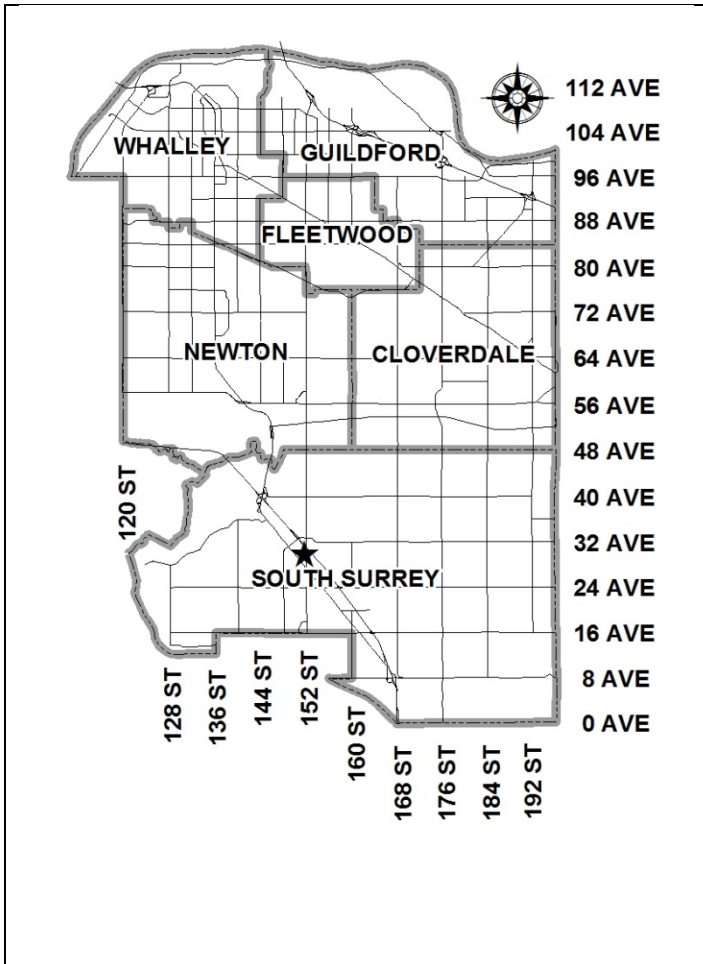


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0024-00

Planning Report Date: June 23, 2014



PROPOSAL:

- **LAP Amendment** for a portion of the site from Garden Apartments (30 upa) to Apartments (55 upa)
- **Rezoning** from RF and RM-D to CD (based on RM-30 and RM-45)
- **Development Permit**

in order to permit the development of 30 townhouse units and 76 apartment units in a four storey building with underground parking.

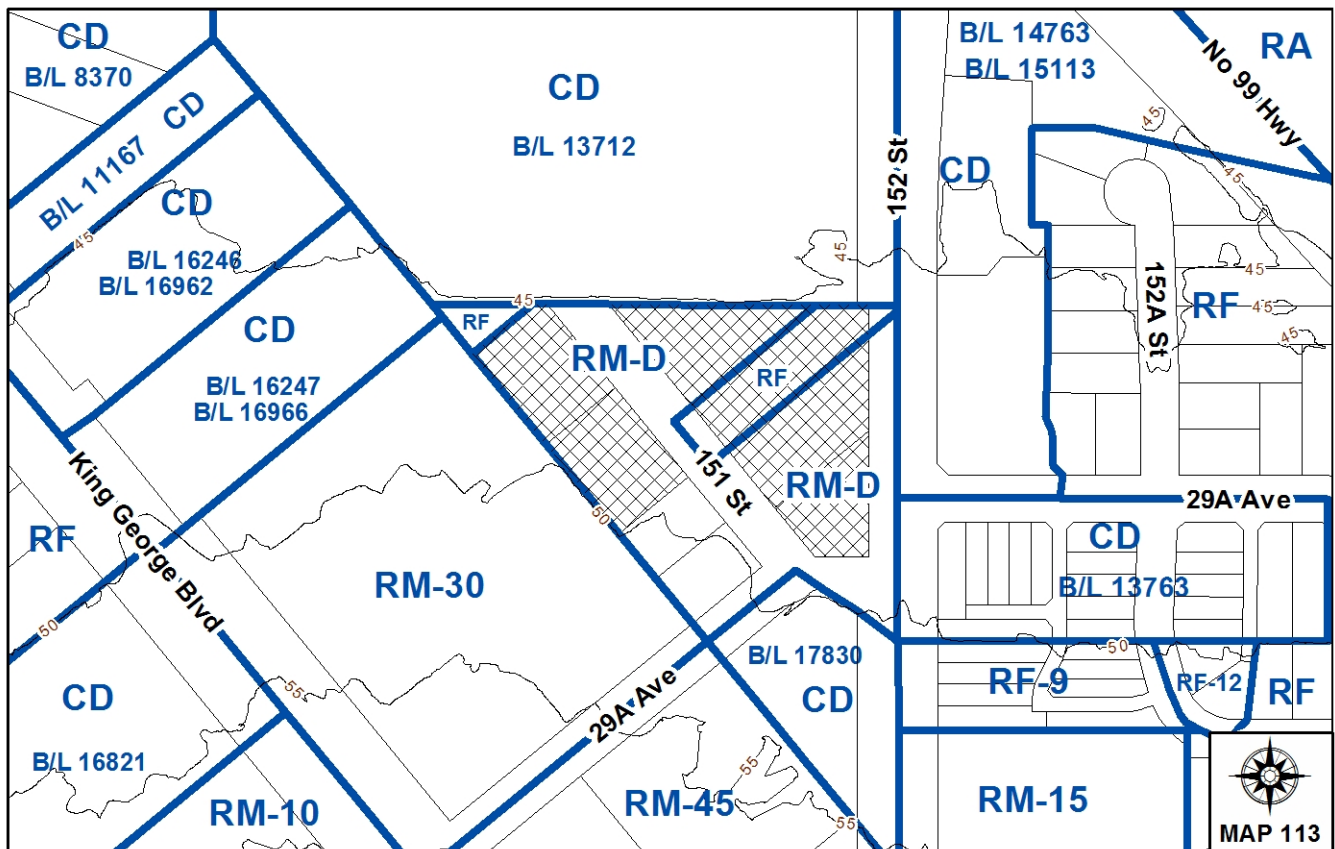
LOCATION: 2964, 2953, 2971, 2936, 2944 and 2946 - 151 Street

OWNER: 0745028 BC Ltd

ZONING: RF and RM-D

OCP DESIGNATION: Multiple Residential

LAP DESIGNATION: Garden Apartments (30 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires amendment to the King George Highway Corridor Land Use Plan, 1995, as amended, for a portion of the site from Garden Apartment (30 upa) to Apartment (55 upa).

RATIONALE OF RECOMMENDATION

- Complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposed amendment to the King George Highway Corridor Land Use Plan (LAP), 1995, as amended, to increase the units per acre density on a portion of the site has been requested in order to:
 - Allow smaller residential units, while maintaining the same maximum floor area ratio prescribed in the RM-45 Zone;
 - Utilize the subject site more efficiently;
 - Support the existing and future Frequent Transit Network (FTN) service on King George Boulevard and 152 Street; and
 - Help diversify housing choice in the neighbourhood.
- As part of this development proposal, the applicant will provide the following community benefits:
 - Construction of sidewalks and installation of street trees on 151 Street and 152 Street for the frontage of the site; and
 - Construction of approximately 90 metres (295 ft.) of an off-site sidewalk on 151 Street and 29A Avenue.
- Given the City's sustainability objectives to increase density and housing choice in close proximity to existing and future Frequent Transit Network (FTN) routes and the applicant's proposed community benefits, the proposed density can be supported at this location.
- The proposed design was reviewed by the Advisory Design Panel (ADP) and meets the OCP design guidelines of the Development Permit area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF) " (By-law No. 12000) and "Duplex Residential Zone (RM-D)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 318 square metres (3,423 square feet) to 274 square metres (2,949 square feet).
3. Council authorize staff to draft Development Permit No. 7914-0024-00 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout (lot consolidation) to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey, arborist report, landscape plans and landscape cost estimate to the satisfaction of the City Landscape Architect;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of an access easement for the residents on the West side of 151 Street in Block B to access the indoor and outdoor amenity space on the East side of 151 Street in Block A;
 - (i) submission of an acoustical report for the units adjacent to 152 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (j) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;

- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (l) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (m) the applicant adequately address the impact of reduced indoor amenity space.
5. Council pass a resolution to amend King George Highway Corridor Land Use Plan, 1995, as amended, to redesignate the land from Garden Apartments (30 upa) to Apartment (55 upa) when the project is considered for final adoption.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
School District:	<p>Projected number of students from this development:</p> <p>10 Elementary students at Semiahmoo Trail Elementary School 5 Secondary students at Semiahmoo Secondary School</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by December 2016.</p> <p>(Appendix IV)</p>
Parks, Recreation & Culture:	Parks Planning has a concern about the pressure this project will place on existing amenities in the neighbourhood. The applicant is requested to work with Parks Planning to resolve these concerns.
Ministry of Transportation & Infrastructure (MOTI):	Prior to the final completion of this project, MOTI requires that the City of Surrey obtain funding from the applicant that is to be allocated to the Ministry's proportional contribution for the Highway 99/32 Avenue Diversion and 152 Street interchange and intersection project.
Surrey Fire Department:	No concerns. The proposed apartment building will need to conform to the requirements as stipulated in E-COMM By-law No. 15740.

SITE CHARACTERISTICS

Existing Land Use: Five (5) duplex lots and one (1) vacant lot

Adjacent Area:

Direction	Existing Use	OCP/King George Highway Corridor LAP, 1995, Designation	Existing Zone
North:	South Point Shopping Centre with the Save-On-Foods grocery store directly adjacent to the site	Commercial/ Industrial and Business Park	CD By-law No. 13712
East (Across 152 Street):	Small lot single family lots and commercial plaza	Urban/ Townhouse 15 upa and Commercial	CD By-law Nos. 13763, 14763, and 15113
South:	Two (2) duplex lots and a 42 unit apartment building with underground parking currently under construction (approved under File No. 7912-0201-00)	Multiple Residential/ Garden Apartment 30 upa and Apartment 45 upa	RM-D and CD By-law No. 17830
West:	123 unit townhouse development	Multiple Residential/ Garden Apartments 30 upa	RM-30

JUSTIFICATION FOR PLAN AMENDMENT

- The site is designated "Multiple Residential" in the Official Community Plan (OCP) and Garden Apartments (30 units per acre (upa)) in the King George Highway Corridor Land Use Plan (LAP), 1995, as amended. The proposal complies with the OCP, however, requires an LAP amendment for a portion of the site from Garden Apartments (30 upa) to Apartments (55 upa).
- The land use designation for the subject site was developed 19 years ago as part of the King George Highway Corridor LAP in 1995. Over the past 19 years, the development trend and market affordability has moved away from a lower density/ larger unit size apartment housing product towards a smaller size unit type of multi-family development. As such, the proposed development responds to today's market.
- The proposed amendment to the King George Highway Corridor LAP to increase the unit per acre density of the subject site has also been requested in order to:
 - utilize the subject site more efficiently;
 - support the existing and future Frequent Transit Network (FTN) service on King George Boulevard and 152 Street; and
 - help increase and diversify housing choice in the neighbourhood.

- As part of this development proposal, the applicant will provide the following community benefits:
 - Construction of sidewalks and installation of street trees on 151 Street and 152 Street for the frontage of the site; and
 - Construction of approximately 90 metres (295 feet) of an off-site sidewalk on 151 Street and 29A Avenue.

These infrastructure improvements will create a superior pedestrian environment by providing access to transit, schools and parks located within close walking distance of the site.

- Taking into consideration the City's sustainability objectives to increase density and housing choice in close proximity to existing and future Frequent Transit Network (FTN) routes and the applicant's proposed community benefits, the proposed amendment to the LAP can be supported.

DEVELOPMENT CONSIDERATIONS

- The subject site is currently zoned "Single Family Residential Zone (RF)" and "Duplex Residential Zone (RM-D)". The applicant proposes to rezone the site to "Comprehensive Development Zone (CD)" based on the "Multiple Residential (45) Zone (RM-45)" on the East side of 151 Street shown as Block A and the "Multiple Residential (30) Zone (RM-30)" on the West side of 151 Street shown as Block B in order to permit a total of 106 dwelling units.
- The proposed development for Block A consists of 11 townhouse units and 76 apartment units with underground parking. The proposed units in Block A include one (1), two (2) and three (3) bedroom units. These units range in size from 64.3 square metres (692 square feet) to 129.6 square metres (1,395 square feet), with a total floor area of 8,416 square metres (90,589 square feet).
- The proposed development for Block B consists of 19, three (3) bedroom plus den townhouse units with at grade, enclosed parking. The units in Block B range in size from 162.5 square metres (1,749 square feet) to 180.4 square metres (1,942 square feet), with a total floor area of 3,238 square metres (34,855 square feet).
- The development proposal includes 336 square metres (3,617 square feet) of outdoor amenity space, which consists of a large outdoor recreational area including community garden plots, a children's play area and a seating area. The proposed outdoor amenity area exceeds the 318 square metre (3,423 square feet) of outdoor amenity space required under the RM-30 and RM-45 Zones (3 square metres (32 square feet) of outdoor amenity space per dwelling unit). The outdoor amenity is proposed to be shared by all the residents of the proposed development. The registration of an access easement will be required for the residents on the West side of 151 Street in Block B to access the outdoor amenity space on the East side of 151 Street in Block A.

- The proposal includes 274 square metres (2,949 square feet) of indoor amenity space which consists of a lounge, games room, and exercise room with direct access to the outdoor amenity area. The RM-30 and RM-45 Zones require a minimum of 318 square metres (3,423 square feet) of indoor amenity space (3 square metres (32 square feet) per dwelling unit). There is a deficiency of 43 square metres (463 square feet) and the applicant will provide cash-in-lieu contribution of \$16,800.00, representing \$1,200.00 per unit in lieu of indoor amenity space for the 14-unit deficiency in accordance with City Policy.
- The indoor amenity space is proposed to be shared by all the residents of the proposed development. The registration of an access easement will be required for the residents on the West side of 151 Street in Block B to access the indoor amenity space on the East side of 151 Street in Block A.

Proposed CD Zone:

- The proposed "Comprehensive Development Zone (CD)" is based on the "Multiple Residential 45 Zone (RM-45)" on the East side of 151 Street shown as Block A and the "Multiple Residential 30 Zone (RM-30)" on the West side of 151 Street shown as Block B. Tables 1 and 2 outline the differences between the RM-45 and RM-30 Zones and the proposed CD Zone for Blocks A and B, respectively.

Table 1: Comparison of the RM-45 and Proposed CD Zones for Block A:

	RM-45 Zone	CD Zone
Permitted Uses	Multiple unit residential buildings and ground-oriented multiple residential unit buildings	Multiple unit residential buildings and ground-oriented multiple residential unit buildings
Maximum Floor Area Ratio (FAR)	1.30	1.30
Maximum Lot Coverage	45%	40%
Maximum Building Height	15 m (49.2 ft)	15 m (49.2 ft)
Minimum Front Yard Setback (152 Street)	7.5 m (25 ft)	7.5 m (25 ft) to building; 6.0 m (20 ft) to columns, roof canopies and balconies
Minimum Side Yard on Flanking Street Setback (151 Street/29A Avenue)	7.5 m (25 ft)	2.0 m (11 ft) to building; 1.0 m (3.3 ft.) to stairs
Minimum Rear Yard Setback (North)	7.5 m (25 ft)	6.5 m (21 ft) to building

- The proposed use, the maximum building height of 15 metres (49.2 feet) and the maximum Floor Area Ratio (FAR) of 1.3, are in accordance with the requirements of the RM-45 Zone, thus yielding a building form and building massing that is consistent with the RM-45 Zone. Also, the proposed lot coverage of 40% is less than is permitted in the RM-45 Zone, thus resulting in an appropriate amount of open space on the site.
- The proposed reduced side yard setback on the flanking streets (151 Street and a small corner of 29A Avenue) have been requested to reflect the unique nature of this portion of 151 Street that dead ends at this development, and therefore is anticipated to be primarily used by the

residents of the proposed development. Due to the limited traffic and use of this portion of 151 Street, City staff has determined that the reduced setbacks will not negatively impact the livability of the units adjacent to the street.

- The proposed reduced rear yard setback has been requested to utilize the site more efficiently and the applicant has confirmed that the affected units will have functional outdoor space in the form of balconies.

Table 2: Comparison of the RM-30 and Proposed CD Zones for Block B:

	RM-30 Zone	CD Zone
Permitted Uses	Ground-oriented multiple residential unit buildings	Multiple unit residential buildings and ground-oriented multiple residential unit buildings
Maximum Floor Area Ratio (FAR)	0.9	0.9
Maximum Lot Coverage	45%	40%
Maximum Building Height	13 m (43 ft)	13 m (43 ft)
Minimum Front Yard Setback (151 Street)	7.5 m (25 ft)	2.0 m (7 ft)
Minimum North Side Yard	7.5 m (25 ft)	2.0 m (7 ft)
Minimum South Side Yard	7.5 m (25 ft)	3.0 m (10 ft)
Minimum Rear Yard Setback	7.5 m (25 ft)	6.9 m (23 ft) to building; 5.7 m (18.7 ft) to columns, stairs and balconies

- The proposed use, the maximum building height of 13 metres (43 feet), and the maximum Floor Area Ratio (FAR) of 0.9, are in accordance with the requirements of the RM-30 Zone, thus yielding a product that is consistent with the existing land use designation. Also, the proposed lot coverage of 40% is less than is permitted in the RM-30 Zone, thus resulting in an appropriate amount of site coverage.
- Similar to Block A, the proposed reduced front yard setback on 151 Street has been requested to reflect the unique nature of this portion of 151 Street that dead ends at this development, and therefore is anticipated to be primarily used by the residents of the proposed development. Due to the limited traffic and use of this portion of 151 Street, City staff has determined that the reduced setbacks will not negatively impact the livability of the units adjacent to the street.
- The proposed reduced side yard setbacks are to the side of two (2) units only and therefore will not impact the functional outdoor space or livability of these units.
- The proposed reduced rear yard setback is only 0.6 metres (2 ft.) to the face of the building and 1.8 metres (6 ft.) for columns, stairs and balconies. The proposed separation between the rear of the existing townhouse units to the West, and the proposed dwelling units is approximately 14.4 metres (47 ft.), providing an adequate separation between these two multi-family projects.

Transportation Network and Parking:

- The following transportation network improvements are required for this proposal:
 - 5.088 metres (16.7 feet) road dedication is required for the future widening of 152 Street;
 - 8.0 metre road dedication for the extension of a walkway between 151 Street and the South Point Shopping Centre and the construction of a 2.5 metre concrete sidewalk to meet up with the existing walkway to the shopping centre;
 - Construction of 151 Street including the preservation of the existing trees in the boulevard; and
 - Construction of approximately 90 metres (295 ft.) of an off-site sidewalk on 151 Street and 29A Avenue.
- The subject site will obtain two (2) vehicular accesses from 151 Street. One (1) access is proposed on the East side of 151 Street to the underground parkade and one (1) access is proposed on the West side of the 151 Street to the internal driveway for the townhouse units. No vehicular access is permitted from 152 Street.
- The proposal includes 151 underground parking stalls (134 parking stalls for residents and 17 visitor parking stalls) for the East side of the site (Block A) and 42 parking stalls (38 parking stalls for residents and 4 visitor parking stalls) for the West side of the site (Block B). This exceeds the parking requirements of the Zoning By-law.
- Visitor bicycle parking is located next to the principal entrance on 152 Street and the resident bicycle parking is located in storage rooms within the underground parkade.
- The proposed underground vehicular circulation meets the requirements of the Fire and Engineering Departments and is designed in accordance with Crime Prevention Through Environmental Design (CPTED) principles.

PRE-NOTIFICATION

- Pre-notification letters were sent on February 25, 2014 to 619 households within 100 metres (328 feet) of the subject site. As a result of the pre-notification, the City received a response from two (2) households indicating support for the proposal.

DESIGN PROPOSAL AND REVIEW

- This application was referred to the Advisory Design Panel (ADP) on May 22, 2014 and June 12, 2014 (Appendix VI). Majority of the ADP comments have been satisfactorily addressed by the applicant and only minor items needs to be resolved before final approval of the project. The proposed development was evaluated based on compliance with the design guidelines in the OCP.
- The proposed four (4) storey apartment building and townhouses are designed with high quality design features and materials envisioned for the area. The project includes a mix of units ranging from one (1) to three (3) bedrooms.

- The proposed apartment housing units are oriented on a North-South spine on 152 Street in an effort to maximize views, sunlight and outdoor amenity space. The principal entrance to the apartment building is marked by a double height lobby facing 152 Street with a secondary entrance to the interior courtyard providing access to 151 Street.
- All of the proposed townhouse units on the West and East sides of 151 Street are street oriented with direct and individual entrances and walkways to the street. The entry doors are designed to create visual interest. Overall, the proposed streetscapes will create a pedestrian friendly and visually pleasant environment in accordance with Crime Prevention Through Environmental Design (CPTED) principles. By providing eyes on the street, the orientation of dwelling units allows for natural surveillance of the neighbourhood.
- The proposed buildings will be constructed using painted fibre cement and brick as the primary cladding materials, complemented by painted wood trims and braces. The colour scheme proposed consists of light and dark grey, white and natural, earthy tones, complemented by red brick.
- The proposed landscape concept is intended to provide an attractive and private green space for residents while ensuring good visibility of the site and comfortable pedestrian access to 151 and 152 Streets.
- Noise mitigation along arterial roads, such as 152 Street, is an important consideration in improving the livability of residential developments. The proposed development will require an acoustical report to be submitted for the units adjacent to 152 Street. The acoustical report will need to be prepared by a qualified acoustical consultant and should consider the road at its ultimate condition.

Public Art

- The proposed development application is subject to the public art on private property policy, which will be secured by a Section 219 No-Build Restrictive Covenant.
- The applicant has agreed to provide a monetary contribution at the Building Permit stage, based on the estimated value of the project, to the Public Art Reserve Fund, to satisfy the requirements of the policy.

TREES

- Meredith Mitchell and Sheldon Ridout, ISA Certified Arborists of M2 Landscape Architecture prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	13	8	5
Cottonwood	13	13	-

Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	3	3	-
Cherry	4	4	-
Crabapple	3	-	3
Big Leaf Maple	2	2	-
Red Maple	12	1	11
Red Horse Chesnut	1	1	-
Japanese Maple	1	-	1
Linden	7	7	-
Weeping Willow	1	1	-
Mountain Ash	1	1	-
Coniferous Trees			
Balsam Fir	1	1	-
Scots Pine	6	6	-
Douglas Fir	17	15	2
Western Red Cedar	9	3	6
Hemlock	3	3	-
Himalayan Cedar	3	3	-
Total (excluding Alder and Cottonwood Trees)	73	50	23
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		88	
Total Retained and Replacement Trees		116	
Contribution to the Green City Fund		\$9,900.00	

- The Arborist Assessment states that there are a total of 73 protected trees on the site, excluding Alder and Cottonwood trees. 26 existing trees, approximately 23 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that 23 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The proposed alignment of the sidewalk on 151 Street was altered in order to maximize tree preservation on the site. This will require supervision by an arborist during construction.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 121 replacement trees on the site. Since only 88 replacement trees can be accommodated on the site, the deficit of 33 replacement trees will require a cash-in-lieu payment of \$9,900.00, representing \$300 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.

