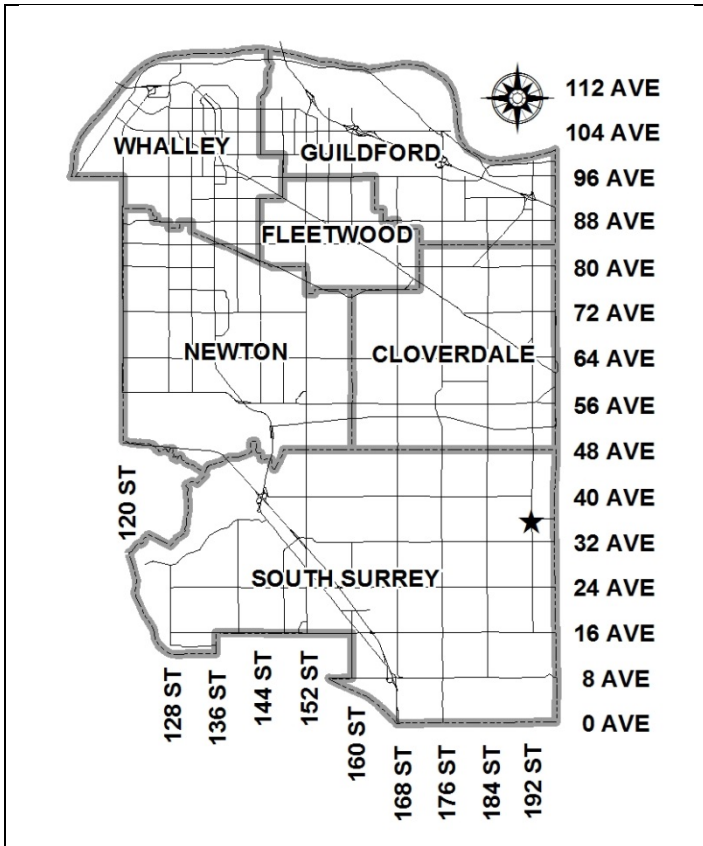


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0110-00

Planning Report Date: December 1, 2014



PROPOSAL:

- **Development Permit**

in order to permit the development of a 2,490 sq.m. (26,803 sq.ft.) industrial building.

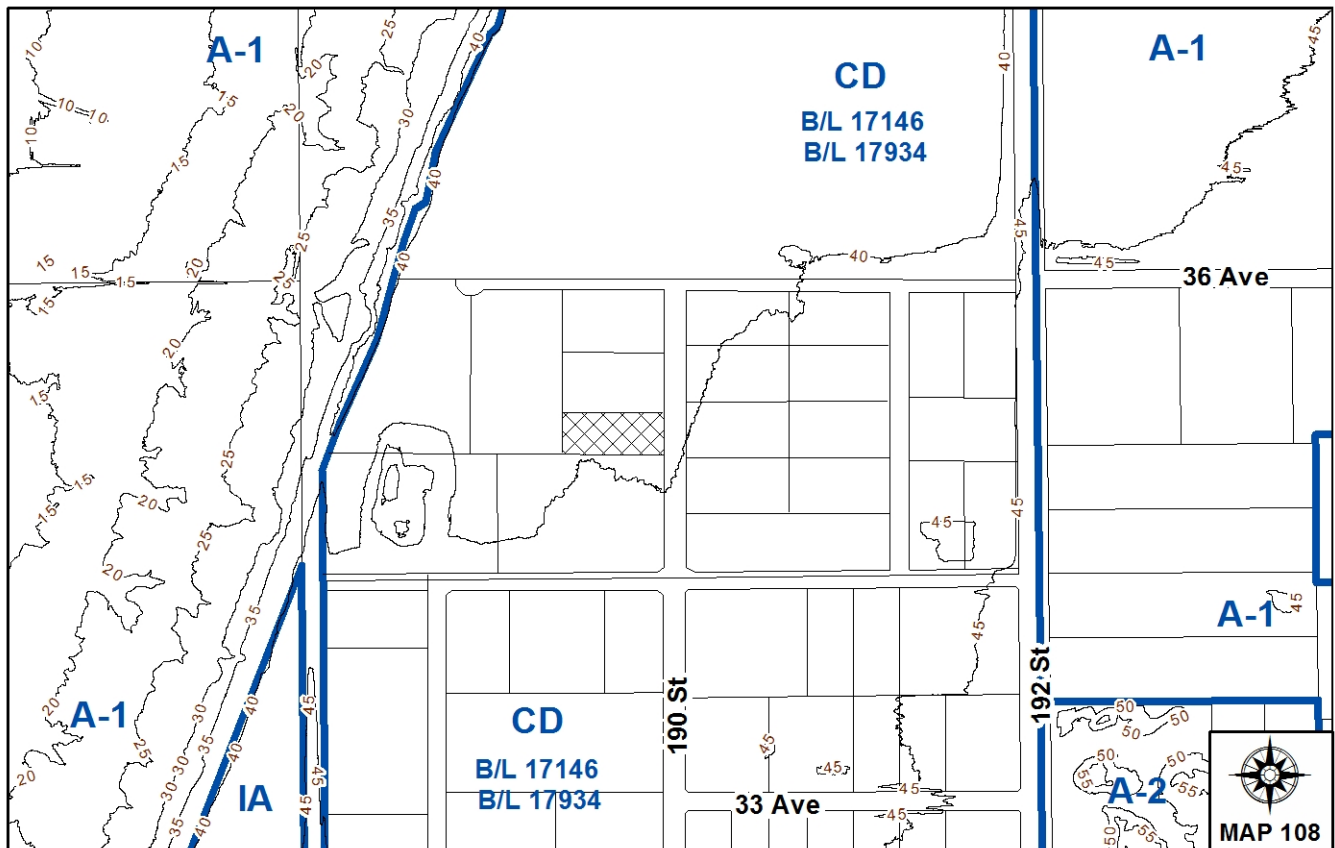
LOCATION: 3535 - 190 Street

OWNER: City of Surrey with the Surrey City Development Corporation (SCDC) as the Beneficial Owner

ZONING: CD (By-law Nos. 17146 & 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the "Mixed Employment" designation in the Official Community Plan (OCP) and the "Business Park" designation in the Campbell Heights Land Use Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights and is consistent with the design guidelines outlined in the general Development Permit and Design Guidelines for Campbell Heights North.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Permit No. 7914-0110-00 and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant industrial land

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North, East (Across 190 Street), South and West:	Vacant industrial land in Phase III of Campbell Heights North	Mixed Employment/ Business Park	CD (Bylaw Nos. 17146 and 17934)

DEVELOPMENT CONSIDERATIONSContext

- The site is designated "Mixed Employment " in the Official Community Plan (OCP) and "Business Park" in the Campbell Heights Local Area Plan (LAP).
- In May 2012, the site was rezoned from "General Agricultural Zone (A-1)" to "Comprehensive Development Zone (CD)" under By-law No. 17146 (Application File No. 7910-0032-00), and recently subdivided as part of the Campbell Heights North (Phase III) development (Application File No. 7912-0159-00). In May 2013, CD By-law No. 17146 was amended (under By-law No. 17934) to adjust the outdoor storage area boundaries.

- CD By-law No. 17146, as amended by By-law 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- Under the original rezoning and subdivision applications, the site was cleared and serviced for development. There are no trees or vegetation on the site.

Proposal

- The proposed Development Permit (DP) will allow Stevested Machinery and Engineering Ltd. to construct a facility to manufacture precision machined components for industries such as the aerospace and medical industry.
- The proposed development includes a total floor area of 2,490 sq.m. (26,803 sq.ft.) with a proposed building height of 8.8 m. (29 ft.).
- The form, character and density of the proposed development complies with the Campbell Heights Local Area Plan (LAP) and the proposed development meets the requirements of the CD By-law No. 17146, as amended by By-law No. 17934, including floor area, lot coverage, building height and building setbacks.
- The proposal includes a total of 30 parking stalls, meeting the parking requirements of the Zoning By-law for light impact industrial uses.
- One (1) access is proposed on 190 Street to provide access for both trucks and passenger vehicular traffic. This access meets the requirements of the Engineering Department.
- The proposed truck bays will be screened to a height of at least 2.5 m. (8 ft.) with walls, fencing and landscaping in accordance with the requirements of the Zoning By-law.

PRE-NOTIFICATION

- A development proposal sign was posted on the site and the project was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS indicated that they do not have any concerns with the proposal.

DESIGN PROPOSAL AND REVIEW

- The proposed building is consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and the Official Community Plan (OCP), and is reflective of the existing standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- Overall, the building is proposed to have a modern linear appearance. Architectural emphasis is placed on the main entrance to the building on 190 Street with the use of glazing and articulation to provide visual interest. The main entrance will provide "eyes on the street" in accordance with Crime Prevention Through Environmental Design (CPTED) principles on 190 Street.

- The proposed building construction is a combination of concrete tilt up and tinted glazing as the main cladding materials. The colour scheme proposed is grey and tan.
- The proposed stormwater management plan consisting of bioswales demonstrates the requirement in Campbell Heights North to accommodate on-site storm water in a sustainable manner and will need to meet the requirements of the Engineering Department.
- A pedestrian linkage and substantial landscaping is proposed on 190 Street and includes a 6m. (20 ft.) wide landscaped strip on 190 Street. The proposed landscaping will consist of Worplesdon Sweetgum and Fragrant Snowball trees, as well as a variety of shrubs, ground cover and grasses such as: Azalea, Boxwood, Salal, Japanese Holly, Mountain Laurel, Rhododendron, Iris and Fountain Grass.
- The applicant has indicated that they are not proposing any signage at this time.

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

SUSTAINABLE DEVELOPMENT CHECKLIST

- The applicant prepared and submitted a sustainable development checklist for the subject site on May 23, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in the Campbell Heights LAP and the proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density and FAR is in keeping with the Zoning By-law.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Low impact development standards (LIDs) are incorporated in the design of the project including: <ul style="list-style-type: none"> ○ Bio-swales to provide on-site stormwater detention; and ○ Sediment control devices.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bicycle parking will be provided on site.

5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none">• Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the following manner:<ul style="list-style-type: none">○ Natural access control by clearly defining entries to the building; and○ Exterior lighting of the building providing visibility on the site.
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INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
Appendix II. Development Permit No. 7914-0110-00
Appendix III. Engineering Summary

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

CL/da

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DEVELOPMENT DATA SHEET

Existing Zoning: CD (based on IB-2)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		5,064 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		45%
SETBACKS (in metres)		
Front (190 Street)	7.5 m.	7.7 m.
Rear	7.5 m.	7.7 m.
Side #1 (North)	7.5 m.	21.6 m.
Side #2 (South)	0 m.	0 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m.	8.8 m.
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		2,490 sq.m.
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		2,490 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.49
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	25	30
Number of disabled stalls		1
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7914-0110-00

Issued To: City of Surrey with the Surrey City Development Corporation (SCDC) as the Beneficial Owner

("the Owner")

Address of Owner: 13450 - 104 Avenue
Surrey, BC V3T 1V8

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-430-356
Lot 17 Section 28 Township 7 New Westminster District Plan EPP41342

3535- 190 Street

(the "Land")

3. The Land has been designated as a Development Permit Area in Surrey Official Community Plan, 1996, No. 12900, as amended.
4. The character of the development including landscaping and the siting, form, exterior design, finish of buildings, structures and signage shall be in accordance with the drawings numbered 7914-0110-00(A) through to and including 7914-0110-00(K) (the "Drawings") which are attached hereto and form part of this development permit.
5. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design, finish of buildings, structures and signage on the Land, may be permitted subject to the approval of the City.
6. (a) The landscaping shall conform to drawings numbered 7914-0110-00(L) through to and including 7914-0110-00(M) (the "Landscaping").

