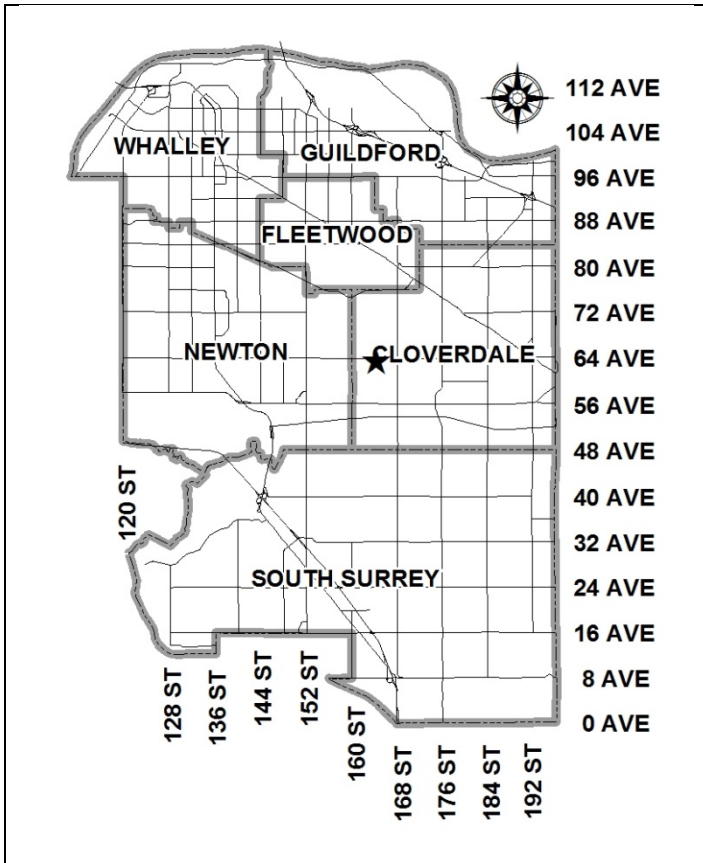


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7914-0033-00

Planning Report Date: June 23, 2014

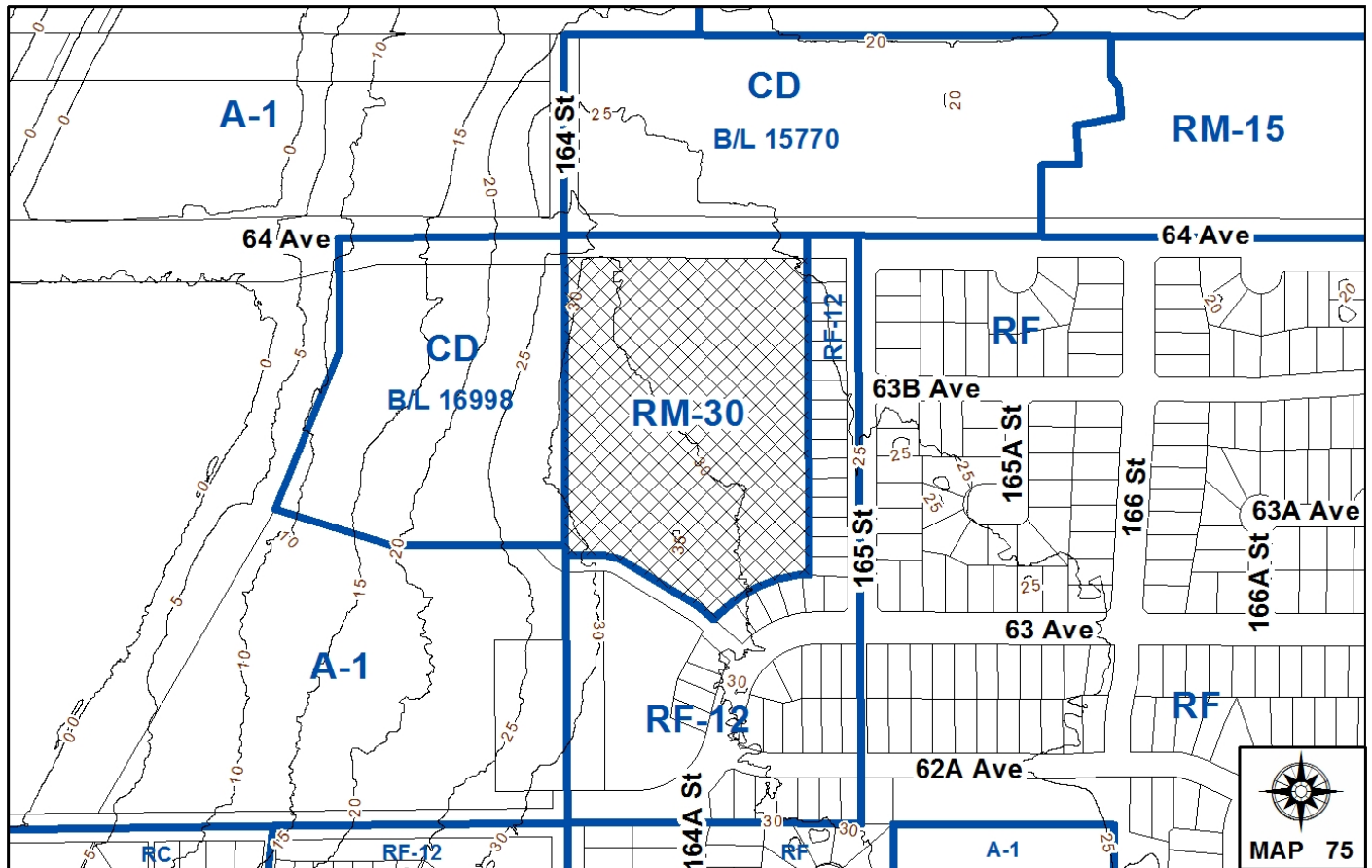


**PROPOSAL:**

- Heritage Revitalization Agreement Amendment
- Development Permit
- Development Variance Permit

in order to permit the development of approximately 222-unit townhouse development and reuse of 2 heritage buildings in West Cloverdale.

**LOCATION:** 16488 - 64 Avenue  
**OWNER:** 0948184 BC Ltd.  
**ZONING:** RM-30  
**OCP DESIGNATION:** Urban  
**NCP DESIGNATION:** Townhouse 15-30 upa



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for an Amendment to Heritage Revitalization Agreement By-law, 2013, No. 17885.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the setbacks of the Multiple Residential 30 Zone (RM-30).

### RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Complies with the West Cloverdale North Neighbourhood Concept Plan (NCP).
- The proposed townhouse development is consistent with the development framework that was approved by Council as part of General Development Permit No. 7911-0330-00, on July 29, 2013, concurrently with the rezoning of the site.
- The architectural character of the proposed development is appropriate for this area of Cloverdale. The buildings feature high quality, durable materials and the site landscaping is generous.
- The application supports efforts to restore, convert and reuse the Henry Bose Farmhouse and Mild Cooling shed, which are Heritage Buildings that are protected by Heritage Revitalization Agreement By-law, 2013, No. 17885. The heritage buildings will be retained and available as a valuable resource for current and future residents and will emphasize a connection to Surrey's historical past.
- Since the RM-30 Zone only permits ground-oriented, attached dwelling units (i.e. townhouses), the proposed amendment to the Heritage Revitalization Agreement By-law will allow the reuse of the historic farmhouse as a detached dwelling unit.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend Heritage Revitalization Agreement (HRA) By-law, 2013, No. 17885 and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 666 square metres (7,169 sq. ft.) to 126 square metres (1,356 sq. ft.).
3. Council authorize staff to draft Development Permit No. 7914-0033-00 generally in accordance with the attached drawings (Appendix II).
4. Council pass a resolution authorizing staff to remove the Calf Barn, Emma Churchland House, Horse Barn, and Storage Shed from the City's Heritage Registry prior to Final Approval.
5. Council approve Development Variance Permit No. 7914-0033-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum front yard setback (north) of the RM-30 Zone, from 7.5 metres (25 ft.) to 4.4 metres (14 ft.) to the building face and to 2.9 metres (10 ft.) to the porch;
  - (b) to reduce the minimum rear yard setback (south) of the RM-30 Zone, from 7.5 metres (25 ft.) to 2.8 metres (9 ft.);
  - (c) to reduce the minimum side yard setback (west) of the RM-30 Zone from 7.5 metres (25 ft.) to 5.0 metres (16 ft.) to the building face and to 3.4 (11 ft.) to the deck; and
  - (d) to reduce the minimum side yard setback (east) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.1 metres (14 ft.) for Building 1 and to 6.5 metres (21 ft.) to the building face and to 4.9 metres (16 ft.) to the deck for Building's 3, 4, 6, 8 and 10.
6. Council instruct staff to resolve the following issues prior to final approval:
  - (a) submission of a landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (b) discharge of No Build Restrictive Covenant No. CA3297385;
  - (c) demolition of all existing buildings and structures, with the exception of the Henry Bose Farmhouse and the Milk Cooling Shed, to the satisfaction of the Planning and Development Department;
  - (d) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space; and
  - (e) the applicant adequately address the impact of reduced indoor amenity space.

REFERRALS

**Engineering:** The Engineering Department has no objection to the project and notes that there are no requirements associated with the subject proposal.

All of the required works and services are under construction with the previous Rezoning/Subdivision application no. 7811-0330-00. All services to the lot must be accepted by the Engineering Department prior to issuance of Building Permit.

**School District:** **Projected number of students from this development:**

59 Elementary students at AJ McLellan Elementary School  
29 Secondary students at Lord Tweedsmuir Secondary School

(Appendix III)

The applicant has advised that the first phase of dwelling units are expected to be constructed and ready for occupancy by March 2015 and the project fully constructed and ready for occupancy by December 2017.

**Parks, Recreation & Culture:** No comments.

**Heritage Advisory Commission (HAC):** At the April 23, 2014 HAC meeting, there were no concerns or comments raised regarding the proposal (see Appendix V).

SITE CHARACTERISTICS

**Existing Land Use:** The site is primarily vacant and was originally part of the original Bose Farm site. There are six heritage buildings located on the site in varying states of disrepair, two of which will be retained.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 64 Avenue):	3-storey apartment building.	Townhouse / Apartments (15-25 upa)	CD Zone (By-law No. 15770)

Direction	Existing Use	NCP Designation	Existing Zone
East and South-east:	Single family lots which were approved as part of the previous development application on the site (Application No. 7911-0330-00). A number of these lots are presently under construction.	Single Family Small Lots	RF-12
South-west (Across lane):	Park	Park / Open Space	RF-12
West:	Portion of the original Meadow Ridge Farm site. Four apartment buildings are presently under construction (Application No. 7907-0115-00).	Townhouse/ Apartments (35 upa)	CD Zone (By-law No. 16998)

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject 3.68-hectare (9.11-acre) site is located at 16488 – 64 Avenue in West Cloverdale. The site is designated Urban in the Official Community (OCP), Townhouse 15-30 upa (units per acre) in the West Cloverdale NCP and zoned "Multiple Residential 30 Zone (RM-30)".
- The subject site was previously a component of a larger 7.78-hectare (19.22 ac.) site that was part of Development Application No. 7911-0330-00. The previous application involved the following:
  - amendment to the Official Community Plan (OCP) to redesignate a portion of the site from "Suburban" to "Urban";
  - amendment to the West Cloverdale North Neighbourhood Concept Plan (NCP);
  - rezoning from "General Agriculture Zone (A-1)" to "Multiple Residential 30 Zone (RM-30)" and "Single Family Residential (12) Zone (RF-12)";
  - Heritage Revitalization Agreement and an Interim Heritage Revitalization Agreement for the restoration, adaptive re-use and maintenance of the Henry Bose Farmhouse and the Milk Cooling Shed; and

- General Development Permit for the townhouse component,  
  
to permit the development of approximately 44 single family lots, a park and a future townhouse project that was anticipated to include approximately 249 units.
- OCP Amendment By-law No. 17721, Rezoning By-law No. 17883 and HRA By-law No. 17885 were granted final adoption by Council on July 29, 2013.
- At the time of the original application, the applicant was not ready to proceed with a detailed development permit for the multiple residential (townhouse) portion of the site and instead proposed a General Development Permit that would guide the long term development of this portion of the site. General Development Permit No. 7911-0330-00 was approved by Council on July 29, 2013 and envisioned the development of up to 249 townhouse units on the site.
- The site, which is commonly referred to as the Bose Farm, is the eastern portion of the former Henry Bose Farm. Six buildings on the property are listed on the City of Surrey's Community Heritage Register. The applicant previously entered into a Heritage Revitalization Agreement (HRA) (By-law No. 17885) for the retention, relocation and revitalization of two of the heritage buildings: the Henry Bose Farmhouse and the Milk Cooling Shed.
- As part of the processing of Development Application No. 7911-0330-00, a 1.14-hectare (2.83 ac) area of forest on the site was retained and protected as City Park. The park space is contiguous to a 4.95-hectare (12.24-acre) forested area to the west that was also retained and protected as City park as part of the finalizing of Development Application No. 7907-0115-00 (known as the Meadow Ridge Farm site).
- These two portions of land, together, form a contiguous, 6.1-hectare (15.1-acre) forest that allows for a significant amount of tree retention, an environment for wildlife and birds, a major community benefit for area residents and which is a significant landmark on the ridge above the valley farmlands.

### Current Proposal

- The current application proposes an amendment to Heritage Revitalization Agreement By-law, 2013, No. 17885 and a Development Permit to permit the development of 221, 3-storey townhouse units and 1 single family dwelling. A Development Variance Permit (DVP) is also proposed as part of the application.
- The current proposal for a 222-unit townhouse development is consistent with the general form of development that was approved as part of General Development Permit No. 7911-0330-00, including for the proposed building siting, the proposed location of the two heritage buildings that are to be retained and the location of indoor and outdoor amenity spaces. The one noticeable difference is that the applicant has opted to reduce the proposed number of units by 27, from a possible 249 units to 222 units (including 1 detached unit).
- The townhouse project proposes a total floor area of 31,019 square metres (333,886 sq. ft.), representing an overall net floor area ratio (FAR) of 0.84, which is within the maximum 0.90 FAR permitted in the RM-30 Zone.

### Heritage Revitalization Agreement (HRA)

- The "Multiple Residential 30 Zone (RM-30)" allows multiple unit residential buildings, ground-oriented multiple unit residential buildings and child care centres, whereas the current application proposes that the Henry Bose Farmhouse be used as a single family dwelling which is not permitted in the RM-30 Zone.
- The HRA amendment is required to allow the Henry Bose Farmhouse to be used as a single family dwelling. It should be noted however, that the current proposal is consistent with the original intent of Development Application No. 7911-0330-00, and the associated HRA (By-law No. 17885). The provision of an additional use, which would allow the farmhouse to be used as a single family dwelling, was overlooked at the time of processing, however this was the original intent of the proposal and the current proposal seeks to resolve this matter.
- The *Local Government Act* requires that a Public Hearing be held for any application which proposes changes to the permitted uses or which affects the allowable density on a property. A new Public Hearing is required as the proposed change will affect the permitted uses on the site by allowing the farmhouse to be used as a single family dwelling.
- The proposal was previously reviewed by the City's Heritage Advisory Commission at their meeting on Wednesday, April 23, 2014. There were no concerns or questions raised regarding the proposal and the Commission supported the changes as proposed (see Appendix V).

### DESIGN PROPOSAL AND REVIEW

- The proposed development contains 221, three-storey townhouse units contained within 39 buildings and one single family dwelling (detached unit). Each of the units will have two (48 units) or three bedrooms (174 units) and two resident parking spaces.
- The number of units within the individual townhouse buildings range from 4 to 8. It should be noted that the maximum number of units within an individual building that is visible from 64 Avenue (public view) is 6.
- The development proposes a mix of tandem parking (144 units, or 65 percent of the total number of units) and side-by-side garage unit types (77 units, or 35 percent of the total number of units).
- Units range in size from 115 square metres (1,236 sq.ft.) to 161 square metres (1,737 sq.ft.).
- The majority of the living areas are proposed on the upper floors, however a flex room and washroom (some units) are proposed on the ground floor of 142 units, in unit types: A, B, C, C1, E and E1.
- Vehicular access to the site is proposed from 64 Avenue at approximately the midpoint along the northern frontage and from the existing lane along the southern boundary of the site. The entries will be connected by a north-south driveway that will extend the full length of the property and which will bisect the site.

- The building form will be very modern and will utilize a number of differing but complementary roof lines to emphasize the modern nature of the design. For example, portions of the roof, particularly on the rear elevations, are designed with flat roofs whereas the roof over the buildings corners utilizes a single sloped roof which slopes away from the building. The design also utilizes a more traditional two sided sloped roof on portions of the front and rear elevations. All of the roof features, when considered together, result in a very interesting roof form. The sloped roofs will be clad in asphalt shingles (onyx black and estate gray).
- The development proposes high quality building materials be provided on all building facades throughout the development. These higher quality building materials include the extensive use of composite panel (cobble stone), 5-inch composite board (rustic cedar) and 7-inch composite siding (timber bark and Monterey taupe colours).
- Additional design quality and detail are provided with the provision of stone (ledgestone plum creek and cobalt) on the front corners of the buildings and around unit entries. The stone is wrapped around the corners so that it is visible on both the front and side elevations and will extend from the ground floor to the roof line. The treatment of extending materials in sections is repeated on the front elevations, with for example the composite panels being extended from the second floor to the roof line in individual sections to create an interesting design feature. This repetition is completed with the provision of 5 and 7 inch horizontal composite board siding between the composite panels.
- Additional detailing is achieved through the provision of metal railings on balconies and with the provision of a small sloped roof that is supported by knee brackets over the unit entries on all buildings.
- The restored Henry Bose Farmhouse and Milk Cooling shed are proposed as a dwelling unit and detached garage adjacent the 64 Avenue entrance to the townhouse site. The proposed design and restoration of these follows the previously approved Heritage Conservation Plan that was approved as part of Heritage Revitalization Agreement By-law, 2013, No. 17885.
- A replica of the existing Calf Barn is proposed as an amenity building at the southern entrance to the townhouse site, adjacent the new east-west lane and the proposed outdoor amenity space.

### Landscaping

- Units that front onto 64 Avenue and a portion of those that front onto the internal driveway are street-oriented. Buildings 1 and 28, in addition to the Henry Bose Farmhouse will have direct pedestrian connection to the multi-use pathway that is planned along 64 Avenue. However, direct pedestrian connection to the multi-use pathway will not be available for Building's 25, 26 and 29 due to the significant grade difference that will exist along 64 Avenue (primarily on the northeast portion of the site).
- Individual walkways will be provided for those units that are street oriented, which will lead to the units front yard by way of individual wood gates.



- As noted above, a north-south driveway is proposed that will extend from 64 Avenue to the lane along the property's southern boundary. Parking pockets and a sidewalk will be provided on each side of the driveway. The sidewalk will be lined by trees along the full length of the driveway which will help to enhance the pedestrian experience, while at the same time provide some visual screening of the unit's front yards. Additional screening is provided for the parking pockets with the provision of additional trees at the end of most of the parking pockets. All of these trees will be katsura species trees.
- Each residential unit has access to either a private yard or balcony and in many cases both.
- The application will also provide opportunity for additional onsite resident pedestrian connections through the site with the provision of one north-south and three east-west walkways. The walkways are primarily located on the western portion of the site. In some cases, the walkways will extend through most of the site with for example the new north-south walkway that originates between Buildings 13 and 17 and will provide direct connection to the City sidewalks. All of the walkways are located between buildings, with unit entries oriented towards the walkways. The walkways will also be heavily planted with the variety of trees including bonfire sugar maple, forest pansy redbud and pink flowered Japanese snowbell trees.

#### Indoor and Outdoor Amenity Spaces

- The indoor amenity space, totaling approximately 126 square metres (1,356 sq. ft.) is less than the Zoning By-law requirement for indoor amenity space of 666 square metres (7,169 sq. ft.) based on the requirement of 3 square metres (32 sq.ft.) of indoor amenity space per dwelling unit.
- The applicant will be required to provide cash-in-lieu in the amount of \$216,000 to mitigate this lack of indoor amenity space (180 units x \$ 1,200 per unit) as per City policy.
- The indoor amenity space is proposed within a replica of the existing Calf Barn and will be located adjacent the southern entrance to the townhouse site, the new east-west lane and the proposed outdoor amenity space. The indoor amenity space consists of a lounge area, a kitchen and washrooms and a large activity area.
- The outdoor amenity area, totaling approximately 1,051 square metres (11,313 sq. ft.) exceeds the Zoning By-law requirement for outdoor amenity space of 666 square metres (7,69 sq. ft.), based on the requirement of 3 square metres (32 sq.ft.) of outdoor amenity space per dwelling unit.
- A portion of the outdoor amenity area is located adjacent the indoor amenity space along the southern edge of the property with the remainder located on the southern portion of the site along the internal driveway. The outdoor amenity space adjacent the indoor amenity space consists of children's play equipment (play house, balance logs and a crawl tunnel) over a fibar play surface, and an outdoor patio area (paver stones). Bench seating is provided around the play equipment to allow for resident enjoyment of the facilities. Significant landscaping is provided around this area to provide visual interest and to provide visual separation from traffic accessing the site from the main driveway. Additional outdoor amenity space is provided in the form of garden plots.

- The outdoor amenity space adjacent the driveway is provided in the form of an outdoor ping pong table and a multi-use play area that can be used for sports such as bocci and croquette.

### Parking

- A total of 489 parking spaces are provided which is comprised of 444 resident and 45 visitor parking spaces, which slightly exceeds the Zoning By-law requirement for parking of 488 parking spaces.

### PRE-NOTIFICATION

Pre-notification letters were mailed out to area residents on April 29, 2014. In response, correspondence was received from 3 residents who identified the following concerns:

- One resident noted that the existing road network in the local area is insufficient to support the additional traffic that will result from the development. As part of this the resident noted that traffic calming measures should be considered in front of AJ McLellan Elementary to try and minimize impacts from traffic on the school. The resident also noted that a direct left in access from 64 Avenue should be considered for the subject development to try and minimize the amount of additional traffic that is created within the existing community.

*(The City of Surrey's Transportation Division has advised the proponent that the majority of the site-generated traffic will access and egress the site using 63 Avenue and 164 Street, which are both classified as Collector Roads. Both of the roads are designed with adequate width to accommodate parking on both sides of the street and two-way traffic.*

*They also have advised that traffic calming infrastructure (i.e. speed humps) are available in front of AJ McLellan Elementary School along 61 Avenue. The Transportation Division will monitor future traffic and speed along 62A Avenue to determine if traffic calming is warranted along this road. Due to the grade of 64 Avenue and the location of the proposed access, allowing a westbound left-in movement along 64 Avenue will create sightline issues for vehicles accessing the site. As such, staff did not permit this movement for safety reasons.)*

- Another resident noted that the existing pedestrian crossing to the northeast of the site is not safe due to the speeds that vehicles travel and the amount of existing traffic at this location. The resident noted that with the proposed multi-use pathway on the south side of 64 Avenue, along the northern boundary of the site, more people should be expected to use this crossing, which will result in a situation that will be even more dangerous than the present condition.