- In addition to the replacement trees, boulevard street trees will be planted on 151 and 152 Street. This will be determined at the servicing agreement stage by the Engineering Department.
- The new trees on the site will consist of a variety of trees including Vine Maple, Katsura, Persimmon, Dawyck Beech, Star Magnolia, Eastern White Pine and English Oak trees.
- In summary, a total of 116 trees are proposed to be retained or replaced on the site with a contribution of \$9,900.00 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on January 30, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in an urban infill area and the proposed development will help support the existing and future Frequent Transit Network (FTN) on King George Boulevard and 152 Street.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed apartment and townhouse units will provide housing choice in the neighbourhood.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Low impact development standards (LIDs) are incorporated in the design of the project including: <ul style="list-style-type: none"> • Absorbent soils (minimum 300 mm in depth) where possible; • Rain barrels connected to the building roof drains for the communal gardens; and • Natural landscaping including indigenous plants, trees and shrub species. • Provisions for recycling including composting areas in the communal garden areas and recycling pick up service.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Visible and secure all-weather bicycle parking will be provided. • The buildings have been designed to provide pedestrian connections to both 151 and 152 Streets.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the following manner: <ul style="list-style-type: none"> ○ Natural surveillance whereby units are designed to overlook streets and outdoor amenity spaces; ○ Low and permeable fencing is proposed to increase visibility; ○ Natural access control by clearly defining entries to the building; • Natural territorial re-enforcement by designing ground level units to have private patios.
6. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Communal gardens are incorporated into the proposed development to help promote urban agriculture and to make residents aware of more sustainable food production options.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. ADP Comments
- Appendix VII. Proposed CD By-law

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

CL/da

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DRV 6/19/14 12:35 PM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Marc MacCaull
 Streetside Developments (BC) Ltd.
 Address: 5620- 152 Street, Suite 310
 Surrey,BC V3S 3K2

 Tel: 604-579-0094

2. Properties involved in the Application

- (a) Civic Address: 2964 - 151 Street
 2953 - 151 Street
 2971 - 151 Street
 2936 - 151 Street
 2944 - 151 Street
 2946 - 151 Street

- (b) Civic Address: 2964 - 151 Street
 Owner: 0745028 BC Ltd.
 Director Information:
 Jake Friesen
 Gloria Gonzales
 Gary Mertens
 Guy Young

No Officer Information Filed

PID: 005-356-105

Lot 35 Section 22 Township 1 New Westminster District Plan 55325

- (c) Civic Address: 2953 - 151 Street
 Owner: 0745028 BC Ltd
 Director Information:
 Jake Friesen
 Gloria Gonzales
 Gary Mertens
 Guy Young

No Officer Information Filed

PID: 000-598-291

Lot 37 Section 22 Township 1 New Westminster District Plan 55325

- (d) Civic Address: 2971 - 151 Street
Owner: 0745028 BC Ltd
Director Information:
Jake Friesen
Gloria Gonzales
Gary Mertens
Guy Young

No Officer Information Filed
PID: 005-357-136
Lot 38 Section 22 Township 1 New Westminster District Plan 55325
- (e) Civic Address: 2936 - 151 Street
Owner: 0745028 BC Ltd
Director Information:
Jake Friesen
Gloria Gonzales
Gary Mertens
Guy Young

No Officer Information Filed
PID: 005-356-199
Lot 52 Except: Part Dedicated Road On Plan LMP41931 Section 22 Township 1 new
Westminster District Plan 55326
- (f) Civic Address: 2944 - 151 Street
Owner: 0745028 BC Ltd
Director Information:
Jake Friesen
Gloria Gonzales
Gary Mertens
Guy Young

No Officer Information Filed
PID: 001-870-424
Strata Lot 1 Section 22 Township 1 New Westminster District Strata Plan NW1675 Together
With An Interest In The Common Property In Proportion To The Unit Entitlement Of The
Strata Lot As Shown On Form 1
- (g) Civic Address: 2946 - 151 Street
Owner: 0745028 BC Ltd
Director Information:
Jake Friesen
Gloria Gonzales
Gary Mertens
Guy Young

No Officer Information Filed
PID: 001-870-432
Strata Lot 2 Section 22 Township 1 New Westminster District Strata Plan NW1675
Together With An Interest In The Common Property In Proportion To The Unit
Entitlement Of The Strata Lot As Shown On Form 1

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the property.
- (b) Application is under the jurisdiction of MOTI.

MOTI File No. 2014-02045

DEVELOPMENT DATA SHEET

Proposed Zoning: CD Based on RM-45 for Block A

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		7059 sq.m.
Road Widening area		582.3 sq.m.
Undevelopable area		
Net Total		6476.7 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		40%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (152 Street)	7.5 m.	7.5 m.
Rear	7.5 m.	6.5 m.
Side Yard on Flanking Street (151 Street/ 29A Avenue)	7.5 m.	2.0 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	15.0 m.	15.0 m.
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		15
Two Bedroom		61
Three Bedroom +		11
Total		87
FLOOR AREA: Residential		8416 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		8416 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	45 upa	54 upa
FAR (gross)		
FAR (net)	1.30	1.30
AMENITY SPACE (area in square metres)		
Indoor	261 sq.m.	274 sq.m.
Outdoor	261 sq.m.	336 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		20
2-Bed		92
3-Bed		22
Residential Visitors		17
Institutional		
Total Number of Parking Spaces	151	151
Number of disabled stalls	2	2
Number of small cars	25%	16%
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET

Proposed Zoning: CD Based on RM-30 for Block B

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		3718 sq.m.
Road Widening area		119.8 sq.m.
Undevelopable area		
Net Total		3598.2 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		40%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (151 Street)	7.5 m.	2.0 m.
Rear	7.5 m.	6.9 m.
Side Yard North	7.5 m.	2.0 m.
Side Yard South	7.5 m.	3.0 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	13.0 m.	13.0 m.
Accessory	4.5 m.	
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		19
Total		19
FLOOR AREA: Residential		3238 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		3238 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	30 upa	21 upa
FAR (gross)		
FAR (net)	0.9	0.9
AMENITY SPACE (area in square metres)		
Indoor	57 sq.m.	0 sq.m.
Outdoor	57 sq.m.	To be provided on Block A
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		38
Residential Visitors		4
Institutional		
Total Number of Parking Spaces	42	42
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

SOUTH POINT WALK PHASE 2

2336/2344/2346/2364/2366/2353/2355/2371/2373 151 STREET, SURREY, BC (TO BE CONSOLIDATED)

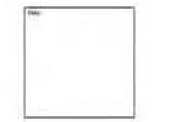
DEVELOPMENT PERMIT RE-SUBMISSION

JUNE 12TH, 2014

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REV.	DATE	DESCRIPTION
1	02/08/14	DP RE-SUBMISSION

DATE	REVISION
02/08/14	REVISED PER 151
02/08/14	DP RE-SUBMISSION



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admin@cozzoarchitecture.com



SOUTH POINT WALK 2 SURREY, B.C.

DATE	BY	CHECKED BY	RC

SCALE: 1/8" = 1'-0"

PROJECT NO.: RCA-2336

COVER SHEET

1	A0.0
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PROJECT INFORMATION - NORTH-EAST SITE (MIXED)			
LEGAL ADDRESS: TO BE CONSOLIDATED			
CIVIC:	2336/2344/2346/2364/2366/2353/2355/2371/2373 151 STREET SURREY, BC		
UNIT SUMMARY	AREA RANGE (S.F.)	# OF UNITS	PERCENTAGE
A	852 sq. ft.	10	13.9 %
A1	707 sq. ft.	1	1.1 %
A2	727 sq. ft.	1	1.1 %
A3	838 sq. ft.	3	3.9 %
B	305 sq. ft.	12	13.0 %
B1	823 sq. ft.	4	4.8 %
C	1204 sq. ft.	4	4.8 %
C1	873 sq. ft.	2	2.8 %
C2	1007 sq. ft.	1	1.1 %
C3	803 sq. ft.	3	3.4 %
D	1007 sq. ft.	3	3.8 %
D1	1027 sq. ft.	4	5.3 %
D2	320 sq. ft.	4	4.8 %
E	500 sq. ft.	4	4.8 %
F	383 sq. ft.	4	4.8 %
F1	897 sq. ft.	4	4.8 %
T1	1244 sq. ft.	3	3.4 %
T2	1288 sq. ft.	4	4.8 %
T3	1377 sq. ft.	1	1.1 %
T5	1371 sq. ft.	3	3.3 %
T6	1383 sq. ft.	1	1.1 %
TOTAL UNITS:		87	
TOTAL APT. UNITS:		70	
TOTAL TOWN UNITS:		17	
TOTAL BELLERIVE AREA (APPL.):		88,832 sq. ft.	
TOTAL BELLERIVE AREA (TYP.):		14,200 sq. ft. (typ. 70' garage)	
TOTAL BELLERIVE AREA (TYP. MAX. GARAGE):		80,850 sq. ft. (typ. 70' garage)	
SITE STATISTICS			
ZONING: (BELOW REQUIREMENTS ARE BASED UPON RM-30)			
	CURRENT	PROPOSED	
	RM-30	CD (RM-30)	
GROSS SITE AREA (EXISTING):	79,892 sq. ft.	(1.74 acres)	
GROSS SITE AREA (TOTAL):	79,892 sq. ft.	(1.74 acres)	
151H STREET ROAD DEDICATION:	5,154 sq. ft.	(0.13 acres)	
151 STREET ROAD DEDICATION:	0 sq. ft.	(0.00 acres)	
28A STREET ROAD DEDICATION:	305 sq. ft.	(0.01 acres)	
TOTAL NET SITE AREA:	69,724 sq. ft.	(1.60 acres)	
UNITS PER HECTARE (75 U.P.H. MAX. BASED ON NET):	134	U.P.H.	
UNITS PER ACRE (48 U.P.H. MAX. BASED ON NET):	54	U.P.A.	
PROVIDED OUTDOOR AMENITY: (2.625 sq. ft./MIN. U.P.H.)	3,374 sq. ft.		
PROPOSED SITE COVERAGE (45% MAX.):	28,261 sq. ft.	41.3 %	
GROSS BUILDING AREA (BLDG 1 LEVEL, C):	5,382 sq. ft.		
GROSS BUILDING AREA (BLDG 1 LEVEL, D):	30,036 sq. ft.		
GROSS BUILDING AREA (BLDG 1 LEVEL, D3):	18,807 sq. ft.		
GROSS BUILDING AREA (BLDG 1 LEVEL, D4):	19,040 sq. ft.		
GROSS BUILDING AREA (BLDG 1 LEVEL, D5):	19,510 sq. ft.		
GROSS BUILDING AREA (BLDG 1 TOTAL):	79,315 sq. ft.		
INDOOR AMENITY AREA (DEDUCTED):	2,381 sq. ft.		
NET TOTAL BUILDING AREA:	76,934 sq. ft.		
BUILDING 2 (NET AREA):	6,547 sq. ft.		
BUILDING 3 (NET AREA):	7,719 sq. ft.		
TOWNHOUSES:	14,262 sq. ft.		
TOTAL BUILDING AREA (FAR):	30,828 sq. ft.		
PERMITTED F.A.R. (BASED ON NET):	1.50	30,828 sq. ft.	
PROPOSED F.A.R. (BASED ON NET):	1.50	30,828 sq. ft.	
SITE REQUIREMENTS			
REQUIRED			
PROVIDED			
SETBACKS: (BELOW REQUIREMENTS ARE BASED UPON RM-30)			
	FRONT YARD (32' MIN.)	7.5 m	
	SIDE YARD (NORTH)	0.5 m	6.5 m (SIDEW.)
	FRONT YARD (S) (BT)	4 ft/min	2.5 m
		15.0 m (50.0 ft)	14.8 m (48.6 ft)
BUILDING HEIGHT:			
	PARKING - PRIVATE GARAGE:	# 2.0 / UNIT	22
	PARKING - PARKING:	# 1.3 / UNIT	18
	TWO BEDROOM:	# 1.3 / UNIT	18
	VISITOR:	# 0.2 / UNIT	2
		142 STALLS	131 STALLS
SMALL CAR ALLOWANCE (25% MAX.):			
		38 MAX.	28
PARKING - BICYCLES:			
	RESIDENT VISITOR:	# 1.2 / UNIT	104
			18

PROJECT INFORMATION - NORTH-WEST SITE			
LEGAL ADDRESS: TO BE CONSOLIDATED			
CIVIC:	2336/2344/2346/2364/2366/2353/2355/2371/2373 151 STREET SURREY, BC		
UNIT SUMMARY	AREA RANGE (S.F.)	# OF UNITS	PERCENTAGE
T1	1342 sq. ft.	10	32.8 %
T2	1749 sq. ft.	8	47.4 %
TOTAL UNITS:		18	
TOTAL BELLERIVE AREA:		24,827 sq. ft.	
SITE STATISTICS			
ZONING: (BELOW REQUIREMENTS ARE BASED UPON RM-30)			
	CURRENT	PROPOSED	
	RM-30	CD (RM-30)	
GROSS SITE AREA (EXISTING):	40,030.4 sq. ft.	(0.92 acres)	
DEDICATION:	1,288.7 sq. ft.	(0.03 acres)	
TOTAL NET SITE AREA:	38,741.7 sq. ft.	(0.88 acres)	
UNITS PER HECTARE (75 U.P.H. MAX. BASED ON NET):	53	U.P.H.	
UNITS PER ACRE (30 U.P.A. MAX. BASED ON NET):	21	U.P.A.	
OUTDOOR AMENITY (848 sq. ft./MIN.):	548 sq. ft.	1 sq. ft./UNIT	
INDOOR AMENITY (848 sq. ft./MIN.):	0 sq. ft.	0 sq. ft./UNIT	
PROPOSED SITE COVERAGE (45% MAX.):	15,074 sq. ft.	38.9 %	
NET TOTAL BUILDING AREA:			
		34,887 sq. ft.	
TOTAL BUILDING AREA (FAR):			
		34,887 sq. ft.	
PERMITTED F.A.R. (BASED ON NET):	0.90	34,887 sq. ft.	
PROPOSED F.A.R. (BASED ON NET):	0.90	34,887 sq. ft.	
SITE REQUIREMENTS			
REQUIRED			
PROVIDED			
SETBACKS: (BELOW REQUIREMENTS ARE BASED UPON RM-30)			
	FRONT YARD (32' MIN.)	3.0 m	3.0 m
	SIDE YARD (NORTH)	7.5 m	11.7 m (SIDEW.)
	SIDE YARD (SOUTH)	3.0 m	3.0 m
	REAR YARD:	0.9 m	0.9 m
		13.0 m (42.0 ft)	12.4 m (39.7 ft)
PARKING - CAR:			
	TOWNHOUSE VISITOR:	# 2 / UNIT	38
		# 0.2 / UNIT	4
		42 STALLS	42 STALLS
SMALL CAR ALLOWANCE: # 25% MAX. 0			
CONTACT LIST			
OWNER			
Surrey Developments (BC) Ltd. A GUYLCO Company 8702, 18620 - 130th Street, Surrey, BC V3W 2P2 Contact: Mary MacGill 1-778-975-2111 (Toll Free) 1-604-878-6841 (Local) mary.m@guyco.com			
ARCHITECT			
Robert Cozzo Architecture Inc. 200 - 2330 Columbia Street Vancouver, BC V6Y 3Y3 Contact: Bob Cozzo/Steve Warr 1-604-887-4743 (Toll Free) 1-604-687-4641 (Local) email: rca@cozzoarchitecture.com www: www.cozzoarchitecture.com			
LANDSCAPE			
M2 Landscape Architecture 220-28 Lorne Place New Westminster, BC V3M 1B1 Contact: Maren Mohr 1-604-841-8288 1-604-434-3068 email: maren.mohr@m2a.com			
CIVIL			
Apri & March Consultants Ltd. Blue 201, 13448 - 82nd Avenue Surrey, BC V3W 2E9 Contact: John Sanner 1-800-887-0008 (Toll Free) 1-604-878-6408 (Local) 1-604-897-9081 email: john.sanner@aprimarch.com			



DRAWING LIST				
SHEET #	TITLE	SCALE	ISSUE	DATE
A0.0	COVER	N.T.S.	DP RE-SUBMISSION	6/12/14
A1.00	OVERALL SITE PLAN	1/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A1.01	SITE PLAN	1" = 20'-0"	DP RE-SUBMISSION	6/12/14
A1.02	SITE PLAN CONTEXT	1" = 20'-0"	DP RE-SUBMISSION	6/12/14
A1.03	SITE PLAN SETBACKS	1" = 20'-0"	DP RE-SUBMISSION	6/12/14
A1.0	AMENITY SITE PLAN	3/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A1.20	PARKADE PLAN	1" = 20'-0"	DP RE-SUBMISSION	6/12/14
A2.00	BUILDING 1 FLOOR PLANS	3/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.01	BUILDING 1 FLOOR PLANS	3/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.02	BUILDING 1 FLOOR PLANS	3/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.03	BUILDING 1 ELEVATIONS	5/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.20	BUILDING 2 PLANS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.21	BUILDING 2 ELEVATIONS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.30	BUILDING 3 PLANS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.31	BUILDING 3 ELEVATIONS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.40	BUILDING 4 PLANS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.41	BUILDING 4 ELEVATIONS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.50	BUILDING 5 PLANS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.51	BUILDING 5 ELEVATIONS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.60	BUILDING 6 PLANS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.61	BUILDING 6 ELEVATIONS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.70	BUILDING 7 PLANS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A2.71	BUILDING 7 ELEVATIONS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
A4.0	STREETSCAPE 1510 STREET	AS NOTED	DP RE-SUBMISSION	6/12/14
A4.1	STREETSCAPE	3/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A4.2	COLORS & MATERIALS BUILDING 1	N.T.S.	DP RE-SUBMISSION	6/12/14
A4.3	COLORS & MATERIALS BUILDING 2 & 3	N.T.S.	DP RE-SUBMISSION	6/12/14
A4.4	COLORS & MATERIALS BUILDING 4 & 5	N.T.S.	DP RE-SUBMISSION	6/12/14
A4.5	COLORS & MATERIALS BUILDING 6 & 7	N.T.S.	DP RE-SUBMISSION	6/12/14
A5.0	BUILDING SECTIONS	3/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A5.1	BUILDING SECTIONS	3/32" = 1'-0"	DP RE-SUBMISSION	6/12/14
A5.2	BUILDING SECTIONS	3/16" = 1'-0"	DP RE-SUBMISSION	6/12/14
A5.3	BUILDING SECTIONS	3/16" = 1'-0"	DP RE-SUBMISSION	6/12/14
A5.4	BUILDING SECTIONS	1/8" = 1'-0"	DP RE-SUBMISSION	6/12/14
LANDSCAPE PACKAGE				
DP RE-SUBMISSION				
6/12/14				

RCA-2336-2344-2346-2364-2366-2353-2355-2371-2373-151-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100

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REVISION:

NO.	DATE	DESCRIPTION
1	10/24/14	CP PER-APPROVAL
2	11/24/14	CP PER-APPROVAL

ISSUE:

NO.	DESCRIPTION
10/24/14	BUILD PER-CP
11/24/14	CITY REVIEW
12/24/14	PLANNING REVIEW
01/24/15	CP PER-APPROVAL



RCA
 Residential Commercial Architecture

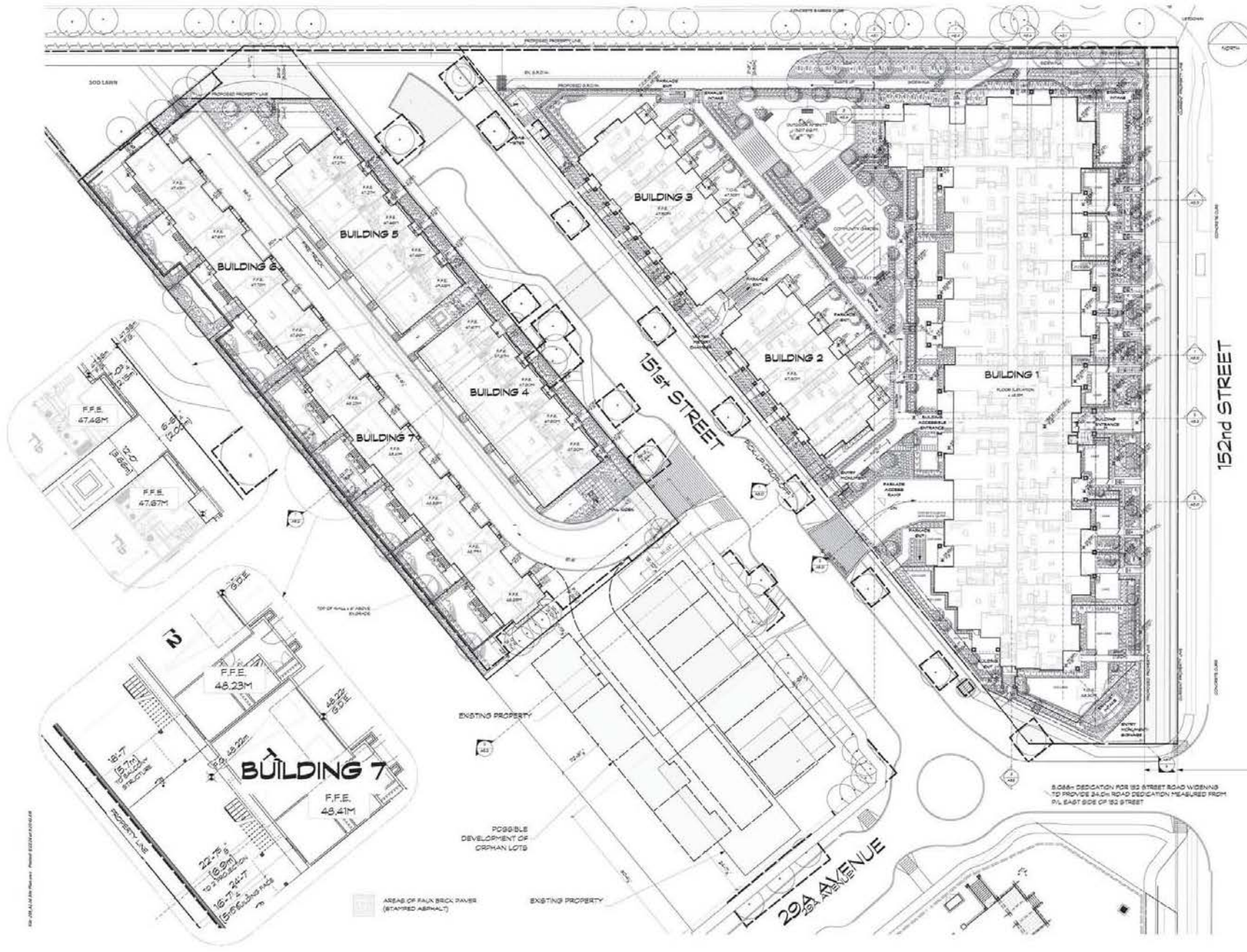
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STREETSIDE
 RESIDENTIAL DESIGN
 A QUALITY COMPANY

PROJECT:
**SOUTH POINT
 WALK 2
 SURREY, B.C.**

DATE:	NO.	ISSUED BY:	BY:
11/24/14	1	PROJECT:	RCA-228
SITE PLAN			

ISSUE NO.:	2	DATE:	A1.01
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10/24/14 CP PER-APPROVAL 11/24/14 CP PER-APPROVAL 12/24/14 PLANNING REVIEW 01/24/15 CP PER-APPROVAL

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1	2014-08-14	ISSUE FOR PERMITS

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1	2014-08-14	ISSUE FOR PERMITS



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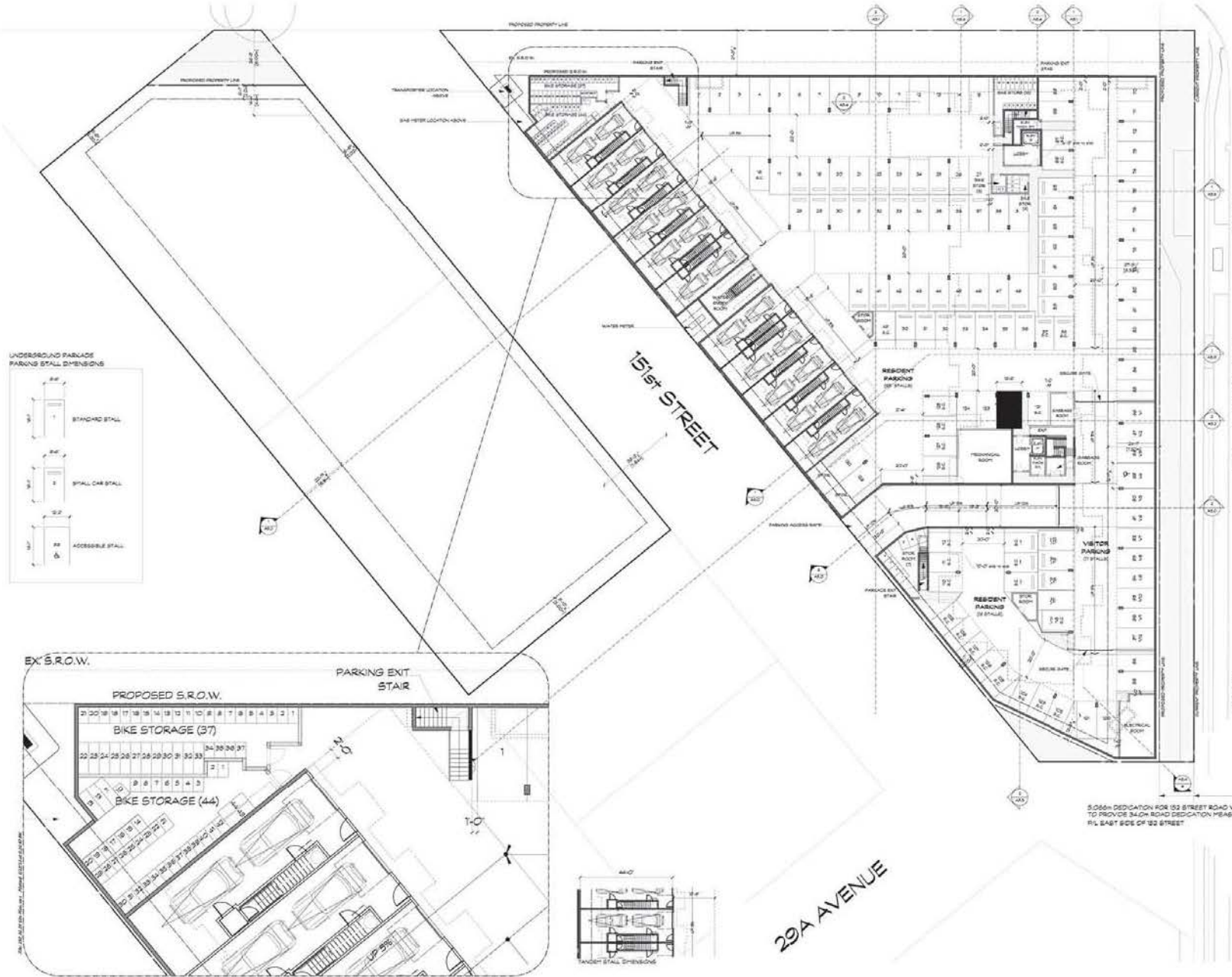
PROJECT:
**SOUTH POINT
 WALK 2
 SURREY, B.C.**

DATE	BY	CHECKED BY
T + 20-D		RCA-256

**SITE PLAN
 CONTEXT**

REVISION NO.	SHEET NO.
1	A1.02

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NO.	DESCRIPTION
1	ISSUE FOR PERMIT
2	ISSUE FOR PERMIT

ISSUE:	
DATE	DESCRIPTION
2014	ISSUE FOR PERMIT
2014	ISSUE FOR PERMIT



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SOUTH POINT WALK 2 SURREY, B.C.

