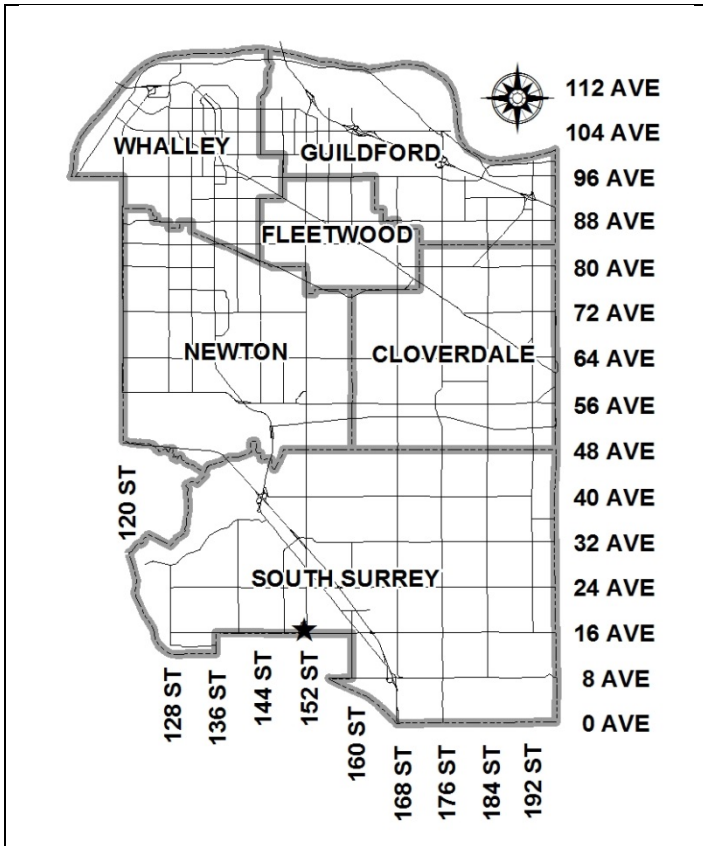


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7914-0136-00

Planning Report Date: July 21, 2014

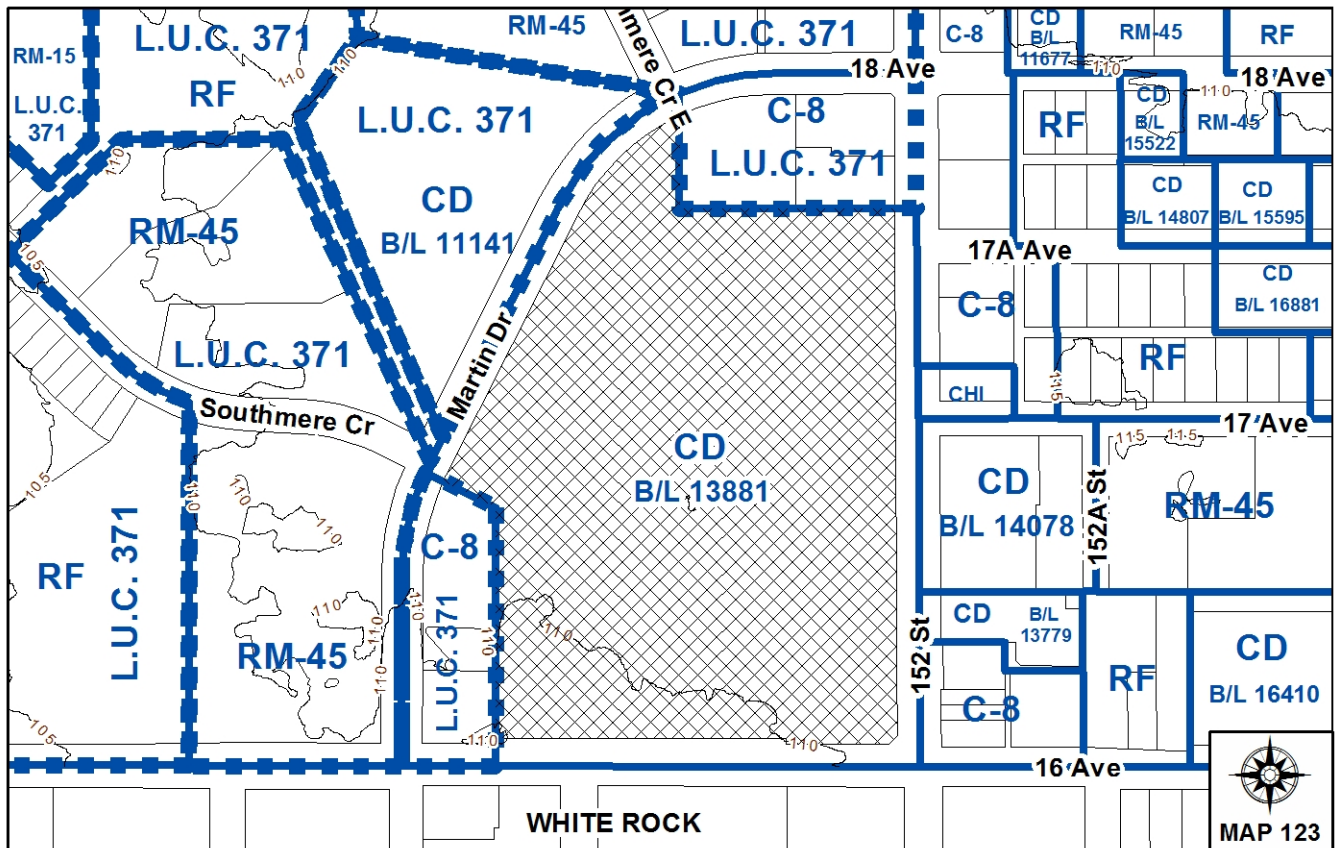


**PROPOSAL:**

- **Development Permit**

in order to permit renovations to a portion of the Semiahmoo Shopping Centre site.

**LOCATION:** 1711 - 152 Street  
**OWNER:** First Capital (Semiahmoo) Corporation, Inc. No. 0883733  
**ZONING:** CD (By-law No. 13881)  
**OCP DESIGNATION:** Town Centre  
**Town Centre Plan DESIGNATION:** Mixed-Use



MAP 123

RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The renovations to the existing shopping centre and landscaping will contemporize and enhance the overall appearance of the site.

RECOMMENDATION

The Planning & Development Department recommends:

1. Council authorize staff to draft Development Permit No. 7914-0136-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to approval:
  - (a) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

Parks, Recreation & Culture: No objection.

SITE CHARACTERISTICS

Existing Land Use: Semiahmoo Shopping Centre.

Adjacent Area:

<b>Direction</b>	<b>Existing Use</b>	<b>OCP/NCP Designation</b>	<b>Existing Zone</b>
North (Across Martin Drive):	Apartments, Fire Hall, Library and Commercial buildings.	Multiple Residential and Town Centre / Multi-Family Residential and Mixed Use	LUC 371, CD (By-law No. 11141) and C-8
East (Across 152 Street):	Commercial buildings.	Town Centre / Mixed Use	CD (By-law Nos. 14078 and 13779), C-8 and CHI
South (Across 16 Avenue):	Commercial buildings in the City of White Rock.	Not applicable	Not applicable
West (Across Martin Drive):	Commercial buildings and Apartments.	Multiple Residential / Multi-Family Residential	C-8 and LUC 371

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject application involves the northern portion of the Semiahmoo Shopping Centre, which is located at the northwest corner of 16 Avenue and 152 Street. The site is zoned "Comprehensive Development Zone (CD)" (By-law No. 13881), which permits commercial uses. The site is designated "Town Centre" in the Official Community Plan (OCP) and "Mixed Use" in the Semiahmoo Town Centre Plan.
- The previous owner of the shopping centre site, Bosa Investment Incorporated, submitted an application in 2008 to redevelop the mall site for high-density mixed-use development (Development Application No. 7908-0032-00). Due to the market downturn in 2008, Bosa rescinded its rezoning application, and decided instead to upgrade the mall under the permitted density and uses of the existing zoning.
- In 2009, Bosa made an application to redevelop the southern portion of the Semiahmoo Shopping Centre site (Development Application No. 7909-0227-00). The proposal involved the removal of four (4) of the five (5) existing commercial buildings at the southern portion of the site, fronting 16 Avenue, the construction of a new free-standing commercial building (Shopper's Drug Mart), and the construction of an addition to the main shopping centre building for a BC Liquor Store.
- The shopping centre is currently owned by First Capital Realty, which owns, develops and operates supermarket and drugstore anchored neighbourhood and community shopping centres throughout Canada.
- In 2012, First Capital Realty made an application to renovate the southeastern portion of the site, on the 152 Street side, and at the corner of 152 Street and 16 Avenue (Development Application No. 7912-0259-00). These renovations are now complete. This portion of the shopping centre has been improved with building façade renovations to contemporize the building as well as new landscaping.

### Proposal

- The subject proposal is for a Development Permit for exterior renovations to the northern portion of the shopping centre site, which was previously occupied by the "Zellers" store. No changes in floor area are proposed.
- The proposed renovation includes upgrades to three exterior elevations of the building to accommodate new tenant entries. Roof parking with 150 parking stalls is proposed, and a ramp up to the roof parking level.
- The applicant has explained that the additional parking is required in anticipation of future redevelopment phases, where demolition and construction will cause parking shortfalls.
- The proposed renovation will drastically improve the building and urban design by changing the building form from a blank box where all activity occurs on the inside of the building, to a "street wall", where the edges and exterior of the building has the appearance of a shopping street which promotes visual interest, activity, and leisure.

- The applicant intends to redevelop the existing shopping centre in phases. This renovation phase will tie into future phases.

### Semiahmoo Trail

- The Semiahmoo Trail currently ends at Southmere Crescent and Martin Drive, to the west of the Semiahmoo Shopping Centre site. The Semiahmoo Trail is planned to traverse through the shopping centre site and terminate at the northwest corner of 152 Street and 16 Avenue. The future alignment of the trail through the site is illustrated conceptually in Appendix II.
- When redevelopment occurs at a future stage along this alignment, the applicant will be required to enhance and construct the future Semiahmoo Trail through the property. Further, the applicant will be required to provide and enhance amenity nodes/plaza space at the northwest corner of 152 Street and 16 Avenue and at the west mall entry location which is aligned at Southmere Crescent, as illustrated on Appendix II.
- When redevelopment occurs along this alignment and the trail and amenity node areas are constructed and enhanced, interpretive signage about the history of the Semiahmoo Trail and special paving treatments will be encouraged to provide way-finding and to reference the historic travel route. Improvements have already been made along the southern portion of the mall site, along 16 Avenue and at the 16 Avenue and 152 Street corner plaza, which are reflective of the Semiahmoo Trail. These improvements include the installation of public art mosaics by the artist Glenn Anderson, which reflect the site's context and history, including the Semiahmoo Trail.

### DESIGN PROPOSAL AND REVIEW

- The existing building is proposed to be renovated by providing entries on all three facades, incorporating street edge enhancements including landscaping, lighting, benches, signage and weather protection, and adding a layering of building materials. The intent is to transform the building from its current simple and unarticulated form of blank walls into a "street wall", or a composition of buildings.
- These exterior enhancements pedestrianize the building, creating outdoor space that is interesting and inviting.
- Larger tenant entries are located along the east side of the building, which has more prominence on 152 Street.
- The proposed renovation includes clear tempered glazing at tenant entries which allow for sight lines from the interior to the exterior of the building. This is an improvement with regards to Crime Prevention through Environmental Design (CPTED). Additionally, new pedestrian site lighting is proposed.
- Handicapped access is provided to all public areas.
- The landscaping includes seating, street furniture, lighting and planting around the perimeter of the building, with the intent of improving and enhancing the pedestrian realm.

- The landscaping on the roof includes planters with shrubs and trees, and trellis with flowering vines. The planted trellis serves to break up the views of the parking lot and provide interest from the grade level.
- Fascia signage is required to consist of individual illuminated channel letters. The signage design has not yet been finalized, as coordination with future tenants is required. If variances to the Sign By-law are required for any proposed signage, a separate development application to permit this signage will be required.

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on June 19, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The site is located at the heart of the Semiahmoo Town Centre.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• No change in floor area (density) is proposed.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Recycling of a variety of material is provided for on the site.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• The existing mall is accessible by bike and foot, and provides for bike racks and outdoor public seating areas.</li> <li>• The site is well served by public transit.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The renovated area allows for direct visual surveillance from multiple angles. Additional site lighting will be added where needed.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• Development proposal signs were erected on the site on June 19, 2014.</li> </ul>

### ADVISORY DESIGN PANEL

- The project was reviewed by the Advisory Design Panel (ADP) on June 26, 2014.
- The proposed design was well received by the ADP. The recommendations from the ADP have been addressed and incorporated into the architectural and landscape design, as documented in Appendix III.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. ADP Comments

*original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

HK/da

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## DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 13881

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		72,626 m <sup>2</sup> (no change)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		37.5% (no change)
SETBACKS ( in metres)		No change
Front		
Rear		
Side #1 (N,S,E, or W)		
Side #2 (N,S,E, or W)		
Side #3 (N, S, E or W)		
BUILDING HEIGHT (in metres/storeys)		No change
Principal		
Accessory		
NUMBER OF RESIDENTIAL UNITS		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		N/A
FLOOR AREA: Commercial		27,234 m <sup>2</sup> (no change)
Retail		
Office		
Total		
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		27,234 m <sup>2</sup> (no change)

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)		0.37 (no change)
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		1,380 (140 net gain)
Industrial		
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		
Institutional		N/A
Total Number of Parking Spaces		1,380 (140 net gain)
Number of disabled stalls		4 new
Number of small cars		36 new
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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# SEMAHMOO MALL REDEVELOPMENT - PHASE 1 ( RE-SUBMISSION; APPLICATION 7914-0136-00 )



**\_PROJECT RENDERING**



**\_PROJECT INFORMATION**

**LEGAL ADDRESS**  
LOT 2 OF S.S. QUARTER OF SECTION 15, TOWNSHIP 1, PLAN 56401 N.W.D.

**CIVIC ADDRESS**  
1711 152nd STREET  
SURREY, B.C. V4A 4N3

**ZONING**  
EXISTING: C-D COMPREHENSIVE DEVELOPMENT  
PROPOSED: NO CHANGE

**OCCUPANCY**  
EXISTING: SHOPPING CENTRE, INCLUDING:  
A2 RESTAURANT  
D PERSONAL / BUSINESS SERVICES  
E MERCANTILE  
PROPOSED: NO CHANGE

**\_PROJECT DATA**

	EXISTING	PROPOSED
ZONE	C-D	NO CHANGE
SITE AREA	781,748 SF	NO CHANGE
SITE COVERAGE	37.5%	NO CHANGE
PARKING	1,240 STALLS	1,378 STALLS
BICYCLE PARKING	-	NO CHANGE
LOADING SPACES	2 SIDELOADING 3 REARLOADING	2 NEW REARLOADING
BUILDING CLASSIFICATION	SEE ABOVE	NO CHANGE
# OF STORES	1	NO CHANGE
SETBACKS	FRONT = 2.0m (7'-0") SIDE = 0.0m (0'-0") REAR = 7.5m (25'-0")	NO CHANGE NO CHANGE NO CHANGE
TOTAL FLOOR AREA (GROSS)	293,149 SF	NO CHANGE
BUILDING HEIGHT	36'-0" (HIGH POINT)	NO CHANGE
FINISHED GRADE	VARIABLES	NO CHANGE
FLOOR AREA RATIO	0.37	NO CHANGE
SPRINKLERED	YES	NO CHANGE

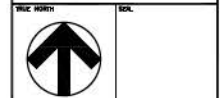
**COMMENTS**

2014-07-09 DP RE-SUBMISSION  
2014-06-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION



**PROJECT# 1401.01**

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**SEMAHMOO MALL - PHASE 1**  
1625 152nd STREET  
SURREY, BC V4A 4N3

**\_PROJECT CONTACTS**

**PROPERTY OWNER**  
FIRST CAPITAL ( SEMIAHMOO ) CORPORATION c/o CHERYL FU  
400 - 1550 8th STREET SW  
CALGARY, A.B. T2R 1K1  
TEL: ( 504 ) 278 - 0055  
FAX: ( 504 ) 278 - 3354  
EMAIL: cheryl.fu@FirstCapitalReally.ca

**ARCHITECT**  
STUDIO B ARCHITECTS c/o TOM BUNTING  
200 - 211 COLUMBIA STREET  
VANCOUVER, B.C. V6A 2R5  
TEL: ( 504 ) 556 - 3327  
EMAIL: tom@studioBarchitects.ca

**LANDSCAPE ARCHITECT**  
ECKFORD TYACKE + ASSOCIATES c/o JERRY ECKFORD  
1690 WEST 2nd AVENUE  
VANCOUVER, B.C. V6J 1H4  
TEL: ( 504 ) 683 - 1456  
FAX: ( 504 ) 683 - 1459  
EMAIL: jerry@etia.ca