- (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
- (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

Cash or an Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$56, 444.85

(the "Security")

- (d)
 - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.
 - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.
 - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
- 7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
 - 8. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.
 - 9. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

10. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.



Authorized Agent: (Signature)

SCOTT DEGATTY

Name: (Please Print)

OR

Owner: (Signature)

Name: (Please Print)

7914-0110-00 (A)



ABBOTSFORD OFFICE
 400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 3E8
 T: 604.853.8831 F: 604.853.1580 www.krahn.com

EDMONTON OFFICE
 146 - 3635016 ROAD SHERWOOD PARK AB. T5A 4K7
 T: 780.465.0265 F: 780.465.0265 www.krahn.com

VANCOUVER OFFICE
 210 - 1311 KOOTENAY STREET VANCOUVER B.C. V6K 4Y3
 T: 604.853.8831 F: 604.853.1580 www.krahn.com



NO.	DATE	YMD	DESCRIPTION
2	2014/09/12		RE-ISSUED FOR DP
1	2014/07/16		RE-ISSUED FOR DP
NO.	DATE	YMD	DESCRIPTION
ISSUES AND REVISIONS			
SEAL			

PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

190TH AVENUE & 38TH AVENUE, SURREY, BC

PROJECT TEAM

BUILDING DESIGN

BROCK CROOME ARCHITECT LTD.
 210 - 1311 KOOTENAY STREET
 VANCOUVER B.C. V5K4Y3
 P. 604.294.6662 F. 604.294.6665

CONTACT: SCOTT DELGATTY

STRUCTURAL

KRAHN ENGINEERING LTD.
 210 - 1311 KOOTENAY STREET
 VANCOUVER B.C. V5K4Y3
 P. 604.294.6662 F. 604.294.6665

CONTACT: ROBERT HOLDING

MECHANICAL

KD MECHANICAL CONSULTANTS LTD.
 400 - 34077 GLADYS AVENUE
 ABBOTSFORD B.C. V2S 3E8
 P. 604.853.8831 F. 604.853.1580

CONTACT: CHAD NIWRANSKI

ELECTRICAL

KD ELECTRICAL CONSULTANTS LTD.
 400 - 34077 GLADYS AVENUE
 ABBOTSFORD B.C. V2S 3E8
 P. 604.853.8831 F. 604.853.1580

CONTACT: MIKE MURPHY

CIVIL

KM CIVIL CONSULTANTS LTD.
 400 - 34077 GLADYS AVENUE
 ABBOTSFORD B.C. V2S 3E8
 P. 604.853.8831 F. 604.853.1580

CONTACT: STUART MCGREGOR

LANDSCAPE

KD PLANNING LTD.
 400 - 34077 GLADYS AVENUE
 ABBOTSFORD B.C. V2S 3E8
 P. 604.853.8831 F. 604.853.1580

CONTACT: STEPHEN WATT

PROJECT DATA

CIVIC ADDRESS: 190TH AVENUE & 38TH AVENUE, SURREY, BC
 LEGAL ADDRESS: LOT 17, SECTION 28, TOWNSHIP 7, NWDP EPP41342
 ZONING: COMPREHENSIVE DEVELOPMENT (CD)



BROCK CROOME ARCHITECT

210 - 1311 KOOTENAY STREET VANCOUVER B.C. V5K4Y3
 T: 604.294.6662 F: 604.294.6665 www.brockcroome.com

PROJECT NAME

PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

PROJECT ADDRESS

190TH AVENUE & 38TH AVENUE, SURREY, BC

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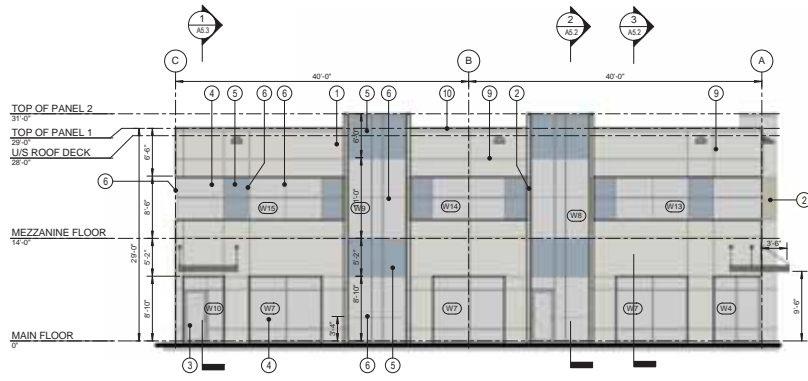
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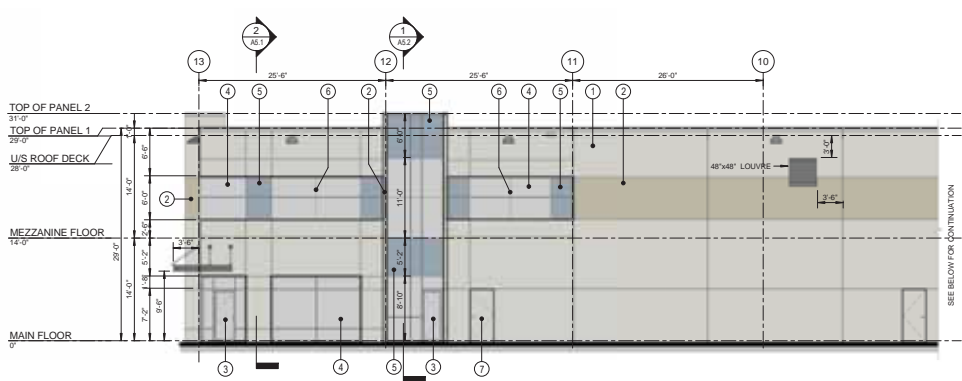
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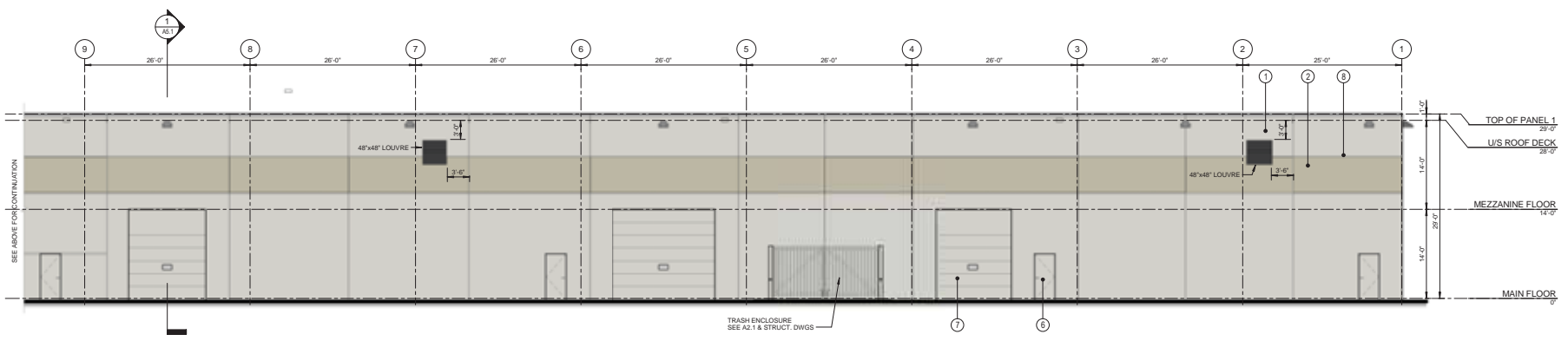


1 | EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2 | PARTIAL NORTH ELEVATION - EAST SIDE
 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
1	CONCRETE TILT-UP PANEL - MAIN BUILDING COLOUR - CLOVERDALE # 8457 - BAMBOO BEACH
2	CONCRETE TILT-UP PANEL - ACCENT BUILDING COLOUR - CLOVERDALE # 8456 - TROPICAL TAN
3	PRE-FINISHED STOREFRONT ENTRANCE - CLEAR ANODIZED ALUMINUM
4	DOUBLE-GLAZED WINDOW - LOW-E GREY REFLECTIVE GLAZING IN EXTRUDED ALUMINUM FRAMES
5	SPANDREL GLAZING
6	SILICON BUTT JOINT
7	MAIN DOOR & STEEL FRAME
8	PRE-FINISHED SECTIONAL OVERHEAD DOOR
9	12" DEEP CONCRETE REVEAL
10	PRE-FINISHED METAL FLASHING



3 | PARTIAL NORTH ELEVATION - WEST SIDE
 SCALE: 1/8" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION
4	2014/09/18	ISSUED FOR BUDGET PRICING	
3	2014/09/17	ISSUED FOR BUILDING PERMIT	
1	2014/07/14	RE-ISSUED FOR O/P	
NO.	DATE	Y.M.D.	DESCRIPTION
ISSUES AND REVISIONS			
SCALE			

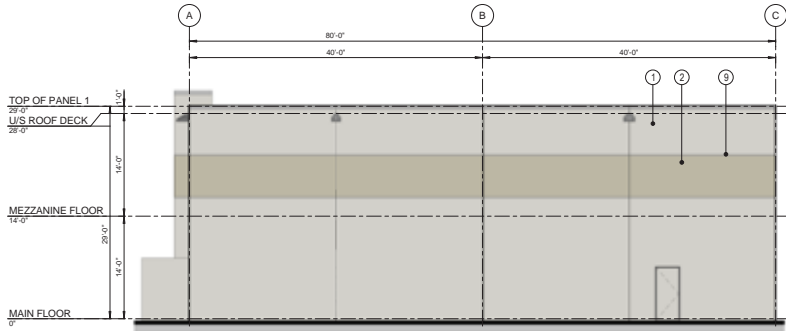
BROCK CROOME ARCHITECT
 400-3427 GLADYS AVENUE ABBOTSFORD B.C. V2S 2B3
 T: 604.853.8531 F: 604.853.1580 www.krahn.com

PROJECT NAME
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

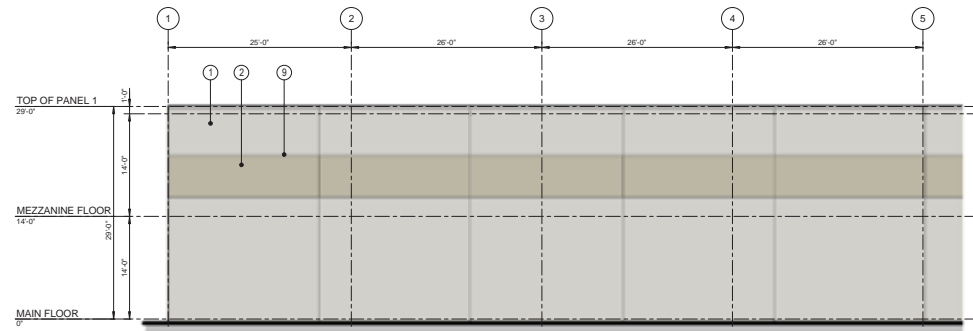
PROJECT ADDRESS
 3515 192ND STREET, SURREY, BC