*(The Transportation Division has advised that they will continue to monitor future pedestrian traffic utilizing this crossing, and conduct the appropriate warrant analysis to determine if additional infrastructure is required for the crossing.)*

- An additional resident expressed concern that the proposed amendment to the HRA would allow the Henry Bose Farmhouse to be used as a single family home and the milk cooling shed to be used as a garage. It had been the resident's understanding that the buildings were to remain for use as recreational buildings as part of a future townhouse development.

*(The proposed use of both Henry Bose Farmhouse and milk cooling are consistent with the approach that was considered as part of Development Application No. 7911-0330-00 and related HRA By-law, 2013, No. 17885.*

*Due to an oversight, the HRA By-law did not incorporate an amendment to the RM-30 Zone to allow the use of the farmhouse as a single family dwelling, however the proposed use is consistent with the uses that were previously considered for both the farmhouse and milk cooling shed.)*

Correspondence was also received from the Cloverdale Community Association, identifying the following concerns:

- The proposal includes too many tandem type units and the majority of units should be provided as 2 car side-by-side garage unit types. As part of this the Association noted that the total number of tandem units should be reduced to a maximum of 5% of the total number of units being proposed.

*(The Zoning By-law does not prescribe a maximum number of tandem units that are permitted within a townhouse development. More recently, however, staff have been recommending a maximum of 75% of the total number of units be tandem unit types.*

*The current application proposes a mix of tandem parking (144 units, or 65% of the total number of units) and side-by-side garage unit types (77 units, or 35% of the total number of units).*

*It should also be noted that relative to the approved General Development Permit for the site (7911-0330-00), the applicant has chosen to reduce the total number of units on the property from 249 to 222 which should alleviate some of the traffic and parking concerns resulting from the proposal.)*

- The Association also note that the local roads adjacent the property, should be widened to reflect the current City of Surrey standards, including for providing a minimum 10.5 metre (34 ft.) wide pavement within the road cross section.
- The Association also noted that all single family (RF-12) lots that are to have secondary suites should provide space for an additional parking pad on the property.

*(The current application does not involve rezoning or the subdivision of single family lots and thus additional road dedication cannot be taken at this time. It should also be noted that these issues were previously considered as part of the previous development application (application no. 7911-0330-00)).*

#### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on February 7, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The property is located within the plan area for the West Cloverdale North NCP, is located in proximity to the Cloverdale Town Centre and adjacent 64 Avenue, which is a frequent transit network connection.</li> <li>• The property exists in an existing urban development area and is consistent with the surrounding approved development.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The proposal is consistent with the Official Community Plan and the West Cloverdale North NCP.</li> <li>• The application proposes a density of 60 upha (24 upa), which is within the maximum 75 upha (30 upa) permitted in the RM-30 Zone.</li> <li>• The proposal contains a variety of unit types, including 48 two bedroom and 174 three bedroom unit types.</li> <li>• The application involves the preservation, relocation, reconstruction, and recognition of heritage buildings on-site, including the Henry Bose Farmhouse (relocated and reconstructed), the calf barn (replicated for use as an amenity building), and the milk cooling shed (to be used as a garage for the farmhouse).</li> <li>• The application will also provide private community gardens on the site for resident use.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The following Low Impact Development Standards are proposed on the site: Dry swales, natural landscaping, the use of a sediment control devices and permeable pavement / surfaces.</li> <li>• 319 trees are proposed to be planted onsite.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• The following onsite pedestrian or cycling oriented infrastructure is proposed: connection to off-site pedestrian and multi-use paths.</li> <li>• Approximately 1,100 metres (3,609 ft.) of pathways or sidewalks are provided onsite, which equates to approximately 298 m/ha of pathways over the larger site.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The development will adhere to good design practices, including CPTED.</li> <li>• The project includes space for different age groups and/or life stages including: playground or recreation space, outdoor community gathering space and indoor community amenity space.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• The project will provide EnerGuide features.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>

### BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- Reduce the minimum front yard setback (north) of the RM-30 Zone, from 7.5 metres (25 ft.) to 4.4 metres (14 ft.) to the building face and to 2.9 metres (10 ft.) to the porch;

- Reduce the minimum rear yard setback (south) of the RM-30 Zone, from 7.5 metres (25 ft.) to 2.8 metres (9 ft.);
- Reduce the minimum side yard setback (west) of the RM-30 Zone from 7.5 metres (25 ft.) to 5.0 metres (16 ft.) to the building face and to 3.4 (11 ft.) to the deck; and
- Reduce the minimum side yard setback (east) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.10 metres (14 ft.) to Building 1 and to 6.5 metres (21 ft.) to the building face and to 4.9 metres (16 ft.) to the deck for Buildings 3, 4, 6, 8 and 10.

#### Applicant's Reasons:

- The approved General Development Permit No. 7911-0330-00 for the site, upon which the current proposal is based, proposed some minor setback reductions to allow additional tree retention on what is now an adjacent City Park, located south of the subject site.
- The reduced setbacks also facilitated some enhancements for vehicle access to the site from 64 Avenue and allowed the provision of a City lane that provides better access to the site to the west at 16398-64 Avenue, where 4-storey apartment buildings are planned. Traffic issues were raised as concerns by the local community when the original development application (application no. 7911-0330-00) was considered for approval.

#### Staff Comments:

- The proposed front yard setback of 4.4 metres (14 ft.) is measured from the building face of units along 64 Avenue to the northern property line (64 Avenue). The proposed 2.9 metres (10 ft.) setback pertains to the porch for the Henry Bose Farmhouse. The reduced setbacks will allow the building to engage the street by bringing the buildings closer to the public realm.
- The proposed rear yard setback of 2.8 metres (9 ft.) is measured to the southern façade of Building 18 at the southwest corner of the site. The setback pertains to the side of the building and is located adjacent a City lane. There should be no impact resulting from the proposed setback as the area south of the lane is a City park.
- The proposed side yard setback of 5.0 metres (16 ft.) to the building face and 3.4 metres (11 ft.) to the deck pertains to the rear of the buildings along the western property line. It should be noted that the setback to the building face is applicable to a small 1.3-metre (4 ft. 4 in.) wide portion of the building which contains a powder room in each of the units. The majority of these units are set back a minimum of 6.0 metres (20 ft.) from the property line to the building face along this frontage and thus there should be little impact from the reduce setbacks on the neighbouring property to the west.
- The proposed side yard setback of 6.5 metres (21 ft.) to the building face and 4.9 metres (16 ft.) to the deck pertains to the rear of the buildings along the eastern property line. As with the west side yard setback noted above, the setback to the building face is applicable to a 1.3-metre (4 ft. 4 in.) wide portion of the building which

contains a powder room in each of the units. The majority of these units are set back a minimum of 7.5 metres (25 ft.) from the property line to the building face along this frontage and thus there should be little impact from the reduce setbacks on the neighbouring properties to the east.

- The proposed side yard setback for Building 1 of 4.10 metres (14 ft.) is measured to the eastern façade of the building at the northeast corner of the site. The setback pertains to the side of the building and thus there should little impact from over-viewing resulting from the proposed setback.
- Staff supports the proposed variances for reduced setbacks.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	School District Comments
Appendix IV.	Development Variance Permit No. 7914-0033-00
Appendix V.	Excerpt from Heritage Advisory Commission Minutes of April 23, 2104
Appendix VI.	By-law to Amend Heritage Revitalization Agreement By-law, 2013, No. 17885

#### INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Barnett Dembek Architects Inc. and PMG Landscape Architects, respectively, dated June 11, 2014 and June 13, 2014 respectively.

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

SML/da

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                Avtar Johl  
  Platinum Enterprises Ltd.  
                                Address:                Platinum Enterprises Ltd.  
  12837 - 76 Avenue, Unit 201  
  Surrey, BC V3W 2V3  
                                Tel:                        604-599-6512  
                                Fax:                        604-599-6527

2.      Properties involved in the Application

- (a)      Civic Address:                16488 - 64 Avenue

- (b)      Civic Address:                16488 - 64 Avenue  
                                Owner:                        0948184 BC Ltd.  
  Director Information:  
  Avtar Johl

No Officer Information Filed as at August 17, 2013

PID:                                029-146-526  
Lot 46 Section 12 Township 2 New Westminster District Plan EPP32879

3.      Summary of Actions for City Clerk's Office

- (a)      Introduce a By-law to amend Heritage Revitalization Agreement By-law, 2013, No. 17885.
- (b)      Proceed with Public Notification for Development Variance Permit No. 7914-0033-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final approval of the associated Development Permit No. 7914-0033-00.

# DEVELOPMENT DATA SHEET

Existing Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b> (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		36,874 m <sup>2</sup>
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	45%	44%
Paved & Hard Surfaced Areas		
Total Site Coverage		
<b>SETBACKS</b> ( in metres)		
Front (north)	7.5m	4.5m (building face)* 3.0m (porch)*
Rear (south)	7.5m	2.94 m *
Side #1 (east)	7.5m	4.1 m *
Side #2 (west)	7.5m	5.1m (building face)* 3.5m (deck) *
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal		
Accessory		
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		
One Bed		
Two Bedroom		48
Three Bedroom +		174
Total		222
<b>FLOOR AREA: Residential</b>	33,186 m <sup>2</sup>	31,019 m <sup>2</sup>
<b>TOTAL BUILDING FLOOR AREA</b>	33,186 m <sup>2</sup>	31,019 m <sup>2</sup>

\* Seeking variances.

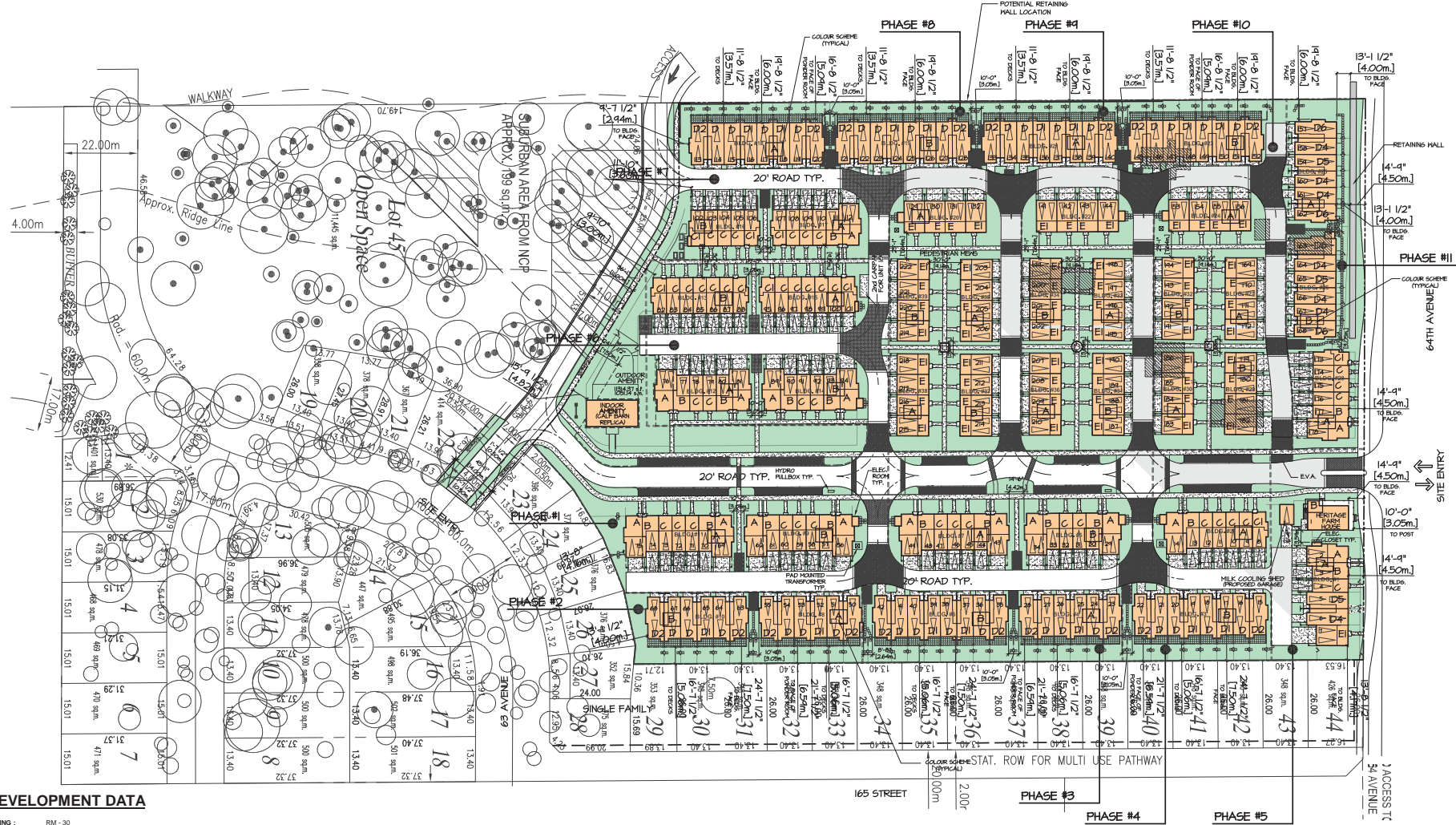


**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 upha / 30 upa	60 upha / 24 upa
FAR (gross)		
FAR (net)	0.9	0.84
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	666 m <sup>2</sup>	126
Outdoor	666 m <sup>2</sup>	1,051 m <sup>2</sup>
<b>PARKING (number of stalls)</b>		
Residential Bachelor + 1 Bedroom		
2-Bed	96	96
3-Bed	348	348
Residential Visitors	44	45
Total Number of Parking Spaces	488	489
Number of disabled stalls		2
Number of small cars		2
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	YES	Tree Survey/Assessment Provided	YES
---------------	-----	---------------------------------	-----

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**DEVELOPMENT DATA**

ZONING : RM-30

SITE AREA : 396,904.4 S.F. 9,111 AC. 36,873.6 m<sup>2</sup> 3,687 HA.

DENSITY : ALLOWABLE: 277 UNITS 30.4 U.P./Ac 75 U.P./Ha PROPOSED: 222 UNITS 24.4 U.P./Ac 60 U.P./Ha

F.A.R. : ALLOWABLE: 0.90 357,214.0 S.F. 33,186.2 m<sup>2</sup> PROPOSED: 0.84 333,889.0 S.F. 31,019.3 m<sup>2</sup>

SITE COVERAGE : ALLOWABLE: 45% 178,607.0 S.F. 16,593.1 m<sup>2</sup> PROPOSED: 44% 174,970.8 S.F. 16,255.3 m<sup>2</sup>

AMENITY : INDOOR : REQUIRED: 32.3 / UNIT 7,170.6 S.F. 666.2 m<sup>2</sup> PROVIDED: 222 UNITS 1,352.0 S.F. 125.6 m<sup>2</sup> OUTDOOR : REQUIRED: 32.3 / UNIT 7,170.6 S.F. 666.2 m<sup>2</sup> PROVIDED: 11,314.4 S.F. 1,051.1 m<sup>2</sup>

PARKING : REQUIRED: 2 / UNIT 444.0 (RESIDENT) 44.4 (VISITORS) PROVIDED: 2 / UNIT 488.4 SPACES 2 / UNIT 444 (RESIDENT) 45 (VISITORS) TOTAL 488 SPACES

**UNIT BREAKDOWN:**

UNIT A 3 BDRM & FLEX	1,754.0 x 16 UNITS =	28,064.0 S.F.
UNIT B 3 BDRM & FLEX	1,617.0 x 16 UNITS =	25,872.0 S.F.
UNIT C 2 BDRM & FLEX	1,249.0 x 39 UNITS =	48,711.0 S.F.
UNIT C1 2 BDRM & FLEX	1,349.0 x 9 UNITS =	12,141.0 S.F.
UNIT D 3 BDRM	1,472.0 x 33 UNITS =	48,576.0 S.F.
UNIT D1 3 BDRM	1,472.0 x 15 UNITS =	22,080.0 S.F.
UNIT D2 3 BDRM	1,519.0 x 18 UNITS =	27,342.0 S.F.
UNIT D4 3 BDRM	1,464.0 x 7 UNITS =	10,248.0 S.F.
UNIT D5 3 BDRM	1,464.0 x 3 UNITS =	4,392.0 S.F.
UNIT D6 3 BDRM	1,511.0 x 4 UNITS =	6,044.0 S.F.
UNIT E 3 BDRM & FLEX	1,581.0 x 30 UNITS =	47,430.0 S.F.
UNIT E1 3 BDRM & FLEX	1,594.0 x 31 UNITS =	49,414.0 S.F.
HERITAGE FARM HOUSE 3 BD+BSMT.	2,779.0 S.F.	
ELECTRICAL ROOMS, ETC.	798.0 S.F.	

TOTAL 222 UNITS = 333,889.0 S.F. (INCLUDES HERITAGE FARM HOUSE)

NOTE: INDOOR AMENITY AREA NOT INCLUDED IN F.A.R. CALCULATION, AS PER ZONING BY LAW.

**CONCEPTUAL SITE PLAN**

SCALE: 1" = 50'-0"



ISSUED FOR	
BY	
DATE	
ISSUE	
REV. NO.	
DATE	
DRN	
CDT	

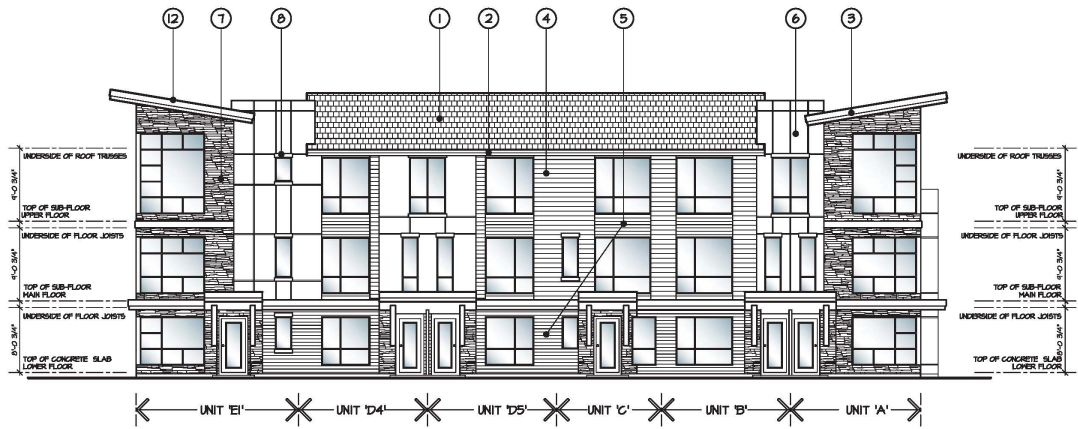
DESIGN :  
 DRAWN :  
 DATE :  
 SCALE :  
 1" = 50'-0"

CLIENT : PLATINUM GROUP  
 PROJECT : HENRY BOGE FARM  
 64TH AVENUE, SURREY  
 SHEET CONTAINS : CONCEPTUAL SITE PLAN AND DEVELOPMENT DATA

barnett dembek  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@bdarkitex.com

CLIENT NO.	466
SHEET NO.	AC-1.0
PROJECT NO.	
REV. NO.	11038



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

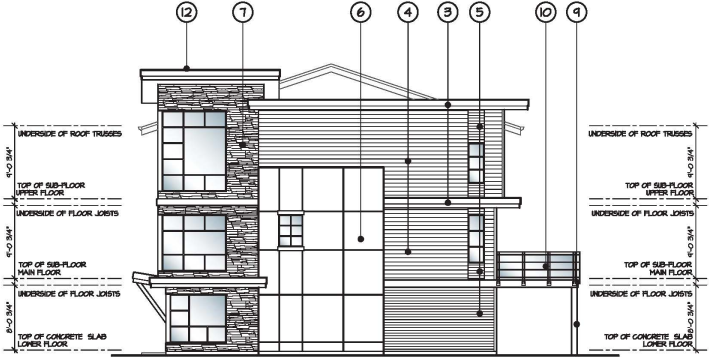
**SCHEDULE OF FINISHES**

- ① ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2X8 WOOD FASCIA
- ③ 2X10 WOOD TRIM ON 2X12 WOOD FASCIA
- ④ 1" PROFILE COMPOSITE BOARD SIDING
- ⑤ 5" PROFILE COMPOSITE BOARD SIDING (CEDAR LOOK)
- ⑥ COMPOSITE PANEL BOARD
- ⑦ LEDGESTONE
- ⑧ 1 X 6 WINDOW TRIM
- ④ WOOD POST
- ⑩ PREFAB METAL FRAME GLASS RAILINGS
- ⑪ PRIVACY SCREEN
- ⑫ FLAT ROOF - TAR & GRAVEL



**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

**BUILDING TYPE A**  
BUILDING NO. 1

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REV#	DATE	BY	ISSUE

CAD-LWG

DESIGN : DYN	DRAWN : 	DATE : JAN 11 14	SCALE : 1/8" = 1'-0"
CLIENT : PLATINUM GROUP			
PROJECT : HENRY BOGIE FARM, 64TH AVENUE, SURREY			
SHEET COMMENTS : BUILDING ELEVATIONS			

**barnett dembek**

UNIT 202,  
12448 82 AVE.,  
SURREY, B.C.  
V3W 3E9

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FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO. 466	SHEET NO. AC-3.1
PROJECT NO. 11038	REV. NO.

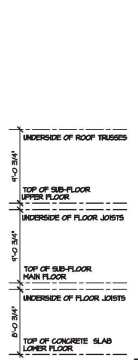
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### SCHEDULE OF FINISHES

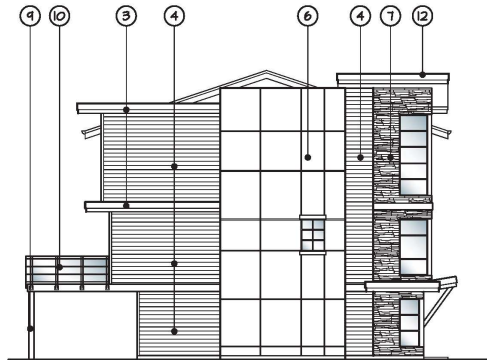
- ① ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2X8 WOOD FASCIA
- ③ 2X10 WOOD TRIM ON 2X12 WOOD FASCIA
- ④ 7" PROFILE COMPOSITE BOARD SIDING
- ⑤ 5" PROFILE COMPOSITE BOARD SIDING (CEDAR LOOK)
- ⑥ COMPOSITE PANEL BOARD
- ⑦ LEDGESTONE
- ⑧ 1 X 6 WINDOW TRIM
- ⑨ WOOD POST
- ⑩ PREFAB METAL FRAME GLASS RAILINGS
- ⑪ PRIVACY SCREEN
- ⑫ FLAT ROOF - TAR & GRAVEL



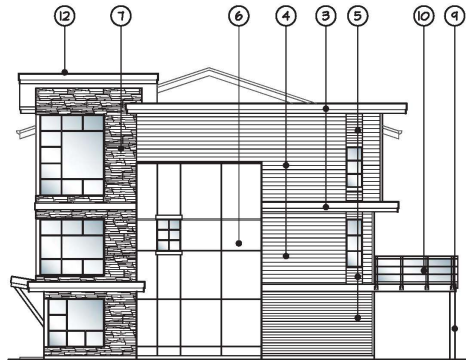
**FRONT ELEVATION** ← UNIT 'C1' \* UNIT 'C2' \* UNIT 'C3' \* UNIT 'C4' \* UNIT 'C5' \* UNIT 'B' \* UNIT 'A' →  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"  
EXPOSED SIDE



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"  
NON-EXPOSED SIDE



**RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

ISSUED FOR	BY	DATE	REVISION

DESIGN :  
DRAWN :  
DATE :  
SCALE :  
1/8" = 1'-0"

CLIENT : PLATINUM GROUP  
PROJECT : HENRY BOGE FARM  
64TH AVENUE, SURREY  
SHEET CONTENTS : BUILDING ELEVATIONS

barnett dembek

UNIT 202,  
12448 82 AVE.,  
SURREY, B.C.  
V3W 3E9  
PHONE: (604) 597-7100  
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EMAIL: mail@darkitex.com

**BUILDING TYPE B**  
BUILDING NO. 2  
BUILDING NO. 17 & 2B (SIM)

CLIENT NO. 466	SHEET NO. AC-3.2
PROJECT NO. 1103B	REV. NO.