DATE	BY	FOR
2014	BC	BC
2014	BC	BC

PARKADE PLAN

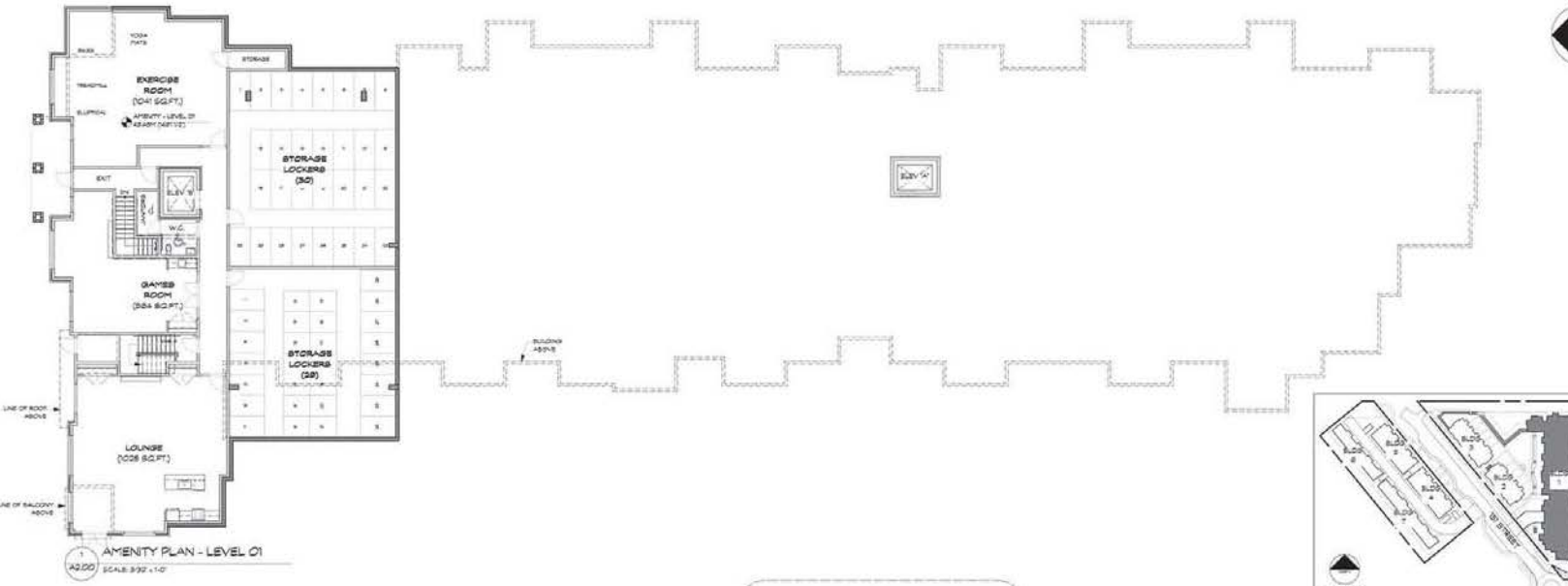
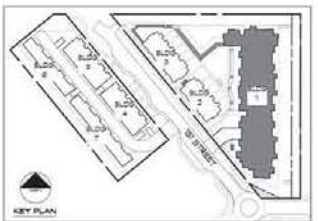
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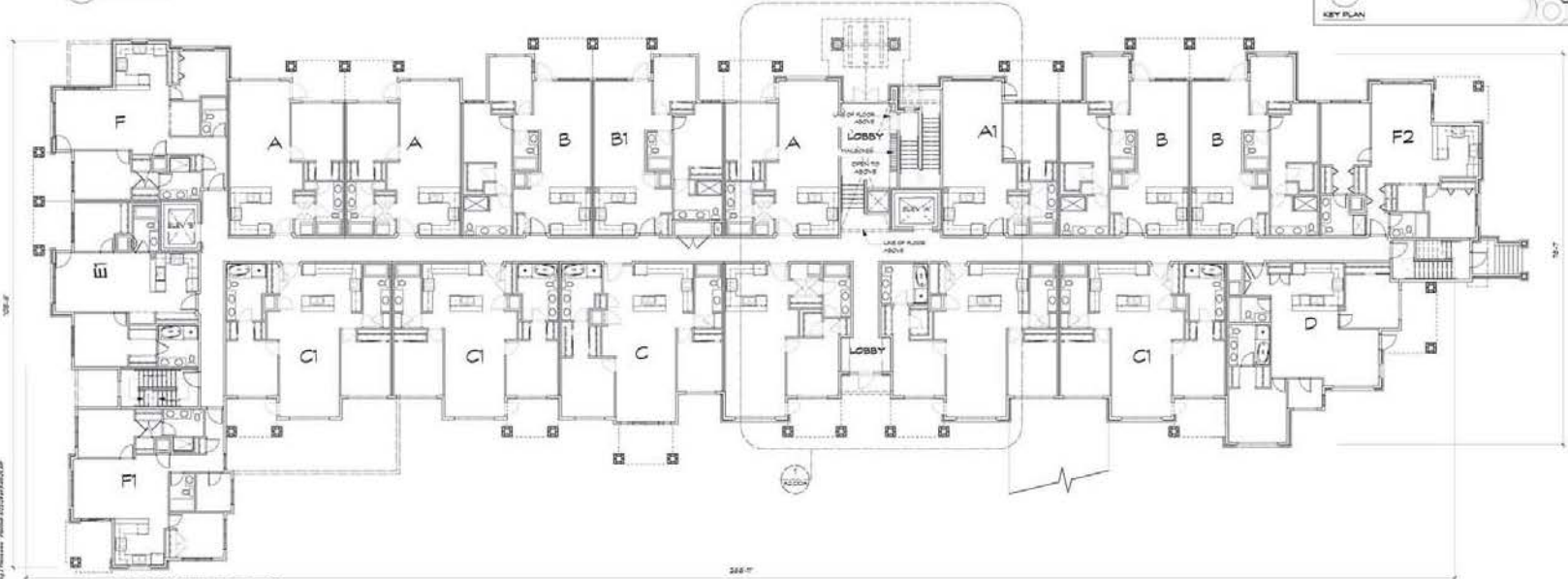
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REVISION:	
NO.	DESCRIPTION

ISSUE:	DESCRIPTION:
01.00.14	REVISED PLAN GP
02.00.14	DP-REVISED PLAN



1 AMENITY PLAN - LEVEL 01
A2.00 SCALE 3/32" = 1'-0"



2 BUILDING 1 PLAN - LEVEL 02
A2.00 SCALE 3/32" = 1'-0"

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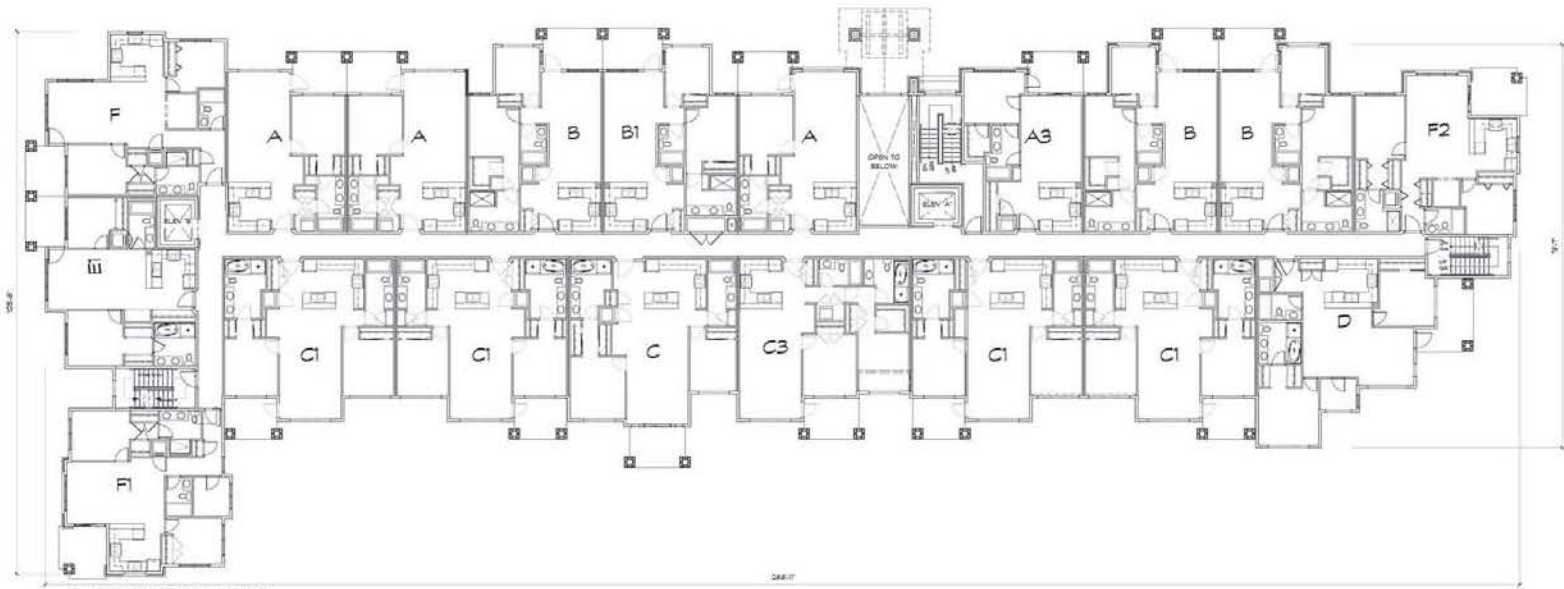
PROJECT
SOUTH POINT WALK 2
SURREY, B.C.

DATE:	BY:	CHECKED BY:
01.02.14		
02.02.14		

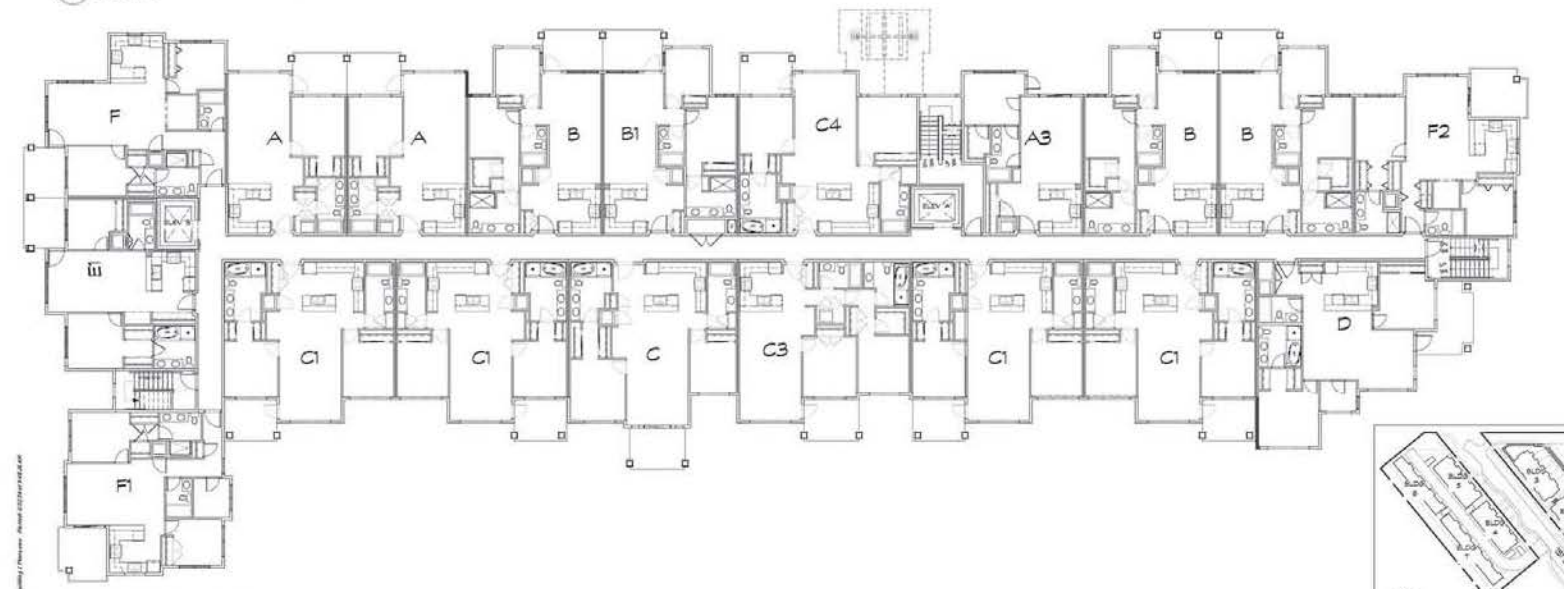
PROJECT NO.: RCA-208

BUILDING 1 FLOOR PLANS

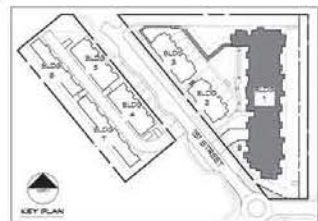
REVISION:	DATE:
-	A2.00



1 BUILDING 1 PLAN - LEVEL 03
A2.01 SCALE 3/32" = 1'-0"



2 BUILDING 1 PLAN - LEVEL 04
A3.01 SCALE 3/32" = 1'-0"



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REVISION:		
NO.	DATE	DESCRIPTION

ISSUE:
DATE: 24.02.14
BY: S.O.S.H.



RCA

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admin@ciccozziarchitecture.com

STREETSIDE
ARCHITECTURE & DESIGN
A GROUP INC.

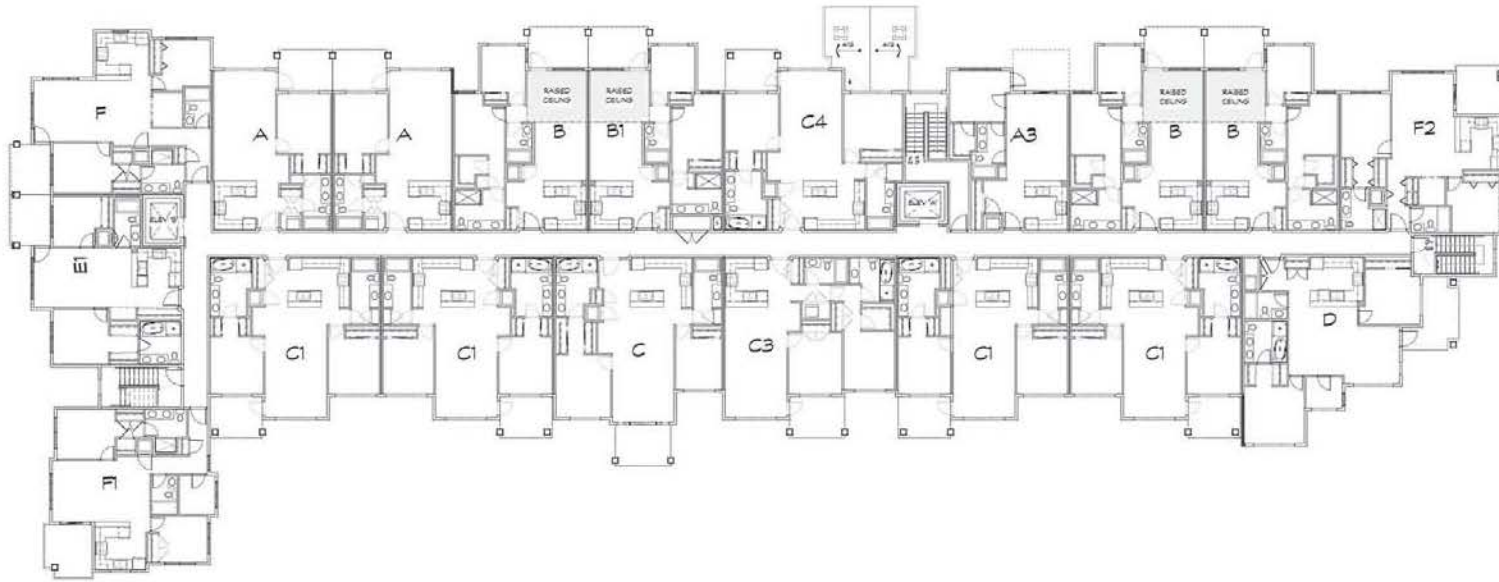
PROJECT:
**SOUTH POINT
WALK 2**
SURREY, B.C.

DATE:	BY:	CHK'D BY:
24.02.14	S.O.S.H.	RCA-208

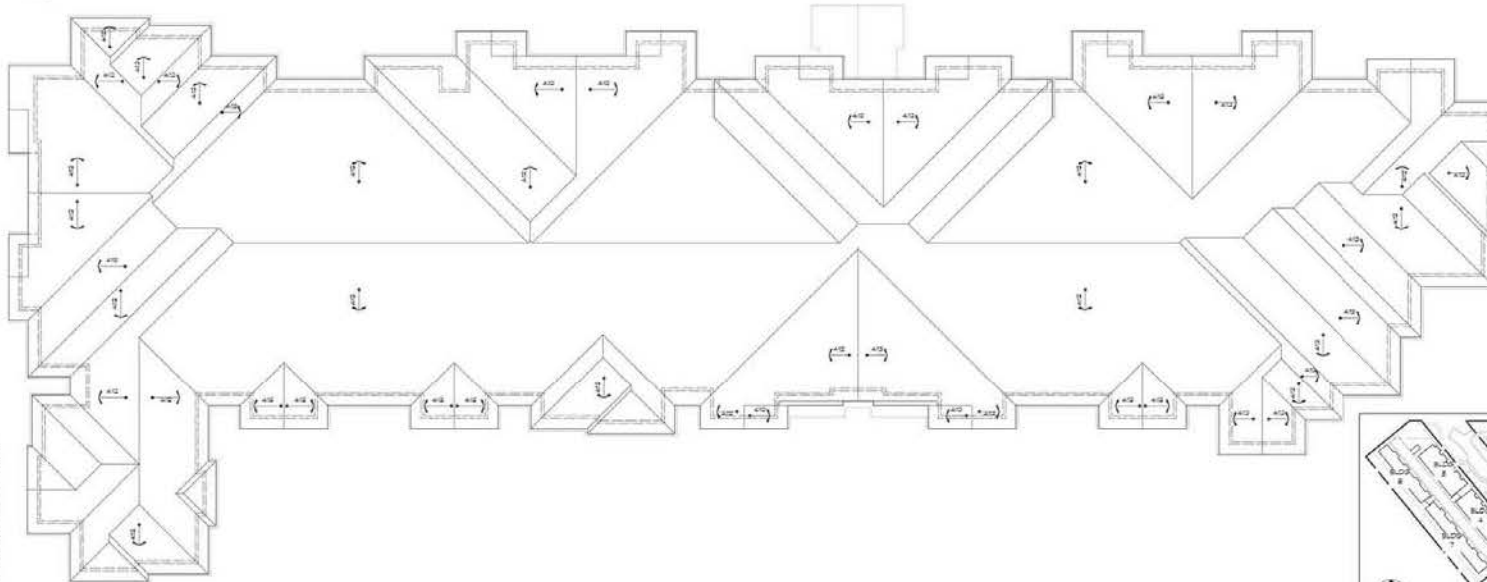
PROJECT NO.:
**BUILDING 1
FLOOR PLANS**

REVISION NO.:	ISSUE NO.:
-	A2.01

100-100-00-00000001/00000000 - Revised 2012/09/24/04/04



1 BUILDING 1 PLAN - LEVEL 05
SCALE: 3/32" = 1'-0"



2 BUILDING 1 - ROOF PLAN
SCALE: 3/32" = 1'-0"



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REVISION:

NO.	DATE	DESCRIPTION

ISSUE:

DATE	DESCRIPTION
12/05/14	PROVIDED FOR CP
12/05/14	CP-REVISION



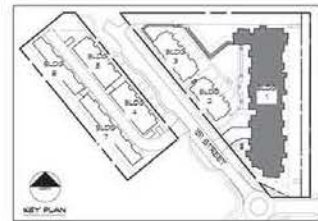
Robert Ciccozzi Architecture Inc.
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Fax: (604) 687-4641
admin@ciccozziarchitecture.com



PROJECT:
SOUTH POINT WALK 2
SURREY, B.C.

FORM: SW: RC:
DATE: 3/27/17 PROJECT NO: RC-258
SHEET NO: **BUILDING 1 FLOOR PLANS**

REVISION NO: - SHEET NO: **A2.02**



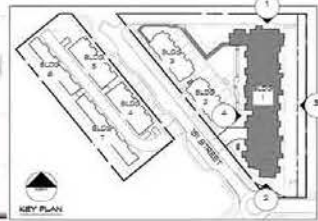
100% FULLY DEVELOPED FROM CONCEPT TO CONSTRUCTION



NORTH ELEVATION
ASST. SCALE 1:100



SOUTH ELEVATION
ASST. SCALE 1:100



KEY PLAN

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REVISION:	
NO.	DESCRIPTION

TITLE:	
DATE:	SCALE:



EAST ELEVATION
ASST. SCALE 1:100



WEST ELEVATION
ASST. SCALE 1:100



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SOUTH POINT WALK 2
SURREY, B.C.

DATE:	BY:	DESIGNED BY:	SCALE:
3-20-20		RCA/DBA	

PROJECT TITLE:
BUILDING 1 ELEVATIONS

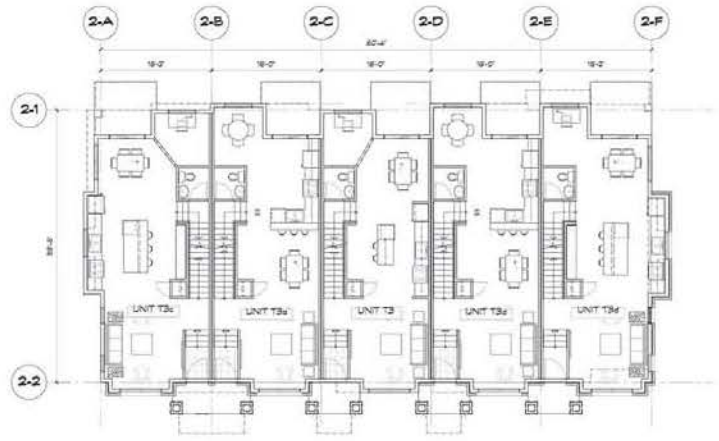
REVISION:	DATE:
-	A2.10



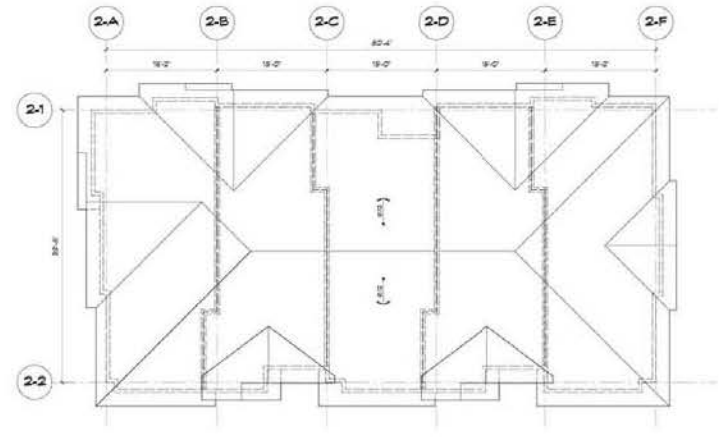
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REVISION		
NO.	DATE	DESCRIPTION

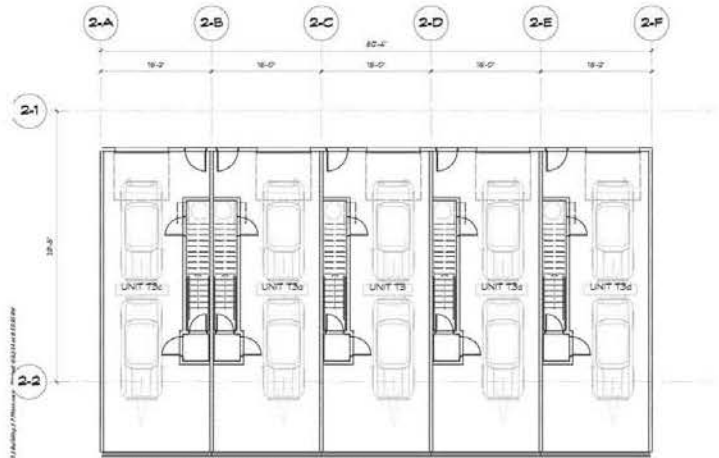
	AREA (SQM)	AREA (SQFT)
GROUND LEVEL	425.87 SQM	4567.56 SQFT
UPPER LEVEL	322.07 SQM	3457.12 SQFT
ROOF AREA	425.87 SQM	4567.56 SQFT
TOTAL AREA	1173.81 SQM	12592.24 SQFT



2 BUILDING 2 - MAIN FLOOR PLAN
SCALE 1/8"=1'-0"



3 BUILDING 2 - ROOF PLAN
SCALE 1/8"=1'-0"



1 BUILDING 2 - GROUND FLOOR PLAN
SCALE 1/8"=1'-0"



4 BUILDING 2 - UPPER FLOOR PLAN
SCALE 1/8"=1'-0"

ISSUE:
DATE: 2014-11-14
REVISION: REVISED FOR ICP
BY: R.C. / R.C.P.



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PROJECT:
**SOUTH POINT
WALK 2**
PHASE 1
SURREY, B.C.