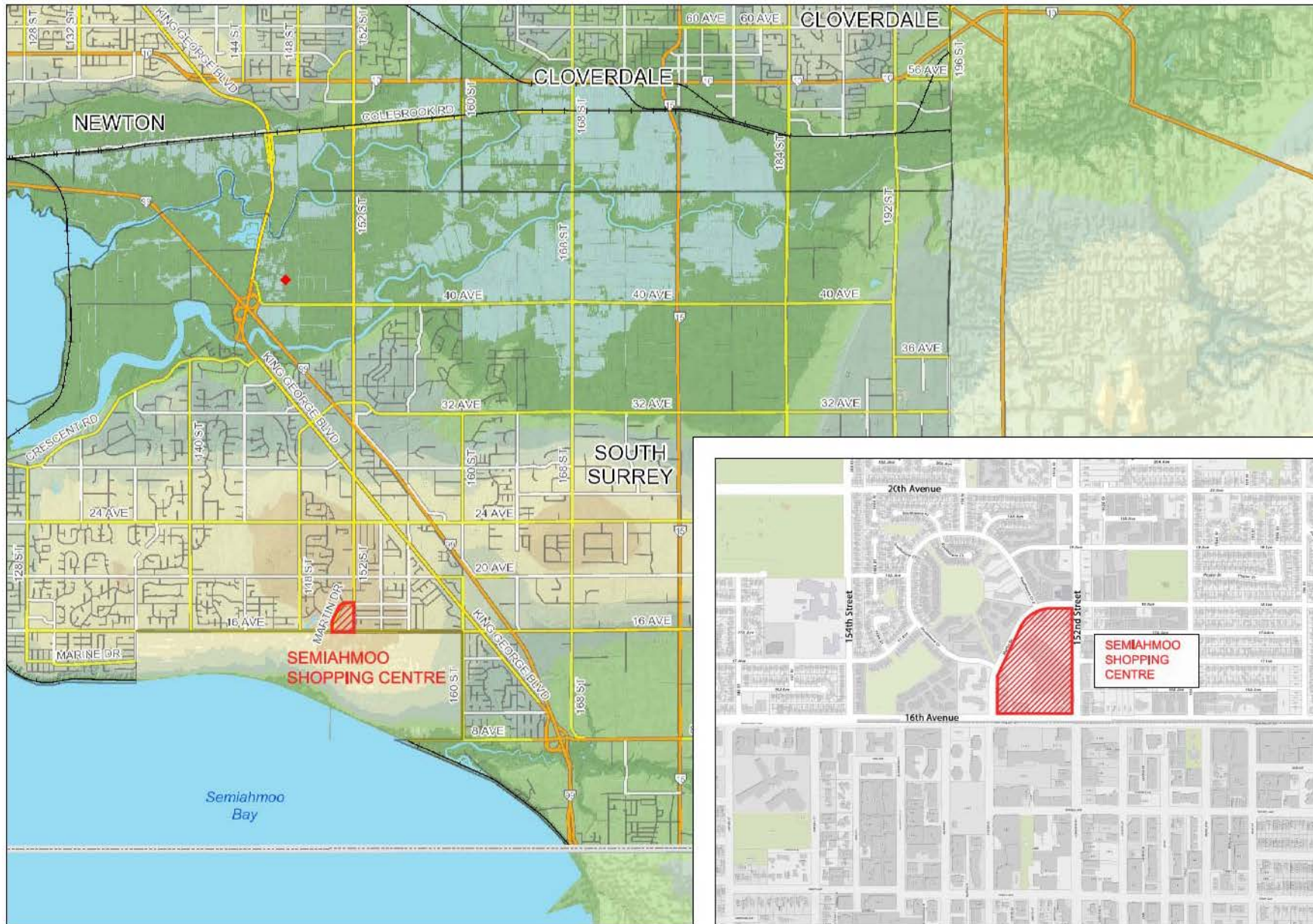
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ARCHITECTURAL				LANDSCAPE				
SHEET #	DRAWING DESCRIPTION	SCALE	SHEET #	DRAWING DESCRIPTION	SCALE	SHEET #	DRAWING DESCRIPTION	SCALE
A030	COVER SHEET, DRAWING INDEX, PROJECT STATISTICS	AS NOTED	A031	EXISTING EAST ELEVATION	1/8" = 1'-0"	L1	TREE MANAGEMENT PLAN	AS SHOWN
A031	LOCATION PLAN	AS NOTED	A032	EXISTING NORTH ELEVATION	1/8" = 1'-0"	L2	LANDSCAPE PLAN GROUND FLOOR	1/8" = 1'-0"
A032	CONTEXT PLAN	1" = 3'-0"	A033	EXISTING WEST ELEVATION	1/8" = 1'-0"	L3	LANDSCAPE PLAN ROOFTOP	1/8" = 1'-0"
A033	EXISTING SITE PHOTOS	N.T.S.	A034	NEW EAST ELEVATION	1/8" = 1'-0"	L4	LANDSCAPE ENLARGEMENT AND SECTIONS	AS SHOWN
A034	EXISTING SITE PLAN	1" = 25'-0"	A035	NEW NORTH ELEVATION	1/8" = 1'-0"	L5	LANDSCAPE DETAILS AND SCHEDULES	AS SHOWN
A035	DESIGN RATIONALE	N.T.S.	A036	NEW WEST ELEVATION	1/8" = 1'-0"	L6	PRECEDENT IMAGES	N.T.S.
A191	LOWER LEVEL SITE PLAN	1" = 25'-0"	A037	RAMP ELEVATION	1/8" = 1'-0"			
A192	UPPER LEVEL SITE PLAN	1" = 25'-0"	A038	SECTIONS	1/8" = 1'-0"			
A193	LOWER LEVEL KEY PLAN	1" = 25'-0"	A039	SECTIONS	1/8" = 1'-0"			
A194	UPPER LEVEL KEY PLAN	1" = 25'-0"	A401	RENDERINGS	N.T.S.			
A201	LOWER LEVEL PARTIAL PLANS	1/8" = 1'-0"	A402	RENDERINGS	N.T.S.			
A202	LOWER LEVEL PARTIAL PLANS	1/8" = 1'-0"						
A211	UPPER LEVEL PARTIAL PLANS	1/8" = 1'-0"						
A212	UPPER LEVEL PARTIAL PLANS	1/8" = 1'-0"						

**COVER PAGE**

DATE: MAY 13, 2014  
SCALE: AS SHOWN  
DRAWING NO: **A000**





1 MUNICIPAL PLAN  
ADD1 N.T.S.

2 VICINITY PLAN  
ADD1 N.T.S.

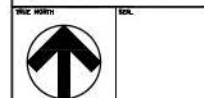


COMMITMENTS

2014-07-09 DP RE-SUBMISSION  
2014-06-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION

**studio B**  
architects  
200-211 Columbia Street  
Vancouver, BC V5A 2R5  
T: 604 688 3327  
www.studiobarchitects.ca

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PROJECT  
SEMIAHMOO MALL - PHASE 1  
1625 159th STREET  
SURREY, BC V4A 0G3

DATE  
LOCATION PLAN

DATE  
MAY 13, 2014  
SCALE  
AS SHOWN

A001





1 | Southmere Crescent E. & 18th Avenue



2 | Southmere Crescent & Martin Drive



3 | 16th Avenue



4 | 16th Avenue & 152nd Street



5 | 17th Avenue & 152nd Street



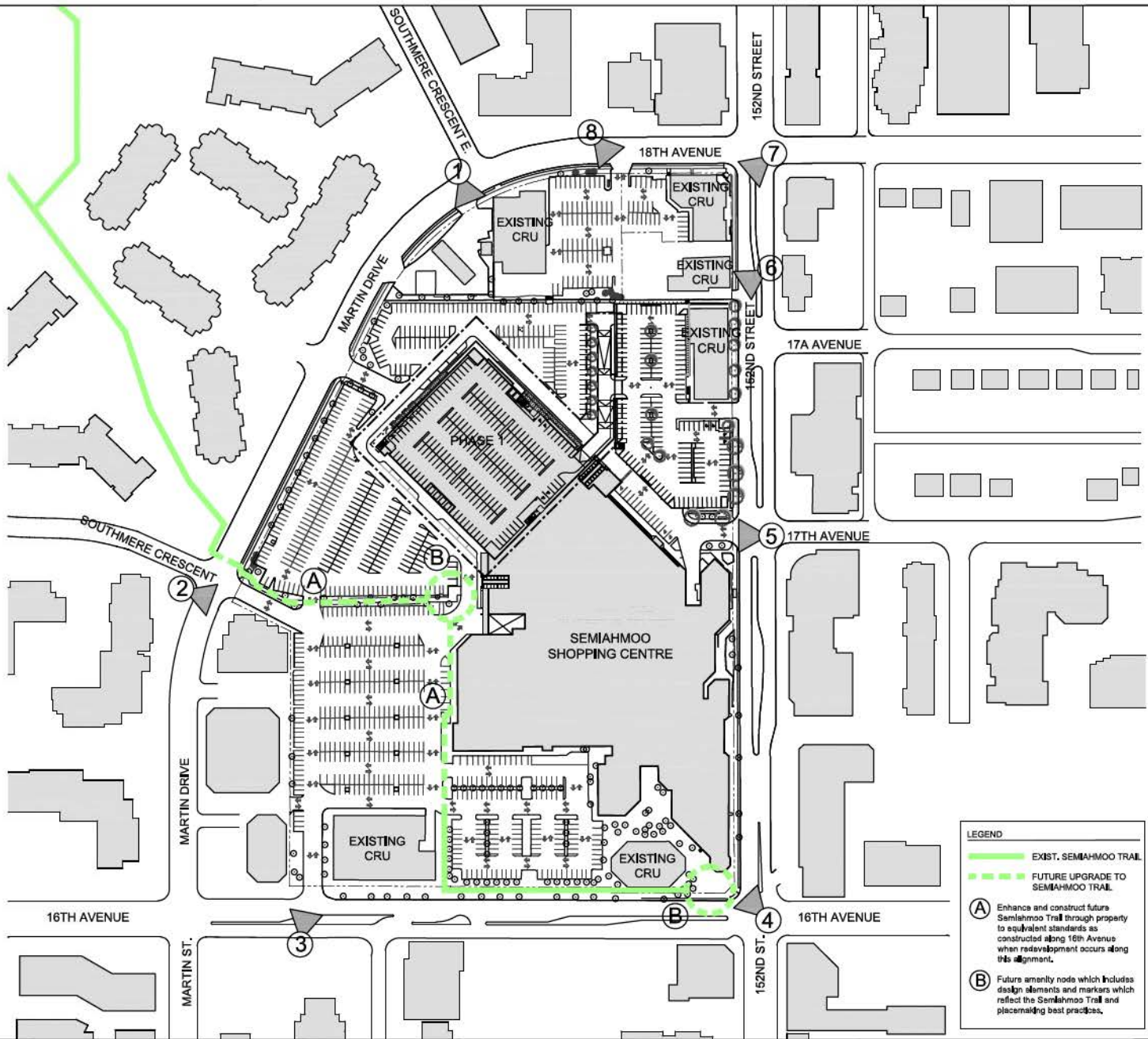
6 | 17A Avenue & 152nd Street



7 | 18th Avenue & 152nd Street



8 | 18th Avenue



**LEGEND**

- EXIST. SEMIAHMO TRAIL
- - - - FUTURE UPGRADE TO SEMIAHMO TRAIL

**(A)** Enhance and construct future Semiahmo Trail through property to equivalent standards as constructed along 16th Avenue when redevelopment occurs along this alignment.

**(B)** Future amenity nodes which includes design elements and markers which reflect the Semiahmo Trail and placemaking best practices.



COMMITMENTS

2014-07-09 DP RE-SUBMISSION  
 2014-08-19 DP RE-SUBMISSION  
 2014-05-13 DP SUBMISSION

**studio B architects**  
 200-211 Columbia Street  
 Vancouver, BC V5A 2P5  
 T 604 688 3327  
 www.studiobarchitects.ca

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**PROJECT**

SEMIAHMO MALL - PHASE 1  
 1625 152ND STREET  
 SURREY, BC V4A 4G5

**DATE**

MAY 13, 2014

**SCALE**

1"=0' = 80'-0"

**PROJECT**

CONTEXT PLAN

**DATE**

MAY 13, 2014

**SCALE**

1"=0' = 80'-0"

**PROJECT**

A002



**MAIN MALL ENTRANCE ( PHOTO 1 )**



**MALL ACCESS FROM MARTIN DRIVE ( PHOTO 2 )**



**EXISTING ZELLER'S BUILDING - NORTH WEST CORNER ( PHOTO 5 )**



**EXISTING ZELLER'S BUILDING - NORTH EAST CORNER ( PHOTO 6 )**



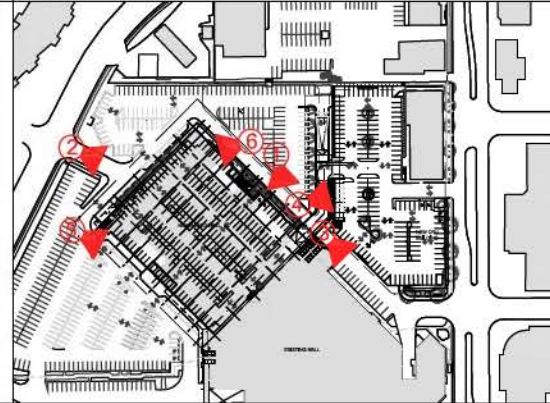
**PARKADE, ACCESS ROAD FROM 152nd + MALL ENTRY( PHOTO 3 )**



**EXISTING PARKADE - NORTH WEST CORNER ( PHOTO 4 )**



**PHOTO KEYPLAN**



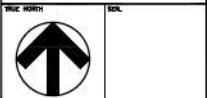
CONSULTANTS

2014-07-09 DP RE-SUBMISSION  
2014-06-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION

**studio B**  
architects  
200-211 Columbia Street  
Vancouver, BC V5A 0P5  
T 604 688 3327  
www.studiobarchitects.ca

PROJECT# 1401.01

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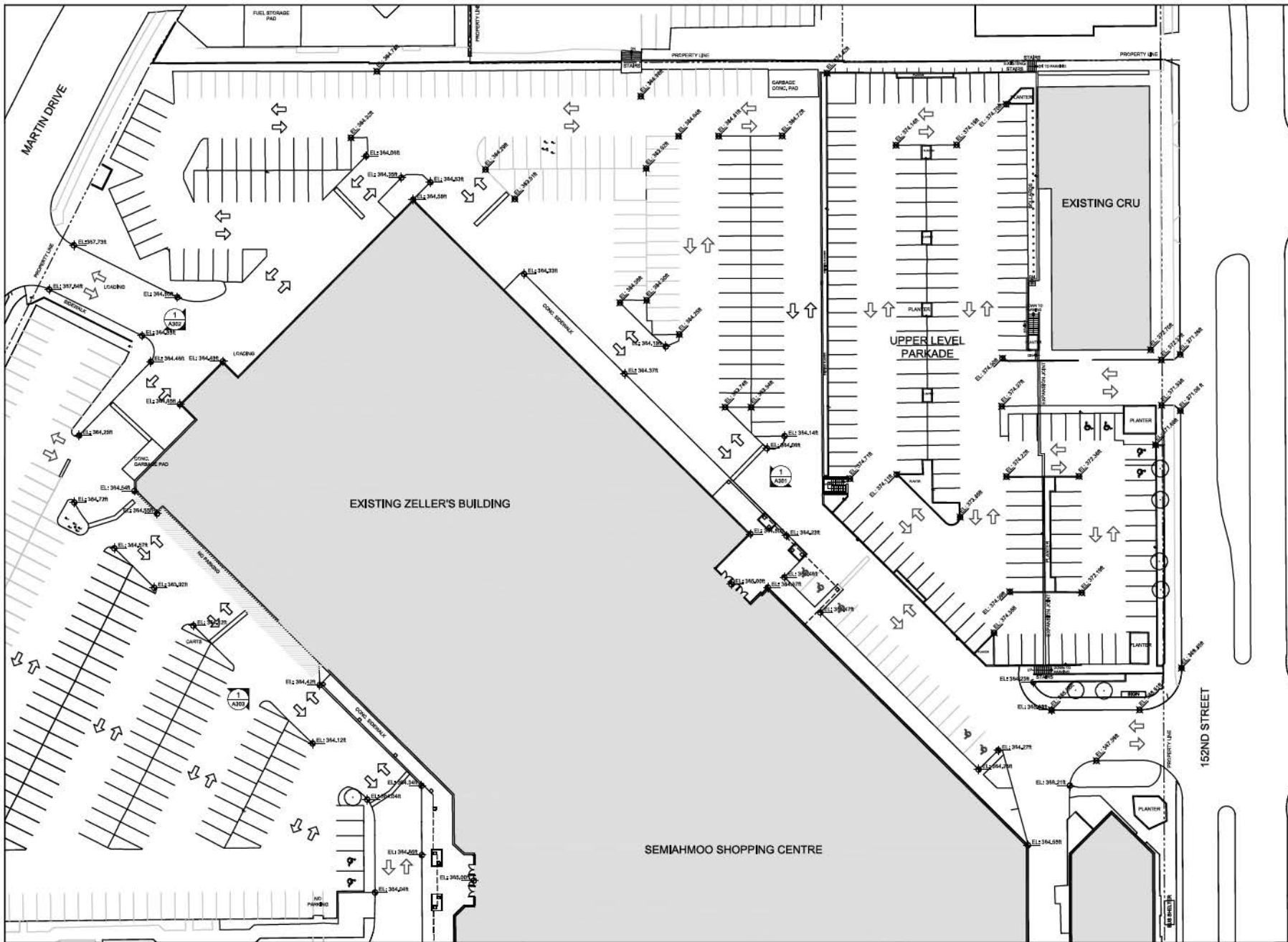


PROJECT  
**SEMAHMOO MALL - PHASE 1**  
1825 152ND STREET  
SURREY, BC V4A 0G5

DRAWING  
**SEMAHMOO MALL  
EXISTING PHOTOS**

DATE	SCALE
MAY 13, 2014	1/8" = 1'-0"

**A003**



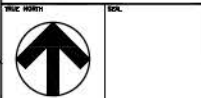
COMMITMENTS

2014-07-09 DP RE-SUBMISSION  
 2014-06-19 DP RE-SUBMISSION  
 2014-05-13 DP SUBMISSION

**studio B**  
 architects  
 200-211 Columbia Street  
 Vancouver, BC V5A 2P5  
 T 604 688 3327  
 www.studiobarchitects.ca

PROJECT# 1401.01

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PROJECT  
**SEMAIHMUO MALL - PHASE 1**  
 1825 152ND STREET  
 SURREY, BC V4A 6K3

ISSUE  
**EXISTING SITE PLAN**

DATE	DRAWN BY
JUNE 6, 2014	SCALE
	1" = 25'
DATE	SCALE
	A004



**PROJECT DESCRIPTION**

The proposed renovation of the Zeller's building, located within the 312,000 sf Semiahmoo Shopping Centre, bordering 152nd Street between 16th and 18 Avenues, is a single storey, approximately 67,000 sf retail use building.

This is the latest phase of a multi phased upgrade and redevelopment of the property over the next few years.

This project proposes to upgrade the three exterior elevations of the building to accommodate new tenant entries, as well as adding a loading area to the west facade. Roof parking, for approximately 150 cars is proposed in anticipation of future phases, where demolition and construction will cause parking shortfalls. The interior will be renovated and retrofitted with upgraded mechanical and electrical systems, and structural elements as required. No net area is added in this application.

Generally the exterior elevations of the existing building are simple, red brick clad walls with nominal openings or details. There are stuccoed arcades to portions of the east and west facades. These will be partially demolished in this phase, and ultimately completely removed. A vehicular ramp is proposed from the lower parking area (at grade with the Zeller's building) to the existing upper parking deck (at grade with 152nd Street) and which continues up to the roof parking. Two elevator/stair cores and a stair only core are proposed to facilitate roof parking pedestrian access.

**DESIGN CHARACTER**

The additions to the exterior of the building, as well as street edge enhancements of trees, lighting bollards, benches, signage, etc., will transform the general character of the building as a 'street wall', or a composition of buildings. A layering of materials, glazed openings and landscape elements signals store entries and vertical circulation, and defines a linear public space. This layering breaks down the scale of the existing large unarticulated walls, and adds pedestrian interest and amenity. Large expanses of uninterrupted glass canopies span the length of the new facade, facilitating pedestrian travel from parking and store entries; as well adding interest and scale.

The location of larger tenant entries are positioned along the more prominent east side of the building which future phases will connect more directly to 152nd, the defacto 'Main Street' of Semiahmoo Town Centre within Surrey and White Rock as well. The north corners of the building are designed with larger entry elements with more glazing, anticipating a more prominent place in the future expansion.

Pedestrian circulation around the proposed renovation and the site in general is improved and enhanced. (see A.007, Pedestrian Circulation) New sidewalks are added around the building with stronger connection to the surrounding city pedestrian circulation. A new north/south landscaped walkway collects people from existing parking, and will eventually link with a future retail phase.

A new loading entry is added the west facade. This is treated as a subdued element architecturally, as is not a public entry. A metal panelized surround with an overhead metal door and a man door, is detailed with heavy duty, durable materials.

**CPTED (CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN RESPONSE)**

The proposed renovation adds no new hidden area, so site lines remain clear and open. All new tenant entries have large expanses of clear tempered glazing that allow clear, uninterrupted sight line from the interior and exterior. All stair/elevator lobby are open with good sight lines, or enclosed with large expanses of glazing. All tenants have internal security systems. The Centre employs a manned security patrol on site.

Additional pedestrian site lighting will be provided, especially in previously unused areas as required.

Planting on the roof falls within height guidelines for CPTED.

**SUSTAINABILITY**

**Building**

Fundamentally this proposal is an extensive renovation/reuse of approximately 67,000 sf, where as much of the existing structure and materials will be retained and reused. The renovation will replace the existing building envelope (constructed in the 1970's) with a contemporary rain-screen system, current with building envelope code requirements. LEED accreditation is currently being considered for the project.

