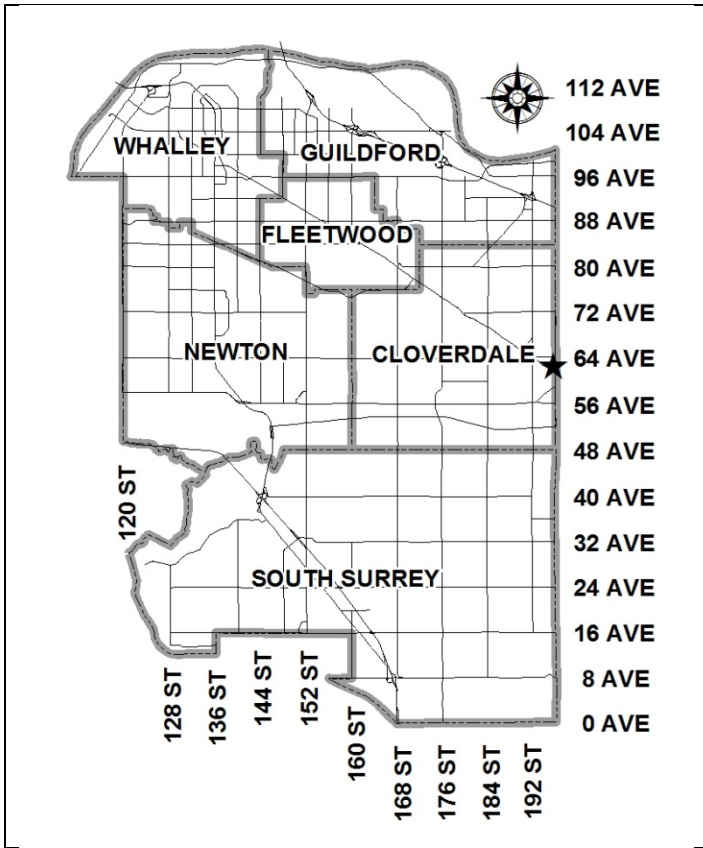


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0027-00

Planning Report Date: June 9, 2014



PROPOSAL:

- **Development Permit**

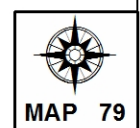
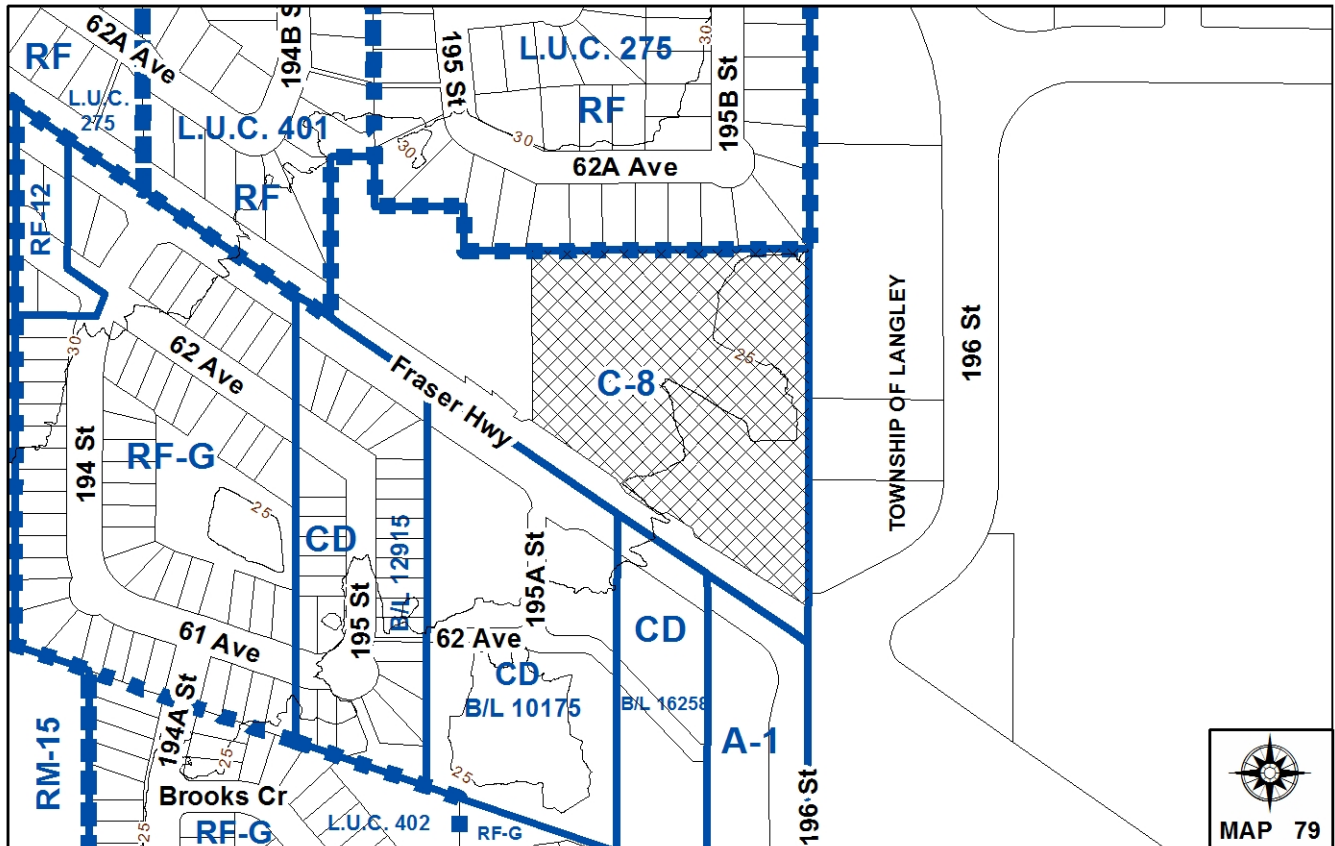
in order to permit exterior renovations to Westbrook Shopping Centre.

LOCATION: 19555 - Fraser Hwy

OWNER: Westbrook Shopping Centre Holdings Ltd.

ZONING: C-8

OCP DESIGNATION: Commercial



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- The proposed renovations to the existing shopping centre on the subject site include exterior building improvements, the installation of high-quality fascia signs, the addition of new trees and landscaping, and improved pedestrian connections, all of which will upgrade and enhance the overall appearance of the site.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Permit No. 7914-0027-00 and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Multi-tenant commercial shopping centre.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwellings.	Urban	LUC No. 275 (underlying RF Zoning)
East:	Single-storey commercial buildings in the Township of Langley.	Urban Growth	LUC No. 91 (underlying C-1 Zone)
South (Across Fraser Highway):	Single family dwellings, undeveloped properties and a two-storey seniors care facility.	Commercial and urban	CD (By-law Nos. 12915 and 10175), A-1 and CD (By-law No. 16258)
West:	Commercial shopping centre.	Commercial	C-8

DEVELOPMENT CONSIDERATIONS

- The subject site is located at 19555 - Fraser Highway near the Surrey / Langley border, and is approximately 2.3 hectares (5.6 acres) in size. The site is designated Commercial in the Official Community Plan (OCP) and is zoned "Community Commercial Zone (C-8)".
- The existing commercial building on the subject site was constructed in the 1980s as part of a multi-tenant shopping centre. The tenants have changed over the years, and a large specialty market (H-Mart) is now the major tenant.

- The subject site was recently sold, and the new owners have applied for a Development Permit to allow exterior renovations to the existing building, including new fascia signage. The owners also propose to improve the existing condition of the parking lot and site landscaping.

DESIGN PROPOSAL AND REVIEW

- The applicant proposes a number of exterior modifications and improvements to the existing building, which will provide a more contemporary look to the building.
- A decorative parapet, which will rise above the existing roof line, is proposed. The new parapet and existing building façade will be painted beige (slightly darker than the existing building colour), and accented by dark brown fascia boards / panels, black metal flashing, and decorative horizontal rails, which will also be painted black.
- Some of the existing exterior stairs, building columns, and tenant doors are to be repositioned / relocated to improve pedestrian access and circulation.
- The existing building soffits and pot lights will be repaired or replaced to improve the exterior lighting on each storefront.
- The renovations to the building are all proposed along the south building elevation, which faces towards Fraser Highway. The portions of the existing building that are internal and do not face Fraser Highway will remain unchanged.
- The applicant also proposes a number of improvements throughout the site including repainting the existing drive aisle and parking space lines to improve visibility, and adding new painted concrete walkways with letdowns and crosswalks to improve pedestrian connections.

Signage

- The applicant proposes to remove all of the existing fascia signs on the building, most of which are sign boxes and banners.
- The proposed new fascia signs are illuminated channel letters and will be mounted on a new sign rail that will be installed on the proposed building parapet. The sign rail will be painted to match the dark brown fascia boards on the building.
- The applicant proposes to retain and re-face the two (2) existing free-standing signs located along the south property line adjacent to Fraser Highway.
- All proposed new fascia signage meets the Sign By-law.

Landscaping

- All of the existing low-level landscaping on the subject site will be replaced. New landscaping will include: roses, honey suckle, lavender, oat grass and cedars.

- The applicant proposes to remove one (1) of the nine (9) existing on-site trees in order to widen the pedestrian walkway in front of Building F, near the south-east corner of the subject site.
- A total of twelve (12) new trees will be planted throughout the site, including beech, ginkgo and honey locust trees.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
Appendix II. Development Permit No. 7914-0027-00

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

DN/da

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CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7914-0027-00

Issued To: WESTBROOK SHOPPING CENTRE HOLDINGS LTD.
("the Owner")

Address of Owner: 9751 - No. 6 Road
Richmond, BC
V6W 1E5

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-401-394
Lot 12 Except Firstly: Part Dedicated Road On Reference Plan 58723 Secondly: Part
Dedicated Road On Reference Plan 69239, Section 10 Township 8 New Westminster
District Plan 27347

19555 - Fraser Hwy

(the "Land")

3. This development permit applies to only to that portion of the buildings and structures on the Land shown on Schedule A, which is attached hereto and forms part of this development permit.
4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
5. The character of the development including landscaping and the siting, form, exterior design, finish of buildings, structures and signage shall be in accordance with the drawings numbered DP #7914-0027-00(A) through to and including DP #7914-0027-00(T) (the "Drawings") which are attached hereto and form part of this development permit.

6. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design, finish of buildings, structures and signage on the Land, may be permitted subject to the approval of the City.
7. The comprehensive signage design package shall conform to drawings numbered DP No. 7914-0027-00(M) through to and including DP No. 7914-0027-00(N) (the "Signage").
8.
 - (a) The landscaping shall conform to drawings numbered DP No. 7914-0027-00(O) through to and including DP No. 7914-0027-00(T) (the "Landscaping").
 - (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
 - (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$67,131.63

(the "Security")
 - (d)
 - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.
 - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.
 - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
9. This development permit supplements Development Permit No(s). 7906-0014-00 and 7907-0037-00.
10. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.