ELEVATIONS

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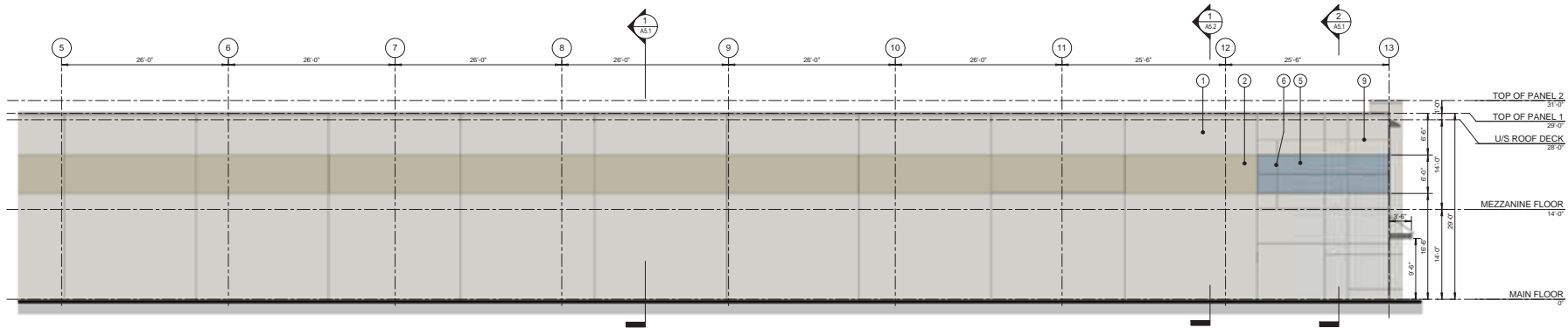


1 | WEST ELEVATION
 SCALE: 1/8" = 1'-0"



2 | PARTIAL SOUTH ELEVATION - WEST SIDE
 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
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2	CONCRETE TILT-UP PANEL - ACCENT BUILDING COLOUR - CLOVERDALE # 8455 - TROPICAL TAN
3	PRE-FINISHED STOREFRONT ENTRANCE - CLEAR ANODIZED ALUMINUM
4	DOUBLE-GLAZED WINDOW - LOW-E GREY REFLECTIVE GLAZING IN EXTRUDED ALUMINUM FRAMES
5	SPANDREL GLAZING
6	SILICON BUTT JOINT
7	MAIN DOOR & STEEL FRAME
8	PRE-FINISHED SECTIONAL OVERHEAD DOOR
9	3/4" DEEP CONCRETE REVEAL
10	PRE-FINISHED METAL FLASHING



3 | PARTIAL SOUTH ELEVATION - EAST SIDE
 SCALE: 1/8" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION
4	2014/09/18	ISSUED FOR BUDGET PRICING	
3	2014/09/17	ISSUED FOR BUILDING PERMIT	
1	2014/07/16	RE-ISSUED FOR DP	

ISSUES AND REVISIONS

SCALE

BROCK CROOME ARCHITECT
 400-3407 GLADYS AVENUE ABBOTSFORD B.C. V2S 2B9
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PROJECT NAME
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

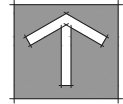
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 3515 192ND STREET, SURREY, BC

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ELEVATIONS

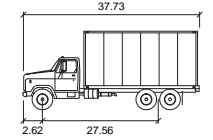
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CHECKED	Checker
PROJECT NO.	A14007
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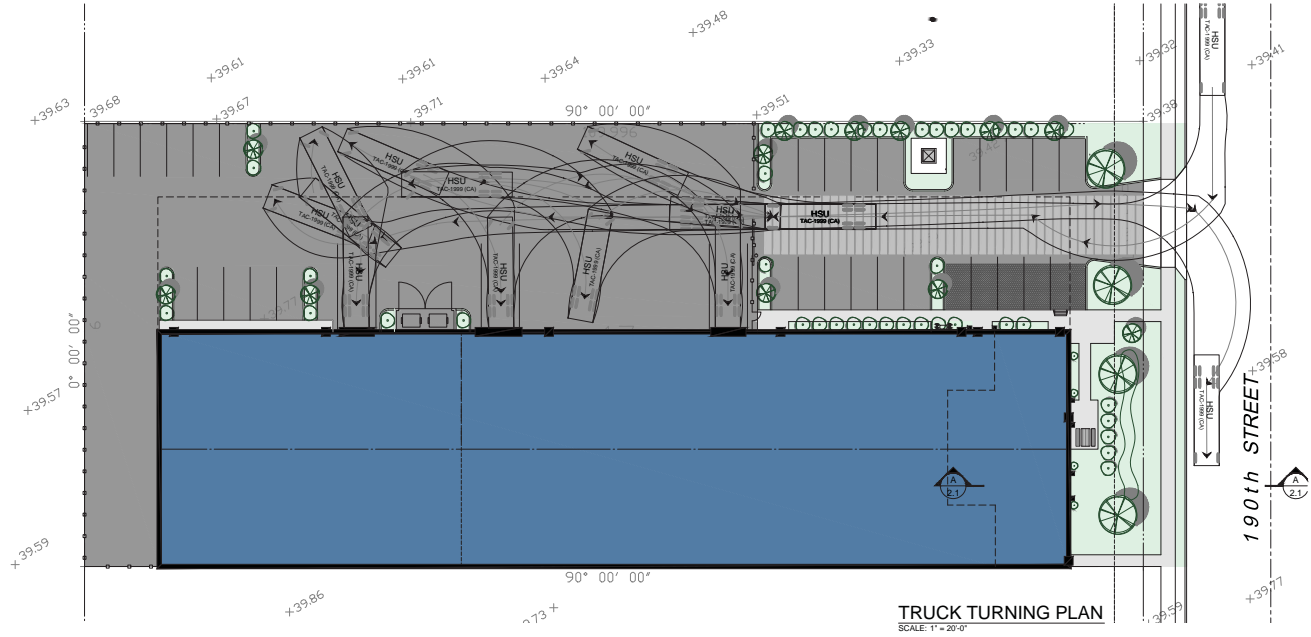
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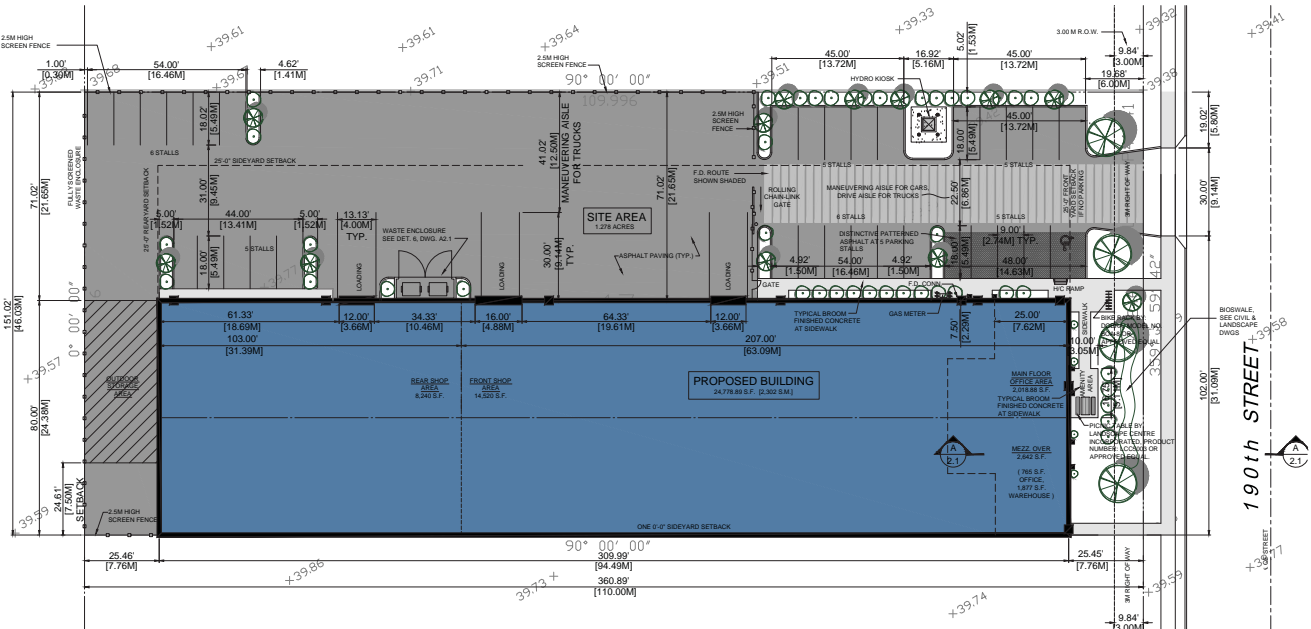
ABBOTSFORD OFFICE
401-3407 GLADY AVE. ABBOTSFORD, BC V2S 2E8
T: 604.853.8331 F: 604.850.1580 www.krahn.com
VANCOUVER OFFICE
210-1111 KOOTENAY ST. VANCOUVER, BC V5K 4Y3
T: 604.294.9502 F: 604.294.9500 www.krahn.com



HSU	feet
Width	: 8.53
Track	: 8.53
Lock to Lock Time	: 6.0
Steering Angle	: 39.7



TRUCK TURNING PLAN
SCALE: 1" = 20'-0"



SITE PLAN
SCALE: 1" = 20'-0"

CITY OF SURREY ZONING BYLAW ANALYSIS

CIVIC & LEGAL ADDRESS
1906 STREET, SURREY BC
LOT 17, SECTION 8, TOWNSHIP 7, RANGE 28R/1242

- ZONING: COMPREHENSIVE DEVELOPMENT (CD)
- SITE AREA: 0.51 HA (1.25 ACRES ± 55,201.91 S.F. (2,563.39 S.M.))
- SITE COVERAGE: BUILDING AREA: ±24,796.36 S.F. (2,303.94 S.M.)
ACTUAL SITE COVERAGE: 48.50%
PERMITTED SITE COVERAGE: 40%
- DENSITY: NET FLOOR SPACE: ±26,800 S.F. (2,480 S.M.)
PROPOSED FLOOR SPACE RATIO: 0.649
PERMITTED FLOOR SPACE RATIO: 1.12
- BUILDING HEIGHT: MAXIMUM PERMISSIBLE HEIGHT: 14M (45.9 FT.)
PROPOSED HEIGHT: 8.4 M (27.6 FT.)
- SETBACKS: FRONT YARD: 16.2 M (53.3 FT.)
REAR YARD: 7.5 M (24.6 FT.)
SIDE YARD: 1.5 M (4.9 FT.)
OR IF ONE SIDE ADJACENT INDUSTRIAL: 0.6 M (2.0 FT.)
REAR YARD: 7.5 M (24.6 FT.)
- LANDSCAPING: ALL LANDSCAPING TO SURVEY ZONING BYLAW
SEE LANDSCAPE ARCHITECT'S DRAWINGS.
- PARKING REQUIREMENTS: PARKING SPACES: 207
TYP. SPACE: ±275M ±5.5M (9' ± 18.0')
SMALLER CARS ALLOWED: ±275M ±4.8M (9' ± 15.6')
HANDICAP: ±37M ±5.5M (12'00" ± 16.8')
DRIVE ISLE: 4.5M (15.0 FT.)
- PERMISSIBLE SURFACE: 45 PER CENT (75 PER CENT) STORM WATER MANAGEMENT.
REQUIRED: 1%
PROPOSED: 1.8%