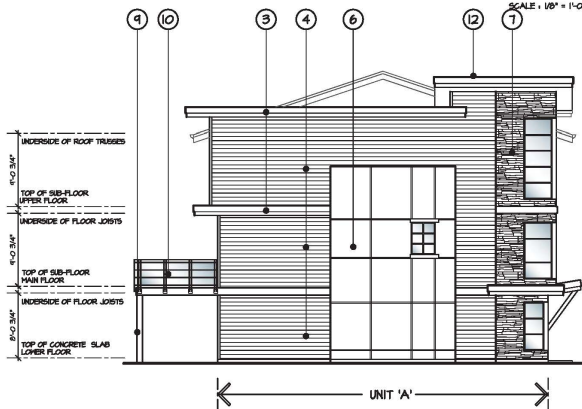


**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

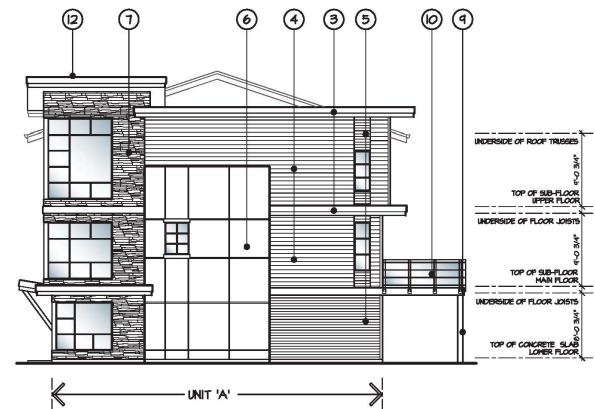
**SCHEDULE OF FINISHES**

- ① ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2X8 WOOD FASCIA
- ③ 2X10 WOOD TRIM ON 2X12 WOOD FASCIA
- ④ 7" PROFILE COMPOSITE BOARD SIDING
- ⑤ 5" PROFILE COMPOSITE BOARD SIDING (CEDAR LOOK)
- ⑥ COMPOSITE PANEL BOARD
- ⑦ LEDGESTONE
- ⑧ 1 x 6 WINDOW TRIM
- ⑨ WOOD POST
- ⑩ PREFAB METAL FRAME GLASS RAILINGS
- ⑪ PRIVACY SCREEN
- ⑫ FLAT ROOF - TAR & GRAVEL



**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

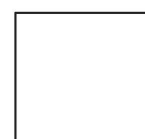
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

REV#	DATE	ISSUE



C30-L4g

DESIGN: PH  
DRAWN: PH  
DATE: June 14  
SCALE: 1/8" = 1'-0"

CLIENT: PLATINUM GROUP  
PROJECT: HENRY BOGE FARM  
6474 AVENUE, SURREY  
SHEET CONTENTS: BUILDING ELEVATIONS

**barnett dembek**

UNIT 202,  
12448 82<sup>ND</sup> AVE.,  
SURREY, B.C.  
V3W 3E9

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO. 466	SHEET NO. AC-3.3
PROJECT NO. 11039	REV. NO.

**BUILDING TYPE C**  
BUILDING NO. 7, 9, 11  
BUILDING NO. 5, 12, 14 (SIM)

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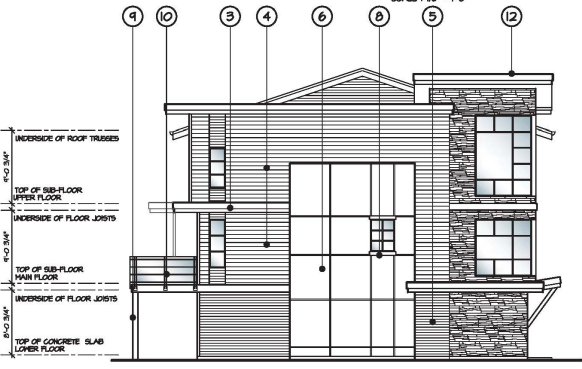
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BY	
DATE	
ISSUE	
REV#	
DATE	
REV#	



UNIT 'D2' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D2'

**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



UNIT 'D2'

**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

EXPOSED SIDE

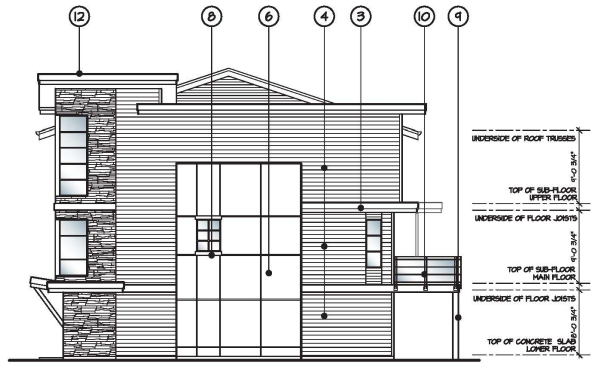


UNIT 'D2'

**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

NON-EXPOSED SIDE



UNIT 'D2'

**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



UNIT 'D2' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D' \* UNIT 'D2'

**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- ① ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2X8 WOOD FASCIA
- ③ 2X10 WOOD TRIM ON 2X12 WOOD FASCIA
- ④ 7" PROFILE COMPOSITE BOARD SIDING
- ⑤ 5" PROFILE COMPOSITE BOARD SIDING (CEDAR LOOK)
- ⑥ COMPOSITE PANEL BOARD
- ⑦ LEDGESTONE
- ⑧ 1 X 6 WINDOW TRIM
- ⑨ WOOD POST
- ⑩ PREFAB METAL FRAME GLASS RAILINGS
- ⑪ PRIVACY SCREEN
- ⑫ FLAT ROOF - TAR & GRAVEL

C88-L49

DESIGN :  
DRAWN :  
DATE :  
SCALE :

CLIENT : PLATINUM GROUP  
PROJECT : HENRY BOGE FARM  
6474 AVENUE, SURREY  
SHEET CONTENTS : BUILDING ELEVATIONS

barnett dembek

UNIT 202,  
12448 822 AVE.,  
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V3W 3E9

PHONE: (604) 597-7100  
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EMAIL: mail@darkitex.com

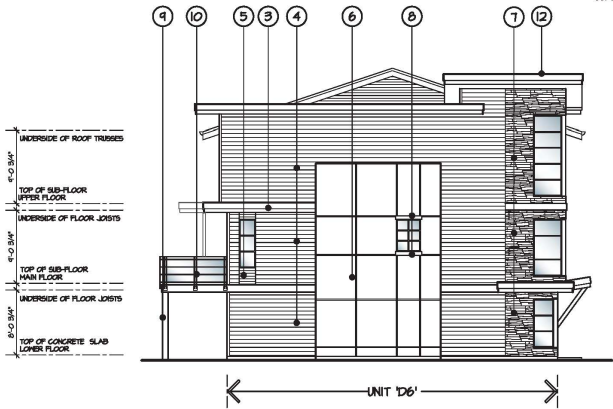
CLIENT NO.	466	SHEET NO.	AC-3.4
PROJECT NO.	11039D	REV. NO.	

**BUILDING TYPE D**  
BUILDING NO. 6, 18, 19, 21, 23  
BUILDING NO. 3, 4, 8, 10 (SIM)

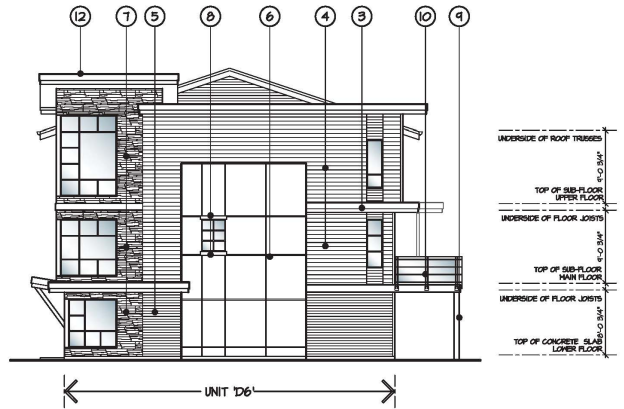
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← UNIT 'D6' \* UNIT 'D4' \* UNIT 'D4' \* UNIT 'D5' \* UNIT 'D4' \* UNIT 'D6' →  
**FRONT ELEVATION (64th AVENUE)**  
 SCALE: 1/8" = 1'-0"



← UNIT 'D6' →  
**LEFT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" NON-EXPOSED SIDE



← UNIT 'D6' →  
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



← UNIT 'D6' \* UNIT 'D4' \* UNIT 'D4' \* UNIT 'D5' \* UNIT 'D4' \* UNIT 'D6' →  
**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- ① ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2X8 WOOD FASCIA
- ③ 2X10 WOOD TRIM ON 2X12 WOOD FASCIA
- ④ 7" PROFILE COMPOSITE BOARD SIDING
- ⑤ 5" PROFILE COMPOSITE BOARD SIDING (CEDAR LOOK)
- ⑥ COMPOSITE PANEL BOARD
- ⑦ LEDGESTONE
- ⑧ 1 X 6 WINDOW TRIM
- ⑨ WOOD POST
- ⑩ PREFAB METAL FRAME GLASS RAILINGS
- ⑪ PRIVACY SCREEN
- ⑫ FLAT ROOF - TAR & GRAVEL

ISSUED FOR	BY	DATE	ISSUE	REV#

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DESIGN :  
 DRAWN :  
 DATE :  
 SCALE :  
 1/8" = 1'-0"

CLIENT : PLATINUM GROUP  
 PROJECT : HENRY BOGE FARM  
 64TH AVENUE, SURREY  
 SHEET CONTENTS : BUILDING ELEVATIONS

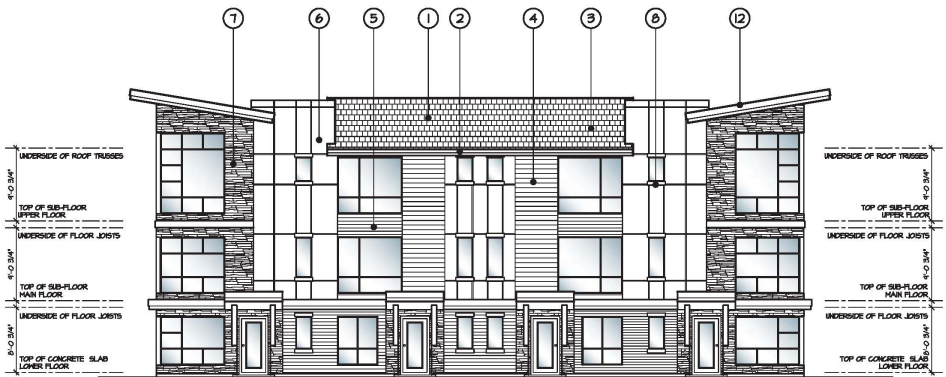
**barnett dembek**  
 UNIT 202,  
 12448 82<sup>ND</sup> AVE.,  
 SURREY, B.C.  
 V3W 3E9

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO. 466  
 SHEET NO. AC-3.1  
 PROJECT NO. 11039  
 REV. NO.

**BUILDING TYPE D1**  
 BUILDING NO. 25, 26 (51M)

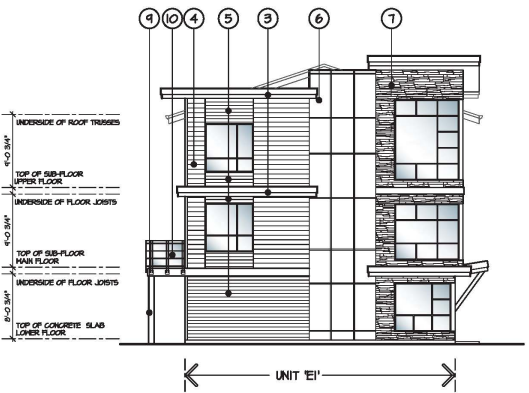
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UNIT 'E' \* UNIT 'E' \* UNIT 'E' \* UNIT 'E'

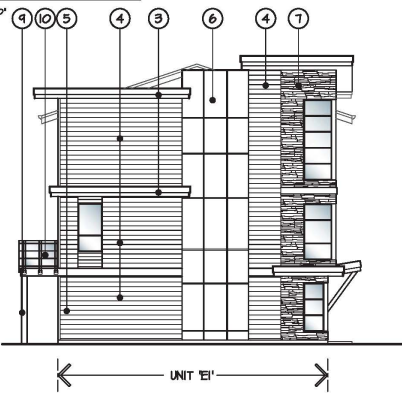
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



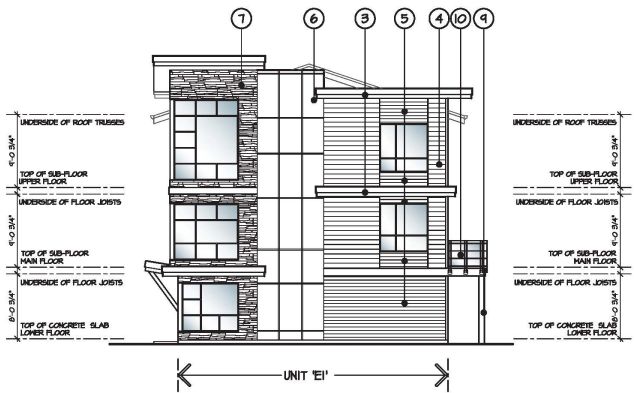
**LEFT SIDE ELEVATION**  
EXPOSED SIDE

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
NON-EXPOSED SIDE

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- ① ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2X8 WOOD FASCIA
- ③ 2X10 WOOD TRIM ON 2X12 WOOD FASCIA
- ④ 7" PROFILE COMPOSITE BOARD SIDING
- ⑤ 5" PROFILE COMPOSITE BOARD SIDING (CEDAR LOOK)
- ⑥ COMPOSITE PANEL BOARD
- ⑦ LEDGESTONE
- ⑧ 1 X 6 WINDOW TRIM
- ⑨ WOOD POST
- ⑩ PREFAB METAL FRAME GLASS RAILINGS
- ⑪ PRIVACY SCREEN
- ⑫ FLAT ROOF - TAR & GRAVEL



UNIT 'E' \* UNIT 'E' \* UNIT 'E' \* UNIT 'E'

**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

ISSUED FOR	BY	DATE	ISSUE



DESIGN	PK	DATE	SCALE

CLIENT :	PLATINUM GROUP
PROJECT :	HENRY BOGE FARM 64TH AVENUE, SURREY
SHEET CONTENTS :	BUILDING ELEVATIONS

**barnett dembek**  
ARCHITECTS INC.

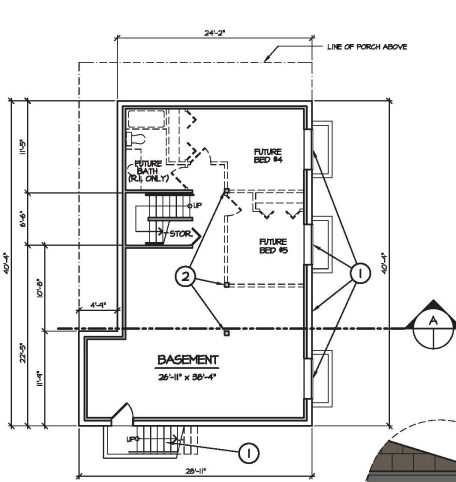
UNIT 202,  
12448 82<sup>ND</sup> AVE.,  
SURREY, B.C.  
V3W 3E9

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

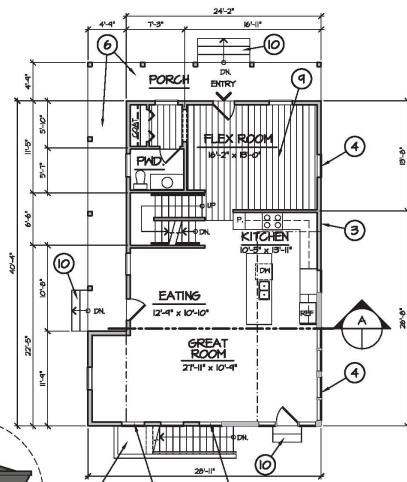
CLIENT NO.	SHEET NO.
466	AC-3.B
PROJECT NO.	REV. NO.
11038	

**BUILDING TYPE E**  
BUILDING NO. 20, 22, 24, 21, 24, 30, 31, 32, 33, 34,  
35, 36, 37, 38, 39

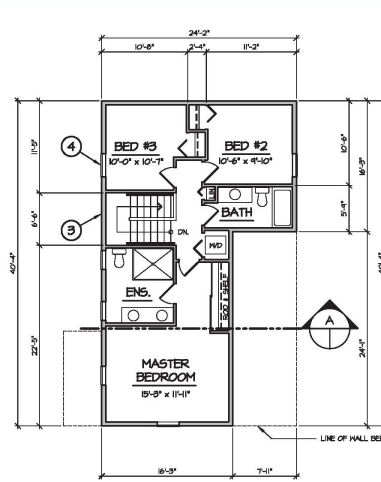




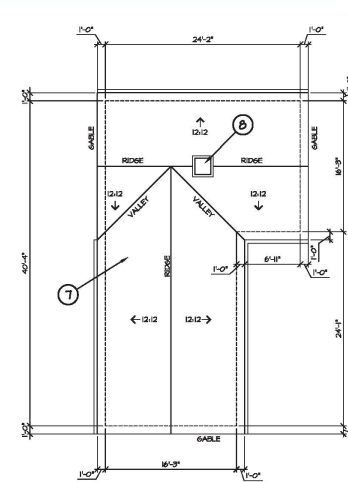
**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 963.65 S.F. (No Stairs)



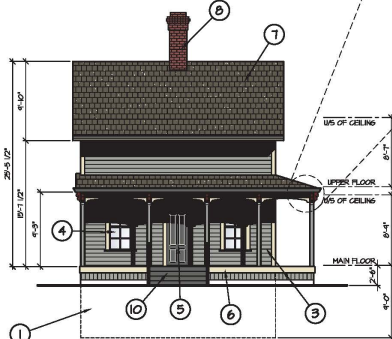
**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 1,080.53 S.F.



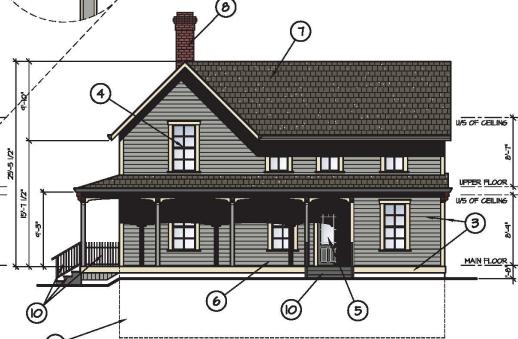
**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 784.06 S.F.



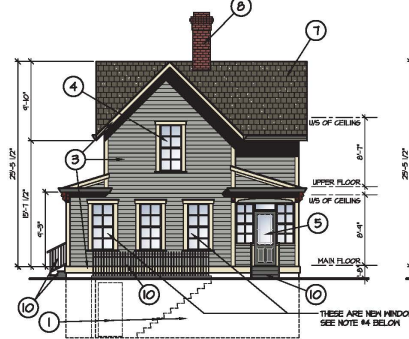
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



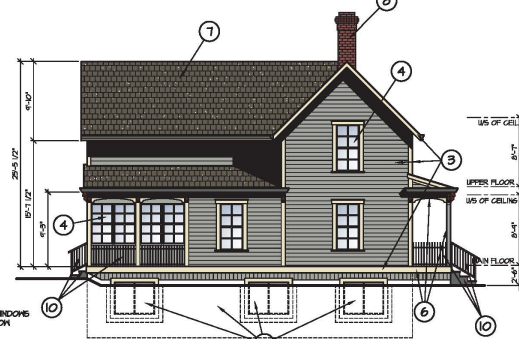
**FRONT ELEVATION (NORTH)**  
SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION (WEST)**  
SCALE: 1/8" = 1'-0"



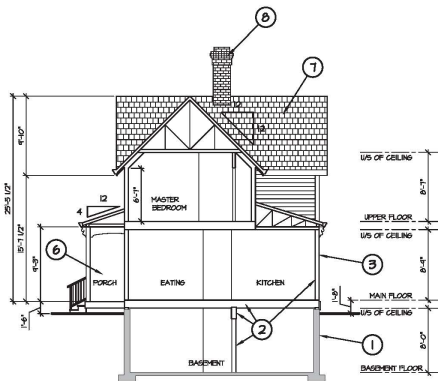
**REAR ELEVATION (SOUTH)**  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION (EAST)**  
SCALE: 1/8" = 1'-0"

NOTE: All work to be completed in accordance with the conservation plan as prepared by Green City Planning Services.

1. Foundation – New concrete foundation, basement, exterior concrete and interior stairs, doors and windows.
2. Basement and Structure – Reuse of beams and post from the Farmhouse, Calf Barn and/or Horse Barn. Use of new material where required.
3. Exterior Walls – Reuse of cedar drop siding from the Farmhouse and Horse Barn. Use of new material where required.
  - New vertical wood skirting from the Horse Barn. Use of new material where required.
  - Reuse of wood trims on the house corners, along the rooflines and at the base of the walls, from the Farmhouse and Horse Barn. Use of new material where required.
4. Windows and Window Trims – Repair and reuse original wood trims and windows where possible. New windows to be replicated in design and match trims with wood materials from the Farmhouse or Horse Barn. Use of new material where required. See notes above regarding window relocations, and new locations.
5. Doors – Repair and reuse original doors, use of new material where required. New doors to be replicated in design and match with wood materials.
6. Wrap-around Porch – Post, Railings, Ornamental trim, Ceiling and Floor – Reuse wood from the House Barn. Use of new material where required.
7. Roofing and Gutters – New cedar shingle roof. Existing gutters to be removed, and historically sympathetic replacement gutters and downspout to be installed. Gutters to be historic "K-Style" shape, and downspouts to "round" shape.
8. New Brick Chimney to match original chimney.
9. Wood floor – Repair and reuse existing wood floor in Flex room.
10. Exterior Stairs and Railings – Reuse wood from the Horse Barn. Use of new material where required.