- 11. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.
- 12. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 13. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE _____ DAY OF _____, 2014.
 ISSUED THIS _____ DAY OF _____, 2014.

 Mayor – Dianne L. Watts

 City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

 Authorized Agent: (Signature)

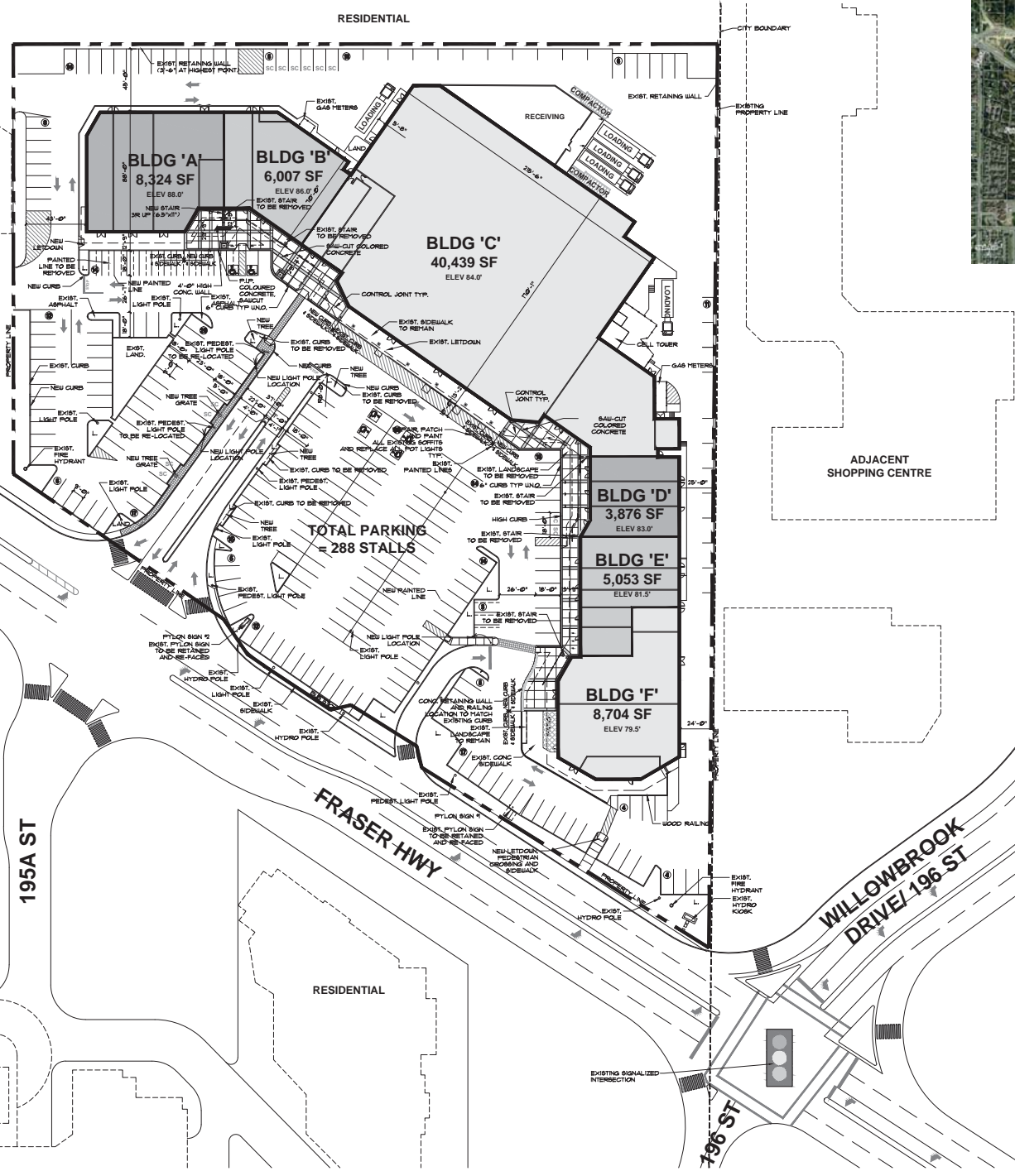
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OR

 Owner: (Signature)

 Name: (Please Print)

GENERAL NOTE:
 BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.



KEY PLAN
 SCALE: NTS

SITE INFORMATION:	
LEGAL DESCRIPTION: LOT 12, SECTION 10, TOWNSHIP 8, PLAN 27347 NWD EXCEPT PLAN PT DEDICATED ROAD ON REF PLAN 58723, & EXCEPT PT DEDICATED ROAD ON REF PLAN 66239	
CIVIC ADDRESS: 19555 FRASER HWY, SURREY, BC	
ZONING: C8 (COMMUNITY COMMERCIAL)	
SITE AREA: 245,405 SF (22,799 SM)	
EXISTING BUILDING AREA: 72,403 SF	
EXISTING LOT COVERAGE: 72,403 / 245,405 SF = 29.5%	
GROSS FLOOR AREAS:	
BUILDING A:	8,324 SF
BUILDING B:	6,007 SF
BUILDING C:	40,439 SF
BUILDING D:	3,876 SF
BUILDING E:	5,053 SF
BUILDING F:	8,704 SF
TOTAL BUILDING AREA:	72,403 SF
PARKING REQUIREMENTS:	
TOTAL PARKING REQUIRED:	164 STALLS
TOTAL PARKING PROVIDED:	288 STALLS
PARKING RATIO:	4.0 / 1000 SF
PARKING BYLAW REQUIREMENTS:	
SHOPPING CENTRE = >60,000SF: 2.5 STALLS PER 1,075SF of G.F.A. (WITH A MINIMUM OF 139 STALLS).	
PARKING SIZES:	
REGULAR CAR STALL	9'-0" (2.75m) x 18'-0" (5.5m)
HANDICAP CAR STALL (1 PER 100 STALLS)	12'-0" (3.70m) x 18'-0" (5.5m)
SMALL CAR STALL (MAX 25%)	9'-0" (2.75m) x 16'-0" (4.9m)
CAR STALL (ADJACENT TO STRUCTURE)	9'-8" (2.95m) x 18'-0" (5.5m)
LOADING SPACE (MINIMUM SIZE)	13'-1" (4.00m) x 30'-0" (9.2m)
MANOEUVERING AISLE (REGULAR STALL)	22'-0" (6.7m)
MANOEUVERING AISLE (LOADING SPACES)	24'-7" (7.5m)

SITE PLAN
 SCALE: 1"=50'-0"

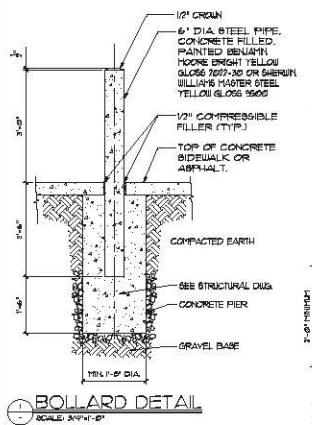
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WESTBROOK CENTRE
 19555 FRASER HWY., SURREY, BC
For AMPRI GROUP

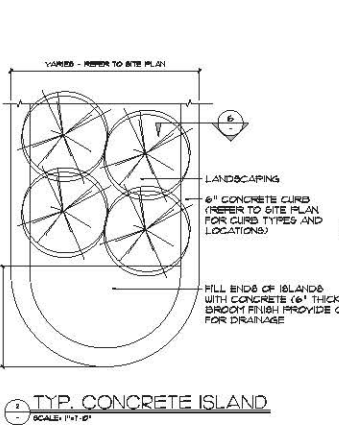
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 600-1140 WEST PENDER
 VANCOUVER, BC V6E 4C1
 TELEPHONE: 604-687-0234
 FACSIMILE: 604-688-7481

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 Date: 05/15/14

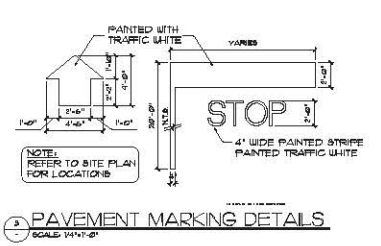
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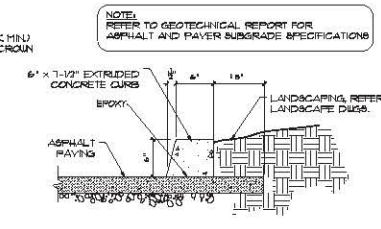
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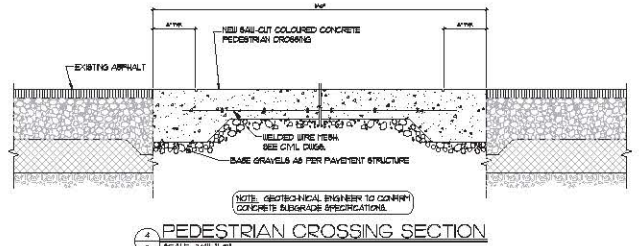
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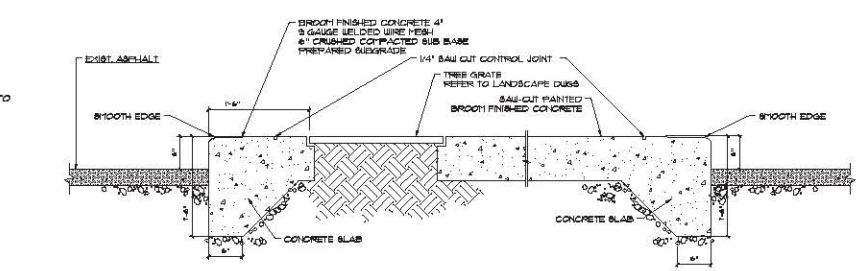
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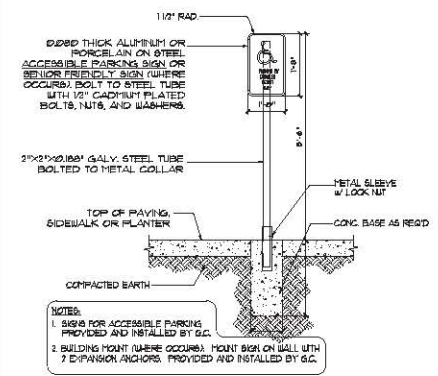
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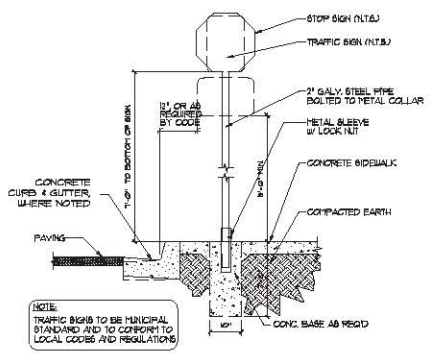
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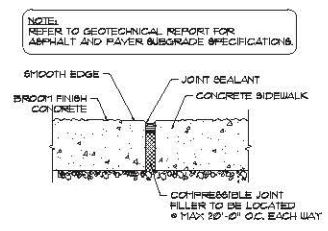
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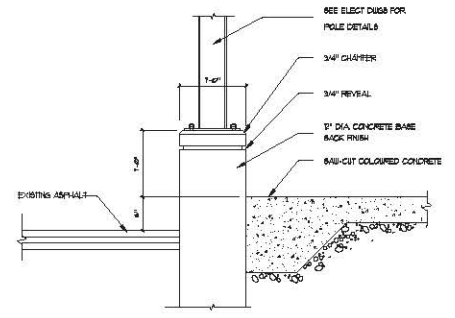
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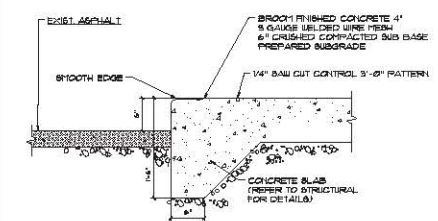
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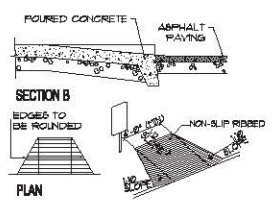
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1 LIGHT POLE BASE
SCALE: 3/4\"/>