Mechanical and Electrical systems will be brought up to present codes and energy, material and water efficiencies will be explored where ever feasible. Locally sourced materials with low embodied energy, low flow plumbing fixtures, high efficiency lighting, heat recovery, energy reduction fans, etc., will all be used. High efficiency glazing systems with low-e and argon filled will be used.

The reuse of the roof for parking will reduce the requirement for expensive underground parking and inefficient surface parking in future phases, and make an otherwise unsightly roof useful.

Expanded covered bike storage will be provided in the existing structured parking area. The Centre also has an extensive onsite garbage and recycling program.

**Landscape**

Sustainability has been integrated throughout the design through the use of drought tolerant plantings, plantings selected for their specific solar orientation, a high efficiency irrigation system, and locally available materials.

**ACCESSIBILITY**

Handicapped access is provided to all public areas. Additional handicapped The project will be designed according to the handicapped accessibility standards of the BC Building Code.

**LANDSCAPE DESIGN**

The proposed redevelopment at Semiahmoo Mall has several unique features that require a considered approach in establishing a welcoming, pedestrian oriented space. The role of the landscape, particularly at street level, is to provide a simple, legible, and unifying ground plane and respond to the architectural expression and neighbourhood context. The following is a description of project elements:

The entry to the mall parking area is lined with a row of *Acer rubrum* 'October Glory' that will provide spectacular foliage in the autumn months and enliven the views for the surrounding neighbourhood. The entry edge is softened further with an underplanting of low evergreen hedging and ornamental grasses. Opposite the line of trees an evergreen flowering vine will soften the edge of the parking garage and provide for seasonal interest.

The retail frontage features simple saw cut concrete paving. Decorative saw cuts paired with custom benches relate to canopy column locations projecting the architectural rhythm onto the ground plane. Sunken planters at several locations will capitalize on the morning sun and the perennial vines will provide for seasonal interest throughout the year. Plantings are selected for their shade tolerance and general hardiness to lessening the need for excessive water. A small seating node that will be shaded by deciduous trees is provided at the northwest corner. Installed lighting along this edge will provide accent for the planted material and surface of the building.

The retail front at the southwest corner echoes the grouping of deciduous trees at the northwest corner with a similar treatment.

The rooftop of the proposed development replaces previously impermeable surface with flowering vines and planters with ornamental grasses. The planted trellis serve to break up the views of the parking lot and provide interest from the grade level and overlook.



COMMENTS

2014-07-09 DP RE-SUBMISSION  
2014-06-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION



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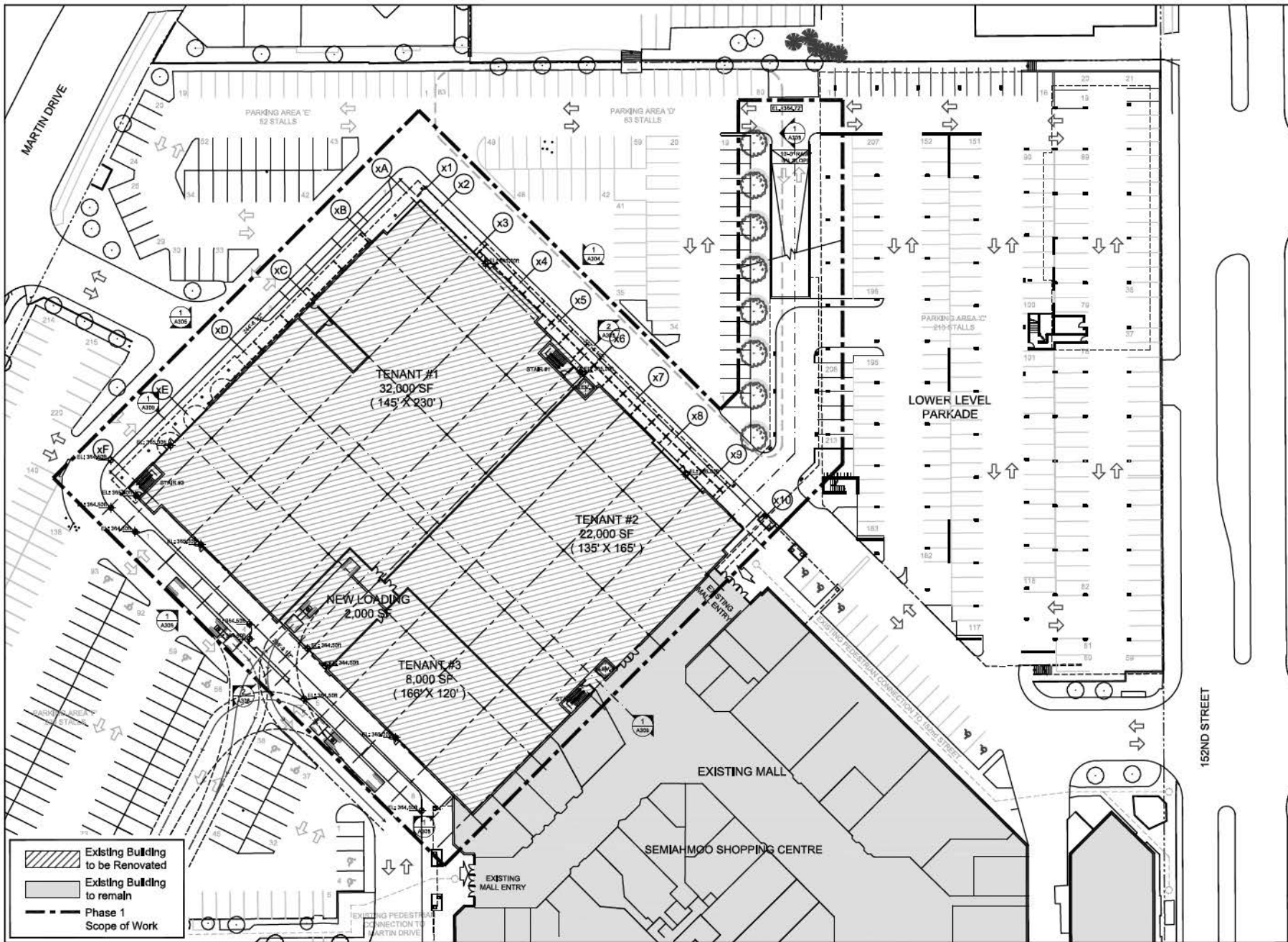
SEMIAHMOO MALL - PHASE 1  
1625 152ND STREET  
SURREY, BC V4A 0G3

**DESIGN RATIONALE**

DATE: MAY 13, 2014  
SCALE: AS SHOWN

NO. A005





COMMITMENTS  
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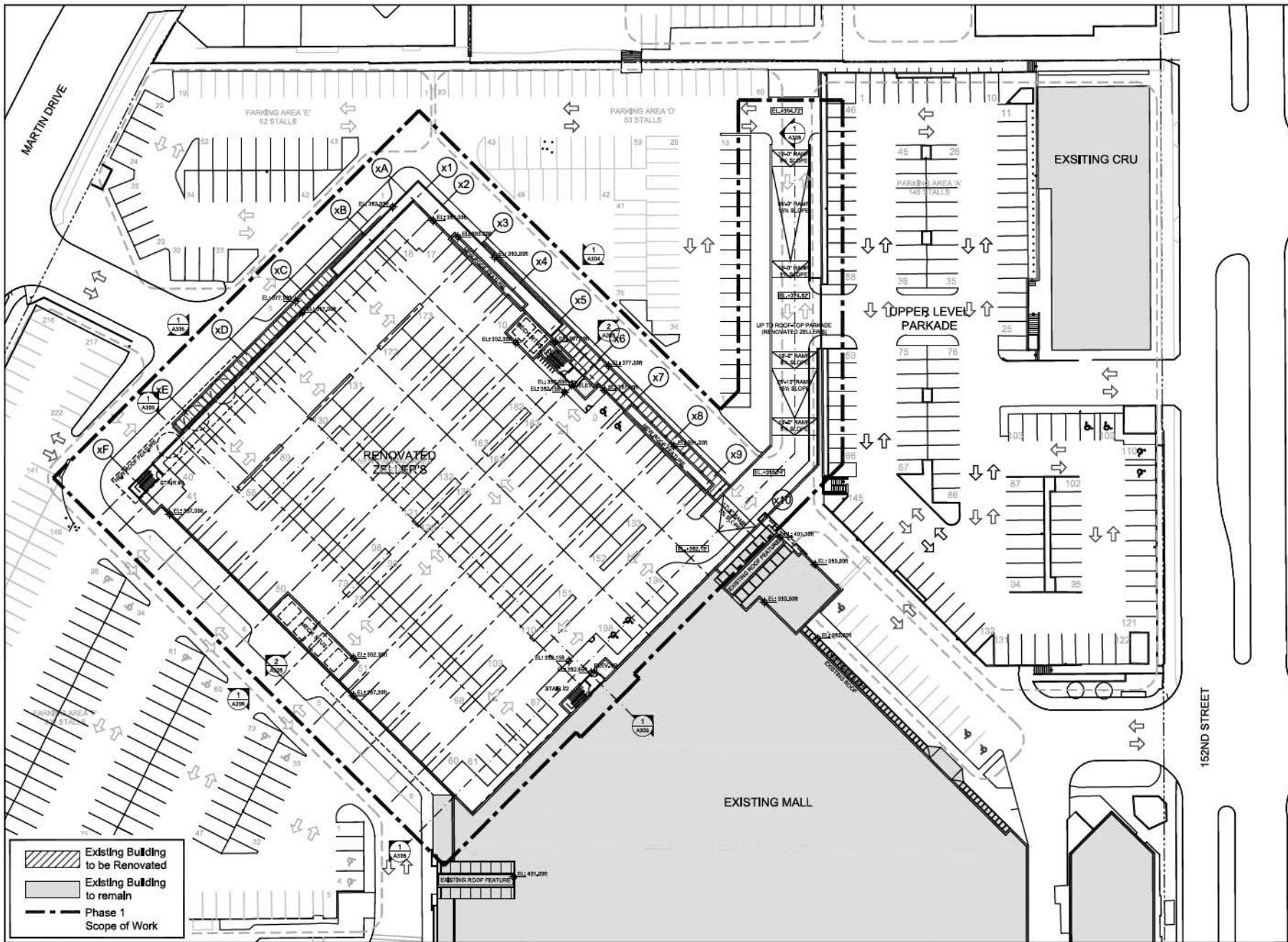


SEMAIHMOO MALL - PHASE 1  
 1625 152ND STREET  
 SURREY, BC V4A 6H3

LOWER LEVEL  
 SITE PLAN

DATE: JUNE 6, 2014  
 SCALE: 1" = 25'  
 DRAWING NO: A101





COMMITMENTS

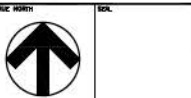
2014-07-09 DP RE-SUBMISSION  
 2014-06-19 DP RE-SUBMISSION  
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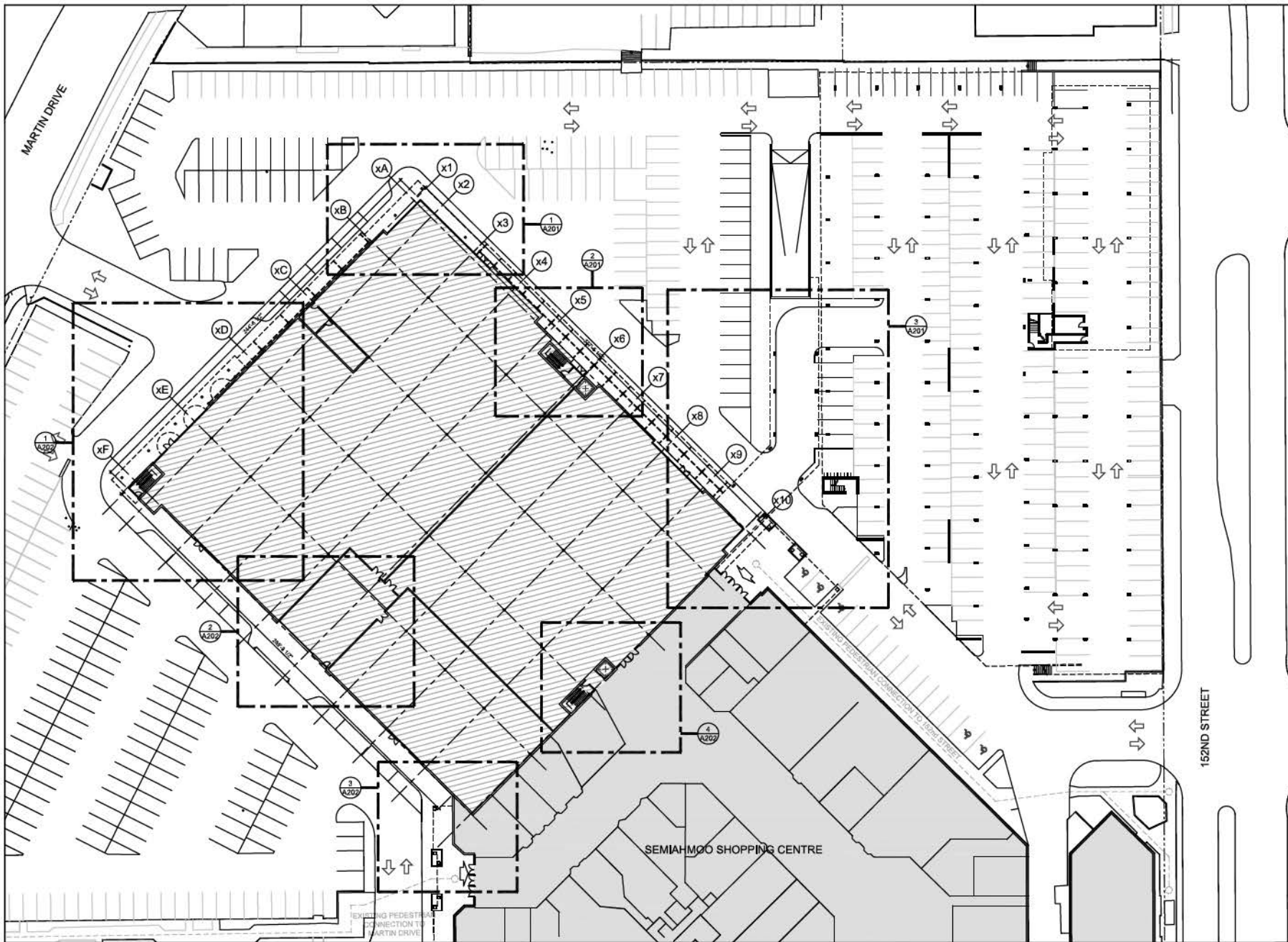
PROJECT  
 SEMAHMOO MALL - PHASE 1  
 1625 152ND STREET  
 SURREY, BC V4A 6K6

UPPER LEVEL  
 SITE PLAN

DATE	DRAWN BY
JUNE 6, 2014	1" = 25'
SCALE	

A102





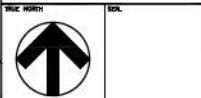
COMMITTEES

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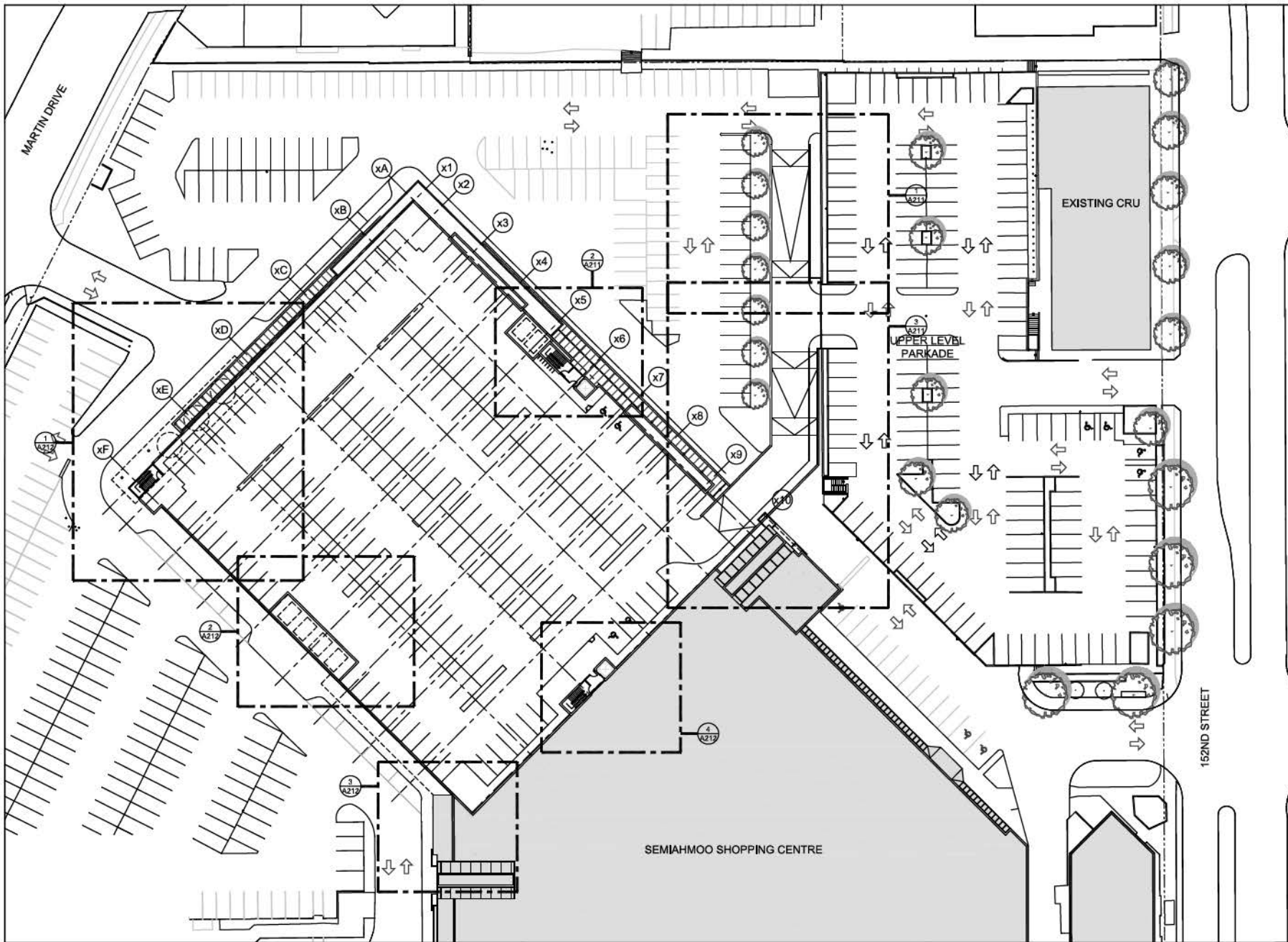


PROJECT  
 SEMIAHMOO MALL - PHASE 1  
 1625 152ND STREET  
 SURREY, BC V4A 6K6

LOWER LEVEL  
 KEY PLAN

DATE	DRAWN BY
JUNE 6, 2014	SCALE
DATE	1" = 25'

A103



COMMITMENTS

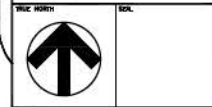
2014-07-09 DP RE-SUBMISSION  
 2014-06-19 DP RE-SUBMISSION  
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PROJECT

