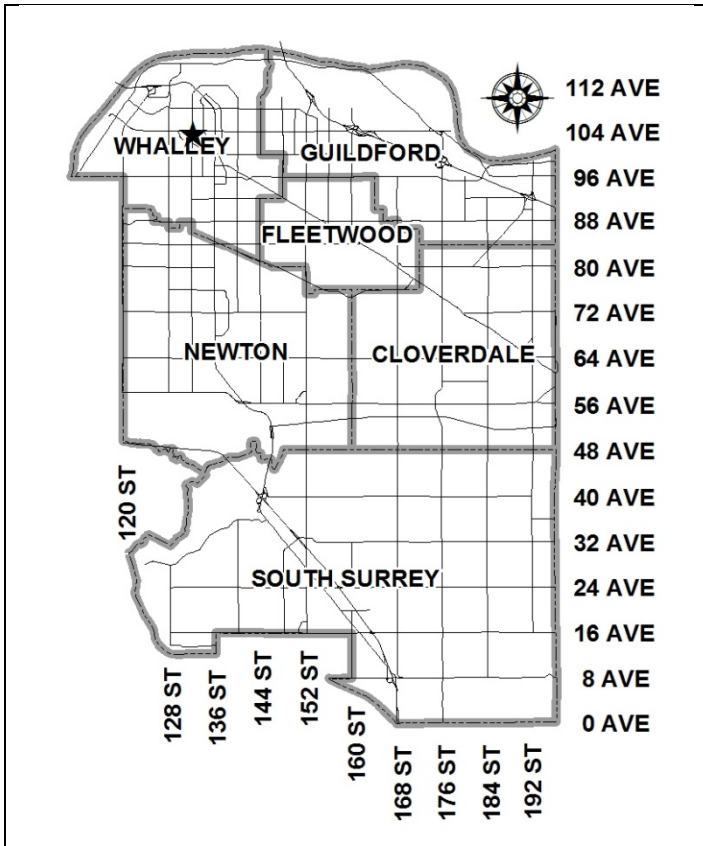


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7914-0058-00

Planning Report Date: April 14, 2014



**PROPOSAL:**

- **Temporary Commercial Use Permit**

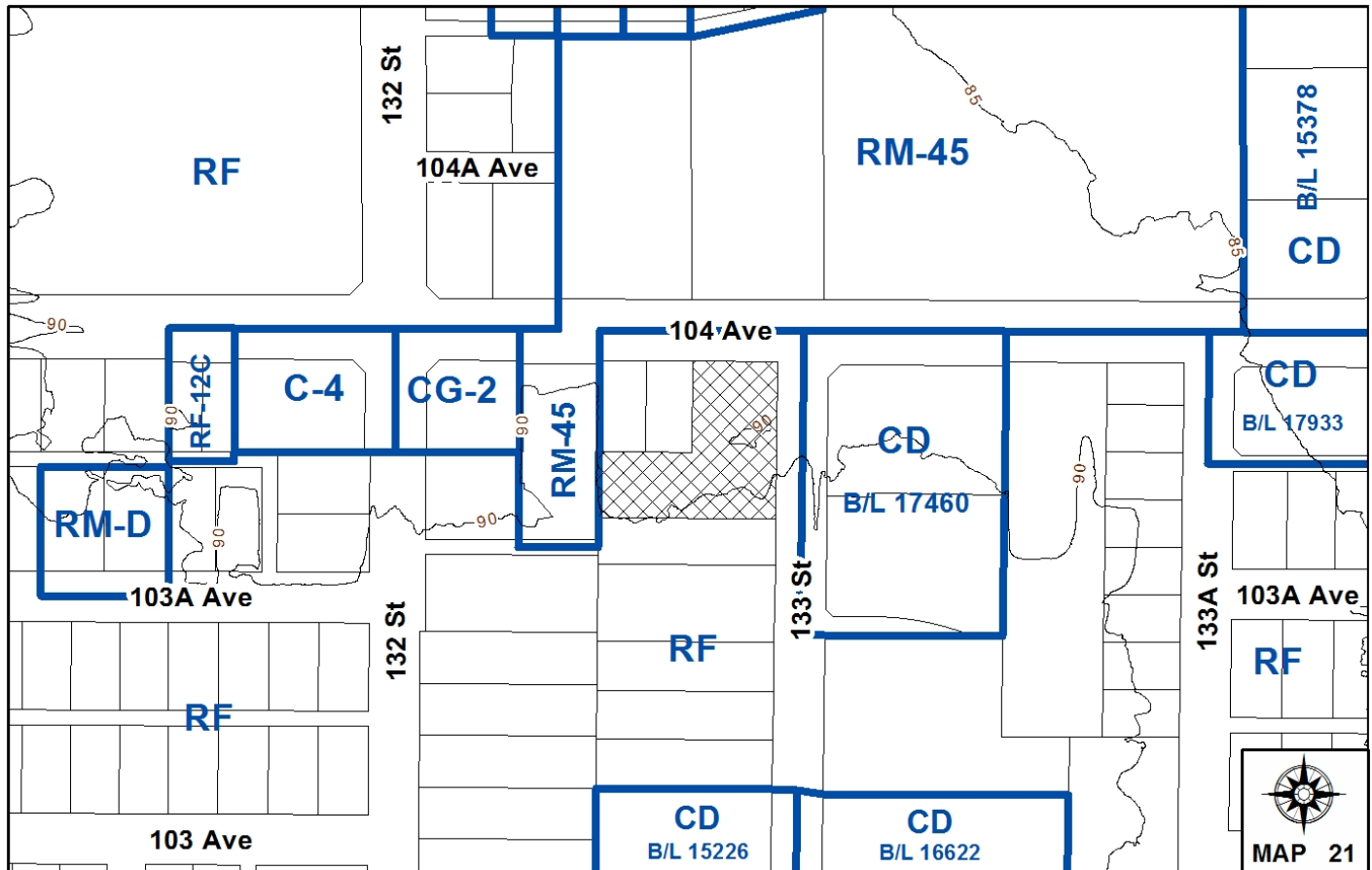
in order to renew the Temporary Commercial Use Permit of a temporary real estate sales centre for a proposed residential high-rise project in Surrey City Centre.

**LOCATION:** 10375 - 133 Street

**OWNER:** Chia H Lin

**ZONING:** RF

**OCP DESIGNATION:** Multiple Residential



RECOMMENDATION SUMMARY

- Approval for Temporary Commercial Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Temporary Commercial Use Permit No. 7911-0135-00 for a real estate sales centre was issued on July 25, 2011 and is scheduled to expire on July 25, 2014.
- The subject proposal is a 3-year extension for a temporary commercial use permit (TUP) for a real estate sales centre for the nearby proposed "Wynd" apartment project (approved Development Application No. 7911-0075-00, under construction).
- As part of the original Temporary Commercial Use Permit No. 7911-0135-00, the applicant posted a \$5,000 bond to ensure the removal of the temporary building and restoration of the site to its original condition. This bond will be transferred to the subject Development Application No. 7914-0058-00.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Commercial Use Permit No. 7914-0058-00 (Appendix III) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) submission of security to ensure that the site is restored following termination of the Temporary Commercial Use Permit.

REFERRALS

Engineering: The Engineering Department has no requirements related to the issuance of the Temporary Use Permit.

