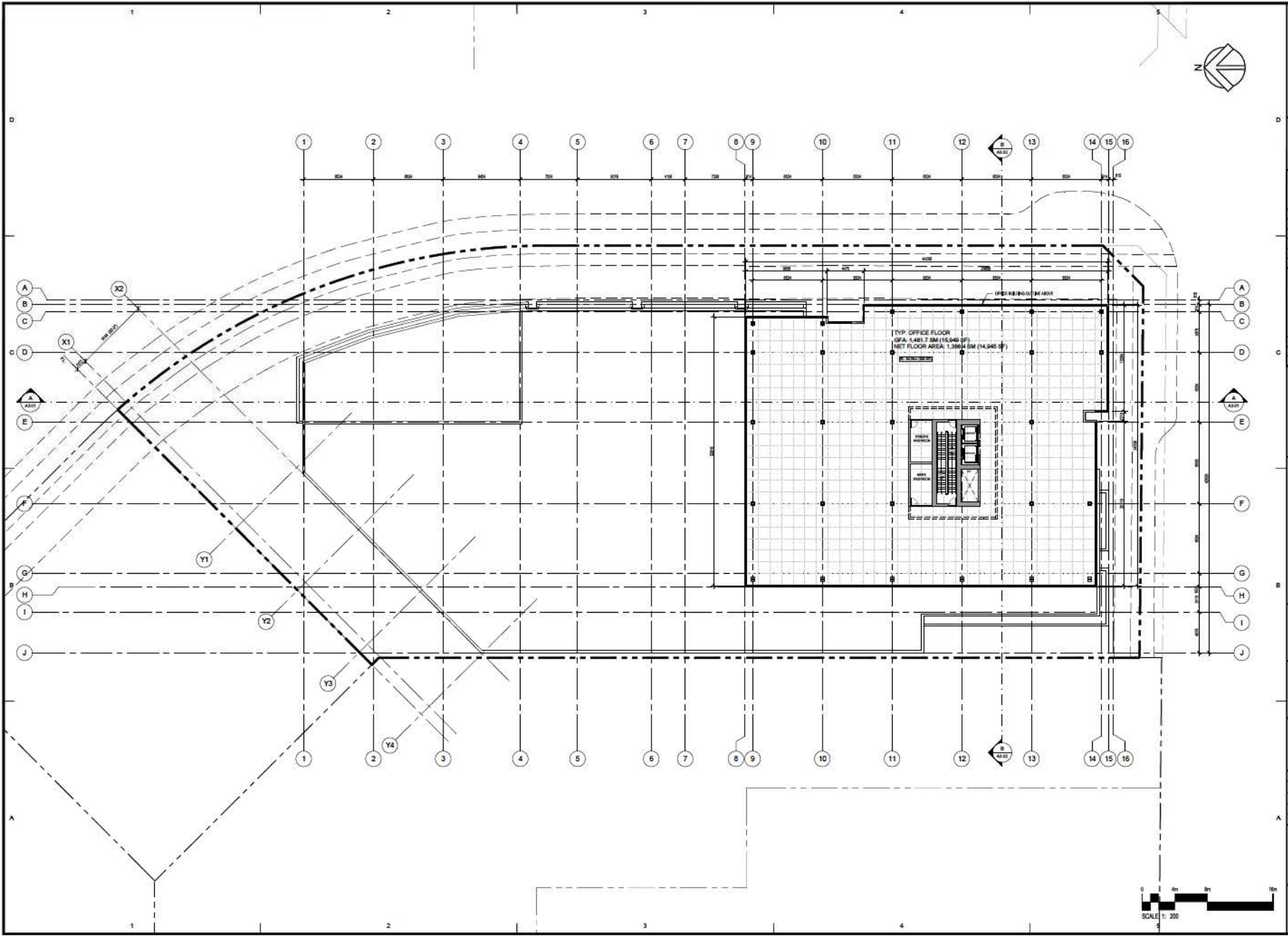
PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO.: 32004
DRAWN BY: PFC/SW/NZ
CHECKED BY: MB
SCALE: 1:200
DATE: APRIL 3, 2014

SHEET TITLE
LEVEL 3 OFFICE

SHEET NUMBER
A1.16
 1 OF 1

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 Plot Title: GATEWAY - Level 3 Office
 Plot User: PFC/SW/NZ



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3	APR 9, 2014	RE-ISSUED FOR ADP
2	MAR 6, 2014	ISSUED FOR ADP
1	JULY 16, 2014	ISSUED FOR DP

ISSUES

NO.	DATE	APPR	DESCRIPTION

REVISIONS

NO.	DATE	APPR	DESCRIPTION

SEAL

SUB-CONSULTANT



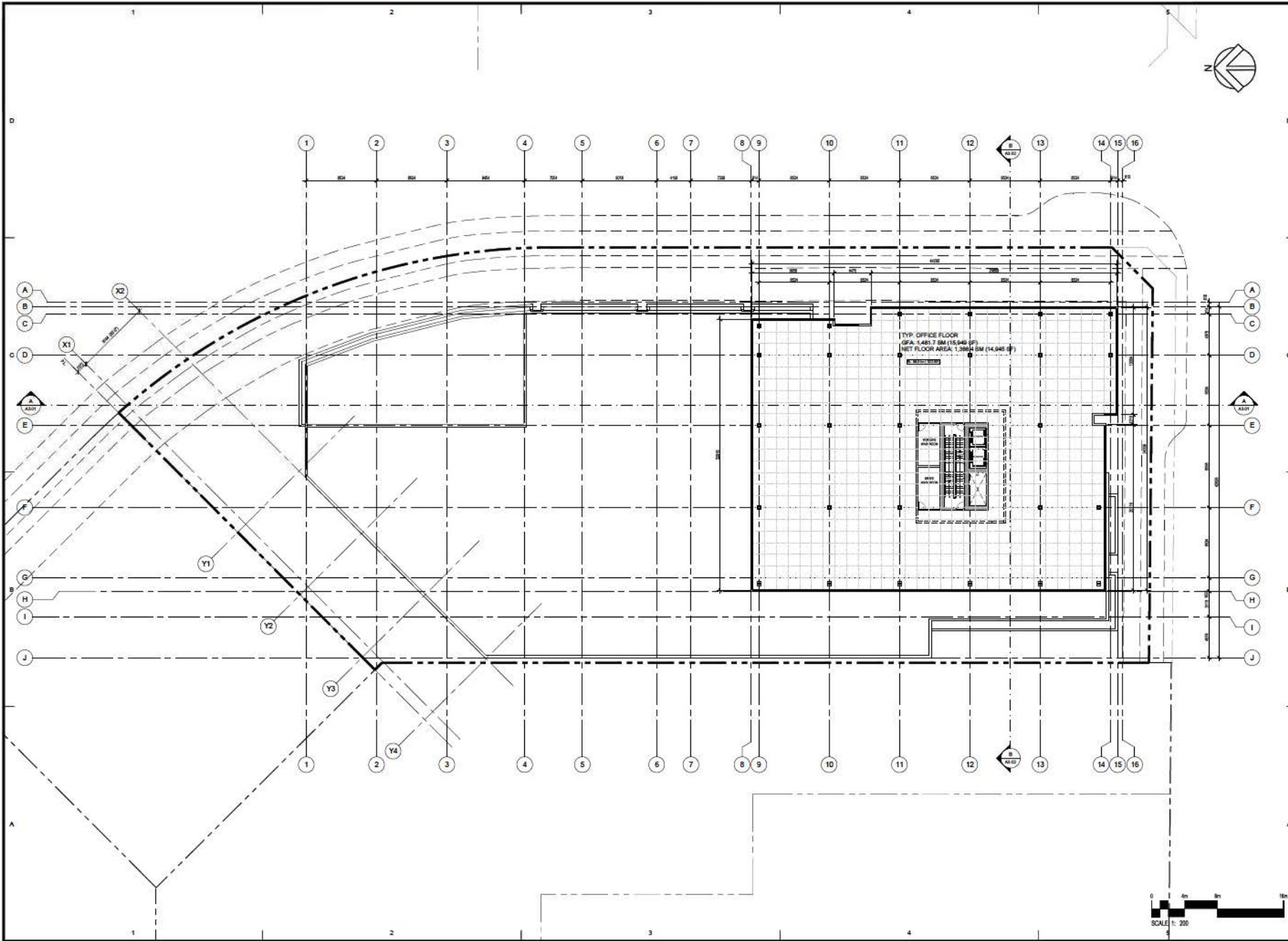
PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO: 32004
DRAWN BY: PFC/SM/NZ
CHECKED BY: MB
SCALE: 1:200
DATE: APRIL 9, 2014

SHEET TITLE
LEVEL 4 OFFICE

SHEET NUMBER
A1.17
1 OF 1

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4	APR 16, 2014	RE-ISSUED FOR DP
3	APR 9, 2014	RE-ISSUED FOR ADP
2	MAR 6, 2014	ISSUED FOR ADP
1	JAN 16, 2014	ISSUED FOR DP

NO.	DATE	APPR.	DESCRIPTION
REVISIONS			

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SUB-CONSULTANT

PRIME CONSULTANT

PROJECT TITLE
 GATEWAY
 Surrey, BC

PROJECT NO: 32004

DRAWN BY: PFC/SW/NZ

CHECK BY: MB

SCALE: 1:200

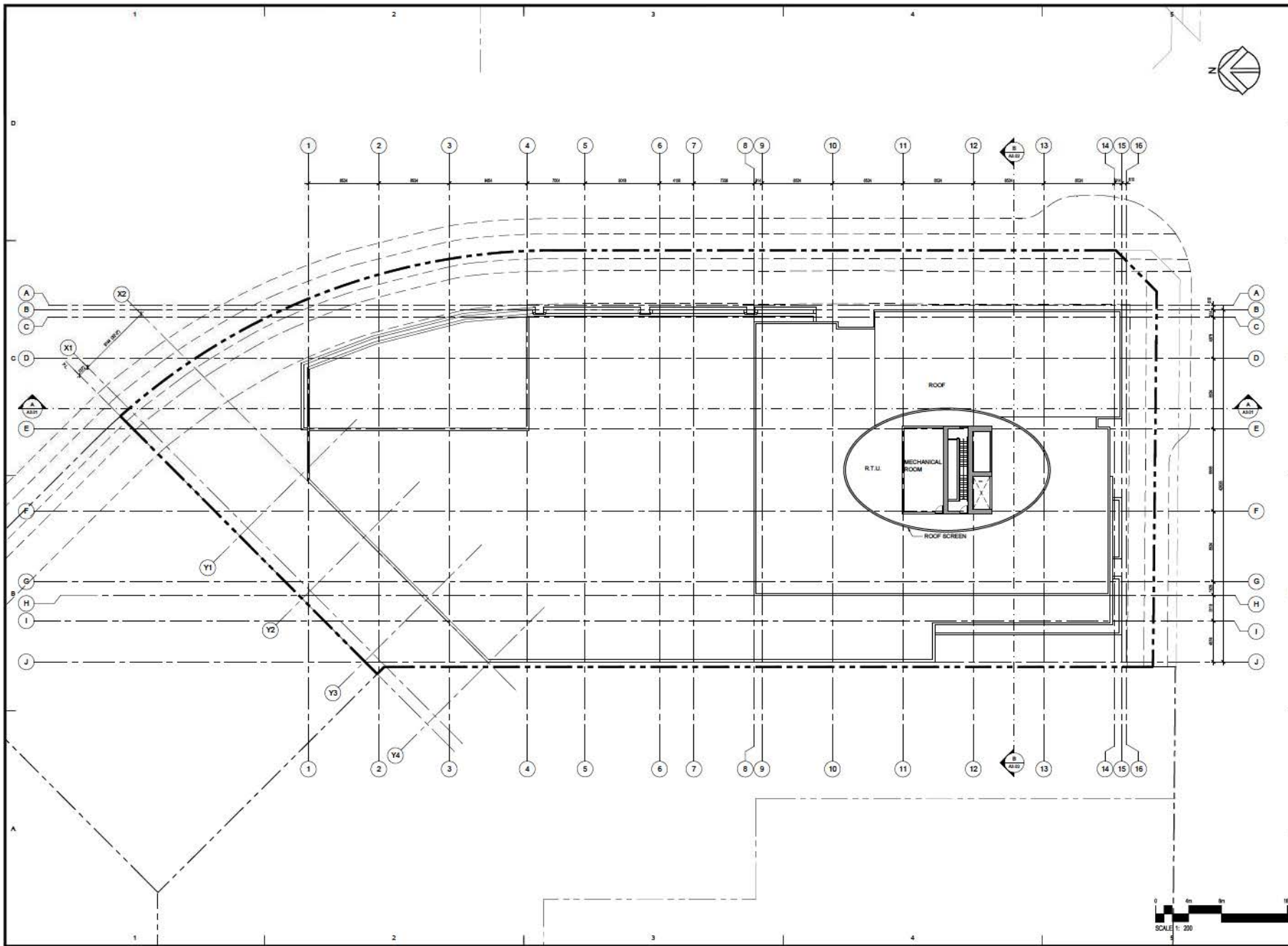
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SHEET TITLE
 LEVEL 5 OFFICE

SHEET NUMBER	REV:
A1.18	---

1 OF 1

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2	MAR 8, 2014	ISSUED FOR ADP
1	JAN 16, 2014	ISSUED FOR DP

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REVISIONS			

SCALE

SUB-CONSULTANT

PRIME CONSULTANT
IBI GROUP
 IBI Group Architects
 100 - 1330 West Fraser Street
 Vancouver BC V6E 4R1 Canada
 Tel: 604 683 0137
 Fax: 604 683 0140

PROJECT TITLE
GATEWAY
 Surrey, BC

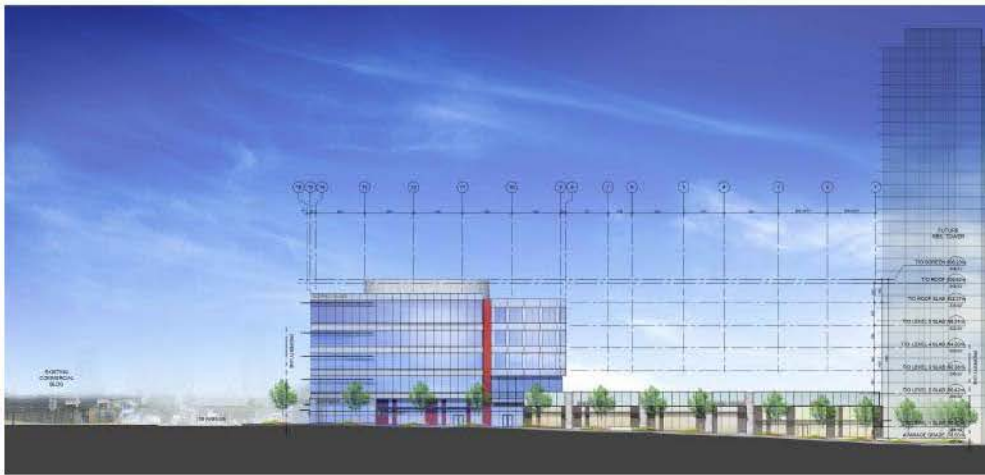
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 DATE: APRIL 9, 2014

ROOF PLAN

SHEET NUMBER	REV:
A1.19	---

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 100 - 1330 West Fraser Street
 Vancouver BC V6E 4R1 Canada
 Tel: 604 683 0137
 Fax: 604 683 0140



2 STREET SCAPE ELEVATION-EAST
1:400

MATERIAL LEGEND	
1 METAL SCREEN	BM-# 2108-50-GRAY
2 LOW-E GLASS	CLEAR
3 LOW-E GLASS	BLUE
4 GLASS SPANDREL PANEL	BM-# 2067-60-BLUE
5 GLASS SPANDREL PANEL	BM-# 561-GREEN
6 IVY WALL	
7 METAL CLADDING PANEL	BM-# 2103-10-BROWN
8 METAL CLADDING PANEL	BM-# 2087-10-RED
9 ARCHITECTURAL CONCRETE	BM-#2108-50-LIGHT GRAY
10 SUNSHADE	BM-# 2122-10-GRAY
11 CANOPY STEEL FRAME	BM-# 2122-10-GRAY
12 METAL DOOR	BM-# 2108-50-LIGHT GRAY
13 EXTERIOR LIGHT FIXTURE	BM-#2122-10-GRAY
14 TWO SIDED GLASS SYSTEM	
15 CONVENTIONAL GLAZING SYSTEM	