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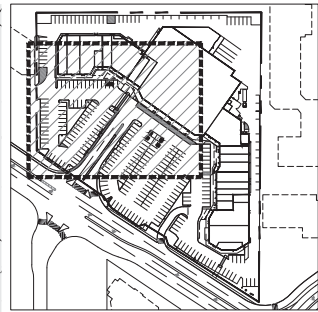
- GENERAL NOTES:**
1. ALL WORK SHALL CONFORM WITH THE BC BUILDING CODE, PART 7.1. THE RESPONSIBILITY OF THE ARCHITECT AND CONTRACTOR SHALL BE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO THE COMMENCEMENT OF WORK.
 2. REFER TO GEOTECHNICAL REPORT FOR ALL ASPHALT AND PAVEMENT SUBGRADE SPECIFICATIONS.

WESTBROOK CENTRE
19555 FRASER HWY., SURREY, BC
For AMPRI GROUP

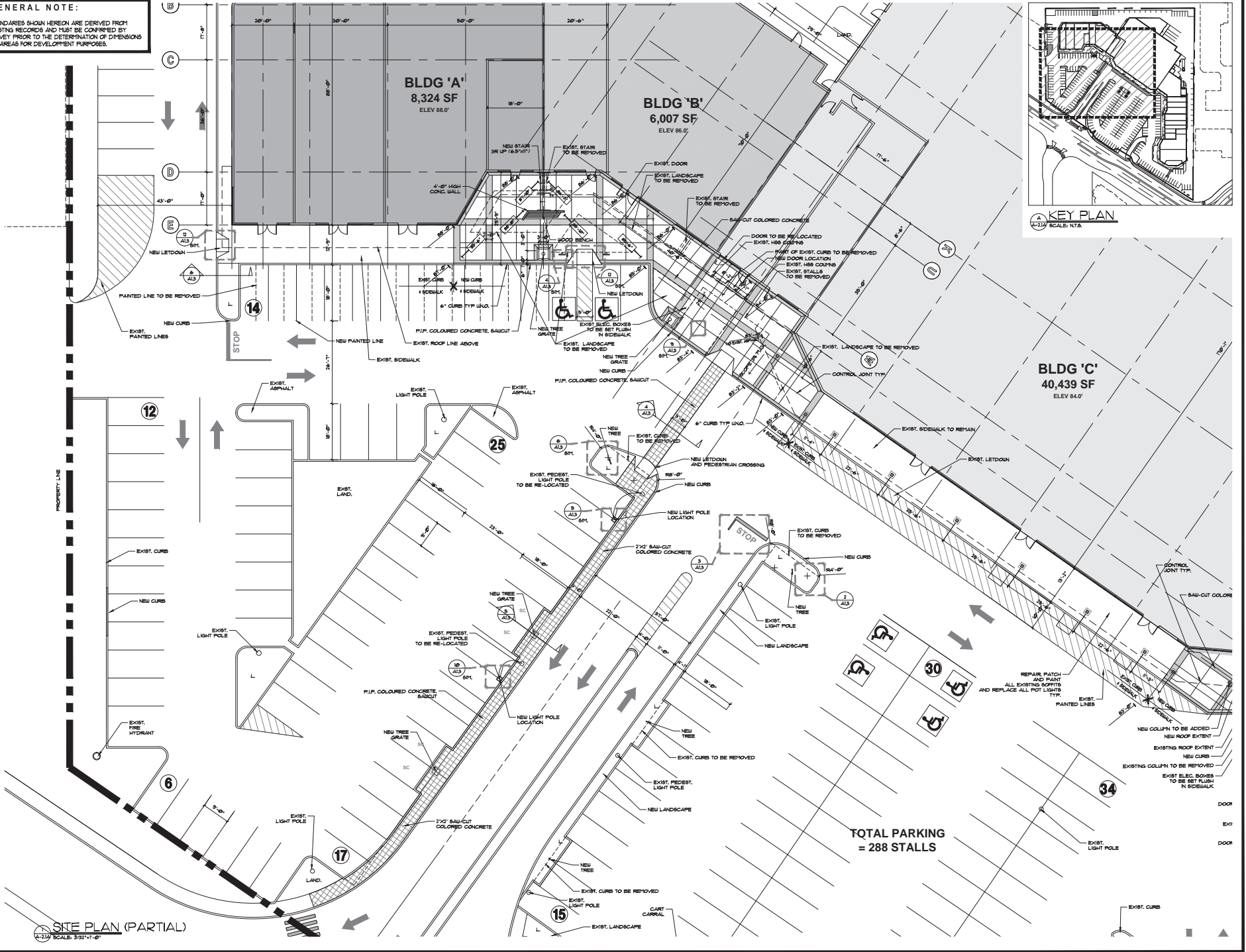
architects ltd.
600-1140 WEST PENDER
VANCOUVER, BC V6C 4G3
TELEPHONE: 604-273-2234
FACSIMILE: 604-273-2234

project number: 3719
sheet 05
SITE PLAN DETAILS
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GENERAL NOTE:
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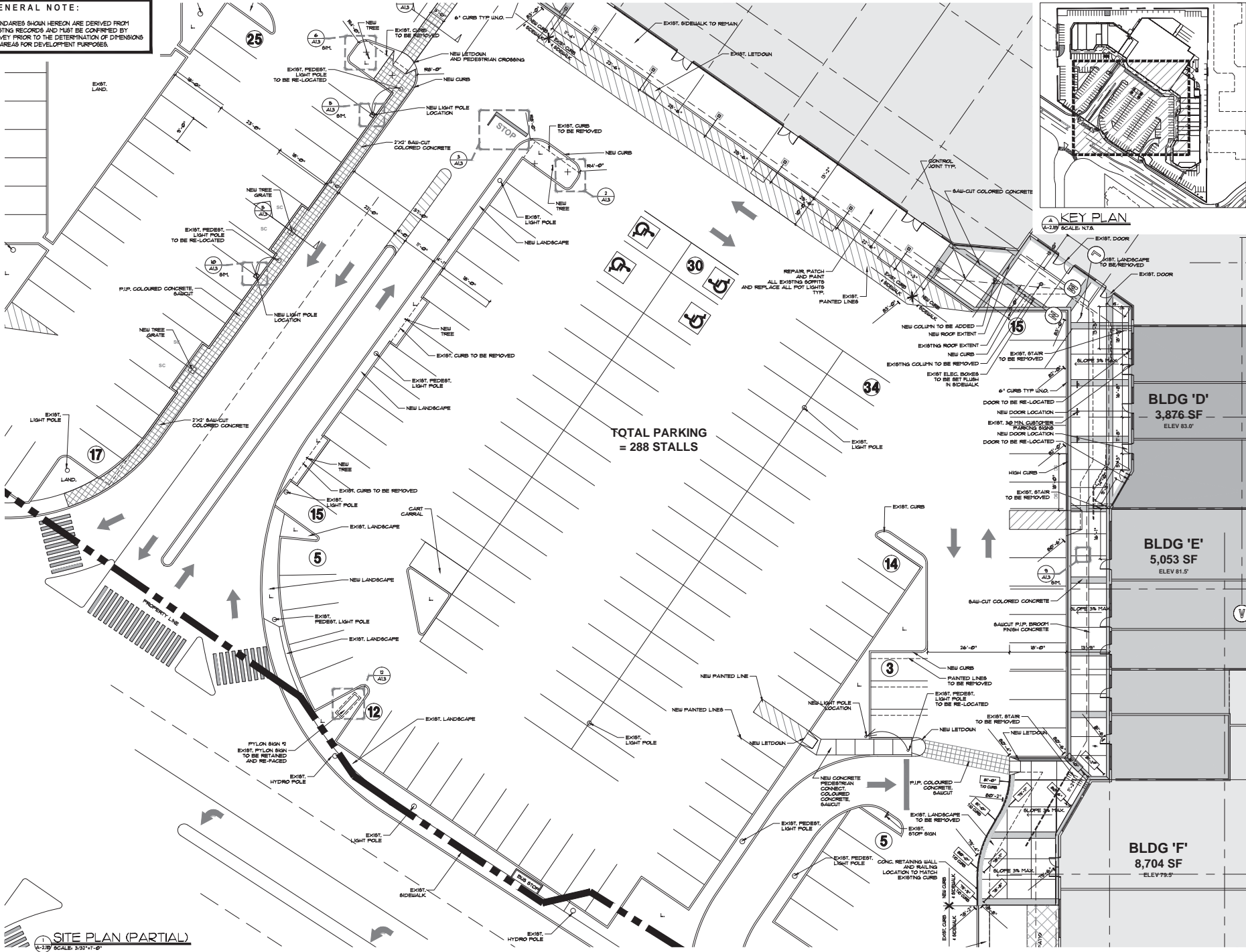


WESTBROOK CENTRE
 19555 FRASER HWY., SURREY, BC
For AMPRI GROUP

architects ltd.
 600-1140 WEST PENDER
 VANCOUVER, BC V6E 4E3
 TELEPHONE: 604-687-2334
 FACSIMILE: 604-688-7481

PROJECT NUMBER: 3710
 DATE: 05/15/14
 PARTIAL FLOOR PLAN & PARKING AREA 1
 SHEET NUMBER: A-2.1A
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]

GENERAL NOTE:
 BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.