SITE CHARACTERISTICS

Existing Land Use: A single family dwelling and temporary real estate sales centre on an oversized lot, currently under application (No. 7910-0025-00) to rezone to develop a 4-storey apartment building (pre-Council).

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 104 Avenue):	Three-storey apartment building.	Multiple Residential	RM-45
East (Across 133 Street):	Two 28-storey apartment buildings approved under Development Application No. 7911-0075-00. Phase 1 is under construction.	Multiple Residential	CD By-law No. 17460.
South:	Undeveloped park site.	Multiple Residential	RF
West:	Four-storey apartment building.	Multiple Residential	RM-45

DEVELOPMENT CONSIDERATIONS

- The subject site at 10375 – 133 Street in Surrey City Centre is designated Multiple Residential under the Official Community Plan (OCP) and is zoned "Single Family Residential Zone (RF)".
- The applicant was issued Temporary Commercial Use Permit No. 7911-0135-00 on July 25, 2011 to permit the development of a temporary real estate sales centre on the site. Temporary Commercial Use Permit No. 7911-0135-00 is scheduled to expire on July 25, 2014.

- The existing temporary real estate sales centre has been used as a sales office for the first phase of a twin high-rise residential tower project, called "Wave", on the southeast corner of 104 Avenue and 133 Street.
- The applicant is proposing two additions to the west portion of the building, including modifications to the interior layout of the current real estate sales centre in order to market the second phase of their development, called "Wynd".
- The 302-square metre (3,250 sq. ft.) sales centre will contain a sales area and offices, as well as mock-ups of a two-bedroom suite and a three-bedroom suite.
- The existing TUP is scheduled to expire on July 25, 2014 and the applicant is requesting that the proposed TUP extension be valid three years beyond the expiration of the existing TUP. The applicant anticipates opening the sales centre to the public in May 2014.
- An existing surface parking lot with spaces for 3 vehicles, just south of the sales centre with access from an existing driveway on 133 Street, will continue to be used. The parking lot is surfaced with crushed gravel.
- The TUP will be in effect for three years, which should be sufficient time for the applicant to finalize the sale of all of the 227 apartment and 9 townhouse units in the second phase of development to the east.

#### PRE-NOTIFICATION

- The development proposal sign was erected on March 14, 2014, and Pre-notification letters were mailed on March 18, 2014. Staff received one response (one phone call) to the pre-notification letters (*staff comments in italics*).
  - The caller expressed concern about the removal of trees as part of this development proposal.

*(The development proposal involves minor renovations to the existing building and no trees will be removed as part of the Temporary Commercial Use Permit extension.)*

#### DESIGN PROPOSAL AND REVIEW

- The proposed sales centre is a single-storey, wood-frame building on a concrete slab foundation. The current building area is 229 square metres (2,464 sq.ft.) total building area will be 302 square metres (3,250 sq.ft.).
- The two additions, totalling 73 square metres (786 sq.ft.) are proposed at the north-west corner of the building and on the west building face, as shown in Appendix II. These additions will be screened by the undulating aluminum mesh screening (as described in the building materials description that follows).

- The original sales centre was developed to display a one-bedroom unit and a two-bedroom unit. The proposed 73 square metre (786 sq.ft.) addition to the building will allow the developer to display a two-bedroom unit and a three-bedroom unit.
- The building materials include vinyl, cedar, and corrugated metal siding.
- An undulating aluminum mesh screening (with 45% perforated openings) is affixed to the north and east façades of the building. This treatment reflects the design vocabulary of the two "Rize" (Wave and Wynd) towers under construction at 13318 – 104 Avenue and 13303 – 103A Avenue (Approved Development Application No. 7911-0075-00).
- A surface parking lot, with spaces for 3 vehicles, was constructed just south of the sales centre with access from an existing driveway on 133 Street.
- The parking lot is surfaced with crushed gravel.
- There is an existing dwelling on the subject site, which is screened by a solid cedar fence and hedge. The sales centre and the dwelling shares driveway access from 133 Street, each with its own parking area.
- There are a number of mature trees on the site, including a 2.50-metre (8 ft.) diameter (dbh) Giant Redwood located to the southwest of the dwelling and which will continue to be protected. The proposed modifications to the exterior of the existing sales centre building are relatively minor in nature, and should not impact any of the retained trees.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- |               |  |
|---------------|--|
| Appendix I.   | Lot Owners and Action Summary                    |
| Appendix II.  | Extent of Building Additions                     |
| Appendix III. | Temporary Commercial Use Permit No. 7914-0058-00 |

*Original signed by Judith Robertson for*  
Jean Lamontagne  
General Manager  
Planning and Development

SAL/da

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**FALSE CREEK DESIGN GROUP LTD.**  
 1008 Main Street  
 Vancouver, BC V6A 2W1 CANADA  
 P 604.688.3131 | F 604.689.4333

THIS DRAWING IS AN INSTRUMENT OF SERVICE OF THE PROPERTY OF FALSE CREEK DESIGN GROUP AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION. ALL INFORMATION SHOWN ON THIS DRAWING IS FOR THE USE IN THIS SPECIFIC PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. ANY CHANGES TO THE DRAWING SHALL BE THE RESPONSIBILITY OF THE CLIENT. DIMENSIONS ON THE JOB AND THIS OFFICE SHALL BE REFERENCED BY ANY DISCREPANCY AND VARIATIONS SHOWN ON THE DRAWING.