DATE: 2014-11-14	CHECKED BY: RC
DRAWN BY: R.C. / R.C.P.	PROJECT NO.: RCA258
SHEET TITLE: BUILDING 2 PLANS	

SCALE: 1/8"=1'-0"
A2.20

RCA-2014-11-14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100

MATERIAL LEGEND

A PAINTED VERTICAL BOARD & BATTEN SLIPKNOT SPINDLING BY TRUSS (2020)	E PAINTED WOOD TRIM & BARGEETS SLIPKNOT SPINDLING BY TRUSS (2020)
B MASONRY CLADDING TRUSS (2020)	F 1/2" X 1/2" BRICK ALUMINUM GUARDRAIL & WINDOW SONES SLIPKNOT
C PAINTED HARD SHINGLES SEA SEAL (2020) ANGULAR CURVED (2020)	G CONCRETE CAPS & DILLS
D HORIZONTAL SIDING TRUSS (2020)	H ROOF SHINGLES SLIPKNOT
	I VINYL WINDOWS & SLIDING DOORS SLIPKNOT



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NO.	DATE	DESCRIPTION

ISSUE:

DATE	DESCRIPTION



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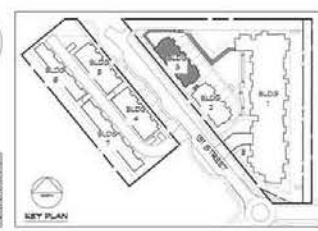
PROJECT:
SOUTH POINT WALK 2
 SURREY, B.C.

OWNER:	BY:	DESIGNED BY:
SCALE:	1/8" = 1'-0"	PROJECT NO.:
PROJECT TITLE:		RCA-208
BUILDING 2 ELEVATIONS		

REVISION NO.:	ISSUE NO.:
-	A2.21



RCA-208-ARCHITECTURE/21/2020-08-11/11:00 AM/11:00 AM/11:00 AM



BUILDING 3		
	AREA (sqm)	AREA (sqft)
GROUND LEVEL	12,000 sqm	129,000 sqft
1ST LEVEL	3,300 sqm	35,500 sqft
UPPER LEVEL	3,800 sqm	41,000 sqft
1ST FLOOR	15,300 sqm	165,500 sqft
2ND FLOOR	7,100 sqm	76,500 sqft
3RD FLOOR	7,100 sqm	76,500 sqft
4TH FLOOR	7,100 sqm	76,500 sqft
5TH FLOOR	7,100 sqm	76,500 sqft
6TH FLOOR	7,100 sqm	76,500 sqft
7TH FLOOR	7,100 sqm	76,500 sqft
8TH FLOOR	7,100 sqm	76,500 sqft
9TH FLOOR	7,100 sqm	76,500 sqft
10TH FLOOR	7,100 sqm	76,500 sqft
11TH FLOOR	7,100 sqm	76,500 sqft
12TH FLOOR	7,100 sqm	76,500 sqft
13TH FLOOR	7,100 sqm	76,500 sqft
14TH FLOOR	7,100 sqm	76,500 sqft
15TH FLOOR	7,100 sqm	76,500 sqft
16TH FLOOR	7,100 sqm	76,500 sqft
17TH FLOOR	7,100 sqm	76,500 sqft
18TH FLOOR	7,100 sqm	76,500 sqft
19TH FLOOR	7,100 sqm	76,500 sqft
20TH FLOOR	7,100 sqm	76,500 sqft
21TH FLOOR	7,100 sqm	76,500 sqft
22TH FLOOR	7,100 sqm	76,500 sqft
23TH FLOOR	7,100 sqm	76,500 sqft
24TH FLOOR	7,100 sqm	76,500 sqft
25TH FLOOR	7,100 sqm	76,500 sqft
26TH FLOOR	7,100 sqm	76,500 sqft
27TH FLOOR	7,100 sqm	76,500 sqft
28TH FLOOR	7,100 sqm	76,500 sqft
29TH FLOOR	7,100 sqm	76,500 sqft
30TH FLOOR	7,100 sqm	76,500 sqft
31TH FLOOR	7,100 sqm	76,500 sqft
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39TH FLOOR	7,100 sqm	76,500 sqft
40TH FLOOR	7,100 sqm	76,500 sqft
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42TH FLOOR	7,100 sqm	76,500 sqft
43TH FLOOR	7,100 sqm	76,500 sqft
44TH FLOOR	7,100 sqm	76,500 sqft
45TH FLOOR	7,100 sqm	76,500 sqft
46TH FLOOR	7,100 sqm	76,500 sqft
47TH FLOOR	7,100 sqm	76,500 sqft
48TH FLOOR	7,100 sqm	76,500 sqft
49TH FLOOR	7,100 sqm	76,500 sqft
50TH FLOOR	7,100 sqm	76,500 sqft

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REVISION:		
NO.	DATE	DESCRIPTION

ISSUE:	
DATE	REVISION
12/01/14	PHASE 1
12/01/14	PHASE 2



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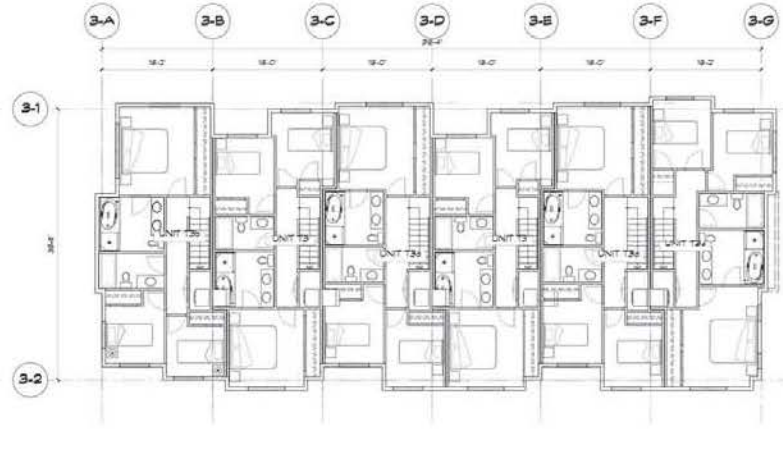
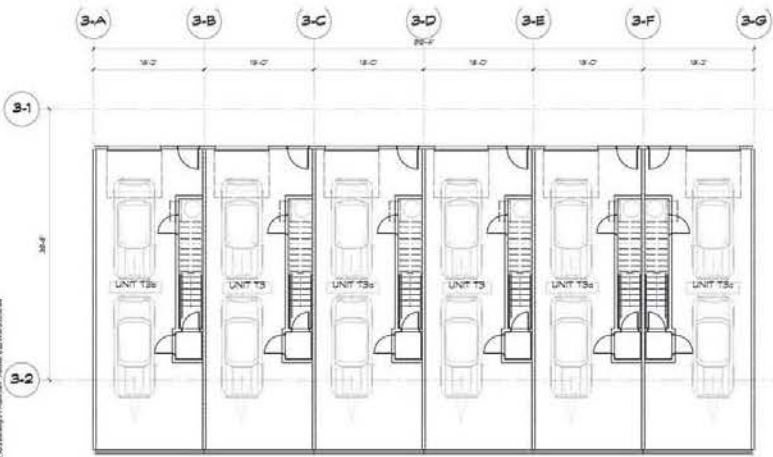
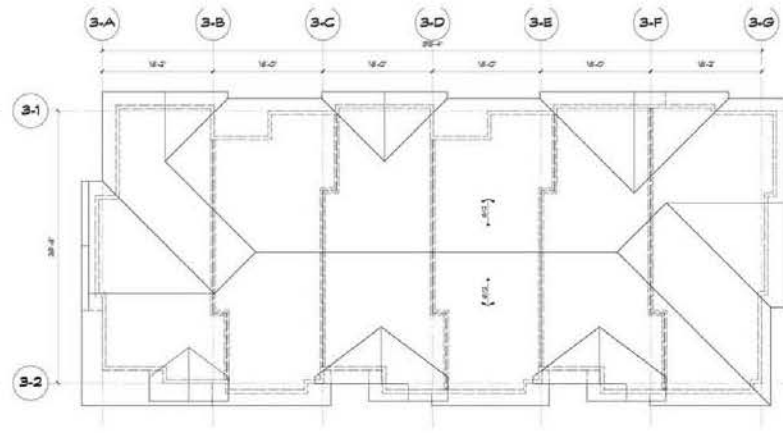
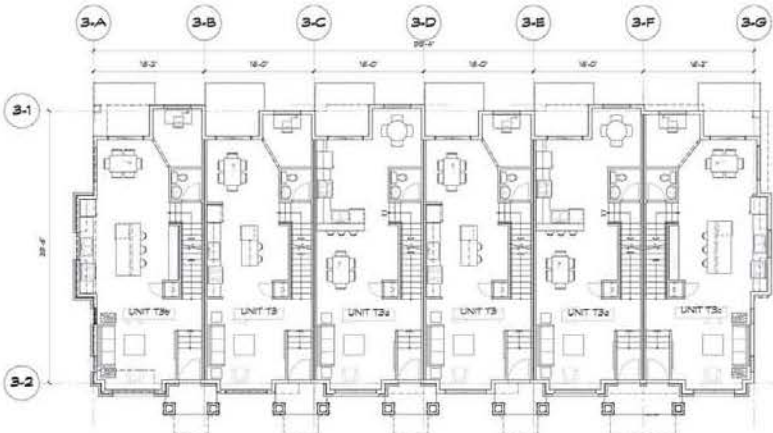


PROJECT
SOUTH POINT WALK 2
 PHASE 1
 SURREY, B.C.

DATE	BY	CHECKED BY	SCALE
12/01/14			RCA-258

BUILDING 3 PLANS

PROJECT NO.	DATE
-	A2.30



ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED

MATERIAL LEGEND

A PAINTED VERTICAL BOARD & BATTEN BLACK WITH SPINDLING BY TRADE (2000)	E PAINTED WOOD TRIM & SADDLES BY TRADE (2000)
B MASONRY CLADDING FUTURA-TERRAZZO 1600-0000-1000-00	F 1/2" X 1/2" BRICK BY TRADE (2000)
C PAINTED HARD SHINGLES SEA SEAL (2007) ANGULAR OVERLAY (2008)	G ALUMINUM GUARDRAIL & WINDOW SILL BY TRADE
D HORIZONTAL BOARD BY TRADE (2000)	H CONCRETE CAPS & DILLS BY TRADE
	I ROOF SHINGLES BY TRADE
	J VINYL WINDOWS & SLIDING DOORS BY TRADE



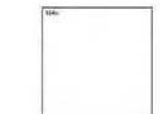
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REVISION:

NO.	DATE	DESCRIPTION

ISSUE:

DATE	DESCRIPTION
04/23/14	ISSUE FOR DP
05/08/14	DP RE-SUBMISSION



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PROJECT:
SOUTH POINT WALK 2
 SURREY, B.C.

FORM: SW / RC

SCALE: 1/8" = 1'-0" / PROJECT NO.: RCA-208

DATE: 04/23/14

PROJECT TITLE:
BUILDING 3 ELEVATIONS

REVISION NO.: - / **DATE:** 04/23/14



1 BUILDING 3 - FRONT ELEVATION
 A2.31 SCALE 1/8"=1'-0"



2 BUILDING 3 - SOUTH ELEVATION
 A2.31 SCALE 1/8"=1'-0"

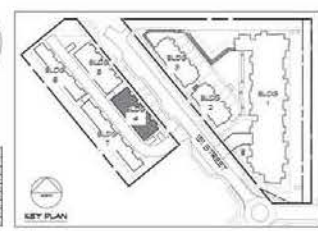


3 BUILDING 3 - REAR ELEVATION
 A2.31 SCALE 1/8"=1'-0"



4 BUILDING 3 - NORTH ELEVATION
 A2.31 SCALE 1/8"=1'-0"

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BUILDING 4		
	AREA (sqm)	AREA (sqft)
GROUND LEVEL	1287.0 sqm	1387.0 sqft
1ST FLOOR	2329.0 sqm	2507.0 sqft
2ND FLOOR	2329.0 sqm	2507.0 sqft
ROOF LEVEL	453.0 sqm	488.0 sqft
TOTAL AREA	6408.0 sqm	6939.0 sqft
CONCRETE	2070.0 sqm	2247.0 sqft
WOODWORK	1200.0 sqm	1290.0 sqft

REVISION:	
NO.	DESCRIPTION

ISSUE:
DATE: 04/04/2014
SCALE: 1/8" = 1'-0"



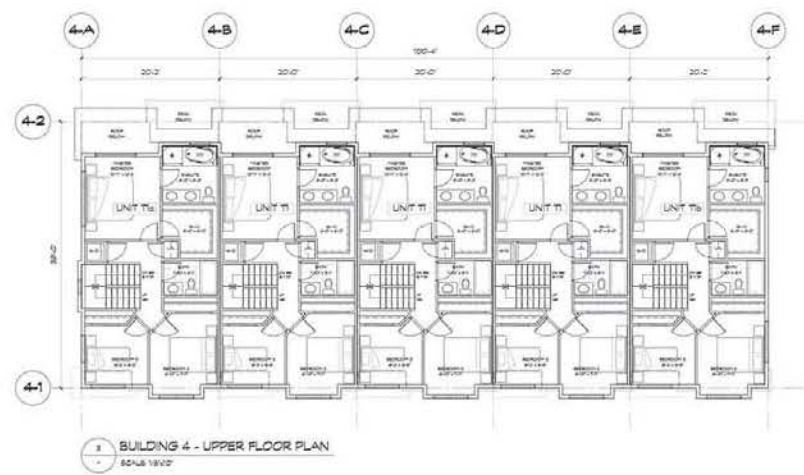
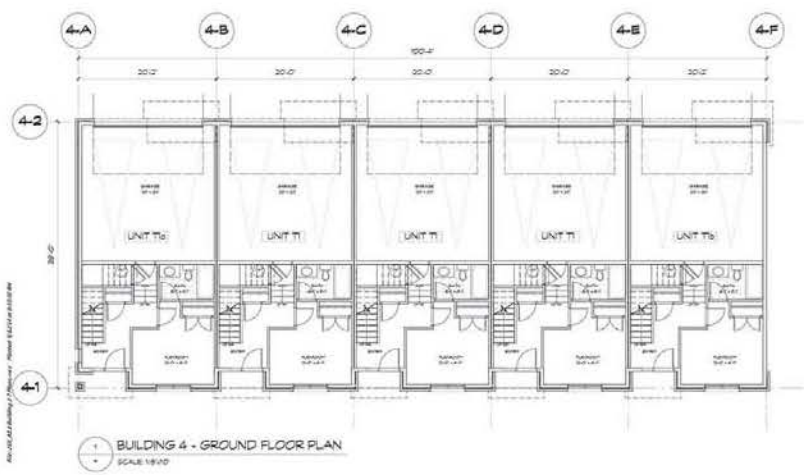
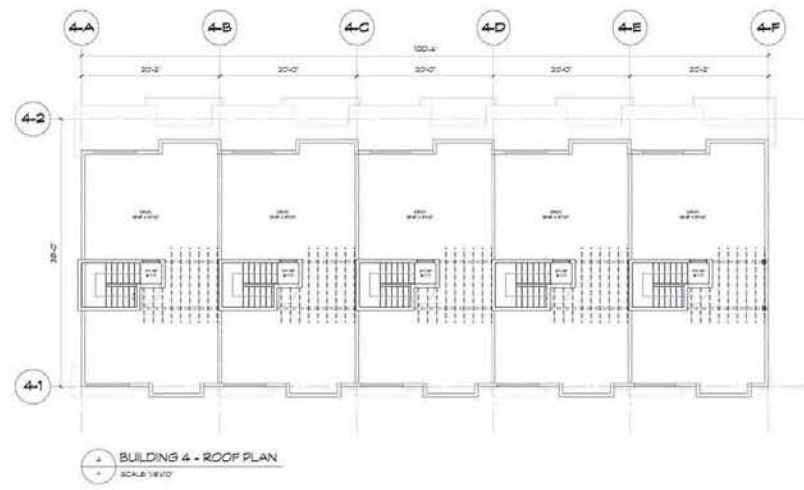
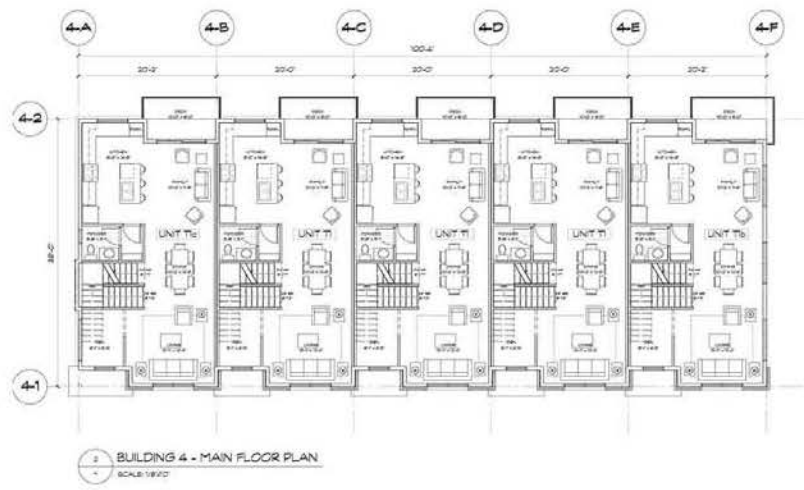
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PROJECT:
SOUTH POINT WALK 2
PHASE 1
SURREY, B.C.

OWNER:	SW	DESIGNED BY:	RC
SCALE:	1/8" = 1'-0"	PROJECT NO.:	SCA-258
BUILDING 4 PLANS			

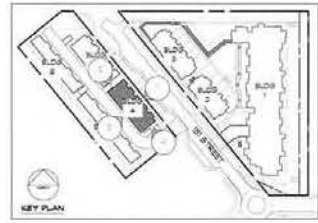
REVISION NO.:	0	SCALE:	A2,40
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RCA/CICOZZI ARCHITECTURE INC. - 2014/04/04/2014

MATERIAL LEGEND

A PAINTED VERTICAL BOARD & BATTEN SILVER WOOD GRAIN 80% SOLID, 20% GLOSS	E PAINTED WOOD TRIMS & BANDS SILVER WOOD GRAIN 80% SOLID, 20% GLOSS
B MASONRY CLADDING FUTURA-TERRAZZO 100% SOLID, 20% GLOSS	F METAL FINISH ALUMINUM QUADRANT WINDOW SONES BLACK
C PAINTED HARD SHINGLES SILVER WOOD GRAIN 80% SOLID, 20% GLOSS	G CONCRETE CAPS & SILL BLACK
D HORIZONTAL BOARD & BATTEN SILVER WOOD GRAIN 80% SOLID, 20% GLOSS	H ROOF SHINGLES SILVER WOOD GRAIN 80% SOLID, 20% GLOSS
	I VINYL WINDOWS & SLIDING DOORS BLACK



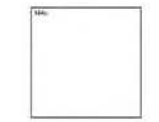
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REVISION:

NO.	DATE	DESCRIPTION

ISSUE:

DATE	REVISION



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STREETSIDE
A QUALITY SERVICE

SOUTH POINT WALK 2
PHASE 2
SURREY, B.C.

OWNER:	DEV:	DESIGNER:	NO.:
SCALE:	1:8" = 1'-0"	PROJECT NO.:	RCA-258
BUILDING 4 ELEVATIONS			

REVISION NO.:		DATE:	
	-		A2.41



1 BUILDING 4 - FRONT ELEVATION
A2.41 SCALE 1/8" = 1'-0"



2 BUILDING 4 - NORTH ELEVATION
A2.41 SCALE 1/8" = 1'-0"



3 BUILDING 4 - REAR ELEVATION
A2.41 SCALE 1/8" = 1'-0"



4 BUILDING 4 - SOUTH ELEVATION
A2.41 SCALE 1/8" = 1'-0"

RCA ARCHITECTURE INC. 2024-01-15 10:00 AM



BUILDING 5		
	AREA (sqm)	AREA (sqft)
GROUND LEVEL	1100.0	1187.0
MAIN LEVEL	2200.0	2374.0
UPPER LEVEL	2200.0	2374.0
ROOF LEVEL	485.0	522.0
TOTAL AREA	6685.0	7217.0
PERMITS	2070.0	2247.0
DEVELOPER	100.0	107.0

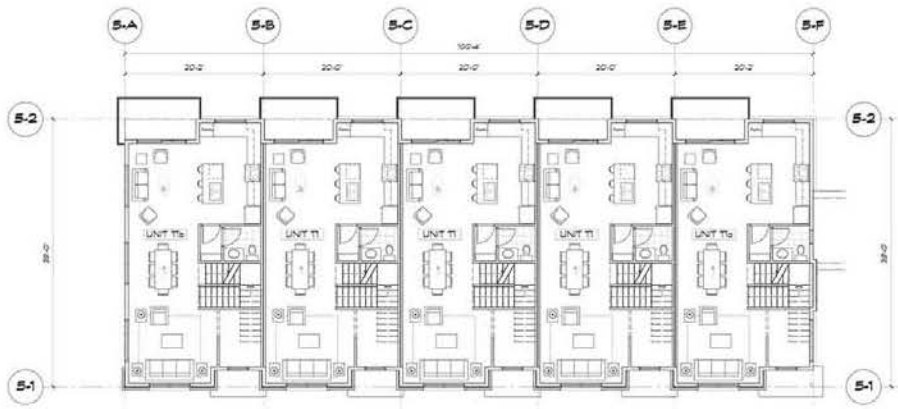
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REVISION:		
NO.	DATE	DESCRIPTION

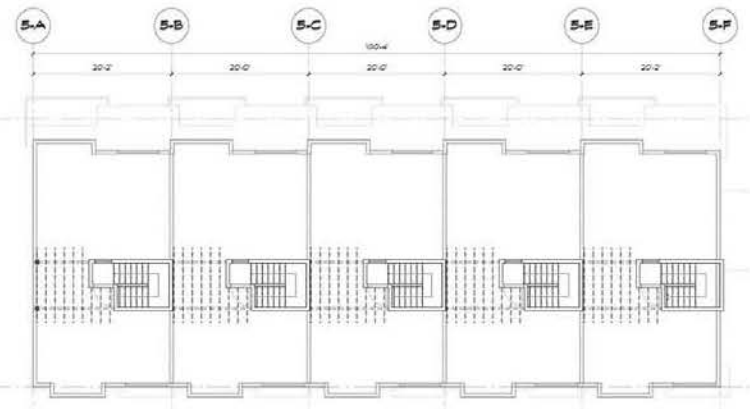
ISSUE:	
DATE	DESCRIPTION
2024.04.15	ISSUED FOR DP
2024.04.15	DP REV-B-18-001



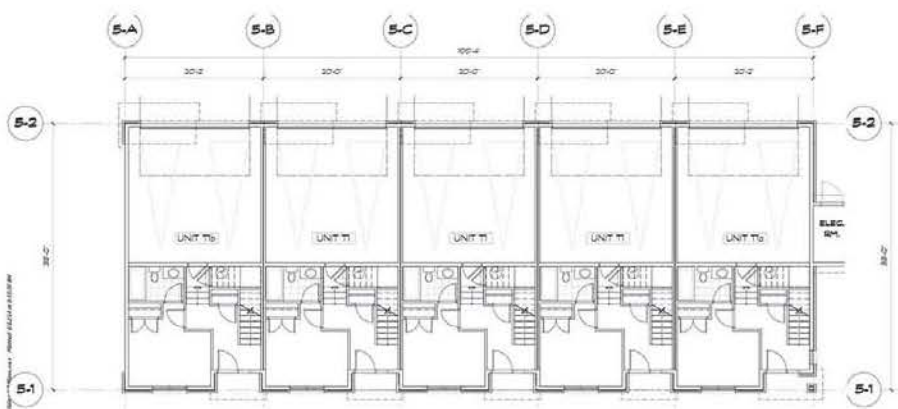
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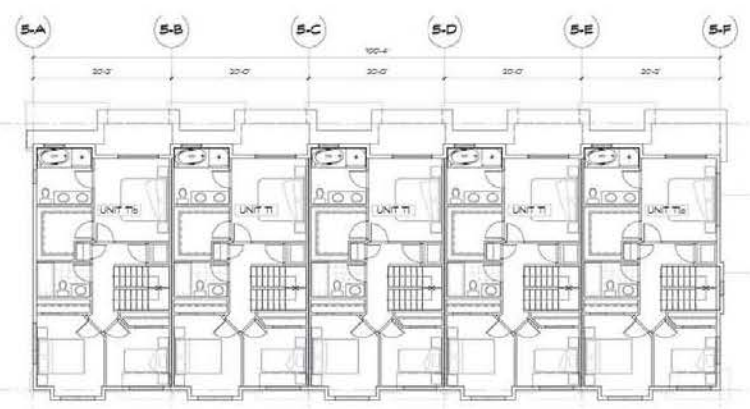
2 BUILDING 5 - MAIN FLOOR PLAN
 SCALE 1/8"=1'-0"



4 BUILDING 5 - ROOF PLAN
 SCALE 1/8"=1'-0"



1 BUILDING 5 - GROUND FLOOR PLAN
 SCALE 1/8"=1'-0"



3 BUILDING 5 - UPPER FLOOR PLAN
 SCALE 1/8"=1'-0"

STREETSIDE
 A GAUCET Group

PROJECT
SOUTH POINT WALK 2 PHASE 1
 SURREY, B.C.