SITE PLAN (PARTIAL)
 SCALE: 1/8" = 1'-0"

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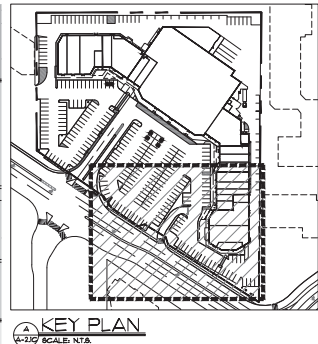
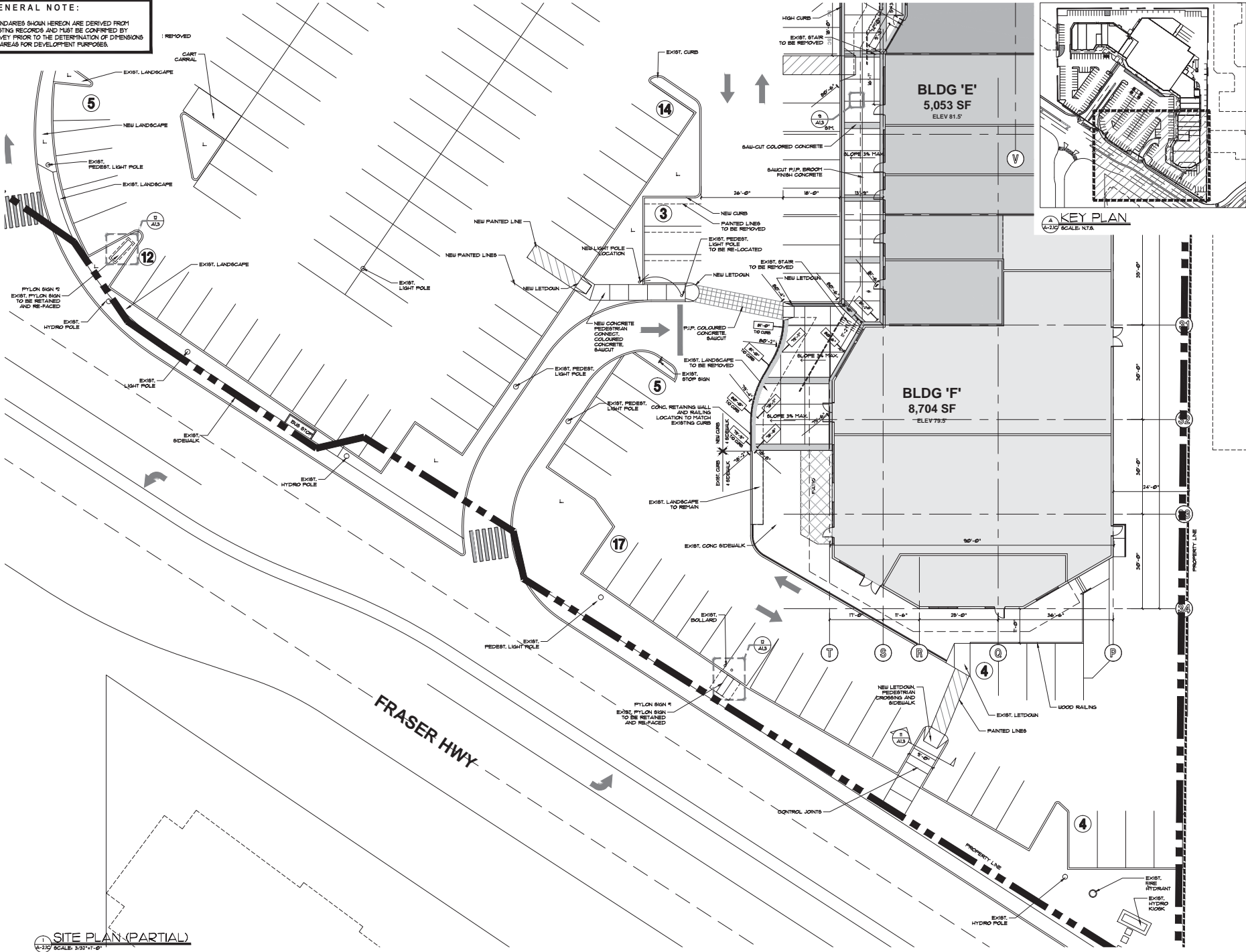
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 consultant

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For AMPRI GROUP

architects ltd.
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 VANCOUVER, BC V6E 4C1
 TELEPHONE: 604-687-2334
 FACSIMILE: 604-688-7481

Project number: 3710
 Date: 08/11/14
PARTIAL FLOOR PLAN & PARKING AREA 2
 Scale: 1/8" = 1'-0"
 Date: 08/11/14
 Drawn by: A2B
 Checked by: A2B

GENERAL NOTE:
 BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.



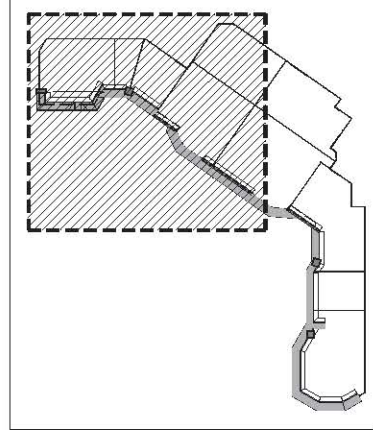
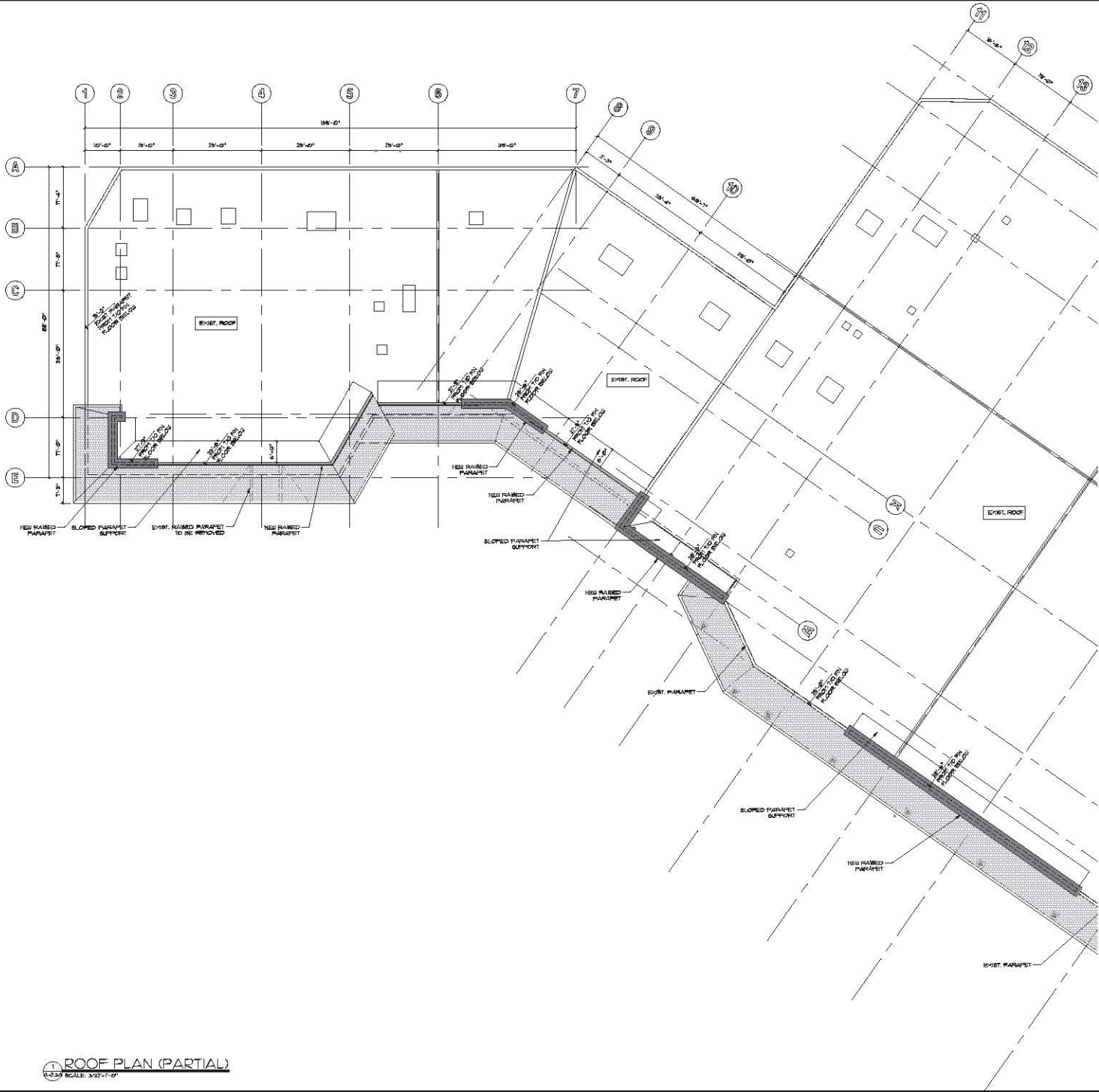
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SITE PLAN (PARTIAL)
 SCALE: 3/32" = 1'-0"

WESTBROOK CENTRE
 19555 FRASER HWY., SURREY, BC
For AMPRI GROUP

architects ltd.
 600-1140 WEST PENDER
 VANCOUVER, BC V6E 4E3
 TELEPHONE: 604-687-2334
 FACSIMILE: 604-688-7481

Project number: 3710
 Date: 05/15/14
PARTIAL FLOOR PLAN & PARKING AREA 3
 Site: 19555 FRASER HWY.
 Scale: 3/32" = 1'-0"
 Drawn by: A-21C
 Checked by: [Signature]



1 KEY PLAN
SCALE: NTA

1 ROOF PLAN (PARTIAL)
SCALE: 3/32"=1'-0"

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- 1. PROJECT NO. 3719
- 2. PROJECT TITLE: WESTBROOK CENTRE
- 3. CLIENT: AMPRI GROUP
- 4. DATE: 15/05/14