ISSUED: \_\_\_\_\_ Date: \_\_\_\_\_  
 BUILDING PERMIT: \_\_\_\_\_ JAN 09 2014

Revision: \_\_\_\_\_ Date: \_\_\_\_\_

**RIZE SALES CENTRE**

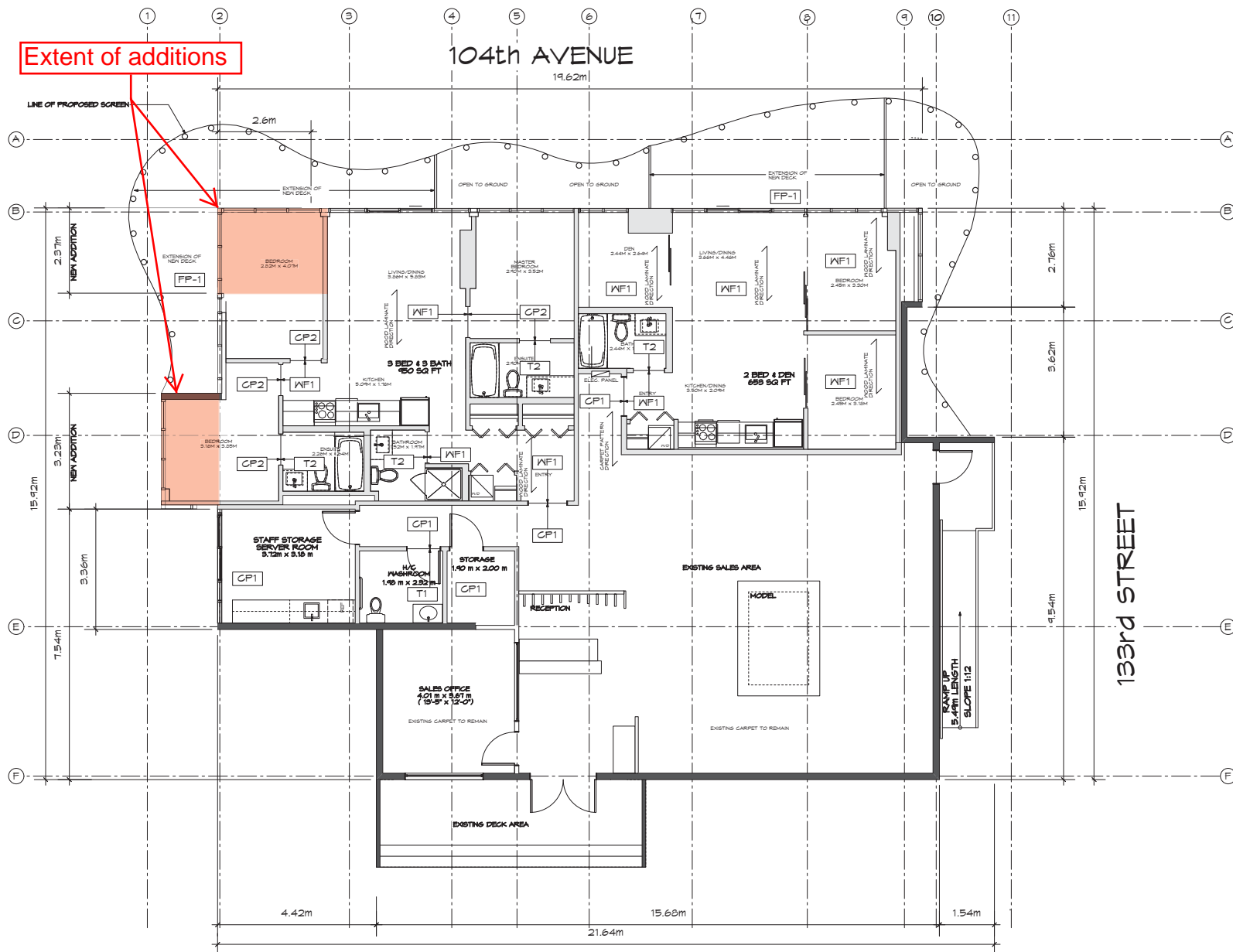
10375 133RD STREET  
 SURREY, B.C

Date: JAN 09, 2014  
 Scale: 1:50  
 Drawn By: BS  
 Checked By: \_\_\_\_\_

Drawing Title  
**FINISH PLAN**

Project No. \_\_\_\_\_  
**1361B IC**

Appendix II



CITY OF SURREY

(the "City")

**TEMPORARY COMMERCIAL USE PERMIT**

NO.: 7914-0058-00

Issued To: CHIA HWEI LIN  
("the Owner")

Address of Owner: 3-7911 Moffatt Rd  
Richmond BC  
V6Y 1X9

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 004-438-370  
Lot 4 Except: Firstly; South 60 Feet, Secondly; Part Dedicated Road on Plan LMP18314,  
Section 27 Block 5 North Range 2 West District Plan 12491

10375 - 133 Street

(the "Land")

- 3 The Land has been designated as a Temporary Commercial Use Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
4. The temporary use permitted on the Land shall be:
  - (a) A real estate sale centre and associated surface parking lot.
5. The temporary use shall be carried out according to the following conditions:
  - (a) The appearance and location of the sales centre, access and parking shall be as shown on Schedule A which is attached hereto and forms part of this permit;
  - (b) Parking is restricted to vehicles less than 5,000 kilograms [11,000 lbs.] GVW;
  - (c) The parking surface shall be of a dust-free material such as crushed gravel;



- (d) Upon the termination of this Temporary Use Permit, the real estate sales centre shall be removed and the land restored to its condition prior to this Temporary Use Permit.
  
- 6. Alternatives to standard servicing requirements as documented in the "Surrey Subdivision and Development By-law" may be approved as part of this Temporary Commercial Use Permit.
  
- 7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:  
  

Cash in the amount of \$5000.00
  
- 8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
  
- 9. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
  
- 10. This temporary use permit is not transferable.
  
- 11. This temporary use permit shall lapse on or before three years from the date of expiry of Temporary Commercial Use Permit No. 7911-0135-00, July 25, 2014.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .

ISSUED THIS      DAY OF      , 20 .

\_\_\_\_\_  
Mayor – Dianne L. Watts


\_\_\_\_\_  
City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

\_\_\_\_\_  
Authorized Agent: Signature

OR

\_\_\_\_\_  
Name (Please Print)

  
\_\_\_\_\_  
Owner: Signature

CHIA-HWEN LIN

\_\_\_\_\_  
Name: (Please Print)

TO THE CITY OF SURREY:

I, Chia H Lin (Name of Owner)

being the owner of Lot 4 Except: Firstly; South 60 Feet, Secondly; Part Dedicated Road on Plan LMP18314, Section 27 Block 5 North Range 2 West District Plan 12491

(Legal Description)

known as 10375-133 Street  
(Civic Address)

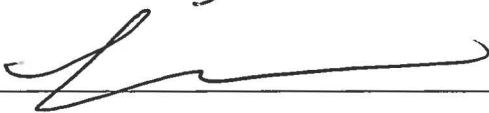
hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

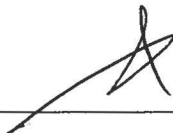
all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

  
\_\_\_\_\_

(Owner)

  
\_\_\_\_\_

(Witness)

# RIZE SALES CENTRE

## 10375 133 RD ST. SURREY, BC



**FALSE CREEK DESIGN GROUP LTD.**  
Suite 500 - 856 Homer Street  
Vancouver, BC V6B 2W5 CANADA  
P 604.688.3131 F 604.689.4333

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Issued Date  
FOR BUILDING PERMIT JAN 09, 2014