**CROSS SECTION 'A'**  
SCALE: 1/8" = 1'-0"



**HENRY BOSE FARM HOUSE**  
TOTAL FLOOR AREA: 2,778.24 S.F.

ISSUED FOR	BY	DATE	REVISION	DATE	BY

Scale: 1/8" = 1'-0"

DESIGN: DVA	DRAWN: DVA	DATE: 1 JUN 14	SCALE: 1/8" = 1'-0"
-------------	------------	----------------	---------------------

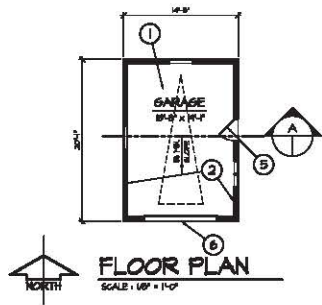
CLIENT: PLATINUM GROUP
PROJECT: HENRY BOSE FARM
6411 AVENUE, SURREY
SHEET CONTENTS: FARM HOUSE

**barnett dembek**

UNIT 202,  
12448 82 AVE.,  
SURREY, B.C.  
V3W 3E9

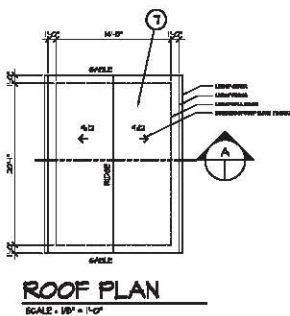
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO: 466	SHEET NO: AC-1.2
PROJECT NO: 11038	REV. NO:



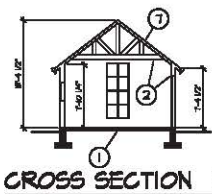
FLOOR PLAN

SCALE: 1/8" = 1'-0"



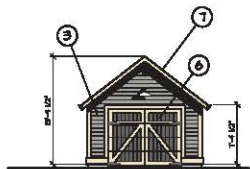
ROOF PLAN

SCALE: 1/8" = 1'-0"



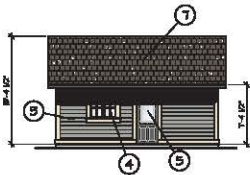
CROSS SECTION 'A'

SCALE: 1/8" = 1'-0"



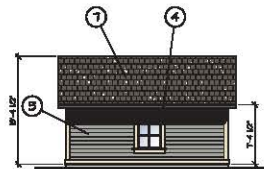
FRONT ELEVATION (SOUTH)

SCALE: 1/8" = 1'-0"



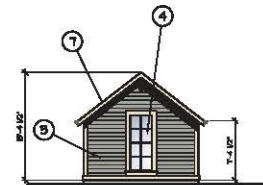
RIGHT SIDE ELEVATION (EAST)

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION (WEST)

SCALE: 1/8" = 1'-0"



REAR ELEVATION (NORTH)

SCALE: 1/8" = 1'-0"

NOTE: All work to be completed in accordance with the conservation plan as prepared by Green City Planning Services.

1. Foundation – New concrete foundation and slab.
2. Structure – Existing wood framing and roof framing to be used. Repair and reuse of existing material, and from Horse Barn or new material where required.
3. Exterior Walls – Repair and reuse of cedar drop siding and from the Horse Barn or new material where required.
4. Windows and Window Trims – Repair and reuse original windows and wood trims. Reuse of existing material or new material where required.
5. Door – New main door to match existing design.
6. Door – New wood garage door to match character with the Heritage building.
7. Roofing and Gutters – New cedar shingle roof. Existing gutters to be removed, and historically sympathetic replacement gutters and downspout to be installed. Gutters to be historic “K-Style” shape, and downspouts to “round” shape.

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ISSUED FOR:	
BY:	
DATE:	
TIME:	



Costing Building

DESIGNER:	DATE:
DRAWN:	DATE:
CHECKED:	DATE:
SCALE:	SCALE:

CLIENT:	PLATINUM GROUP
PROJECT:	HENRY BOSE FARM 6417th AVENUE, SUNREY
SHEET:	HENRY BOSE MILK COOLING SHED (PROPOSED GARAGE)

**barnett dembek**

UNIT 202,  
12944 82 AVE.,  
SUNREY, B.C.  
V3V 3E9

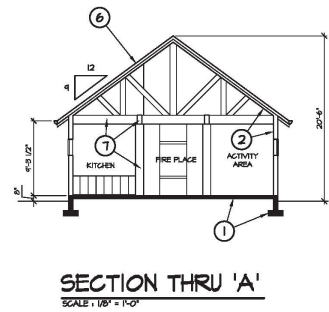
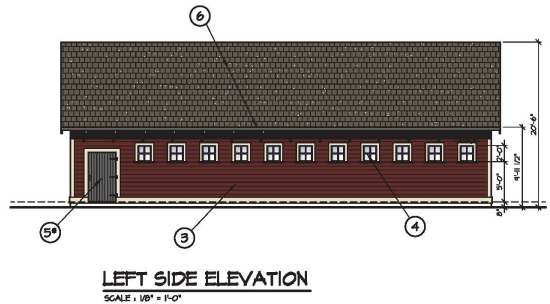
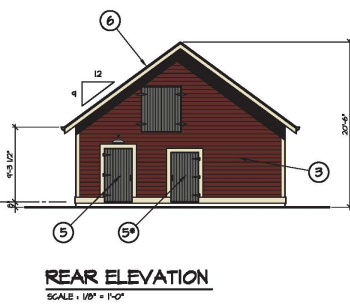
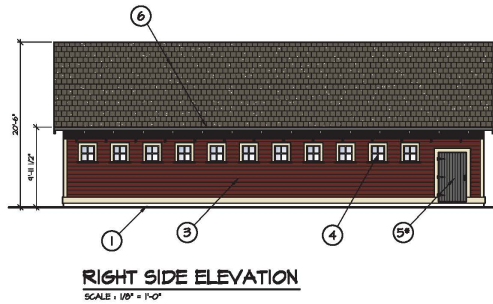
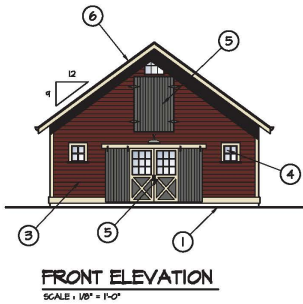
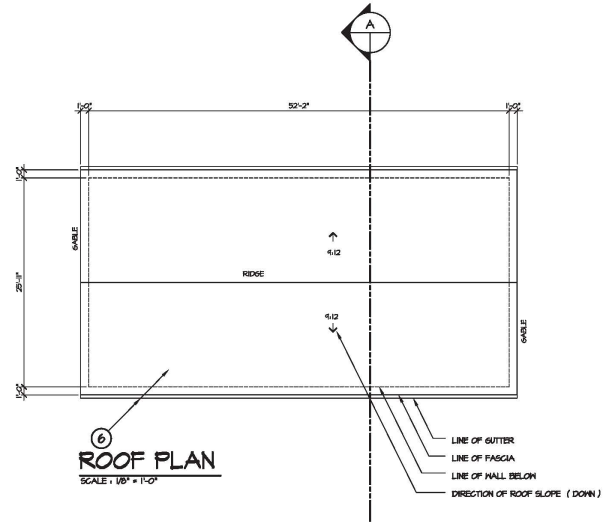
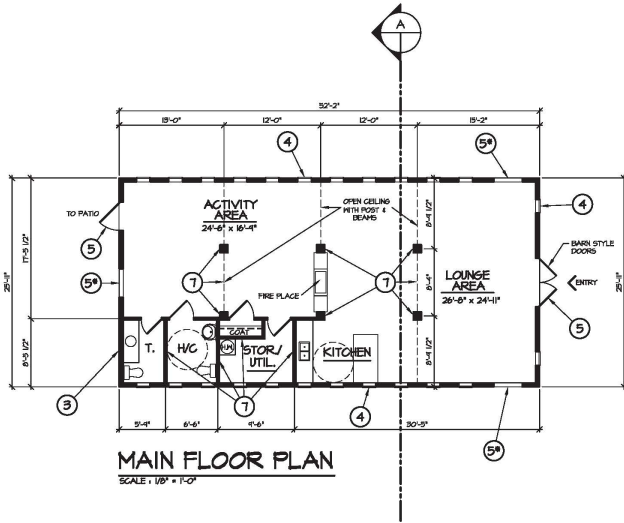
PHONE: (804) 887-7100  
FAX: (804) 887-2389  
EMAIL: ma@barnettax.com

CLIENT NO:	SHEET NO:
PROJECT NO:	AC-13
ISSUED	REV. NO.

# HENRY BOSE MILK COOLING SHED (PROPOSED GARAGE)

FLOOR AREA 2860 S.F.

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 THEREOF INTO ANY MATERIAL FORM  
 CANADA COPYRIGHT ACT R.S.C. 1970.



NOTE: All work to be completed in accordance with the conservation plan prepared by Green City Planning Service.

1. Foundation – New concrete foundation and slab.
2. Structure – New wood framing and roof framing to be used.
3. Exterior Walls – New cedar drop siding to replicate the original design.
4. Windows and Window Trims – New windows, wood trim to replicate the original design.
5. Doors – New main doors to replicate the existing design. New Hay Loft doors to be used as a gable wall facade element. \*New side doors to be used and are non-functional.
6. Roofing and Gutters – New cedar shingle roof. New historically sympathetic gutters and downspout to be used. Gutters to be historic "K-Style" shape, and downspouts to "round" shape
7. Interior Walls, Post & Beams – New material to be used.

ISSUED FOR	BY	DATE	ISSUE	CD	DATE	REV



Calf Barn/Building

DESIGN :	PK
DRAWN :	
DATE :	June 14
SHEET :	AC-1.4
PROJECT :	HENRY BOSE FARM 64TH AVENUE, SURREY
SHEET CONTENTS :	HENRY BOSE CALF BARN REPLICIA (PROPOSED AMENITY BUILDING)

**barnett dembek**  
 ARCHITECTS INC.  
 UNIT 202,  
 12448 82 AVE.,  
 SURREY, B.C.  
 V3W 3E9

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

**HENRY BOSE CALF BARN REPLICIA**  
**PROPOSED AMENITY BUILDING**  
 FLOOR AREA 1,352.0 S.F.

CLIENT NO.	SHEET NO.
466	AC-1.4
PROJECT NO.	REV. NO.
11038	

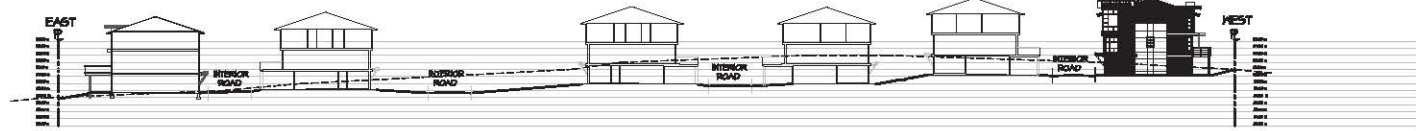
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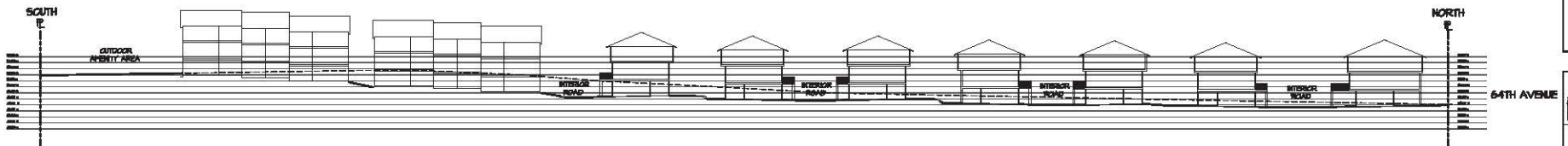
64TH AVENUE STREET ELEVATIONS



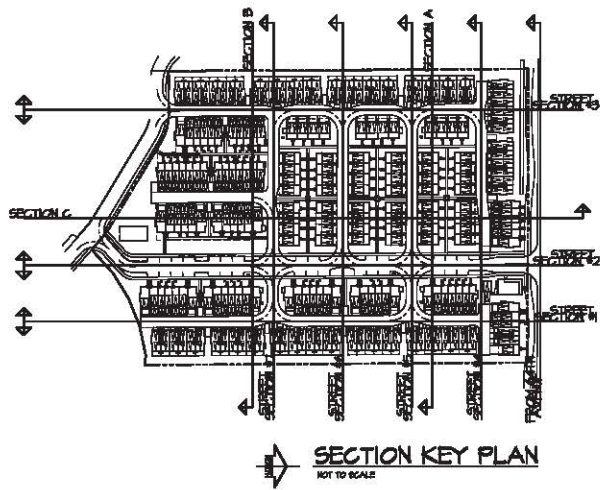
SITE SECTION A



SITE SECTION B



SITE SECTION C



REVISION	NO.	DATE



DATE: 10-20-19

DESIGNER	DATE
CHK	10/20/19
DATE	10/20/19
SCALE	1" = 80'-0"

CLIENT:	PLATINUM GROUP
PROJECT:	HENRY EDGE PARK 64TH AVENUE, SURREY
SHEET CONTENTS:	SITE AND STREET SECTIONS

**barnett dembek**

UNIT 202,  
12948 64TH AVE.,  
SURREY, B.C.  
V3W 3E9

CLIENT NO.	SHEET NO.
466	AC-5.1
PROJECT NO.	REV. NO.
11058	

PHONE: (804) 887-7100  
FAX: (804) 887-2089  
EMAIL: mo@barnett.com

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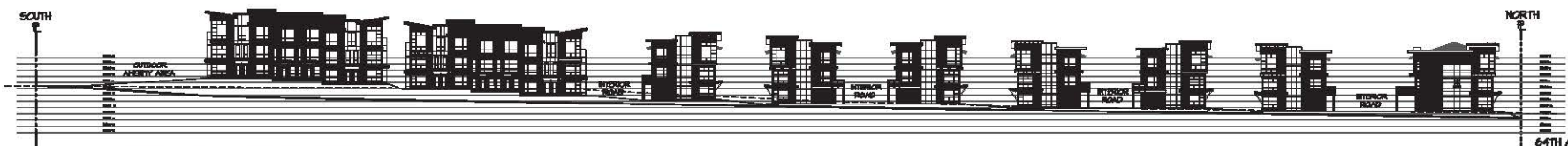
STREET SECTION #1 EAST



STREET SECTION #1 WEST



STREET SECTION #2 EAST



STREET SECTION #2 WEST



STREET SECTION #3 WEST



STREET SECTION #3 EAST

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00-00-00

DESIGNER	DATE	SCALE
PK	1	1" = 20'-0"
DATE	1/11/16	

CLIENT	PLATINUM GROUP
PROJECT	HENRY EDGE PARK 64TH AVENUE, SURREY
SHEET	WEST SIDE AND STREET SECTIONS

barnett dembek

UNIT 202,  
12448 64TH AVE.,  
SURREY, B.C.  
V3W 3E9

PHONE: (604) 887-7100  
FAX: (604) 887-2089  
EMAIL: mo@barnett.com

CLIENT NO.	SHEET NO.
466	AC-5.2
PROJECT NO.	REV. NO.
11050	

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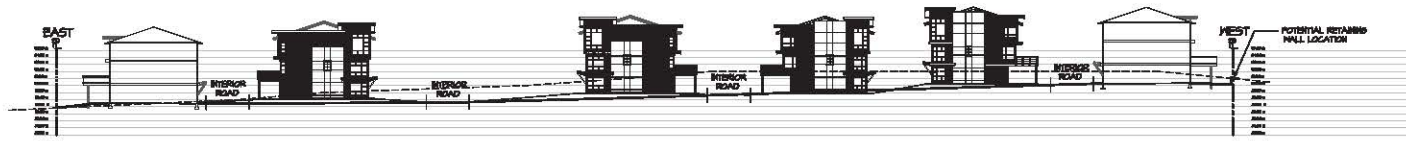
STREET SECTION #4



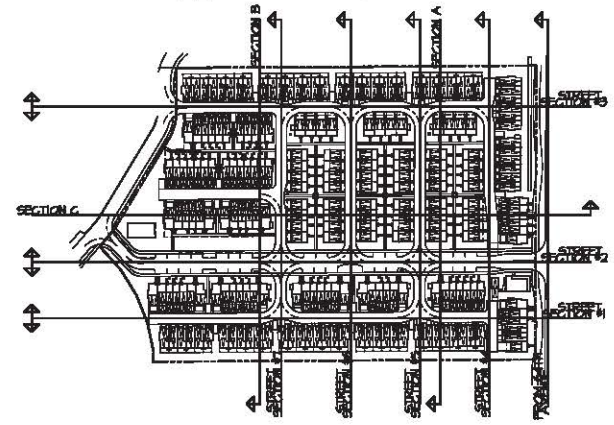
STREET SECTION #5



STREET SECTION #6

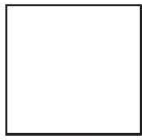


STREET SECTION #7



SECTION KEY PLAN  
NOT TO SCALE

REVISION	DATE	BY	DATE	BY



DATE: 12/11/14  
SCALE: 1/8" = 1'-0"

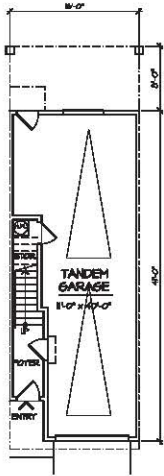
CLIENT: PLATINUM GROUP  
PROJECT: HENRY EDGE PARK  
6411 AVENUE, SURREY  
SHEET CONTAINS SITE AND STREET SECTIONS

barnett dembek

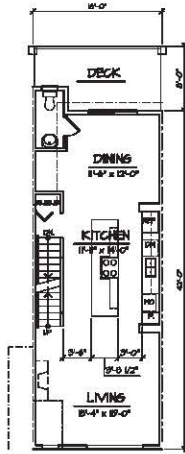
UNIT 202,  
12944 82 AVE.,  
SURREY, B.C.  
V3W 3E9

PHONE: (604) 867-7100  
FAX: (604) 867-2099  
EMAIL: info@barnett.com

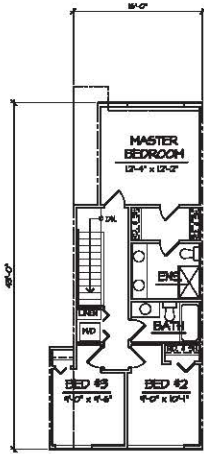
CLIENT NO. 466	SHEET NO. AC-5.3
PROJECT NO. 11030	REV. NO.



**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 BASEMENT AREA 91 S.F.  
 GARAGE AREA 536 S.F.

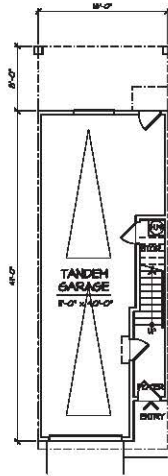


**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 685 S.F.

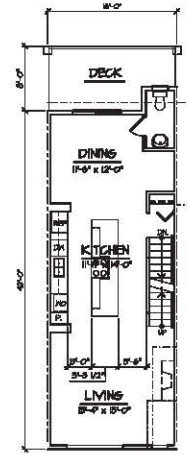


**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 680 S.F.

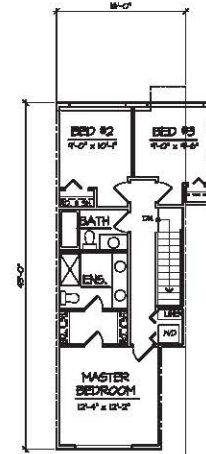
**UNIT TYPE 'D'**  
 TOTAL FLOOR AREA 1,472 S.F.  
 (GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 BASEMENT AREA 91 S.F.  
 GARAGE AREA 536 S.F.

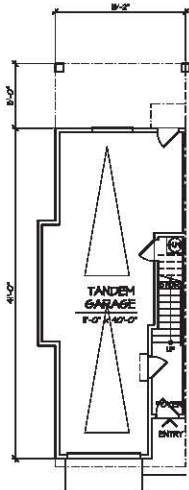


**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 685 S.F.

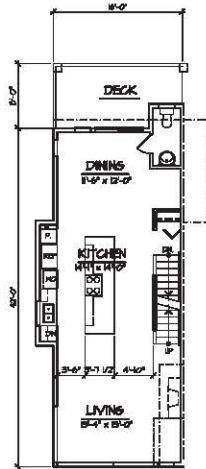


**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 680 S.F.

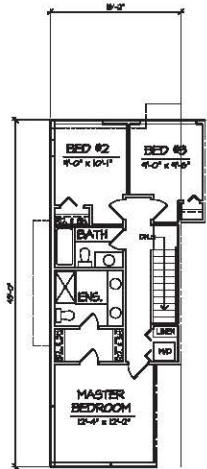
**UNIT TYPE 'D1'**  
 TOTAL FLOOR AREA 1,472 S.F.  
 (GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 BASEMENT AREA 91 S.F.  
 GARAGE AREA 577 S.F.

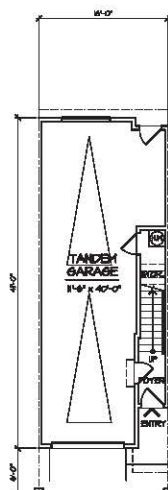


**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 726 S.F.

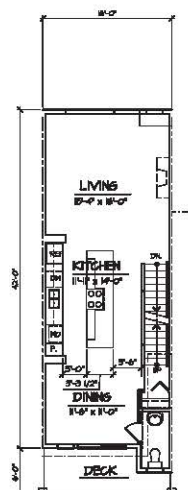


**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 645 S.F.

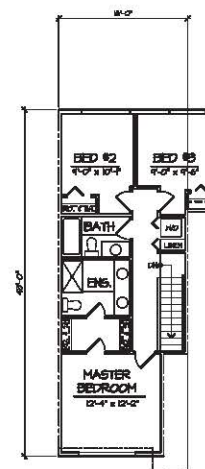
**UNIT TYPE 'D2'**  
 TOTAL FLOOR AREA 1,520 S.F.  
 (GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 BASEMENT AREA 91 S.F.  
 GARAGE AREA 543 S.F.