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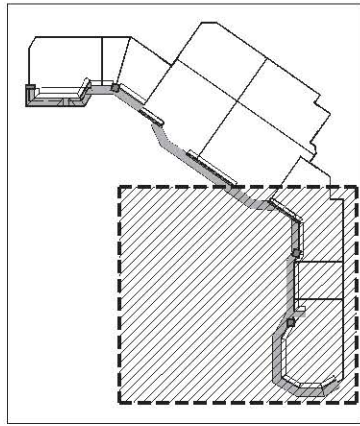
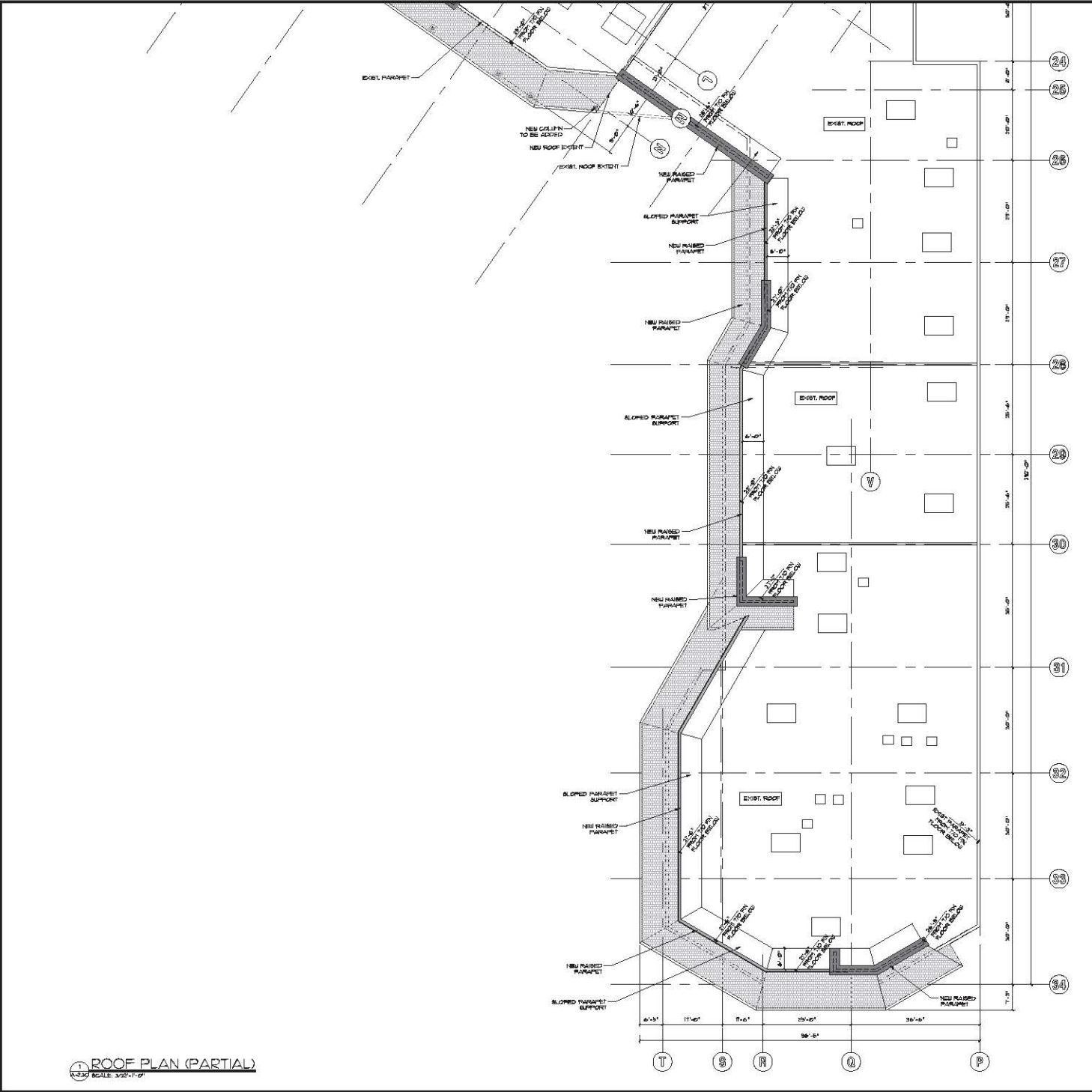
WESTBROOK CENTRE
19555 FRASER HWY., SURREY, BC
For AMPRI GROUP



architects ltd.
600-1140 WEST PERDUE
VANCOUVER, BC V6C 1K3
TELEPHONE: 604-261-5225
FAX: 604-261-5225

project number: 3719
sheet title:
PARTIAL ROOF PLAN 1

DATE	15/05/14
DESIGNED BY	A.S.
CHECKED BY	A.S.
SCALE	N/A



KEY PLAN
1/8" SCALE N.T.S.



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For AMPRI GROUP

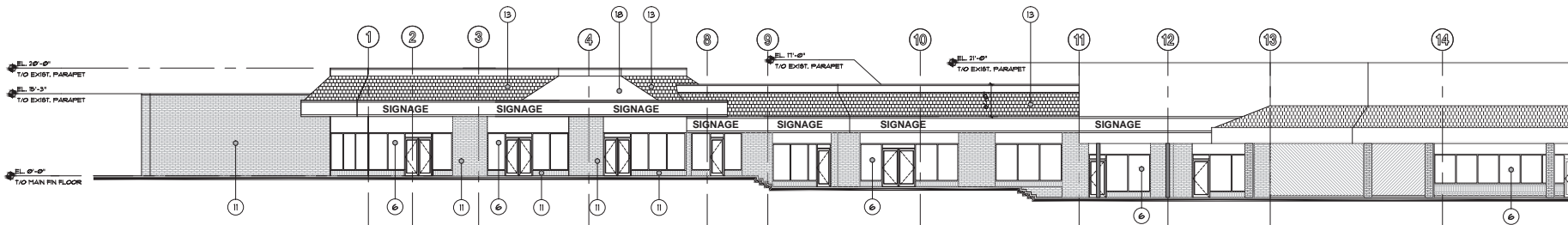


architects ltd.
 600-1140 WEST PENNER
 VANCOUVER BC V6C 4C3
 TELEPHONE 604-686-0234
 FACSIMILE 604-686-9811

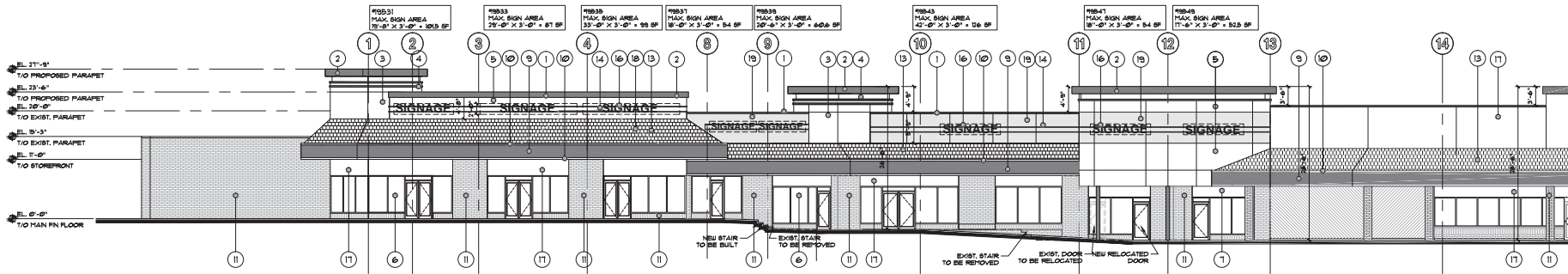
project number	3719
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PARTIAL ROOF PLAN 3	
date	NOV 11/09
drawn by	WS113
checked by	WS113
scale	A2=3/8"
sheet no.	24

GENERAL NOTE:
 BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.

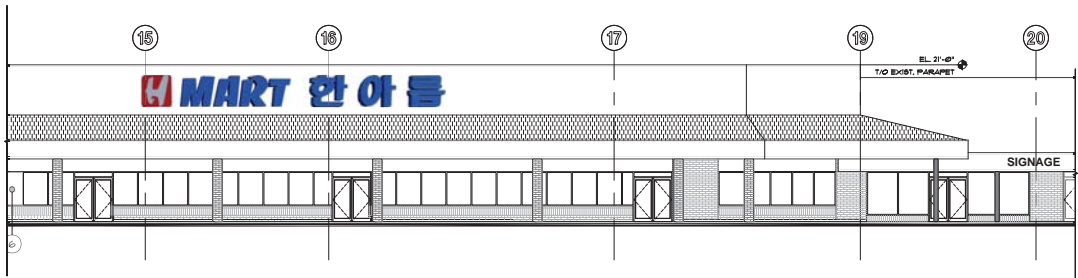
ROOF PLAN (PARTIAL)
 1/8" SCALE N.T.S.



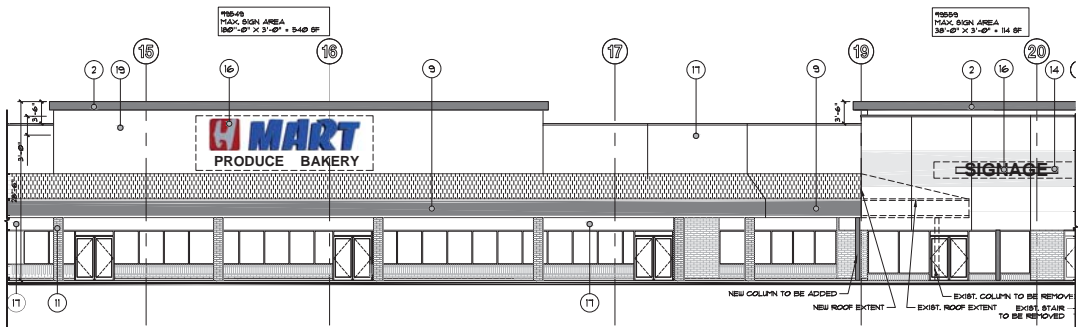
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 ASIA SCALE: 1/8" = 1'-0"



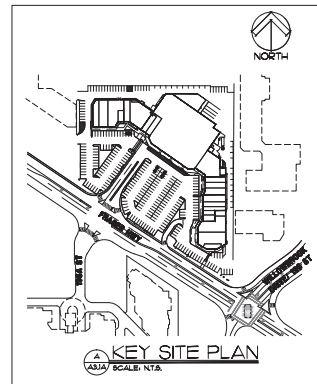
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 ASIA SCALE: 1/8" = 1'-0"