Revision Date

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ABBREVIATIONS	CODE ANALYSIS B.C.B.C 2012	GENERAL NOTES	LOCATION PLAN
<p>A.F.F. ABOVE FINISHED FLOOR G.P. COMPLETE RTH E.L.C. ELECTRICAL G.A. GAUGE G.P.B. GYPSUM WALL BOARD H/C HANDICAPPED HR HOUR HT HEIGHT HEZZ HEZZIANE HN HANGING MAX MAXIMUM N/A NOT APPLICABLE</p> <p>N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE O.C. ON CENTRE R.A.D. RADIUS REQD. REQUIRED REV. REVISION TYP. TYPICAL U/S UNDERSIDE S.Q.F. SQUARE FEET S.M. SQUARE METRES</p>	<p><b>GVIC ADDRESS:</b> 10375 133RD STREET, SURREY BC</p> <p><b>LEGAL DESCRIPTION:</b> LOT 4 EXCEPT FIRSTLY: SOUTH 60 FEET SECONDLY: PART DEDICATED ROAD ON PLAN LMF18314 SECTION 21 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 124411</p> <p>TOTAL LOT AREA: <b>9099 SQ M</b></p> <p><b>BUILDING:</b> TOTAL SQUARE METERS EXISTING - 291 SQ M PROPOSED SQUARE METERS ADDITIONAL - 11 SQ M <b>TOTAL SQUARE METERS - 302 SQ M</b> TOTAL BALCONY AREA (NOT ENCLOSED) - 42.4 SQ M DENSITY - 4.298</p> <p><b>OCCUPANCY TYPE:</b> GROUP D B.C.B.C APPLICABLE SECTION PART 9</p> <p><b>TRAVEL DISTANCE:</b> TOTAL PERMITTED - 40 M (131 FT) TOTAL NUMBER OF EXITS REQUIRED- 2 TOTAL NUMBER OF EXITS INDICATED- 2 MAX TRAVEL DISTANCES - SEE CONSTRUCTION PLAN ID04. NUMBER OF PARKING SPACES PROVIDED - 3 ( INCLUDING 1 HANDICAP )</p>	<ol style="list-style-type: none"> <li>CODES AND STANDARDS- ALL WORK TO MEET THE REQUIREMENTS OF ALL BRITISH COLUMBIA BUILDING CODES AND ALL OTHER AUTHORIZED HAVING JURISDICTION OVER THE WORK. ALL BUILDING REQUIREMENTS FOR PERSONS WITH DISABILITIES TO BE MET IN ACCORDANCE WITH SECTION 3.0 OF THE B.C. BUILDING CODE 2012</li> <li>CONTRACTOR TO CONFIRM ALL EQUIPMENT, PIPING, CABLES AND MILLYORK DIMENSIONS ON SITE AND COORDINATE ALL TRADES PRIOR TO MANUFACTURING &amp; TO REPORT ANY DISCREPANCIES DIRECTLY TO THIS OFFICE</li> <li>CONTRACTOR TO PROTECT ANY UNAFFECTED BUILDING ELEMENTS DURING CONSTRUCTION AND MAKE GOOD ANY FINISHED AFFECTED BY CONSTRUCTION</li> <li>CONTRACTORS AND SUB-CONTRACTORS SHALL CAREFULLY INSPECT THE SITE TO DETERMINE IF THE CONDITIONS ARE ACCURATELY REPRESENTED ON THE DRAWINGS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, INACCURACIES AND OTHER SITE ASSOCIATED PROBLEMS TO THIS OFFICE IMMEDIATELY.</li> <li>THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL REFERENT ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.</li> <li>THESE DRAWINGS ARE PROPERTY OF FALSE CREEK DESIGN GROUP LTD. NO CHANGES TO THESE DRAWINGS EITHER IN PART OR IN WHOLE SHALL BE MADE WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF FALSE CREEK DESIGN GROUP LTD.</li> <li>WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND HANDICAPPED ACCESSIBILITY REQUIREMENTS IN EFFECT AT THE TIME OF SUBMITTAL FOR BUILDING PERMITS.</li> <li>ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS TO BUILDING DEPT. FOR APPROVALS AND PERMITS. INSTALLING CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING EACH REQUIRED PERMIT. ALL EXISTING PUBLIC UTILITY SHALL BE MAINTAINED.</li> <li>ENTIRE NEW T-BAR AND DRYWALL CEILINGS (INCLUDING ELECTRICAL AND MECHANICAL FIXTURES) TO BE COMPLETE WITH SEISMIC RESTRAINTS IN ACCORDANCE WITH B.C.B.C 2012</li> <li>STEEL STUD CONTRACTOR TO SUBMIT SIGNED AND SEALED BULKHEAD FRAMING BIDDING DRAWINGS BY A PROFESSIONAL STRUCTURAL ENGINEER FOR THE SUPPORT BULKHEADS (INCLUDING ELLS AND MECH. FIXTURES) TO BE COMPLETE WITH SEISMIC RESTRAINTS IN ACCORDANCE WITH B.C.B.C 2012. ALL SEISMIC WORK TO BE INSPECTED BY PROFESSIONAL ENGINEER AND SEALED SCHEDULED B1/B2/CB ARE TO BE PROVIDED TO FALSE CREEK DESIGN GROUP</li> <li>GENERAL CONTRACTOR TO PROVIDE FIRE SAFETY PLANS.</li> <li>GENERAL CONTRACTOR TO COMPLY WITH BUILDING CONSTRUCTION GUIDELINES.</li> <li>ALTERNATIVES AND QUALITY CONTROL- UNLESS REFERENCE IS MADE ON THE DRAWINGS TO THE APPROPRIATE TRADE ASSOCIATION STANDARDS ALL MATERIALS SPECIFIED SHALL BE TO THE PREMIUM QUALITY STANDARDS AND SHALL BE OBTAINED IN ACCORDANCE WITH THE BEST PRACTICE AND TO THE SATISFACTION OF THIS OFFICE. ANY ALTERNATIVE MATERIALS SUGGESTED BY THE CONTRACTOR MUST BE SUBMITTED TO THE DESIGNER FOR WRITTEN APPROVAL.</li> <li>ANY MATERIALS OR WORKMANSHIP WHICH IN THE DESIGNER'S OPINION IS DEFICIENT SHALL BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.</li> <li>WORKMANSHIP AND INSTALLATION OF ALL ITEMS MUST BE OF THE BEST PROFESSIONAL QUALITY STANDARDS. WHEN THESE CONDITIONS ARE NOT MET THE DESIGNER RESERVES THE RIGHT TO SELECT SUCH ITEMS FOR REPLACEMENT BY THE CONTRACTOR AT HIS/HER EXPENSE.</li> <li>CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND DEBRIS CAUSED OR LEFT. CONTRACTOR SHALL EMPLOY A PROFESSIONAL CLEANER TO CLEAN THE COMPLETED WORK BEFORE HANDING THE SPACE OVER (UNLESS OTHERWISE INSTRUCTED BY THE OWNER)</li> <li>CONTRACTOR IS FULLY RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND IS REQUIRED TO CONFORM TO THE REQUIREMENTS OF THE WORKER'S COMPENSATION BOARD AND PERMITS</li> <li>ENSURE THAT ALL SURFACES HAVE BEEN SANDED SMOOTH READY TO RECEIVE PAINTED FINISH. ALL DENTS, CHIPS, AND SCRATCHES ARE TO BE FILLED &amp; SANDED SMOOTH READY FOR PAINT. ALL PLASTER PATCHING IS TO BE FREE OF AIR POCKETS AND BUBBLES</li> <li>CONTRACTOR TO ADD BLOCKING BEHIND WALL FOR MOUNTING FIXTURES, EQUIPMENT, AND ACCESSORIES</li> <li>CONTRACTOR MUST SUBMIT SAMPLES OF ALL MATERIALS FOR WRITTEN APPROVAL BY THIS OFFICE PRIOR TO FABRICATION. ALL INSTALLED MATERIALS MUST MATCH APPROVED SAMPLES. PRIOR TO ORDERING, FINISHES NEED TO BE CONFIRMED AND APPROVED BY CLIENT. DO NOT ORDER WITHOUT WRITTEN APPROVAL FROM THIS OFFICE. NO CHANGES ARE TO BE MADE WITHOUT WRITTEN APPROVAL FROM THIS OFFICE.</li> <li>CONTRACTOR TO SUPPLY AND INSTALL ALL NEW STEEL STUD FRAMING MEMBERS AS REQUIRED FOR ALL NEW WALLS AS INDICATED ON CONSTRUCTION PLANS. SCHEDULE NOTE FURRED OUT WALLS FOR POP NICHES THROUGHOUT. SEE DRAWINGS.</li> <li>ALL SIGNAGE WILL BE TENDERED OUT SEPARATELY FROM CONSTRUCTION SET. CONTRACTOR TO COORDINATE WITH SIGNAGE SUPPLIER FOR INSTALLATION. ENSURE THAT ADEQUATE BACKING/BLOCKING IS PROVIDED FOR SIGNAGE INSTALLATION</li> <li>CAULKING IS TO BE APPLIED IN A NEAT, CLEAN, STRAIGHT LINE, TOGGED AND TO BE FREE OF AIR POCKETS AND FOREIGN MATERIAL</li> <li>CONTRACTOR TO ENSURE THAT ALL WALLPAPER IS INSTALLED AND MOUNTED WITH FINISHING COVER AND THAT ALL CORNERS AND EDGES ARE SECURE. ENSURE THAT IS IS SMOOTH AND READY TO RECEIVE WALLPAPER. BUBBLES AND GAVITES BEHIND THE WALLPAPER ARE NOT ACCEPTABLE</li> <li>FINISHING - ALL NAIL HOLES ARE TO BE COUNTERSINK, FILLED, PATCHED, SANDED SMOOTH, AND FINISHED TO MATCH DOORS AND JAMB. ALL FILL COLOR IS TO BE IDENTICAL IN COLOR TO DOOR JAMB</li> <li>CONTRACTOR TO INCLUDE ALL INTERIOR DOOR HARDWARE ACCORDING TO DOOR SCHEDULE</li> <li>CONTRACTOR TO COORDINATE SECURITY CAMERA, SECURITY SYSTEM INSTALLATION AND REQUIREMENTS WITH CLIENT &amp; SECURITY CONTRACTOR</li> </ol>	
<p><b>INTERIOR DESIGN DRAWING LIST</b></p> <p>ID00 COVER PAGE ID01 SITE PLAN ID02 LEGEND ID03 DEMOLITION PLAN ID04 CONSTRUCTION PLAN ID05 ELECTRICAL PLAN - REFER TO ELECTRICAL DRAWINGS BY NEMETZ &amp; ASSOCIATES PAGE E1 ID06 REFLECTED CEILING PLAN - REFER TO ELECTRICAL DRAWINGS BY NEMETZ &amp; ASSOCIATES PAGE E2 ID07 FINISH PLAN ID08 N/C WASHROOM INTERIOR ELEVATION ID09 EXTERIOR ELEVATION ID10 EXTERIOR ELEVATION ID11 SECTION 4 DETAIL</p>	<p><b>CONSULTANTS CONTACT LIST</b></p> <p>CLIENT RIZE ALLIANCE PROPERTIES LTD. SUITE 3024 1098 DUNSMUIR ST. VANCOUVER, BC PHONE: 604-691-8723 CONTACT: ANDY TAM atam@rizealliance.com</p> <p>DESIGNER FALSE CREEK DESIGN GROUP 1020 MAIN ST VANCOUVER, BC PHONE: 604-688-9191 (X-247) CONTACT: ANTHONY NISHIBATA anishibata@fcdgroup.com</p> <p>STRUCTURAL CONSULTANT READ JONES CHRISTOFFERSON CONSULTING ENGINEERS 300-1225 WEST BROADWAY VANCOUVER, BC PHONE: 604 739 0049 CONTACT: James Munro jmunro@rjc.ca</p> <p>MECHANICAL CONSULTANT STANTEC CONSULTANTS 1100-111 DUNSMUIR STREET VANCOUVER, BC PHONE: 604 696 6242 CONTACT: PETER KUO peter.kuo@stntec.com</p> <p>ELECTRICAL CONSULTANT NEMETZ &amp; ASSOCIATES 2009 WEST 4TH AV. VANCOUVER, BC PHONE: 604 696 6242 CONTACT: HOMER SAPITULA homer@nsm22.com</p>		
<p><b>SCOPE OF WORK</b></p> <p>ALTERATIONS AND ADDITIONS TO THE EXISTING TEMPORARY BUILDING ON EXISTING LOT TO BE USED AS OFFICE TO SELL NEIGHBOURING MULTI RESIDENTIAL TOWER DEVELOPMENT</p>			
<p><b>BUILDING DEPARTMENT NOTES</b></p> <p>CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STANDARD CONDITIONS AND CODES AS PER B.C.B.C 2012</p> <p>DURING CONSTRUCTION, ACCESS SHALL BE PROVIDED TO ALL AREA OF THE SITE COMPLETELY AROUND STRUCTURES.</p> <p>CONTRACTOR IS RESPONSIBLE FOR OBTAINING OCCUPANCY PERMIT AT THE TIME OF SUBSTANTIAL COMPLETION.</p> <p>MEASURES SHALL BE TAKEN TO CONTAIN ALL CONSTRUCTION DEBRIS, TRASH AND MATERIALS ON-SITE UNTIL DISPOSAL. OFF-SITE CAN BE ARRANGED.</p>			