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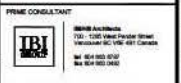
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NO.	DATE	APPR.	DESCRIPTION
REVISIONS			

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PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO: 32004
DRAWN BY: PFC/SM/NZ
CHECKED BY: MB
SCALE: AS NOTED
DATE: APRIL 3, 2014

SHEET TITLE
EAST ELEVATION

SHEET NUMBER
A2.01
1 OF 1



1 BUILDING ELEVATION-EAST
1:200

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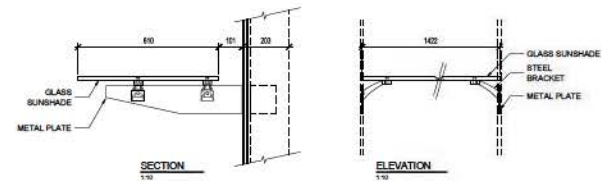


2 STREET SCAPE ELEVATION-SOUTH
1:400



1 BUILDING ELEVATION-SOUTH
1:200

MATERIAL LEGEND	
1 METAL SCREEN	BM-# 2108-50- GRAY
2 LOW-E GLASS	CLEAR
3 LOW-E GLASS	BLUE
4 GLASS SPANDREL PANEL	BM-# 2067-60- BLUE
5 GLASS SPANDREL PANEL	BM-# 561- GREEN
6 IVY WALL	
7 METAL CLADDING PANEL	BM-# 2103-10 BROWN
8 METAL CLADDING PANEL	BM-# 2087-10-RED
9 ARCHITECTURAL CONCRETE	BM-# 42108-50- LIGHT GRAY
10 SUNSHADE	BM-# 2122-10- GRAY
11 CANOPY STEEL FRAME	BM-# 2122-10- GRAY
12 METAL DOOR	BM-# 2108-50- LIGHT GRAY
13 EXTERIOR LIGHT FIXTURE	BM-# 42122-10- GRAY
14 TWO SIDED GLASS SYSTEM	
15 CONVENTIONAL GLAZING SYSTEM	



HORIZONTAL GLASS SUNSHADE



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NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	APPR.	DESCRIPTION

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PRIME CONSULTANT



PROJECT TITLE

GATEWAY
Surrey, BC

PROJECT NO: 32004

DRAWN BY: PFC/SM/NZ

CHECKED BY: MB

SCALE: AS NOTED

DATE: APRIL 3, 2014

SHEET TITLE

SOUTH ELEVATION

SHEET NUMBER

A2.02

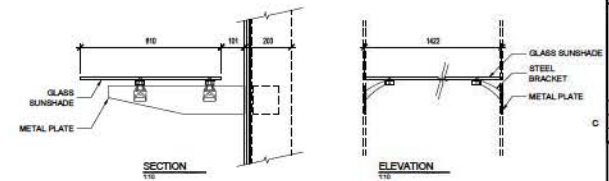
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1 OF 1



2 STREET SCAPE ELEVATION-WEST
1:400

MATERIAL LEGEND	
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2 LOW-E GLASS	CLEAR
3 LOW-E GLASS	BLUE
4 GLASS SPANREL PANEL	BM-# 2067-60- BLUE
5 GLASS SPANREL PANEL	BM-# 561- GREEN
6 IVY WALL	
7 METAL CLADDING PANEL	BM-# 2103-10 BROWN
8 METAL CLADDING PANEL	BM-# 2087-10- RED
9 ARCHITECTURAL CONCRETE	BM-#2108-50- LIGHT GRAY
10 SUNSHADE	BM-# 2122-10- GRAY
11 CANOPY STEEL FRAME	BM-# 2122-10- GRAY
12 METAL DOOR	BM-# 2108-50- LIGHT GRAY
13 EXTERIOR LIGHT FIXTURE	BM-#2122-10- GRAY
14 TWO SIDED GLASS SYSTEM	
15 CONVENTIONAL GLAZING SYSTEM	



HORIZONTAL GLASS SUNSHADE



1 BUILDING ELEVATION-WEST
1:200



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NO.	DATE	DESCRIPTION
REVISIONS		

NO.	DATE	APPROVAL	DESCRIPTION
REVISIONS			

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PROJECT TITLE
GATEWAY Surrey, BC

PROJECT NO.	DRAWN BY:	SCALE:	DATE:	SHEET TITLE
32004	PF/ SM/NZ	AS NOTED	APRIL 3, 2014	WEST ELEVATION

SHEET NUMBER	REV:
A2.03	



2 STREET SCAPE ELEVATION- NORTH
1:400

MATERIAL LEGEND	
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2 LOW-E GLASS	CLEAR
3 LOW-E GLASS	BLUE
4 GLASS SPANDREL PANEL	BM-# 2067-60- BLUE
5 GLASS SPANDREL PANEL	BM-# 561- GREEN
6 IVY WALL	
7 METAL CLADDING PANEL	BM-# 2103-10 BROWN
8 METAL CLADDING PANEL	BM-# 2087-10-RED
9 ARCHITECTURAL CONCRETE	BM-# 42108-50- LIGHT GRAY
10 SUNSHADE	BM-# 2122-10- GRAY
11 CANOPY STEEL FRAME	BM-# 2122-10- GRAY
12 METAL DOOR	BM-# 2108-50- LIGHT GRAY
13 EXTERIOR LIGHT FIXTURE	BM-# 42122-10- GRAY
14 TWO SIDED GLASS SYSTEM	
15 CONVENTIONAL GLAZING SYSTEM	



1 BUILDING ELEVATION- NORTH
1:200



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NO.	DATE	DESCRIPTION

REVISIONS

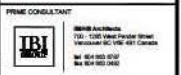
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SEAL

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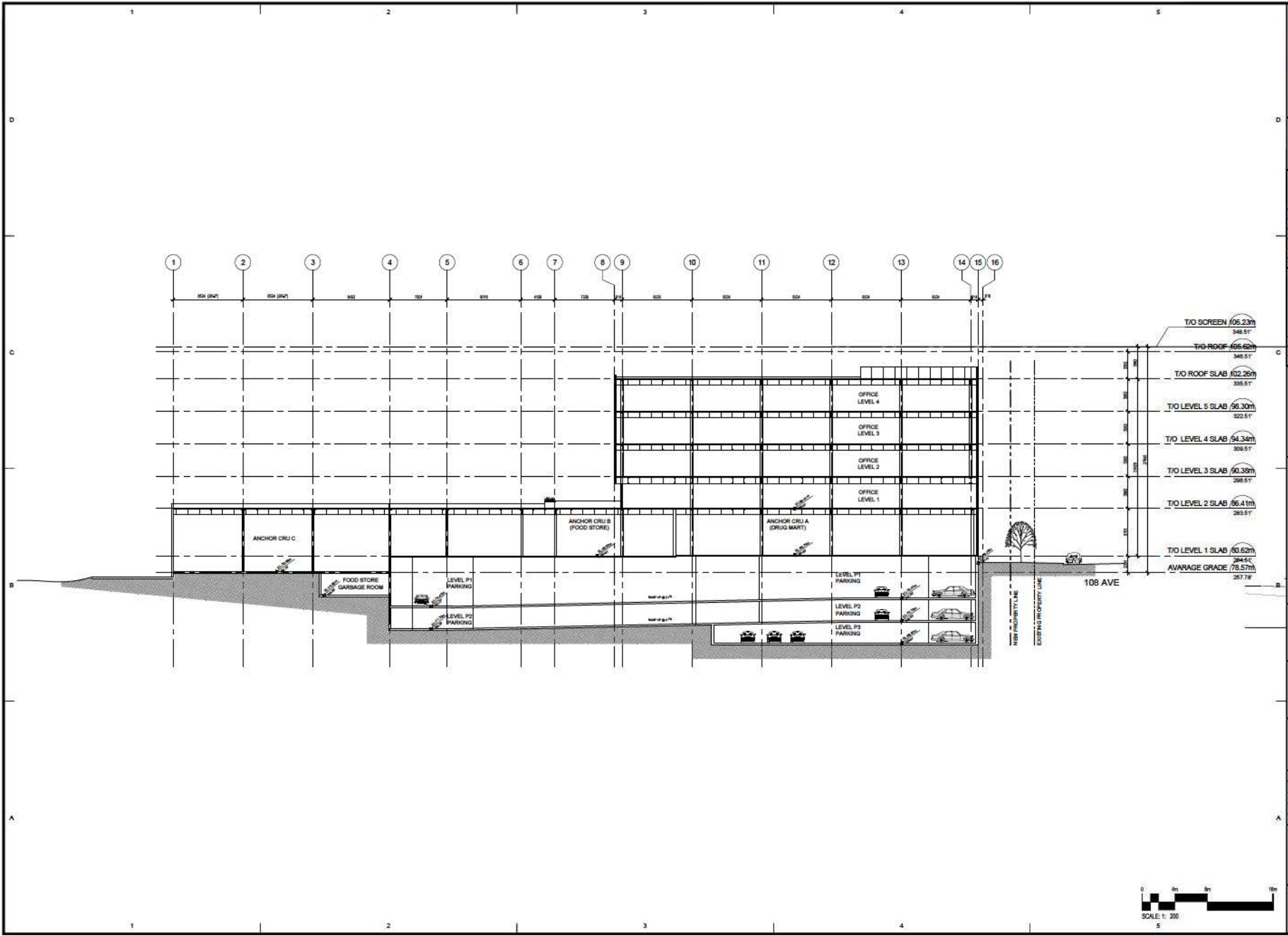
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Surrey, BC

PROJECT NO: 32004
DRAWN BY: PFC/ SM/NZ
CHECKED BY: MB
SCALE: AS NOTED
DATE: APRIL 9, 2014

SHEET TITLE
NORTH ELEVATION

SHEET NUMBER A2.04 1 OF 1	REV: _____
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NO.	DATE	APPR	DESCRIPTION

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PRIME CONSULTANT

IBI GROUP
 1000 West Broadway
 Vancouver, BC V6E 4K7 Canada
 Tel: 604 683 0202
 Fax: 604 683 0202

PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO: S2004

DRAWN BY: PFC/SM/NZ

CHKD BY: MS

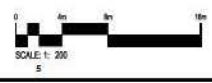
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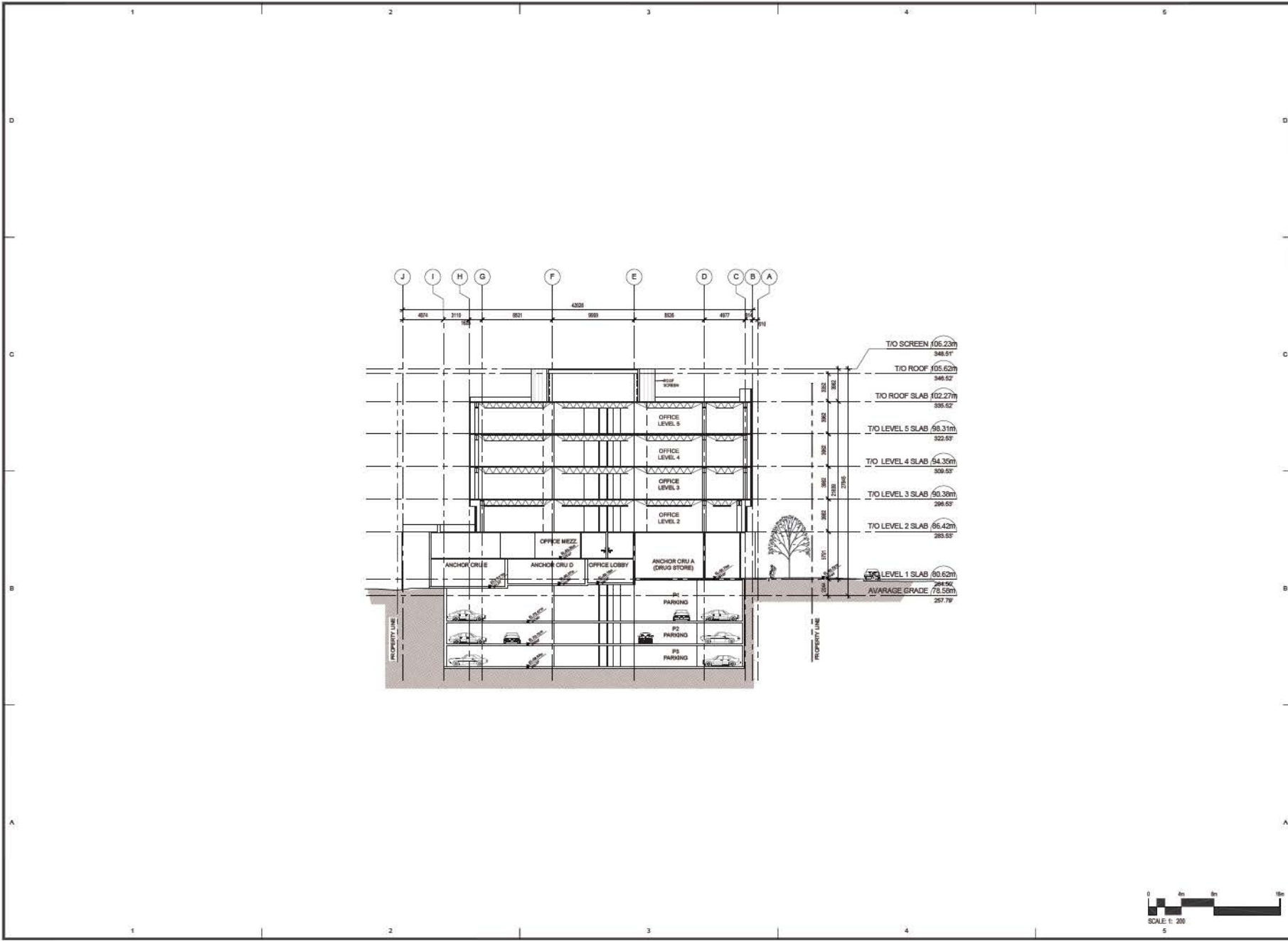
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SHEET NUMBER
A3.01
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1	JAN 15, 2014	ISSUED FOR CP
NO.	DATE	DESCRIPTION

REVISIONS:

NO.	DATE	APPR.	DESCRIPTION

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SUB-CONSULTANT

FIRM CONSULTANT

IBI GROUP
IBIGroup Architecture
133 - 133 Street Parker Street
Vancouver BC V6E 4R1 Canada
416 596 8817
416 596 8817

PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO.: S2004

DRAWN BY: PFC/SW/HZ

CHECKED BY: MB

SCALE: 1:200

DATE: APRIL 3, 2014

SHEET TITLE
SECTION B-B

SHEET NUMBER
A3.02

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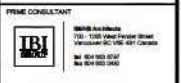
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NO.	DATE	DESCRIPTION

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NO.	DATE	APR	DESCRIPTION

REVISIONS			
NO.	DATE	APR	DESCRIPTION

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PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO. S2004
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 CHECKED BY: MB
 SCALE: NTS
 DATE: APRIL 3, 2014

SHEET TITLE
3D VIEW-NO.1

SHEET NUMBER	REV:
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1 OF 1	

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C

B

A

1

2

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NO.	DATE	APPR	DESCRIPTION

NO.	DATE	APPR	DESCRIPTION

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PRIME CONSULTANT
IBI GROUP

PROJECT TITLE
**GATEWAY
 Surrey, BC**

PROJECT NO: 32004
 DRAWN BY: PFC/SM/NZ
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 SCALE: NTS
 DATE: APRIL 3, 2014

SHEET TITLE
3D VIEW-NO.2

SHEET NUMBER	REV.
A9.01	
1 OF 1	

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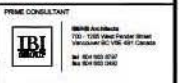
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1	JAN 15, 2014	ISSUED FOR DP
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REVISIONS			

NO.	DATE	APPR	DESCRIPTION
REVISIONS			

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PROJECT TITLE
 GATEWAY
 Surrey, BC

PROJECT NO. 32004
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CHECKED BY: MB
SCALE: NTS
DATE: APRIL 3, 2014

SHEET TITLE
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SHEET NUMBER A9.02	REV: ---
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2	MAR 6, 2014	ISSUED FOR ADP
1	JAN 15, 2014	ISSUED FOR DP

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NO.	DATE	APPR	DESCRIPTION
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REVISIONS			

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SUB-CONSULTANT



PROJECT TITLE
GATEWAY
Surrey, BC

PROJECT NO. 32004
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SHEET TITLE
3D VIEW-NO.4