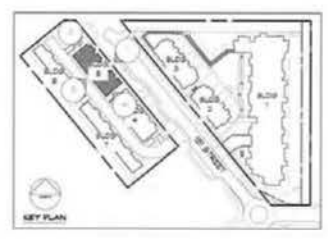
DATE	BY	CHECKED BY	RC
18.11.20			RCA-258

PROJECT TITLE
BUILDING 5 PLANS

REVISION NO.	REVISION
-	A2.50

MATERIAL LEGEND

A PAINTED VERTICAL BOARD & BATTEN (SEE FINISH SCHEDULE)	E PAINTED WOOD TRIM & BRACKETS
B MASONRY CLADDING (MASONRY CONTRACTOR ADVISE SPECIFICATIONS)	F SLIP RESISTING GRANITE POLISHED QUARRIES & WINDOW SILLS
C PAINTED HAZEL SHINGLES (SEE FINISH SCHEDULE)	G CONCRETE CANS & SILLS
D HORIZONTAL BOARD & BATTEN (SEE FINISH SCHEDULE)	H ROOF SHINGLES (SEE FINISH SCHEDULE)
I PAINTED METAL CLADDING (SEE FINISH SCHEDULE)	J VINYL WINDOW & SLIDING DOOR FINISH



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REVISIONS

NO.	DATE	DESCRIPTION

ISSUE

DATE	DESCRIPTION



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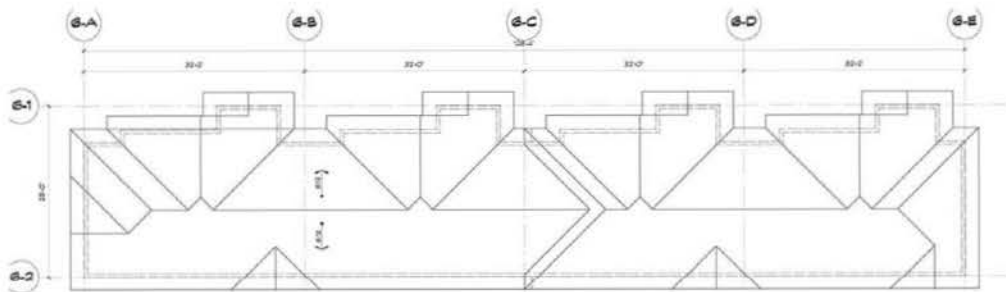


STREETSIDE
 a QUALITY GROUP company

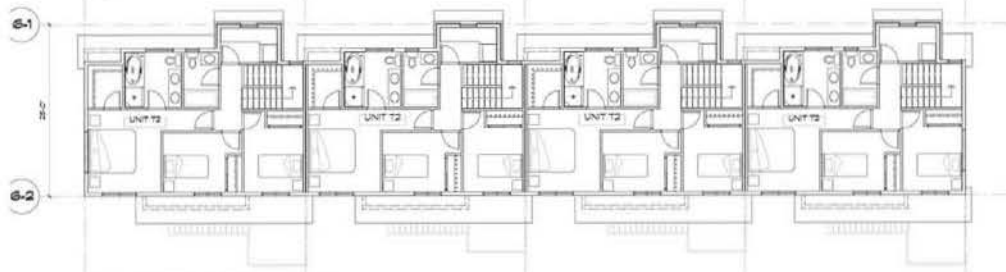
PROJECT
SOUTH POINT WALK 2
 SURREY, B.C.

PROJ: SW	CLIENT: RC
SCALE: 1/8" = 1'-0"	PROJECT NO.: RCA-268
PROJECT NAME: BUILDING 5 ELEVATIONS	

REVISION NO.: -	SHEET NO.: A2.51
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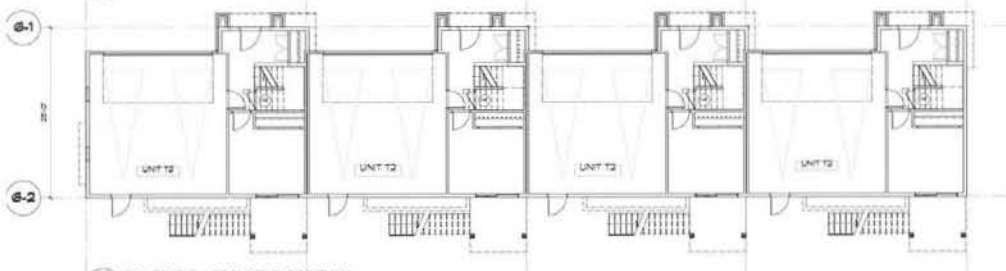
BUILDING 6 - ROOF PLAN
SCALE 1/8" = 1'-0"



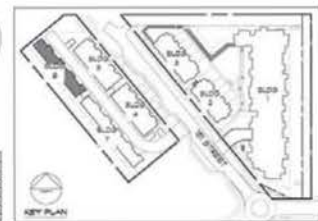
BUILDING 6 - UPPER FLOOR PLAN
SCALE 1/8" = 1'-0"



BUILDING 6 - MAIN FLOOR PLAN
SCALE 1/8" = 1'-0"



BUILDING 6 - GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"



BUILDING 6	AREA (sqm)	AREA (sqft)
SECOND LEVEL	2,028 sqm	21,720 sqft
FIRST LEVEL	2,028 sqm	21,720 sqft
UPPER LEVEL	2,028 sqm	21,720 sqft
NET AREA	7,084 sqm	76,140 sqft
GROUND AREA	7,712 sqm	83,300 sqft

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REVISION		
NO.	DATE	DESCRIPTION

ISSUE	
NO.	DESCRIPTION
01.01	ISSUED FOR 2P
02.01	2P REVISIONS



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A MARKET GROUP

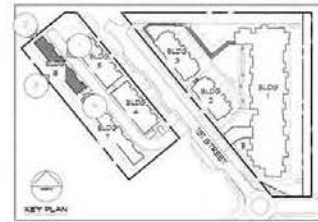
SOUTH POINT WALK 2
PHASE 1
SURREY, B.C.

PROJ:	SW	DESIGN BY:	RC
SCALE:	1/8" = 1'-0"	PROJECT NO.:	RCA-258
PROJECT NAME:	BUILDING 6 PLANS		

REVISION NO.:	DATE:
-	A2.60

File: 2014-07-16/Building 6/Plans/Rev A2.60/01.dwg

MATERIAL LEGEND	
A	PAINTED VERTICAL BOARD & BATTEN SUEDE (S) (300x300) SUEDE (S) (300x300) SUEDE (S) (300x300)
B	MASONRY CLADDING RURAL PORCELAIN 400x400x100 (S)
C	PAINTED HARDY SHINGLES SUEDE (S) (300x300) LANTANA (S) (300x300)
D	HORIZONTAL BOARD SUEDE (S) (300x300) SUEDE (S) (300x300)
E	PAINTED WOOD TRIM & BRACKETS SUEDE (S) (300x300) SUEDE (S) (300x300) SUEDE (S) (300x300)
F	CONCRETE CAPS & SILL
G	ROCK SHINGLES SUEDE (S) (300x300)
H	VINYL WINDOWS & BUILDING DOORS BLACK



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NO.	DATE	DESCRIPTION

ISSUE:	
NO.	DESCRIPTION

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1 BUILDING 6 - FRONT ELEVATION
A2.61 SCALE 1/8"=1'-0"



2 BUILDING 6 - NORTH ELEVATION
A2.61 SCALE 1/8"=1'-0"



3 BUILDING 6 - REAR ELEVATION
A2.61 SCALE 1/8"=1'-0"

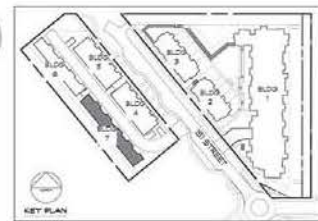
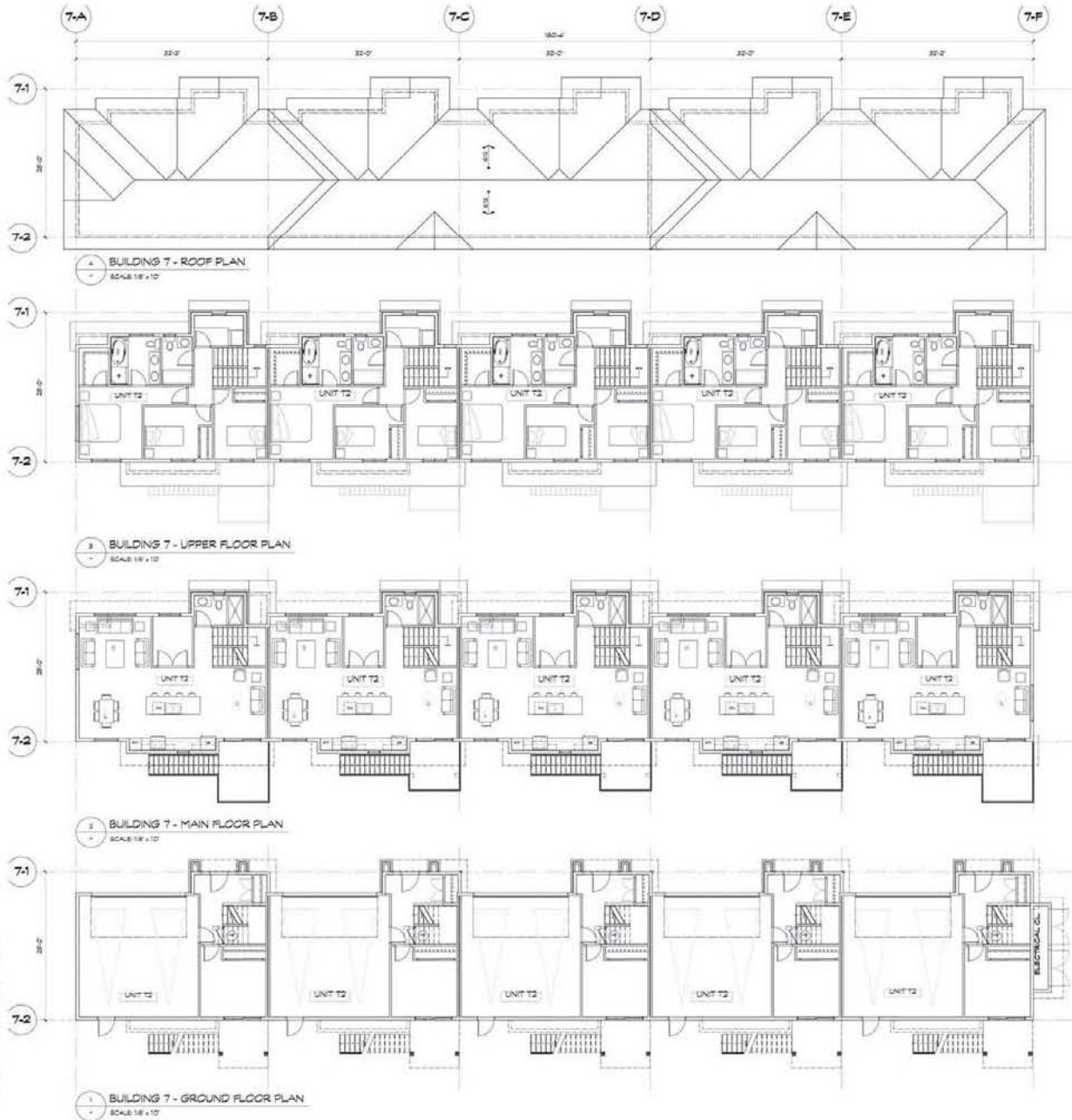


4 BUILDING 6 - SOUTH ELEVATION
A2.61 SCALE 1/8"=1'-0"



SOUTH POINT WALK 2
SURREY, B.C.

DATE: 2/1/2014	DESIGNED BY: RC
SCALE: 1/8" = 1'-0"	PROJECT NO: RCA-288
DRAWING TITLE: BUILDING 6 ELEVATIONS	
REVISIONS: -	DATE: A2.61

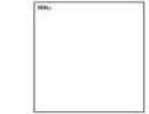


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ISSUE	DATE	DESCRIPTION

DATE: 04-20-14
DRAWN BY: CHW/ML/AM/MS/CH



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STREETSIDE
SERVICES INC.
A GRANIT Group

PROJECT:
SOUTH POINT WALK 2
PHASE I
SURREY, B.C.

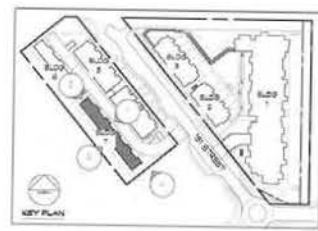
DATE: 04-20-14
PROJECT NO.: ASD-558
PROJECT TITLE:
BUILDING 7 PLANS

PROJECT NO.: -
SHEET NO.: **A2.70**

RCA 2014-04-20 Building 7 Plans - Phase I 02/27/14 10:00 AM

MATERIAL LEGEND

A PAINTED VERTICAL BOARD & BATTEN 3/4" x 12" x 12" (10-1/2") S&S (10-1/2")	E PAINTED WOOD TRIM & BRACKETS 3/4" x 12" x 12" (10-1/2") S&S (10-1/2")
B MASONRY CLADDING 2" x 4" x 8" (10-1/2") S&S (10-1/2")	F ALUMINUM BLINDS & WINDOW SOUNDS BLACK
C PAINTED HARDY BOARD 3/4" x 12" x 12" (10-1/2") S&S (10-1/2")	G CONCRETE CHIMNEY & SILL
D HORIZONTAL BOARD 3/4" x 12" x 12" (10-1/2") S&S (10-1/2")	H ROOF SHINGLES ASPH/FLT
	I VINYL WINDOW & SLIDING DOORS BLACK



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REVISIONS:

NO.	DATE	DESCRIPTION



1 BUILDING 7 - FRONT ELEVATION
SCALE 1/8" = 1'-0"



2 BUILDING 7 - NORTH ELEVATION
SCALE 1/8" = 1'-0"



3 BUILDING 7 - REAR ELEVATION
SCALE 1/8" = 1'-0"



4 BUILDING 7 - SOUTH ELEVATION
SCALE 1/8" = 1'-0"

ISSUED:

DATE	REVISION



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STREETSIDE
A GRACE77 Company

PROJECT
SOUTH POINT WALK 2
SURREY, B.C.

DATE	NO.	ISSUED BY
1/8/18	1	RCO-238

BUILDING 7 ELEVATIONS

PROJECT NO.	
	A2.71

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REVISION:

NO.	DATE	DESCRIPTION

ISSUE:

NO.	REVISION

DATE	SCALE	PROJECT



1 152ND STREET ELEVATION
 SCALE: 1/200



2 PHASE 2 BUILDING 1 EAST LOBBY ENTRY
 SCALE: 1/200



3 PHASE 2 BUILDING 1 WEST LOBBY ENTRY
 SCALE: 1/200

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STREETSIDE
 ARCHITECTURE & DESIGN
 A QUART GROUP COMPANY

PROJECT:
**SOUTH POINT
 WALK 2**
 SURREY, B.C.

OWNER: SW
 ARCHITECT: RC
 DATE: 04/10/2010
 PROJECT NO: RCA-038

CONTRACTOR:
**STREETSCAPE
 152nd STREET**

DATE: -
 SCALE: A4.0

RCA-038-152nd Street Elevation - Phase 2 Building 1 (2010-04-10)

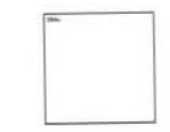
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1.0	2014-10-01	ISSUE FOR IFC
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STREETSIDE
 ARCHITECTURE & DESIGN
 A DIVISION OF RCA

PROJECT:
SOUTH POINT WALK 2
 SURREY, B.C.

DATE	BY	CHECKED BY	SCALE
2014	B-32/J-07	AC	RCA-200

PROJECT TITLE:
STREETSCAPES

REVISION NO.	DATE	DESCRIPTION
-		A4.1



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 www.ciccozziarchitecture.com



RCA 2019/04/23 10:00 AM

PAINTED VERTICAL BOARD & BATTEN

BENJAMIN MOORE
BY SEA PEARL (OC-18)



A

MASONRY CLADDING

MUTUAL MATERIALS
INCA SMOOTH TEXTURE



B

PAINTED FIBER CEMENT SHAKES

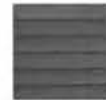
BENJAMIN MOORE
SILVER FOX (BM-2103-88)



C

HORIZONTAL SIDING

BENJAMIN MOORE
KENDALL CHARCOAL (HC-188)



D

PAINTED WOOD TRIM & BRACES

BENJAMIN MOORE
KENDALL CHARCOAL (HC-188)



E

ASPHALT ROOF SHINGLES

CHARCOAL



F

WOOD SOFFIT

SINKENS - CETOL CEDAR (#177)



G

F

A

C

E

CONC. CAP

ALUM. QUADRAL

CONC. CAP

G

D

B

VINYL WINDOWS

ALUM. FLOWER BOX

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NO.	DATE	DESCRIPTION

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2024/04/23	CP #24-018-001

SCALE:

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STREETSIDE
A DESIGN GROUP

PROJECT:
SOUTH POINT WALK 2
SURREY, B.C.

OWNER:	STV	DESIGNED BY:	RCA
DATE:	N.T.S.	PROJECT NO.:	RCA-258

DRAWING TITLE:
COLOURS & MATERIALS BUILDING 1

REVISION:	
	A4.2

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NO.	DATE	DESCRIPTION

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02/04	FOR REVISION



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STREETSIDE
A GARIBOLDI Company

**SOUTH POINT
WALK 2**
SURREY, B.C.

DATE	SIN	CREATED BY	RC
01/20	N.T.S.		RC-208

**COLOURS &
MATERIALS
BUILDING 2 & 3**

REVISION:	DATE:
-	A4.3

**PAINTED VERTICAL
BOARD & BATTEN**



A

BENJAMIN MOORE
SI SEA PEARL (00-18)
SILVER FOX (SI-208-84)

MASONRY CLADDING



B

MUTUAL MATERIALS
WCA 8 M20TH TEXTURE

**PAINTED FIBRE
CEMENT (HARD)
SHAKES**



C

BENJAMIN MOORE
SEA PEARL (SI-00-18)
KENDALL CHARCOAL (KC-188)

HORIZONTAL (HARD) SIDING



D

BENJAMIN MOORE
KENDALL CHARCOAL (KC-188)
SILVER FOX (SI-208-84)

**PAINTED WOOD
TRIM & BRACES**



E

BENJAMIN MOORE
KENDALL CHARCOAL (KC-188)
SI SEA PEARL (00-18)
SILVER FOX (SI-208-84)

**ASPHALT ROOF
SHINGLES**



F

KENDALL CHARCOAL (KC-188)



01/20/2020 10:00 AM Project: 2020-01-20-01

17.36x

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DATE	DESCRIPTION



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STREETSIDE
 A GAULD COMPANY

PROJECT
SOUTH POINT WALK 2
 SURREY, B.C.

OWNER:	SW:	DESIGNED BY:	RC:
DATE:	N.T.S.	PROJECT NO.:	RCA-258
SHEET TITLE: COLOURS & MATERIALS BUILDING 4 & 5			

REVISION NO.:	SHEET NO.:
-	A4.4



PAINTED VERTICAL BOARD & BATTEN



A

BENJAMIN MOORE
 BM SEA PEARL (CC-19)
 SILVER FOX (BM-2108-86)

MASONRY CLADDING



B

MUTUAL MATERIALS
 INCA & MOOTH TEXTURE

PAINTED FIBRE CEMENT (HARD) SHAKES



C

BENJAMIN MOORE
 SEA PEARL (BM-CC19)
 KENDALL CHARCOAL (KC-186)

HORIZONTAL (HARD) SIDING



D

BENJAMIN MOORE
 KENDALL CHARCOAL (KC-186)
 SILVER FOX (BM-2108-86)

PAINTED WOOD TRIM & BRACES



E

BENJAMIN MOORE
 KENDALL CHARCOAL (KC-186)
 BM SEA PEARL (CC-19)
 SILVER FOX (BM-2108-86)

ARC-24-0022/0000/27/00000000 - Revised 1/20/21/00000000

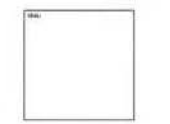
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NO.	DATE	DESCRIPTION

ISSUE:

NO.	DATE	DESCRIPTION
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002	2024	FOR PERMIT



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STREETSIDE
 A GALELUX COMPANY

PROJECT:
SOUTH POINT WALK 2
 SURREY, B.C.

NO.	REV.	DATE	DESCRIPTION

DATE: N.T.S.
 PROJECT NO.: ACA-258

DESCRIPTION:
COLOURS & MATERIALS BUILDING 6 & 7

REVISION:	DATE:
-	A4.5

PAINTED VERTICAL BOARD & BATTEN



A

BENJAMIN MOORE
 BM SEA PEARL (CC-19)
 SILVER FOX (BM-2108-56)

MASONRY CLADDING



B

MUTUAL MATERIALS
 INCA SMOOTH TEXTURE

PAINTED FIBRE CEMENT (HARDI) SHAKES



C

BENJAMIN MOORE
 SEA PEARL (BM-CC-19)
 KENDALL CHARCOAL (HC-166)

HORIZONTAL (HARDI) SIDING



D

BENJAMIN MOORE
 KENDALL CHARCOAL (HC-166)
 SILVER FOX (BM-2108-56)

PAINTED WOOD TRIM & BRACES



E

BENJAMIN MOORE
 KENDALL CHARCOAL (HC-166)
 BM SEA PEARL (CC-19)
 SILVER FOX (BM-2108-56)

ASPHALT ROOF SHINGLES



F

KENDALL CHARCOAL (HC-166)

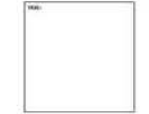


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NO.	DATE	DESCRIPTION

ISSUE:	DATE:	DESCRIPTION:

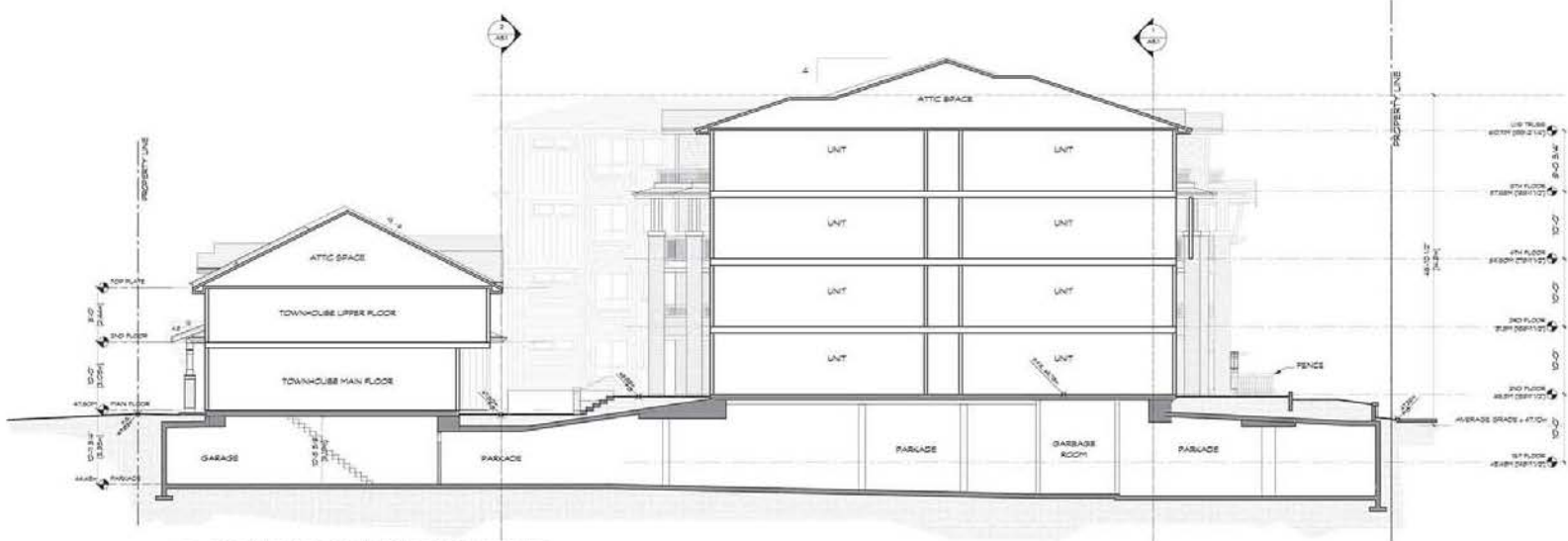


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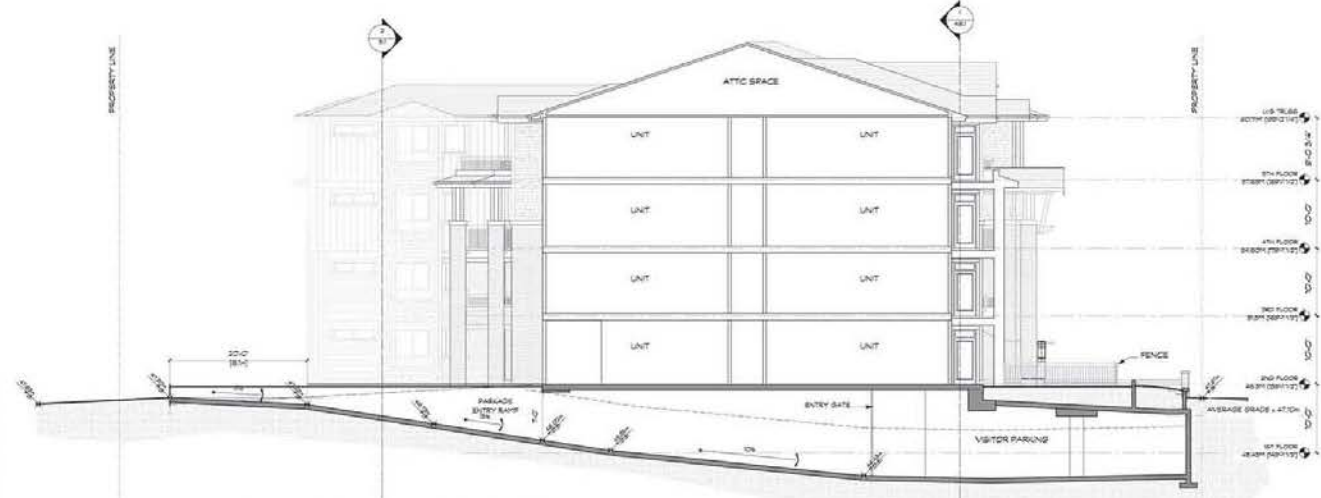
STREETSIDE
 ARCHITECTURAL SERVICES
 A GAZMET Group

SOUTH POINT WALK 2
 SURREY, B.C.