### RIZE SALES CENTRE

10375 133RD STREET  
SURREY, B.C

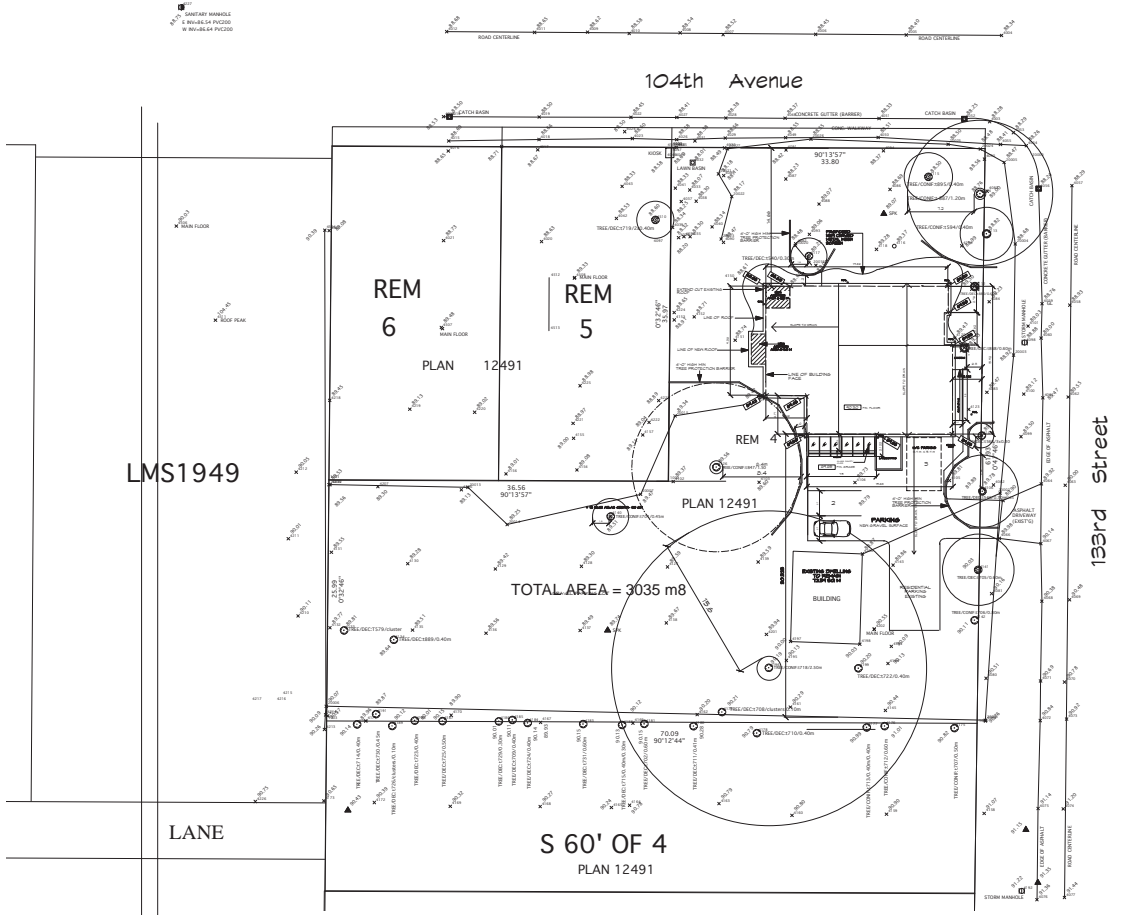
Date JAN 09, 2014  
Scale 1:250  
Drawn By BS  
Checked By