**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 685 S.F.



**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 680 S.F.

**UNIT TYPE 'D4'**  
 TOTAL FLOOR AREA 1,464 S.F.  
 (GARAGE NOT INCLUDED)

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REVISION	
NO.	
DATE	
BY	
CHKD	
DATE	
BY	
CHKD	
DATE	
BY	



09-2-09

DESIGNER:	
DATE:	
SCALE:	
PROJECT:	
CLIENT:	
UNIT TYPE:	

CLIENT: PLATINUM GROUP

PROJECT: HENRY EDGE PARK, 64TH AVENUE, SURREY

UNIT TYPE: UNIT PLANS

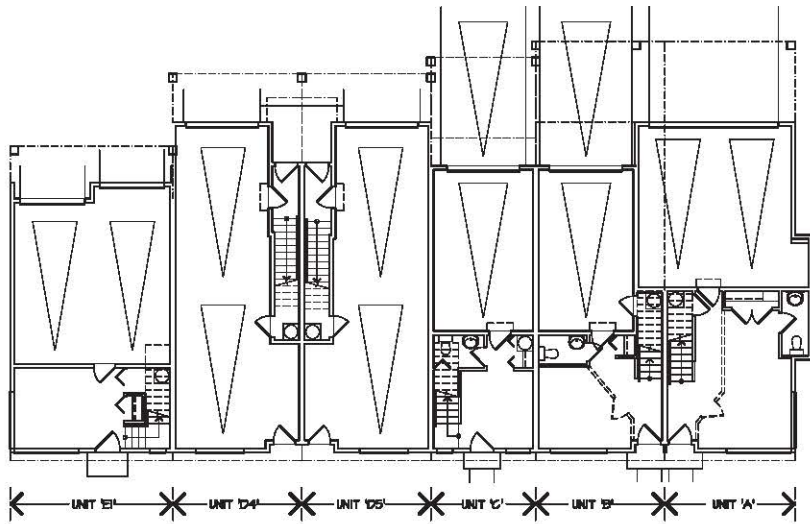
barnett dembek

UNIT 133,  
 7536 132 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 887-7100  
 FAX: (604) 887-2389  
 EMAIL: mo@barnettanddembek.com

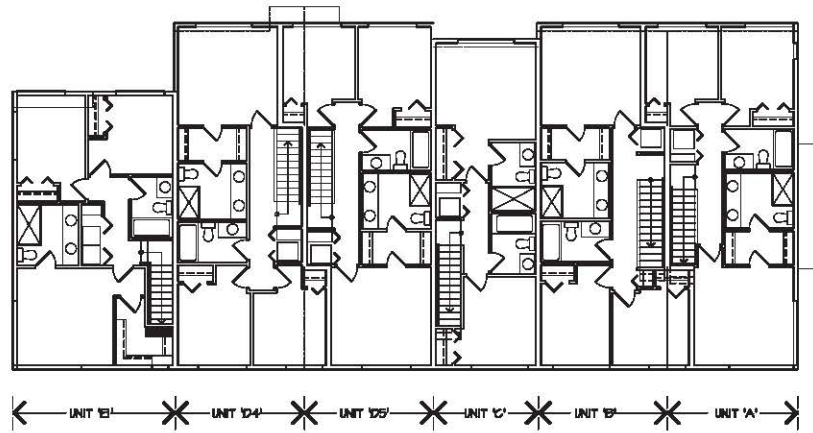
CLIENT NO. 466  
 SHEET NO. AC-22  
 PROJECT NO. 11058  
 REV. NO.

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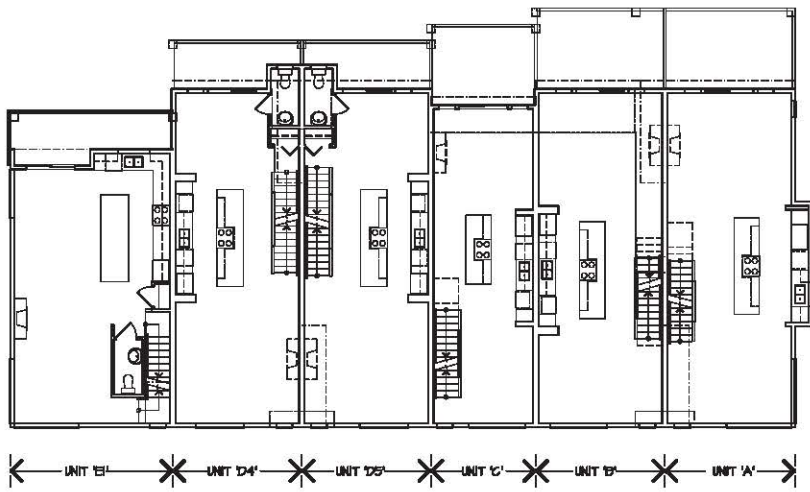
**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

REV	DATE	BY	REASON FOR

NO.	DATE	SCALE

CLIENT: PLATINUM GROUP	DATE: JAN 11 K	SCALE: 1/8" = 1'-0"
PROJECT: HENRY BOSE FARM 64TH AVENUE, SURREY		
SHEET CONTENTS: BUILDING PLANS		

**barnett dembek**

UNIT 202,  
12449 82 AVE.,  
SURREY, B.C.  
V3W 3E9

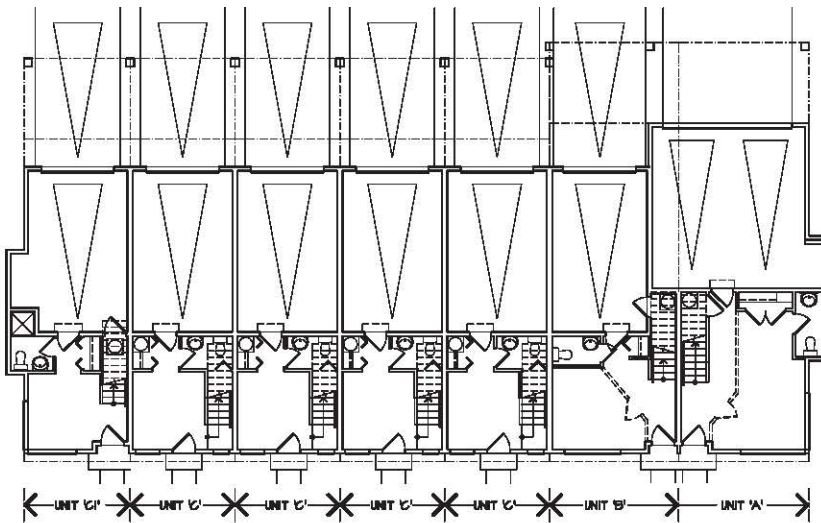
PHONE: (804) 557-7100  
FAX: (804) 557-2080  
EMAIL: [info@barnett.com](mailto:info@barnett.com)

**BUILDING TYPE A**  
BUILDING NO. 1

SHEET NO. 466	SHEET NO. AC-4.1
PROJECT NO. 11058	REV. NO.

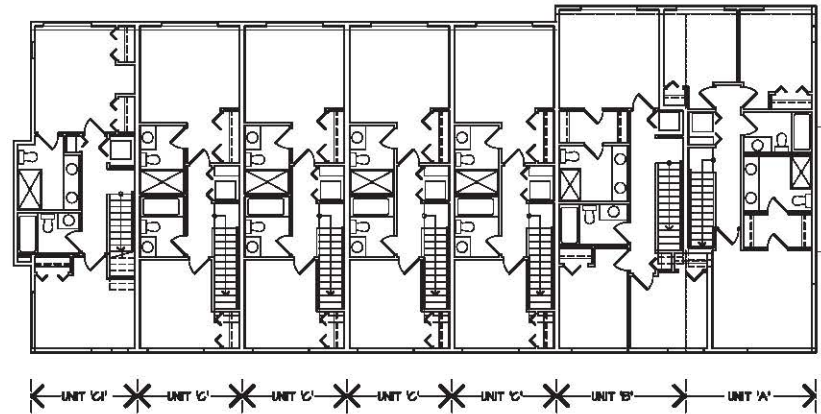


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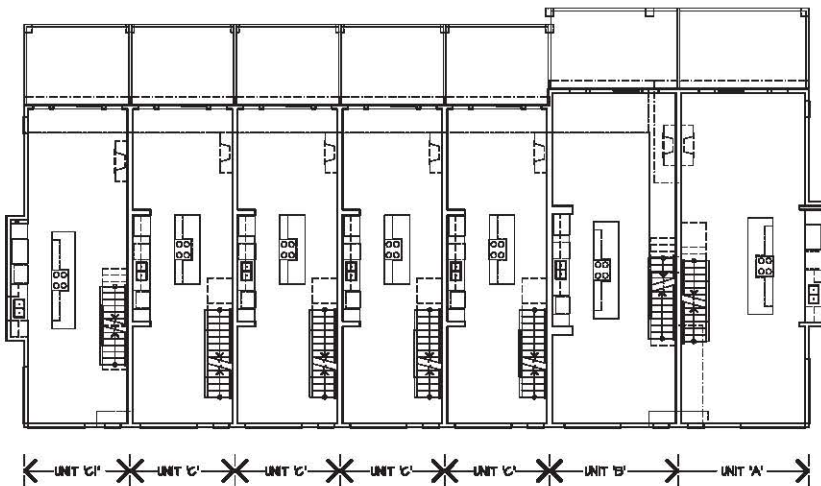
**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE	BY

CLIENT:	FLATINERY GROUP
PROJECT:	HENRY BOSE FARM 6414 AVENUE, SURREY
SHEET CONTAINS:	BUILDING PLANS
DATE:	June 11, 2009
SCALE:	1/8" = 1'-0"
DATE:	June 11, 2009

**barnett dembek**

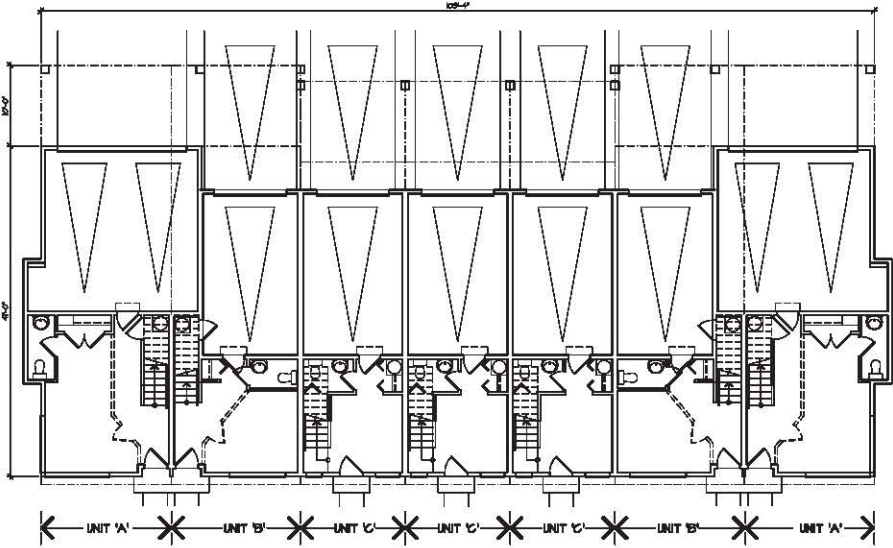
UNIT 202,  
12448 82 AVE.,  
SURREY, B.C.  
V3W 3E9

PHONE: (804) 527-7100  
FAX: (804) 527-2099  
EMAIL: [info@barnett-demdek.com](mailto:info@barnett-demdek.com)

CLIENT NO.	SHEET NO.
466	AC-4.2
PROJECT NO.	REV. NO.
11056	

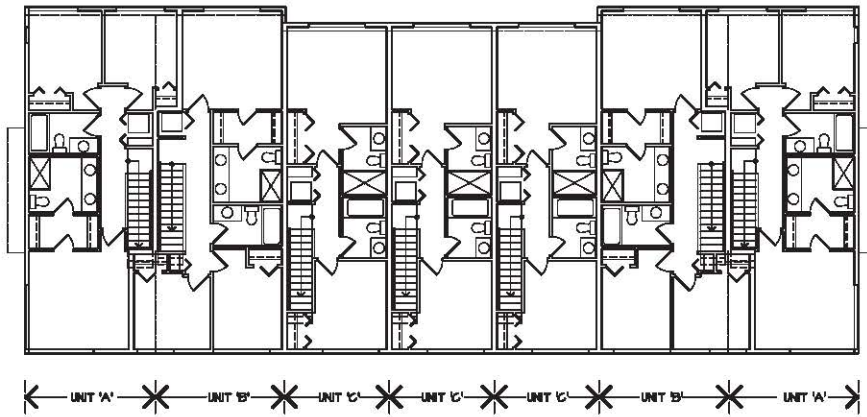
**BUILDING TYPE B**  
BUILDING NO. 2  
BUILDING NO. 17 & 2B (584)

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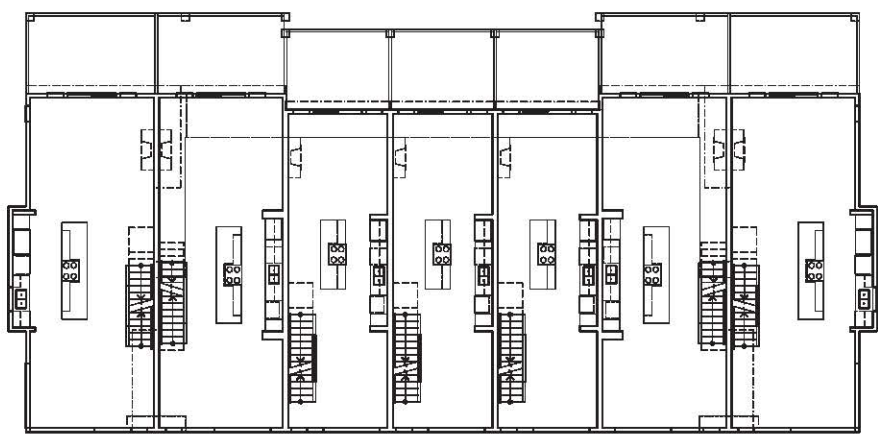
**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

REV	DATE	BY	CHKD

DATE: 11/11/11  
SCALE: 1/8" = 1'-0"

CLIENT: PLATINUM GROUP  
PROJECT: HENRY BOSE FARM  
64TH AVENUE, SURREY  
SHEET CONTENTS: BUILDING PLANS

barnett dembek

UNIT 202,  
12448 82 AVE.,  
SURREY, B.C.  
V3W 3E9

PHONE: (804) 587-7100  
FAX: (804) 587-2080  
EMAIL: mo@barnett.com

CLIENT NO. 466	SHEET NO. AC-43
PROJECT NO. 11050	REV. NO.

**BUILDING TYPE C**  
BUILDING NO. 7, 9, 11  
BUILDING NO. 5, 12, 14 (514)

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REVISION	BY	DATE	DESCRIPTION



DESIGN :	DATE :	SCALE :
CHK :	JAN 11 K :	1/8" = 1'-0" :
TRAIN 1 :		

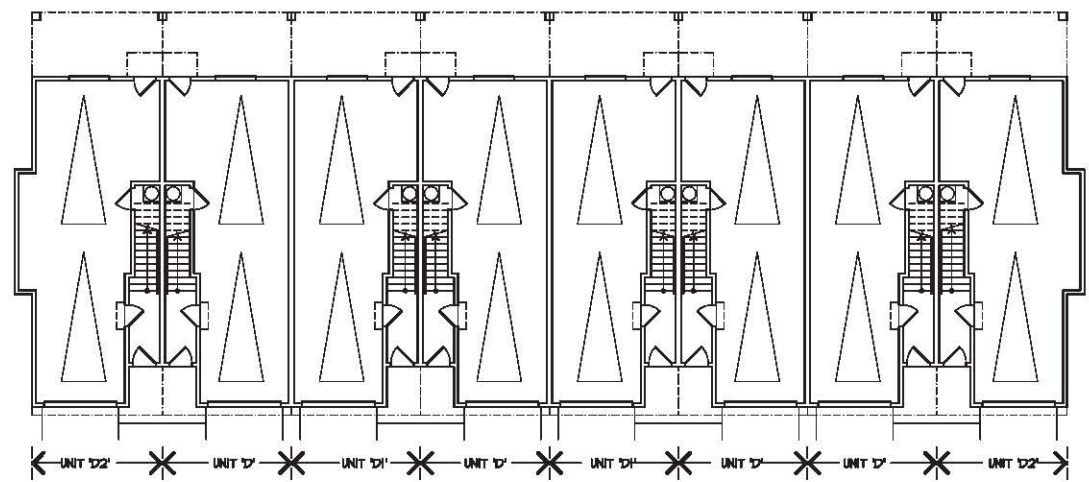
CLIENT : FLATIRARY GROUP  
 PROJECT : HENRY BOSE FARM  
 64TH AVENUE, SURREY  
 SHEET CONTENT : BUILDING PLANS

barnett dembek

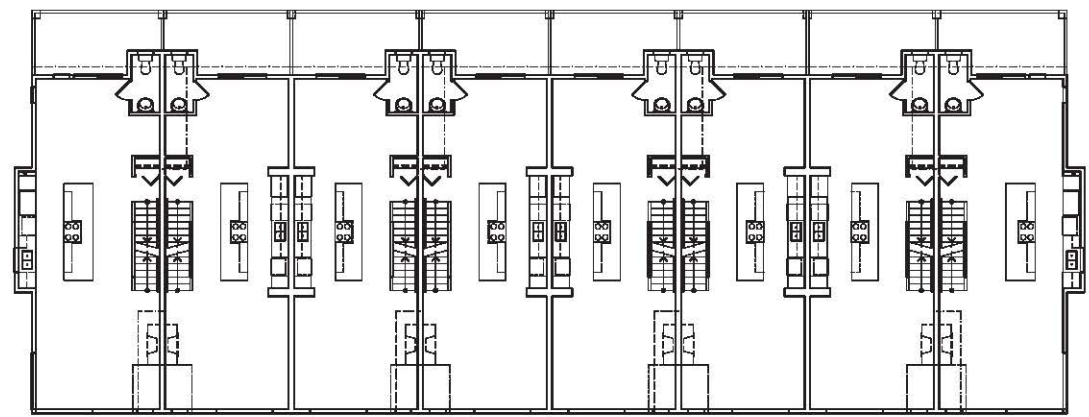
UNIT 202,  
 12448 82 AVE.,  
 SURREY, B.C.  
 V3W 3E9

PHONE: (804) 587-7100  
 FAX: (804) 587-2080  
 EMAIL: md@barnett.com

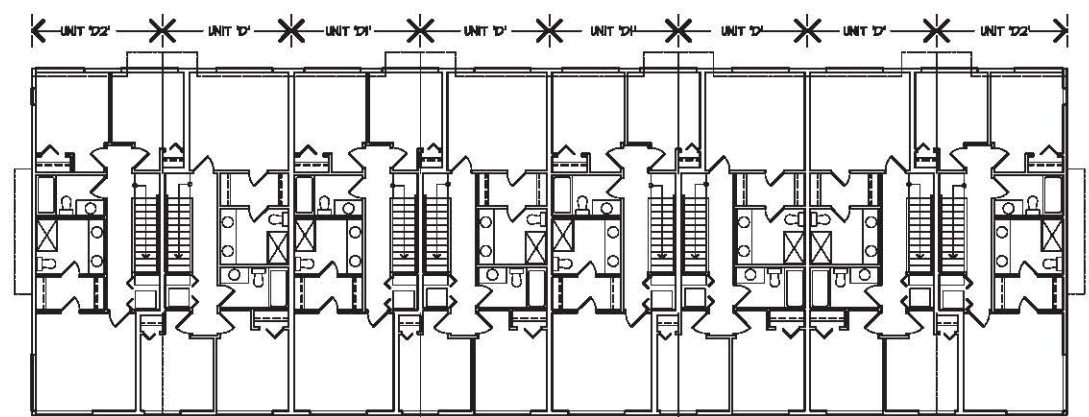
SHEET NO.	AC-4.4
PROJECT NO.	11050
REV. NO.	



**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



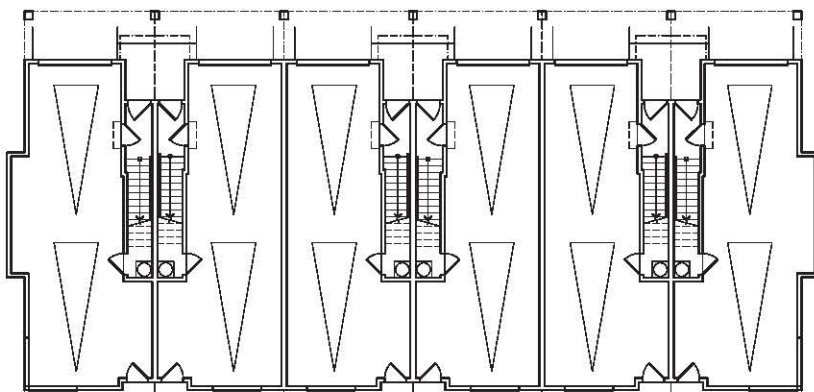
**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



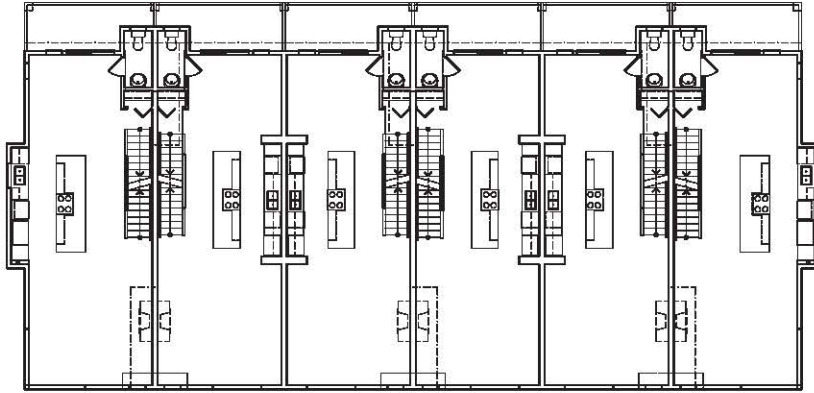
**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**BUILDING TYPE D**  
 BUILDING NO. 6, 16, 14, 21, 23  
 BUILDING NO. 3, 4, 8, 10 (SMU)

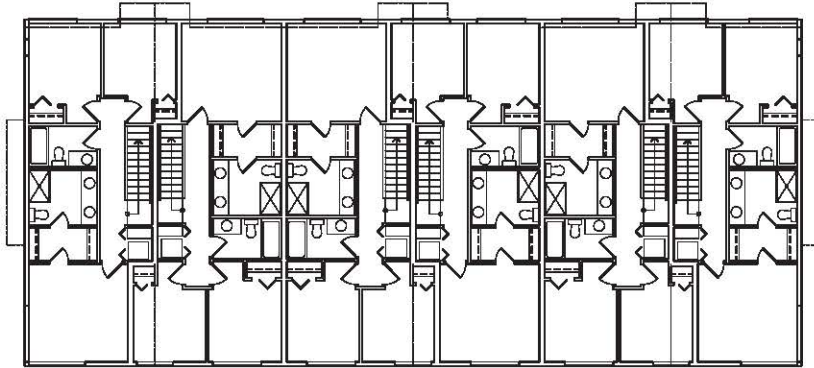
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**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



REVISION	DATE	BY	REASON

NO.	DATE	SCALE

CLIENT:	FLATIRON GROUP
PROJECT:	HENRY BOSE FARM 64TH AVENUE, SURREY
DESIGNER:	BARNETT DEMBEK ARCHITECTS INC.
DATE:	Jan 11/09
SCALE:	1/8" = 1'-0"
SHEET CONTENTS:	BUILDING PLANS

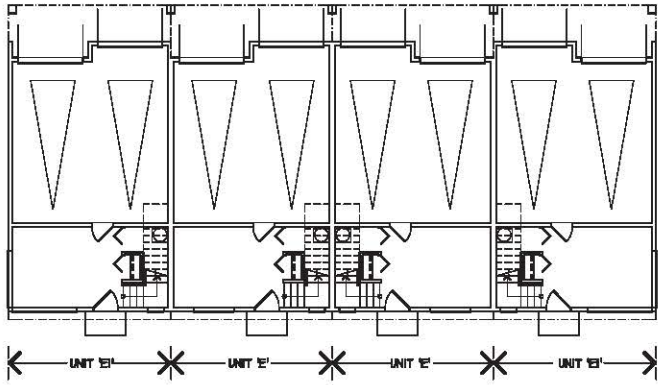
**barnett dembek**

UNIT 202,  
12448 82 AVE.,  
SURREY, B.C.  
V3W 3E9

PHONE: (804) 587-7100  
FAX: (804) 587-2089  
EMAIL: ma@barnett.com

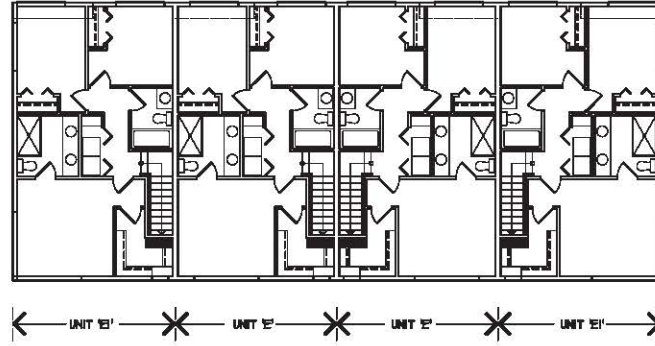
SHEET NO.	AC-4.7
PROJECT NO.	11056
REV. NO.	