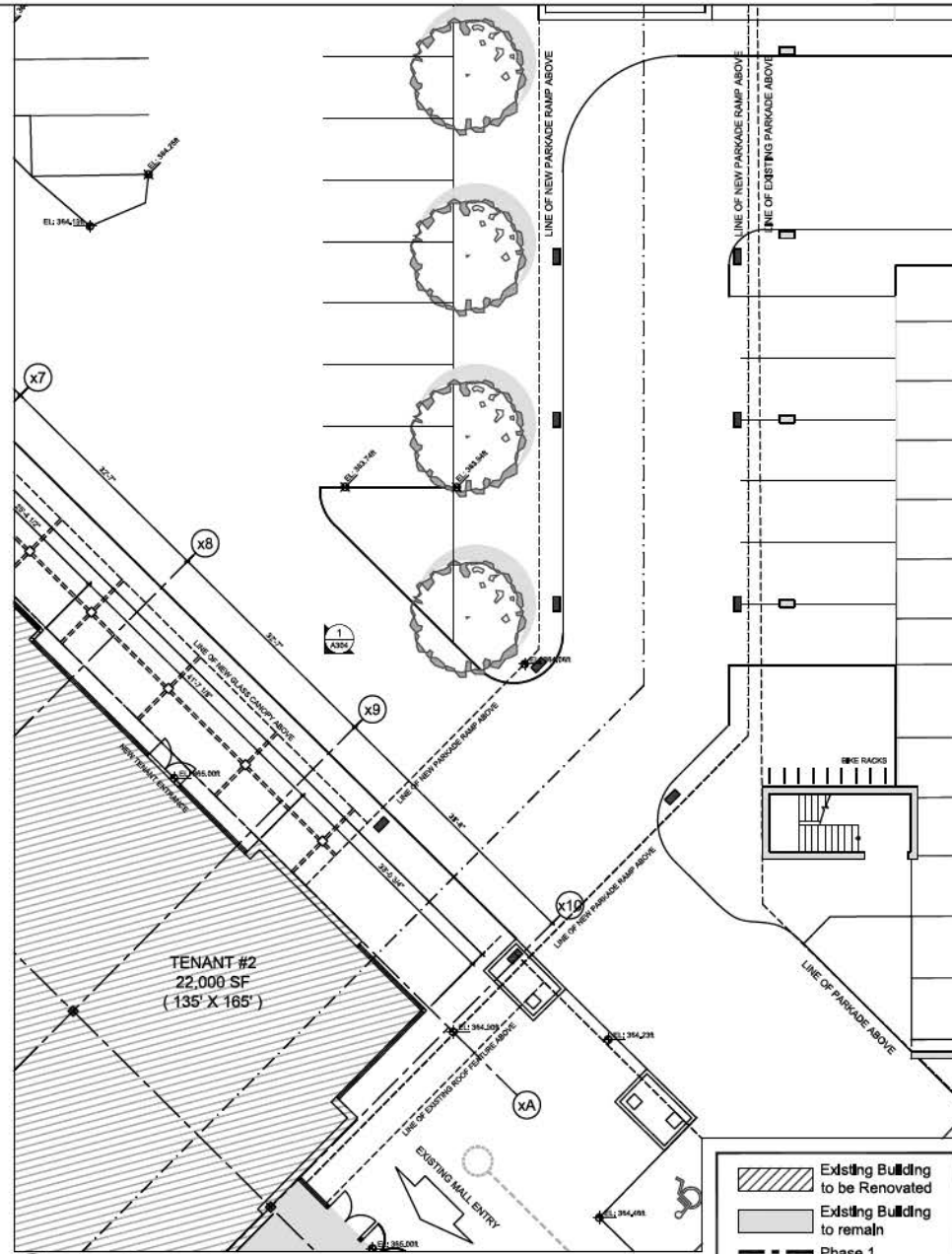
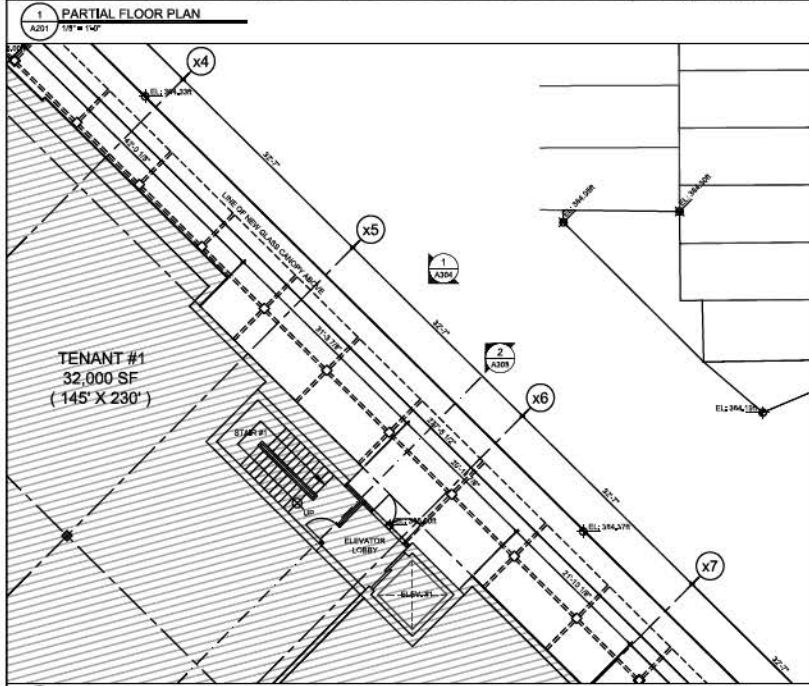
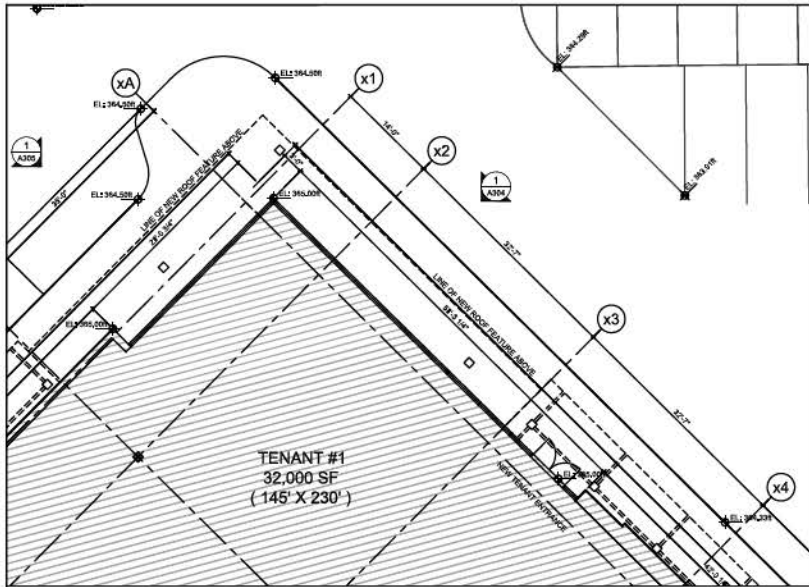
**SEMIAHMOO MALL - PHASE 1**  
 1625 152ND STREET  
 SURREY, BC V4A 6H3

UPPER LEVEL  
 KEY PLAN

DATE: JUNE 6, 2014  
 SCALE: 1" = 25'

A104





	Existing Building to be Renovated
	Existing Building to remain
	Phase 1 Scope of Work

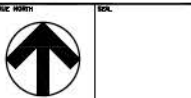


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**SEMIAHMOO MALL - PHASE 1**  
1825 15th STREET  
SURREY, BC V4A 6K6

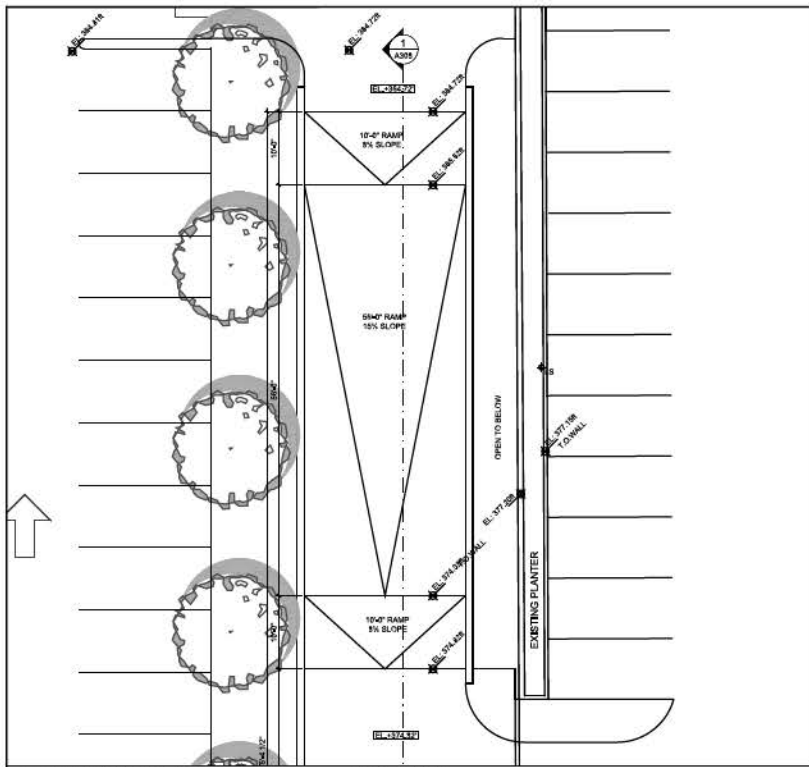
**LOWER LEVEL PARTIAL FLOOR PLANS RENOVATED ZELLER'S BUILDING**

DATE	SCALE
MAY 13, 2014	1/8" = 1'-0"
DRW. NO.	

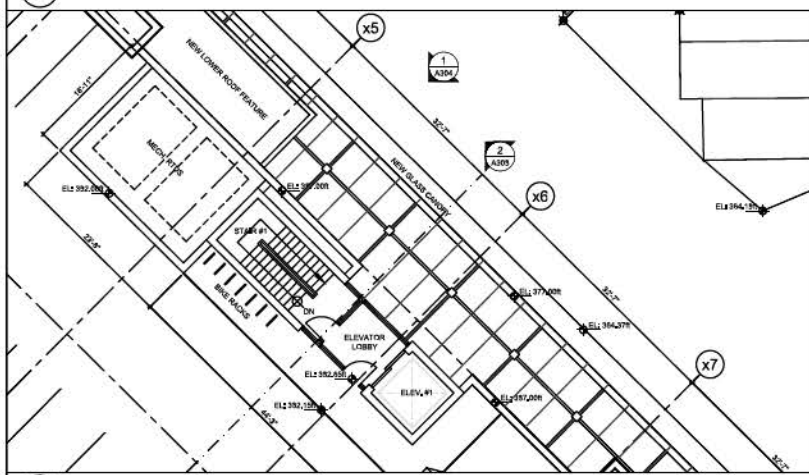
**A201**



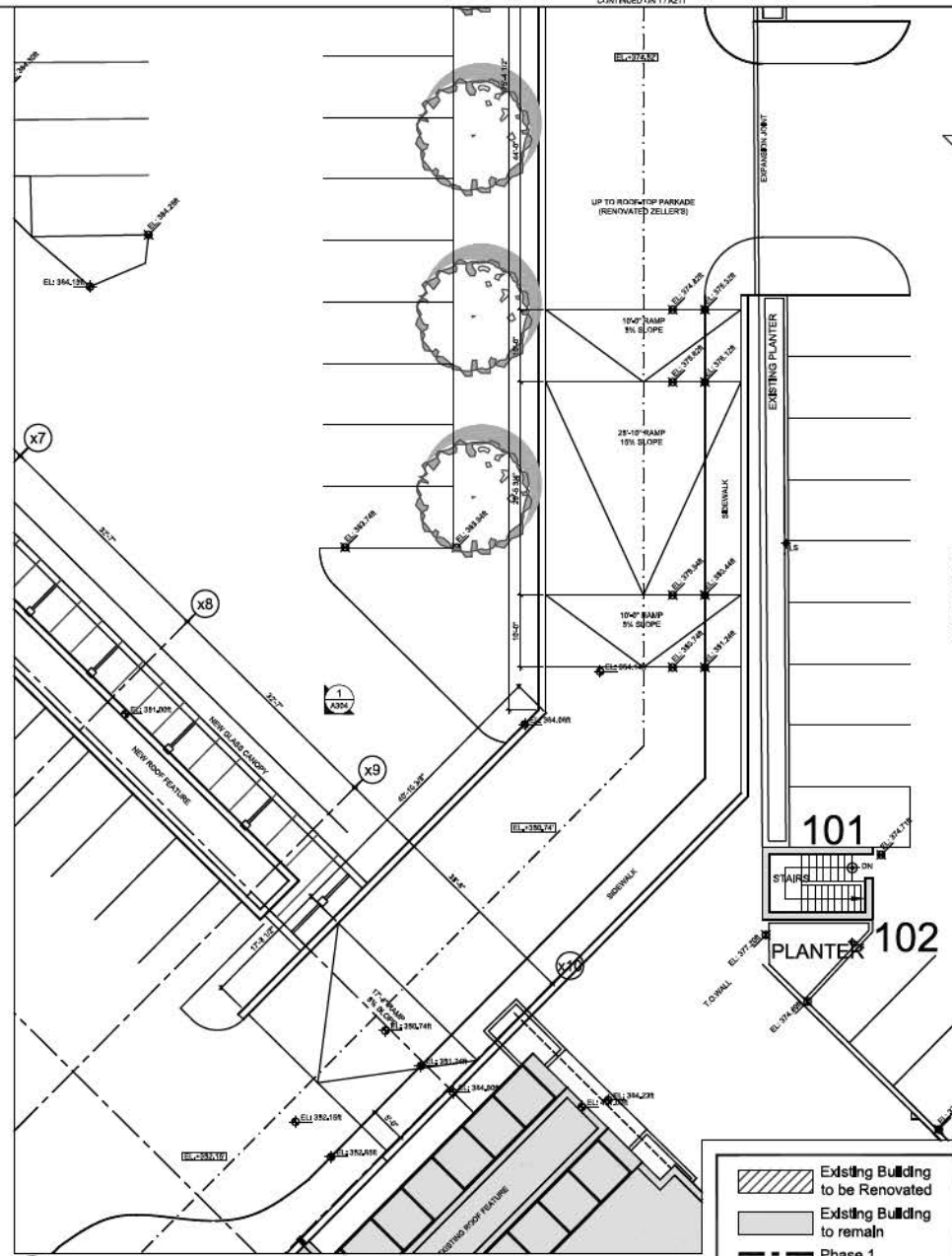




1 PARTIAL FLOOR PLAN  
A201 1/8" = 1'-0"



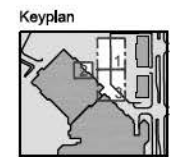
2 PARTIAL FLOOR PLAN  
A201 1/8" = 1'-0"



3 PARTIAL FLOOR PLAN  
A201 1/8" = 1'-0"

	Existing Building to be Renovated
	Existing Building to remain
	Phase 1 Scope of Work

CONTINUED ON 1/A211



2014-07-09 DP RE-SUBMISSION  
2014-08-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION

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PROJECT# 1401.01

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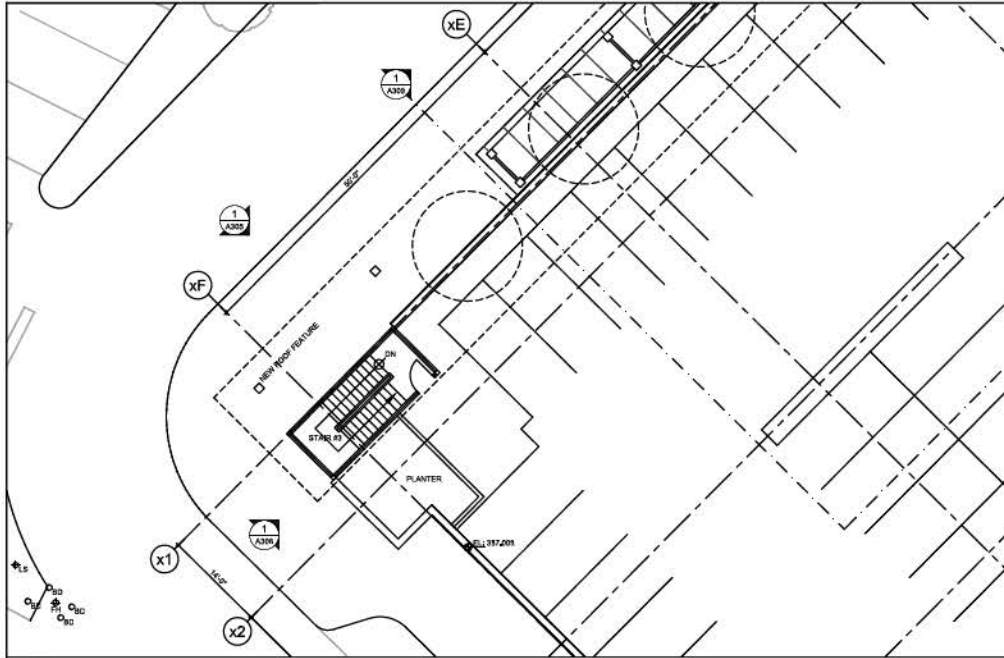
SEMIAHMOO MALL - PHASE 1  
1825 150th STREET  
SURREY, BC V4A 6G3

UPPER FLOOR  
PARTIAL FLOOR PLANS  
RENOVATED ZELLER'S  
BUILDING

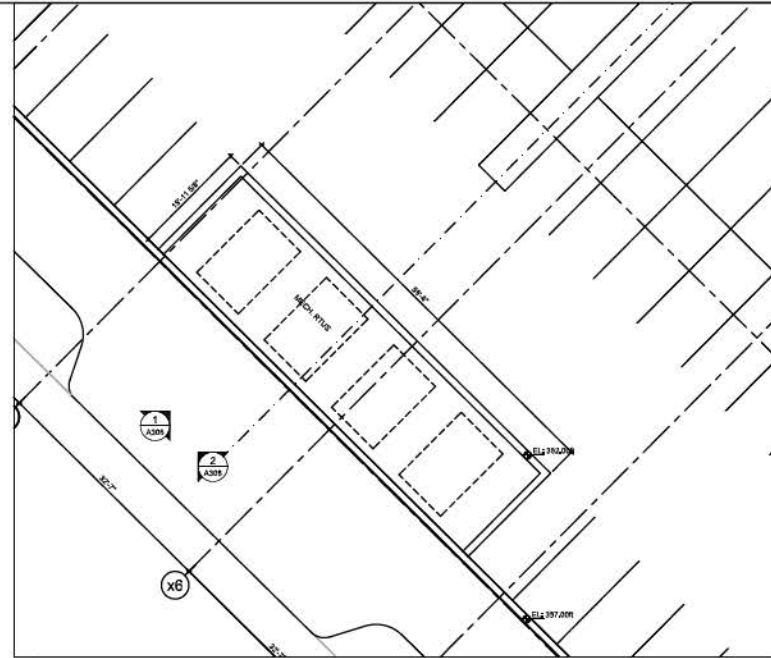
DATE MAY 13 2014	DRAWN BY AG
SCALE 1/8" = 1'-0"	