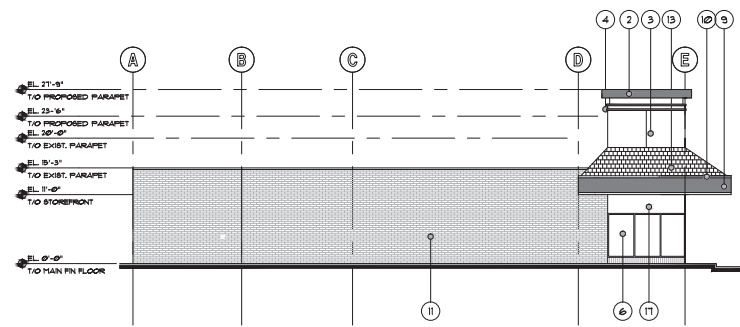
3 EXISTING SOUTH WEST ELEVATION (PARTIAL)
 ASIA SCALE: 1/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION (PARTIAL)
 ASIA SCALE: 1/8" = 1'-0"



LEGEND	
①	NEW BLACK METAL FLASHING
②	NEW EPS CORNICE BY 210-20
③	NEW AL-9 METAL PANEL SILVER COLOUR
④	NEW DECORATIVE METAL WORKS - BLACK
⑤	RAISED EPS PARAPET BY 263-50 COLOUR
⑥	EXISTING DARK BRONZE STOREFRONT
⑦	NEW DARK BRONZE STOREFRONT
⑧	NEW VENEER TO MATCH EXISTING
⑨	NEW FIBRECEMENT BOARD COLOUR BY 210-20
⑩	NEW FIBRECEMENT BOARD COLOUR BY 208-60
⑪	EXISTING BRICK VENEER
⑫	CONCRETE BASE
⑬	EXISTING METAL TILES ROOF
⑭	NEW SIGNAGE RAIL COLOUR TO MATCH EPS
⑮	REVEALS
⑯	INDIVIDUAL LETTERS SELF ILLUMINATED SIGNAGE ON SIGNAGE RAIL
⑰	EXISTING WALL PAINTED BY 263-50
⑱	PART OF EXIST. ROOF TO BE REMOVED RE-USE EXIST. TILES
⑲	RAISED EPS PARAPET BY 263-40 COLOUR

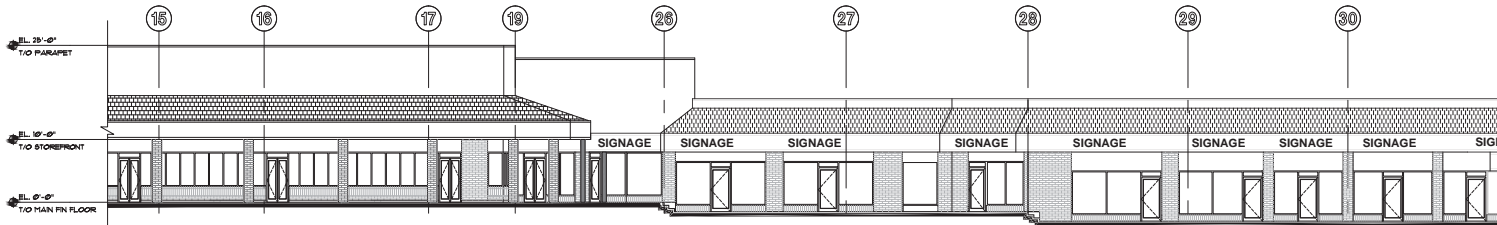


5 PROPOSED WEST ELEVATION (PARTIAL)
 ASIA SCALE: 1/8" = 1'-0"

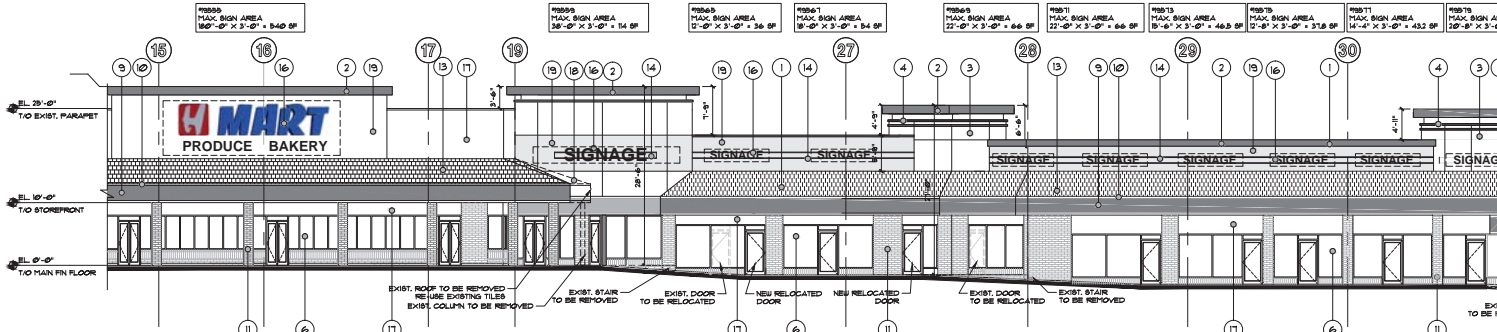
WESTBROOK CENTRE
 19555 FRASER HWY., SURREY, BC
For AMPRI GROUP

architects ltd.
 600-1140 WEST PENDER
 VANCOUVER, BC V6E 4C3
 TELEPHONE: 604-687-2334
 FACSIMILE: 604-688-7481

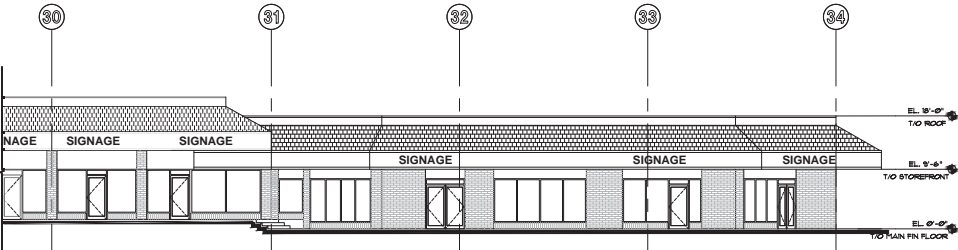
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 Date: 08/2014
 Drawn by: [Name]
 Checked by: [Name]
 Scale: 1/8" = 1'-0"



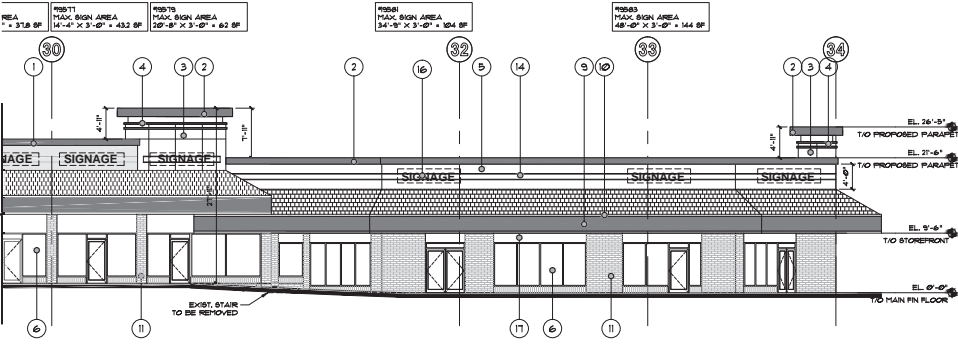
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 A3.15 SCALE: 1/8" = 1'-0"



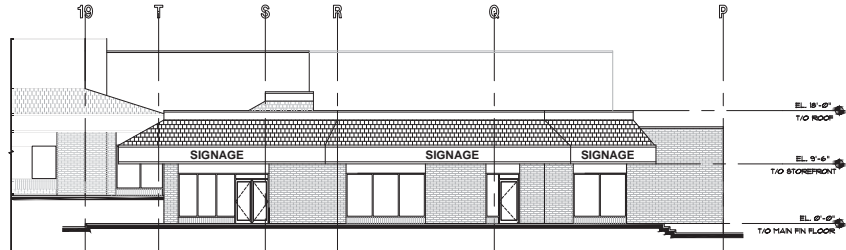
2 PROPOSED WEST ELEVATION (PARTIAL)
 A3.15 SCALE: 1/8" = 1'-0"



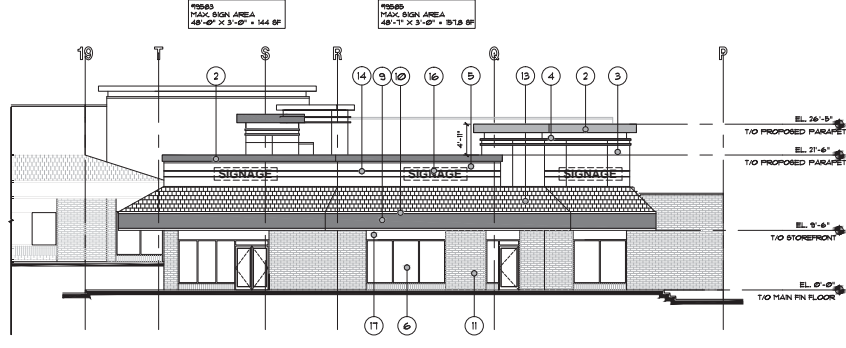
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 A3.15 SCALE: 1/8" = 1'-0"



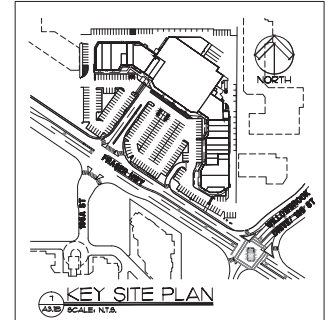
4 PROPOSED WEST ELEVATION (PARTIAL)
 A3.15 SCALE: 1/8" = 1'-0"



5 EXISTING SOUTH ELEVATION (PARTIAL)
 A3.15 SCALE: 1/8" = 1'-0"



6 PROPOSED SOUTH ELEVATION (PARTIAL)
 A3.15 SCALE: 1/8" = 1'-0"



7 KEY SITE PLAN
 A3.15 SCALE: 1/8" = 1'-0"

LEGEND	
1	NEW BLACK METAL FLASHING
2	NEW EPDS CORNICE BY 210-20
3	NEW AL-9 METAL PANEL SILVER COLOUR
4	NEW DECORATIVE METAL WORKS - BLACK
5	RAISED EPDS PARAPET BY 263-50 COLOUR
6	EXISTING DARK BRONZE STOREFRONT
7	NEW DARK BRONZE STOREFRONT
8	NEW BRICK VENEER TO MATCH EXISTING
9	NEW FIBRECEMENT BOARD COLOUR BY 210-20
10	NEW FIBRECEMENT BOARD COLOUR BY 266-60
11	EXISTING BRICK VENEER
12	CONCRETE BASE
13	EXISTING METAL TILES ROOF
14	NEW BRICK VENEER TO MATCH EXISTING
15	EXISTING GULL PAINTED BY 263-50
16	PART OF EXIST. ROOF TO BE REMOVED REUSE EXIST. TILES
17	RAISED EPDS PARAPET BY 263-40 COLOUR

WESTBROOK CENTRE
 19555 FRASER HWY., SURREY, BC
For AMPRI GROUP

architects ltd.
 600-1140 WEST PENDER
 VANCOUVER, BC V6E 4C3
 TELEPHONE: 604-687-8234
 FACSIMILE: 604-688-7481

Project number: 37110
 Date: 08/2014
 Drawn: JG
 Checked: JG
 Scale: 1/8" = 1'-0"

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 V3M 3J7
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 Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
3	14 MAY 14	RE-ISSUED FOR DP	MY
2	4 APR 14	ISSUED FOR DP	MY
1	2 APR 14	ISSUED FOR CLIENT REVIEW	MY
NO.	DATE	REVISION DESCRIPTION	DR.