PARKING ANALYSIS

- ZONING: PROPOSED LIGHT INDUSTRIAL (LD)
- PARKING REQUIREMENTS: INDUSTRIAL SPACE: 1 STALL / 1,075 SQ FT
- BUILDING: INDUSTRIAL SPACE: 27,421 ± 1,075 SQ FT ± 29.8
TOTAL PARKING PROVIDED: ± 25 STALLS

British Columbia Building Code (2012) Analysis - PART 3

- 3.2.2. BUILDING CLASSIFICATION: BUSINESS AND PERSONAL SERVICES GROUP (P-2), 3.2.2.61: SPRINKLERED, NOT MORE THAN 4 STOREYS. MAXIMUM BUILDING AREA 2,400 m². IF 2 STOREYS: COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION PERMITTED. FLOORS TO BE SEPARATIONS & IF COMBUSTIBLE RATED FOR 45 MIN. ALL LOAD-BEARING ASSEMBLIES OF FIRE RATED ASSEMBLIES RATED FOR MINIMUM OF 45 MIN. OR NONCOMBUSTIBLE.
- 3.2.2. BUILDING CLASSIFICATION: MEDIUM HAZARD INDUSTRIAL (GROUP F-2), 3.2.2.75: SPRINKLERED, NOT MORE THAN 4 STOREYS. MAXIMUM BUILDING AREA 4,800 m². IF 2 STOREYS: COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION PERMITTED. FLOORS TO BE SEPARATIONS RATED FOR 45 MIN. SEPARATIONS RATED FOR 45 MIN. IF COMBUSTIBLE. ALL LOAD-BEARING ASSEMBLIES OF FIRE RATED ASSEMBLIES SHALL BE RATED EQUAL TO THE ASSEMBLY SUPPORTED.

8 20140306 ISSUED FOR DEVELOPMENT PRINT
7 20140316 ISSUED FOR DEVELOPMENT PRINT
6 20140417 ISSUED FOR DEVELOPMENT PRINT
5 20140303 REDUCED PANEL WEIGHTS
4 20140225 REVISED SITE AREA
3 20140221 ISSUED FOR CLIENT REVIEW
2 20140212 ISSUED FOR PRELIM D.U.O. REVIEW
1 20140205 ISSUED FOR CLIENT REVIEW

NO. DATE (Y/M/D) DESCRIPTION:
ISSUES & REVISIONS:

SCALE:

Krahn

BROCK CROOME ARCHITECT
ARCHITECTURE, PLANNING, PEDESTALITY, GREEN TECHNOLOGY
#400-3407 GLADY AVENUE, ABBOTSFORD, BC V2S 2E8
TEL: 604.853.8331 FAX: 604.850.1580

PROJECT NAME:
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

PROJECT ADDRESS:
190th STREET & 36th AVE
SURREY, B.C.

DRAWING TITLE:
SITE PLAN

SCALE:	AS NOTED
DRAWN:	SAD
CHECKED:	SAD
PROJECT NO.:	A14007
DRAWING NO.:	A2.0

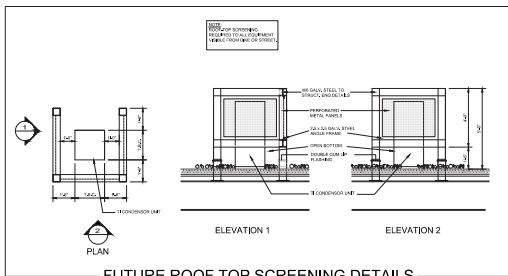
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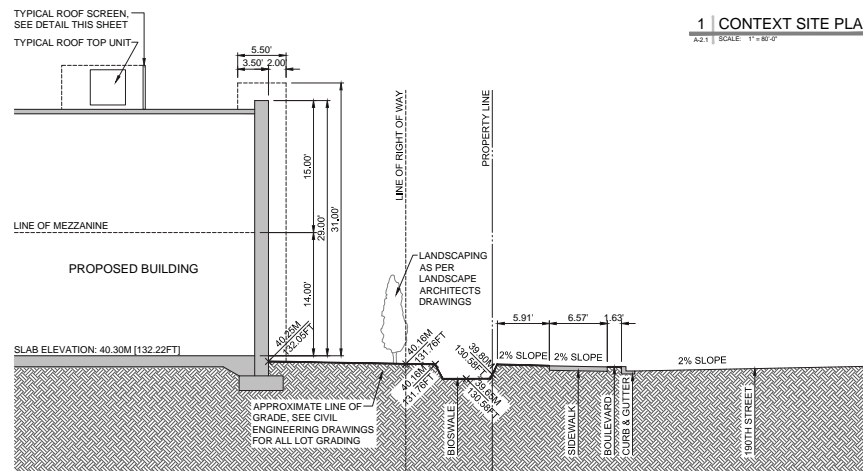
LEGEND
--- DENOTES DEVELOPMENT SITE

8	20140912	ISSUED FOR DE
7	20140716	ISSUED FOR DE
6	20140617	ISSUED FOR DEVE
5	20140503	REDUCED PANEL V
4	20140205	REVISED SITE ARE
3	20140201	ISSUED FOR CLERK
2	20140012	ISSUED FOR PRELU
1	20140005	ISSUED FOR CLERK
NO. DATE (Y/M/S)	DESCRIPTION	
ISSUES & REVISIONS		

SEAL:



FUTURE ROOF TOP SCREENING DETAILS



1 | CONTEXT SITE PLAN
A2.1 | SCALE: 1" = 80'-0"

2 | SITE SECTION A-A
A2.1 | SCALE: 1" = 10'-0"



BROCK CROOME ARCHITECTS
ARCHITECTURE & INTERIOR DESIGN
#400-3607 GLADYS AVENUE, ABBOTSFORD
TEL: 604.853.8831 FAX: 604.850.1580

PROJECT NAME:
PROPOSED BUILDING FOR STEDLO HOLDING

PROJECT ADDRESS:
**190th STREET & 36th AVE
SURREY, B.C.**

DRAWING TITLE:
CONTEXT SITE PLAN

SCALE	AS NOTED
DRAWN	SAD
CHECKED	SAD
PROJECT NO.	A14007

DRAWING NO. **A2.1**

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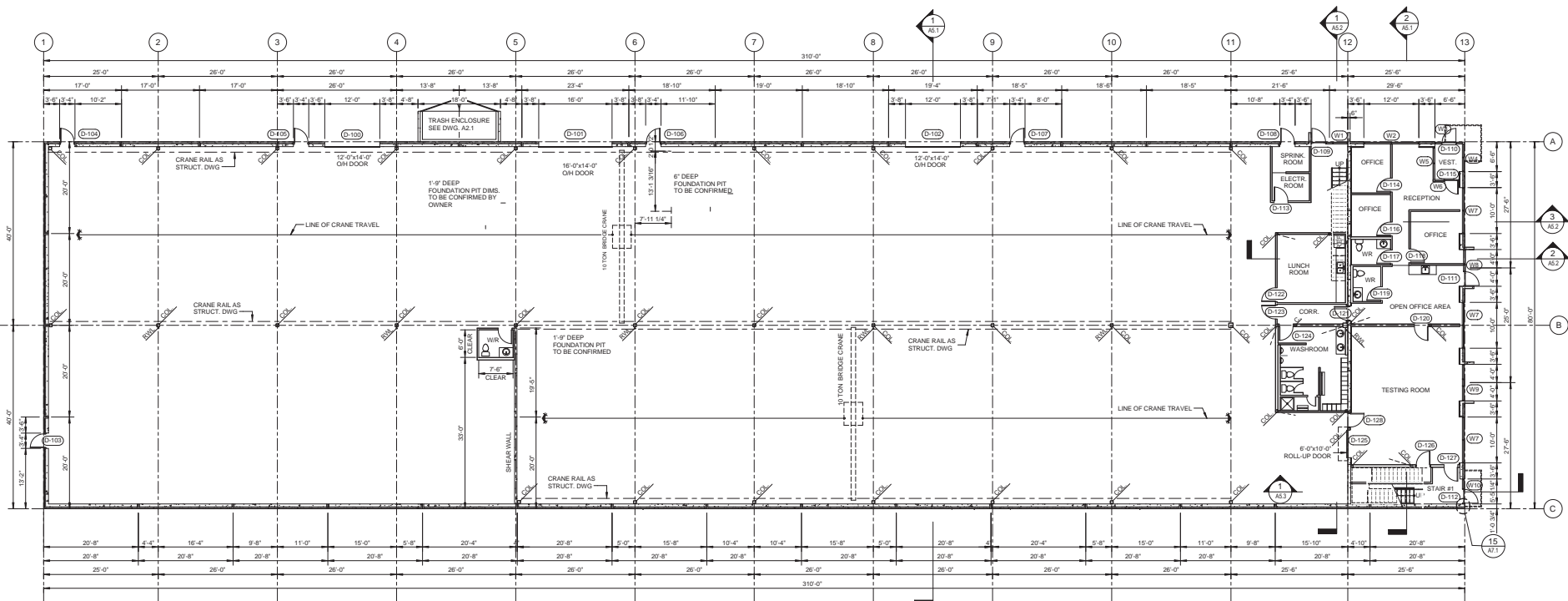
7914-0110-00 (F)



ABBOTSFORD OFFICE
 70-2457 GLENVIEW AVENUE ABBOTSFORD B.C. V2S 2B8
 T: 604.853.8331 F: 604.853.1580 www.krahn.com

EDMONTON OFFICE
 146-3635016 ROAD EDMONTON PARK AB T5A 4W7
 T: 780.462.0200 F: 780.462.0202 www.krahn.com

VANCOUVER OFFICE
 290-1111 KENNEDY STREET VANCOUVER B.C. V6R 4Y3
 T: 604.653.8331 F: 604.552.1580 www.krahn.com



3 MAIN FLOOR
 SCALE: 3/32" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION
1	2014/07/16	RE-ISSUED FOR DP	

ISSUES AND REVISIONS

SEAL



BROCK GROOME ARCHITECT
 400-3407 GLADYS AVENUE ABBOTSFORD B.C. V2S 2B8
 T: 604.853.8331 F: 604.853.1580 www.krahn.com

PROJECT NAME
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

PROJECT ADDRESS
190TH AVENUE & 38TH AVENUE, SURREY, BC

DRAWING TITLE
GROUND FLOOR PLAN

SCALE	3/32" = 1'-0"
DRAWN	LH
CHECKED	SAD
PROJECT NO.	A14007
DRAWING NO.	