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A9.03	---

1 OF 1



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REVISIONS

NO.	DATE	APPR	DESCRIPTION

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SUB-CONSULTANT



PROJECT TITLE
 GATEWAY
 Surrey, BC

PROJECT NO. 32004
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CHECKED BY: MB
SCALE: NTS
DATE: APRIL 3, 2014

SHEET TITLE
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SHEET NUMBER	REV:
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1	JAN 15, 2014	ISSUED FOR DP

NO.	DATE	DESCRIPTION

NO.	DATE	APPR	DESCRIPTION
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NO.	DATE	APPR	DESCRIPTION

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

 1000 West Beaver Creek
 Richmond BC V6X 3E9
 Tel: 604-273-8337
 Fax: 604-273-8338

PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO: 32004
 DRAWN BY: PFC/SM/NZ
 CHECKED BY: MB
 SCALE: NTS
 DATE: 14/02/16

SHEET TITLE
3D VIEW-NO.6

SHEET NUMBER	REV
A9.05	
1 OF 1	

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2 EXISTING STREET VIEW - SOUTHWEST



1 PROPOSED STREET VIEW - SOUTHWEST

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1	JAN 15, 2014	ISSUED FOR DP

NO.	DATE	DESCRIPTION

NO.	DATE	APPR.	DESCRIPTION

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PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO.: 32004
 DRAWN BY: PFC/SW/NZ
 CHECK BY: MB
 SCALE: NTS
 DATE: APRIL 3, 2014

SHEET TITLE
3D VIEW-NO.7

SHEET NUMBER: **A9.06**
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 Date: April 3, 2014
 Scale: NTS
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2 EXISTING STREET VIEW - EAST



1 PROPOSED STREET VIEW - EAST

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NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SEAL



SUB-CONSULTANT



PRIME CONSULTANT

IBI GROUP
 100-1100 West Beaver Creek Road
 Vancouver, BC V6E 4E9 Canada
 Tel: 604-883-8100
 Fax: 604-883-8102

PROJECT TITLE
GATEWAY
 Surrey, BC

PROJECT NO: 32004
 DRAWN BY: PFC/SAM/NZ
 CHECK BY: MB
 SCALE: NTS
 DATE: APRIL 3, 2014

SHEET TITLE
3D VIEW-NO.8

SHEET NUMBER
A9.07
 1 OF 1

I:\Projects\32004\3D Views\3D View-NO.8.dwg
 Date: 04/03/2014 10:52:15 AM
 User: pfc@ibigroup.com
 Plot: 32004_3D View-NO.8.dwg
 Scale: 1:1
 Plot Size: 11.00 x 17.00 inches
 Plot Range: All
 Plot Style: BOSA.ctb
 Plot Device: HP DesignJet 5000PSN

SURREY GATEWAY

Landscape - Development Permit Application

van der Zalm + associates Inc.
 Project Landscape Architecture
 Urban Design • Landscape Architecture
 1000-1007 6th Avenue
 Victoria, BC V8W 2R7
 250.682.2224
 250.682.2225
 250.682.2226



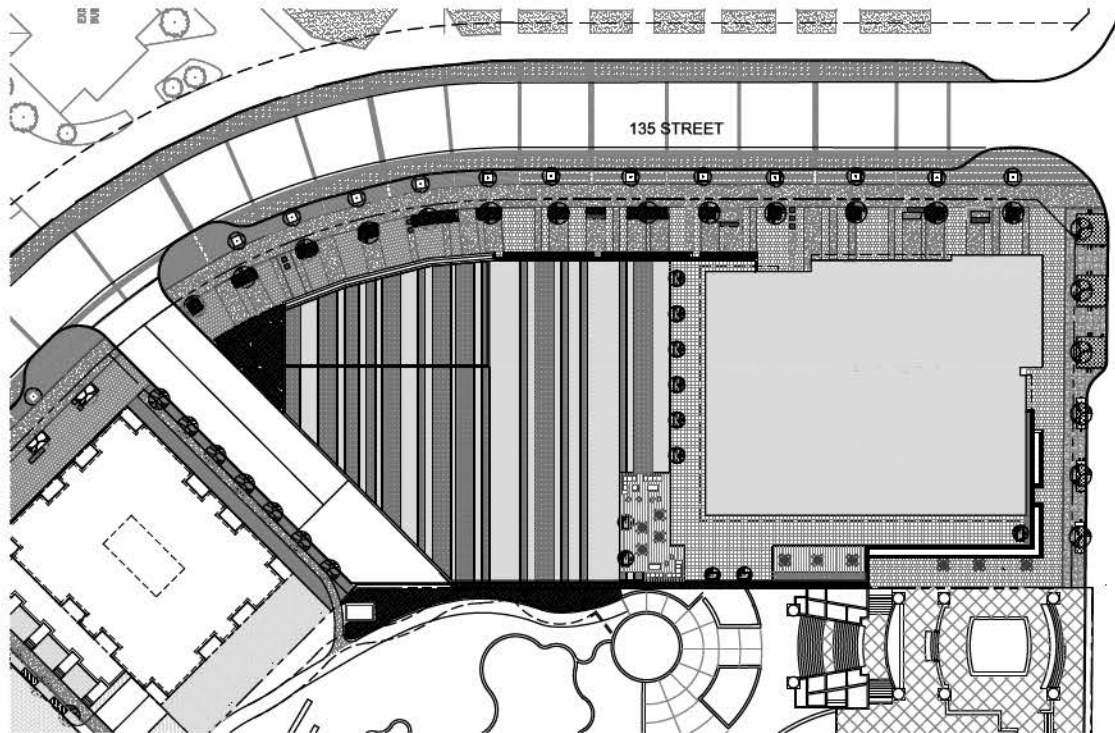
Contact Information	Other Key Contacts:	
van der Zalm + associates Inc. Project Landscape Architecture Suite 1 • 25177 97th Avenue Langley, British Columbia, T. 604 882 2024 F. 604 882 2042 Primary project contact Mark Synan Project Manager msynan@vz.ca 604 882 2024 (ext. 32) Alternate contacts (create away): Mark van der Zalm Principal Landscape Architect mvdz@vz.ca o. 604 882 2024 x22 Dani Jerie Senior Project Manager o. 604 882 2024	BOSA Properties Project Owner 838 W Hastings St Vancouver, BC V6C 2K1 Legal Description LOT 7 AND 8, SECTION 15, BLOCK 5 NORTH, RANGE 2 WEST, NEW WEST MONSTER DISTRICT, PLAN LMP 3367	IBI/MB Architects Project Building Architect Suite 700 - 1288 West Pender Street Vancouver, BC V6E 4B1

Landscape Sheet Index

L-00	Cover Sheet
L-01	General Landscaping Specifications
L-02	Existing Site Survey
L-03	Tree Protection and Removal Plan
L-04	Landscape Masterplan
L-05	Landscape Site Plan
L-05A	Site Plan - Level 1
L-05B	135TH STREET CONCEPT
L-06	Site and Park Interface
L-07	Site Plan - Roof
L-08	Planting Plan
L-08A	Planting Plan - Area A
L-08B	Planting Plan - Area B

Detail Sheets

LD-01	Landscape Details I
LD-02	Landscape Details II
LD-03	Landscape Details III
LD-04	Landscape Details IIII



Site Plan Overview - 1:300



Site Context - NTS

No.	By	Description	Date
9	MB	DP RE-SUBMISSION	Apr. 18, 2014
8	MVRS	ADP SUBMISSION	Apr. 02, 2014
7	MVRS	ADP SUBMISSION	Mar. 05, 2014
6	MVRS	CP SUBMISSION	Jan. 14, 2014
5	MVRS	CP SUBMISSION	Jan. 08, 2014
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3	MVRS	PRE-CP FOR DISCUSSION	Oct. 10, 2013
2	MVRS	PRE-CP FOR DISCUSSION	Oct. 1, 2013
1	MVRS	CLIENT REVIEW	Sept. 8, 2013

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Project:
SURREY GATEWAY
 DP RE-SUBMISSION

Location:
 CORNER OF 108 AVE AND
 135 STREET, SURREY, BC

Drawn: M.P.	Stamp
Checked: MB/RS	
Approved: MVDZ	Original Start Date 23-08-2013
Scales AS NOTED	CONTRACTOR SHALL OBEY ALL REGULATIONS OR THE THESE DRAWINGS ANY DEVIATION TO THE CONTRACTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE DRAWING AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title
COVER SHEET

VDZ Project #
DP2013-25

Drawing #
L-00

CRITICAL LANDSCAPE NOTES:

PROJECT CONTACT:

1.1 Inquiries regarding landscape drawings should be addressed to:

PRIMARY CONTACT:

Mark Synan, Landscape Architect (msynan@vzdc.ca)
P. 604 882 0024 x 32 F. 604 882 0042 C. 778 559 7236

ALTERNATE CONTACT (IN CASE OF ABSENCE):

Mark van Zalm, Principal Landscape Architect and Landscape Architect of Record (mark@vzdc.ca)
P. 604 882 0024 x 22 F. 604 882 0042 C. 604 836 2169

PROJECT COORDINATION:

2.1 The contractor(s) responsible for completing the landscape scope of work shall conform to the reference standards, submittals process, coordination standards, specifications, and works as defined under the "Division 1 General Requirements" of the master specification (complete).

DRAWINGS AND SPECIFICATIONS:

3.1 The contractor, sub-contractor, and coordinating trades/suppliers responsible for completing the landscape scope of work is responsible for reviewing the master specification package for the project in conjunction with all consultant drawings, inclusive of landscape.

3.2 Should any drawing or detail conflict with the master specification the contractor must immediately notify the design team for coordination prior to order, preparation or installation of said conflicting works (typ).

3.3 Examples of key specifications that relate to landscape are inclusive of:

- Division 1, General Requirements
- Division 2, Existing Conditions
- Division 3, Concrete
- Division 4, Masonry
- Division 5, Metals
- Division 6, Wood and plastics
- Division 7, Thermal and Moisture Protection
- Division 9, Painting and Coating
- Division 31, Earthwork
- Division 32, Exterior Improvements

3.4 The contractor(s) responsible for completing hard and soft landscape works are responsible for providing the landscape architect with a complete "project record copy" of markups or changes to works defined in the Landscape Drawings. This is in addition to any record drawing requests defined under Division 1. The project record copy markups should be completed with red pen if submitted as a hard copy or in red coloured notes if submitted as a PDF.

LANDSCAPE CONCRETE WORK:

4.1 All concrete shall conform to all standards identified under Division 3 of the master specification and specifications by the Civil Engineer (refer to civil drawings, with references to MMCO specs) (complete)

4.2 Concrete reinforcing for vertical landscape cast in place walls shall comply with details and specifications defined in structural drawing.

4.3 All horizontal exterior concrete surfaces shall have a light broom finish or approved equal unless specified otherwise

4.4 All vertical concrete surfaces inclusive of cast in place walls shall have a light sand blast finish or approved equal unless specified otherwise

4.5 The contractor should confirm the locations of control joint patterning and expansion joints with the landscape architect prior to installation for concrete paving surfaces and walls.

UNIT PAVING:

5.1 Precast concrete unit pavers or natural stone unit pavers must be provided in a 2m x 2m "mock-up" on site a minimum 2 weeks prior to order of materials for approval by the landscape architect. The mock-up should be installed as per manufacturer's specifications and include any bedding material, pedestals, grouts or mortar specified in project drawings or specifications. Grouts, mortars, sealers, or products that require drying time must have been installed a minimum 48 hours prior to the time of review by the landscape architect.

5.2 All approved unit paving and bedding or joining materials should be installed as per manufacturer's specifications.

5.3 Professionals should be qualified and experienced (minimum 5 years) in installing paving products specified in landscape drawings

METALS:

6.1 All metal work shall conform to Division 4 of the master specification for the project (complete)

6.2 Additional references that apply to metal work (may not necessarily be

Included under Division 4):

- 1 American Society for Testing and Materials International (ASTM),
 - 1 ASTM A53/A53M [02], Specification for Pipe, Steel, Black and Hot-Dipped, Zinc-Coated, Welded and Seamless,
 - 2 ASTM A121 [09], Specification for Zinc-Coated (Galvanized) Steel Barbed Wire,
 - 3 ASTM D6116 [07], Standard Guide For Small Scale Environmental Chamber Determinations of Organic Emissions From Indoor Materials/Products,
 - 2 Canadian General Standards Board (CGSB),
 - 1 CAN/CSSB_1_28 [08], Alloy, Exterior House Paint,
 - 2 CAN/CSSB_1_83 [06], Aluminum Paint,
 - 3 CAN/CSSB_1_161 [09], Ready-Mixed Organic Zinc-Rich Coating,
 - 4 CAN/CSSB_1_GP_138M [07], Paint Exterior Latex Type Flat,
 - 3 Canadian Standards Association (CSA International),
 - 1 CAN/CSA-A23.1-1400/A23.2-1400, Concrete Materials and Methods of Concrete Construction/Methods of Test for Concrete,
 - 2 CSA G42 [1984/R1988], Galvanized (Zinc-Coated) Steel Farm Field Wire Fencing,
 - 3 CSA_O80 Serfex [07], Wood Preservation,
 - 4 Environmental Choice Program (ECP),
 - 1 CCD-047a[06], Paints, Surface Coatings,
 - 2 CCD-47b[06], Stains, Surface Coatings,
 - 3 CCD-47c[06], Varnishes, Surface Coatings,
 - 4 CCD-048[06], Surface Coatings-Recycled Water-Borne,

6.3 All fences, fasteners and railings shall be submitted via shop drawing and submitted for approval by the landscape architect prior to purchase or installation

6.4 All fasteners used in wood connections (i.e. screws, nails, etc) are to be counter-sunk and pre-drilled to prevent wood splitting unless specified otherwise

6.5 All anchor plates, hangers, and affiliated fastener joining materials must meet flush between joining surfaces without gaps, unless specified otherwise

6.6 All metal work shall be treated for protection from corrosion (i.e. Aluminum must be anodized and steel must be galvanized or stainless steel) prior to additional coatings of paints or sealers. This is inclusive of fasteners.

6.7 All metal bonding (i.e. welding or soldering) must be completed and metal work should be treated for protection from corrosion. Bonding work should be concealed by the finishes of the metal work. Sanding or handwork needed to provide a smooth and consistent finish along the bonded metal material should be done to match the finish of the metals used for joining

6.8 All railing heights, picket spacing, and rail spacing should be in accordance with the British Columbia Building Code, CAN/CSA - Z614-07 and affiliated ASTM standards

6.9 Install a grounding rod on all fences, metal posts or poles taller than 6' (1800mm) in height through the direction of the project electrical engineer. Contractor to confirm the location(s) of said work at the time of project start-up with the electrical engineer and landscape architect

IRRIGATION:

7.1 Irrigation work should be completed to comply with the Canadian Electrical Code and Canadian Plumbing Code

7.2 Irrigation work should be completed by and installer with over 5 years experience in irrigation work

7.3 Refer to Irrigation drawings for additional specifications

PLANTING AND SOFTSCAPES:

8.1 All landscape materials and softscaping shall conform to standards defined under Division 32 and BCLNA standards, 7th Edition

8.2 Warranty of plant material shall conform to recent BCLNA Standards.

8.3 The contractor is responsible to have the landscape architect inspect the site for fine grading in areas where sod or seed are used as part of soft landscaping features prior to the installation of plant material. A minimum 7 days notice is required for this review.

8.4 The contractor is responsible to have the landscape architect inspect the site for fine grading in areas where sod or seed are used as part of soft landscaping features prior to the installation of sod or seed. A minimum 7 days notice is required for this review. Preparation of sod and seed areas shall conform to BCLNA stands, No. 1 Turfgrass and No. 1 Canadian seed standards apply as defined through BCLNA standards. Installation and maintenance specifications of sod and seed shall apply as defined through

BCLNA standards.

8.5 Establishment maintenance must be completed by the landscape contractor through the course of construction/installation, substantial completion and until the time of final acceptance once all deficiencies are deemed as complete. Establishment maintenance practices and procedures are defined under the recent BCLNA Standards compliant with "Level 2, well groomed landscapes".

8.6 Establishment watering must be completed by the landscape contractor through the course of construction/installation, substantial completion and until the time of final acceptance once all deficiencies are deemed as complete. Establishment watering practices and procedures are defined under the recent BCLNA Standards compliant with "Level 2, well groomed landscapes".

8.7 The landscape contractor should provide the landscape architect with one week's notice to perform a review at local nurseries who are supplying major plant orders to the site. The landscape architect reserves the right to reject plant material that does not meet drawing specification or BCLNA standards at any time, despite any review of said materials.