### GENERAL NOTE & DRAWING INDEX

Project No. Drawing No.

1361B ID00

SANITARY MANHOLE  
 MANHOLE P/C200  
 W 80x84 P/C200



FIRE HYDRANT LOCATION

CURRENT CIVIC ADDRESS:  
 10375 133rd STREET  
 SURREY, BC

SYMBOL SCHEDULE	
	Existing trees to be removed
	Required Tree Protection Barrier
	Trees
	Utility Pole
	Utility Pole with Lamp
	Utility Box
	Sump
	Water Metre
	Water Valve
	Gas Valve
	Gas Valve
	Hydrant
	Electrical Box/Service Box
	Lawn Basin
	Catch Basin
	Sign
	Storm Manhole
	Sanitary Manhole
	Manhole
	Inspection Chamber
	Lamp
	Spot Elevation
	New Addition Areas

# FALSE CREEK DESIGN GROUP

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 1008 Main Street  
 Vancouver, BC V6A 2W1 CANADA  
**P 604.688.3131 | F 604.689.4333**

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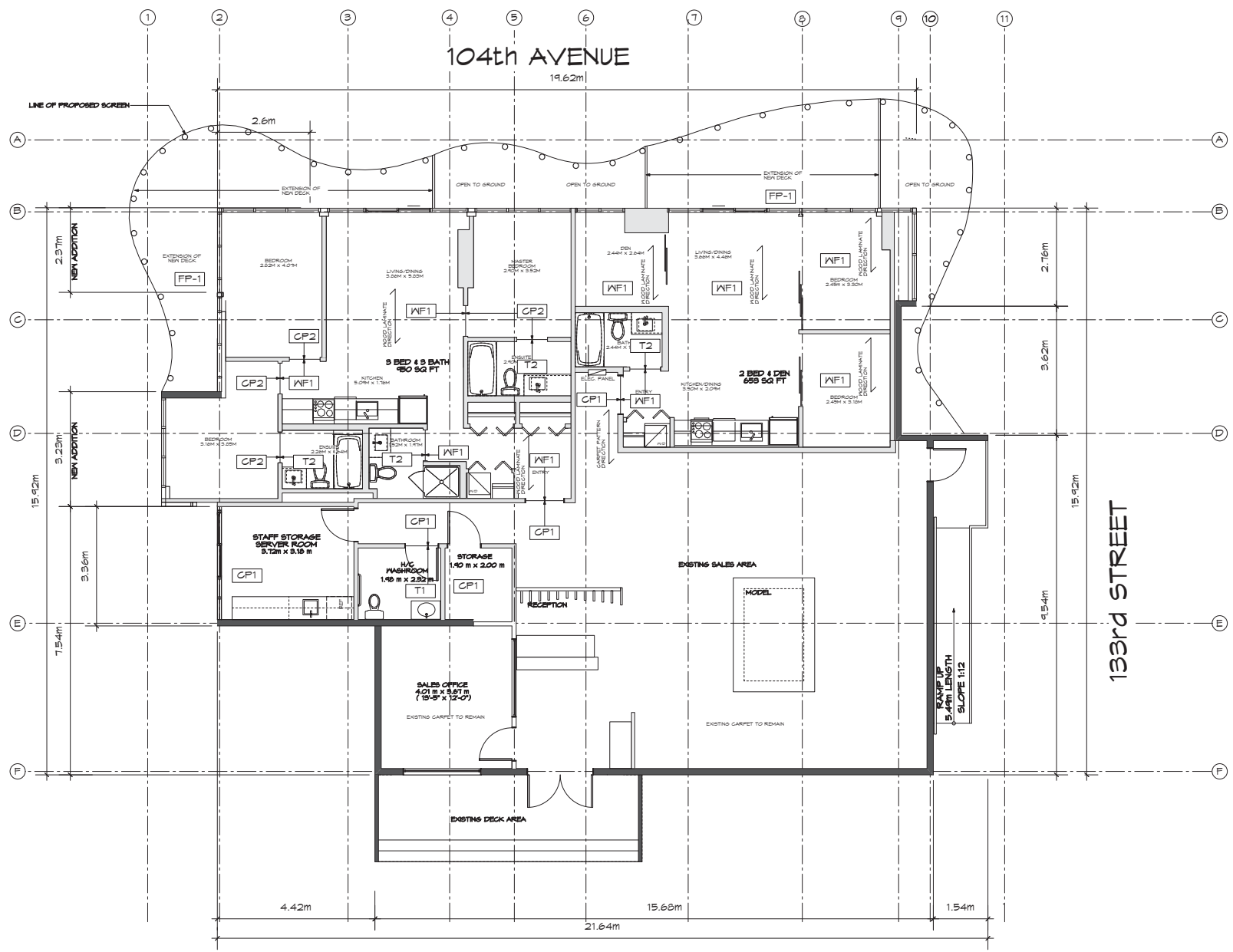
Issued	Date
FOR BUILDING PERMIT	JAN 09, 2014
Revision	Date

**RIZE SALES CENTRE**  
 10375 133RD STREET  
 SURREY, B.C

Date	JAN 09, 2013
Scale	1:250
Drawn By	BS
Checked By	

Drawing Title <b>SITE PLAN</b>
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Project No.	1361B	Drawing No.	ID01
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ISSUED: \_\_\_\_\_ Date: \_\_\_\_\_  
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Revision: \_\_\_\_\_ Date: \_\_\_\_\_

**RIZE SALES CENTRE**

10375 133RD STREET  
 SURREY, B.C

Date: JAN 09, 2014  
 Scale: 1:50  
 Drawn By: BS  
 Checked By: \_\_\_\_\_

Drawing Title  
**FINISH PLAN**

Project No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**1361B ID07**



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 FOR BUILDING PERMIT: JAN 09 2014