**BUILDING TYPE D1**  
BUILDING NO. 25, 26



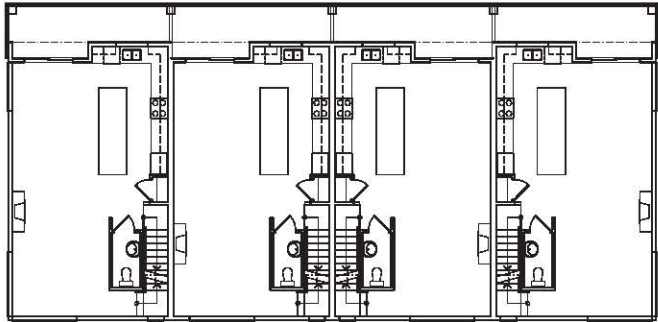
**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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NO.	DATE	BY	REVISION



DESIGN: 2/04  
 DRAWN: 1  
 DATE: Jan 11/11  
 SCALE: 1/8" = 1'-0"

CLIENT: PLATINUM GROUP  
 PROJECT: HENRY BOSE FARM  
 64TH AVENUE, SURREY  
 SHEET CONTENT: BUILDING PLANS

**barnett dembek**

UNIT 202,  
 12448 82 AVE.,  
 SURREY, B.C.  
 V3V 3E9

PHONE: (604) 587-7100  
 FAX: (604) 587-2080  
 EMAIL: mo@barnett.com

CLIENT NO. 466	SHEET NO. AC-4.8
PROJECT NO. 11050	REVISION

**BUILDING TYPE E**  
 BUILDING NO. 20, 22, 24, 27, 29, 30, 31, 32, 33, 34,  
 35, 36, 37, 38, 39

SEAL:



**PLAY AREA: LANDSCAPE STRUCTURES PLAY EQUIPMENT SUPPLIED THROUGH HABITAT-SYSTEMS (1.866.HABITAT)**  
MODELS ARE:  
PLAY HOUSE (# 3574)  
BALANCE LOGS:  
1 @ 8' HT (#173907A)  
1 @ 18' HT (#173908A)  
1 @ 28' HT (#173909A)  
TREE HOUSE AND CRAWL TUNNEL (#3706)  
ALL EMBEDDED MOUNT PER MANUF. SPECIFICATIONS



PICNIC TABLE (X2); MAGLIN CLUSTER SEATING MODEL MLPT-1050 HDPC-PCB, SILVER FINETEX, ATTACH TO CONCRETE FOOTINGS



BENCHES (X2) BY MAGLIN SITE FURNISHINGS MODEL #SCB 1600, CHARCOALPC, SILVER FINETEX COLOUR



BIKE RACK BY MAGLIN SITE FURNISHINGS MODEL # MBR 400-7-DM, SILVER FINETEX COLOUR



REMOVEABLE BOLLARD BY MAGLIN SITE FURNISHINGS MODEL # MTB 500, SILVER 14 FINETEX COLOUR



PING PONG TABLE BY NORWELL AVAILABLE FROM REC TEC (604)940-0067

**PERENNIALS**



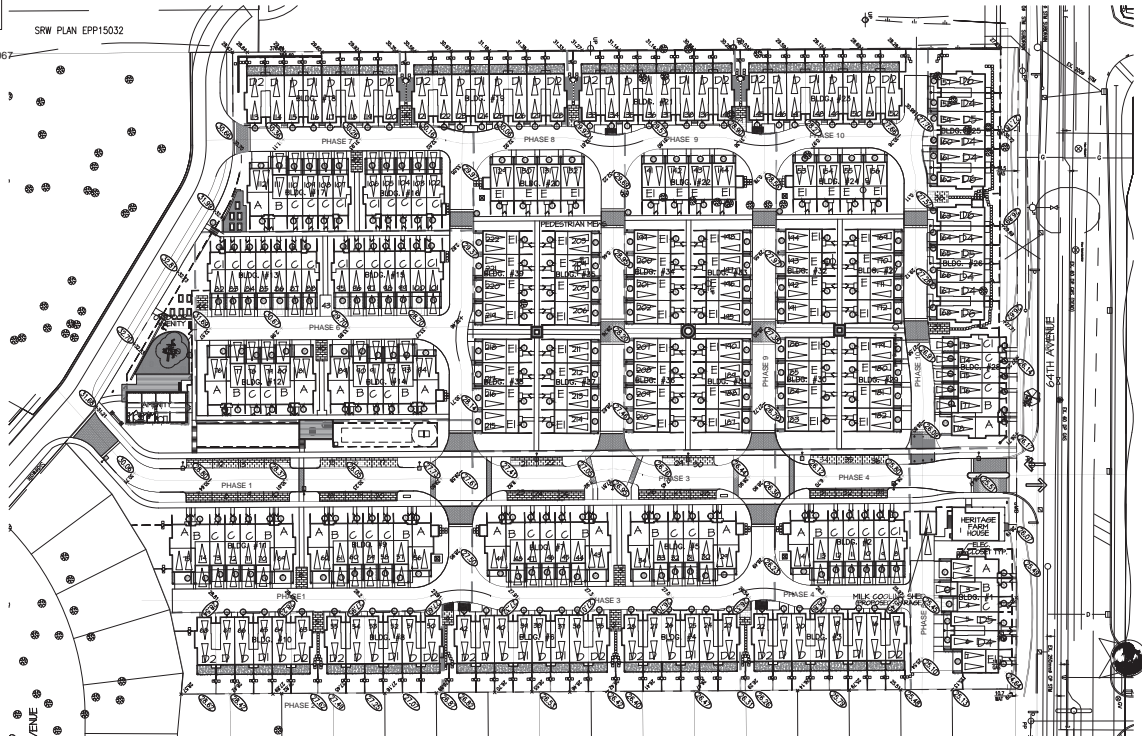
**GRASSES**



**SHRUBS**



**TREES**



**ORCHARD**



**STREETSCAPE**

NO.	DATE	REVISION DESCRIPTION	DR.
1	14.FEB.04	NEW SITE PLAN	MCY
2	14.APR.25	DR REVISION	SUNNY
3	14.JUN.13	EXISTING PATHWAY	COO

CLIENT:

PROJECT:  
**RESIDENTIAL DEV.**  
16488 64TH AVENUE  
SURREY

DRAWING TITLE:  
**LANDSCAPE IMAGES AND PHASING PLAN**

DATE: 14.JAN.13 DRAWING NUMBER:  
SCALE: 1"=50'-0"  
DRAWN:  
DESIGN:  
CHKD: MCY **L1** OF 10

**PLANT SCHEDULE**

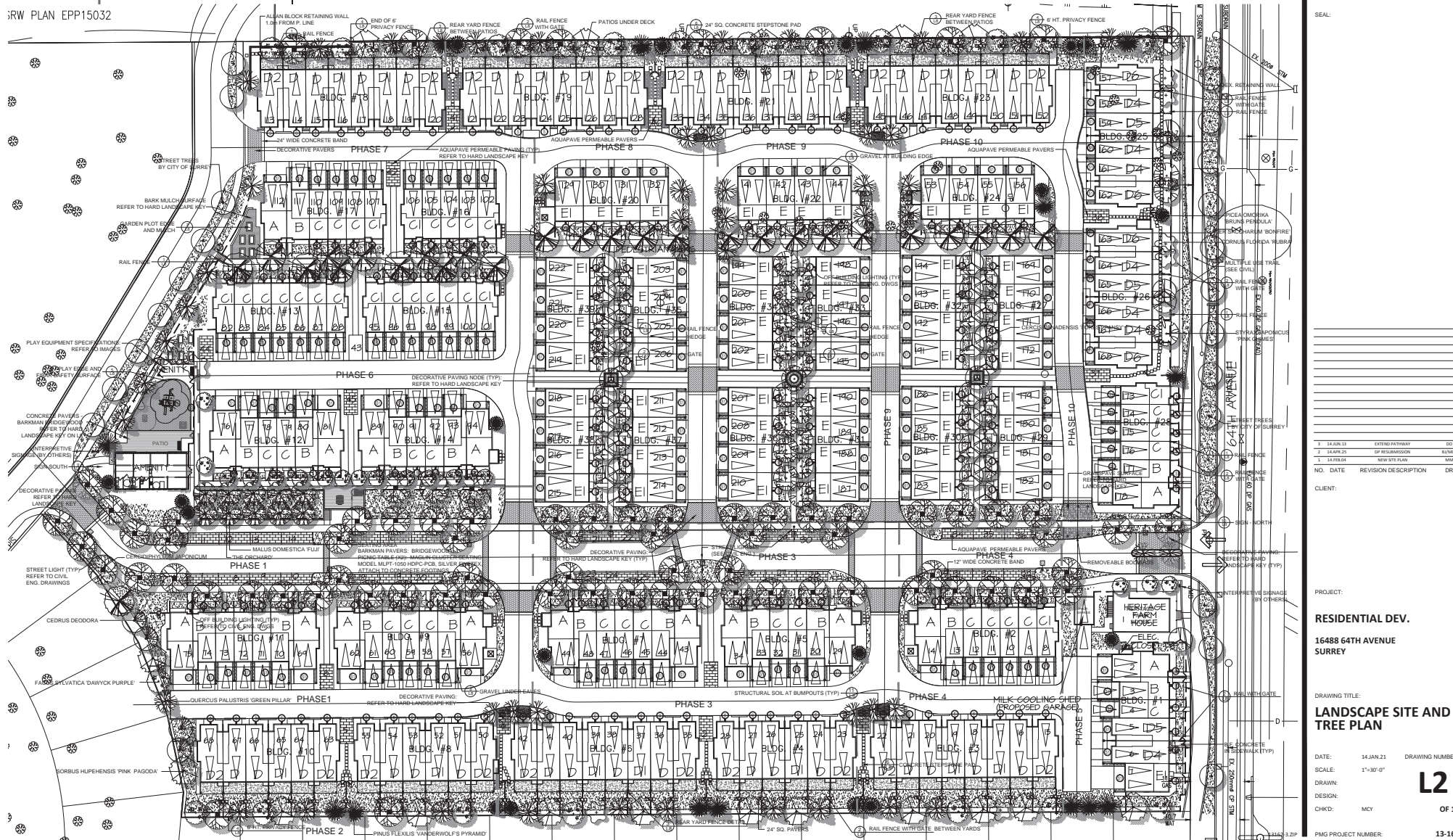
KEY	QTY	BOTANICAL NAME	COMMON NAME	TOTAL TREE COUNTS	PLANTED SIZE / REMARKS
27		ACER SACCHARINUM BONIFRE	BONIFRE SUGAR MAPLE		6CM CAL. 2M STD. BAB
4		CERISUS DODDORA	BIRCHAYAN CHERRY		2.5M HT. BAB
78		CERIDOPHYLLUM JAPONICUM	NATSURA TREE		6CM CAL. 1.8M STD. BAB
36		CERISUS CANADENSIS FOREST PANSY	FOREST PANSY REDBUD		6CM CAL. BAB
8		CORNUS FLORIDA RUBRA	PINK FLOWERING DOGWOOD		2.5M HT. BAB
34		FAGUS SYLVATICA DAWYCK PURPLE	DAWYCK PURPLE BEECH		6CM CAL. BAB
13		MALUS DOMESTICA FLAP	FLAP APPLE		6CM CAL. 1.5M STD. BAB
18		PICEA OMBRIKA BRUNG PENDULA	WEEPING BRUNG BERBERIAN SPRUCE		2.5M HT. BAB

**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	TOTAL TREE COUNTS	PLANTED SIZE / REMARKS
14		PNUS FLEXILIS VANDERWOLF'S PYRAMID	VANDERWOLF'S PYRAMIDAL LEMBER PINE		3M HT. BAB
50		QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN ASH		6CM CAL. 1.8M STD. BAB
17		SORBUS HUPHENSIS PINK PAGODA'	PINK PAGODA MOUNTAIN ASH		6CM CAL. 1.8M STD. BAB
NA		STREET TREES BY CITY OF SURREY	NA		NA
20		STYRAJ JAPONICUS PINK CHERRY	PINK FLOWERED JAPANESE SNOWBELL		6CM CAL. 1.5M STD. BAB

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \*\*\* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PRASER VALLEY. SUBSTITUTIONS OTHER THAN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

IRW PLAN EPP15032



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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p. 604 294-0011 - f. 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	14 JUN 13	EXTING PATHWAY	SCV
2	14 APR 25	DP REVISION	SURVEY
3	14 FEB 04	NEW SITE PLAN	MOY

CLIENT:

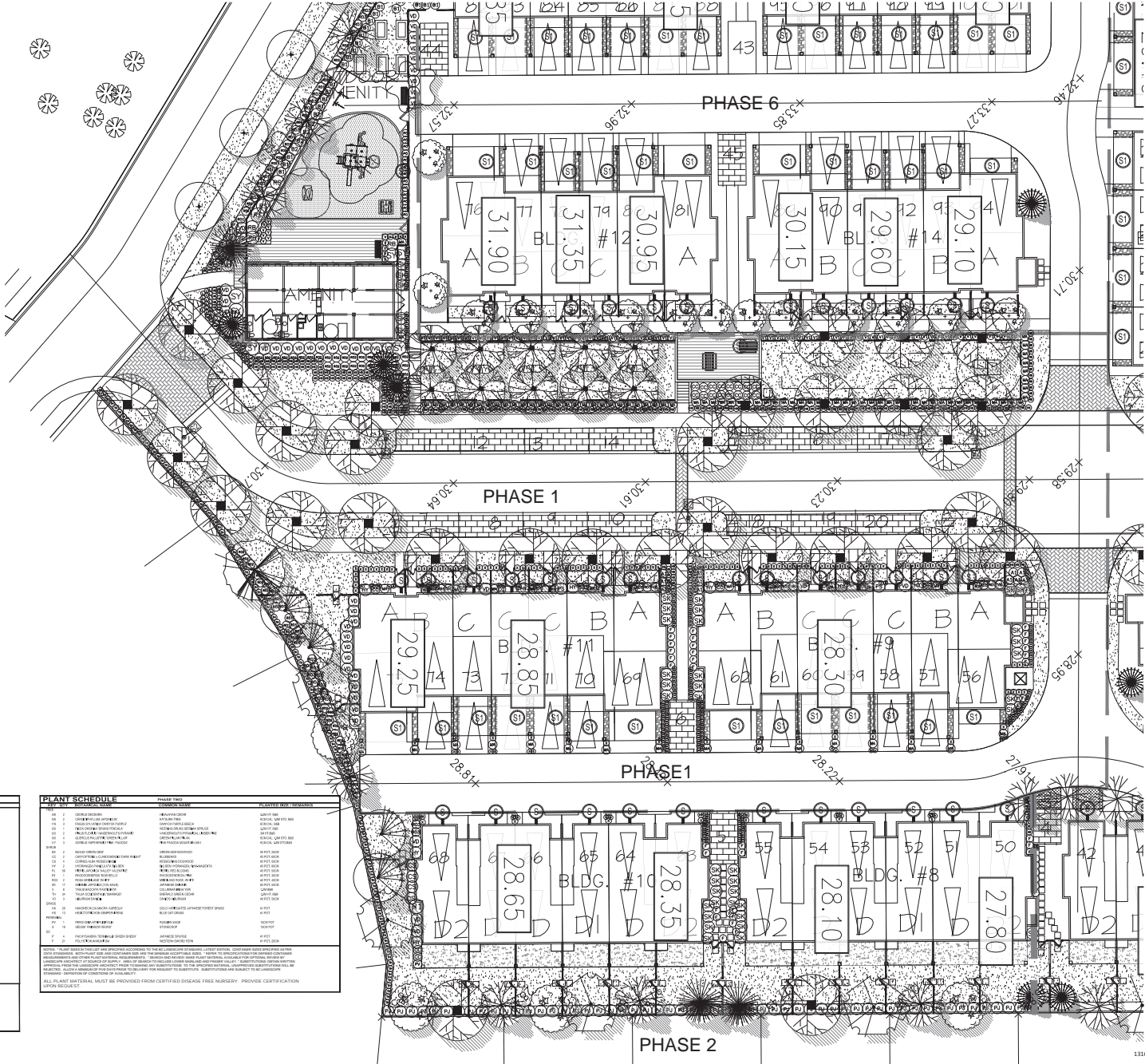
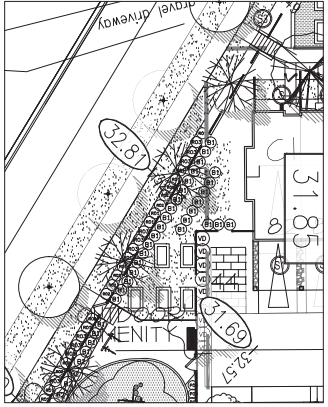
PROJECT:

**RESIDENTIAL DEV.**  
16488 64TH AVENUE  
SURREY

DRAWING TITLE:  
**LANDSCAPE SITE AND TREE PLAN**

DATE: 14 JAN 21 DRAWING NUMBER:  
SCALE: 1"=30'-0"  
DRAWN:  
DESIGN:  
CHKD: MCV OF 10

PMG PROJECT NUMBER: 13-162



PLANT SCHEDULE	PHASE ONE	PLANT SCHEDULE	PHASE TWO
NO.	DESCRIPTION	NO.	DESCRIPTION
01	SPRING PLANTING	01	SPRING PLANTING
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PLANT SCHEDULE	PHASE ONE	PLANT SCHEDULE	PHASE TWO
NO.	DESCRIPTION	NO.	DESCRIPTION
01	SPRING PLANTING	01	SPRING PLANTING
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89	...	89	...
90	...	90	...
91	...	91	...
92	...	92	...
93	...	93	...
94	...	94	...
95	...	95	...
96	...	96	...
97	...	97	...
98	...	98	...
99	...	99	...
100	...	100	...

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**pmg**  
LANDSCAPE ARCHITECTS  
Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia V5C 6G9  
p. 604 294-0011 f. 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	14 FEB 04	NEW SITE PLAN	MCY
2	14 APR 05	DP SUBMISSION	BUCKY
3	14 JUN 13	EXTENDING FOOTPRINT	MCY

PROJECT:  
**RESIDENTIAL DEV.**  
16488 64TH AVENUE  
SURREY

DRAWING TITLE:  
**PHASES 1 & 2  
SHRUB PLAN**

DATE: 14 JAN 21 DRAWING NUMBER:  
SCALE: 1/16"=1'-0"  
DRAWN: **L3**  
DESIGN:  
CHKD: MCY OF 10

PMG PROJECT NUMBER: 131-162

13152-3.2P







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**pmg**  
LANDSCAPE ARCHITECTS

Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p. 604 294-0011, f. 604 294-0022

SEAL:

3	14 APR 25	DP RESUBMISSION	BUSV
1	14 FEB 04	NEW SITE PLAN	MU
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**RESIDENTIAL DEV.**  
64TH AVENUE  
SURREY

DRAWING TITLE:

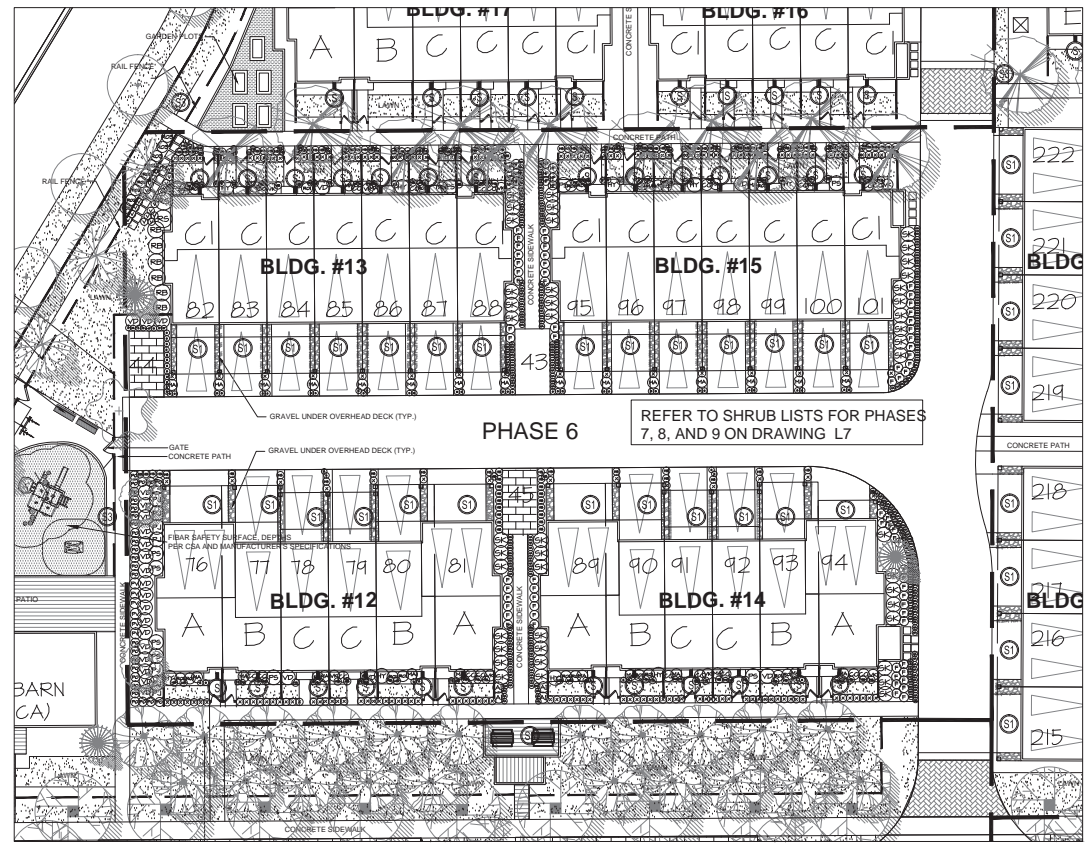
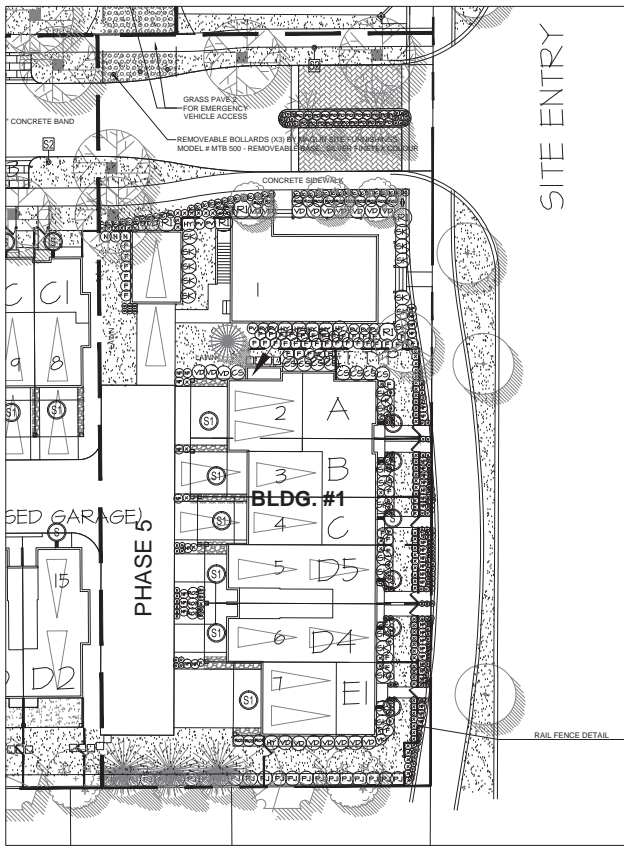
**PHASES 5 & 6  
SHRUB PLAN**