8.8 The landscape contractor must submit a soil report/test report to that shows that growing mediums comply with the standards identified in the recent BCLNA Standards for "Level 2, well groomed landscapes".

8.9 The general contractor shall pay for a minimum two (2) random tests will be performed during the course of construction to confirm that the growing medium being installed on site matches the test approved by the landscape architect. The landscape architect will notify the general contractor of when said tests will occur and soil samples should be mailed out within 48 hours of this notice. Failure to have soil match approved material could result in removal, amendment or reinstallation of appropriate material at the contractor's expense. Soil tests should be sent to Pacific Soil Analysis Incorporated or approved equal testing center, Pacific Soil Analysis Inc, Suite 5-11720 Voyager Way, RICHMOND, BC V6X 3G9 Telephone 604 273 8226

8.10 Landscape mulch shall conform to BCLNA standards and be installed at depths specified under recent BCLNA standards. Mulch must be non-toxic. Mulch should be dark brown or black in colour; red coloured mulch is not permitted unless specified otherwise.

8.11 Filter fabric must be provided in any areas where drain rock is used as a mulch substitute or landscape feature, with the exception of drip strips (unless noted otherwise).

8.12 In areas where soft landscaping shall be planted over structural slabs, the contractor must submit, in writing, that the project architect has inspected planters or areas of soft landscape planning and has approved the waterproofing and slab protection present, such that it conforms to contract specifications and drawings. This shall be done prior to any inspections the landscape architect shall make to review growing medium depths or plant installation.

8.13 Should any fertilizers or chemicals be applied to soft landscapes, they must be non-toxic.

8.14 It is expected that the contractor shall recycle waste materials and packaging in accordance with Waste Management and Disposal procedures defined under Division 1 of the master specification

EXTERIOR SITE FURNISHINGS:

9.1 Site furnishings shall all be provided via shop drawing submittals through the submittal processes defined under Division 1 of the master specification.

9.2 It is expected that the landscape architect shall see a shop drawing for every piece of landscape site furnishing specified in landscape drawings. It is the contractor's responsibility to receive approval from the landscape architect on all colours, installation options and affiliated finishes through shop drawing submittals prior to the purchase or installation of site furnishings.

9.3 All site furnishings should be installed as per the manufacturer's specifications.

9.4 It is the contractor's responsibility to notify the landscape architect if a conflict occurs between the installation requirements defined by manufacturers and the landscape site plan, specifications, or details.

9.5 It is expected that the contractor shall recycle waste materials and packaging in accordance with Waste Management and Disposal procedures defined under Division 1 of the master specification.



No.	Rev	Description	Date
9	MS	DP RE-SUBMISSION	Apr. 18, 2014
8	MS/SA	ADP RE-SUBMISSION	Apr. 02, 2014
7	MS/SA	ADP SUBMISSION	Mar. 05, 2014
6	MS/SA	CP SUBMISSION	Jan. 14, 2014
5	MS/SA	CP SUBMISSION	Jan. 08, 2014
4	MS/SA	CP SUBMISSION	Oct. 16, 2013
3	MS/SA	PRE-CP FOR DISCUSSION	Oct. 10, 2013
2	MS/SA	CLIENT REVIEW	Sept. 6, 2013
1	MS/SA	Client Review	2013

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Project: SURREY GATEWAY
 DP RE-SUBMISSION

Location: CORNER OF 106 AVE AND 136 STREET, SURREY, BC

Drawn: M.P.	Stamp
Checked: MS/RS	
Approved: M.V.C.Z.	Original Start Date: 23-08-2013
Scale: NTS	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

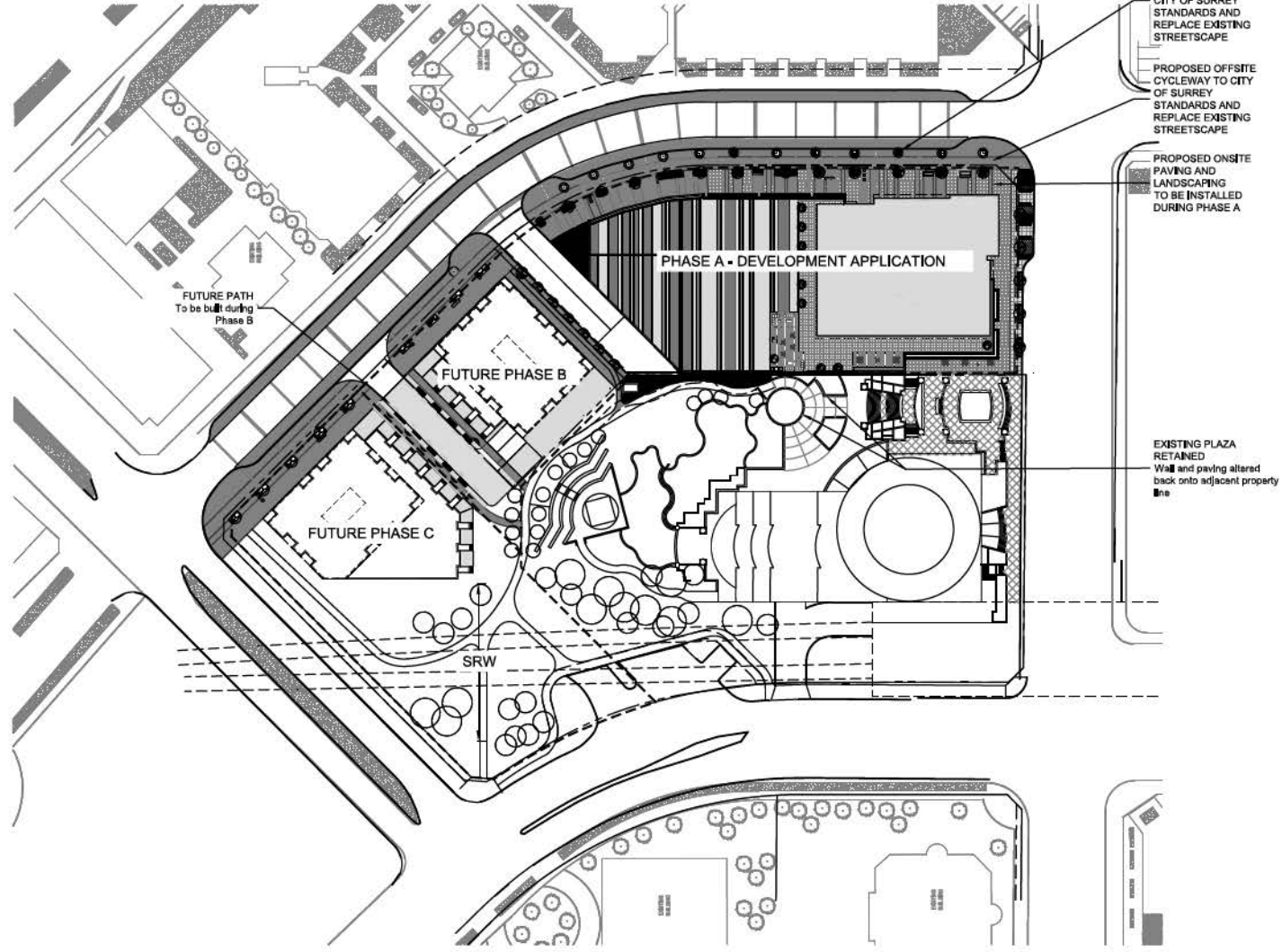
Drawing Title: GENERAL LANDSCAPING SPECIFICATIONS

VDZ Project #: DP2013-25

Drawing #: L-01

GENERAL LANDSCAPING SPECIFICATIONS - SURREY GATEWAY DEVELOPMENT - 106 AVE AND 136 STREET, SURREY, BC

DRAWING PREPARED BY: van der Zaam + associates inc. 1088 GUYANA STREET, VANCOUVER, BC V6E 3P9, CANADA. TEL: 604.277.9768 FAX: 604.277.9769



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 Email: info@vdzaam.com | Website: www.vdzaam.com



NO.	REV.	DESCRIPTION	DATE
9	MB	DP RE-SUBMISSION	APR. 18, 2014
8	MVR/SL	ADP RE-SUBMISSION	APR. 02, 2014
7	MVR/SL	ADP SUBMISSION	MAR. 05, 2014
6	MVR/SL	CP SUBMISSION	JAN. 14, 2014
5	MVR/SL	CP SUBMISSION	JAN. 08, 2014
4	MVR/SL	CP SUBMISSION	OCT. 16, 2013
3	MVR/SL	PRE-CP FOR DISCUSSION	OCT. 10, 2013
2	MVR/SL	PRE-CP FOR DISCUSSION	OCT. 1, 2013
1	MVR/SL	CLIENT REVIEW	SEP. 8, 2013
NA	SL	DATE	DATE

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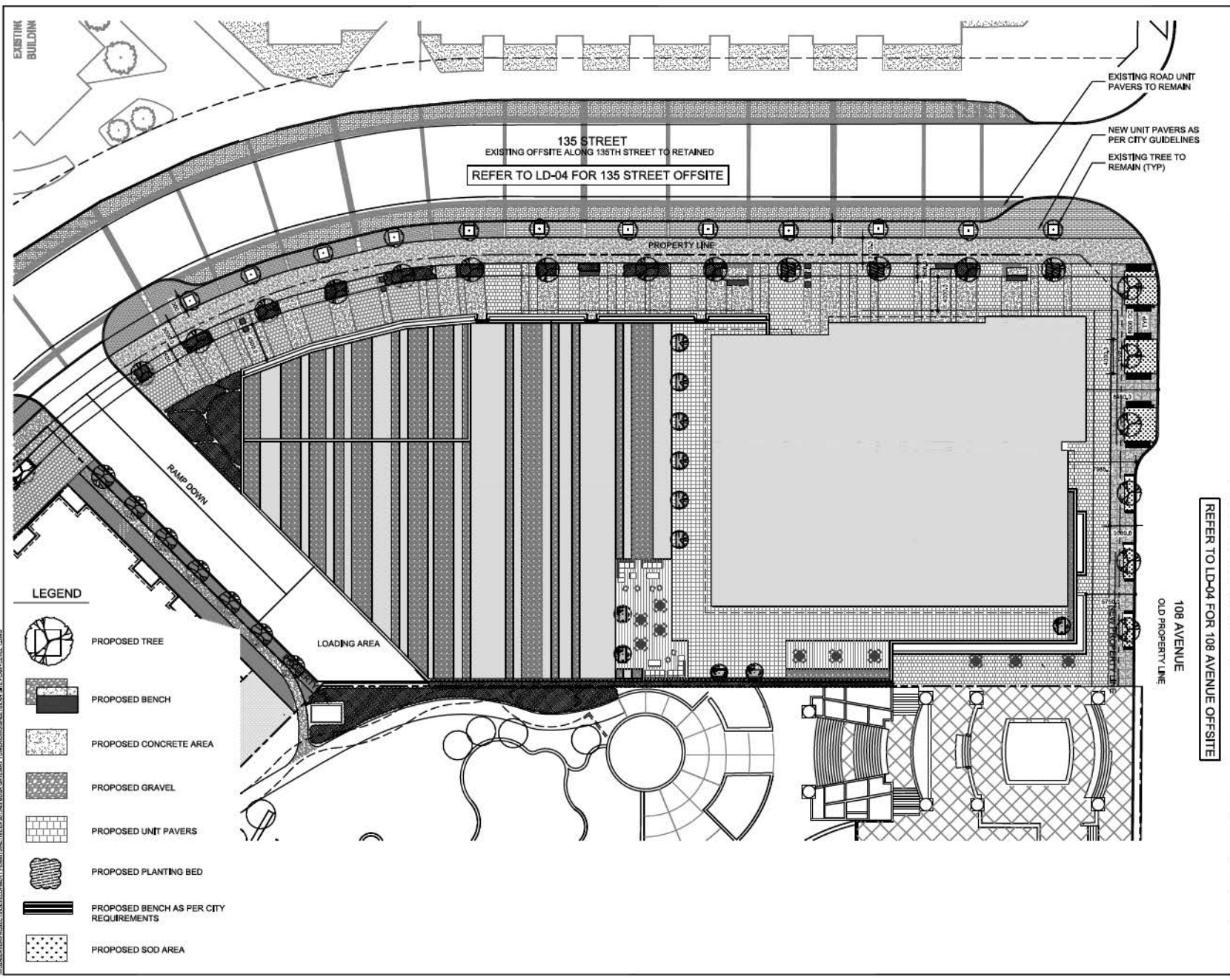
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 138 STREET, SURREY, BC

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Approved: MVCZ	Original Stamp Date: 23-06-2013
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Drawing Title: **LANDSCAPE MASTERPLAN**

VDZ Project #: **DP2013-25**

Drawing #: **L-04**



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 Suite 1, 2077 47th Avenue • 416-463-2544
 Toronto, Ontario M2N 5R2 • info@vzaai.com



REFER TO LD-04 FOR 108 AVENUE OFFSITE

No.	Rev.	Description	Date
9	MB	CP RE-SUBMISSION	Apr. 18, 2014
8	MVRS	ACP RE-SUBMISSION	Apr. 02, 2014
7	MVRS	ACP SUBMISSION	Mar. 05, 2014
6	MVRS	CP SUBMISSION	Jan. 14, 2014
5	MVRS	CP SUBMISSION	Jan. 08, 2014
4	MVRS	CP SUBMISSION	Oct. 16, 2013
3	MVRS	PRE-CP FOR DISCUSSION	Oct. 10, 2013
2	MVRS	PRE-CP FOR DISCUSSION	Oct. 1, 2013
1	MVRS	CLIENT REVIEW	Sept. 6, 2013
	MB	Client Review	Sept. 6, 2013

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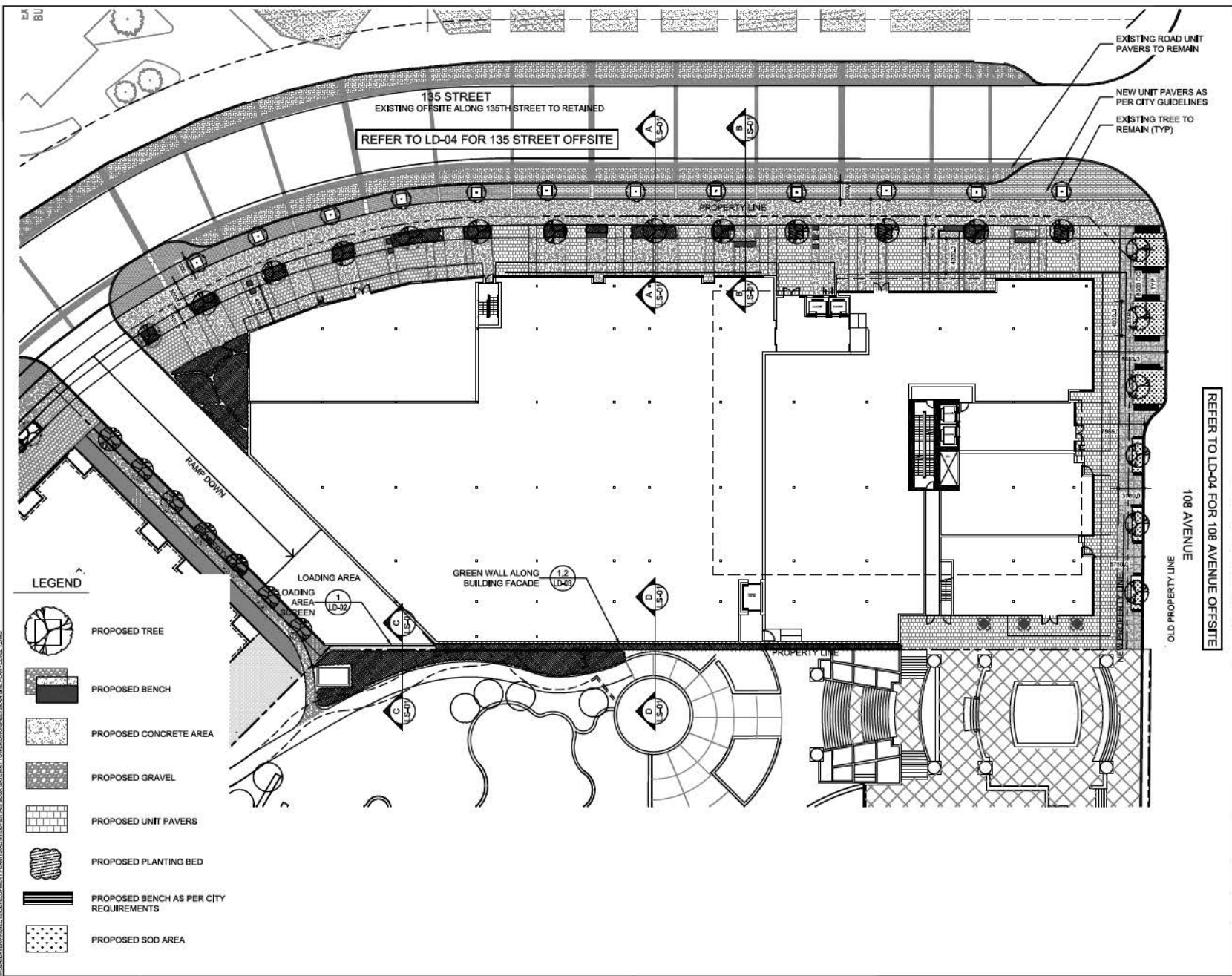
Project: SURREY GATEWAY
 DP RE-SUBMISSION
 Location: CORNER OF 108 AVE AND 135 STREET, SURREY, BC

Drawn: M.P.	Stamp
Checked: MBRS	
Approved: MVDZ	Original Start Date: 23-08-2013
Scales: 1:250	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.