A211

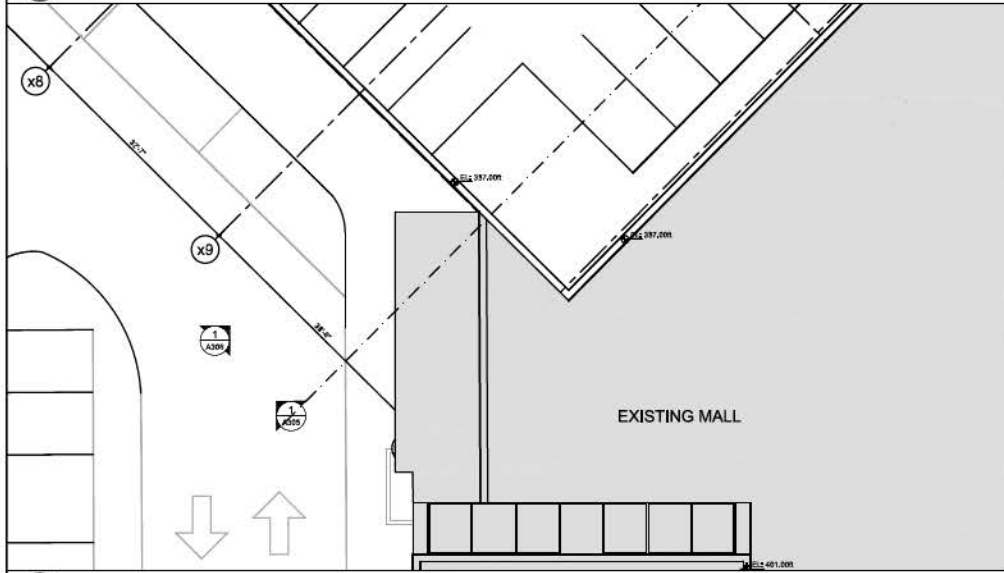




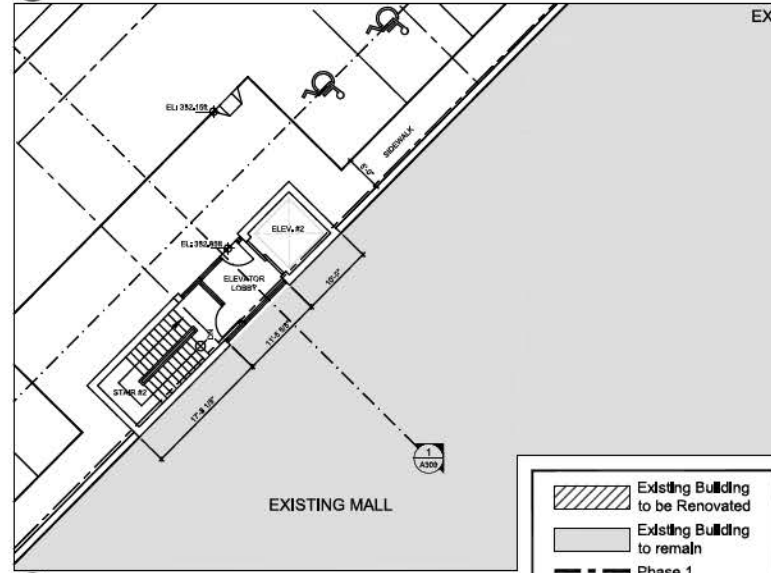
1 PARTIAL FLOOR PLAN  
A212 1/8" = 1'-0"



2 PARTIAL FLOOR PLAN  
A212 1/8" = 1'-0"

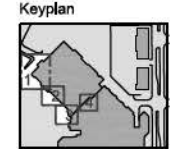


3 PARTIAL FLOOR PLAN  
A212 1/8" = 1'-0"



4 PARTIAL FLOOR PLAN  
A212 1/8" = 1'-0"

	Existing Building to be Renovated
	Existing Building to remain
	Phase 1 Scope of Work



2014-07-09 DP RE-SUBMISSION  
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PROJECT  
SEMAHMOO MALL - PHASE 1  
1825 15th STREET  
SURREY, BC V4A 6K6

UPPER FLOOR  
PARTIAL FLOOR PLANS  
RENOVATED ZELLER'S  
BUILDING

DATE MAY 13 2014	DRAWN BY AG
SCALE 1/8" = 1'-0"	
DRAWING NO. <b>A212</b>	



COMMITMENTS

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2014-06-19 DP RE-SUBMISSION  
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TRUE NORTH

SOIL



PROJECT

SEMAHMOO MALL - PHASE 1  
1825 150th STREET  
SURREY, BC V4A 6K3

OWNER

SEMAHMOO MALL  
EXISTING EAST  
ELEVATION

DESIGN

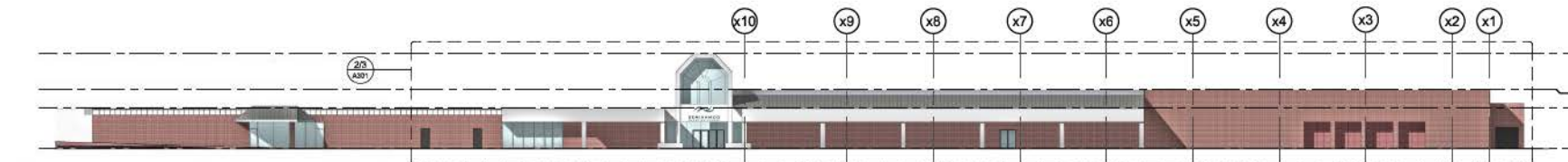
DESIGNED BY  
DH

DATE

MAY 13 2014 AS NOTED

DRAW NO.

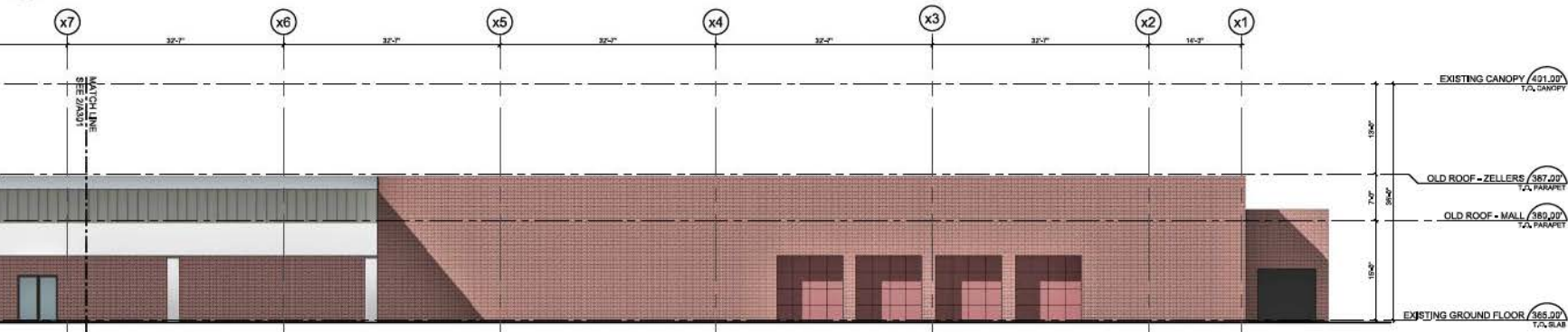
A301



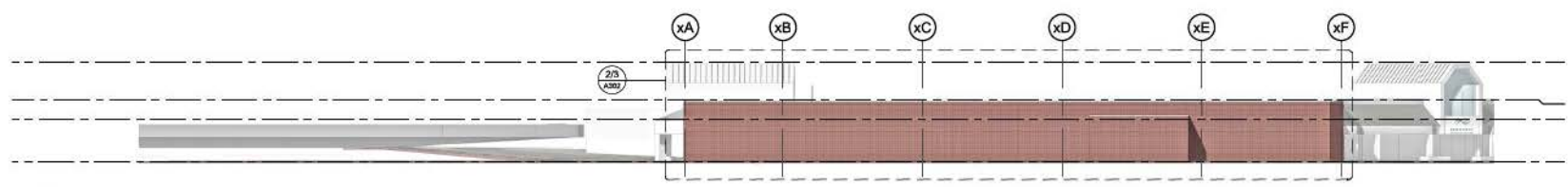
1 EXISTING EAST ELEVATION  
A301 1" = 20'



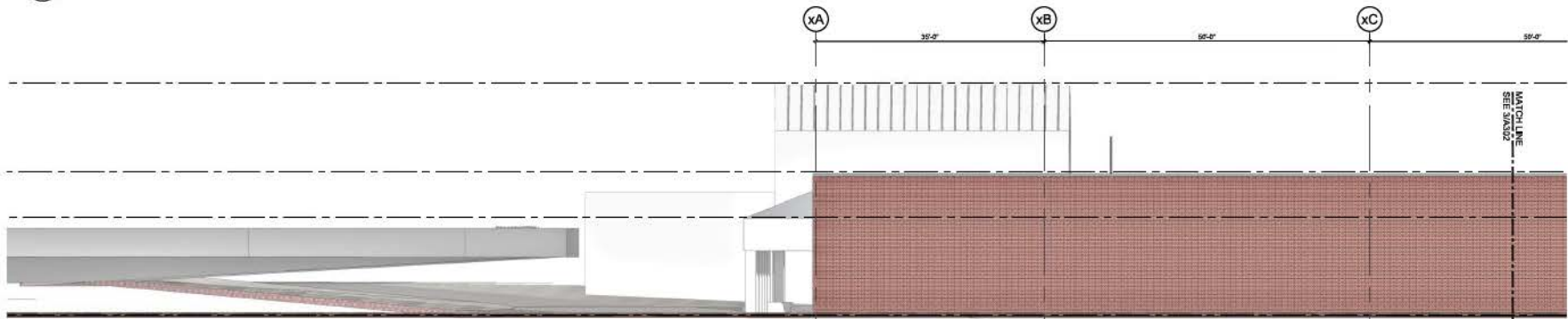
2 PARTIAL EXISTING EAST ELEVATION  
A301 1/8" = 1'-0"



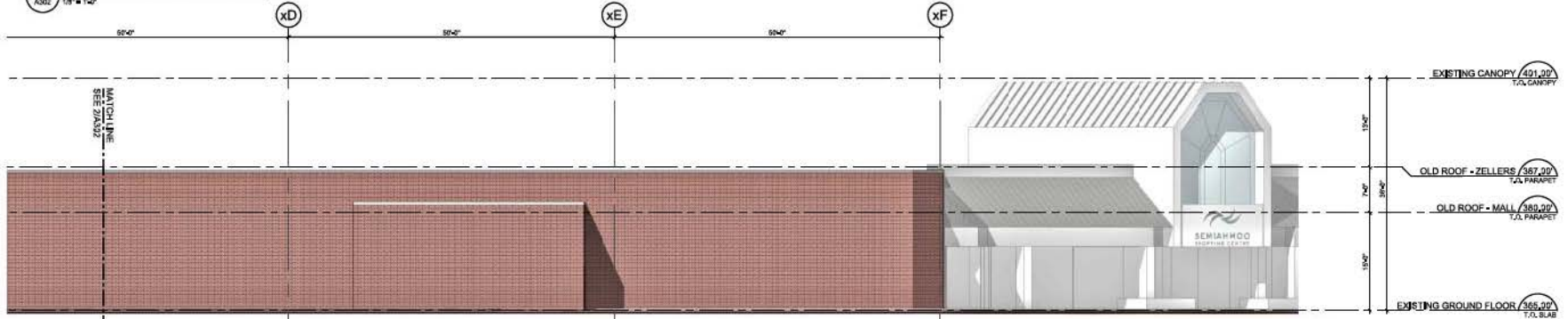
3 PARTIAL EXISTING EAST ELEVATION  
A301 1/8" = 1'-0"



1 EXISTING NORTH ELEVATION  
A302 1" = 20'



2 PARTIAL EXISTING NORTH ELEVATION  
A302 1/8" = 1'-0"



3 PARTIAL EXISTING NORTH ELEVATION  
A302 1/8" = 1'-0"



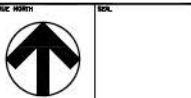
CONSULTANTS

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PROJECT  
SEMIAHMOO MALL - PHASE 1  
1825 150th STREET  
SURREY, BC V4A 6K6

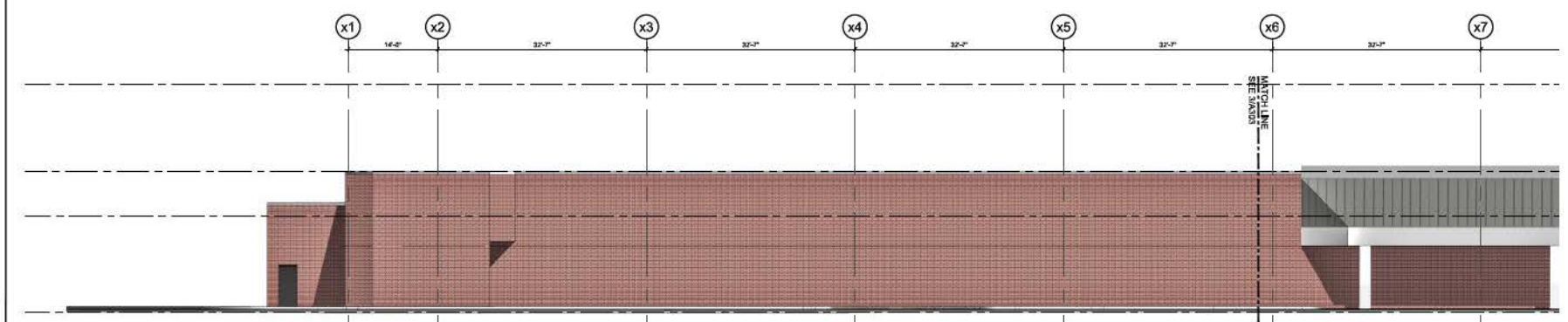
DRAWING  
SEMIAHMOO MALL  
EXISTING NORTH  
ELEVATION

DATE	DRAWN BY
MAY 13 2014	DH
DATE	SCALE
MAY 13 2014	AS NOTED

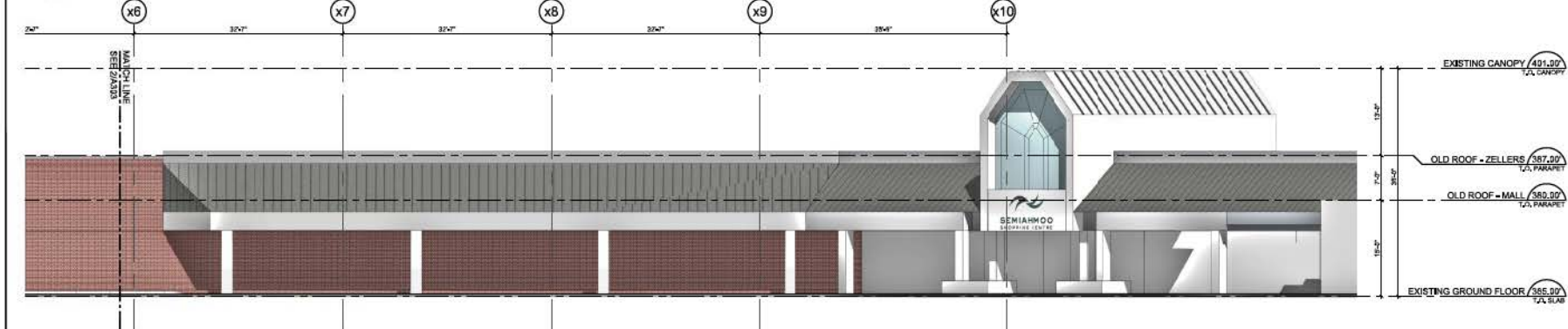
DWG. NO.  
**A302**



1 EXISTING WEST ELEVATION  
A303 1" = 20'



2 PARTIAL EXISTING WEST ELEVATION  
A303 1/8" = 1'-0"



3 PARTIAL EXISTING WEST ELEVATION  
A303 1/8" = 1'-0"



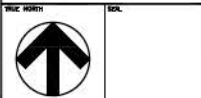
COMMITMENTS

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PROJECT  
SEMIAHMOO MALL - PHASE 1  
1825 15th STREET  
SURREY, BC V4A 6K6

DRAWING  
SEMIAHMOO MALL  
EXISTING WEST  
ELEVATION

DESIGNED BY	DRAWN BY
DH	DH
DATE	SCALE
MAY 13 2014	AS NOTED
DRAWN BY	

A303



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SEMAHMOO MALL - PHASE 1  
1825 150th STREET  
SURREY, BC V4A 6J3

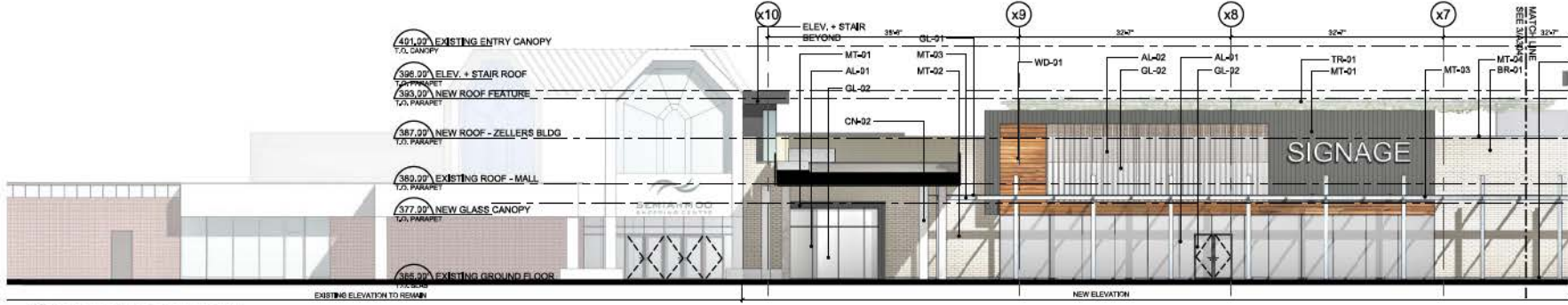
SEMAHMOO MALL  
NEW EAST ELEVATION

DATE: MAY 13 2014  
DRAWN BY: DH  
SCALE: AS NOTED

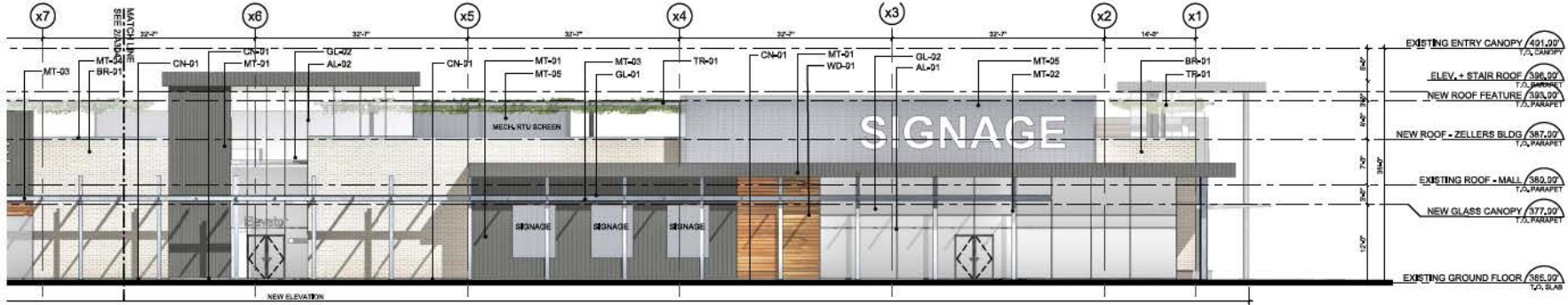
A304



1 NEW EAST ELEVATION  
A304 1" = 20'



2 PARTIAL NEW EAST ELEVATION  
A304 1/8" = 1'-0"



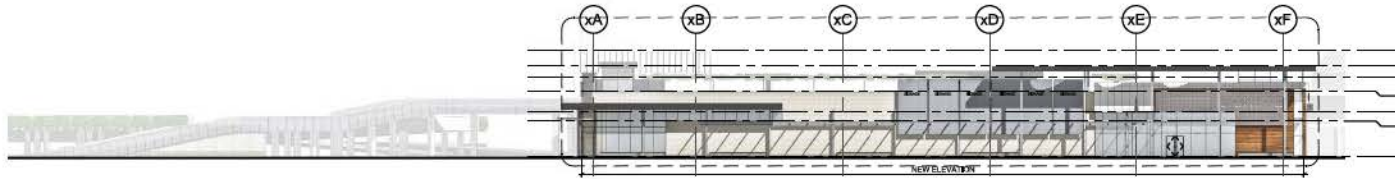
3 PARTIAL NEW EAST ELEVATION  
A304 1/8" = 1'-0"

EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
AL-01	CURTAIN WALL	CLEAR ANODIZED ALUMINUM CURTAIN WALL
AL-02	ALUMINUM FINS	
BR-01	BRICK	CHAMPAGNE BRICK
CN-01	CONCRETE	CAST-IN-PLACE CONCRETE CURB
CN-02	CONCRETE	CAST-IN-PLACE ARCHITECTURAL CONCRETE
GL-01	TRANSLUCENT GLASS (CANOPY)	

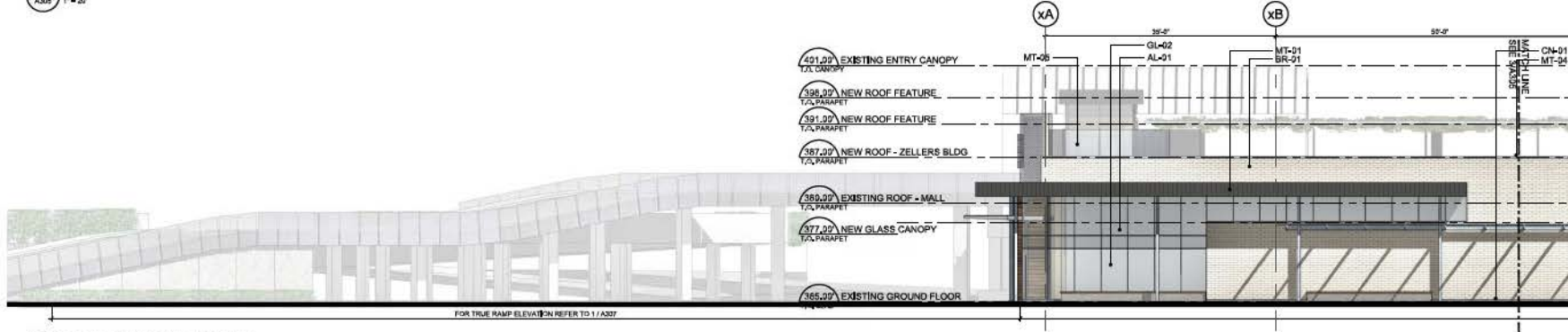
EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
GL-02	CLEAR GLASS	DOUBLE GLAZED SEALED UNITS
MT-01	METAL PANEL CLADDING	
MT-02	STEEL COLUMN	PAINTED GALVANIZED STEEL COLUMN
MT-03	STEEL BEAM	PAINTED GALVANIZED STEEL BEAM
MT-04	METAL FLASHING	PREFINISHED
MT-05	PERFORATED METAL PANEL	50% OPEN AREA

EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
SC-01	SCREEN PANEL	
TR-01	METAL TRELLIS	REFER TO LANDSCAPE DWG FOR DETAILS

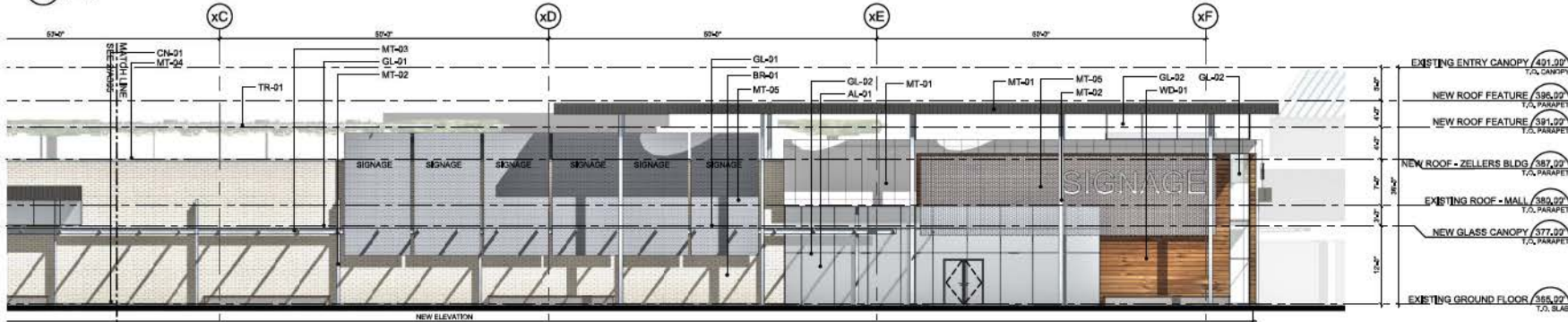
NOTES:  
1. ALL EXISTING STOREFRONT GLAZING TO REMAIN UNLESS OTHERWISE NOTED.  
2. ALL SIGNAGE ON ELEVATIONS IS CONCEPTUAL. ACTUAL PROPOSED WILL BE ADDRESSED UNDER A SEPARATE SIGNAGE PERMIT AND SHALL COMPLY WITH CITY OF SURREY SIGN BY-LAW.



1 NEW NORTH ELEVATION  
A305 1" = 20'



2 PARTIAL NEW NORTH ELEVATION  
A306 1/8" = 1'-0"



3 PARTIAL NEW NORTH ELEVATION  
A307 1/8" = 1'-0"

EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
AL-01	CURTAIN WALL	CLEAR ANODIZED ALUMINUM CURTAIN WALL
AL-02	ALUMINUM FINS	
BR-01	BRICK	CHAMPAGNE BRICK
CN-01	CONCRETE	CAST-IN-PLACE CONCRETE CURB
CN-02	CONCRETE	CAST-IN-PLACE ARCHITECTURAL CONCRETE
GL-01	TRANSLUCENT GLASS (CANOPY)	

EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
GL-02	CLEAR GLASS	DOUBLE GLAZED SEALED UNITS
MT-01	METAL PANEL CLADDING	
MT-02	STEEL COLUMN	PAINTED GALVANIZED STEEL COLUMN
MT-03	STEEL BEAM	PAINTED GALVANIZED STEEL BEAM
MT-04	METAL FLASHING	PREFINISHED
MT-05	PERFORATED METAL PANEL	50% OPEN AREA

EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
SC-01	SCREEN PANEL	
TR-01	METAL TRELLIS	REFER TO LANDSCAPE DWG FOR DETAILS

NOTES:  
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COMMENTS  
2014-07-09 DP RE-SUBMISSION  
2014-06-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION

PROJECT# 1401.01

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SEMIAMMOO MALL - PHASE 1  
1825 150th STREET  
SURREY, BC V4A 6A3

SEMIAMMOO SHOPPING CENTRE  
NEW NORTH ELEVATION

DATE: MAY 13 2014  
DRAWN BY: DH  
SCALE: AS NOTED



COMMENTS

2014-07-09 DP RE-SUBMISSION  
2014-06-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION

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200-211 Columbia Street  
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PROJECT# 1401.01

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PROJECT  
SEMIAMMOO MALL - PHASE 1  
1825 150th STREET  
SURREY, BC V4A 6J6

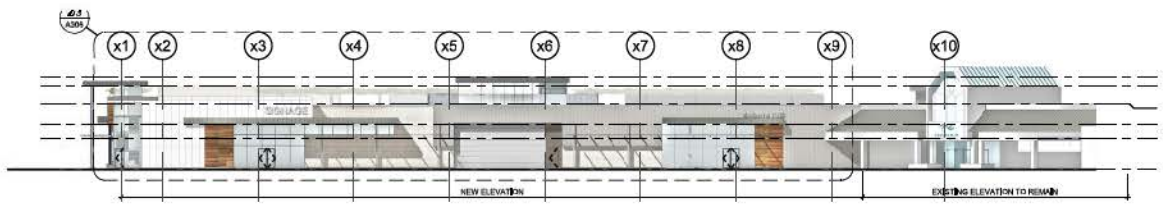
DRAWING  
SEMIAMMOO MALL  
NEW WEST ELEVATION

DATE  
MAY 13 2014

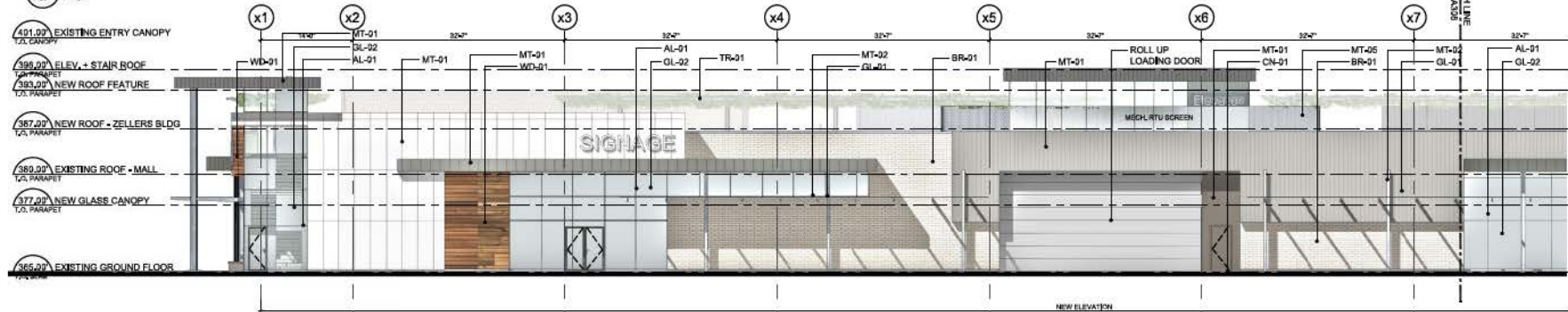
DESIGNED BY  
DH

SCALE  
AS NOTED

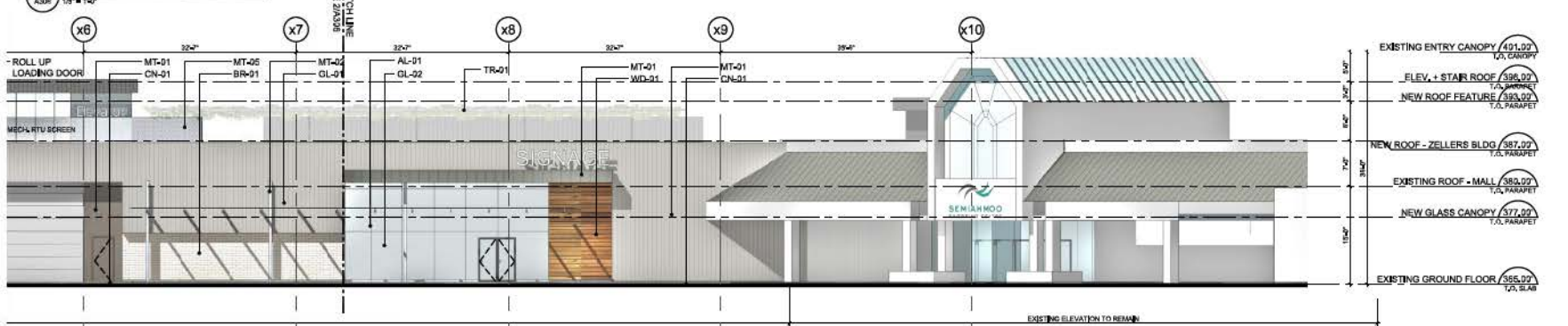
DATE  
A306



1 NEW WEST ELEVATION  
A306 1" = 20'



2 PARTIAL NEW WEST ELEVATION  
A306 1/8" = 1/40'



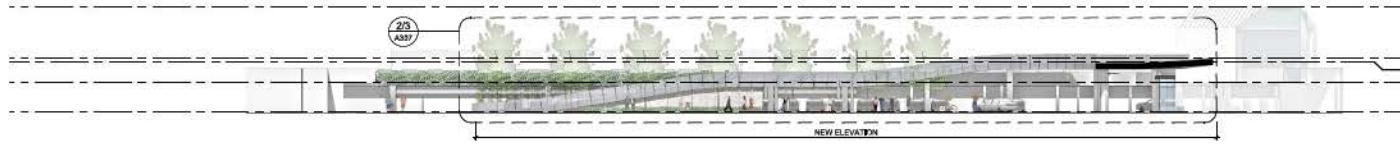
3 PARTIAL NEW WEST ELEVATION  
A306 1/8" = 1/40'

TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
AL-01	CURTAIN WALL	CLEAR ANODIZED ALUMINUM CURTAIN WALL
AL-02	ALUMINUM FINS	
BR-01	BRICK	CHAMPAGNE BRICK
CN-01	CONCRETE	CAST-IN-PLACE CONCRETE CURB
CN-02	CONCRETE	CAST-IN-PLACE ARCHITECTURAL CONCRETE
GL-01	TRANSLUCENT GLASS (CANOPY)	

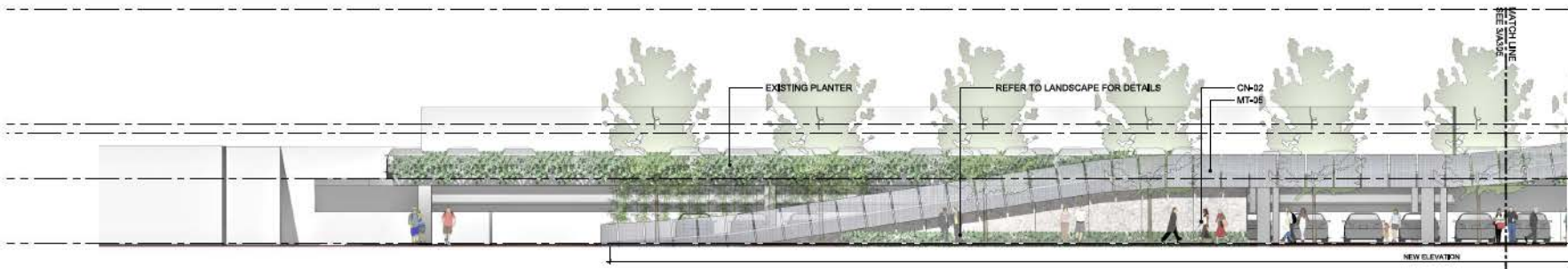
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
GL-02	CLEAR GLASS	DOUBLE GLAZED SEALED UNITS
MT-01	METAL PANEL CLADDING	
MT-02	STEEL COLUMN	PAINTED GALVANIZED STEEL COLUMN
MT-03	STEEL BEAM	PAINTED GALVANIZED STEEL BEAM
MT-04	METAL FLASHING	PREFINISHED
MT-05	PERFORATED METAL PANEL	50% OPEN AREA

TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
SC-01	SCREEN PANEL	
TR-01	METAL TRUSS	REFER TO LANDSCAPE DWS FOR DETAILS

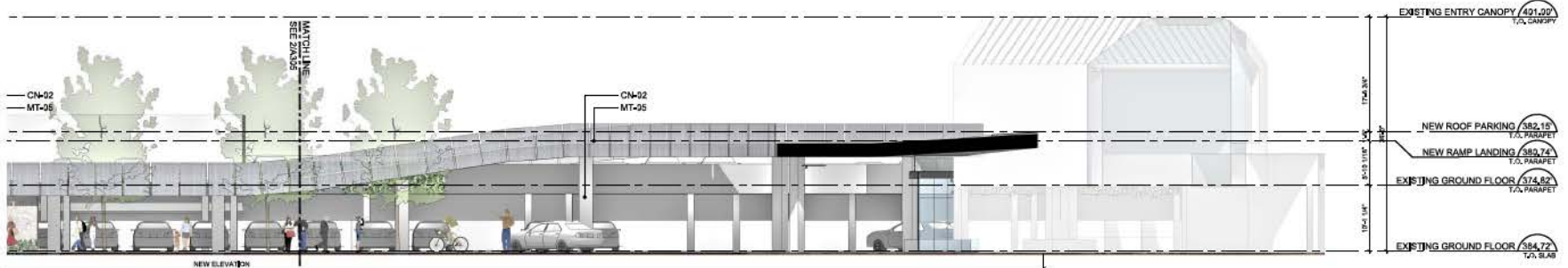
NOTES:  
1. ALL EXISTING STOREFRONT GLAZING TO REMAIN UNLESS OTHERWISE NOTED.  
2. ALL SIGNAGE ON ELEVATIONS IS CONCEPTUAL. ACTUAL PROPOSED WILL BE ADDRESSED UNDER A SEPARATE SIGNAGE PERMIT AND SHALL COMPLY WITH CITY OF SURREY SIGN BY-LAW.