DATE: 14 JAN 21 DRAWING NUMBER:  
SCALE: 1/16" = 1'-0"  
DRAWN:  
DESIGN:  
CHKD: MCV **L5**  
OF 10

PMG PROJECT NUMBER: 13-162

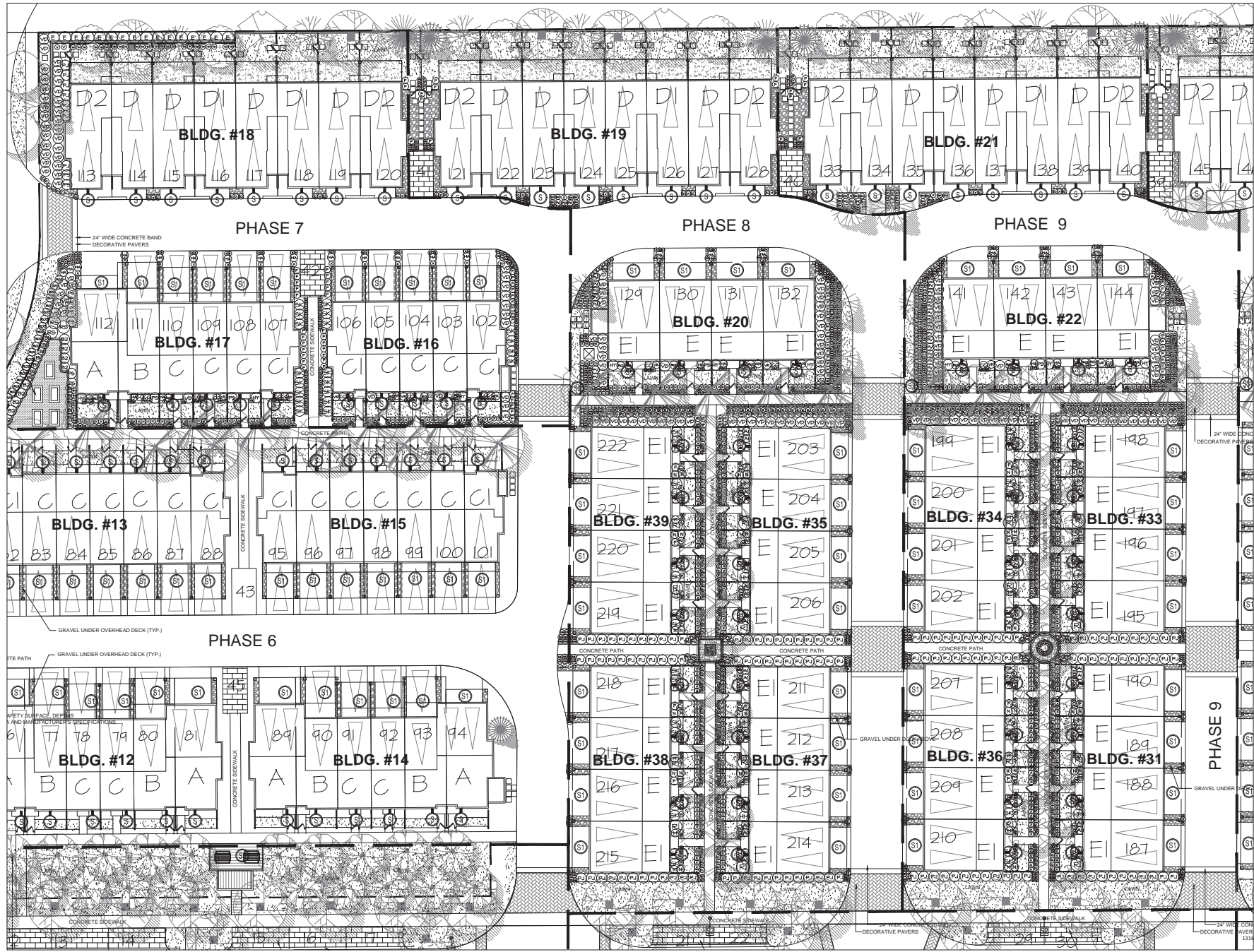
PLANT SCHEDULE	PLANT CODE	PLANT NAME	PLANT SIZE	PLANT CODE	PLANT NAME	PLANT SIZE
1	1	GRASS PAVEMENT	10' x 10'	1	GRASS PAVEMENT	10' x 10'
2	2	CONCRETE SIDEWALK	4' x 4'	2	CONCRETE SIDEWALK	4' x 4'
3	3	GRAVEL UNDER OVERHEAD DECK	10' x 10'	3	GRAVEL UNDER OVERHEAD DECK	10' x 10'
4	4	CONCRETE SIDEWALK	4' x 4'	4	CONCRETE SIDEWALK	4' x 4'
5	5	GRAVEL UNDER OVERHEAD DECK	10' x 10'	5	GRAVEL UNDER OVERHEAD DECK	10' x 10'
6	6	CONCRETE SIDEWALK	4' x 4'	6	CONCRETE SIDEWALK	4' x 4'
7	7	GRAVEL UNDER OVERHEAD DECK	10' x 10'	7	GRAVEL UNDER OVERHEAD DECK	10' x 10'
8	8	CONCRETE SIDEWALK	4' x 4'	8	CONCRETE SIDEWALK	4' x 4'
9	9	GRAVEL UNDER OVERHEAD DECK	10' x 10'	9	GRAVEL UNDER OVERHEAD DECK	10' x 10'
10	10	CONCRETE SIDEWALK	4' x 4'	10	CONCRETE SIDEWALK	4' x 4'
11	11	GRAVEL UNDER OVERHEAD DECK	10' x 10'	11	GRAVEL UNDER OVERHEAD DECK	10' x 10'
12	12	CONCRETE SIDEWALK	4' x 4'	12	CONCRETE SIDEWALK	4' x 4'
13	13	GRAVEL UNDER OVERHEAD DECK	10' x 10'	13	GRAVEL UNDER OVERHEAD DECK	10' x 10'
14	14	CONCRETE SIDEWALK	4' x 4'	14	CONCRETE SIDEWALK	4' x 4'
15	15	GRAVEL UNDER OVERHEAD DECK	10' x 10'	15	GRAVEL UNDER OVERHEAD DECK	10' x 10'
16	16	CONCRETE SIDEWALK	4' x 4'	16	CONCRETE SIDEWALK	4' x 4'
17	17	GRAVEL UNDER OVERHEAD DECK	10' x 10'	17	GRAVEL UNDER OVERHEAD DECK	10' x 10'
18	18	CONCRETE SIDEWALK	4' x 4'	18	CONCRETE SIDEWALK	4' x 4'
19	19	GRAVEL UNDER OVERHEAD DECK	10' x 10'	19	GRAVEL UNDER OVERHEAD DECK	10' x 10'
20	20	CONCRETE SIDEWALK	4' x 4'	20	CONCRETE SIDEWALK	4' x 4'
21	21	GRAVEL UNDER OVERHEAD DECK	10' x 10'	21	GRAVEL UNDER OVERHEAD DECK	10' x 10'
22	22	CONCRETE SIDEWALK	4' x 4'	22	CONCRETE SIDEWALK	4' x 4'
23	23	GRAVEL UNDER OVERHEAD DECK	10' x 10'	23	GRAVEL UNDER OVERHEAD DECK	10' x 10'
24	24	CONCRETE SIDEWALK	4' x 4'	24	CONCRETE SIDEWALK	4' x 4'
25	25	GRAVEL UNDER OVERHEAD DECK	10' x 10'	25	GRAVEL UNDER OVERHEAD DECK	10' x 10'
26	26	CONCRETE SIDEWALK	4' x 4'	26	CONCRETE SIDEWALK	4' x 4'
27	27	GRAVEL UNDER OVERHEAD DECK	10' x 10'	27	GRAVEL UNDER OVERHEAD DECK	10' x 10'
28	28	CONCRETE SIDEWALK	4' x 4'	28	CONCRETE SIDEWALK	4' x 4'
29	29	GRAVEL UNDER OVERHEAD DECK	10' x 10'	29	GRAVEL UNDER OVERHEAD DECK	10' x 10'
30	30	CONCRETE SIDEWALK	4' x 4'	30	CONCRETE SIDEWALK	4' x 4'

PLANT SCHEDULE	PLANT CODE	PLANT NAME	PLANT SIZE	PLANT CODE	PLANT NAME	PLANT SIZE
31	31	GRAVEL UNDER OVERHEAD DECK	10' x 10'	31	GRAVEL UNDER OVERHEAD DECK	10' x 10'
32	32	CONCRETE SIDEWALK	4' x 4'	32	CONCRETE SIDEWALK	4' x 4'
33	33	GRAVEL UNDER OVERHEAD DECK	10' x 10'	33	GRAVEL UNDER OVERHEAD DECK	10' x 10'
34	34	CONCRETE SIDEWALK	4' x 4'	34	CONCRETE SIDEWALK	4' x 4'
35	35	GRAVEL UNDER OVERHEAD DECK	10' x 10'	35	GRAVEL UNDER OVERHEAD DECK	10' x 10'
36	36	CONCRETE SIDEWALK	4' x 4'	36	CONCRETE SIDEWALK	4' x 4'
37	37	GRAVEL UNDER OVERHEAD DECK	10' x 10'	37	GRAVEL UNDER OVERHEAD DECK	10' x 10'
38	38	CONCRETE SIDEWALK	4' x 4'	38	CONCRETE SIDEWALK	4' x 4'
39	39	GRAVEL UNDER OVERHEAD DECK	10' x 10'	39	GRAVEL UNDER OVERHEAD DECK	10' x 10'
40	40	CONCRETE SIDEWALK	4' x 4'	40	CONCRETE SIDEWALK	4' x 4'
41	41	GRAVEL UNDER OVERHEAD DECK	10' x 10'	41	GRAVEL UNDER OVERHEAD DECK	10' x 10'
42	42	CONCRETE SIDEWALK	4' x 4'	42	CONCRETE SIDEWALK	4' x 4'
43	43	GRAVEL UNDER OVERHEAD DECK	10' x 10'	43	GRAVEL UNDER OVERHEAD DECK	10' x 10'
44	44	CONCRETE SIDEWALK	4' x 4'	44	CONCRETE SIDEWALK	4' x 4'
45	45	GRAVEL UNDER OVERHEAD DECK	10' x 10'	45	GRAVEL UNDER OVERHEAD DECK	10' x 10'
46	46	CONCRETE SIDEWALK	4' x 4'	46	CONCRETE SIDEWALK	4' x 4'
47	47	GRAVEL UNDER OVERHEAD DECK	10' x 10'	47	GRAVEL UNDER OVERHEAD DECK	10' x 10'
48	48	CONCRETE SIDEWALK	4' x 4'	48	CONCRETE SIDEWALK	4' x 4'
49	49	GRAVEL UNDER OVERHEAD DECK	10' x 10'	49	GRAVEL UNDER OVERHEAD DECK	10' x 10'
50	50	CONCRETE SIDEWALK	4' x 4'	50	CONCRETE SIDEWALK	4' x 4'



13162-28.ZIP

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.

3	14 APR 25	DP RESUBMISSION	BUNCY
1	14 FEB 04	NEW SITE PLAN	MAU
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:  
**RESIDENTIAL DEV.**  
64TH AVENUE  
SURREY

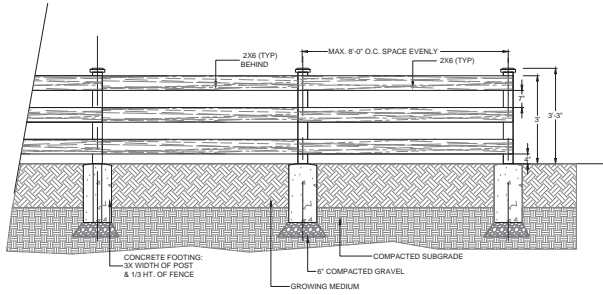
DRAWING TITLE:  
**PHASES 7, 8 & 9  
SHRUB PLAN**

DATE: 14 JAN 21 DRAWING NUMBER:  
SCALE: 1/16" = 1' 0"  
DRAWN:  
DESIGN:  
CHKD: MCY OF 10

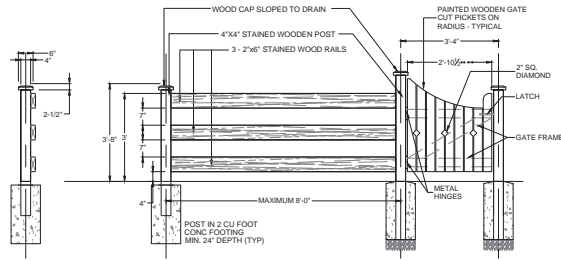
PMG PROJECT NUMBER: 131-12-28-ZIP 13-162

**L6**



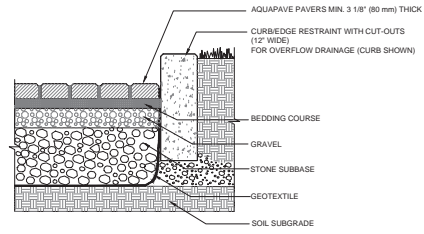


1 RAIL FENCE  
 $\frac{1}{2}" = 1'-0"$



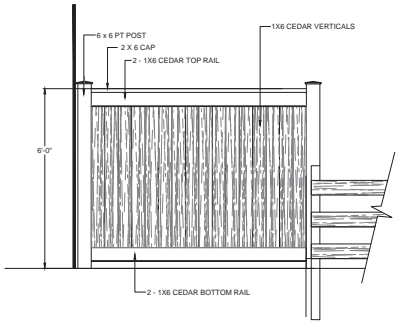
ALL LUMBER TO BE CEDAR NO. 2 OR BETTER.  
 ALL HARDWARE MUST BE GALVANIZED OR ACO APPROVED.  
 STAIN COLOUR TO BE CHOSEN BY OWNER/ARCHITECT. PROVIDE SAMPLE.

2 RAIL FENCE WITH GATE DETAIL  
 $\frac{1}{2}" = 1'-0"$

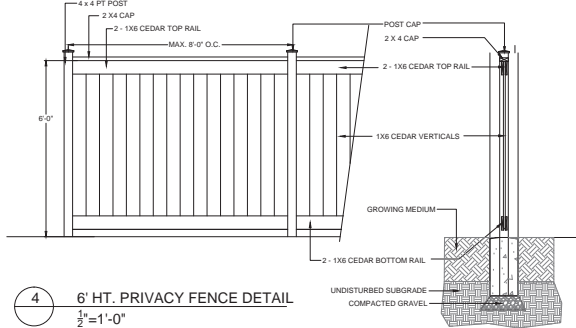


NOTES:  
 1. REFER TO PAVING MANUFACTURER'S INSTALLATION SPECIFICATIONS.  
 2. REFER TO CIVIL ENGINEER'S DRAWINGS FOR STRUCTURAL SPECIFICATIONS.

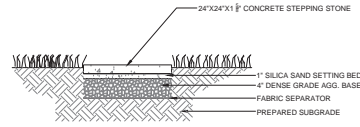
11 STRUCTURAL SOIL AT BUMPOUT  
 $1" = 1'-0"$



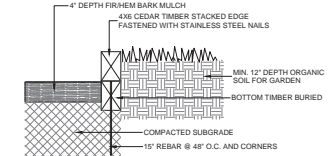
3 REAR YARD FENCE DETAIL  
 $\frac{1}{2}" = 1'-0"$



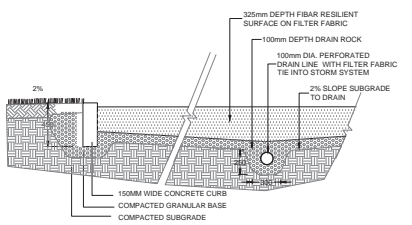
4 6' HT. PRIVACY FENCE DETAIL  
 $\frac{1}{2}" = 1'-0"$



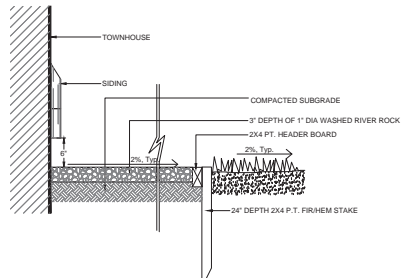
6 CONCRETE STEP STONE PAD  
 $1" = 1'-0"$



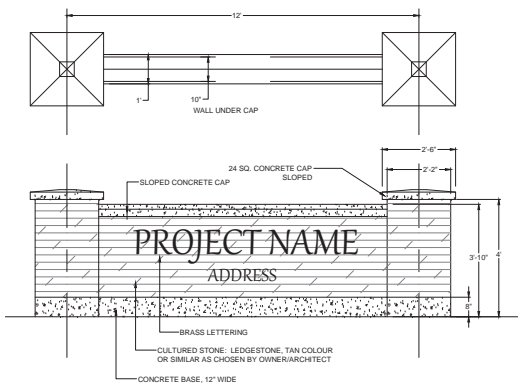
7 GARDEN PLOT EDGE AND MULCH  
 $1" = 1'-0"$



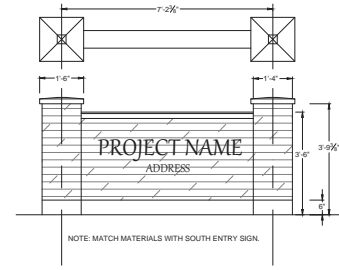
5 PLAY EDGE AND SAFETY SURFACE  
 $\frac{1}{2}" = 1'-0"$



8 GRAVEL AT BUILDING EDGE  
 $1" = 1'-0"$



9 SOUTH ENTRY SIGN  
 $\frac{1}{2}" = 1'-0"$



10 NORTH ENTRY SIGN  
 $\frac{1}{2}" = 1'-0"$

SEAL:


3	14 APR 25	DP RESUBMISSION	BUYU
1	14 FEB 04	NEW SITE PLAN	MM
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**RESIDENTIAL DEV.**  
 64TH AVENUE  
 SURREY

DRAWING TITLE:  
**DETAILS**

DATE: 14 JAN 28 DRAWING NUMBER:  
 SCALE: AS NOTED **L8**  
 DRAWN: MM  
 DESIGN: MM  
 CHK'D: MCV **OF 10**

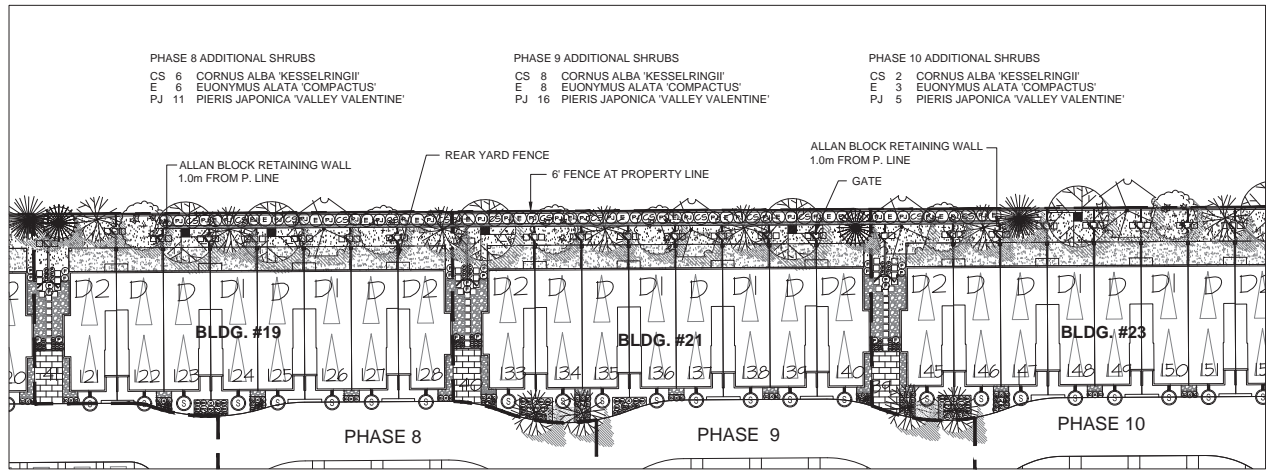


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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p. 604-294-0011 f. 604-294-0022

SEAL:



**OPTION A: LANDSCAPE AND SHRUB LAYOUT ON WEST PROPERTY LINE, IN PHASES 8, 9, AND 10**


NO.	DATE	REVISION DESCRIPTION	DR.
1	14.FEB.04	NEW SITE PLAN	MMJ
2	14.APR.25	DP REVISION	BL/NCY

CLIENT:

PROJECT:

**RESIDENTIAL DEV.**  
**64TH AVENUE**  
**SURREY**

DRAWING TITLE:  
**LANDSCAPE**  
**PLAN: OPTION A**

DATE: 14.APR.25 DRAWING NUMBER:  
 SCALE: 1"=20'-0"  
 DRAWN:  
 DESIGN:  
 CHK'D: **OF 10**

**L10**



June-16-14  
Planning

## THE IMPACT ON SCHOOLS

APPLICATION #: 7910 0330 00

### SUMMARY

The proposed 44 single family lots and 222 townhouse units are estimated to have the following impact on the following schools:

#### Projected # of students for this development

Elementary Students:	59
Secondary Students:	29

#### September 2013 Enrolment/School Capacity

##### A.J. McLellan Elementary

Enrolment (K/1-7):	67 K + 459
Capacity (K/1-7):	80 K + 425

##### Lord Tweedsmuir Secondary

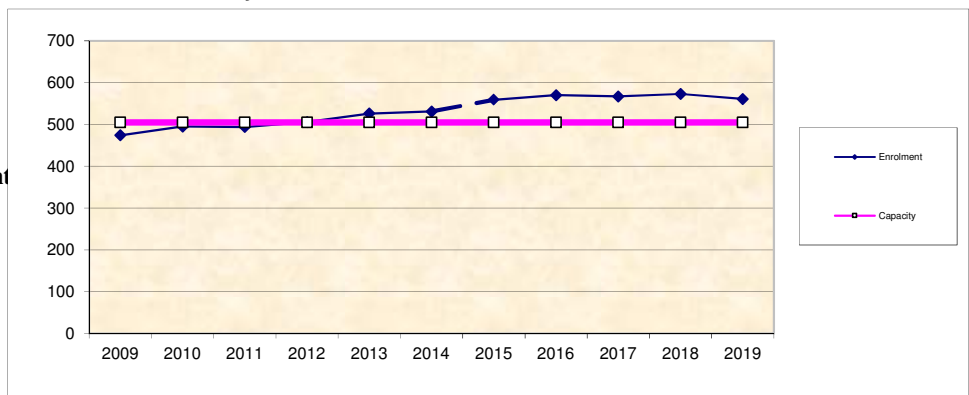
Enrolment (8-12):	1925
Capacity (8-12):	1400
Functional Capacity*(8-12):	1512