A3.0

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V:\abbotsford\0110\011007\Brock\Architect\REV\TVA10072_Surrey\Engineering\omr\m1.v1



NO.	DATE	ISSUED FOR	DESCRIPTION
1	2014/07/16	RE-ISSUED FOR DP	
2		DATE YIELD	
3		ISSUES AND REVISIONS	
SCALE			



BROCK CROOME ARCHITECT
400-3477 GLADYS AVENUE, ABBOTSFORD, B.C. V2S 2B9
T: 604.853.8833 F: 604.853.1582 www.brockcroome.com

PROJECT NAME
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

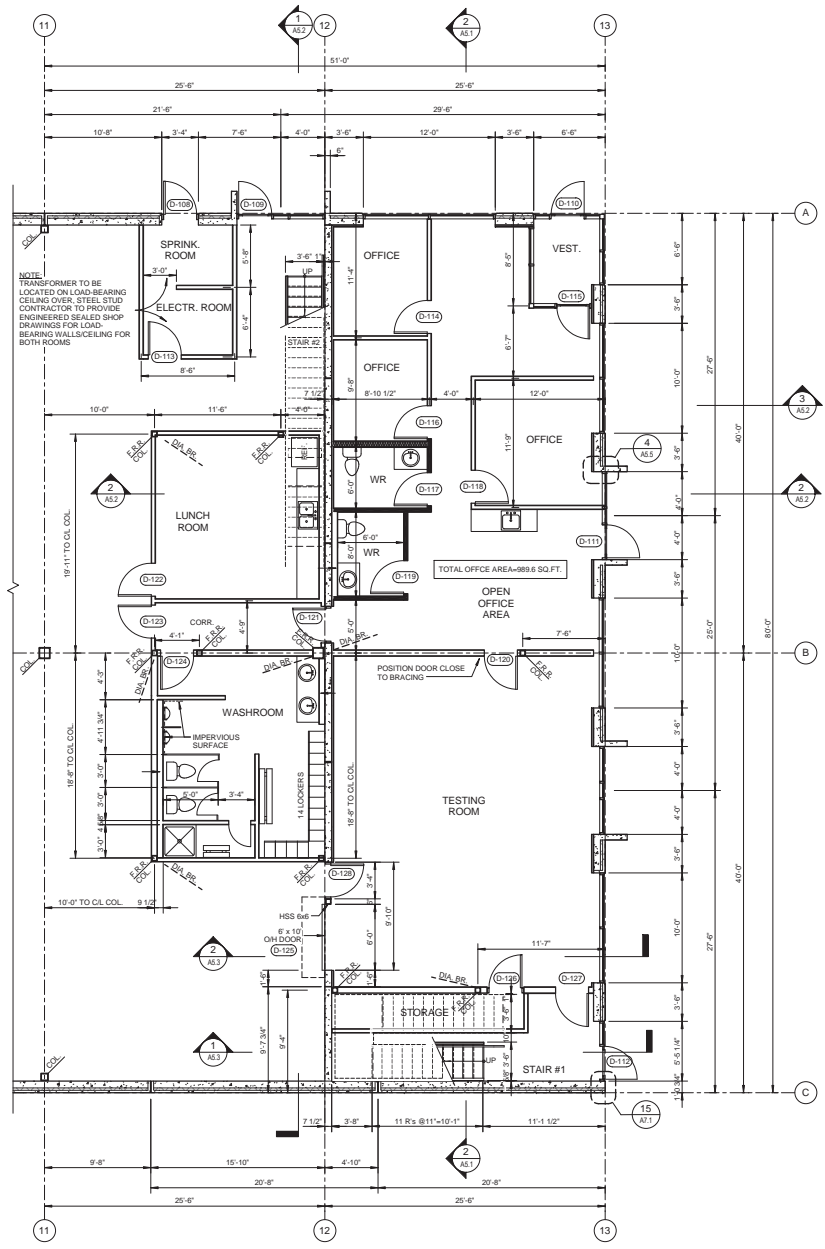
PROJECT ADDRESS
190TH AVENUE & 38TH AVENUE, SURREY, BC

DRAWING TITLE
PARTIAL MAIN FLOOR & MEZZANINE FLOOR PLANS

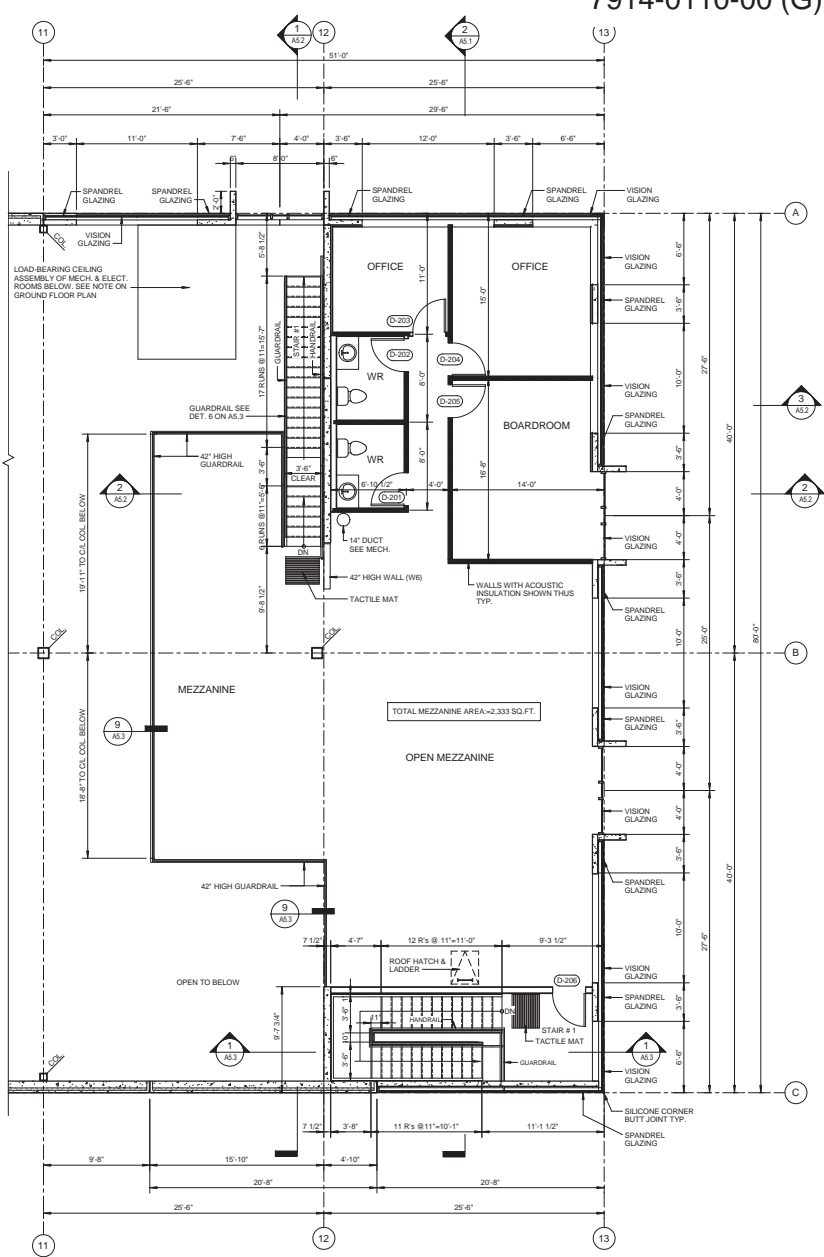
SCALE	3/16" = 1'-0"
DRAWN	Author
CHECKED	Checker
PROJECT NO.	A14007
DRAWING NO.	

A3.1

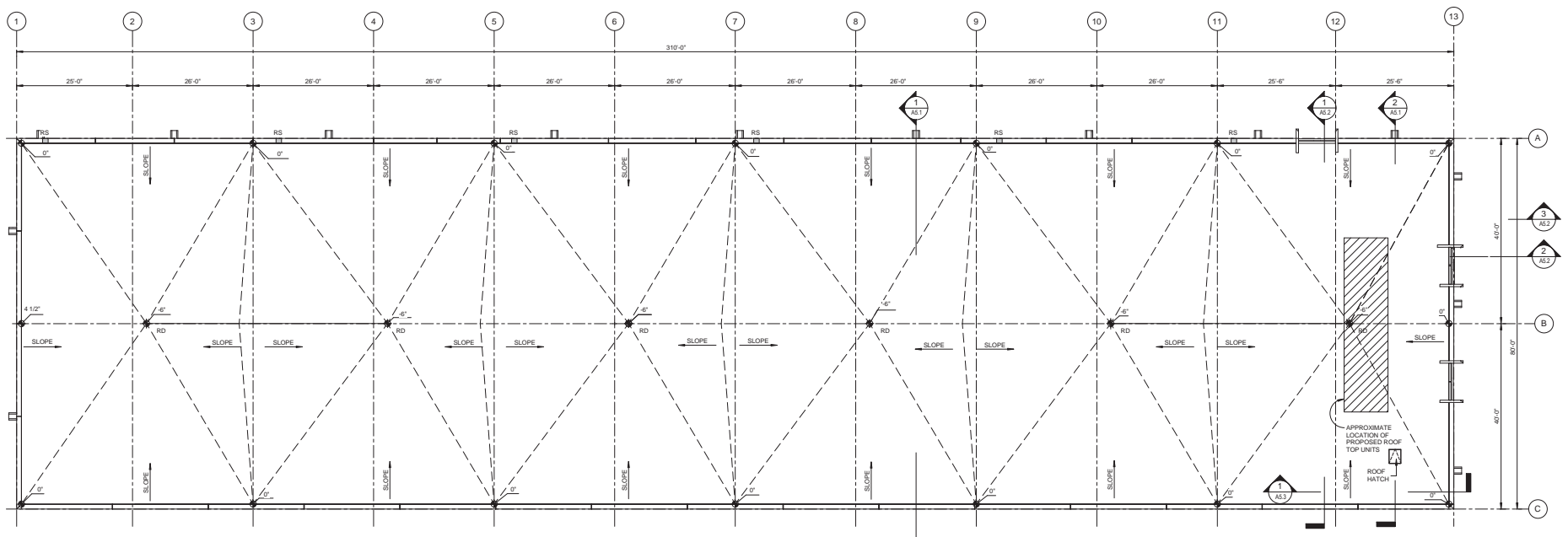
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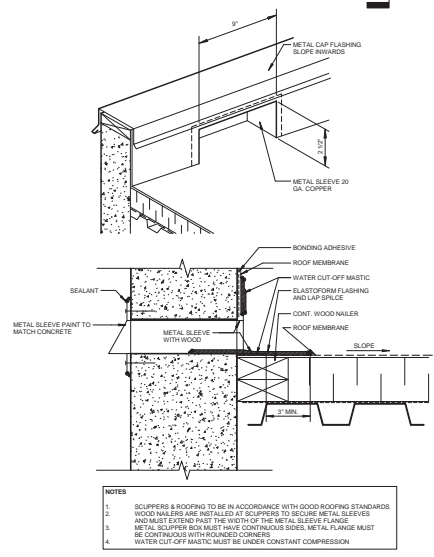
1 PARTIAL MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 MEZZANINE FLOOR PLAN
SCALE: 3/16" = 1'-0"