1 NEW RAMP ELEVATION  
A307 1" = 20'



2 PARTIAL NEW RAMP ELEVATION  
A307 1/8" = 1'-0"



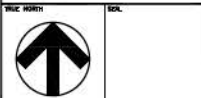
3 PARTIAL NEW RAMP ELEVATION  
A307 1/8" = 1'-0"

EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
AL-01	CURTAIN WALL	CLEAR ANODIZED ALUMINUM CURTAIN WALL
AL-02	ALUMINUM FINS	
BR-01	BRICK	CHAMPAGNE BRICK
CN-01	CONCRETE	CAST-IN-PLACE CONCRETE CURB
CN-02	CONCRETE	CAST-IN-PLACE ARCHITECTURAL CONCRETE
GL-01	TRANSLUCENT GLASS (CANOPY)	

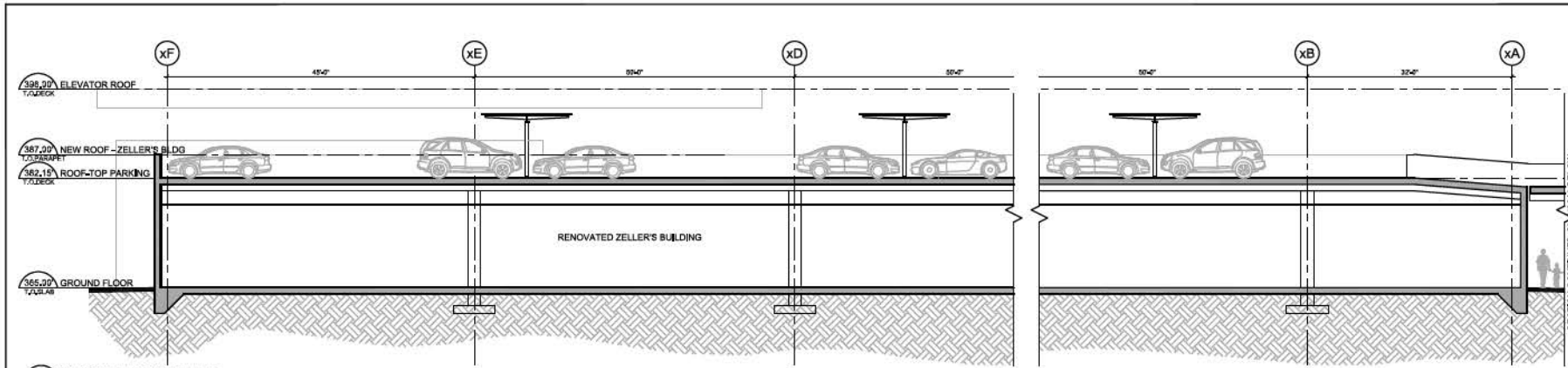
EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
GL-02	CLEAR GLASS	DOUBLE GLAZED SEALED UNITS
MT-01	METAL PANEL CLADDING	
MT-02	STEEL COLUMN	PAINTED GALVANIZED STEEL COLUMN
MT-03	STEEL BEAM	PAINTED GALVANIZED STEEL BEAM
MT-04	METAL FLASHING	PREFINISHED
MT-05	PERFORATED METAL PANEL	50% OPEN AREA

EXTERIOR MATERIAL FINISH SCHEDULE		
TAG	MATERIAL / AREA	CHARACTERISTICS / COLOUR / FINISH
SC-01	SCREEN PANEL	
TR-01	METAL TRELLIS	REFER TO LANDSCAPE DWG FOR DETAILS

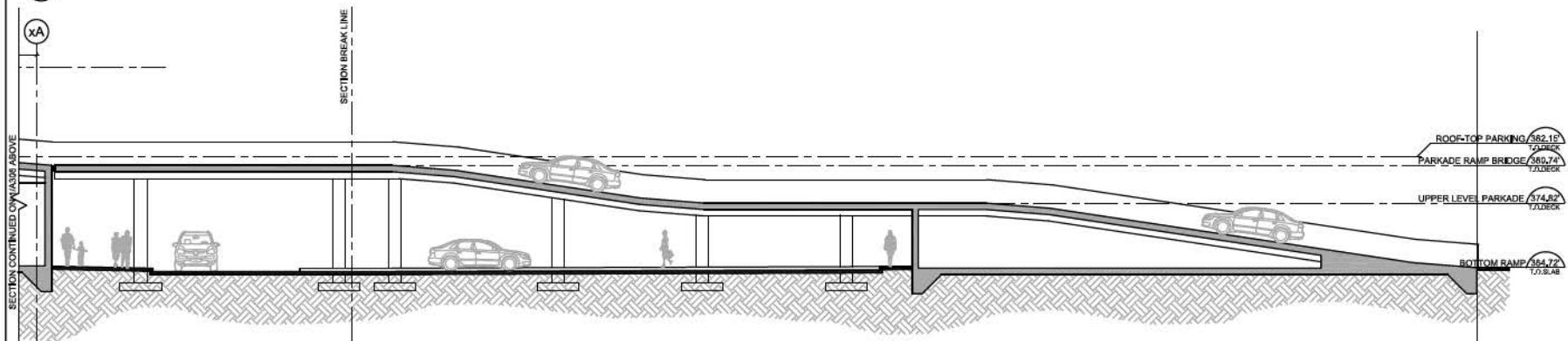
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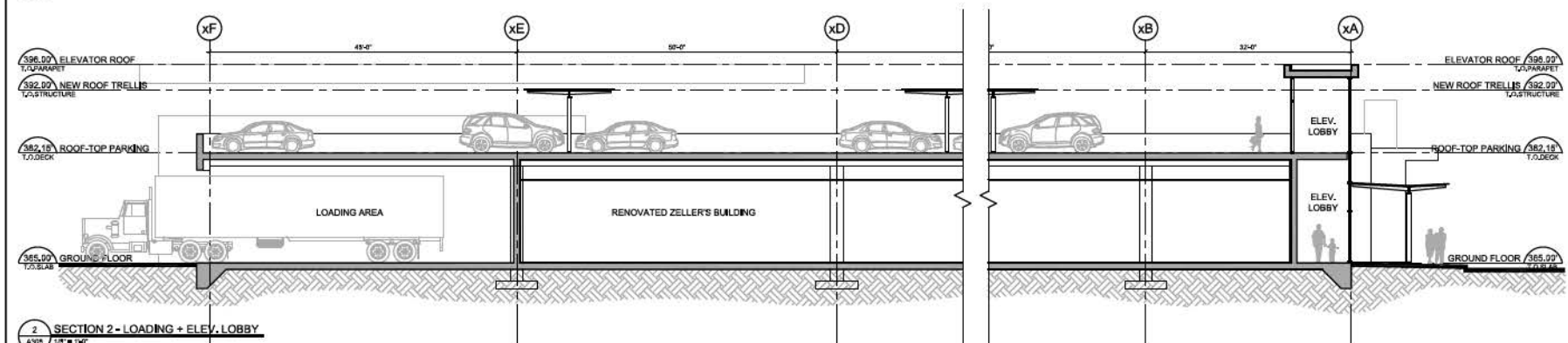




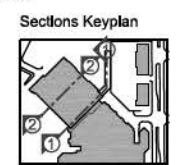
1 SECTION 1 - PARKADE RAMP  
A308 1/8" = 1'-0"



2 SECTION 1 - PARKADE RAMP (CONTINUED)  
A308 1/8" = 1'-0"



2 SECTION 2 - LOADING + ELEV. LOBBY  
A308 1/8" = 1'-0"



2014-07-09 DP RE-SUBMISSION  
2014-08-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION

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200-211 Columbia Street  
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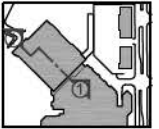
SEMIAMMOO MALL - PHASE 1  
1825 15th STREET  
SURREY, BC V4A 4G3

SEMIAMMOO SHOPPING CENTRE SECTIONS

DATE: APR, 28 2014  
SCALE: 1/8" = 1'-0"  
DRAWING NO: A308



Section Keyplan



2014-07-09 DP RE-SUBMISSION  
 2014-06-19 DP RE-SUBMISSION  
 2014-05-13 DP SUBMISSION

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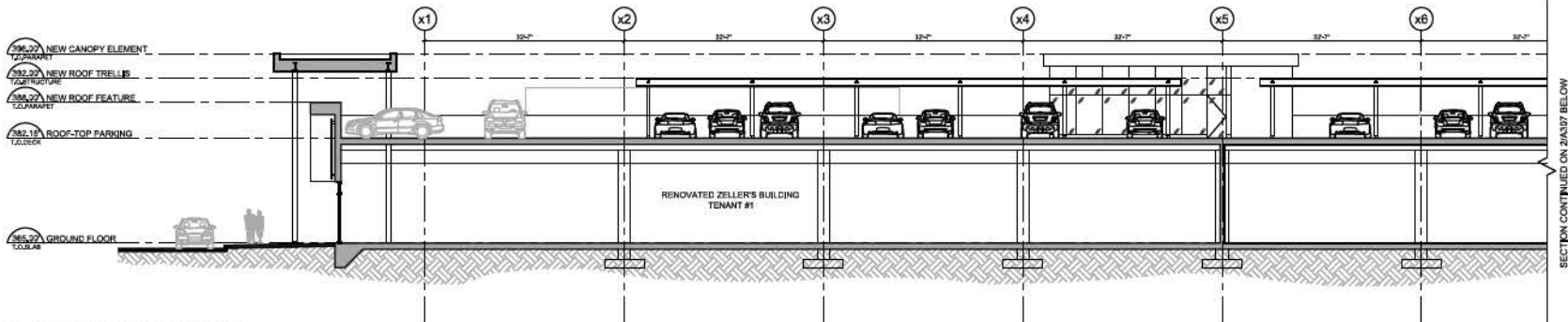
PROJECT  
 SEMAHMOO MALL - PHASE 1  
 1625 150th STREET  
 SURREY, BC V4A 6K6

DRAWING  
 SEMAHMOO SHOPPING CENTRE SECTIONS

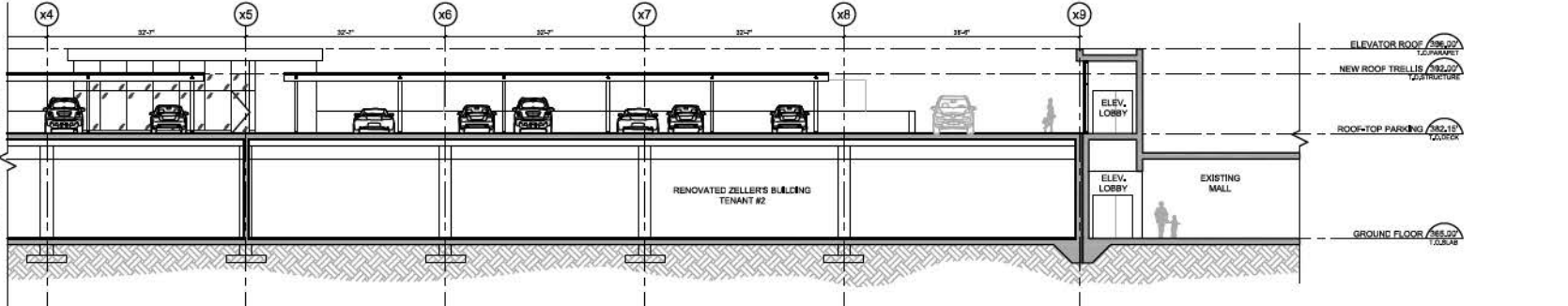
DATE  
 APR, 28 2014

SCALE  
 1/8" = 1'-0"

NO. **A309**



1 SECTION 1 - NEW CRU BUILDING  
 A309 1/8" = 1'-0"



2 SECTION 2 - NEW LINK COLONADE  
 A309 1/8" = 1'-0"

SECTION CONTINUED ON 2/AS37 BELOW

SECTION CONTINUED ON 1/AS37 ABOVE

RENOVATED ZELLARS ( RENDERING 1 )



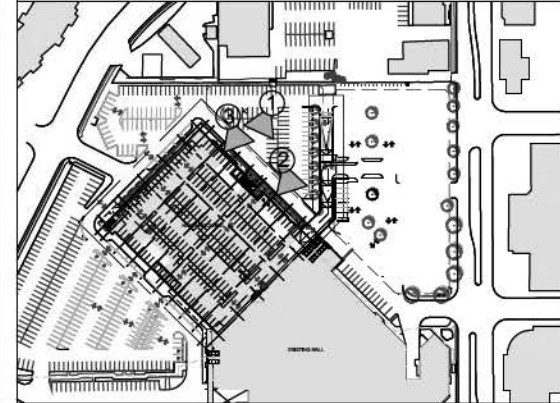
RENDERING 2



RENDERING 3



RENDERING KEYPLAN



**SEMAIHMOO**  
SHOPPING CENTRE



COMMITMENTS

2014-07-09 DP RE-SUBMISSION  
2014-06-19 DP RE-SUBMISSION  
2014-05-13 DP SUBMISSION

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PROJECT  
**SEMAIHMOO MALL - PHASE 1**  
1625 150th STREET  
SURREY, BC V4A 6K6

DRAWING  
**SEMAIHMOO SHOPPING CENTRE RENDERINGS**

DATE  
MAY 13 2014

SCALE  
N.T.S.

**A401**



**RENOVATED ZELLARS ( RENDERING 1 )**



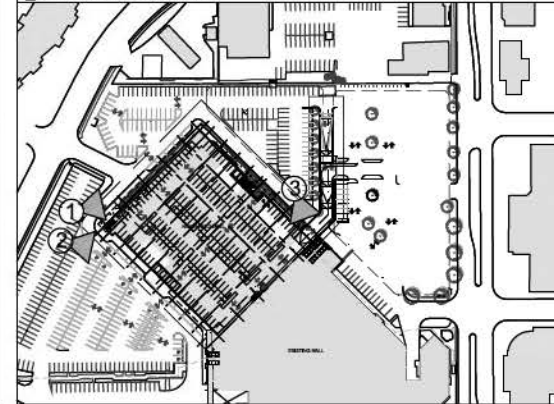
**RENDERING 2**



**RENDERING 3**



**RENDERING KEYPLAN**



COMMITMENTS

2014-07-09 DP RE-SUBMISSION  
 2014-06-19 DP RE-SUBMISSION  
 2014-05-13 DP SUBMISSION

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PROJECT# 1401.01

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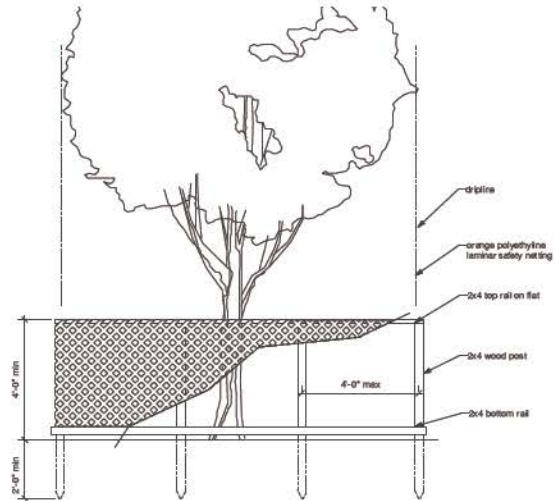
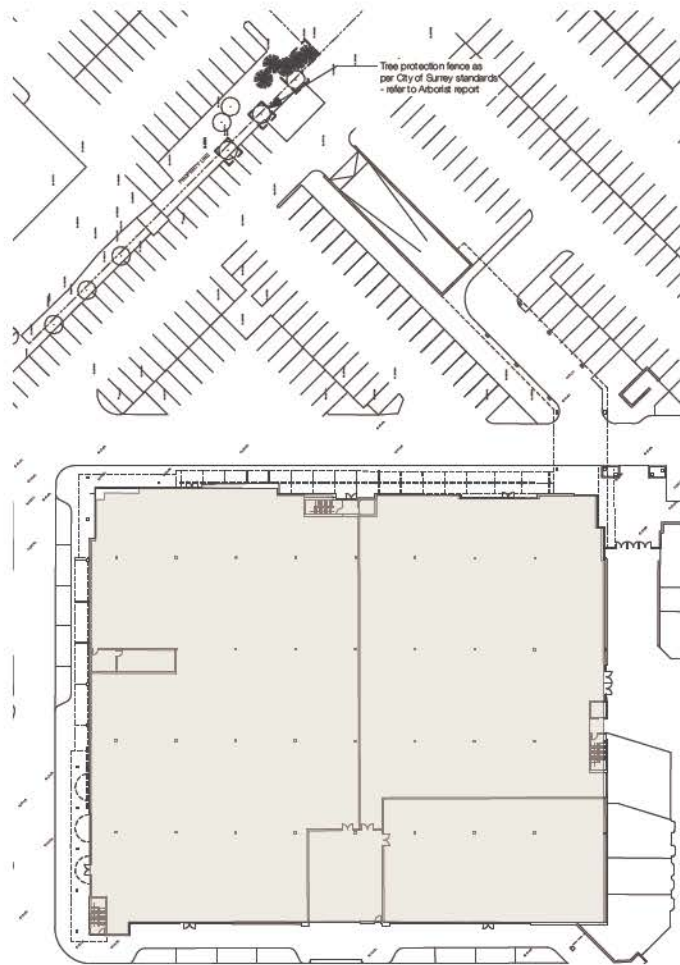
PROJECT  
**SEMIAHMOO MALL - PHASE 1**  
 1625 152nd STREET  
 SURREY, BC V4A 6A8

CONTRACT  
**SEMIAHMOO SHOPPING CENTRE RENDERINGS**

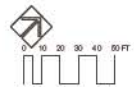
DATE  
**MAY 13 2014**

SCALE  
**N.T.S.**

**A402**



1 Tree Protection Barrier  
Scale: 1" = 1'-0"



Revised	Date	Red line Notes

Issue	Date	Issue Notes
A	01/14/14	Issued for DP
B	02/14/14	Issued for ADP
C	7/6/14	Revised for DP

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Project  
**Semiahmoo Mall**  
**Phase 1**  
1625 - 152nd Street  
Surrey, BC

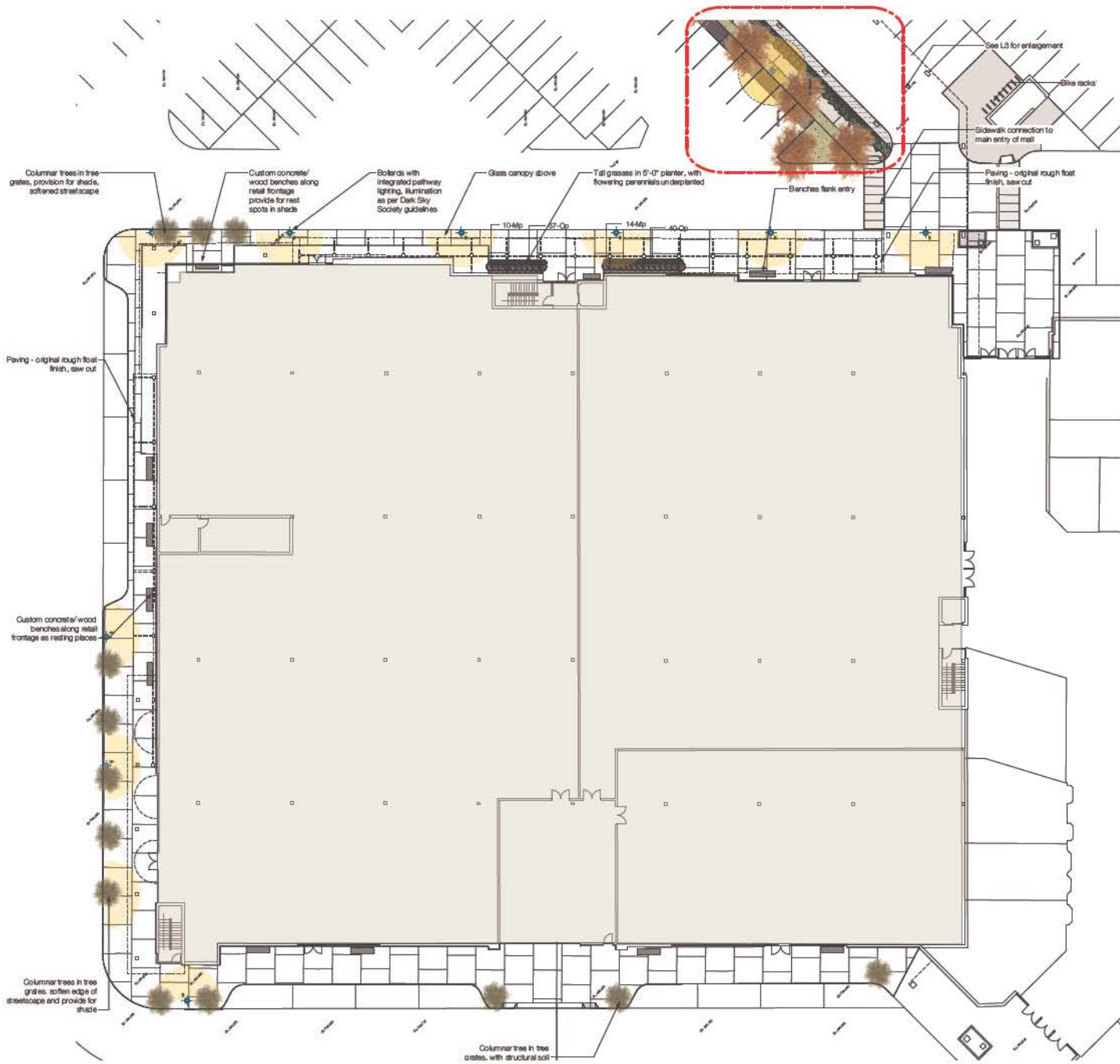
Drawing Title  
**Tree Management Plan**

Legal  
Lot 2 of S.E. Quarter of Section 15, Township 1,  
Plan S60651 W.S.20

Project Number	7-1000-0
QE	21416
Drawn by	AKK
IT	1/62" = 1'-0"
Reviewed by	CEM/ML
QE	
Doc	
000000	
Sheet	L-1
of	6

File Path:  
7/2/14  
C:\EST\07\_21416\_Sem\_Mall\_Management.mxd





Revisions  
 No. Date Red line Notes

Issue  
 No. Date Issue Notes  
 A 01/24/14 Issued for DP  
 B 02/24/14 Issued for ADP  
 C 7/6/14 Resubmitted for DP

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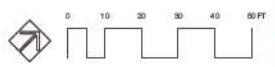
Project  
**Semiahmoo Mall**  
**Phase 1**  
 1625 - 152nd Street  
 Surrey, BC

Drawing Title  
**Landscape Plan**  
**Ground floor**

Legal  
 Lot 2 of S.E. Quarter of Section 15, Township 1,  
 Plan S60691 W.S.M.S.