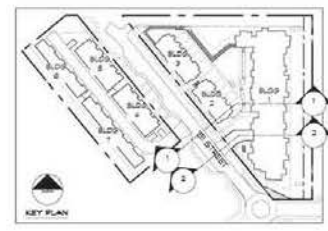
NAME:	REV:	DATE:	BY:
TITLE:	PROJECT:		
BUILDING SECTIONS			
PROJECT NO.:			



1 SECTION WEST-EAST THRU SOUTH TOWNHOUSE UNIT
 SCALE 1/8"=1'-0"



2 SECTION WEST-EAST THRU PARKING RAMP
 SCALE 1/8"=1'-0"



RCA 2014-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50

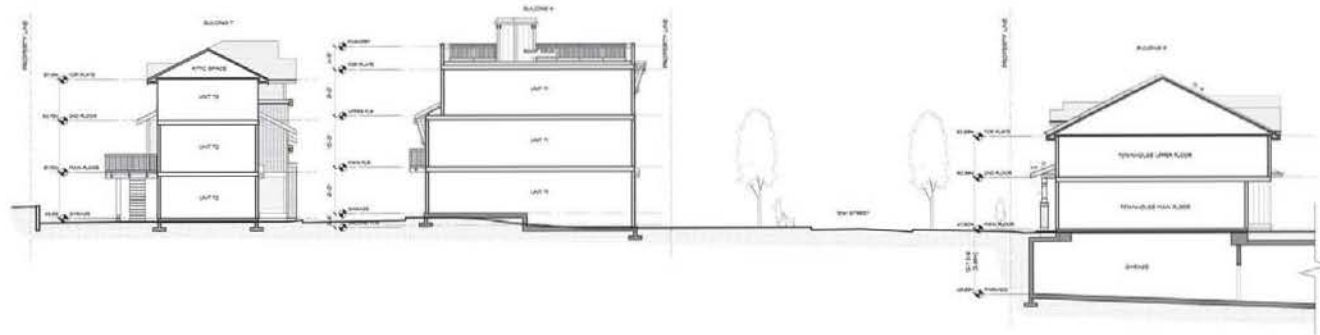


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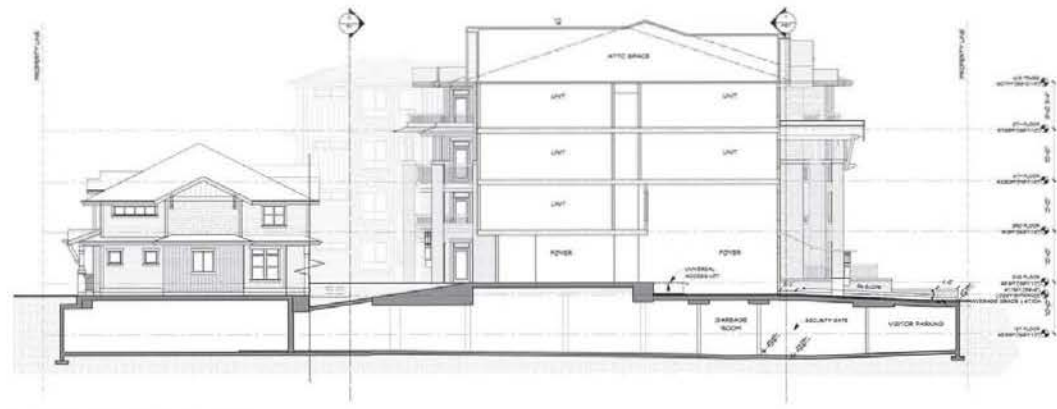
NO.	DATE	DESCRIPTION

ISSUE:
DATE: 2024-11-14
SCALE: 1/8" = 1'-0"



1 CROSS SECTION EAST-WEST
SCALE: 1/8" = 1'-0"

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admin@ciccozziarchitecture.com



2 SECTION THRU ENTRANCE LOBBY
SCALE: 3/32" = 1'-0"

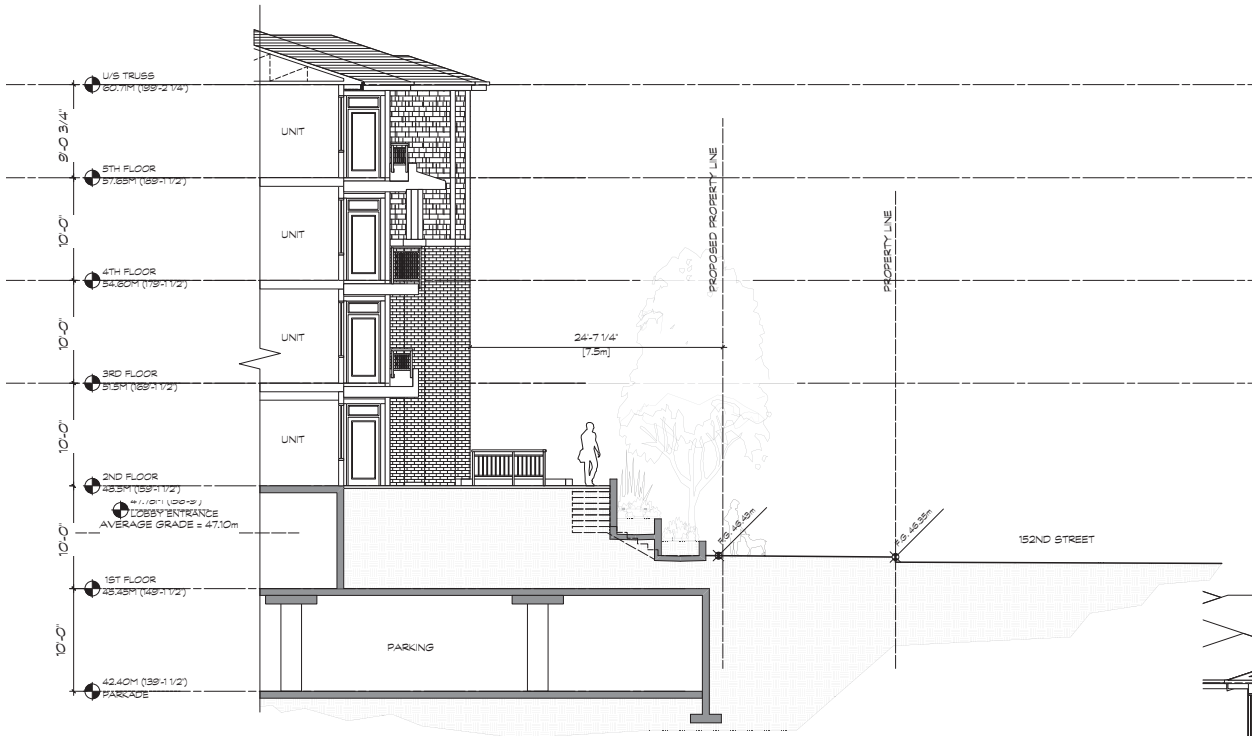
PROJECT:
SOUTH POINT
WALK 2
SURREY, B.C.

DATE: 2024-11-14
DRAWN BY: AS NOTED
CHECKED BY: R.C.
PROJECT NO.: RCA-258

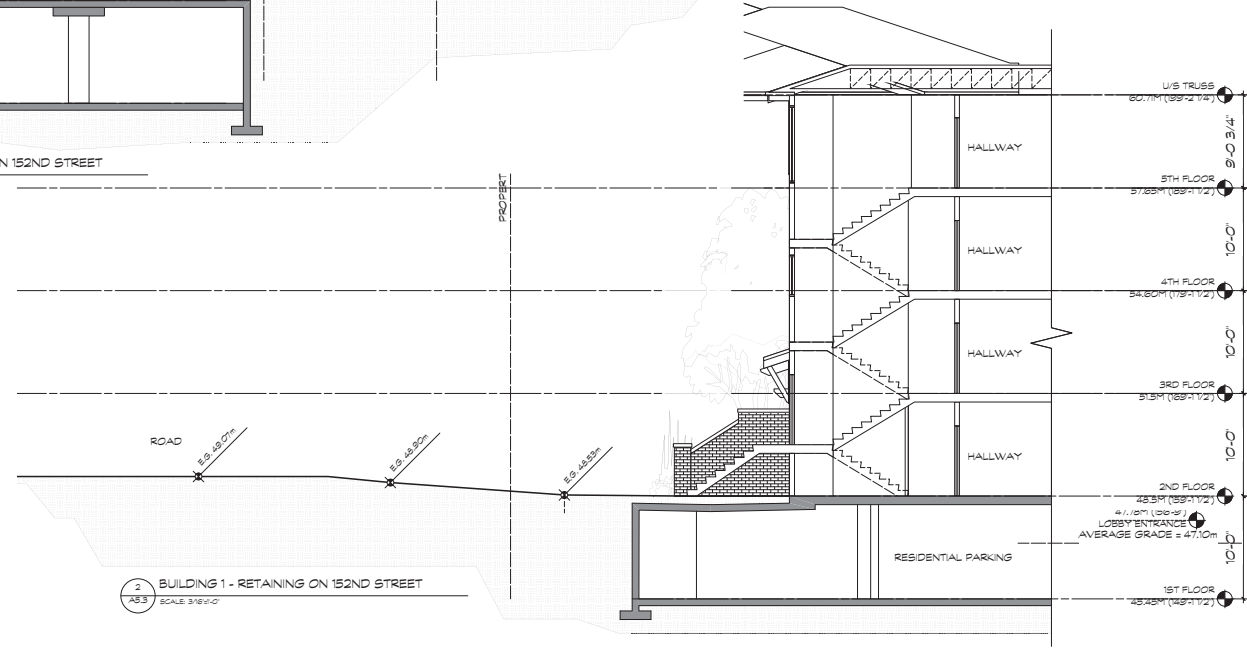
BUILDING SECTIONS

SECTION NO.: -
SHEET NO.: A5.2

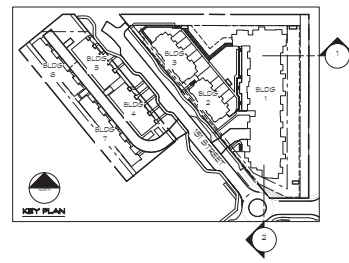
RCA-258-2024-11-14-10:00 AM - 10/27/2024 10:00 AM



1 BUILDING 1 - RETAINING ON 152ND STREET
A5.3 SCALE 3/16"=1'-0"



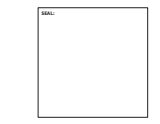
2 BUILDING 1 - RETAINING ON 152ND STREET
A5.3 SCALE 3/16"=1'-0"



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REVISION:		
NO.	DATE	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
12.08.14	DP RE-SUBMISSION



RCA

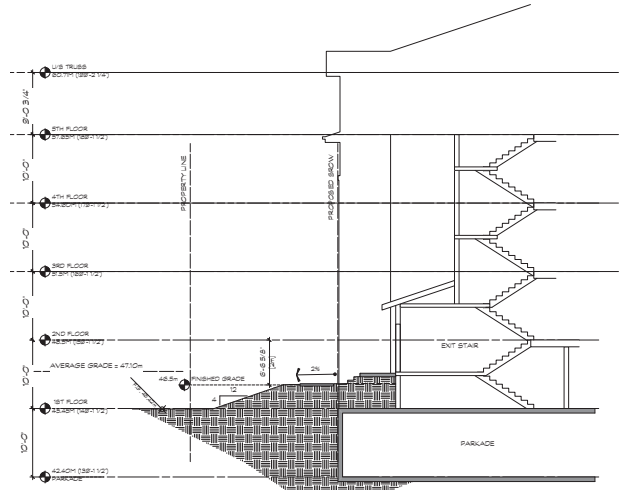
Robert Cicozzi Architecture Inc.
200 - 2339 Columbia Street
Vancouver, B.C.
Canada V5Y 3Y3
Tel: (604) 687-4741
Fax: (604) 687-4643
admin@cicozziarchitecture.com

PROJECT:
**SOUTH POINT WALK 2
SURREY, B.C.**

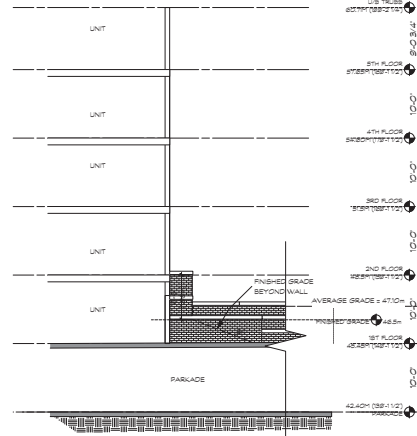
SCALE:	PROJECT NO.:
3/16"=1'-0"	RC-A5.3

SHEET TITLE:
BUILDING SECTIONS

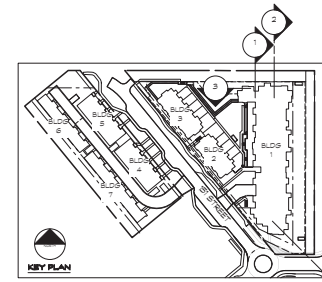
REVISION NO.:	SHEET NO.:
-	A5.3



1 BERM IN SROW - NORTH SIDE YARD
AS.4 SCALE 1/8"=1'-0"



3 AMENITY LOUNGE ACCESS TO OUTDOOR AMENITY
AS.4 SCALE 1/8"=1'-0"



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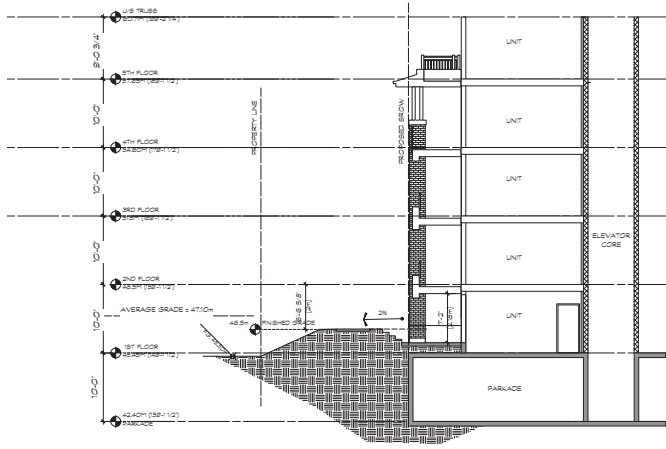
REVISION:		
NO.	DATE	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
12.08.14	DP RE-SUBMISSION

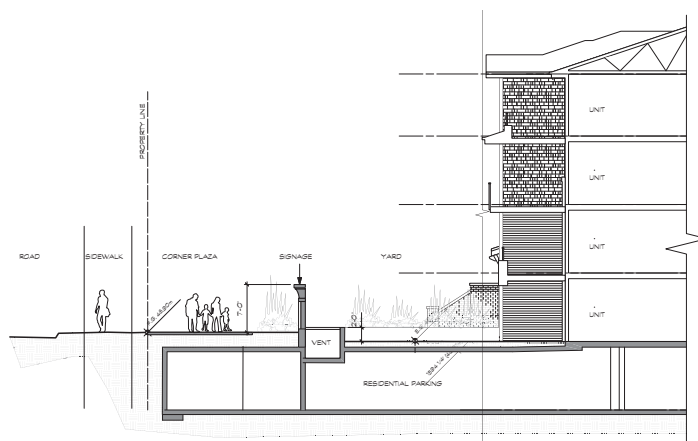
SCALE

RCA

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Tel: (604) 687-4741
Fax: (604) 687-4643
admin@ciccozziarchitecture.com



2 BERM IN SROW - NORTH SIDE YARD
AS.4 SCALE 1/8"=1'-0"



4 CORNER PLAZA
AS.4 SCALE 1/8"=1'-0"

PROJECT:
**SOUTH POINT
WALK 2
SURREY, B.C.**

SCALE:	CREATED BY:
1/8"=1'-0"	PROJECT NO.: RCAS25
SHEET TITLE: BUILDING SECTIONS	

REVISION NO.:	SHEET NO.:
-	A5.4

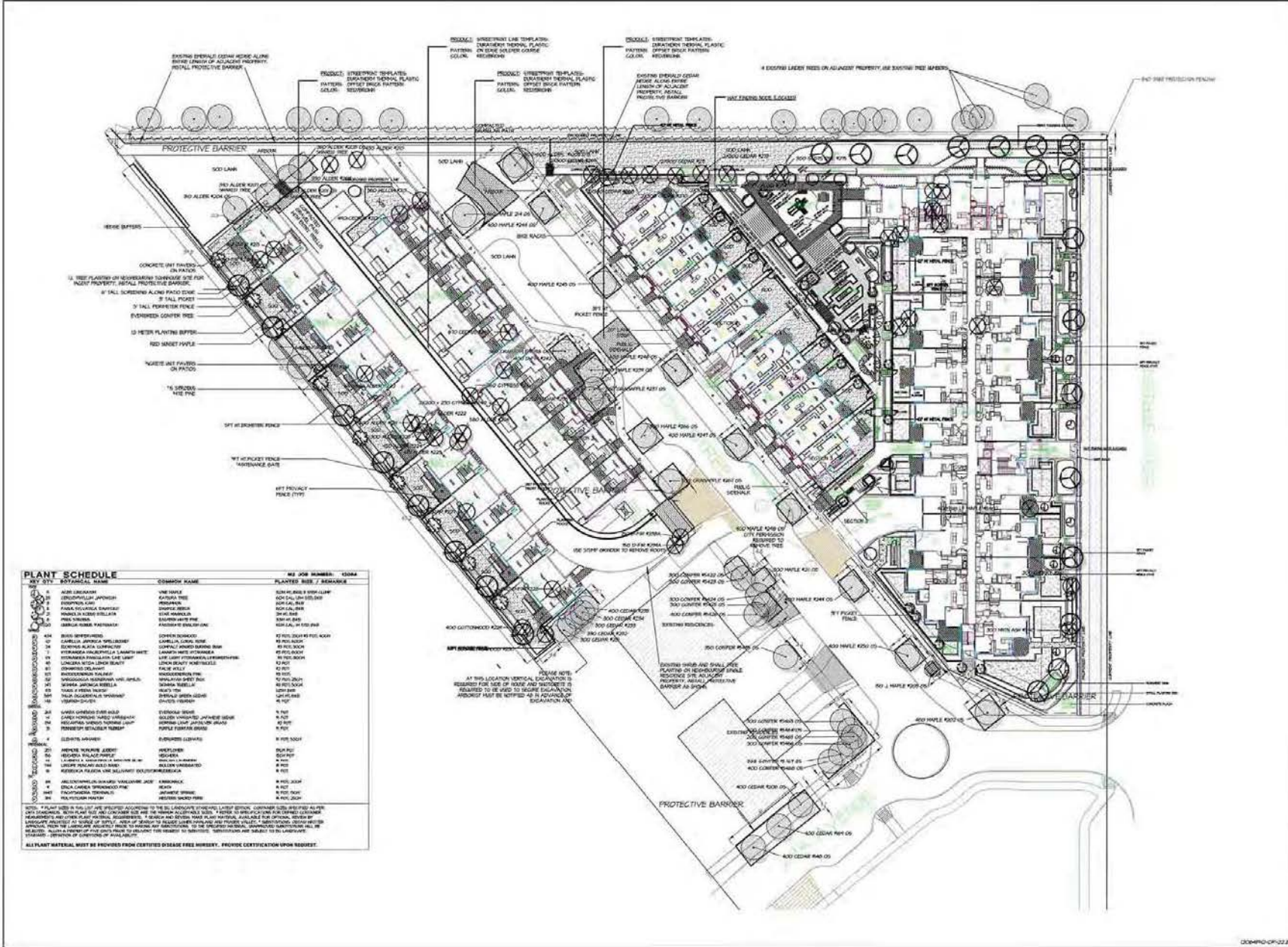
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NO.	DATE	REVISION DESCRIPTION	BY
1	14 JAN 22	REV FOR ARCH REQUEST	JM
2	14 JAN 22	REVISED PER NEW USE PLAN	JM
3	14 JAN 22	14 JAN 22 (CORRECTED PER ARCH REQUEST)	JM
4	14 JAN 22	REV PER ARCH COMMENTS	JM
5	14 JAN 22	REV PER ARCH COMMENTS	JM
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PLANT SCHEDULE	COMMON NAME	M2 JOB NUMBER: 22004
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PROJECT:
SOUTH POINT WALK 2
151 ST. AND 29A AVE
SURREY, BC.

DRAWING TITLE:
LAYOUT PLAN

DATE: 14 JAN 22
SCALE: 1/4" = 1'-0"
DRAWN: SK
DESIGN: TC
CHECK: MELP

DRAWING NUMBER:
L1

OF 14

M2LA PROJECT NUMBER: 12-054PH2



MAGLIN BENCH
MLB400 Series Bench; SURFACE MOUNT TO
CONCRETE FLOATING SLAB; SLAB TO BE MIN. 18"
OUTSIDE EDGE OF SERIES OF RACKS



MAGLIN BIKE RACKS
MBR970 Series Bicycle Rack; SURFACE MOUNT TO
CONCRETE FLOATING SLAB; SLAB TO BE MIN. 18"
OUTSIDE EDGE OF SERIES OF RACKS



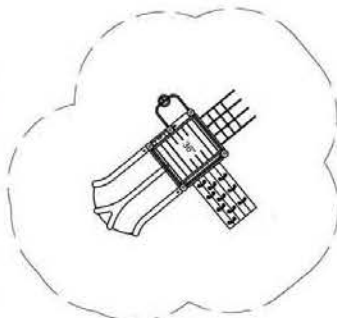
MAGLIN TRASH CONTAINER
MLWR400-25 Trash Container; SURFACE MOUNT TO
CONCRETE FLOATING SLAB; SLAB TO MATCH SIZE
OF CONTAINER



GARDEN SHED 6x10 Shed 684 x 1012 x 684
SHEDDY GARDEN TEL: 800-648-4000



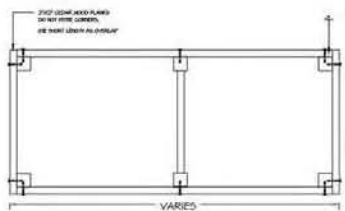
PICNIC TABLE, CUSTOM
River-Crest Contracting Ltd., Norman Bedard
C. 604-703-6344, E. robbedard@rccbc.ca



REC. TEC. INDUSTRIES DISTRIBUTOR - 604-940-8067
BIGDY'S EARLYWORKS PLAY STRUCTURE
BUNGALOV EC-670; INSTALL IN SLAB



PROPOSED GRASS STEPS AT LOCATION STARTING
FROM VEGGIE PLOTS TO LOWER TERRACE AMENITY
PLAY AREA



5 PLOTS DETAILS
SCALE: 3/4"=1'-0"



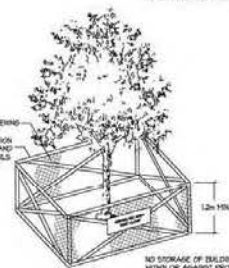
ELEVATION

TREES PROTECTED BY SPECIES

- ASHLEAF
- BARKY OAK
- PACIFIC DOCKWOOD
- PACIFIC YEW
- HEMPLOCK WHITE PINE
- GRAND FIR
- COAST REDWOOD
- SWAN REDWOOD
- GRAY BIRCH
- GRACE
- HEAVY PRUNEL TREE

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED
IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

PLASTIC MESH SCREENING
SOLID 20K CONSTRUCTION
WITH CROSS BRACING AND
TOP AND BOTTOM RAILS



NO STORAGE OF BUILDING MATERIALS
WITHIN OR AGAINST PROTECTION BARRIER

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER IN INCH (DBH)	HIGHEST ASSUMED PROTECTION BARRIER DISTANCE FROM TRUNK IN FEET
12	1.2
16	1.6
20	2.0
24	2.4
28	2.8
32	3.2
36	3.6
40	4.0
44	4.4
48	4.8
52	5.2
56	5.6
60	6.0
64	6.4
68	6.8
72	7.2
76	7.6
80	8.0
84	8.4
88	8.8
92	9.2
96	9.6
100	10.0

EXTRAPOLATE PROTECTION RADII FOR
TREES LARGER THAN 100CM DBH.
*WHENEVER AT GREATEST HEIGHT OR 1/4" FROM GRASS

6 TREE PROTECTION BARRIER

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V3M 3L7
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Fax: 604.553.0045
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
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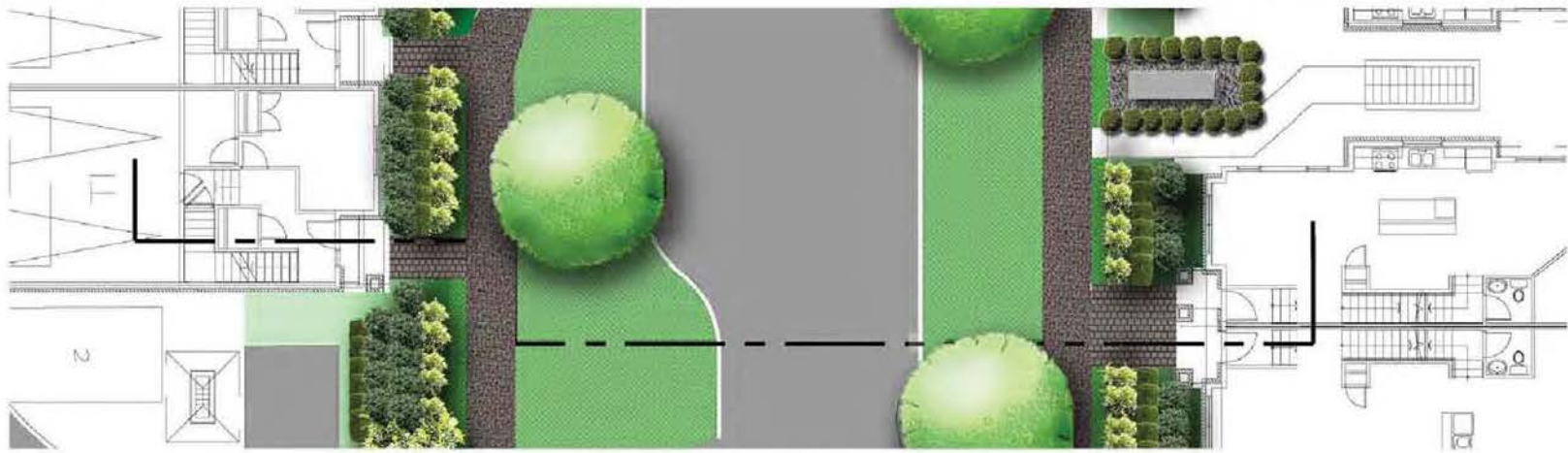
PROJECT:
**SOUTH POINT
WALK 2**
151 ST. AND 20A AVE
SURREY, B.C.