### School Enrolment Projections and Planning Update:

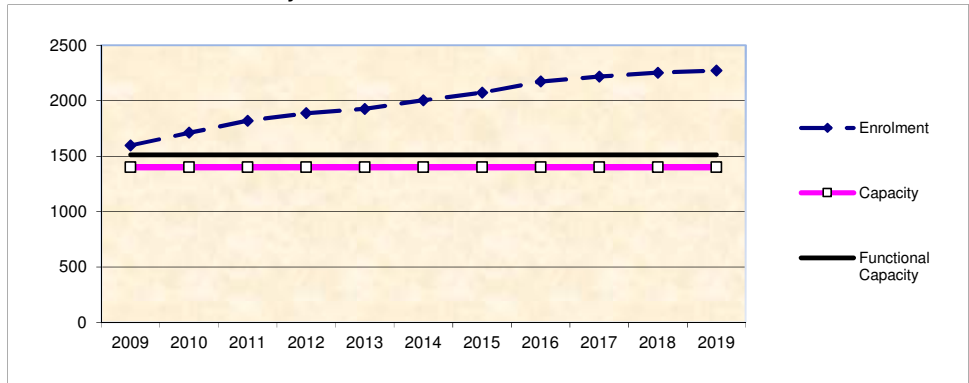
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

The capacity in shown includes an approved 8 classroom addition to AJ McLellan, with full day Kindergarten implementation, completed in 2011. The school district has kept one portable on site to accommodate growth, and anticipates that there may be 2 to 4 portables on site within four years with full residential build out of the NCP (including subject development proposal). There is a strong possibility that an addition may be required in the future, with full residential build out, but an addition has not been identified for this school in the current five year capital plan. The school district is in the process of assembling land for a future Clayton North Area secondary school site and has included a proposal to construct a new North Clayton Area secondary school as its #1 priority in its 2012-2016 Five Year Capital Plan, subject to funding approval by the Ministry. The new secondary would help relieve overcrowding at Lord Tweedsmuir and Clayton Heights. The proposed development will not have an

#### A.J. McLellan Elementary



#### Lord Tweedsmuir Secondary



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0033-00

Issued To: 0948184 BC LTD

("the Owner")

Address of Owner: 201, 12837 - 76 Avenue  
Surrey, BC V3W 2V3

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-146-526  
Lot 46 Section 12 Township 2 New Westminster District Plan EPP32879  
16488 - 64 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum front yard setback (north) is reduced from 7.5 metres (25 ft.) to 4.4 metres (14 ft.) to the building face and to 2.9 metres (10 ft.) to the porch;
  - (b) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum rear yard setback (south) is reduced from 7.5 metres (25 ft.) to 2.8 metres (9 ft.);
  - (c) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum side yard setback (west) is reduced from 7.5 metres (25 ft.) to 5.0 metres (16 ft.) to the building face and to 3.4 (11 ft.) to the deck; and
  - (d) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum side yard setback (east) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.1 metres (14 ft.) for Building 1 and to 6.5 metres (21 ft.) to the building face and to 4.9 metres (16 ft.) to the deck for Building's 3, 4, 6, 8 and 10.

4. This development variance permit applies to only the that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Dianne L. Watts

---

City Clerk – Jane Sullivan

Front yard setback (north) variance from 7.5 metres (25 ft.) to 4.4 metres (14 ft.) to the building face and to 2.9 metres (10 ft.) to the porch.

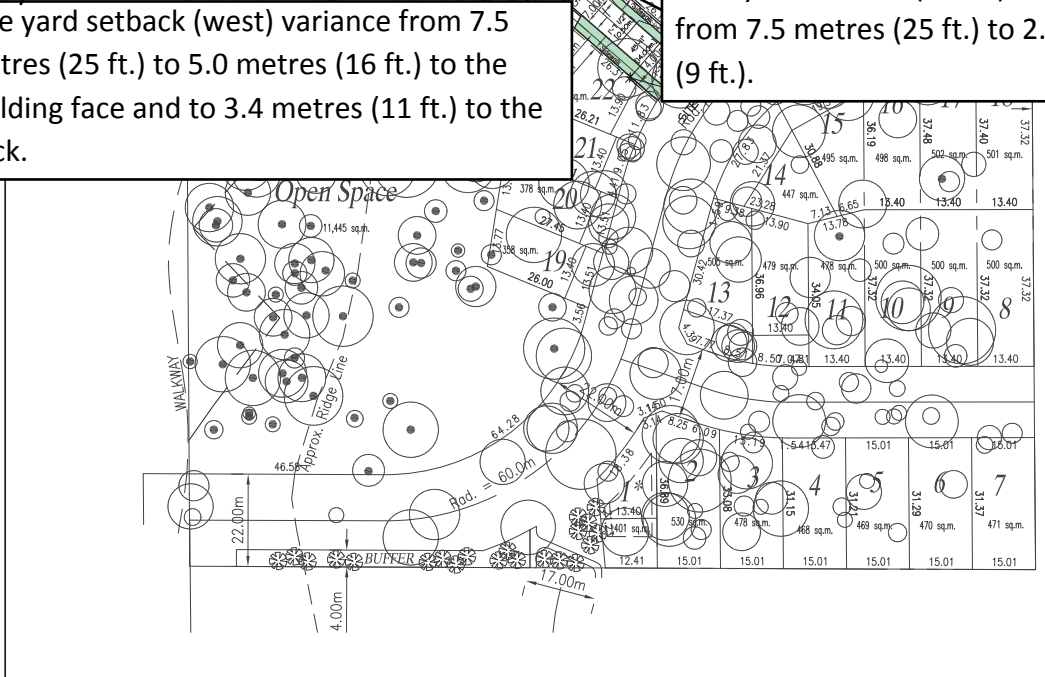
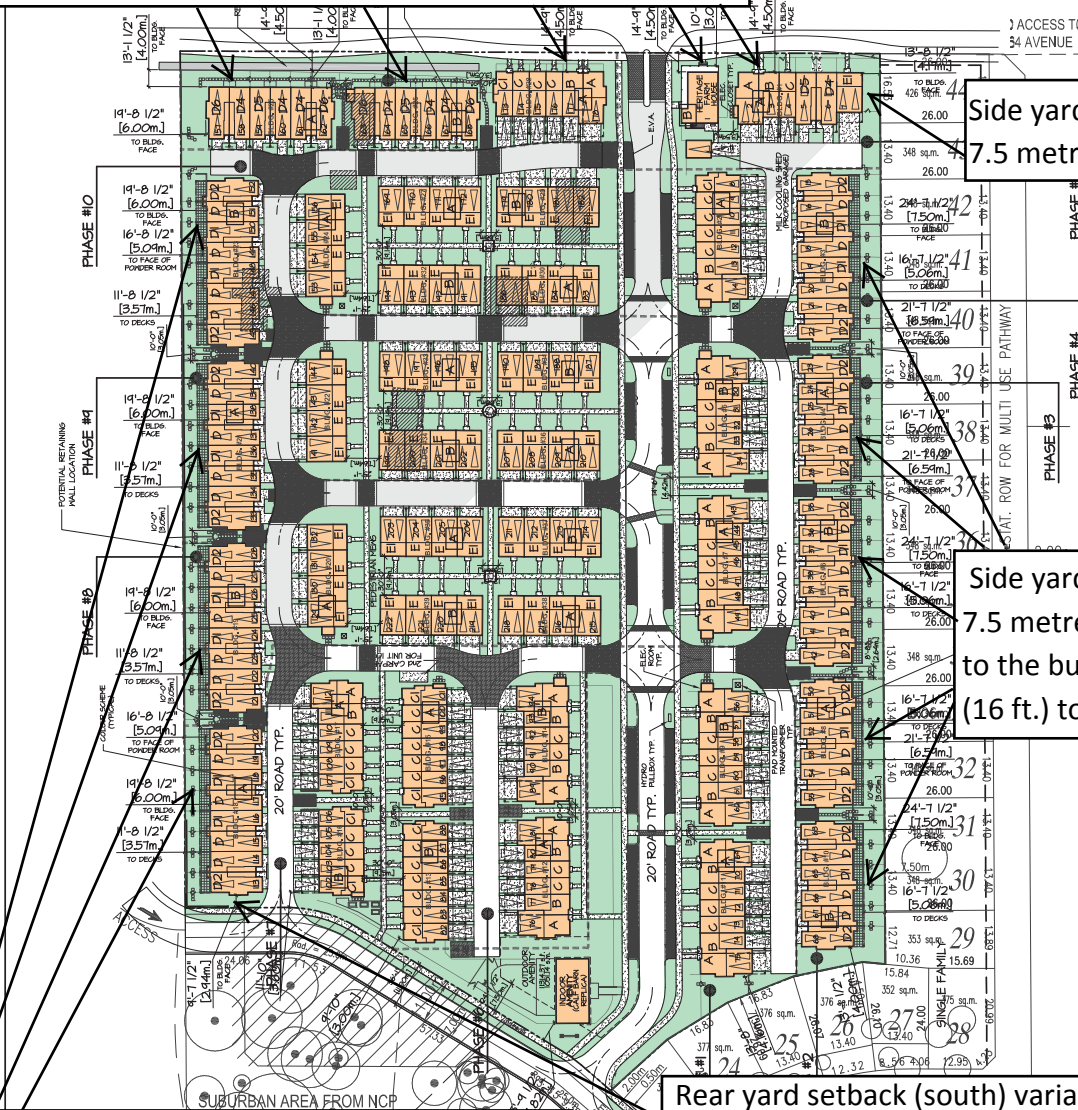
Side yard setback (east) variance from 7.5 metres (25 ft.) to 4.1 metres (14 ft.).

Side yard setback (east) variance from 7.5 metres (25 ft.) to 6.5 metres (21 ft.) to the building face and to 4.9 metres (16 ft.) to the deck.

Side yard setback (west) variance from 7.5 metres (25 ft.) to 5.0 metres (16 ft.) to the building face and to 3.4 metres (11 ft.) to the deck.

Rear yard setback (south) variance from 7.5 metres (25 ft.) to 2.8 metres (9 ft.).

**CONCEPTUAL SITE PLAN**  
 SHEET CONTENTS:  
 AND DEVELOPMENT DATA  
 SCALE: 1" = 30'-0"  
 DATE: JUNE 11, 14  
 PROJECT: HENRY ROSE FARM  
 64TH AVENUE, SURREY  
 CLIENT: PLATINUM GROUP  
 DESIGN: **bornett dembek**  
 UNIT 185, 7236 130 STREET, SURREY, B.C. V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@bornettdembek.com  
 SHEET NO. AC-1.0  
 CLIENT NO. 466  
 PROJECT NO. 11038  
 REV. NO.



**DEVELOPMENT DATA**

ZONING:	RM-30
SITE AREA:	386,804 S.F. (8,875 m <sup>2</sup> )
DENSITY:	3.4 U/P/AC (8 U/P/AC)
PROPOSED:	27 UNITS (60 U/P/AC)
F.A.R.:	344 U/P/AC (80 U/P/AC)
ALLOWABLE:	357,214.0 S.F. (33,086.0 S.F.)
PROPOSED:	330,880.0 S.F. (30,703.3 m <sup>2</sup> )
SITE COVERAGE:	18,607.0 S.F. (1,716.7 m <sup>2</sup> )
ALLOWABLE:	174,978.8 S.F. (16,253.3 m <sup>2</sup> )
PROPOSED:	174,978.8 S.F. (16,253.3 m <sup>2</sup> )
INDOOR:	71,706 S.F. (6,621 m <sup>2</sup> )
REQUIRED:	13,520 S.F. (1,251 m <sup>2</sup> )
PROVIDED:	71,706 S.F. (6,621 m <sup>2</sup> )
OUTDOOR:	11,314 S.F. (1,051 m <sup>2</sup> )
REQUIRED:	440 RESIDENT (FARM HOUSE)
PROVIDED:	444 RESIDENTS (FARM HOUSE)
PARKING:	2 UNIT (444 VISITORS)
REQUIRED:	444 VISITORS
PROVIDED:	444 VISITORS
TOTAL:	2 UNIT (444 VISITORS)
TOTAL:	444 VISITORS

UNIT BREAKDOWN:	1,249 x 16 UNITS	19,280 S.F.
UNIT A:	1,249 x 16 UNITS	19,280 S.F.
UNIT B:	1,249 x 16 UNITS	19,280 S.F.
UNIT C:	1,249 x 16 UNITS	19,280 S.F.
UNIT D:	1,249 x 16 UNITS	19,280 S.F.
UNIT E:	1,249 x 16 UNITS	19,280 S.F.
UNIT F:	1,249 x 16 UNITS	19,280 S.F.
UNIT G:	1,249 x 16 UNITS	19,280 S.F.
UNIT H:	1,249 x 16 UNITS	19,280 S.F.
UNIT I:	1,249 x 16 UNITS	19,280 S.F.
UNIT J:	1,249 x 16 UNITS	19,280 S.F.
UNIT K:	1,249 x 16 UNITS	19,280 S.F.
UNIT L:	1,249 x 16 UNITS	19,280 S.F.
UNIT M:	1,249 x 16 UNITS	19,280 S.F.
UNIT N:	1,249 x 16 UNITS	19,280 S.F.
UNIT O:	1,249 x 16 UNITS	19,280 S.F.
UNIT P:	1,249 x 16 UNITS	19,280 S.F.
UNIT Q:	1,249 x 16 UNITS	19,280 S.F.
UNIT R:	1,249 x 16 UNITS	19,280 S.F.
UNIT S:	1,249 x 16 UNITS	19,280 S.F.
UNIT T:	1,249 x 16 UNITS	19,280 S.F.
UNIT U:	1,249 x 16 UNITS	19,280 S.F.
UNIT V:	1,249 x 16 UNITS	19,280 S.F.
UNIT W:	1,249 x 16 UNITS	19,280 S.F.
UNIT X:	1,249 x 16 UNITS	19,280 S.F.
UNIT Y:	1,249 x 16 UNITS	19,280 S.F.
UNIT Z:	1,249 x 16 UNITS	19,280 S.F.
HERITAGE FARMS/RESIDUALS:	1,249 x 16 UNITS	19,280 S.F.
ELECTRICAL ROOMS, ETC.:	1,249 x 16 UNITS	19,280 S.F.
TOTAL:	27 UNITS	330,880 S.F.
TOTAL (INCLUDES HERITAGE FARM HOUSE):	27 UNITS	310,928 S.F.

NOTE: INTER-AMENITY AREA NOT INCLUDED IN F.A.R. CALCULATION AS PER ZONING BY LAW.



# Surrey Heritage Advisory Commission – Minutes

2E - Community Room B  
City Hall  
13450 - 104 Avenue  
Surrey, B.C.  
WEDNESDAY, APRIL 23, 2014  
Time: 6:00 pm

**Present:**

Chair - Councillor Steele  
Vice Chair - L. Tannen  
R. Hart  
B. Hol  
P. Priddy

**Absent:**

S. Thomas

**Guests:**

Ellen Edwards, Surrey Historical Society

**Staff Present:**

E. Schultz, Planning & Development  
J. O'Donnell, Parks, Recreation & Culture  
L. Saffery, Parks, Recreation & Culture  
K. Tiede, Transportation Planning  
K. Grewal, Finance & Technology  
Heather Kamitakahara, Planner  
H. Dmytriw, Legislative Services

**E. NEW BUSINESS**

**2. PLANNING & DEVELOPMENT**

- (a) **Bose Farm (16488-64 Avenue) –  
Proposed Heritage Revitalization Agreement Amendment  
Henry Bose Farmhouse and Milk Cooling Shed**  
File: 6800-10

The memorandum from the Manager of Area Planning and Development, dated April 14, 2014, regarding the subject line, was reviewed. It was noted that there are no proposed changes to the development proposal or the conservation plan for this property. A Heritage Revitalization Agreement (HRA) Amendment is required to allow the Henry Bose Farmhouse to be retained and restored for use as a residential unit, and the Milk Cooling Shed to be retained and restored for use as an accessory building (a single-car garage) under the existing Multiple Residential 30 (RM-30) Zoning.

It is recommended that the Surrey Heritage Advisory Commission (SHAC):

1. Receive this memo as information;
2. Provide comments on proposed amendments (Appendix II in report) to Heritage Revitalization Agreement (HRA) By-law, 2013, No. 17885; and
3. Recommend to the General Manager, Planning and Development that once outstanding issues, including legal review, are resolved to staff's satisfaction, the proposed amendments to HRA By-law, 2013, No. 17885 be forwarded to Council for consideration.

It was Moved by Commissioner Hart  
Seconded by Commissioner Hol  
That the Surrey Heritage Advisory Commission

recommends that:

1. The report from the Manager of Area Planning and Development, dated April 14, 2014, entitled "Bose Farm Proposed Heritage Revitalization Agreement Amendment for the Henry Bose Farmhouse and Milk Cooling Shed" (attached as **Schedule B**), be received as information; and
2. That once outstanding issues, including legal review, are resolved to staff's satisfaction, the proposed amendments to HRA By-Law, 2013, No. 17885 be forwarded to Council for consideration.

Carried

## L. ADJOURNMENT

It was Moved by Commissioner Tannen  
Seconded by Commissioner Hol  
That the Surrey Heritage Advisory Commission  
meeting do now adjourn.

Carried

The Surrey Heritage Advisory Commission adjourned at 7:30 pm.

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Jane Sullivan, City Clerk

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Chairperson, Councillor Steele  
Surrey Heritage Advisory Commission

CITY OF SURREY

BY-LAW NO.

A by-law to amend the provisions of "City of Surrey Heritage Revitalization Agreement By-law, 2013, No. 17885."  
.....

The Council of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. The City is authorized to enter into an amendment to the heritage revitalization agreement authorized by "Surrey Heritage Revitalization Agreement By-law, 2013, No. 17885" regarding certain lands and premises located within the City of Surrey and more particularly known and described as:

Parcel Identifier: 029-146-526  
Lot 46 Section 12 Township 2 New Westminster District Plan EPP32879  
16488 64 Avenue

(The "Heritage Revitalization Agreement").

- 2. The terms and conditions of the amending agreement (the "Amending Agreement") are attached to and form part of this By-law as Schedule "1", and the Amending Agreement becomes an addition to the Heritage Revitalization Agreement.
- 3. The Mayor and Clerk are authorized on behalf of the City to sign the Amending Agreement and to do all acts necessary and incidental to the completion of the Amending Agreement.
- 4. This By-law shall be cited for all purposes as "City of Surrey Heritage Revitalization Agreement By-law, 2013, No. 17885, Amendment By-law, 2014, No. \_\_\_\_\_".

PASSED FIRST AND SECOND READINGS on the \_\_\_\_\_ day of \_\_\_\_\_, 2014.

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ day of \_\_\_\_\_, 2014

PASSED THIRD READING on the \_\_\_\_\_ day of \_\_\_\_\_, 2014.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_MAYOR

\_\_\_\_\_CLERK

**SCHEDULE 1**

**SURREY HERITAGE REVITALIZATION AGREEMENT  
BOSE FARM – HENRY BOSE FARMHOUSE AND MILK COOLING SHED  
AMENDING AGREEMENT**

**THIS AGREEMENT** dated for reference the \_\_\_\_ day of \_\_\_\_\_, 2014.

**BETWEEN:**

**CITY OF SURREY**  
13450 104 Avenue  
Surrey, BC, V3T 1V8

(the "City")

**OF THE FIRST PART**

**AND:**

**0948184 B.C. LTD., INC.NO. 0948184**  
Suite 201 12837 76 Avenue  
Surrey, BC, V3W 2V3

(the "Owner")

**OF THE SECOND PART**

**WHEREAS:**

- A. The City and 0948184 B.C. LTD., INC.NO. 0948184 (the "Owner") entered into a Heritage Revitalization Agreement dated for reference July 29, 2013 (the "Agreement") for the relocation, conservation, restoration, maintenance, and protection of the Lands, including the Henry Bose Farmhouse (the "Farmhouse") and Milk Cooling Shed (the "Shed"), as more particularly described in the Agreement;
- B. Each capitalized term not otherwise defined herein shall have the meaning ascribed to it in the Agreement;
- C. The City and the Owner wish to amend the terms of the Agreement to allow the Farmhouse to be used as a single family dwelling.

**NOW THEREFORE** this Amending Agreement witnesses that in consideration of the sum of \$1.00 paid by each party to the other and other good and valuable consideration (the receipt and sufficiency of which each party hereby acknowledges), the parties hereby covenant and agree as follows:

**1. Amendments**

The Agreement is hereby amended as follows:

- 1.1. Under the recital, "WHEREAS", by inserting the following new Subsection H. after Subsection G. and making the corresponding punctuation changes to Subsections F. and G.:

H. The Lands are subject to a variance contained in Appendix "C".

- 1.2. By deleting Section 3 of the Agreement and replacing it with the following:

3. Pursuant to Section 966(2)(b) of the Local Government Act, Part 22 Multiple Residential 30 (RM-30) Zone of the Surrey Zoning By-law, 1993, No. 12000, as amended is hereby varied in respect of the Lands as set out in Appendix "C" which is incorporated into and forms part of this Agreement.

- 1.3. By inserting the following new Appendix "C" after Appendix "B" of the Agreement:

**Appendix "C"**  
**VARIATION TO BY-LAWS**

1. Section B. Permitted Uses of Part 22 Multiple Residential 30 Zone (RM-30) of Surrey Zoning By-law, 1993, No. 12000, as amended, is amended by inserting the following new Sub-section 3. after Sub-section 2.(b):

"3. *Single family dwelling.*"

**2. Due Execution**

The Owner hereby represents and warrants to the City that this Amending Agreement has been duly authorized and executed by the Owner and that the delivery of this Amending Agreement has been duly authorized by all necessary corporate action on the part of the Owner.

**3. Full Force and Effect**

The City and the Owner hereby agree that the Agreement shall hereinafter be read and construed in conjunction with this Amending Agreement and be regarded as being amended only to the extent herein provided, that all the terms, covenants, provisos, conditions and provisions of the Agreement, as amended hereby, shall continue to be in full force and effect and that nothing herein contained shall operate or be construed to modify or otherwise affect the rights and obligations created by the Agreement as amended hereby.



**4. Enurement**

This Agreement shall enure to the benefit of and be binding upon the respective successors and permitted assigns of the City and the Owner.

**5. Notice to be Filed**

Notice of this Agreement will be filed in the Land Title Office and once filed, this Agreement will be binding on all persons who acquire an interest in the Lands.

**IN WITNESS WHEREOF** the parties have executed this Amending Agreement as of the date set out above.

**CITY OF SURREY**

by its authorized signatories

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Dianne Watts  
Mayor

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Jane Sullivan  
City Clerk

**0948184 B.C. LTD., INC.NO. 0948184**  
by its authorized signatory

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