Drawing Title: LANDSCAPE SITE PLAN

VDZ Project # DP2013-25

Drawing # L-05



LEGEND

-  PROPOSED TREE
-  PROPOSED BENCH
-  PROPOSED CONCRETE AREA
-  PROPOSED GRAVEL
-  PROPOSED UNIT PAVERS
-  PROPOSED PLANTING BED
-  PROPOSED BENCH AS PER CITY REQUIREMENTS
-  PROPOSED SOD AREA

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9	MB	CP RE-SUBMISSION	Apr. 18, 2014
8	MVRS	ACP RE-SUBMISSION	Apr. 02, 2014
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6	MVRS	CP SUBMISSION	Jan. 14, 2014
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4	MVRS	CP SUBMISSION	Oct. 16, 2013
3	MVRS	PRE-CP FOR DISCUSSION	Oct. 10, 2013
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1	MVRS	CLIENT REVIEW	Aug. 8, 2013
	NA	Issue	2013

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Project:
SURREY GATEWAY
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 Location:
 CORNER OF 108 AVE AND
 135 STREET, SURREY, BC

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Approved: MVCZ	Original Start Date 23-08-2013
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Drawing Title
SITE PLAN - LEVEL 1

VDZ Project #
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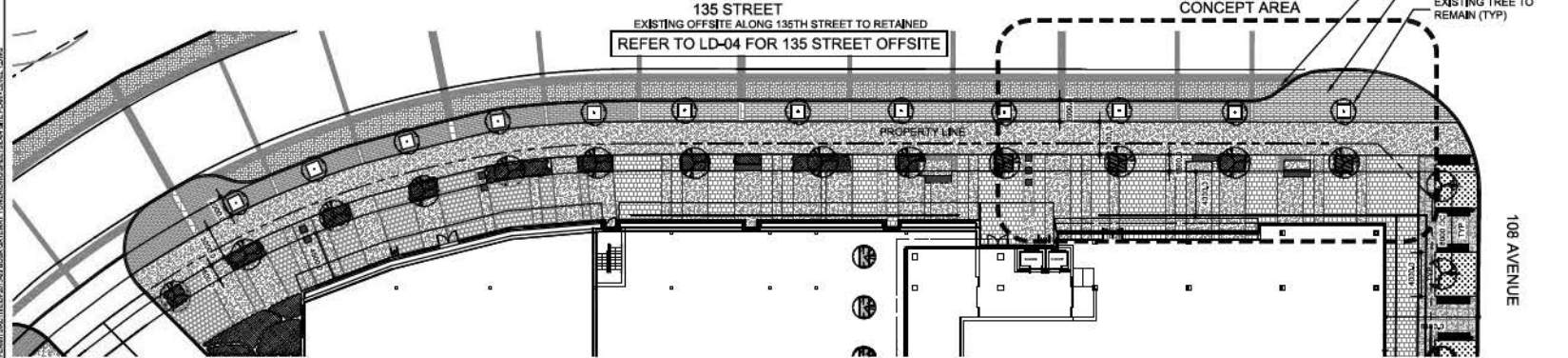
Drawing #
L-05A



PRECEDENT IMAGES OF CONCRETE OFFSET TO REVEAL GRAVEL BASE. REVEAL CAN ALSO BE PLANTED WITH SHRUBS OR GRASSES.



CONCRETE BENCH
 RESIN SET FINE GRAVEL
 CONCRETE BAND
 HEDGE PLANTING BED
 GRAVEL OR GROUNDCOVER TO ALLOW FOR INCREASED PERMEABILITY AND DRAINAGE
 BENCH CONCRETE
 GRAVEL OR GROUNDCOVER TO ALLOW FOR INCREASED PERMEABILITY
 HEDGE PLANTING BED
 DARK UNIT PAVERS SET AT GARDE IN FRONT OF CRU ENTRIES
 CONCRETE BAND



LEGEND

- PROPOSED TREE
- PROPOSED BENCH
- PROPOSED CONCRETE AREA
- PROPOSED GRAVEL
- PROPOSED UNIT PAVERS
- PROPOSED PLANTING BED
- PROPOSED BENCH AS PER CITY REQUIREMENTS
- PROPOSED SOD AREA

135 STREET CONCEPT
 SCALE 1:200

REFER TO LD-04 FOR 108 AVENUE OFFSITE

NO.	REV.	DESCRIPTION	DATE
9	MB	DP RE-SUBMISSION	APR. 18, 2014
8	MVRS	ACP RE-SUBMISSION	APR. 02, 2014
7	MVRS	ACP SUBMISSION	MAR. 05, 2014
6	MVRS	CP SUBMISSION	JAN. 14, 2014
5	MVRS	CP SUBMISSION	JAN. 08, 2014
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1	MVRS	CLIENT REVIEW	SEP. 6, 2013
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SURREY GATEWAY
 DP RE-SUBMISSION

Location:
 CORNER OF 108 AVE AND
 135 STREET, SURREY, BC

Drawn: M.P.	Stamp:
Checked: MB/RS	
Approved: MVCZ	Original Start Date 23-08-2013
Scale: 1:250	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE RETURNED BY THE COMPLETION OF THE WORK.

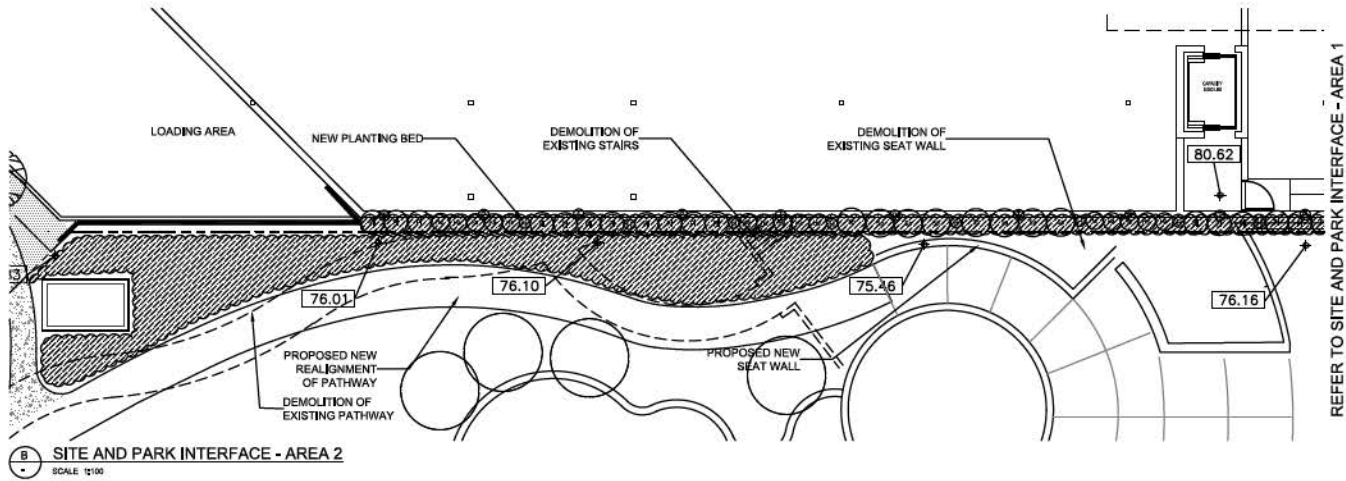
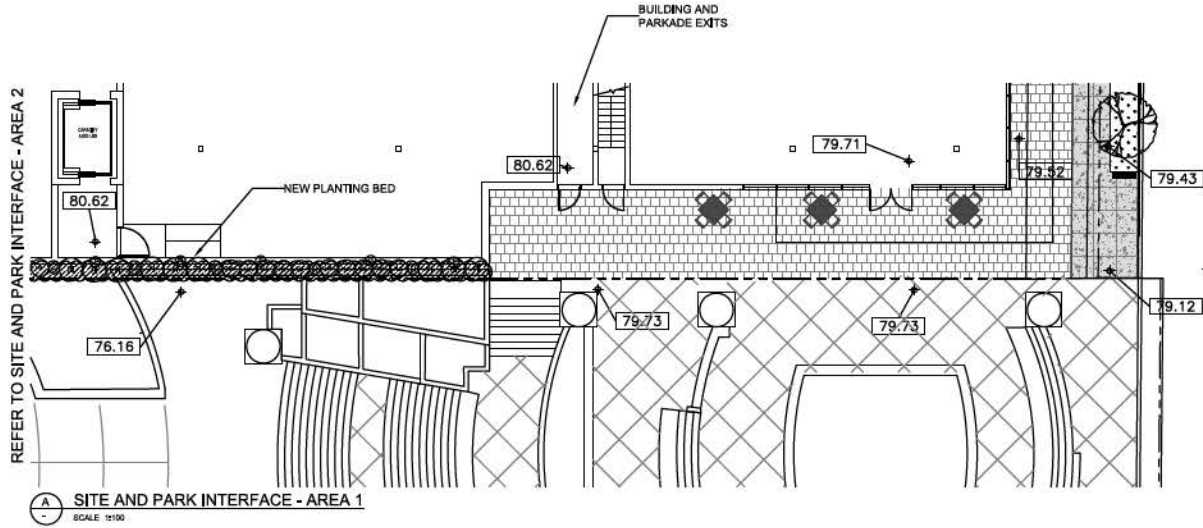
Drawing Title: **135TH STREET CONCEPT**

VZ Project #:
DP2013-25

Drawing #:
L-05B

3000 GARDEN STREET, SUITE 100, SURREY, BC V3C 2G7
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 Suite 1, 2077 67th Avenue • 24th Street
 Delta, BC V9C 5R6 • 604.277.8700



NO.	DATE	DESCRIPTION
1	2013	CLIENT REVIEW
2	2013	PRE-CDP FOR DISCUSSION
3	2013	PRE-CDP FOR DISCUSSION
4	2013	CDP SUBMISSION
5	2014	CDP SUBMISSION
6	2014	CDP SUBMISSION
7	2014	ADP SUBMISSION
8	2014	ADP SUBMISSION
9	2014	CDP RE-SUBMISSION

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Project:
SURREY GATEWAY
 DP RE-SUBMISSION
 Location:
 CORNER OF 106 AVE AND
 136 STREET, SURREY, BC

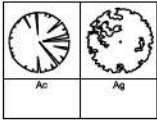
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Checked: MVR/S	
Approved: MVDZ	Original Start Date 23-08-2013
Scale: 1:100	CONTRACTOR SHALL OBTAIN ALL PERMITS ON THE SITE AND VERIFY ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title: **SITE AND PARK INTERFACE**

VZD Project #:
DP2013-25

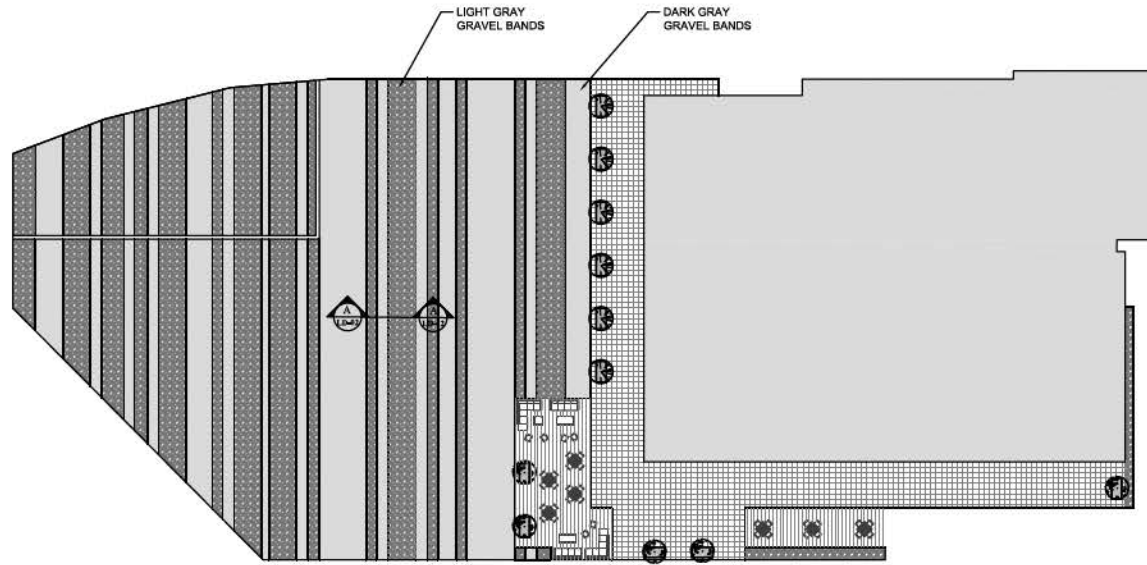
Drawing #:
L-06

TREES SCHEDULE



SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
POTTED TREES					
Ac	<i>Aspen</i>	Nature Tree	8	1.5m HI, B&B	As shown.
Ag	<i>Amaranthoides grandiflora</i>	Autumn Brilliance Sandcherry	8	1.5m HI, B&B	As shown.