DRAWING TITLE:
**DETAILS / SECTIONS
PLAN**

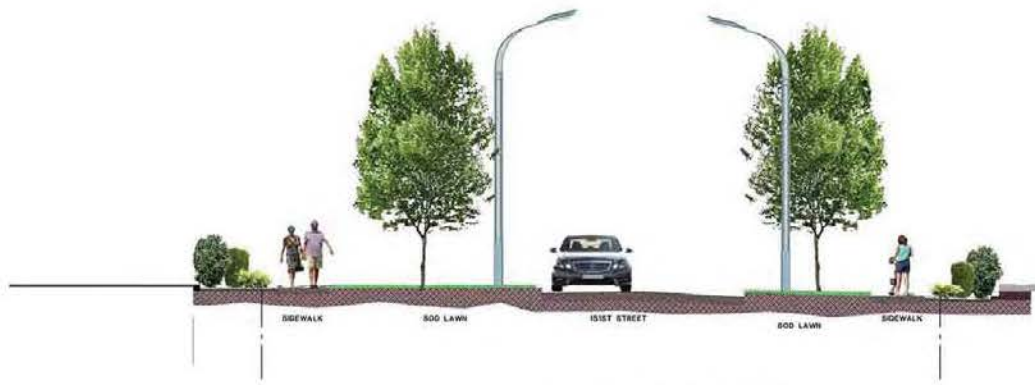
DATE: 11-11-22 DRAWING NUMBER:
SCALE: VARIES
DRAWN: IK
DESIGN: TE
CHECK: MELH

L10

OF 14



PLAN



ELEVATION/SECTION

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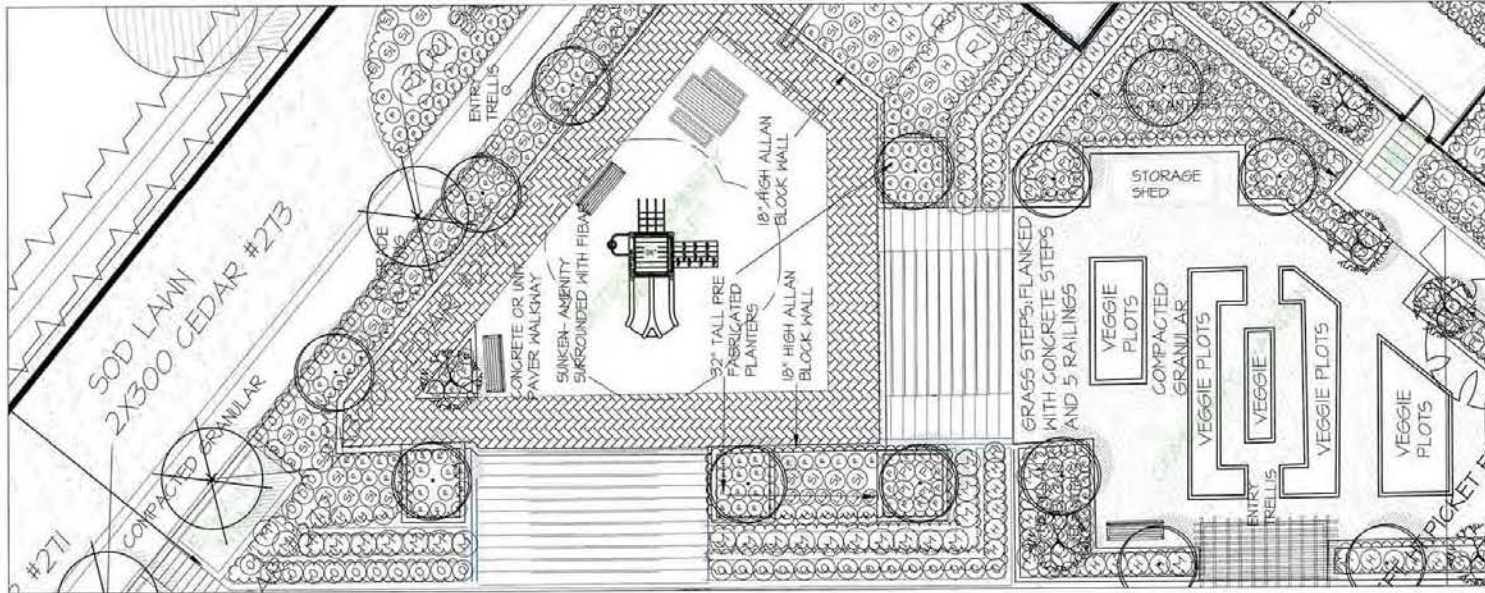
#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	14-JUN-22	REV PER JARNA REQUEST	JAF
2	14-JUN-22	REVISED PER MEH SITE PLAN	JAF
3	14-JUN-22	LOANDED PER JARNA REQUEST	JAF
4	14-JUN-22	ADD CURBWISE BRICK PATTERNS	TC
5	14-JUN-22	REV PER JARNA'S COMMENTS	TC&ME
6	14-JUN-22	REV PER JAF	TC&ME
7	14-JUN-22	REV PER ARCHITECT REQUESTS & FEEDBACK	TC
8	14-JUN-22	CITY UPDATE	TC
9	14-JUN-22	REV PER JAF	TC

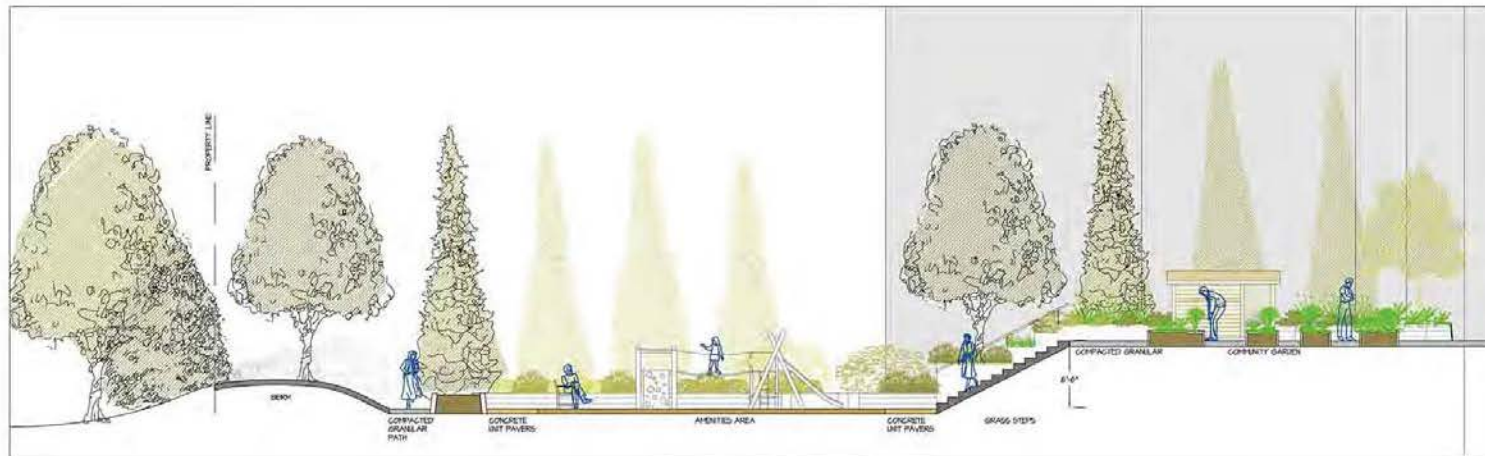
PROJECT:
**SOUTH POINT
 WALK 2**
 151 ST. AND 20A AVE
 SURREY, BC.

DRAWING TITLE:
**SECTION DETAILS
 @151 STREET**

DATE: 14-JUN-22	DRAWING NUMBER:
SCALE: 3/8" = 1'-0"	L11
DRAWN: TC	
DESIGN: TC	
CHECK: MSLH	



PLAN



ELEVATION/SECTION

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LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	14-JAN-22	REV PER ANGA REQUEST	ML
2	14-JAN-22	REVISED PER NEW SITE PLAN	ML
3	14-JAN-22	ADJUSTED PER ANGA REQUEST	ML
4	14-JAN-22	ADD CONCRETE BRICK PAVING	ML
5	14-JAN-22	REV PER ANGA COMMENTS	ML
6	14-JAN-22	REV PER SP	ML
7	14-JAN-22	REV PER ANGA COMMENTS	ML
8	14-JAN-22	REV PER ANGA COMMENTS	ML
9	14-JAN-22	REV PER ANGA COMMENTS	ML
10	14-JAN-22	REV PER ANGA COMMENTS	ML

NO. DATE REVISION DESCRIPTION DR.

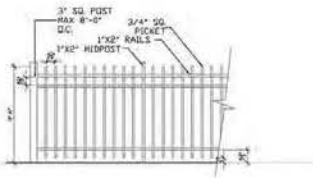
SCALE:

PROJECT:
SOUTH POINT WALK 2
 151 ST. AND 20A AVE
 SURREY, BC.

DRAWING TITLE:
ELEVATION AMENITY AREA

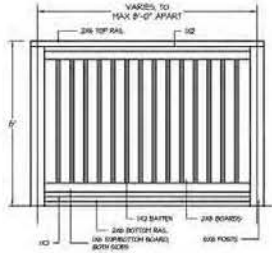
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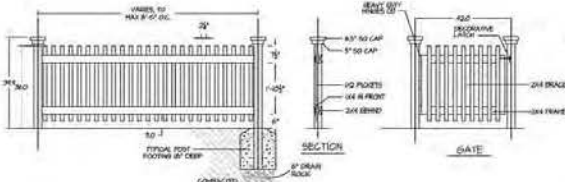
1. FENCE MATERIAL POWDERCOAT ALUMINUM
2. COLOUR OF METAL TO MATCH ARCH. FINISHING, OR OTHER TO BE CHOSEN BY OWNER/ARCHITECT

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1. ALL HOOD P.L. W/SHRINE
2. STAIN TWO COATS PREMIUM WEATHERPROOFING STAIN TO MATCH ARCHITECTURAL FINISH (SCALE TO BE PRE-APPROVED BY OWNER)
3. ALL HARDWARE NOT DIPPED GALVANIZED

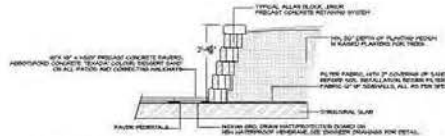
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2. STAIN TWO COATS PREMIUM WEATHERPROOFING STAIN TO MATCH ARCHITECTURAL FINISH (SCALE TO BE PRE-APPROVED BY OWNER)
3. ALL HARDWARE NOT DIPPED GALVANIZED. PICKETS TO BE ATTACHED USING CORROSION RESISTANT SCREWS
4. GATE HARDWARE TO BE PRE-APPROVED BY OWNER
5. HARDWARE TO BE BRASS OR STAINLESS
6. HINGES/LATCHES TO BE SORBED INTO PLACE

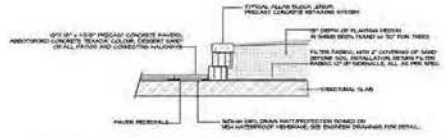
7 WOOD PICKET FENCE AND GATE

1 FENCE DETAIL SECTIONS



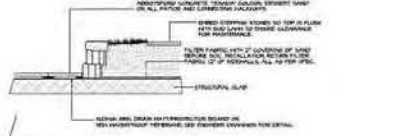
DETAIL 1: ON-SLAB PAVING, ALLAN BLOCK, JUNIOR PLANTER WALL, SOIL AND DRAINAGE

SCALE: 1/2\"/>



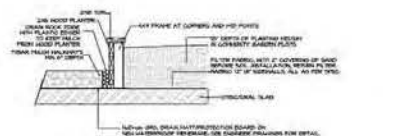
DETAIL 2: ON-SLAB PAVING, ALLAN BLOCK, JUNIOR PLANTER WALL, SOIL AND DRAINAGE

SCALE: 1/2\"/>



DETAIL 3: STEPPING STONES ON SOD LAWN

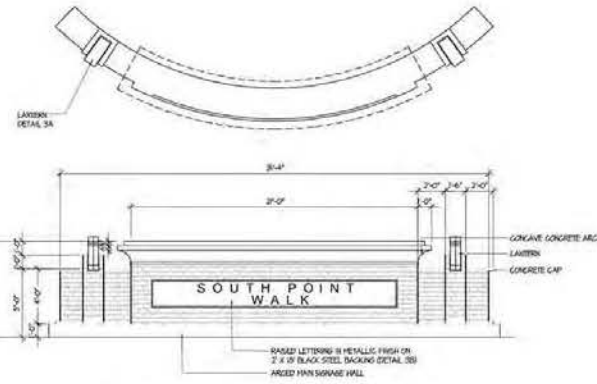
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DETAIL 4: COMMUNITY GARDEN PLOTS

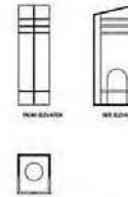
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2 DETAIL SECTIONS



5 ENTRY SIGNAGE PLAN/ELEVATION

SCALE: 1/4\"/>

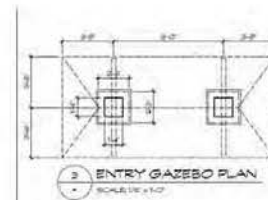


3A LANTERN PLAN/ELEVATIONS

SCALE: 1/8\"/>

3B SIGNAGE ELEVATION/SECTION

SCALE: 3/8\"/>



2 ENTRY GAZEBO PLAN

SCALE: 1/2\"/>



4 GAZEBO DETAIL

SCALE: 1/4\"/>

MATERIAL LEGEND

A	ROOF SHINGLES 1/2\"/>
B	ALUMINUM GUARDRAIL SOD
C	PAINTED WOOD TRIMS & BRACKETS 1/2\"/>
D	PAINTED VERTICAL BOARD & BRACKETS 1/2\"/>
E	HORIZONTAL BOARDING 1/2\"/>
F	PAINTED WARD SHINGLES 1/2\"/>
G	CONCRETE CHIPS & BILLS
H	MASONRY GLASSING 1/2\"/>
I	ALUMINUM GRILLE SOD

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#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	14.01.17	REV FOR ARCH REQUEST	ML
2	14.06.14	REVISED PER ARCH REQUEST	ML
3	14.06.14	ADJUSTED FINISH PER ARCH REQUEST	ML
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PROJECT:
SOUTH POINT WALK 2
151 ST. AND 28A AVE
SURREY, BC

DRAWING TITLE:
DETAILS / SECTIONS PLAN

DATE: 14.06.23	DRAWING NUMBER:
SCALE: VARIOUS	
DRAWN: ML	L9
DESIGN: ML	
CHECK: MLH	OF 14

INTER-OFFICE MEMO

TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department

FROM: Development Services Manager, Engineering Department

DATE: June 17, 2014 **PROJECT FILE:** 7814-0024-00

RE: Engineering Requirements
Location: 2936, 2971, 2944, 2946, 2953, 2964 - 151 Street

LAP AMENDMENT

The following issues are to be addressed as a condition of the King George Corridor Local Area Plan Amendment:

- Construct a 1.5 metre concrete sidewalk and a 1.1 metre hard surface strip along south side of 151 Street fronting 2911, 2913, 2929, 2931 – 151 Street. This will accommodate existing driveways and third party utility kiosks at the intersection of 151 Street and 29A Avenue.
- Construct a 1.5 metre concrete sidewalk fronting 2911/13 151 Street on the north side of 29A Avenue connecting to the existing sidewalks.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 5.088 metres fronting 152 Street.
- dedicate 0.5 metres SROW fronting 152 Street.
- dedicate 3.0m x 3.0m corner cut at the intersection of 152 Street and 29A Avenue.
- dedicate 8.0 metre walkway on the northside of address 2973 - 151 Street.

Works and Services

- construct a 1.5 metre concrete sidewalk on the north side of 29A Avenue.
- construct a traffic button at the intersection of 29A Avenue and 151 Street.
- construct 151 Street to a current local standard.
- construct a 2.5 metre concrete sidewalk complete with pedestrian lighting within 8 m walkway dedication.
- pay proportional share for Hwy 99/32 Ave. interchange improvements.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit



Rémi Dubé, P.Eng.
Development Services Manager
LR

NOTE: Detailed Land Development Engineering Review available on file



Thursday, May 29, 2014
 Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at Semiahmoo Trail Elementary School. The School District has requested capital project funding for a new North Grandview Area secondary, which when completed will help reduce overcrowding at Semiahmoo Secondary and Earl Marriott Secondary. The proposed development should result in higher than projected results in the table below.

THE IMPACT ON SCHOOLS

APPLICATION #: 7914 0024 00

SUMMARY

The proposed 30 townhouse units and 76 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development

Elementary Students:	10
Secondary Students:	5

September 2013 Enrolment/School Capacity

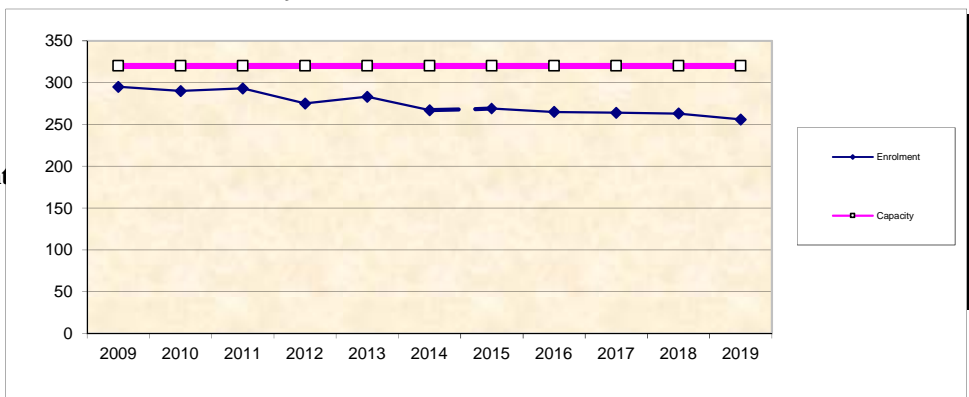
Semiahmoo Trail Elementary

Enrolment (K/1-7):	34 K + 249
Capacity (K/1-7):	20 K + 300

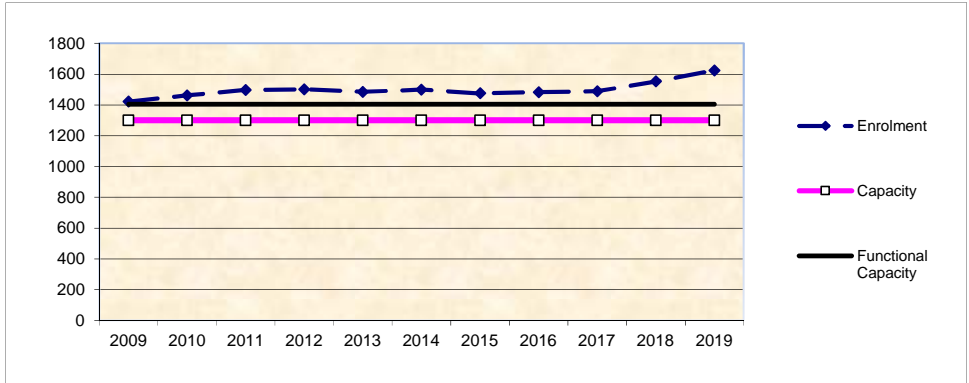
Semiahmoo Secondary

Enrolment (8-12):	1484
Capacity (8-12):	1300
Functional Capacity*(8-12):	1404

Semiahmoo Trail Elementary



Semiahmoo Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Tree Preservation Summary

Surrey Project No: 7914-0024-00
 Address: 151 Street and 29 A Ave
 Registered Arborist: Meredith Mitchell of M2 Landscape Architecture

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	99
Protected Trees to be Removed	71
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	28
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 21 </u> X one (1) = 21 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 50 </u> X two (2) = 100	121
Replacement Trees Proposed	88
Replacement Trees in Deficit	33
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 0 </u> X two (2) = 0	0
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



 (Signature of Arborist)

June 11th 2014

 Date

Present:

Chair - L. Mickelson
Panel Members:
 N. Baldwin
 T. Bunting
 E. Mashig
 G. McGarva
 C. Taylor
 M. Searle

Guests:

Don Andrew, Creekside Architects Ltd.
 Randall Jang, Richard Jang, Evergreen Living Ltd.
 Robert Ciccozzi, Robert Ciccozzi Architecture Inc.
 Marc McCaull, Streetside Developments Ltd.
 Meredith Mitchell, M2 landscape Architecture

Staff Present:

T. Ainscough, City Architect - Planning & Development
 H. Bello, Senior Planner - Planning & Development
 M. Rondeau, Senior Planner - Planning & Development
 H. Dmytriw, Legislative Services

A. RECEIPT OF MINUTES

It was

Moved by C. Taylor

Seconded by T. Bunting

That the minutes of the Advisory Design Panel

meeting of May 8, 2014, be received.

Carried

B. NEW SUBMISSIONS

2. 5:00PM

File No.:

7914-0024-00

New or Resubmit:

New

Last Submission Date:

April 25, 2014

Description:

LAP Amendment, Rezoning, and DP for South Point Walk 2: 106 units consisting of a 76 unit- 4 storey apartment building and 30 townhouse units

Address:

2964, 2953, 2971, 2936, 2944, 2946- 151 Street

Developer:

Marc MacCaull, Streetside Developments Ltd.

Architect:

Steve Watts, Robert Ciccozzi Architecture Inc.

Landscape Architect:

Meredith Mitchell, M2 Landscape Architecture

Planner:

Catherina Lisiak

Urban Design Planner:

Hernan Bello

The Urban Design Planner presented an overview of the proposed project and highlighted that this is a new building.

- 152 Street slopes substantially down toward the northeast corner of the site. Staff suggested that the building step down following the 152 Street slope.
- Panel was asked to comment on the proposed 2.0m setbacks on 151 Street, e.g., detailing of the townhouse street - entry transition.
- Typically front yard setbacks for townhouses are more substantial.
- As this is a dead end street with no vehicular traffic and significant tree retention is proposed, staff supports the reduced setback.

- It was noted that this project does not set a precedent for a reduced setback for other townhouse projects due to the unique configuration of the street.
- The apartment building entry has been revised to provide grade level access from 152 Street to support universal access from the bus stop.

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The east parcel is a 4-storey wood frame condominium building comprising 76 units, and 11 two level townhouses on the parking podium, fronting on 151 Street. Parking is accessed via the parkade below.
- The west parcel is four 3-storey townhouse buildings comprising a total of 19 units.
- There is a 2 meter setback due to the depth of the site and trying to get the density. Density is at .88 and trying to get it to .9.
- There is a 7.5 meter setback to the building face and are asking for a variance for the patio decks. The units will be shallow custom units in order to get it to fit.
- All access points to all sites are on the south end (traffic will be mainly taxis and pizza delivery).
- The 6 meter fire truck access was maintained and played down the asphalt to create a more pedestrian feel rather than a vehicular feel.
- Internally it is a road mitigated with setbacks off the curb minimized to make the back yards work.
- All side-by-side garage units.
- The parkade will be a ramp with 2-storey volume entrance.
- Tandem parking provided for townhouse units at the parkade, access off 151 Street.
- Small accessible elevator at lobby. Two additional elevators: one at lobby, and one at north.
- The 4-storey on 152 Street is stepped down to the planters to mitigate the impact of the building stepping down.
- The character of the 4-storey building is a continuation of the Phase I project.
- The 2-storey entrance roof was raised up to engage the third floor unit.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- The landscape is a continuation of the Phase I project and will have a Boston Brownstone feel with interactive yard spaces. Plantings will go out to the property line with a small strip of grass to the sidewalk meandering around the existing street trees and on site trees.
- Unit pavers will go from the stoops to the municipal sidewalk.
- The landscape is stepped with evergreens and colourful seasonal plantings.
- The internal road will have limited plantings at the front entries and way finding points.
- Existing trees at the end of 151 Street will be retained, providing good screening to original properties, and be quite green.
- The roof decks on the compact units at the top are at the peak of the slope and can overlook the top of the other building.
- Existing pathway will be maintained, and there is a set of stairs down to the back side of Save-on-Foods mall. There is also one on the north east side of the site. Both will be gated for protection of private space and be for residents' use.