1 | ROOF PLAN
 SCALE: 3/32" = 1'-0"



- NOTES**
- SCUPPERS & ROOFING TO BE IN ACCORDANCE WITH GOOD ROOFING STANDARDS
 - WOOD NAILERS ARE INSTALLED AT SCUPPERS TO SECURE METAL SLEEVES AND MUST EXTEND PAST THE WIDTH OF THE METAL SLEEVES FLANGE
 - METAL SCUPPER BOX MUST HAVE CONTINUOUS SIDES, METAL FLANGE MUST BE CONTINUOUS WITH ROUNDED CORNERS
 - WATER CUT-OFF MASTIC MUST BE UNDER CONSTANT COMPRESSION

2 | SCUPPER
 SCALE: 3" = 1'-0"

NO.	DATE	YAMD	DESCRIPTION
1	2014/07/16		ISSUED FOR DP
2			
3			
4			
5			
6			
7			
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9			
10			
11			
12			
13			

ISSUES AND REVISIONS

SEAL



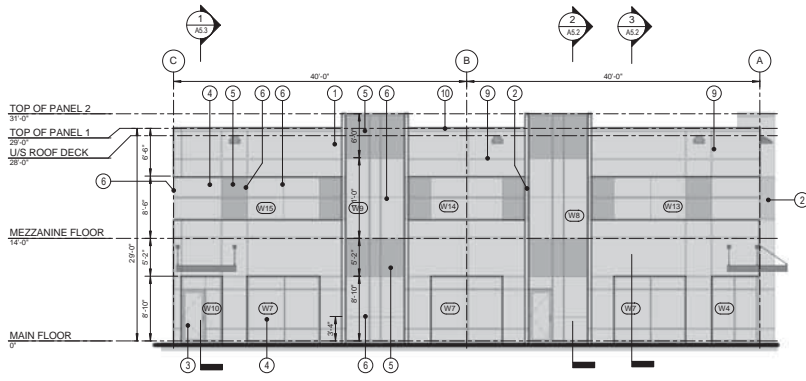
BROCK CROOME ARCHITECT
 400-3407 GLADYS AVENUE ABBOTSFORD B.C. V2S 2B8
 T: 604.853.8337 F: 604.853.1580 www.brockcroome.com

PROJECT NAME
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

PROJECT ADDRESS
190TH AVENUE & 38TH AVENUE, SURREY, BC

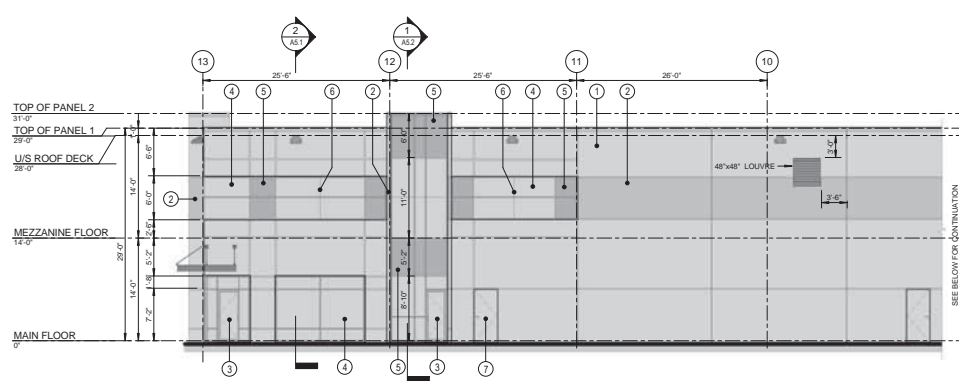
DRAWING TITLE
ROOF PLAN

SCALE	As Indicated
DRAWN	Author
CHECKED	Checker
PROJECT NO.	A14007
DRAWING NO.	



1 | EAST ELEVATION

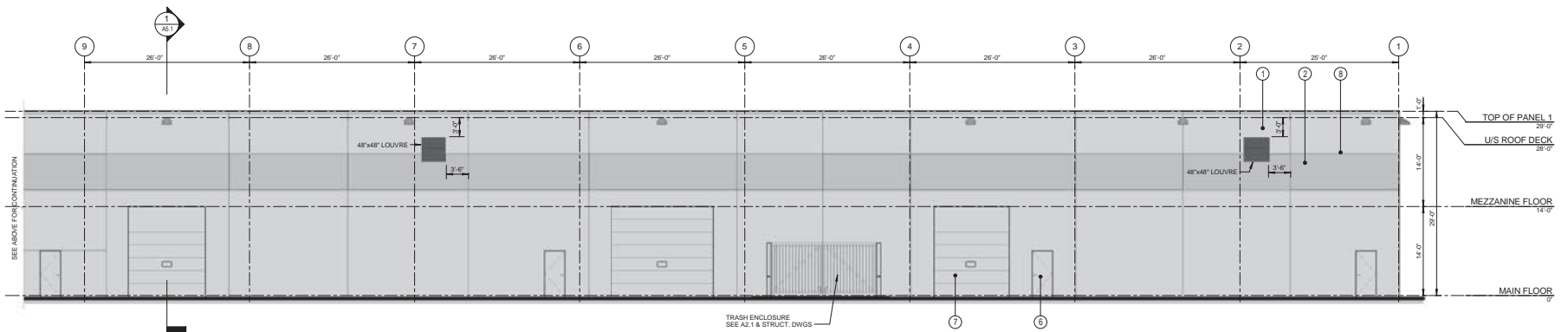
SCALE: 1/8" = 1'-0"



2 | PARTIAL NORTH ELEVATION - EAST SIDE

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
1	CONCRETE TILT-UP PANEL - MAIN BUILDING COLOUR - CLOVERDALE # 8457 - BAMBOO BEACH
2	CONCRETE TILT-UP PANEL - ACCENT BUILDING COLOUR - CLOVERDALE # 8456 - TROPICAL TAN
3	PRE-FINISHED STOREFRONT ENTRANCE - CLEAR ANODIZED ALUMINUM
4	DOUBLE-GLAZED WINDOW - LOW-E GREY REFLECTIVE GLAZING IN EXTRUDED ALUMINUM FRAMES
5	SPANDREL GLAZING
6	SILICON BUTT JOINT
7	MAIN DOOR & STEEL FRAME
8	PRE-FINISHED SECTIONAL OVERHEAD DOOR
9	134" DEEP CONCRETE REVEAL
10	PRE-FINISHED METAL FLASHING



3 | PARTIAL NORTH ELEVATION - WEST SIDE

SCALE: 1/8" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION
1	2014/07/16	RE-ISSUED FOR DP	

ISSUES AND REVISIONS

SCALE

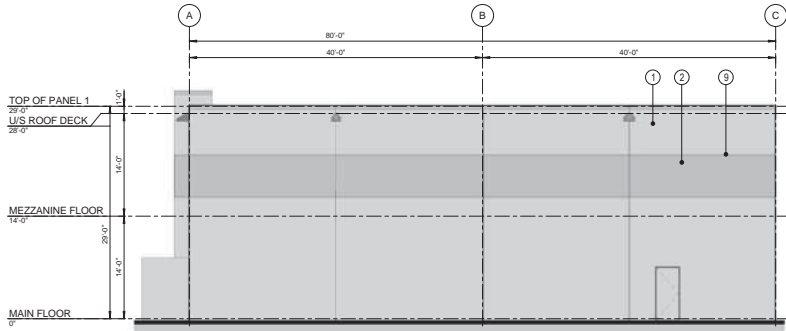
BROCK CROOME ARCHITECT
100-1111 GILBERT AVENUE ABBOTSFORD B.C. V2S 2B8
T: 604.853.0307 F: 604.853.1580 www.krahn.com

PROJECT NAME
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

PROJECT ADDRESS
190TH AVENUE & 38TH AVENUE, SURREY, BC

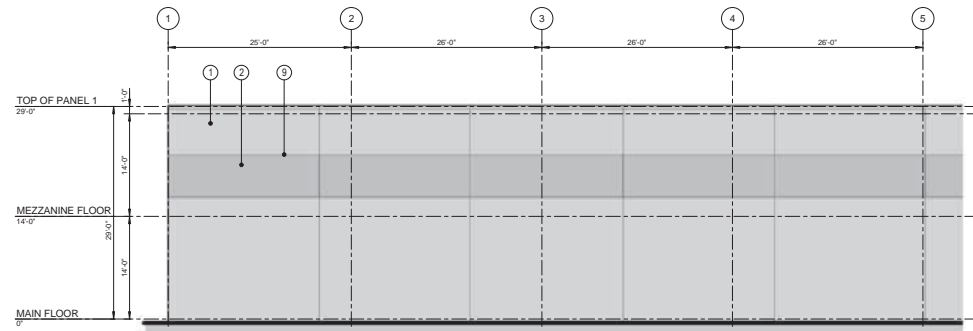
DRAWING TITLE
ELEVATIONS

SCALE	1/8" = 1'-0"
DRAWN	Author
CHECKED	Checker
PROJECT NO.	A14007
DRAWING NO.	



1 WEST ELEVATION

SCALE: 1/8" = 1'-0"

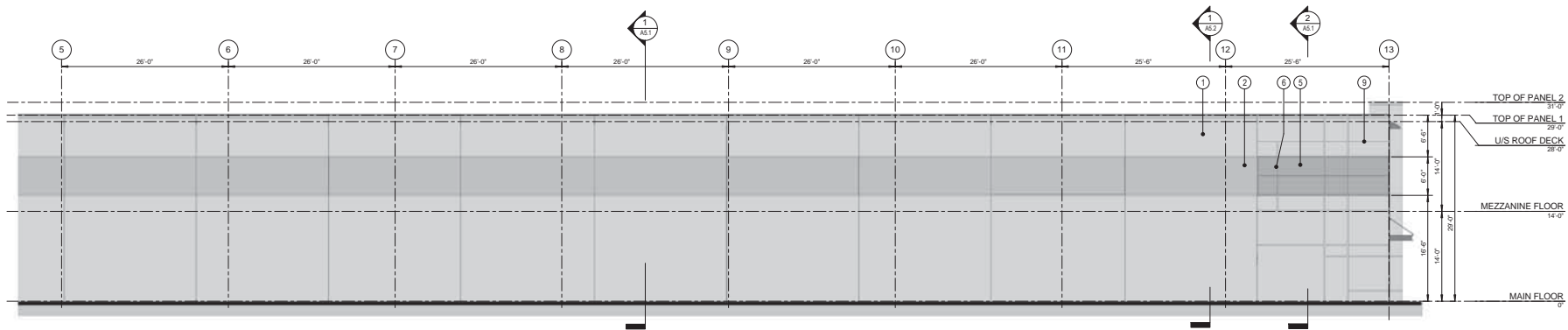


2 PARTIAL SOUTH ELEVATION - WEST SIDE

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

1	CONCRETE TILT-UP PANEL - MAIN BUILDING COLOUR - CLOVERDALE # 8457 - BAMBOO BEACH
2	CONCRETE TILT-UP PANEL - ACCENT BUILDING COLOUR - CLOVERDALE # 8455 - TROPICAL TAN
3	PRE-FINISHED STOREFRONT ENTRANCE - CLEAR ANODIZED ALUMINUM
4	DOUBLE-GLAZED WINDOW - LOW-E GREY REFLECTIVE GLAZING IN EXTRUDED ALUMINUM FRAMES
5	SPANDREL GLAZING
6	SILICON BUTT JOINT
7	MAIN DOOR & STEEL FRAME
8	PRE-FINISHED SECTIONAL OVERHEAD DOOR
9	3/4" DEEP CONCRETE REVEAL
10	PRE-FINISHED METAL FLASHING



3 PARTIAL SOUTH ELEVATION - EAST SIDE

SCALE: 1/8" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION
1	2014/07/16	RE-ISSUED FOR DP	

ISSUES AND REVISIONS

SCALE

BROCK CROOME ARCHITECT
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PROJECT NAME
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

PROJECT ADDRESS
190TH AVENUE & 38TH AVENUE, SURREY, BC

DRAWING TITLE
ELEVATIONS

SCALE: 1/8" = 1'-0"
 DRAWN: Author
 CHECKED: Checker
 PROJECT NO.: A14007
 DRAWING NO.