SEAL:

PROJECT:

WESTBROOK CENTRE
 19555 Fraser Hwy., Surrey, BC

DRAWING TITLE:

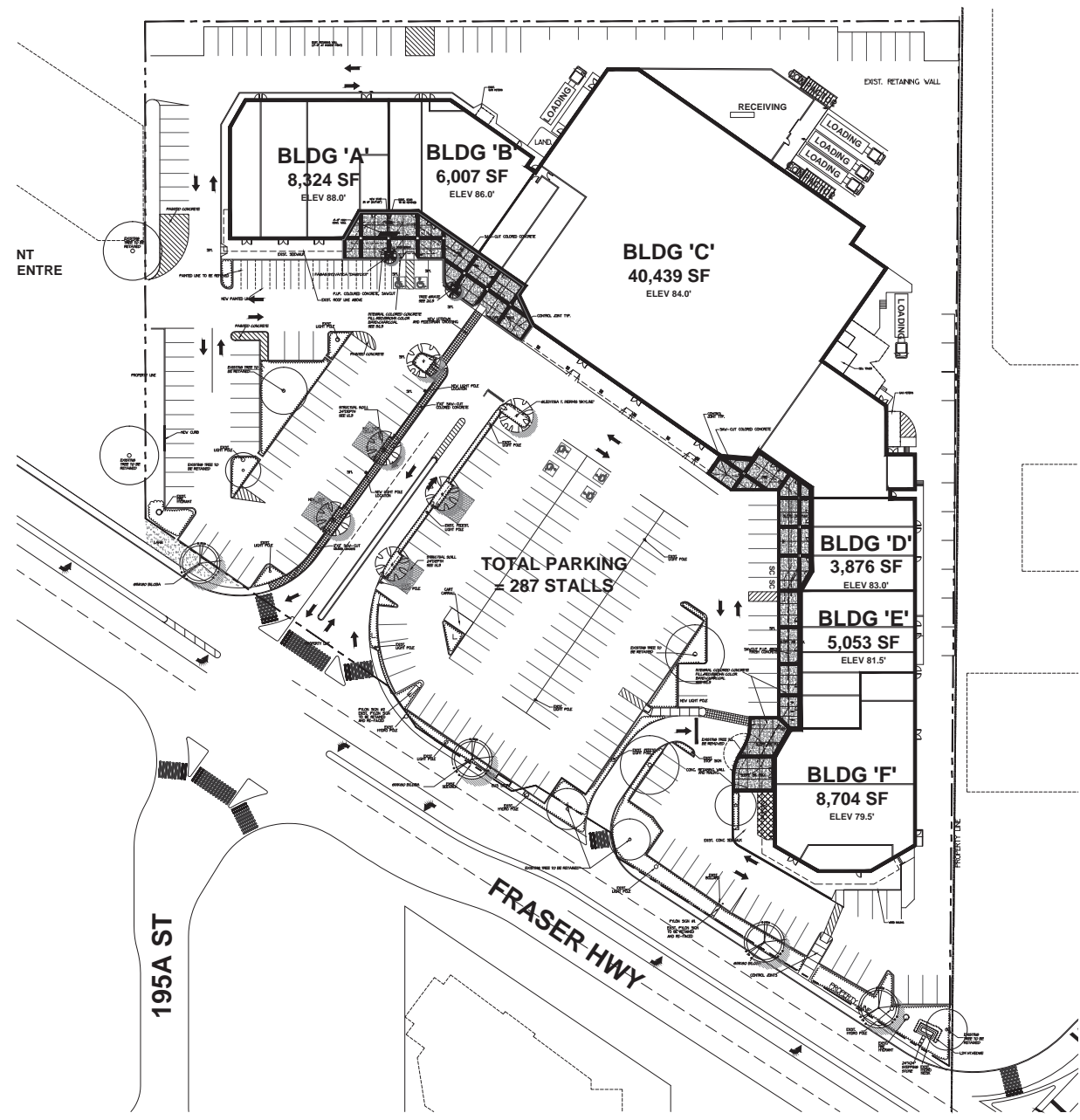
TREE PLAN

DATE: 2014, APR. 1
 SCALE: 1/32"=1'-0"
 DRAWN: MY
 DESIGN: MY
 CHK'D: MTLH

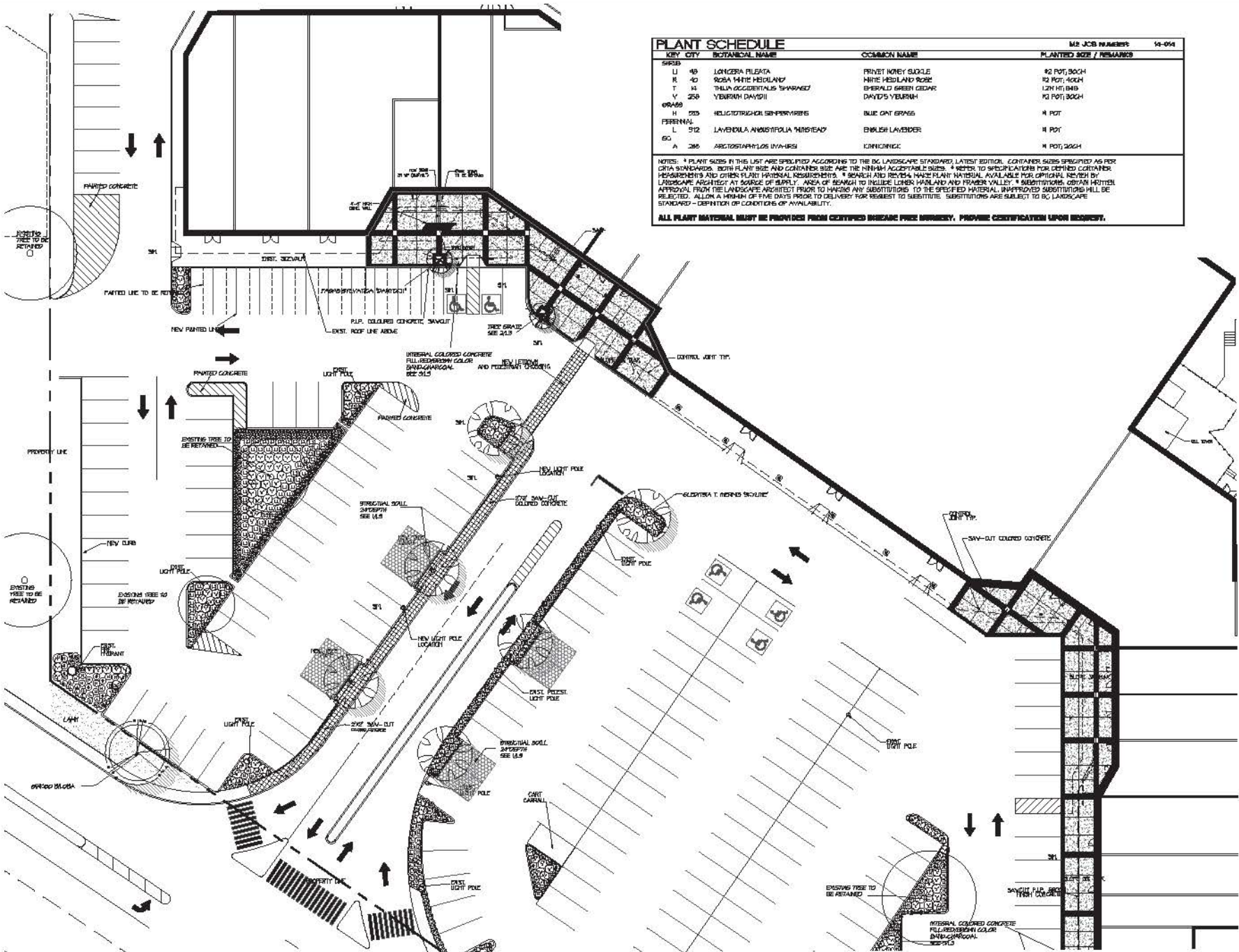
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 OF 6
 M2LA PROJECT NUMBER: 14-014

NO.	PLANT SCHEDULE	QUANTITY	PLANT NAME	DATE
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2	CONCRETE	10000	CONCRETE	14-014
3	ASPHALT	10000	ASPHALT	14-014
4	GRAVEL	10000	GRAVEL	14-014
5	SOIL	10000	SOIL	14-014

NOTE: ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



1404-03DF.dwg



PLANT SCHEDULE				
KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
U	49	LONGERA FLEXATA	PRIVET HONEY SUCKLE	K2 POT, 30CM
R	40	ROSA WHITE HIGHLAND	WHITE HIGHLAND ROSE	K2 POT, 40CM
T	14	TILIA OCCIDENTALIS SPHARNOCE	EMERALD GREEN GECKO	L2W HT, 80CM
V	358	YUENENH DAVIDII	DAVID'S YUENENH	K3 POT, 30CM
GRASS				
H	225	HELICTROCHLOA SENPENSIVENSIS	BLUE OAT GRASS	N POT
PERENNIAL				
L	512	LAVENDULA ANASTROPOLA MURSTEAD	ENGLISH LAVENDER	N POT
SO				
A	285	ARCTOSTAPHYLOS UVA-URSI	CONJONJIC	N POT, 30CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER DATA SHEET/PROVIDER. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR CERTAIN CONTAINER HEIGHTS AND OTHER PLANT MATERIAL SUBSTITUTIONS. * SEARCH AND CHECK HAVE PLANT MATERIAL AVAILABLE FOR CERTAIN SPECIES BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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NO.	DATE	REVISION DESCRIPTION	DR.
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2			
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT:
WESTBROOK CENTRE
 10855 Fraser Hwy., Surrey, BC

DRAWING TITLE:
SHRUB PLAN

DATE: 2014 APR 1	DRAWING NUMBER:
SCALE: 1/8"=1'-0"	L2
DRAWN: JAY	OF 8
DESIGN: JAY	
CHKD: M2LA	
M2LA PROJECT NUMBER: 14-006	

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Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.