- 152 Street and 29A Avenue entries are angled over for a safer access point.
- Signage wraps around the setback.
- Good signage to identify entry to underground parking.
- Amenity area is separated out into two levels: community garden with shed, composting and trellis work; a green courtyard.
 - Grass steps between the lower and upper amenity areas
 - Children's play area, picnic tables, and seating
 - Good access from the lower amenity room and the down elevator at the ground plane, from both internally and the street.
- Green yards on the drive between the buildings with Allan block edges going up for soil depth requirements.
- Public walkway overlooks amenity space and community garden area.
- Locked entry. Existing retaining wall, cedar hedge, planted buffer between commercial area. Good visibility.
- 152 Street units are separated out, with stairs, and accessible.
- Covered entries, recessed doors.
- Main entry is flush with grade.
- First wall is 2' high with mixed plantings between the two walls, a lawn area and front patio.
- 151 Street units - Set back areas and recessed porch units. Lots of plantings, drip strips against the building, unit pavers, and a municipal sidewalk.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

LAP Amendment, Rezoning, and DP for South Point Walk 2:

106 units consisting of a 76 unit 4 storey apartment building and 30 townhouse units

2964, 2953, 2971, 2936, 2944, 2946- 151 Street

File No. 7914-0024-00

It was

Moved by N. Baldwin

Seconded by T. Bunting

That the Advisory Design Panel (ADP)

recommends that the applicant address the following recommendations and revise and resubmit to ADP.

Carried with E. Mashig opposed.

STATEMENT OF REVIEW COMMENTS

Site

- Site planning is made difficult by 151 Street; therefore 151 Street needs to be the 'space' where this development comes together.
- 151 Street character - could be the key public space but needs to be more. The City needs to relax its standard requirements here, e.g., for paving.
- Work on way finding and public street space at 151 Street, e.g., courtyard is not visible from the street. How is courtyard entry defined?
- End of 151 Street – look like a loading space; consider view to the end of the street.
- The site plan and setbacks seem fine for the building layout; however, 151 Street should be decommissioned as a street and be a green walkway, thus providing open usable space.

- The lane between the townhouses is hard and narrow; long, all cars, and pavement. Consider “woonerf” treatment, e.g., more pedestrian oriented materials, paving, landscaping.
- Consider the site as “infill” - ensure that the site is permeable for pedestrians at the north to allow access when mall site redevelops.
- Consider alternate forms of development for the west portion of the site, such as two short mews access directly off 151 Street.

Building Form and Character

- Presentation – refinement of presentation is required to explain project, e.g., 3-D model is difficult to read, more street level 3-D views are required.
- Two or three distinct characters being knit together by materials and colour. Different or similar character? Needs development.
- Many of the buildings are long and extruded feeling—no beginning or end to the long buildings—may be too much repetition.
- Building 1 – Apartment:
 - Address the scale of the large east elevation with some “big” moves as opposed to repetition of a series of small moves.
 - Consider more major articulation and or a distinct change of expression in the centre of the street façade.
 - Building is very long and its rhythm is made to look longer. Not helping that it doesn’t step on 152 Street.
 - Apartment roof – big roof; consider simplifying.
- Townhouses:
 - Don’t mind the difference in character of the different buildings but the boxy character of buildings 4 and 5 is at odds with the little porch roofs.
 - Reconsider orientation of townhouse front door and gate so that the social use of the front stoop is enhanced.
 - Provide shade at flat roof townhouse units at roof deck, e.g., trellis for livability.

Landscaping

- Excellent retention of existing trees – nice to see that the landscape architect has bumped out the sidewalk to accommodate existing trees on 151 Street.
- Good relationship between townhouse units and street; “good eyes on street”.
- Don’t mind the 2 meter setback with Brownstone style townhouses. Nice sitting steps. Very neighbourly.
- The area between the sidewalk and 151 Street is a large expanse of lawn. Review maintenance, e.g., lawn mowing. Can this be a true green street with rain garden/bioswales? Integrate a storm water feature to utilize large lawn on other side of sidewalk.
- If 151 Street is pedestrianized and it needs to be asphalt, can it be coloured asphalt or can it be painted, e.g., hockey lines?
- Play area grass steps is a 4’ rise may require handrails.
- Consider more pedestrian permeability between east and west sides.
- Playground safety zone extends outside of safety surfacing. More space will be required for the playground.
- Reconsider the light the garden will receive. Good community space.

CPTED

- Perimeter pathway stair is not a viable entrance to mall. North side has no surveillance coverage. Push mall access use to the sidewalk.
- Street crime is bike based. Consider CPTED for ground level of site.
- Way finding is tough as the project is massive and the building on the north could be a real problem for way finding. Design way finding and place making to aide emergency access.
- Clarify apartment building entrance from 151 Street – will facilitate parking for police on 151 Street; will want to avoid parking on 152 Street.

Accessibility

- Revise northeast stair to provide barrier free/disabled access to east – west walkway.
- Recommend 5% of units be wheelchair accessible.
- Provide power doors at entrances.
- Call button panels at entrances to be on the horizontal.
- Provide emergency call buttons in parking lobby.
- Washrooms to be wheelchair accessible.

Sustainability

- No comments

C. OTHER COMPETENT BUSINESS

D. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, June 12, 2014.

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 6:20 pm.

Jane Sullivan, City Clerk

Leroy Mickelson, Chairman
Advisory Design Panel

ROBERT CICCOCZZI Architecture Inc.

Tom Ainscough
Architect AIBC, LEED AP BD+C, CITY ARCHITECT

CITY OF SURREY
Planning and Development
13450 – 104 Avenue,
Surrey, BC, Canada V3T 1V8
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June 05, 2014

RE: South Point Walk Phase II – Comprehensive Residential Development at 2936/2944/2946/2964/2966/2953/2955/2971/2973 151st Street, Surrey B.C.

Dear Tom,

As discussed at the May 27 meeting between City of Surrey Planning (Tom Ainscough, Hernan Bello & Catherina Lisiak), Streetside Developments (Marc MacCaull) & RCA (Rob Ciccozzi & Steve Watt), the priority for ADP resubmission is to review the following issues distilled from the ADP minutes:

1. *Apartment building – scale, define entrances, simplify the roof, end elevations*

The precedent for the Apartment Building in Phase 2 is a continuation of the form and character of the apartment building in Phase 1 that is currently under construction. Both apartment buildings share a similar material and colour palette.

Scale

The scale of both buildings are broken down through the use of strong projecting vertical and horizontal forms that are further articulated with extended roof overhangs and wood brackets, assisted with the placement of the materials and colours. The projecting forms not only help reduce the scale of the building but also provide relief through a strong vertical rhythm along the horizontal length of the building.

On the 152nd Street elevation, the projecting forms are collected three times into a composition defined by a strong gabled roof reinforced with smaller projecting gabled roofs at each end. The middle gable above the main entry is slightly different from the two other gable in that it incorporates a gabled roof directly above the main entry that projects out at the fourth floor level that is further articulated with the brick finish going up to the fourth floor. The middle gable is also

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RCA

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raised about 3'-6" from the other gables and is further reinforced with a hipped roof behind that also breaks the main roof ridge. To fully understand and appreciate this building, one must look at it in 3-d where the level of detail of the forms and the detail within the forms come together in a rhythmic and controlled complexity.

Defined Entrances

The lobby entry on the West Elevation addressing the access from 151st Street has been further defined with a strong trellised gate structure located at the path entry on 151st Street and will be further defined through the use of clear way finding signage.

End Elevations

The North elevation has been revised to include a similar composition of the gabled roof forms as described above under the "Scale" heading. This provides a strong continuation of the character from the 152nd Street elevation to the North elevation, helping to emphasize the Northeast corner of the building, highly visible from 152nd Street as one travels South. The brick material has been revised to extend up to the fourth level and provide more emphasis at each end and the main entry of the building on the 152nd Street elevation.

Roof Simplification

The main roof has been simplified by removing the three valleys/dips that were originally proposed and then the continuous ridge is broken through the introduction of a raised hip roof that incorporates the gabled roof form above the main entry as described above under the "Scale" heading.

- 2. 151 Street – refine the public space, way-finding, east west pedestrian connections, paving alternatives (confirm with Engineering) and landscaping, disabled access at the NE and in general***

RCA's drawing A1.01a has been updated to indicate the way-finding nodes within the project. Two gated structures along the 151 Street East edge define the access points to the common outdoor space, apartment building & the East-West link to 152 Street. Each of these access points is accessible. The stairs at the Northeast corner of the site providing an East-West link have been deleted in favour of a sloping path, also accessible. Most of the stairs to access the common open space areas have been deleted in favour of ramps. Areas of different surface texture/treatment have been introduced along 151 Street to enhance the pedestrian friendly nature of this road beyond the access to the West townhouse parcel. An additional trellis & gate structure is located at the North end of the drive aisle on the West parcel to indicate the

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pedestrian connection to the public path to the retail to the North.

3. *Brownstone townhouses - roof deck shading, drive aisle pedestrian treatment, integration with the rest of the project e.g., material palette*

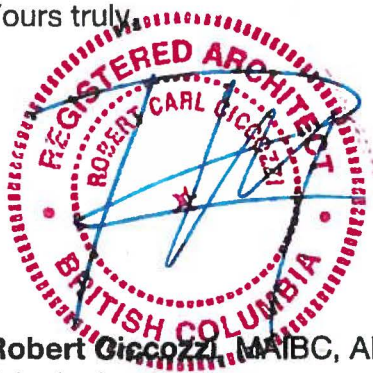
The stairways in the brownstone townhouses have been extended up to the roof decks as a one storey built form with extended roof over hangs and incorporating a strong trellis extending the width of the townhouse to provide some shade for the roof deck. The drive aisle on the West parcel will also be enhanced with a stamped/textured treatment in key locations to introduce a more pedestrian friendly appearance. The material palette proposed for the brownstone townhouses is consistent with the palette applied to the other buildings in the project. Roofs for Buildings 6 and 7 (the pair of buildings nearest the West property line) have been simplified with a hipped 4/12 sloped roof to integrate better with the rest of the project.

4. *Presentation – refine 3-D model, provide street level views to illustrate form and character*

3-D renderings of the Phase 1 apartment building have been included in the presentation to provide precedent for the Phase 2 apartment building and 3-D street view renderings along 152nd Street and of the Northeast corner will be presented at ADP along with 3-D street views of the townhouses along 151st Street.

We trust that the above information respond to your first round of comments and look forward to receiving any additional commentary / questions you may have.

Yours truly,



Robert Ciccozzi, MAIBC, AIA
Principal

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RCA

3. **5:30 PM**

File No.:	7914-0024-00
Resubmit:	Resubmit
Last Submission Date:	May 22, 2014
Description:	LAP Amendment, Rezoning, and DP for South Point Walk 2: 106 units consisting of a 76 unit- 4 storey apartment building and 30 townhouse units
Address:	2964, 2953, 2971, 2936, 2944, 2946 - 151 Street
Developer:	Marc MacCaull, Streetside Developments Ltd.
Architect:	Shannon Seefeldt, Robert Ciccozzi Architecture Inc.
Landscape Architect:	Meredith Mitchell, M2 Landscape Architecture
Planner:	Catherina Lisiak
Urban Design Planner:	Hernan Bello

Note: Statement of Review from May 22, 2014 was included in the minutes from the last meeting, as part of the agenda package.

The Urban Design Planner noted that this is a resubmission and is in response to the comments from the Panel.

- Resubmission - architect is asked to go over their responses to comments from panel.

The City Architect noted that the project received good direction from the Advisory Design Panel at the May 22, 2014 meeting. The applicant has done a lot of work to address the ADP comments which could be grouped into 4 themes:

1. Apartment building - review roof form, massing and articulation to break down long building; consider larger elements (“big moves”).
2. 151 Street - needs attention with regard to the paving and way finding
3. Brownstone townhouse open space –lack of outdoor amenity area and shade for roof deck.
4. Presentation of form and character – need better 3-D presentation of spaces to illustrate form and character and wayfinding.

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The scale of the apartment building in Phase 2 has been reduced by vertical elements along the length. The building is 286’ long.
- Phase 2 is a continuation of the form and character of the apartment building in Phase 1. The material and colour palette will be similar.
- The same elements will emphasize the verticality with red brick columns on the roof and projecting wood bracket detailing; 8’ overhangs.
- There is pattern on the length; a medium colour along the middle, and a lighter colour on the parapet.
- On the 152 Street elevation, projecting roof forms along elevation at the main entry elevation has been raised a few feet higher and grouped the two side

elevations into one composition. Defined by a strong pitched roof and a hip roof 2'-3' higher.

- The broken gables on roof have been removed to straighten the roof line.
- The entry at mid site is now definable as an entry and have introduced nodes as shown on the site plan.
- End north elevation is the same composition and will continue around onto 152 Street.
- Site plan updated to show way finding around site.
- Added two gated trellises on 151 Street at apartment entry at the common outdoor space and a second one at the east west pedestrian gate. The site is fully accessible.
- At the north end of the townhouses to the commercial area, the stairs at the north east end of the site were removed and replaced with a 5% ramp. The stair to the outdoor amenity space was replaced with a ramp. All ramps are accessible and pedestrian friendly in nature and introduced patterned pavement brick to look like a public plaza.
- Brownstone townhouses – extended roof decks to 4th level. Introduced a trellis feature.
- Drawing A2.41 Roof top Elevation at Townhouse – stair elements extended up the width of the stair and shade element added.
- Laneway on north is pedestrian accessible and added brick stamped paving.
- Building 6 and 7 roofs (plan A.2.61) were simplified. The flat roof is now gable roofs on front elevations.
- 3D renderings of the Phase 1 apartment building were included in the presentation to show street views and the different buildings.
- Townhouse drive aisle widened 1'-6".

The Landscape Architect reviewed the landscape plans and highlighted the following:

- 151 Street is a people friendly street. A red brick path with let downs was added for a connection through.
- The pathway was modified to add an additional berm on the north east corner. The stairs are now gone; now ramp provided.
- Steps were removed at the courtyard path.
- Bike racks have been added.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

LAP Amendment, Rezoning, and DP for South Point Walk 2: 106 units consisting of a 76 unit- 4 storey apartment building and 30 townhouse units
2964, 2953, 2971, 2936, 2944, 2946- 151 Street
File No. **7914-0024-00**

It was

Moved by C. Taylor
Seconded by T. Wolf

That the Advisory Design Panel (ADP) recommends that the applicant address the following recommendations and revise and resubmit to Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Site

- Good response to previous ADP comments:
 - Better way finding and attempt to improve pedestrian experience on 151 Street and laneway.
 - Better connection on site and elimination of steps.
 - Generally, pedestrian realm is improved with ramped walkways, trellises at entrances and paved crossings.
- 151 Street and internal mews need work-further pedestrianize. They are car oriented but have potential to contribute to the public realm. Push further with engineering.
- Townhouse drive aisle - Suggest more brick paving between building 4 and 7 and building 5 and 6. Area needs to be more pedestrian friendly.
- Brick paved walkway does not really improve the pedestrian friendliness of the townhouse drive aisle space. Perhaps consolidate brick paving in a bigger single area.
- Pedestrian link from townhouse drive aisle - Recommend pedestrian link to 151 Street between buildings 4 and 5. Connectivity through townhouse development (through mews) east-west should be a pedestrian corridor, not a parking stall.

Building Form and Character

- Nice trellis/covered roof decks.
- Massing of the “big building” on 152 Street is improved. Suggest emphasizing the “big moves” that have been made, i.e., fewer big elements and accentuate.

Landscape

- Good response to previous ADP comments, e.g., bike racks, wayfinding, accessibility,
- Outdoor amenity space cross-section demonstrates that the courtyard spaces are well designed and an appropriate scale.
- 151 Street – landscape response could be improved further (wayfinding, pedestrian crossings, termination of street).

Accessibility

- Addressed accessibility issues.
- Recommend accessible unit be incorporated into design.

The following comments from the absent panelist were read into the minutes:

- A stronger hierarchy of articulation or the large building has been achieved. The subtly asymmetrical composition is a plus for the long street elevation, particularly with an urban presence provided for the very visible north elevation.

- Appreciate that the exaggerated roof scale of buildings 6 and 7 has been diminished (less dramatic but more neighbourly), and that trellis roof decks are provided for buildings 4 and 5.
- Good to see that the pale colour has been changed to one that appears less stark.
- All the other good points remain.
- The panelist remains in favour of the overall siting and setback relaxation, etc., and is in support of this resubmission

END

DRAFT

CITY OF SURREY

BYLAW NO. _____

A by-law to amend "Surrey Zoning By-law, 1993, No. 12000", as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

(a) FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 001-870-432
Strata Lot 2 Section 22 Township 1 New Westminster District Strata Plan NW1675
Together With An Interest In The Common Property In Proportion To The Unit
Entitlement Of The Strata Lot As Shown On Form 1

2946 - 151 Street

(b) FROM: DUPLEX RESIDENTIAL ZONE (RM-D)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 005-356-105
Lot 35 Section 22 Township 1 New Westminster District Plan 55325

2964 and 2966 - 151 Street

Parcel Identifier: 000-598-291
Lot 37 Section 22 Township 1 New Westminster District Plan 55325

2953 and 2955 - 151 Street

Parcel Identifier: 005-357-136
Lot 38 Section 22 Township 1 New Westminster District Plan 55325

2971 and 2973 - 151 Street

Parcel Identifier: 005-356-199
Lot 52 Except: Part Dedicated Road On Plan LMP41931 Section 22 Township 1 New
Westminster District Plan 55326

2936 - 151 Street

Parcel Identifier: 001-870-424
Strata Lot 1 Section 22 Township 1 New Westminster District Strata Plan NW1675 Together
With An Interest In The Common Property In Proportion To The Unit Entitlement Of The
Strata Lot As Shown On Form 1

2944 - 151 Street

(hereinafter both 1.(a) and (b) shall be referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, multiple unit residential buildings, ground-oriented multiple unit residential buildings* and related *amenity space* which are to be developed in accordance with a *comprehensive design*.

The *Lands* are divided into Blocks A and B as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Gary Rowbotham, B.C.L.S. on the 10th day of June, 2014.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Block A:

- (a) *Multiple unit residential buildings and ground-oriented multiple unit residential building; and*
- (b) *Child care centres, provided that such centres:*
 - (i) Do not constitute a singular use on the *lot*; and
 - (ii) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

2. Block B:
 - (a) *Ground-oriented multiple unit residential buildings; and*
 - (b) *Child care centres, provided that such centres:*
 - (i) Do not constitute a singular use on the *lot*; and
 - (ii) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. Block A:
 - (a) The *floor area ratio* shall not exceed 1.3; and
 - (b) The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.
2. Block B:
 - (a) The *floor area ratio* shall not exceed 0.9; and
 - (b) The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 40%.

F. Yards and Setbacks

1. (a) Block A:

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	Front Yard (152 Street)	Rear Yard	Side Yard on Flanking Street (151 Street/29A Avenue)
<i>Principal Buildings and Accessory Buildings and Structures</i>		7.5 m. [25 ft.]	6.5 m. [21 ft.]	2.0 m. ¹ [7 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

¹ Notwithstanding Sub-section E.17.(b) of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs with more than 3 risers may encroach up to 1.0 metre [3.3 ft.] of the *side yard setback on flanking street*.

(b) Notwithstanding Section F.1(a) and the definition of *setbacks* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, columns, roof canopies and *balconies* may be permitted to encroach up to 6.0 metres [20 ft.] from the *front lot line*.

2. (a) Block B:

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	Front Yard (151 Street)	Rear Yard	Side Yard (North)	Side Yard (South)
<i>Principal Buildings and Accessory Buildings and Structures</i>		2.0 m. [7 ft.]	6.9 m. [23 ft.]	2.0 m. [7 ft.]	3.0 m. [10 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

(b) Notwithstanding Section F.2(a) and the definition of *setbacks* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, columns, stairs and *balconies* may be permitted to encroach up to 5.7 metres [18.7 ft.] from the *rear lot line*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Block A:

- (a) Principal buildings: The *building height* shall not exceed 15 metres [50 ft.]; and
- (b) Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

2. Block B:

- (a) Principal buildings: The *building height* shall not exceed 13 metres [43 ft.]; and
- (b) Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

- 1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
- 3. *Tandem parking* is permitted, subject to the following:
 - (a) *Dwelling units* with *parking spaces* provided as *tandem parking* are permitted directly adjacent to an arterial roadway only if there is an internal access to the parking area;
 - (b) *Parking spaces* provided as *tandem parking* must be enclosed and attached to each *dwelling unit*;
 - (c) *Parking spaces* provided as *tandem parking* must be held by the same owner; and
 - (d) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits.

I. Landscaping

- 1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

1. Block A:

Lot Size	Lot Width	Lot Depth
6,400 sq.m. [1.58 acres]	30 metres [98 ft.]	30 metres [98 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Block B:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
3,500 sq.m. [0.86 acres]	30 metres [98 ft.]	30 metres [98 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements of the RM-45 Zone for Block A and RM-30 Zone for Block B as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the shall be based on the RM-45 Zone for Block A and RM-30 Zone for Block B.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.

11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

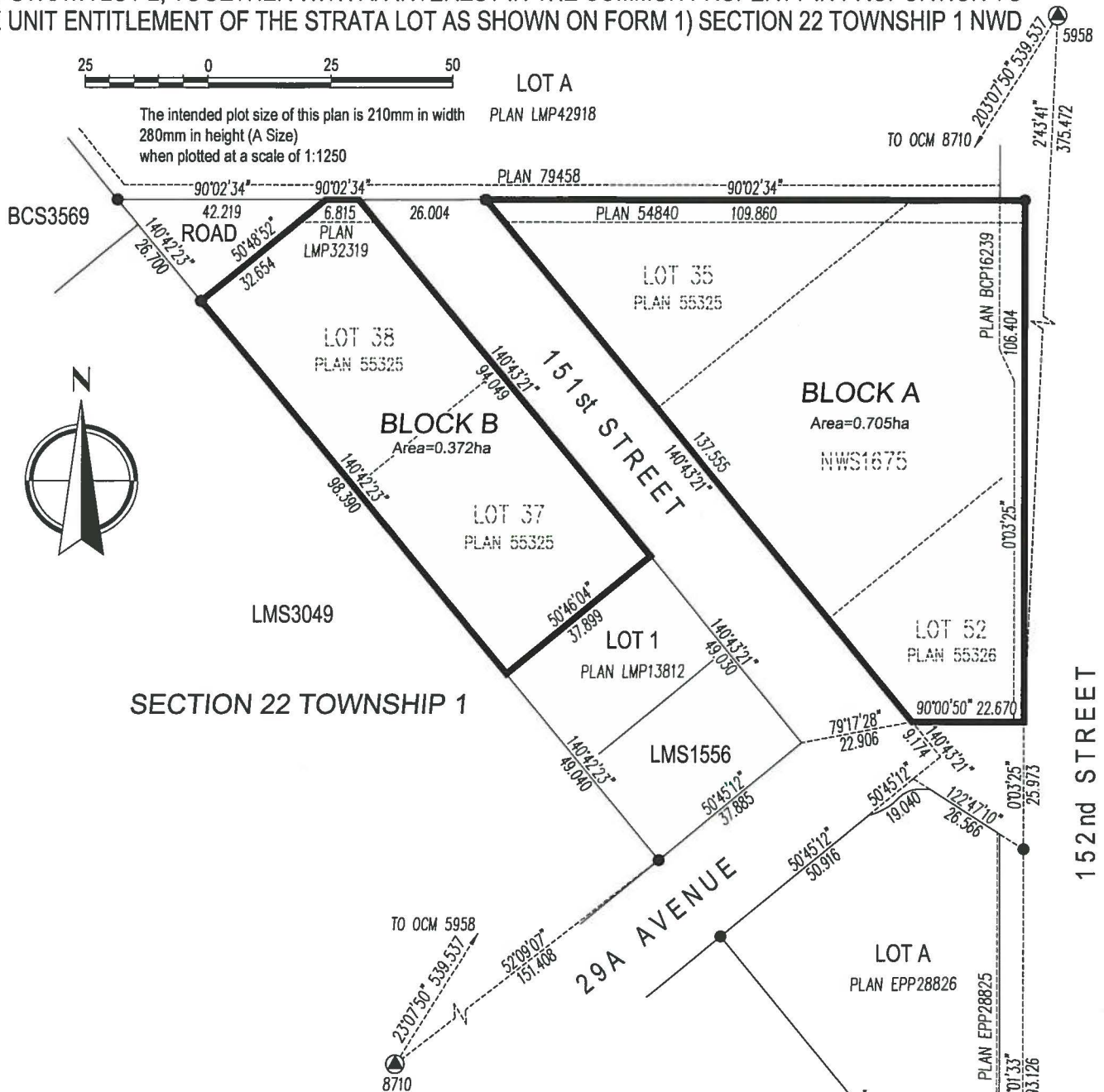
PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

MAYOR

CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW _____ OF:
 LOT 35, LOT 37 AND LOT 38 PLAN 55325, LOT 52, EXCEPT PART DEDICATED ON PLAN LMP41931,
 PLAN 55326 AND NWS1675 (STRATA LOT 1, TOGETHER WITH AN INTEREST IN THE COMMON
 PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1
 AND STRATA LOT 2, TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO
 THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1) SECTION 22 TOWNSHIP 1 NWD



LEGEND

- GRID BEARINGS ARE DERIVED FROM OLD CONTROL MONUMENTS 8710 & 5958
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email: info@olsensurveying.ca

File No 17763-REZONING-BLOCK

CERTIFIED CORRECT

Dated this 10th day of JUNE, 2014

THIS DOCUMENT IS NOT VALID UNLESS
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