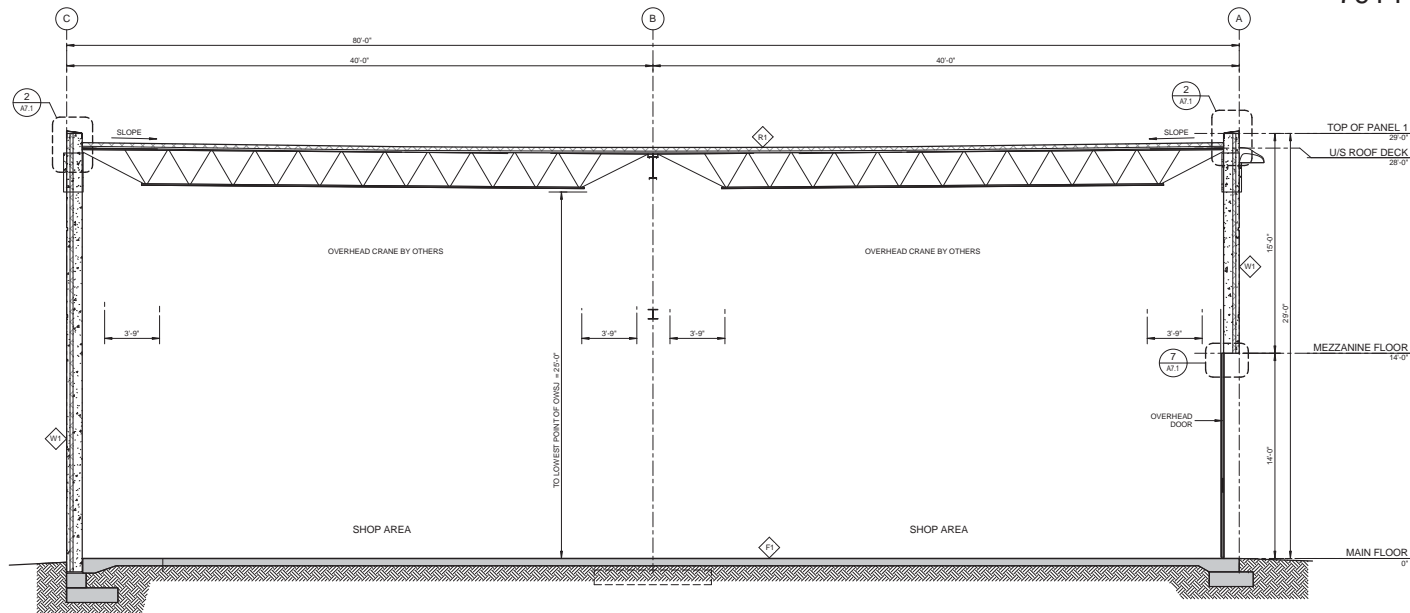
7914-0110-00 (K)



ABBOTSFORD OFFICE
 792-2825 GILBY AVENUE ABBOTSFORD B.C. V2S 2B4
 T: 604.853.8337 F: 604.853.1330 www.krahn.com

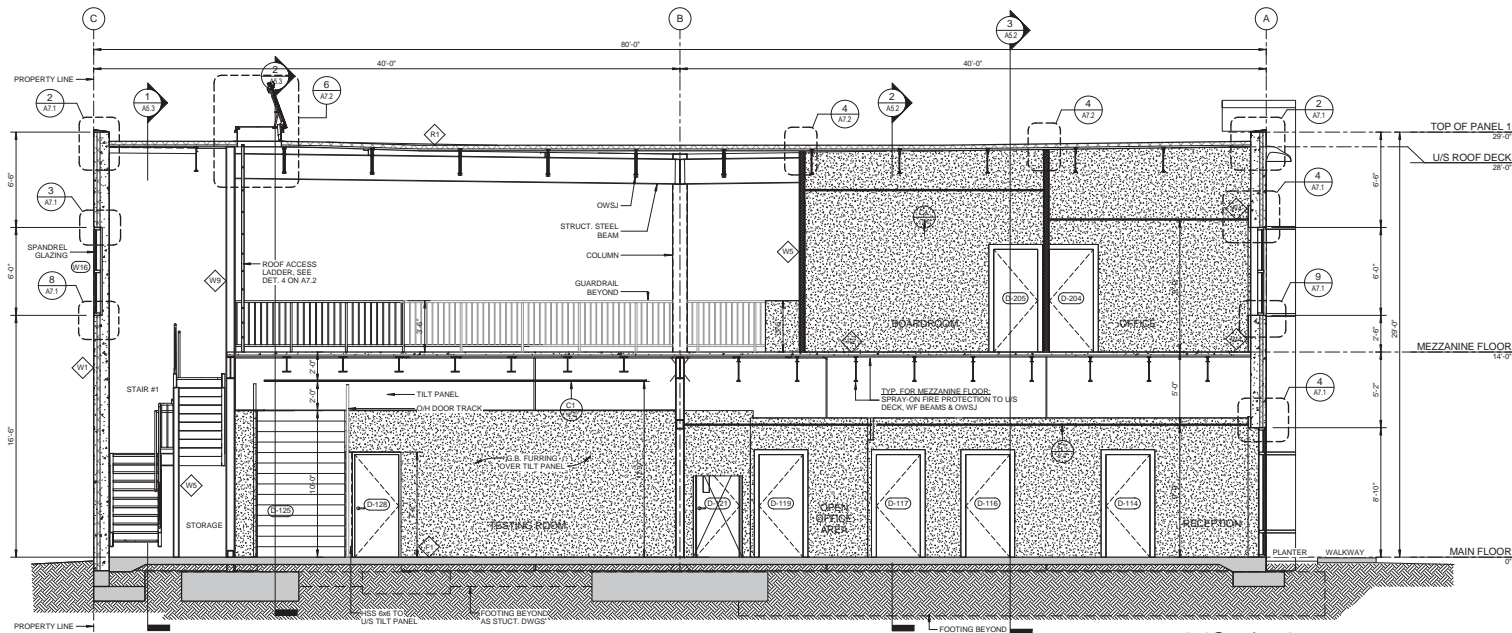
EDMONTON OFFICE
 146-3635 GOLDEN HORSE BERRWOOD PARK AB T5A 4K7
 T: 780.465.0200 F: 780.465.0202 www.krahn.com

VANCOUVER OFFICE
 101-111 GORDON STREET VANCOUVER B.C. V6R 4Y3
 T: 604.684.8337 F: 604.683.1330 www.krahn.com



1 Section 1

SCALE: 1/4" = 1'-0"



2 Section 2

SCALE: 1/4" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION
1	2014/07/16	RE-ISSUED FOR DP	
ISSUES AND REVISIONS			
SEAL			



BROCK CROOME ARCHITECT
 400-3407 GLADYS AVENUE ABBOTSFORD B.C. V2S 2B3
 T: 604.853.8337 F: 604.853.1330 www.krahn.com

PROJECT NAME
PROPOSED BUILDING FOR STEDLO HOLDINGS LTD.

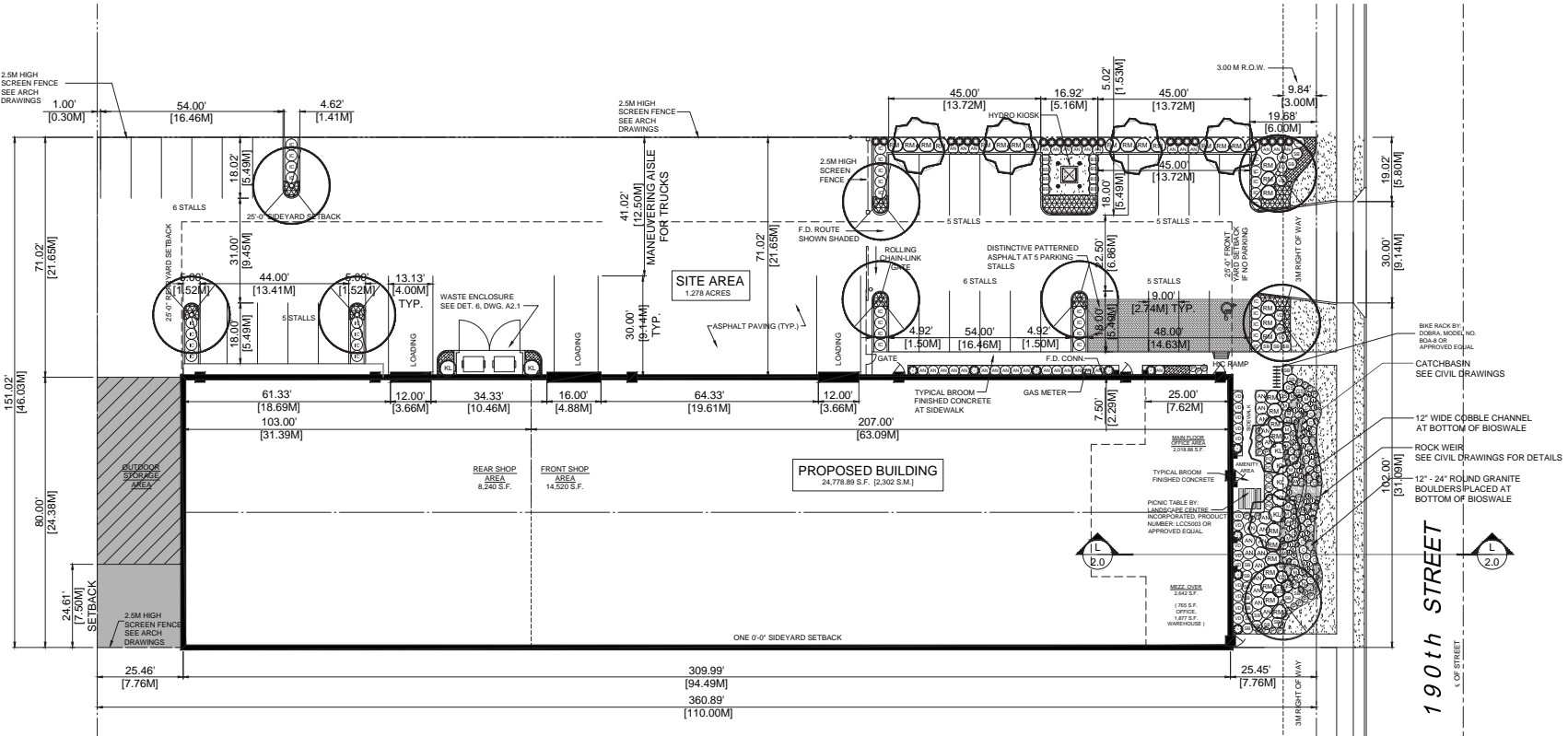
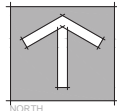
PROJECT ADDRESS
 3515 192ND STREET, SURREY, BC

DRAWING TITLE
BUILDING SECTIONS

SCALE	1/4" = 1'-0"
DRAWN	LH
CHECKED	SAD
PROJECT NO.	A14007
DRAWING NO.	