135 STREET



108 AVENUE



No.	Rev	Description	Date
9	MB	CP RE-SUBMISSION	Apr. 18, 2014
8	MVR	ACP RE-SUBMISSION	Apr. 02, 2014
7	MVR	ACP SUBMISSION	Mar. 05, 2014
6	MVR	CP SUBMISSION	Jan. 14, 2014
5	MVR	CP SUBMISSION	Jan. 08, 2014
4	MVR	CP SUBMISSION	Oct. 16, 2013
3	MVR	PRE-CP FOR DISCUSSION	Oct. 10, 2013
2	MVR	PRE-CP FOR DISCUSSION	Oct. 1, 2013
1	MVR	CLIENT REVIEW	Aug. 8, 2013

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Project:
SURREY GATEWAY
 DP RE-SUBMISSION

Location:
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 135 STREET, SURREY, BC

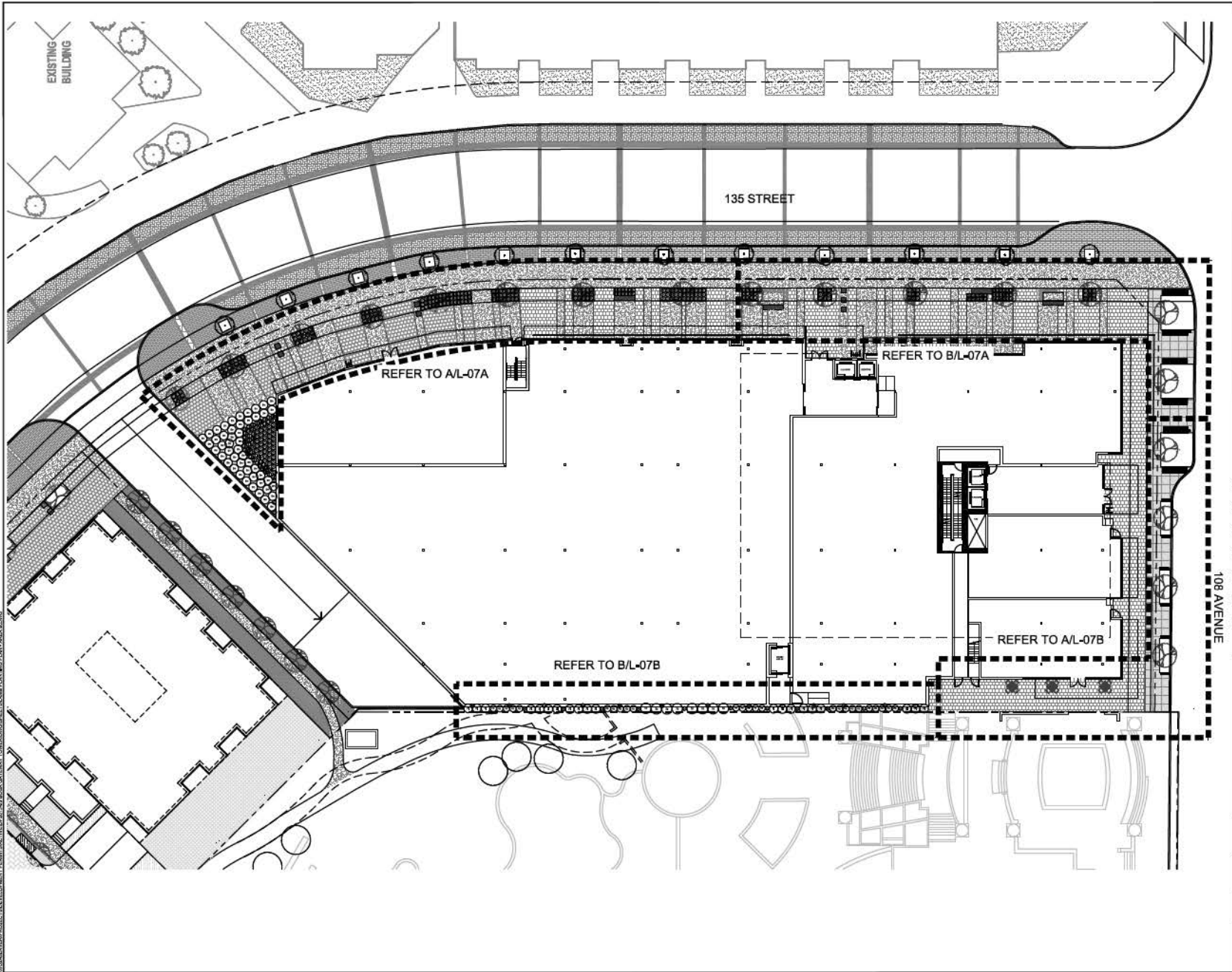
Drawn: M.P.	Stamp
Checked: MVR	
Approved: MVDZ	Original Start Date 23-08-2013
Scale: 1:250	CONTRACTOR SHALL GROUND ALL DIMENSIONS ON THE THESE DIMENSIONS ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title
SITE PLAN - ROOF

VDZ Project #
DP2013-25

Drawing #
L-07

SURREY GATEWAY DEVELOPMENT, 108 AVENUE AND 135 STREET, SURREY, BC. VAN DER ZALM + ASSOCIATES INC.




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 Delta, AB T9C 0G9 • 2 484.22.1101
 100.0000 • 2014



No.	Rev.	Description	Date
9	MS	CP RE-SUBMISSION	APR. 18, 2014
8	MS/RS	ACP RE-SUBMISSION	APR. 02, 2014
7	MS/RS	ACP SUBMISSION	MAR. 05, 2014
6	MS/RS	CP SUBMISSION	JAN. 14, 2014
5	MS/RS	CP SUBMISSION	JAN. 08, 2014
4	MS/RS	CP SUBMISSION	OCT. 16, 2013
3	MS/RS	PRE-CP FOR DISCUSSION	OCT. 10, 2013
2	MS/RS	PRE-CP FOR DISCUSSION	OCT. 1, 2013
1	MS/RS	CLIENT REVIEW	SEPT. 6, 2013
	MS	Drawings	SEP.

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Project:
 SURREY GATEWAY
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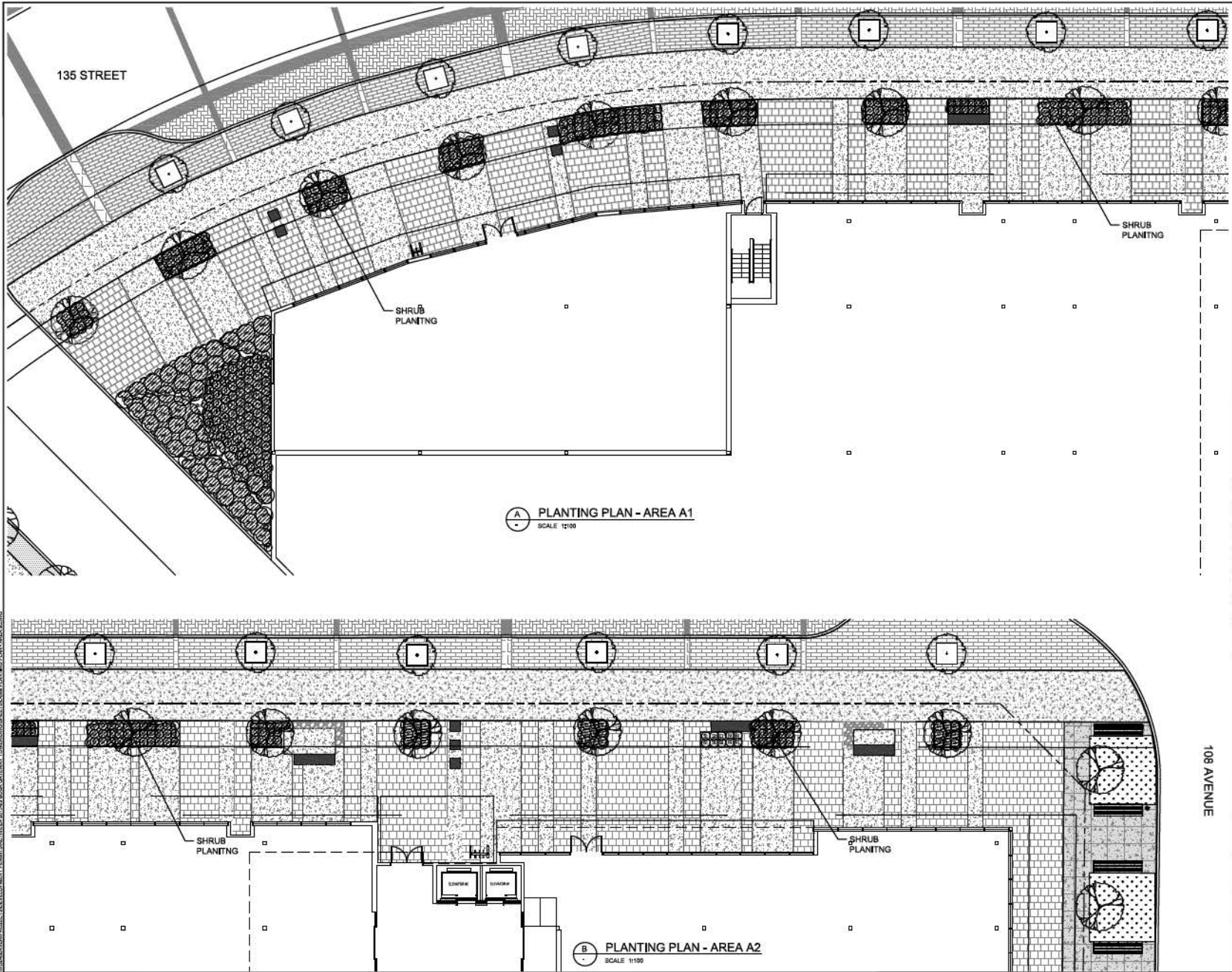
Location:
 CORNER OF 108 AVE AND
 135 STREET, SURREY, BC

Drawn: M.P.	Stamp
Checked: MS/RS	
Approved: MVCZ	Original Start Date 23-08-2013
Scales 1:2500	CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS FOR THE WORK AND SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE WORK.

Drawing Title
PLANTING PLAN

VZ Project #
DP2013-25

Drawing #
L-08



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No.	Rev.	Description	Date
9	MB	DP RE-SUBMISSION	Apr. 18, 2014
8	MBRS	ACP RE-SUBMISSION	Apr. 02, 2014
7	MBRS	ACP SUBMISSION	Mar. 02, 2014
6	MBRS	CP SUBMISSION	Jan. 14, 2014
5	MBRS	CP SUBMISSION	Jan. 08, 2014
4	MBRS	CP SUBMISSION	Oct. 16, 2013
3	MBRS	PRE-CP FOR DISCUSSION	Oct. 10, 2013
2	MBRS	PRE-CP FOR DISCUSSION	Oct. 1, 2013
1	MBRS	CLIENT REVIEW	Sept. 6, 2013

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Project:
 SURREY GATEWAY
 DP RE-SUBMISSION

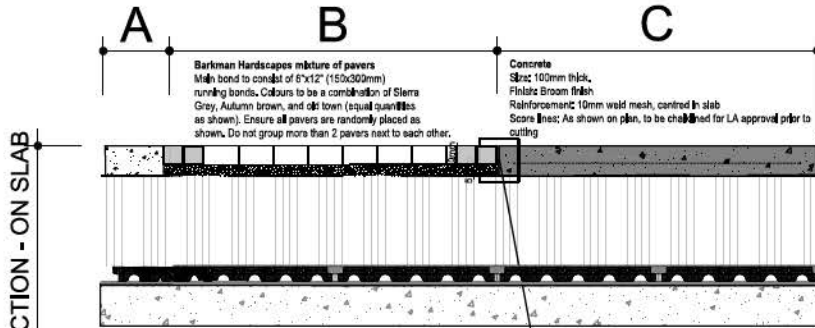
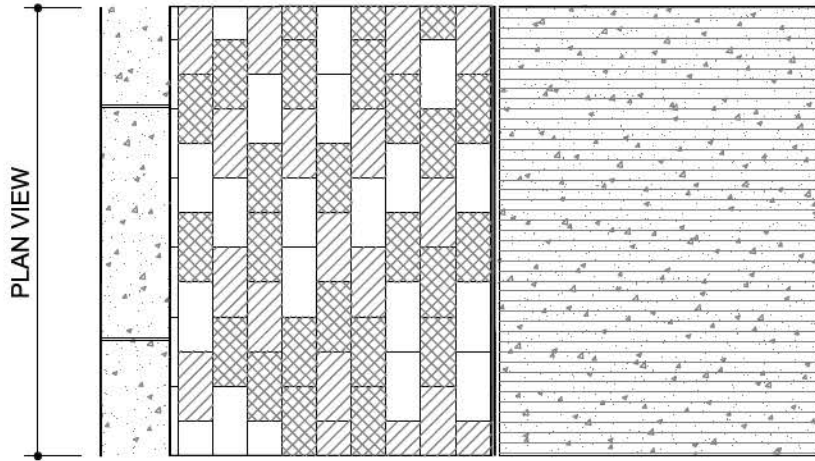
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 135 STREET, SURREY, BC

Drawn: M.P.	Stamp
Checked: MBRS	
Approved: M.V.C.Z.	Original Start Date 23-08-2013
Scales: 1:100	CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE REFERRED AT THE COMPLETION OF THE WORK.

Drawing Title: PLANTING PLAN - AREA A

VDZ Project # DP2013-25

Drawing # L-08A

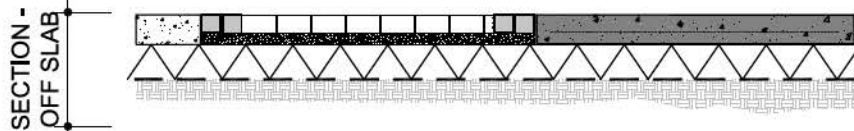


Concrete band
Slab: 125mm thick
Sand blasted concrete
10mm weld mesh, centred in slab

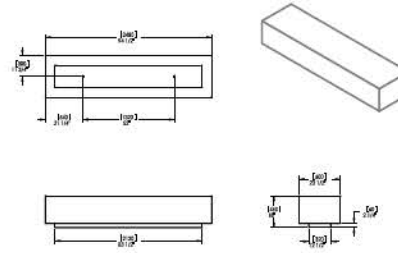
NOTES:

Manufacturer: Barkman Hardscapes
Tel: 778 663 7670
www.barkmanconcrete.com

Joint: all joints to be polymeric sand filled to prevent weed growth

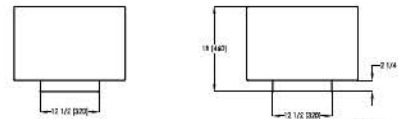
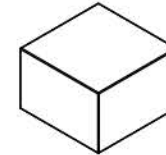
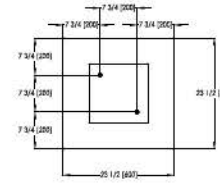


1 PAVING DETAILS FOR ON AND OFF SLAB
SCALE: 1:10



ESCOFET SOCRAATES BACKLESS BENCHES

2 PROPOSED CONCRETE BENCH TYPE 1
SCALE: NTS



ESCOFET SOCRAATES BACKLESS BENCHES

3 PROPOSED CONCRETE BENCH TYPE 2
SCALE: NTS



NO.	REV.	DESCRIPTION	DATE
9	MB	CP RE-SUBMISSION	Apr. 18, 2014
8	MB/RS	ACP RE-SUBMISSION	Apr. 02, 2014
7	MB/RS	ACP SUBMISSION	Mar. 05, 2014
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1	MB/RS	CLIENT REVIEW	Sept. 6, 2013

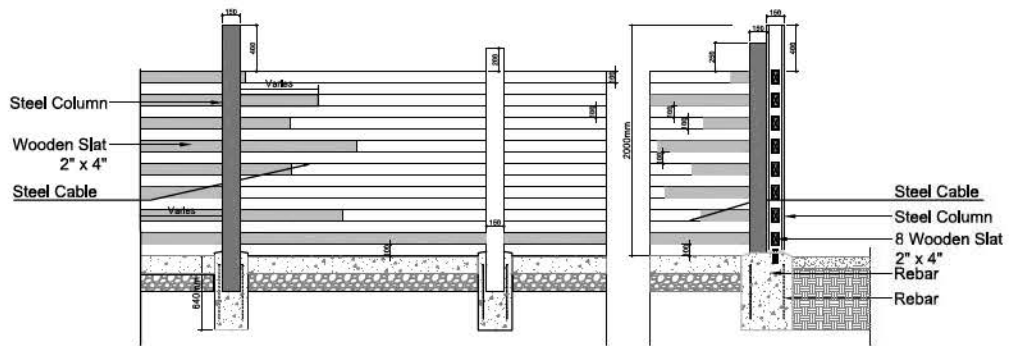
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Project: SURREY GATEWAY
DP RE-SUBMISSION

Location: CORNER OF 106 AVE AND 136 STREET, SURREY, BC

Drawn	Stamp
M.P.	
Checked	MB/RS
Approved:	Original Start Date 23-08-2013
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE RETURNED BY THE COMPLETION OF THE WORK.
AS NOTED	



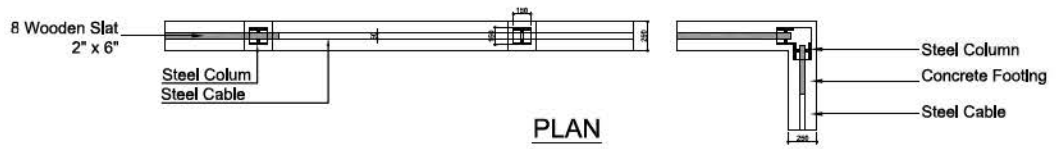


ELEVATION

SECTION

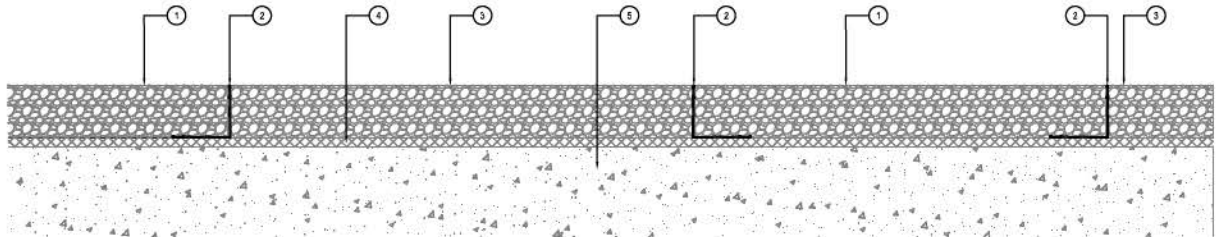


1A LOADING AREA SCREEN REFERENCE IMAGE
SCALE 1:20



PLAN

1 LOADING AREA SCREEN
SCALE 1:20



2 ROOF GRAVEL DETAIL
SCALE 1:20

1. LIGHT GRAY OR WHITE GRAVEL
2. EDGING
3. DARK GRAY GRAVEL
4. DRAINAGE MAT AND WATER PROOFING BY ARCHITECTS
5. CONCRETE SLAB BY OTHERS

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 170-888 • info@vanzalm.com



No.	Rev.	Description	Date
9	MS	DP RE-SUBMISSION	Apr. 18, 2014
8	MS/RS	ADP RE-SUBMISSION	Apr. 02, 2014
7	MS/RS	ADP SUBMISSION	Mar. 05, 2014
6	MS/RS	CP SUBMISSION	Jan. 14, 2014
5	MS/RS	CP SUBMISSION	Jan. 08, 2014
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3	MS/RS	PRE-CP FOR DISCUSSION	Oct. 10, 2013
2	MS/RS	PRE-CP FOR DISCUSSION	Oct. 1, 2013
1	MS/RS	CLIENT REVIEW	Sept. 8, 2013

Project:
SURREY GATEWAY
 DP RE-SUBMISSION

Location:
 CORNER OF 106 AVE AND
 136 STREET, SURREY, BC

Drawn: M.P.	Stamp
Checked: MS/RS	
Approved: MVCZ	Original Start Date 23-08-2013
Scales AS NOTED	CONTRACTOR SHALL OBTAIN ALL PERMITS AND ALL OTHERS SHALL BE RESPONSIBLE TO THE CONTRACTOR. ANY DISCREPANCY TO THE CONTRACT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK.