Revision: \_\_\_\_\_ Date: \_\_\_\_\_

**RIZE SALES CENTRE**

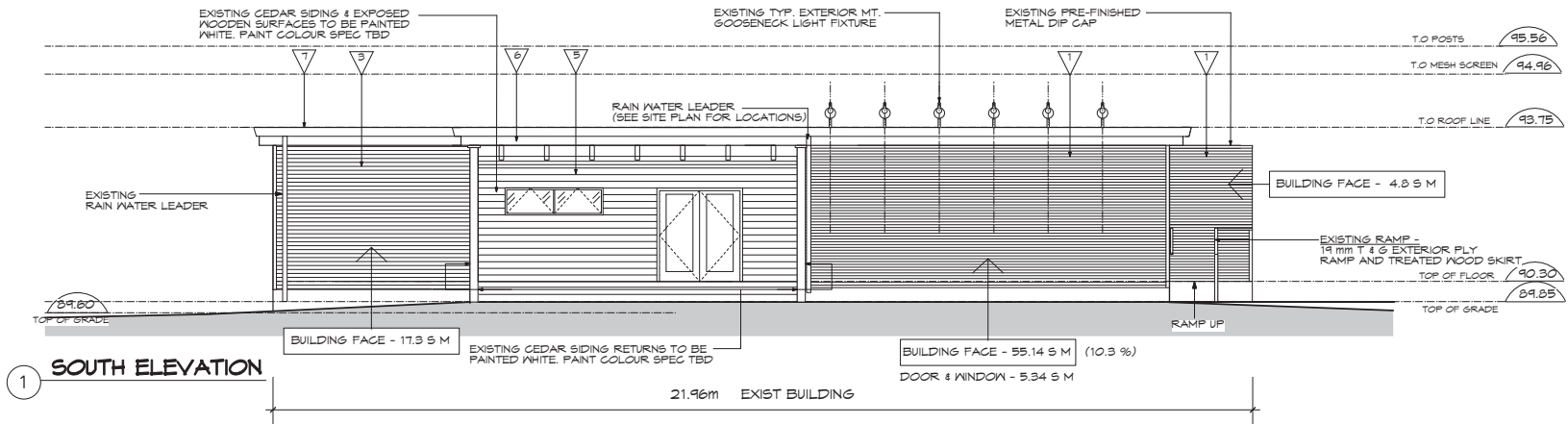
10375 133RD STREET  
 SURREY, B.C

Date: JAN 09 2014  
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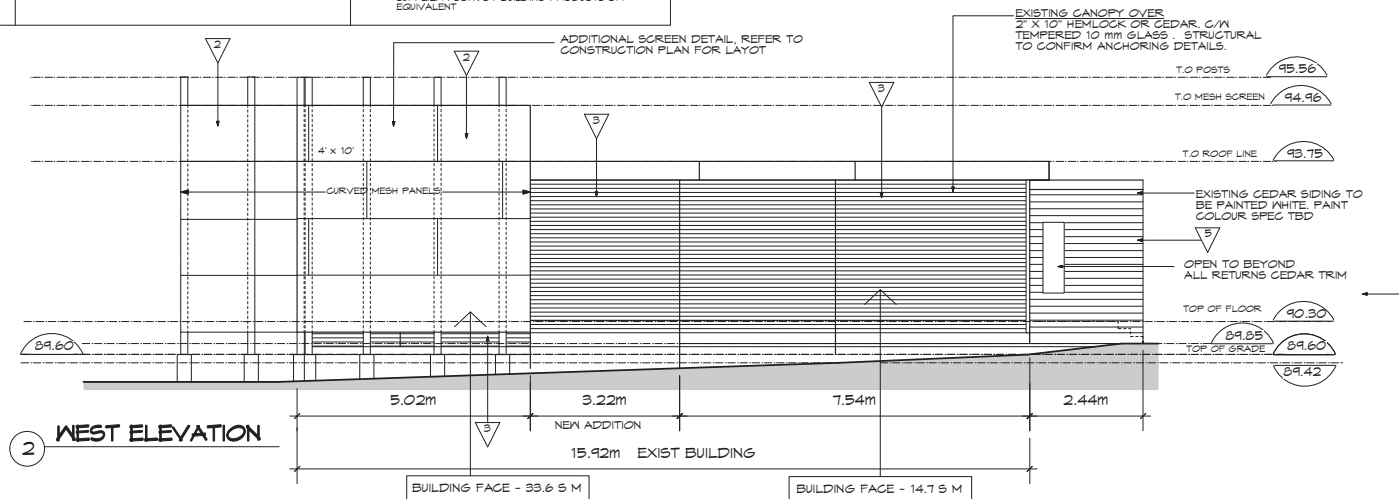
Drawing Title:  
**EXTERIOR ELEVATIONS**  
**SOUTH/WEST**

Project No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**1361B ID09**



EXTERIOR FINISHES LEGEND	
1	METAL SIDING 25" X 75" CORRUGATED METAL PANEL FINISH: GALVANIZED INSTALL HORIZONTAL 20 GAUGE OVERLAP JOINTS AND INSTALL AS PER MANUFACTURERS RECOMMENDATIONS PANEL SIZE: TO BE DETERMINED BY INSTALLER TO ACHIEVE MAXIMUM MATERIAL EFFICIENCY SUPPLIER: VARIES
2	MESH SCREENING DECORATIVE PERFORATED ALUMINUM PANEL 10 GAUGE ALUMINUM GRECIAN PATTERN (45% OPENING) SHEET SIZE: 4' X 10' STAGGER JOINTS (REFER TO ELEVATION) FINISH: MILLED ALUMINUM SUPPLIER: ACCURATE SCREENS
3	VINYL SIDING ROYAL BUILDING PRODUCTS OR EQUIVALENT PROFILE: GENESIS (0-401) - DOUBLE 4.5 DESIGNER COLOUR: STANDARD - CLAY SUPPLIER: CONVOT BUILDING PRODUCTS OR EQUIVALENT
4	ALUMINUM POSTS 8" DIAMETER POSTS - REFER TO STRUCTURAL FINISH: MILLED ALUMINUM C/W SADDLE AND TE BACKS TO BUILDING
5	CEDAR SIDING 1" X 6" OR 1" X 4" TIGHT KNOT CEDAR T & G SIDING SEMI TRANSPARENT STAIN FINISH COLOUR - CLOVERDALE PAINT: LIGHT CEDAR
6	FASCIA 3" X 12" OR EQUIVALENT K.D FIR OR EQUIVALENT SEMI TRANSPARENT STAIN FINISH COLOUR: TBA
7	PRE-FINISHED GUTTERS AND DOWNSPOUTS COLOUR: TBA
8	1 PLY EPDM MEMBRANE ROOF
9	FROST RESISTANT PORCELAIN TILE SERIES: CANTIC STONE PORCELAIN NON SLIP FINISH SIZE: 12" X 24" COLOUR: CLSTR1224 - GREY SUPPLIER: CENTURA TILE
10	VINYL SOFFIT ROYAL BUILDING PRODUCTS OR EQUIVALENT PROFILE: GENESIS (0-42 GAUGE) - TRIPLE 4 SOFFIT VENTED COLOUR: STANDARD - TBA - MATTE FINISH SUPPLIER: CONVOT BUILDING PRODUCTS OR EQUIVALENT





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Revision: \_\_\_\_\_ Date: \_\_\_\_\_