SEAL:

PROJECT:

WESTBROOK CENTRE
10855 Fraser Hwy., Surrey, BC

DRAWING TITLE:

SHRUB PLAN

DATE: 2014 APR 1 DRAWING NUMBER:

SCALE: 1/8"=1'-0"

DRAWN: JAY

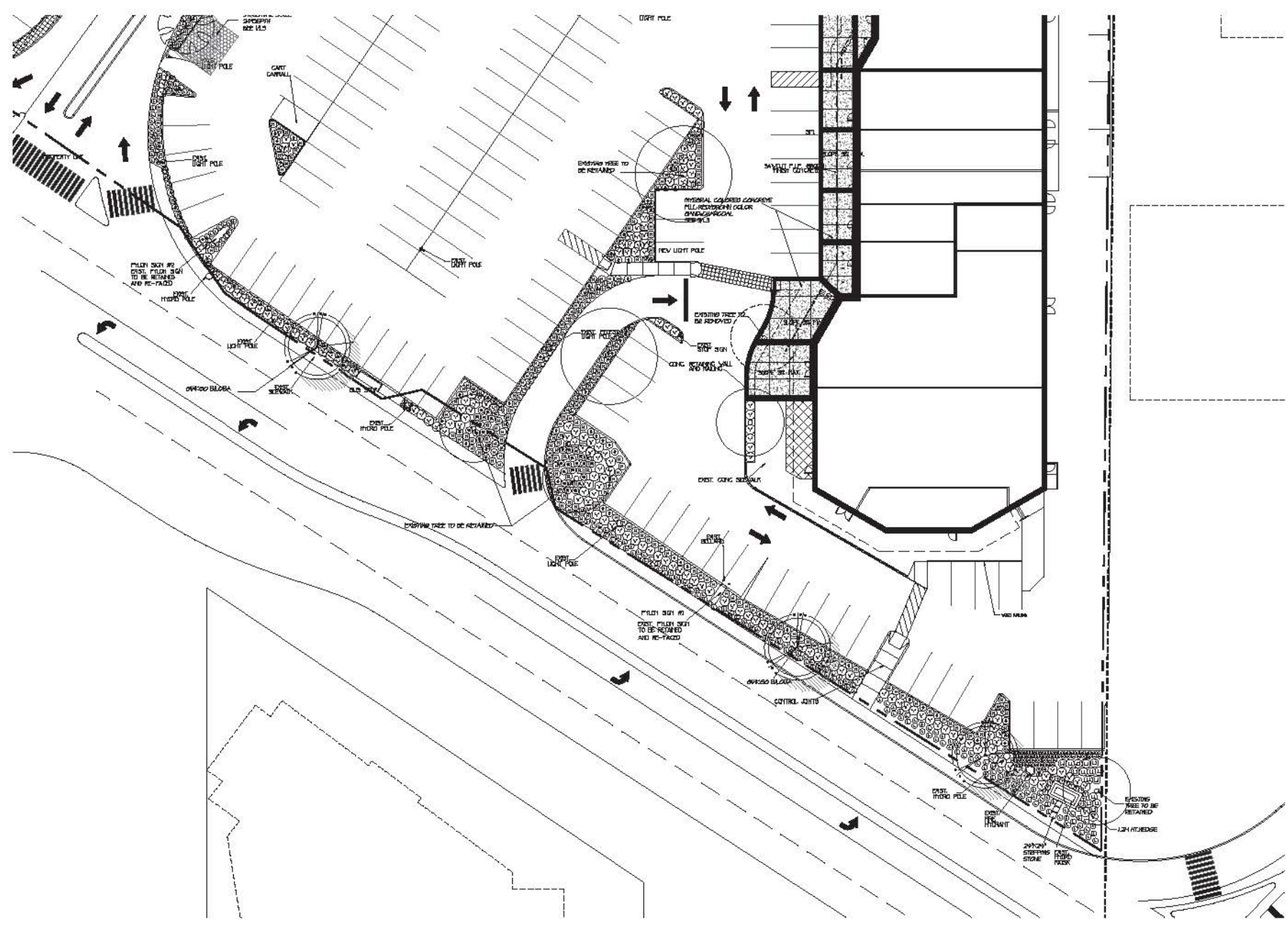
DESIGN: JAY

CHKD: JMLM

M2LA PROJECT NUMBER: 34-066

L3

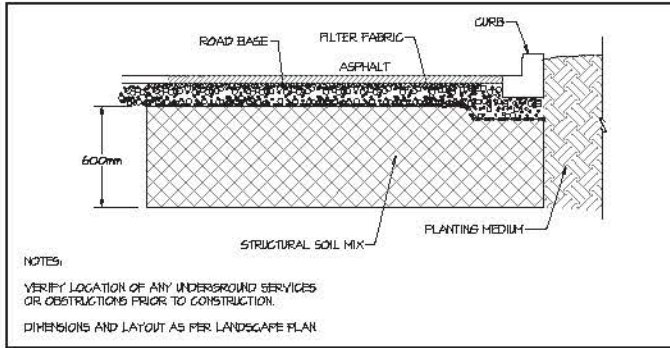
OF 8



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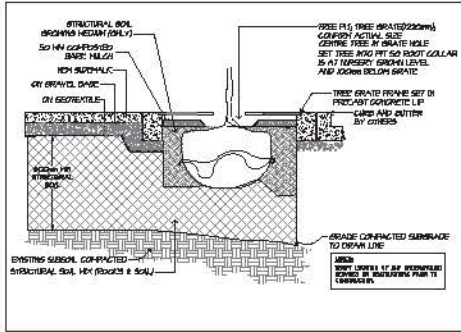


#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

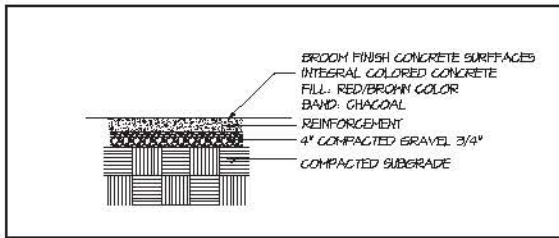


NOTES:
VERIFY LOCATION OF ANY UNDERGROUND SERVICES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
DIMENSIONS AND LAYOUT AS PER LANDSCAPE PLAN

1 STRUCTURAL SOIL
SCALE: 3/4"=1'-0"



2 TREE WELL
SCALE: 2/1"



3 COLORED CONCRETE
SCALE: 3/4"=1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.

SEAL:

PROJECT:

WESTBROOK CENTRE
10605 Fraser Hwy., Burnaby, BC

DRAWING TITLE:

DETAIL PLAN

DATE: 2014 APR 1	DRAWING NUMBER:
SCALE:	L4
DRAWN: MY	
DESIGN: MY	
CHK'D: MY	OF 8
MZLA PROJECT NUMBER: 14-006	

M2LA



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PART ONE - GENERAL

1.1 **CONTRACT**

- The Contract shall specify the services and the responsibility of the landscape architect. The information provided in this specification shall be taken into account by the contractor in preparing the contract. This information shall be taken into account by the contractor in preparing the contract. This information shall be taken into account by the contractor in preparing the contract.

1.2 **FORM OF WORK**

- The work of this contract shall be performed in accordance with the contract documents, including the drawings, specifications, and any other documents that may be required for the proper and complete execution of the work.
- It is the intent of this contract that the contractor shall provide the necessary land surveying, staking, and other services and materials for the proper and complete execution of the work.
- The contractor shall be responsible for the proper and complete execution of the work.

1.3 **DESIGN WORK**

- The contractor shall be responsible for the proper and complete execution of the work.

1.4 **QUALITY ASSURANCE**

- The contractor shall be responsible for the proper and complete execution of the work.

1.5 **STAKEHOLDERS**

- The contractor shall be responsible for the proper and complete execution of the work.

1.6 **CONTRACT ADMINISTRATION**

- The contractor shall be responsible for the proper and complete execution of the work.

1.7 **GENERAL NOTES**

- The contractor shall be responsible for the proper and complete execution of the work.

PART TWO - PROVISIONS

2.1 **GENERAL NOTES**

- The contractor shall be responsible for the proper and complete execution of the work.

2.2 **PROVISIONS**

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE
1	Excavate and backfill to grade	100	m ³	10.00
2	Install 150mm concrete base	100	m ²	15.00
3	Install 100mm concrete base	100	m ²	10.00
4	Install 50mm concrete base	100	m ²	5.00
5	Install 25mm concrete base	100	m ²	2.50
6	Install 12.5mm concrete base	100	m ²	1.25
7	Install 6.25mm concrete base	100	m ²	0.625
8	Install 3.125mm concrete base	100	m ²	0.3125
9	Install 1.5625mm concrete base	100	m ²	0.15625
10	Install 0.78125mm concrete base	100	m ²	0.078125

2.3 **INSTALLATION**

- The contractor shall be responsible for the proper and complete execution of the work.

2.4 **MAINTENANCE**

- The contractor shall be responsible for the proper and complete execution of the work.

2.5 **REPAIRS**

- The contractor shall be responsible for the proper and complete execution of the work.

2.6 **DEMOLITION**

- The contractor shall be responsible for the proper and complete execution of the work.

2.7 **GENERAL NOTES**

- The contractor shall be responsible for the proper and complete execution of the work.

PART THREE - EXECUTION

3.1 **GENERAL NOTES**

- The contractor shall be responsible for the proper and complete execution of the work.

3.2 **EXECUTION**

- The contractor shall be responsible for the proper and complete execution of the work.

3.3 **INSTALLATION**

- The contractor shall be responsible for the proper and complete execution of the work.

3.4 **MAINTENANCE**

- The contractor shall be responsible for the proper and complete execution of the work.

3.5 **REPAIRS**

- The contractor shall be responsible for the proper and complete execution of the work.

3.6 **DEMOLITION**

- The contractor shall be responsible for the proper and complete execution of the work.

3.7 **GENERAL NOTES**

- The contractor shall be responsible for the proper and complete execution of the work.

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
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WESTBROOK CENTRE
10805 Fraser Hwy., Burnaby, BC

DRAWING NUMBER:
L6

DATE: 2014.09.11
SCALE: 1/8" = 1'-0"
DRAWN: JAY
DESIGN: JAY
CHKD: JRM/L
M2LA PROJECT NUMBER: 14-066