Drawing Title
DETAILS II



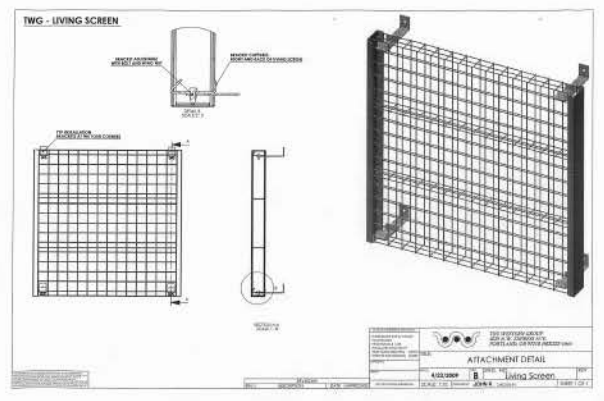
VDZ Project #
DP2013-25

Drawing #
LD-02

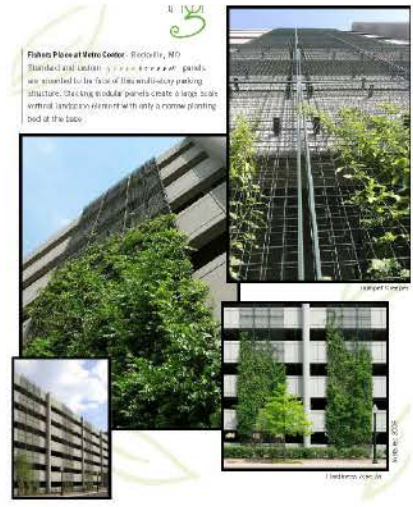
03-10-2013 10:00 AM C:\PROJECTS\2013\DP2013-25\SURREY GATEWAY\CONSTRUCTION\DETAILS II.DWG



1 LIVING SCREEN - LOCATION
 SCALE NTS



2 LIVING SCREEN - TYPICAL DETAIL
 SCALE NTS



NO.	REV.	DESCRIPTION	DATE
9	MB	DP RE-SUBMISSION	APR. 16, 2014
8	MSRS	ADP RE-SUBMISSION	APR. 02, 2014
7	MSRS	ADP SUBMISSION	MAR. 05, 2014
6	MSRS	CP SUBMISSION	JAN. 14, 2014
5	MSRS	CP SUBMISSION	JAN. 09, 2014
4	MSRS	CP SUBMISSION	OCT. 16, 2013
3	MSRS	PRE-CP FOR DISCUSSION	OCT. 10, 2013
2	MSRS	PRE-CP FOR DISCUSSION	OCT. 1, 2013
1	MSRS	CLIENT REVIEW	SEP. 6, 2013

Project:
SURREY GATEWAY
 DP RE-SUBMISSION

Location:
 CORNER OF 106 AVE AND
 138 STREET, SURREY, BC

Drawn: M.P.	Stamp
Checked: MSRS	
Approved: MVDZ	Original Start Date 23-08-2013
Scale: AS NOTED	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

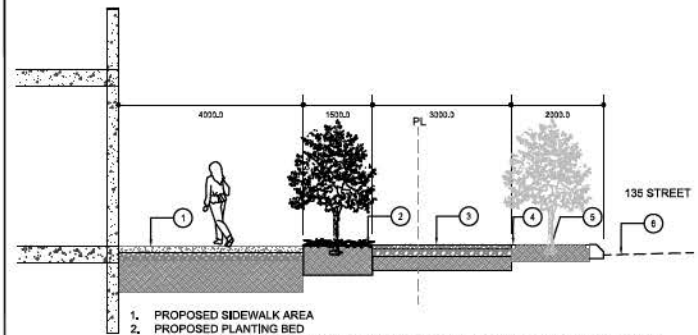
Drawing Title
DETAILS III



VDZ Project #
DP2013-25

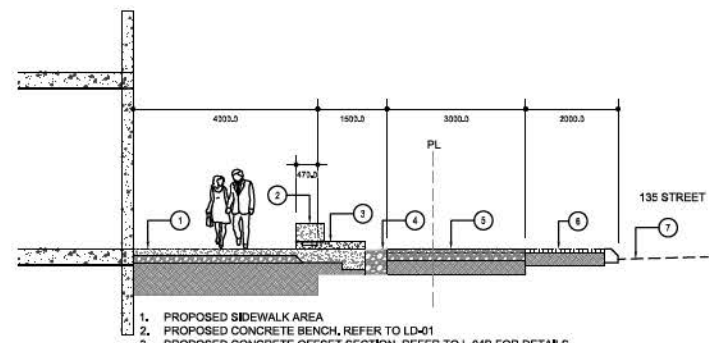
Drawing #
LD-03

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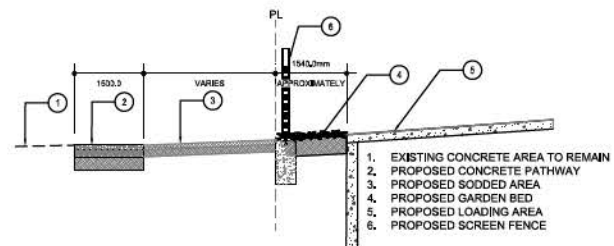
1. PROPOSED SIDEWALK AREA
2. PROPOSED PLANTING BED
3. PROPOSED CONCRETE BIKEWAY AS PER CITY OF SURREY STANDARDS. REFER TO LD-04
4. PROPOSED PAVED UTILITY STRIP AS PER CITY OF SURREY STANDARDS. REFER TO LD-04
5. EXISTING STREET TREE TO BE RETAINED
6. EXISTING ROADWAY TO REMAIN

A SECTION THROUGH WEST SIDE OF NEW BUILDING TO ROADWAY
 U-25A SCALE 1:50



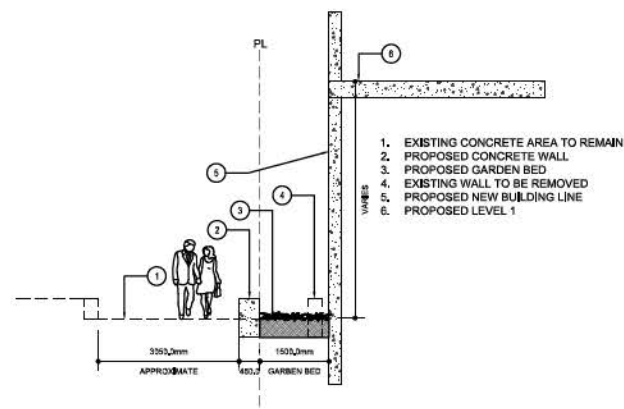
1. PROPOSED SIDEWALK AREA
2. PROPOSED CONCRETE BENCH. REFER TO LD-01
3. PROPOSED CONCRETE OFFSET SECTION. REFER TO L-04B FOR DETAILS
4. PROPOSED GRAVEL BASE. REFER TO L-04B FOR DETAILS
5. PROPOSED CONCRETE BIKEWAY AS PER CITY OF SURREY STANDARDS. REFER TO LD-04
6. PROPOSED PAVED UTILITY STRIP AS PER CITY OF SURREY STANDARDS. REFER TO LD-04
7. EXISTING ROADWAY TO REMAIN

B SECTION THROUGH WEST SIDE OF NEW BUILDING TO ROADWAY
 U-25A SCALE 1:50



1. EXISTING CONCRETE AREA TO REMAIN
2. PROPOSED CONCRETE PATHWAY
3. PROPOSED SODDED AREA
4. PROPOSED GARDEN BED
5. PROPOSED LOADING AREA
6. PROPOSED SCREEN FENCE

C SECTION THROUGH EXISTING PLAZA AND NEW LOADING AREA
 U-25A SCALE 1:50



1. EXISTING CONCRETE AREA TO REMAIN
2. PROPOSED CONCRETE WALL
3. PROPOSED GARDEN BED
4. EXISTING WALL TO BE REMOVED
5. PROPOSED NEW BUILDING LINE
6. PROPOSED LEVEL 1

D SECTION THROUGH EXISTING PLAZA AND NEW BUILDING
 U-25A SCALE 1:50

No.	Rev.	Description	Date
9	MB	CP RE-SUBMISSION	Apr. 18, 2014
8	MS/RA	ADP RE-SUBMISSION	Apr. 02, 2014
7	MS/RA	ADP SUBMISSION	Mar. 05, 2014
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3	MS/RA	PRE-CP FOR DISCUSSION	Oct. 10, 2013
2	MS/RA	PRE-CP FOR DISCUSSION	Oct. 1, 2013
1	MS/RA	CLIENT REVIEW	Aug. 8, 2013
	NA	Drawn	2013

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Project:
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Location:
 CORNER OF 106 AVE AND
 135 STREET, SURREY, BC

Drawn: M.P.	Stamp:
Checked: MS/RS	
Approved: MVDZ	Original Start Date 23-08-2013
Scales: 1:1	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING TO CONSTRUCTION. DISCREPANCIES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND WILL BE RETURNED AT THE COMPLETION OF THE WORK.

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 23, 2014** PROJECT FILE: **7814-0012-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 13479 108 Avenue**

SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 2.808 metres along 108 Avenue for a 30.0-metre arterial road standard;
- dedicate a 5.0 x 5.0-metre corner cut at the 108 Avenue and City Parkway intersection;
- provide a 6.5-metre Stat. Right-of-Way (SROW) along City Parkway;
- dedicate as road without compensation Parcel J Bylaw Plan 76106;
- provide a 2.012-metre SROW along 108 Avenue for proposed sidewalk; and
- discharge existing SROW E1990-0538.

Works and Services

- construct 108 Avenue to the new City Center standards;
- extend 108 Avenue parking pocket further east to accommodate bus stop relocation;
- construct City Parkway to the new City Center standards;
- provide service connections for water, sewer and storm water;
- provide District Energy Servicing corridor and legal documents; and
- intersection upgrades may be required. To be determined during design review stage and review of the Traffic Impact Study.

A Servicing Agreement is required prior to /Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager

SSA

NOTE: Detailed Land Development Engineering Review available on file



van der Zalm + associates inc.

Tree Preservation Summary

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	11
Protected Trees to be Removed	11
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0	84
- All other Trees Requiring 2 to 1 Replacement Ratio _____ X two (2) = 84	
Replacement Trees Proposed	31
Replacement Trees in Deficit	53
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	N/A

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio _____ X two (2) = 0	
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:

(Signature of
Arborist)

April 23, 2014

Date

FIGURE 1



**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

G:\MAPPING\GIS\MAPS\CORPORATE REPORTS\Eng-Utilities\AW-DistrictEnergyServiceAreaFig1.mxd



Advisory Design Panel Minutes

2E-community room-B
City Hall
13450 – 104 Avenue
Surrey, B.C.
THURSDAY, APRIL 10, 2014
Time: 4:00 pm

Present:

Chair - L. Mickelson

Panel Members:

N. Baldwin
S. Vincent
B. Wakelin
J. Makepeace
T. Bunting

Regrets:

G. McGarva

Guests:

Pulbinder Samra
Navid Fereidooni, Krahn Engineering
Dave Krahn, Krahn Engineering
Brock Croome, Brock Croome Architect
Martin Brückner, IBI/HB Architects
Peter Fanchiang, IBI/HB Architects
Mark Van der Zalm, Van der Zalm & Associates
Mark Synan, Van der Zalm & Associates
David Basche, Bosa Properties Inc.
Hermann Nuessler, Bosa Properties Inc.
Rob Elliott, Bosa Properties Inc.

Staff Present:

T. Ainscough, City Architect
M. Rondeau, Acting City Architect -
Planning & Development
H. Bello, Senior Planner - Planning
& Development
H. Dmytriw, Legislative Services
C. Craig, Legislative Services

A. RECEIPT OF MINUTES

It was

Moved by N. Baldwin
Seconded by S. Vincent
That the minutes of the Advisory Design

Panel meeting of March 13, 2014, be received.

Carried

B. RESUBMISSIONS**2. 4:45 PM**

File No.:	7914-0012-00
Resubmit:	March 13, 2014
Description:	DP, DVP and Subdivision to allow for a new 5-storey office/retail development
Address:	13479-108 Avenue
Developer:	Rob Elliot, Bosa Properties
Architect:	Martin Bruckner, IBI/HB Architects
Landscape Architect:	Mark Van der Zalm, Van der Zalm & Associates
Planner:	Pat Lau
Urban Design Planner:	Mary Beth Rondeau

{Note: Statement of Review from March 13, 2014 5-storey office retail development was included as the minutes of the previous meeting Item B.3.}

The Urban Design Planner noted that planning has no additional comments. The applicant is to identify and comment on the revisions.

The Project Architect highlighted the following panel comments and responses. Following the last panel presentation the architect went back to the drawing board and the viability of the building was considered, although there are constraints in place.

- There is a steep grade change across the site.
- The ground floor is committed to be leased and they see it as a viable retail frontage all along City Parkway. The entrance is to be shared by two tenants.
- The north end of the building triangle was snubbed back to open it up into the park and the future tower. The walkway to the park is on the north side of the driveway.
- The smaller CRUs (a café) were moved to the west side on 108 Avenue and the retail was placed at the park side where possible.
- The podium was stepped down, with a parapet.
- The office building was pushed over to 108 Avenue in the corner on the City Parkway.
- Introduced solar shading horizontally.
- The podium roof is now accessible to the tenants while maintaining water retention on the roof. Pattern roofing gravel. Introduced green wall on the food store and inside aisles to be lined up with windows.
- LEED certification is being sought for the project.
- Disabled parking stalls were moved near to elevators; additional lighting on building for security at night.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Most landscaping comments were positive and have been addressed. Additional landscape vines have been added to the green wall and will include evergreen jasmine, a climbing vine, and Boston ivy.
- A small triangular strip of landscape has been added on the north east.
- An outdoor patio space has been introduced for the offices and the remaining roof to be used for a water retention system. It fills with water and needs gravel to achieve the 55% of storm water retention requirements.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

DP, DVP and Subdivision to allow for a new 5-storey office/retail development
13479-108 Avenue
File No. **7914-0012-0**

It was

Moved by T. Bunting

Seconded by S. Vincent

That the Advisory Design Panel (ADP) recommends that the applicant address the following recommendations and revise and resubmit to the Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Panel members generally felt that the project comments were well addressed.

Site

- North passage to the park along the driveway still needs more work with a well landscaped, broad, 10 foot path that feels like a street. Need better link to street and park.
To be resolved.

Building Form and Character

- A much richer project with better office massing at the corner and a more active streetscapes.
- Stepping the mass away from the park will help solar access to the park.
This will not be possible, as the food store and drug mart tenants need full ceiling height.
- Consistent parapet along east façade is much improved. Could still use more pedestrian interest in the architecture.
To be resolved.
- There is more opportunity for design development at the south west corner and west façade on the plaza.
To be resolved.
- Office entry looks good.
- The small CRUs on the south-west corner marks the corner and is near the station is an improvement. Firmly believe that the grocery store and drug store customer entries are fundamentally oriented to the wrong street.
The proposed food store and drug mart, with entries on 108 Avenue, will result in an elongated store geometry which is not feasible for fixture layout and space planning. In addition, existing residential developments are located to the east, across City Parkway, reinforcing the desire for the food store and drug mart tenants to have entries on City Parkway. Both tenants have requested this orientation in the design of the development.
- Avoid a common lobby for major tenants; rather, face the parking elevators towards the street and have corner entries to the drug store and food store right there. This would be more oriented to the transit station.
Both the food store and drug store tenants have requested to be at the same grade. The drug mart will also have an alternative entry close to the southeast corner.