**RIIZE SALES CENTRE**

10375 133RD STREET  
 SURREY, B.C

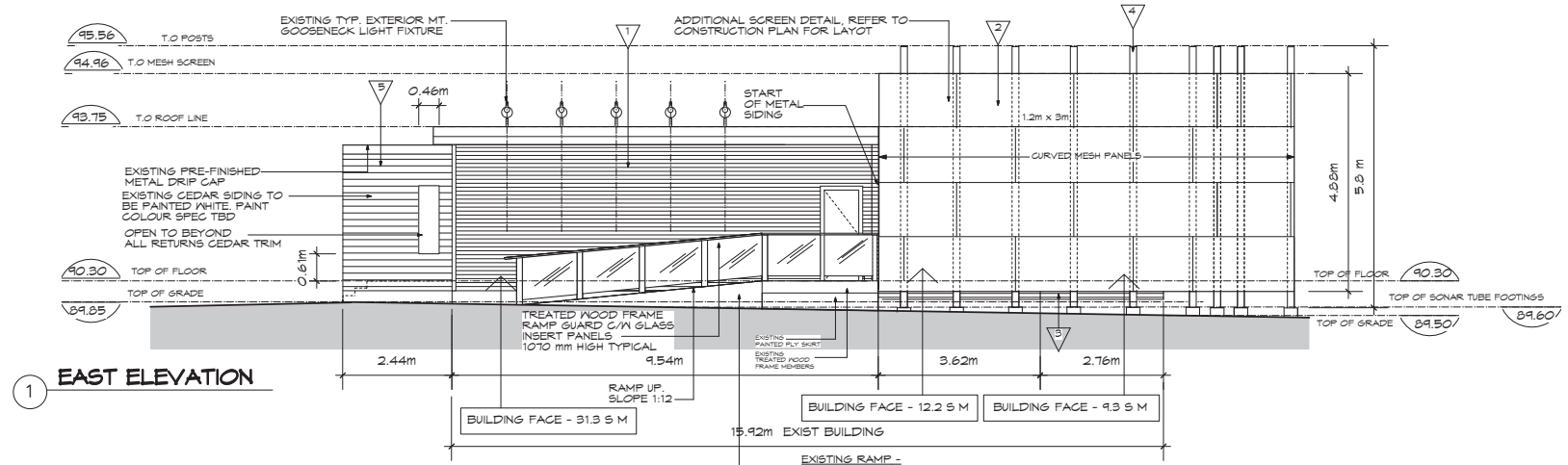
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 Checked By: \_\_\_\_\_

Drawing Title

**EXTERIOR ELEVATIONS**  
**NORTH/EAST**

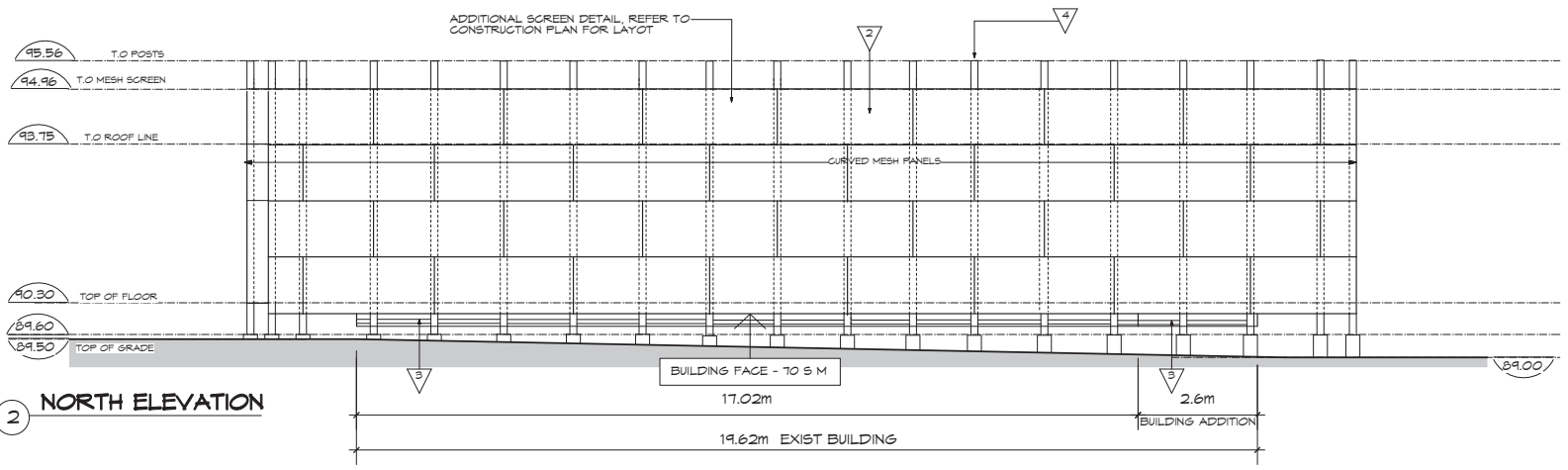
Project No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**1361B ID10**



**1 EAST ELEVATION**

EXTERIOR FINISHES LEGEND	
▽ 1	METAL SIDING 2.6T X 7.6" CORRUGATED METAL PANEL FINISH: GALVANIZED INSTALL HORIZONTAL 26 GAUGE OVERLAP JOINTS AND INSTALL AS PER MANUFACTURERS RECOMMENDATIONS PANEL SIZE, TO BE DETERMINED BY INSTALLER TO ACHIEVE MAXIMUM MATERIAL EFFICIENCY. SUPPLIER: VARIES
▽ 2	MESH SCREENING DECORATIVE PERFORATED ALUMINUM PANEL 18 GAUGE ALUMINUM GREGGAN PATTERN (48% OPENING) SHEET SIZE: 4 X 10' STAGGER JOINTS (REFER TO ELEVATION) FINISH: MILLED ALUMINUM SUPPLIER: ACCURATE SCREENS
▽ 3	VINYL SIDING ROYAL BUILDING PRODUCTS OR EQUIVALENT PROFILE: GENESIS (0.40") - DOUBLE 4.5 DESIGNER COLOUR: STANDARD - GLAY SUPPLIER: CONVOY BUILDING PRODUCTS OR EQUIVALENT
▽ 4	ALUMINUM POSTS Ø DIAMETER POSTS - REFER TO STRUCTURAL FINISH: MILLED ALUMINUM C/W SADDLE AND TIE BACKS TO BUILDING
▽ 5	CEDAR SIDING 1" X 6" OR 1" X 4" TIGHT KNOT CEDAR T & S SIDING SEM: TRANSPARENT STAIN FINISH COLOUR - CLOVERDALE PAINT, LIGHT CEDAR
▽ 6	FASCIA 2" X 12" OR EQUIVALENT K.D FIR OR EQUIVALENT SEM: TRANSPARENT STAIN FINISH COLOUR: TBA
▽ 7	PRE-FINISHED GUTTERS AND DOWNSPOUTS COLOUR: TBA
▽ 8	1 PLY EPDM MEMBRANE ROOF
▽ 9	FROST RESISTANT PORCELAIN TILE SERIES: OLYMPIC STONE PORCELAIN NON SLIP FINISH SIZE: 12" X 24" COLOUR: OL15SR1224 - GREY SUPPLIER: CENTURA TILE
▽ 10	VINYL SOFFIT ROYAL BUILDING PRODUCTS OR EQUIVALENT PROFILE: GENESIS (0.42 GAUGE) - TRIPLE 4 SOFFIT VENTED COLOUR: STANDARD - TBA; MATTE FINISH SUPPLIER: CONVOY BUILDING PRODUCTS OR EQUIVALENT



**2 NORTH ELEVATION**