A5.1

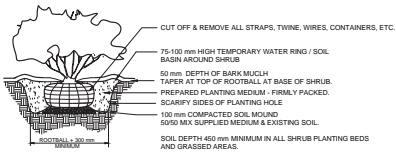
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LANDSCAPE PLAN
SCALE: 1" = 16'-0"

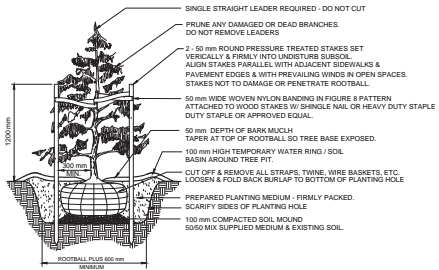
LEGEND & PLANT SCHEDULE

NEW TREE PLANTINGS				SHRUBS				GROUNDCOVERS & GRASSES			
QTY	BOTANICAL NAME	COMMON NAME	SIZE, SPACING, COMMENTS	QTY	BOTANICAL NAME	COMMON NAME	SIZE, SPACING, COMMENTS	QTY	BOTANICAL NAME	COMMON NAME	SIZE, SPACING, COMMENTS
9	LIQUIDAMBAR STRACIFILIA 'WORPLESDON'	WORPLESDON SWEETGUM	7 CM CAL. B&B	49	AZALEA NORTHERN LIGHTS 'ROSY LIGHTS'	NORTHERN LIGHTS AZALEA	#3 POT, 90 CM O.C.	70	ARTCOSTAPHYLOS UVA-URSI	KINNICKINICK	#1 POT, 60 CM O.C.
6	STYRAX OBASSIA	FRAGRANT SNOWBALL	6 CM CAL. B&B	8	BUXUS SEMPERVIRENS 'MONRUE'	GREEN TOWER BOXWOOD	#2 POT, 60 CM O.C.	20	MAHONIA NERVOSA	DWARF OREGON GRAPE	#1 POT, 60 CM O.C.
				6	GAULTHERIA SHALLOM	SALAL	#2 POT, 60 CM O.C.	38	CAREX MORROWHII 'ICE DANCE'	ICE DANCE SEDGE	#1 POT, 60 CM O.C.
				35	ILEX CRENATA	JAPANESE HOLLY	#2 POT, 90 CM O.C.	41	IRIS SIBIRICA	SIBERIAN IRIS	#1 POT, 60 CM O.C.
				7	KALMIA LATIFOLIA	MOUNTAIN LAUREL	#5 POT, 150 CM O.C.	23	MOLINIA CAERULEA 'SWAMP WITCH'	DWARF MOOR GRASS	#1 POT, 60 CM O.C.
				33	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	#3 POT, 120 CM O.C.	27	PENNISETUM ALOPECUROIDES 'HAEMELN'	DWARF FOUNTAIN GRASS	#1 POT, 60 CM O.C.
				21	SPIRAEA BETULIFOLIA VAR. LUCIDA	SHINY-LEAF SPIREA	#2 POT, 90 CM O.C.	6	PENNISETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	#2 POT, 75 CM O.C.
				22	THUJA OCCIDENTALIS 'SMARGO'	EMERALD GREEN CEDAR	1.0 M HT., 90 CM O.C.				
				9	TAXUS MEDIA 'DARK GREEN'	DARK GREEN PYRAMIDAL YEW	1.5 HT.				
				20	VIBURNUM DAVIDII	DAVID VIBURNUM	#2 POT, 90 CM O.C.				



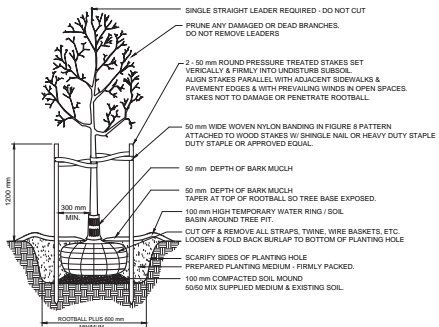
CONIFEROUS TREE

NO SCALE



CONIFEROUS TREE

NO SCALE

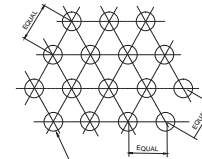


DECIDUOUS TREE IN SHRUB AREAS

NO SCALE

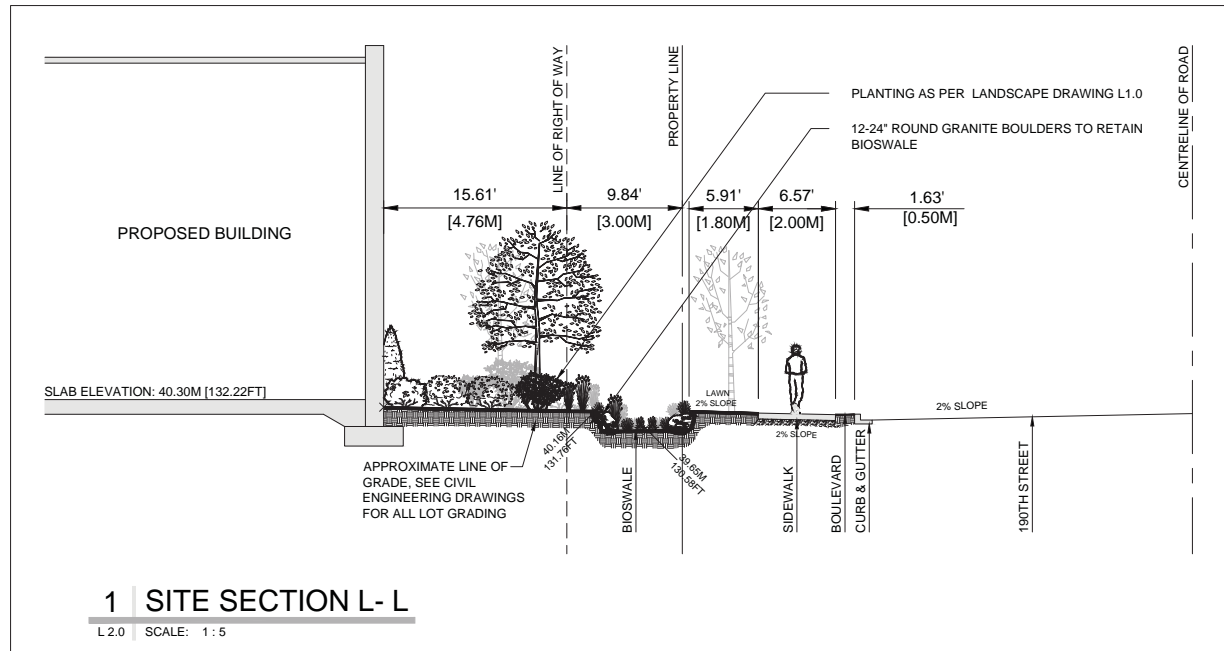
LANDSCAPE NOTES

- ALL LANDSCAPE WORK AND MATERIALS TO MEET REQUIREMENTS OF THE SURREY PARK STANDARDS CONSTRUCTION DOCUMENTS AND THE BC LANDSCAPE STANDARD LATEST EDITION. CITY OF SURREY STANDARDS TO SUPERSEDE.
- CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT OR PROJECT MANAGER.
- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITY AND SERVICES WITH THE CITY OF SURREY, CONSTRUCTION MANAGER, AND/OR OTHER RELEVANT AUTHORITIES PRIOR TO ANY EXCAVATION OR DIGGING FOR TREE PITS.
- ALL PLANT MATERIAL TO MEET OR EXCEED SPECIFICATIONS OF THE CANADIAN STANDARDS NURSERY STOCK AND THE BC LANDSCAPE STANDARD LATEST EDITIONS, AND BE CERTIFIED AS DISEASE FREE.
- NO PLANT MATERIAL SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL.
- UNLESS OTHERWISE SPECIFIED LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR PERIOD NOT LESS THAN ONE (1) YEAR FOR FINAL ACCEPTANCE. LANDSCAPE CONTRACTOR WILL INSPECT INSTALLED LANDSCAPE ON REGULAR BASIS AND REPLACE ALL DEAD AND/OR POOR CONDITIONED PLANTS IMMEDIATELY WHEN DISCOVERED OR NOTIFIED, AT ADDITIONAL COST.
- SUPPLIED PLANTING MEDIUM SHALL BE AS SPECIFIED IN THE BC LANDSCAPE STANDARDS, LATEST ADDITION.
- ON SITE TOP SOIL WILL BE TESTED BY ACCREDITED COMMERCIAL SOIL SPECIALIST AND BROUGHT UP TO SPECIFICATIONS OF BC LANDSCAPE STANDARD AS NECESSARY AND APPROVED IN WRITING PRIOR TO USE IN LANDSCAPE.
- DEPTHS OF PLANTING MEDIUM SHALL BE AS SHOWN IN PLANTING DETAILS.
- ALL PLANT MATERIAL TO BE THOROUGHLY WATERED AND SOAKED AT TIME OF PLANTING.
- CONTRACTOR TO MAINTAIN LANDSCAPE AND PLANT MATERIAL TO SUBSTANTIAL COMPLETION INCLUDING REGULAR WATERING, PRUNING, AND FERTILIZATION.
- CONTRACTOR SHALL MAINTAIN SITE AND PROPERTY IN NEAT AND ORDERLY APPEARANCE FOR DURATION OF THE LANDSCAPE WORKS AND MAINTENANCE PERIOD. ALL LANDSCAPE DEBRIS AND ASSOCIATED WASTE MATERIALS TO BE CONTROLLED AS THEY ACCUMULATE AND DISPOSED OF DULY IN LEGAL MANNER.



GROUNDCOVER PLANTING

NO SCALE



3	2014/09/09	RE-ISSUED FOR DP
2	2014/07/07	RE-ISSUED FOR DP
1	2014/04/17	ISSUED FOR DP
NO.	DATE: (Y/M/D)	DESCRIPTION:
ISSUES & REVISIONS:		
SCALE:		

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: November 13, 2014

PROJECT FILE: 7814-0110-00

**RE: Engineering Requirements (Commercial/Industrial)
Location: 3515 - 192 Street**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit:

- Completion and acceptance of Surrey Project 7812-0159-00.
- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7812-0159-00 and address through the BP process.



Rémi Dubé, P.Eng.
Development Services Manager

LR