Landscaping

- Encourage the applicant to incorporate more 'green buffer' along the roof top patio to visually separate the large expansive gravel roof.
To be resolved.

- North east corner public space is missing an opportunity. Will be highly used as population comes in. Have some terracing or a parkette. Treat it like a street with trees on both sides.
To be resolved.

CPTED

- The link to the park and the park will need more “eyes on the street”. Consider lighting etc.
To be resolved.

Accessibility

- Accessibility concerns have been addressed.

Sustainability

- Sustainability is good and improved with sun shades and some overhangs.
- Support the green walls that have been incorporated.
- Can the spandrel panels meet the ASHRAE required R-Values? Modelling will be required to prove that the energy points stated on the LEED Checklist have been met.
To be resolved.
- LEED Gold Equivalent is great; LEED Gold Certified is even better.
The project will strive for a LEED Gold equivalency.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0012-00

Issued To: BOSA PROPERTIES (GATEWAY-COMM) INC.

("the Owner")

Address of Owner: 1201, 838 - Hastings Street West
Vancouver, BC V6C 0A6

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 017-716-977

Lot 8 Section 15 Block 5 North Range 2 West New Westminster District Plan LMP3367

13479 - 108 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address changes, the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1979, No. 5942, Amendment By-law, 1990, No. 10464, Amendment By-law, 1995, No. 12660, is varied as follows:

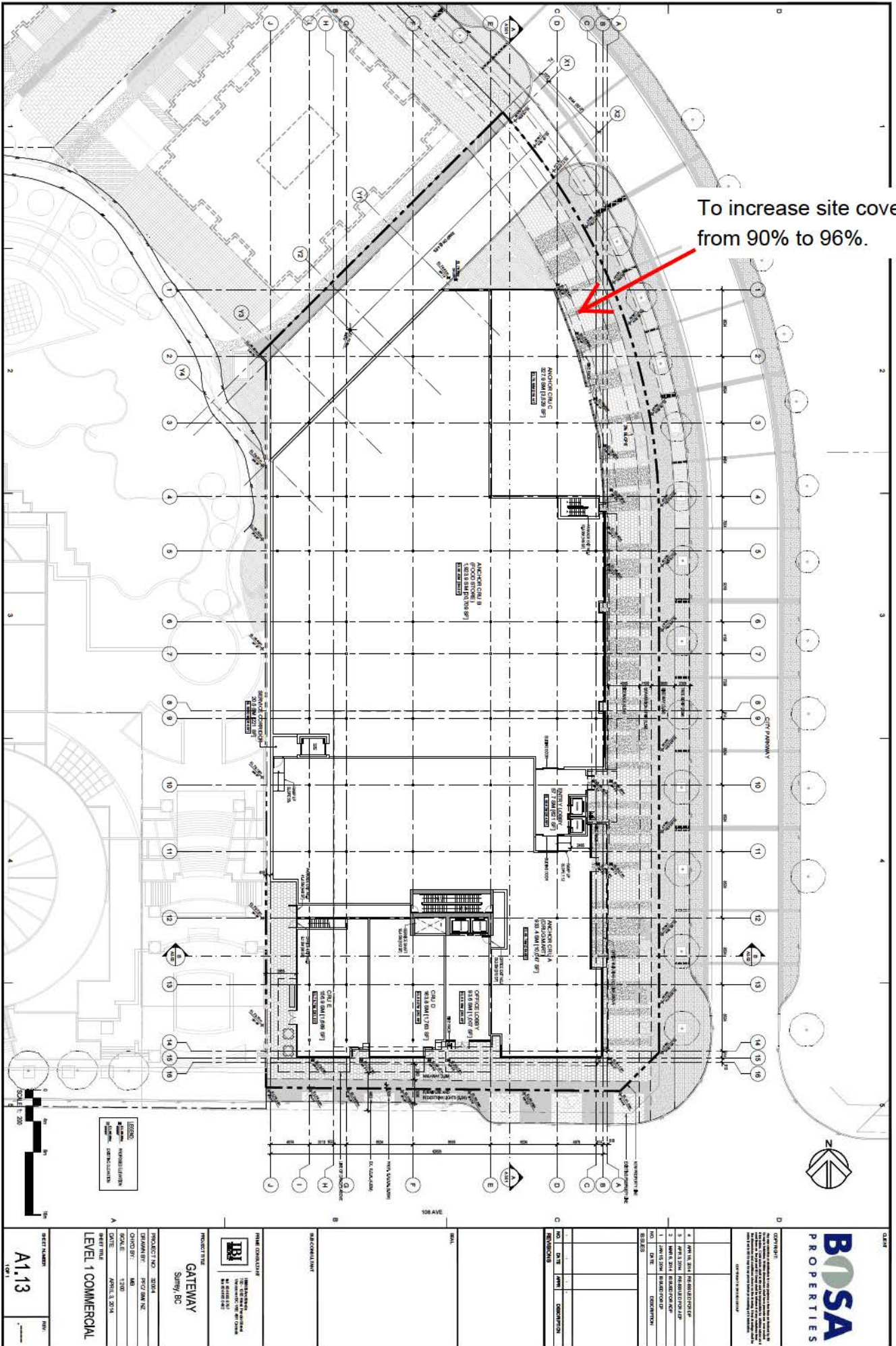
- (a) to vary Section D. Site Coverage, to increase the maximum site coverage from 90% to 96%;
 - (b) to vary Section E. Subdivision, to reduce the minimum lot size required for subdivision, from 2,000 square metres (0.5 acre) to 1, 650 square metres (0.41 acre); and
 - (c) to vary Section F. Height of Buildings, to increase the maximum building height from 3 storeys (12 ft.) to 5 storeys (91 ft.).
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

SCHEDULE A



To increase site coverage
from 90% to 96%.



BOSA
PROPERTIES

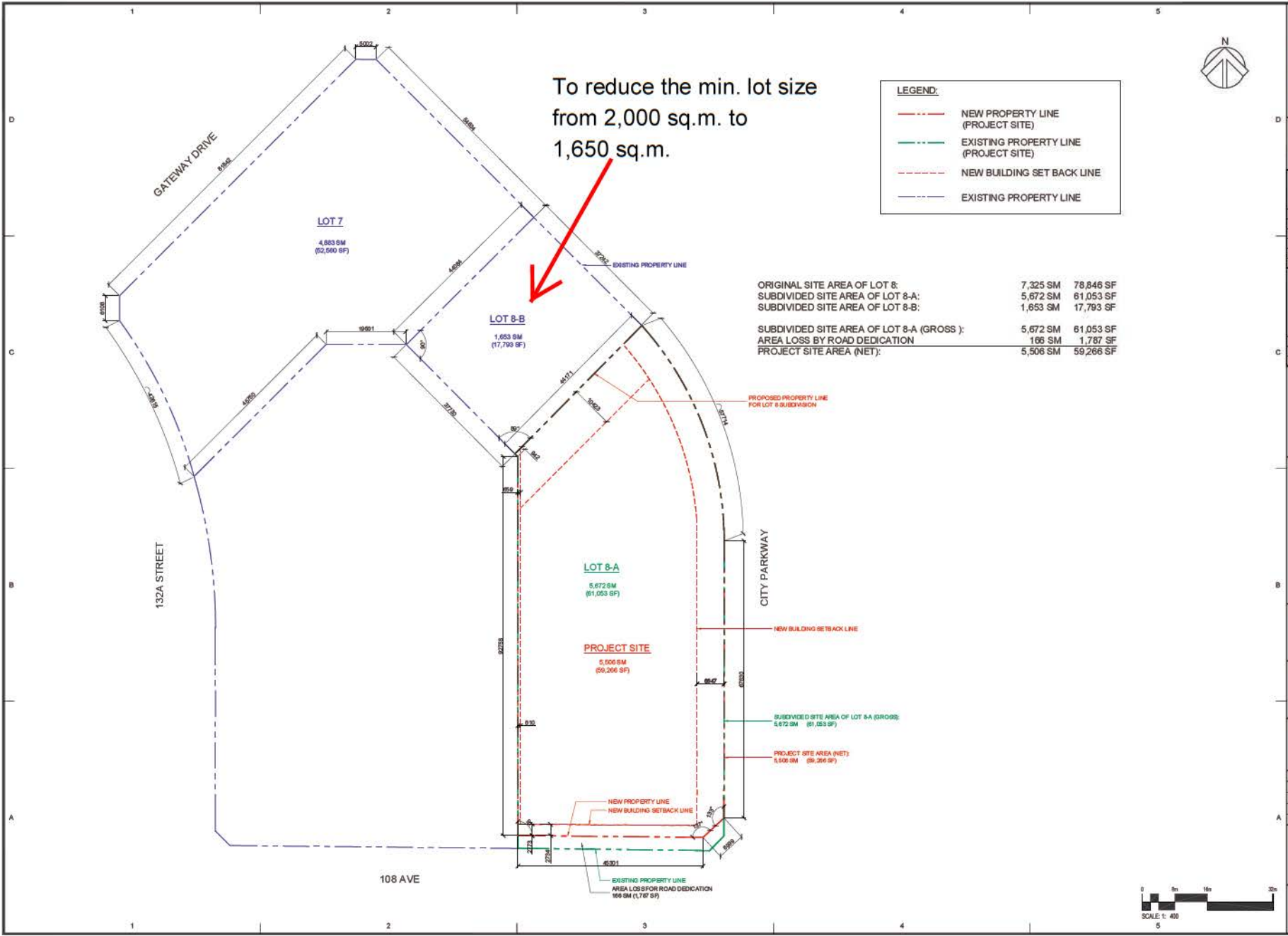
NO.	DATE	BY	DESCRIPTION

NO.	DATE	BY	DESCRIPTION

PROJECT TITLE	GATEWAY
PROJECT NO.	2004
DESIGNER/ARCHITECT	PERCIVAL & CO.
SCALE	1/8" = 1'-0"
DATE	APRIL 15, 2014
LEVEL	LEVEL 1 COMMERCIAL

PROJECT NO.	2004
DESIGNER/ARCHITECT	PERCIVAL & CO.
SCALE	1/8" = 1'-0"
DATE	APRIL 15, 2014
LEVEL	LEVEL 1 COMMERCIAL

A1.13



CLIENT

BOSA PROPERTIES

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DATE: APR 16, 2014
REVISION: RE-ISSUED FOR DP

DATE: APR 16, 2014
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DATE: APR 16, 2014
REVISION: RE-ISSUED FOR DP

NO.	DATE	DESCRIPTION

NO. **DATE** **APPR** **DESCRIPTION**

REVISIONS

SCALE:

SR CONSULTANT

PRIME CONSULTANT

IBI GROUP
 1200 West Broadway
 Vancouver BC V6H 1G6
 Tel: 604 681 8307
 Fax: 604 681 8302

PROJECT TITLE:
GATEWAY
 Surrey, BC

PROJECT NO.: 32004

DRAWN BY: PFC/SW/NE

CHECKED BY: MB

SCALE: 1:400

DATE: APRIL 3, 2014

SHEET TITLE:
PROPERTY LINE
DIAGRAM

SHEET NUMBER:
A0.33
 1 OF 1

REV:

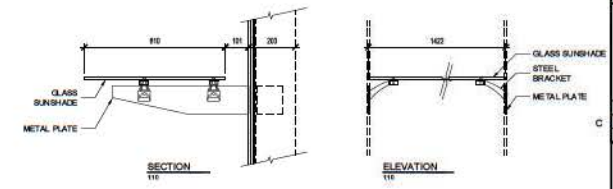


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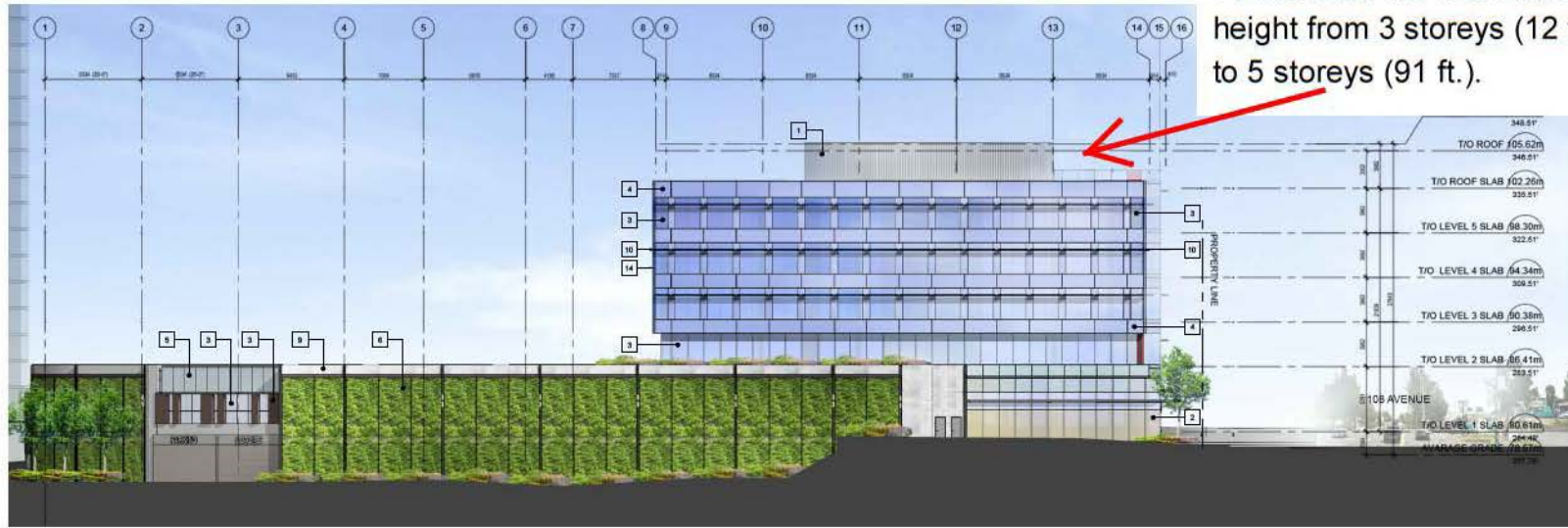


2 STREET SCAPE ELEVATION- WEST
1:400

MATERIAL LEGEND	
1 METAL SCREEN	BM-# 2108-50- GRAY
2 LOW-E GLASS	CLEAR
3 LOW-E GLASS	BLUE
4 GLASS SPANDREL PANEL	BM-# 2087-60- BLUE
5 GLASS SPANDREL PANEL	BM-# 561- GREEN
6 IVY WALL	
7 METAL CLADDING PANEL	BM-# 2103-10 BROWN
8 METAL CLADDING PANEL	BM-# 2087-10- RED
9 ARCHITECTURAL CONCRETE	BM-#2108-50- LIGHT GRAY
10 SUNSHADE	BM-# 2122-10- GRAY
11 CANOPY STEEL FRAME	BM-# 2122-10- GRAY
12 METAL DOOR	BM-# 2108-50- LIGHT GRAY
13 EXTERIOR LIGHT FIXTURE	BM-#2122-10- GRAY
14 TWO SIDED GLASS SYSTEM	
15 CONVENTIONAL GLAZING SYSTEM	



HORIZONTAL GLASS SUNSHADE



1 BUILDING ELEVATION-WEST
1:200

To increase the max. building height from 3 storeys (12 ft.) to 5 storeys (91 ft.).



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NO.	DATE	DESCRIPTION
4	APR 18, 2014	RE-BID FOR CP
3	APR 3, 2014	RE-BID FOR ADP
2	MAR 6, 2014	RE-BID FOR ADP
1	JAN 16, 2014	RE-BID FOR CP

NO.	DATE	APP.	DESCRIPTION
REVISIONS			

SEAL
B

SUB-CONSULTANT

PRIME CONSULTANT

PROJECT TITLE GATEWAY Surrey, BC

PROJECT NO: 32004
DRAWN BY: PFC/SM/NZ
CHECKED BY: MB
SCALE: AS NOTED
DATE: APRIL 3, 2014

SHEET TITLE WEST ELEVATION

SHEET NUMBER A2.03	REV:
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