Project No.	7-1000-0
OE	21416
Drawn by	AKK
IT	1/8" = 1'-0"
Revised by	CKM/ML
OE	
Doc.	000000
Scale	L-2
Sheet	6

File/Disk:  
 7/6/14  
 DESKTOP\_24116\_Sem\_Mall\_Architect



Rev# No. Date Revision

Issue No. Date Issue Notes  
 A 6/13/14 Issued for DP  
 B 6/23/14 Issued for ADP  
 C 7/26/14 Rechecked for DP

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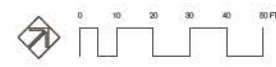
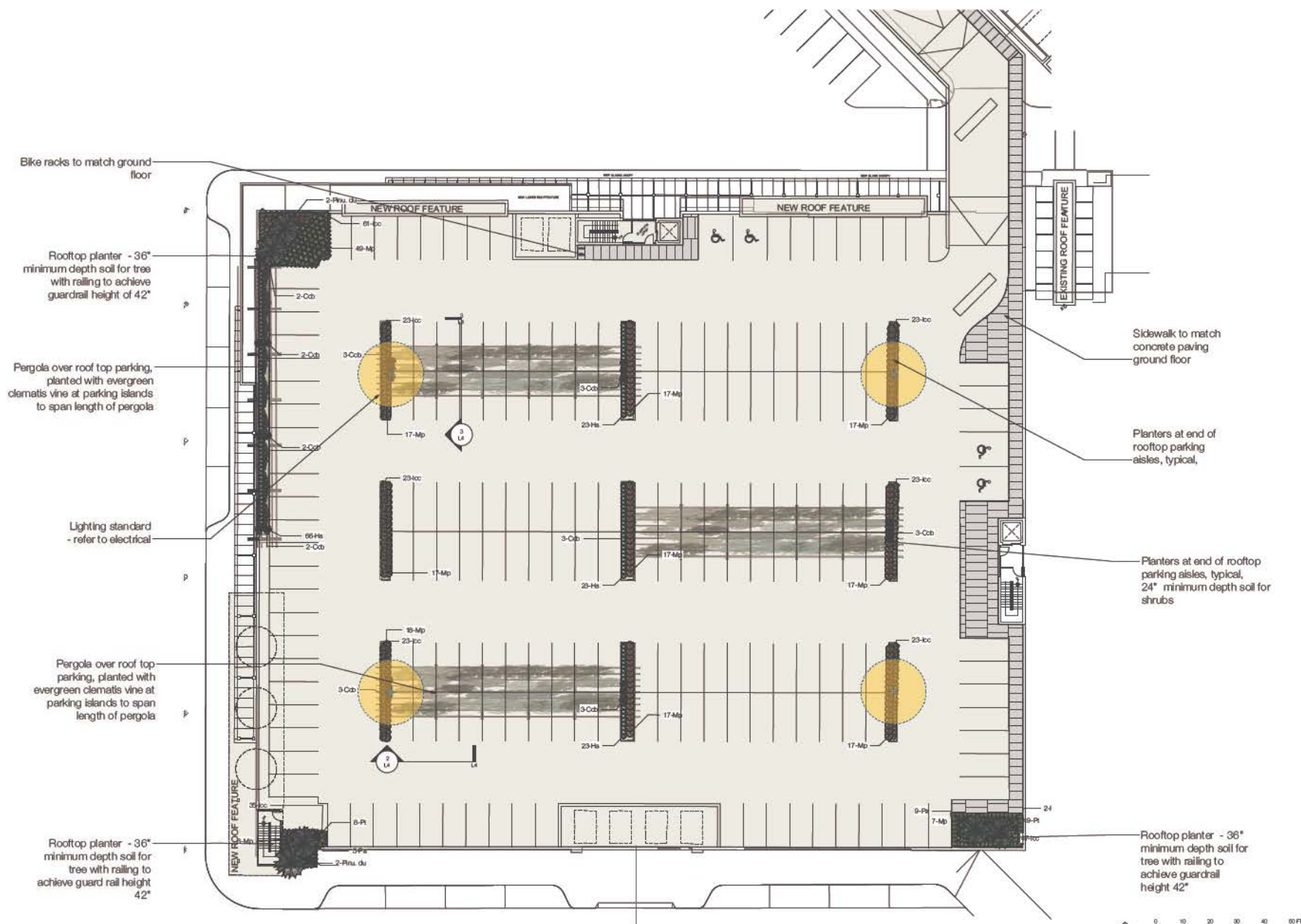
Project  
**Semiahmoo Mall**  
 Phase 1  
 1625 - 162nd Street  
 Surrey, BC

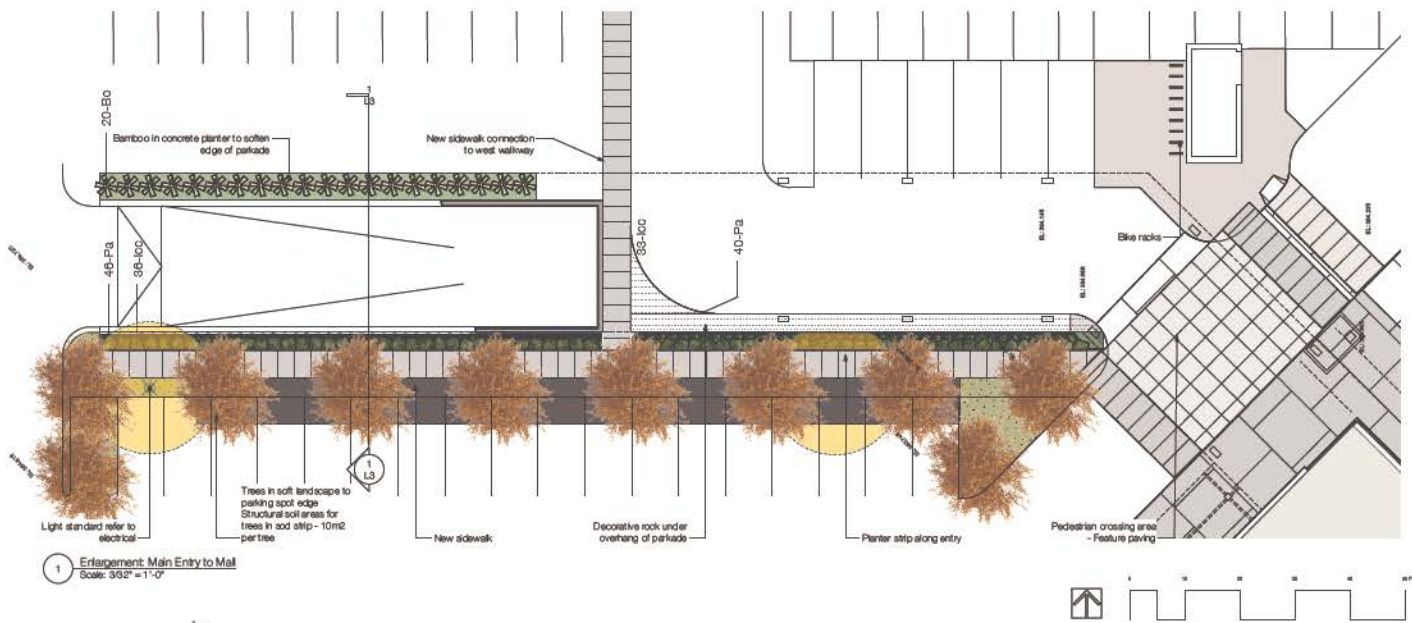
Drawing Title  
**Landscape Plan**  
**Rooftop**

Legal  
 Lot 2 of S.E. Quarter of Block 16 Township 1,  
 Plan 6440 K.W.D.

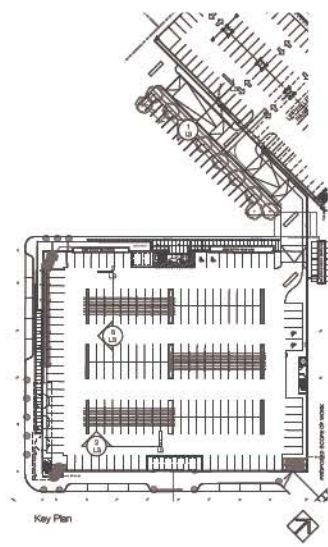
Project Number	Project
OE	24-418
Drawn By	Date
OE	10/11/14
Checked By	Drawn By
OE	OE
Date	Scale
03/03/00	1" = 4'
	L-3
	6

Plot Date:  
 7/21/14  
 0301107\_21145\_SemM\_ML\_Master.dwg

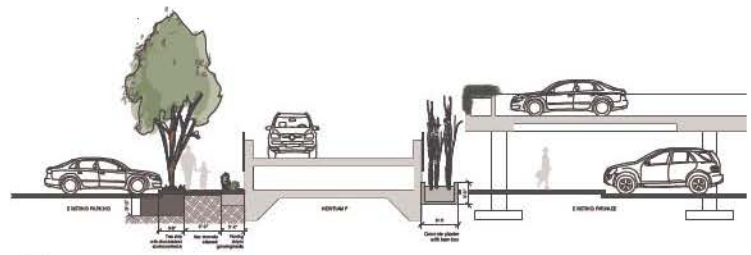




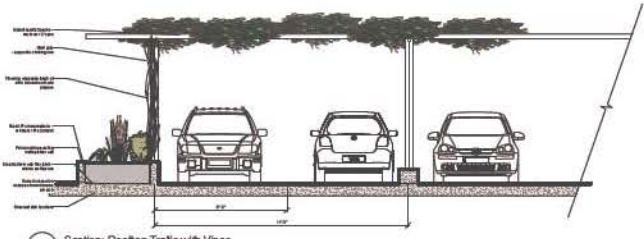
1 Enlargement: Main Entry to Mall  
Scale: 3/32" = 1'-0"



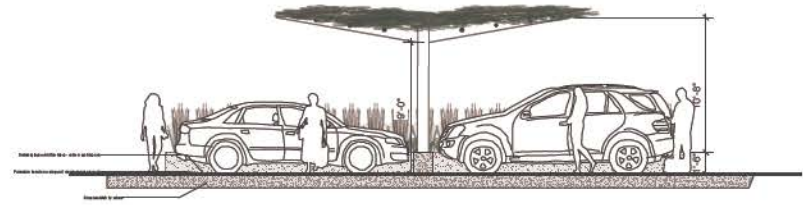
Key Plan



2 Section A: Site Entry thru to Parkade  
Scale: 1/8" = 1'-0"



3 Section: Rooftop Trellis with Vines  
Scale: 1/4" = 1'-0"



4 Section B: Through Rooftop Trellis  
Scale: 1/4" = 1'-0"

Revised: No. Date Revision

Issue No. Date Issue Notes  
A 5/13/14 Issued for DP  
B 6/23/14 Issued for ADP  
C 7/26/14 Reissued for DP

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Project  
Semiahmoo Mall  
Phase 1  
1625 - 162nd Street  
Surrey, BC

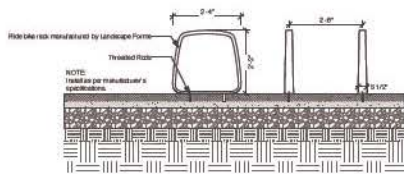
Drawing Title  
Enlargement Entry  
and Sections

Legal  
Lot 2 of S.E. Quarter of Block 16 Township 1,  
Plan 6640 K.W.D.

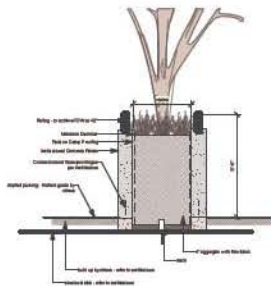
Project Number	Project ID
0E	22-418
Drawn by	Date
RL	AS NOTED
Checked by	Drawn by
0E	
DATE	
03/03/00	
	L-4
	6

Plot Size:  
787' x  
1500' x 2145', Semi-M, Major road

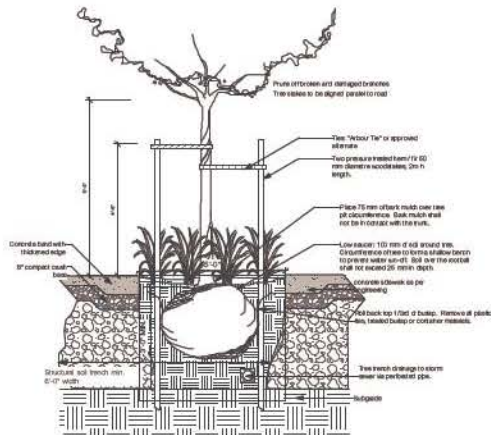




1 Detail: Bile Rack installation  
Scale: 1/2" = 1'-0"



2 Detail: Roof top Planter  
Scale: 1/2" = 1'-0"



3 Detail: Structural Soil Contiguous Trench  
Scale: 1/2" = 1'-0"

ALL PLANTS TO BE NURSERY GROWN  
ALL PLANT MATERIALS AND LABOR TO CONFORM TO THE CURRENT EDITION OF THE BC LANDSCAPE STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE.  
CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT) CONTAINING 4 AND 1% ORGANIC MATTER DRY WEIGHT BASIS.

GROWING MEDIA SHALL VIRTUALLY FREE FROM SUBSOL WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR REPRODUCTION, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 50mm (L<sup>2</sup>), ANY DEBRIS AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.2 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION SOLMA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 'WELL-GROOMED' AREAS: LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (L<sup>1</sup> IN TABLE 4.6.3.1.1 OF THE 2009 BC LANDSCAPE STANDARDS). IT SHALL POSSESS THE FOLLOWING QUALITIES:

- TEXTURE:
- \*COARSE GRAVEL LARGER THAN 30mm AND SMALLER THAN 40mm: 0-1%
  - \*ALL GRAVEL LARGER THAN 20mm AND SMALLER THAN 40mm: 0-5%
  - \*SAND LARGER THAN 0.075mm AND SMALLER THAN 0.25mm: 50-70%
  - \*SILT (LARGER THAN 0.0025mm AND SMALLER THAN 0.075mm): 10-20%
  - \*CLAY (SMALLER THAN 0.0025mm): 0-2%
  - \*CLAY AND SILT COMBINED: MAXIMUM 20%

ORGANIC CONTENT: 3-10%

Acidity (pH): 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE 6.3.3.3 OF THE CURRENT EDITION SOLMA STANDARDS

	Over ground subgrade where the subsoil drains in place	Over structure or where the subsoil drains in place
TREES (10% PER TREE)	34"	30"
LARGE SHRUBS	24"	24"
GROUND COVERS	12"	9"
LAWN-IRRIGATED	6"	6"
LAWN-NOT IRRIGATED	6"	6"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

BEDS TO HAVE 2" MULCH LAYER (after setting) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED BY SOILS REPORT.

SITE INSPECTION EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.

ALL PLANTING TO BE IN ACCORDANCE WITH THE BC LANDSCAPE STANDARDS CURRENT EDITION.

PLANT COUNTS IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKE PRECEDENCE. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

Revised No. Date Revision Notes

Issue No. Date Issue Notes  
A 6/19/14 Issued for DP  
B 6/23/14 Issued for ADP  
C 7/24/14 Rechecked for DP

Professional Seal

PLANT LIST ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
<b>TREES</b>						
Aro	3	Acer rubrum 'October Glory'	October Glory Red Maple	3 as shown	6m Cal	3 2m STD, B&B
Pinu_du	10	Pinus densata 'Umbraclifera'	Tanyosha Pine	as shown	2.5m W B&B	Specimen quality
Qlk	13	Quercus robur 'Kindred spirit'	Kindred spirit Oak	as shown	6m B&B	full & bushy B&B
<b>SHRUBS, VINES, GRASSES</b>						
Bb	9	Bambusa n. harrisi	Giant Timber Bamboo	9	40" #2 cont/ stalked	9 full bushy plants
Ccb	20	Clematis cithara var. balthica	fernies ved clematis		30" #2 cont/ stalked	full bushy plants
Hs	135	Helictotrichon sempervirens	blue oat grass		18" #2 cont.	full bushy plants
Jc	291	Ilex ornata compacta	Japanese Holly		18" #5 cont.	full bushy plants
Mp	242	Miscanthus sinensis 'Purpureascens'	flame grass		20" #3 cont.	full bushy plants
Op	67	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass		8" #1 cont.	full bushy plants
Pa	100	Pennisetum alopecuroides	Fountain Grass		20" #2 cont.	full bushy plants
Pt	67	Pachysandra terminalis	Japanese spurge		18" #1 cont.	full bushy plants
	0				0"	

NOTE: ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE BC LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT. LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.

SITE FURNISHINGS	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
ROOFTOP PLANTER	vases			custom			0
BENCH	vases		custom	custom		concrete and wood	12
BILE RACK	WAs		WAs	Landscape Forms		grey powder coat	12
TREE GRATE	Va 16/30		Va 16/30	Urban Associates		brn	18
BOLLARD	Stop		Stop	Landscape Forms		grey powder coat	10

Project  
Semiahmoo Mall  
Phase 1  
1625 - 162nd Street  
Surrey, BC

Drawing Title  
Landscape Details  
and Notes

Legal  
Let 2 of S.E. Quarter of Section 16 Township 1,  
Range 64W, R5W.

Project Number	Project
OE	24-18
Drawn By	Don
Checked By	Don
Scale	L-5
Date	6/19/14
Drawn By	6

File Size:  
787 K  
06/17/2014 11:45 AM J.M.H. Miller

eta landscape architects

1000 West 24th Avenue  
Surrey, BC, Canada V3L 2W4

T 604.883.7455  
F 604.883.1400  
www.eta.ca

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- Good permeable surfaces.
- Orientation good for sustainability.
- Like the features indicated from a sustainability point of view.
- Buildings systems should consider:
  - Hot water heat
  - Condensing domestic hot water heating
  - HRV ventilator per suite
- LEED Silver equivalent would be a good sustainability goal considering this is a rezoning.

***Tomas Bunting and Nigel Baldwin excused themselves from the panel due to conflict with the second item. Quorum was retained.***

2. **5:00PM**

<b>File No.:</b>	<b>7914-0136-00</b> New
<b>Description:</b>	<b>DP for a renovation to the Semiahmoo Shopping Centre</b>
<b>Address:</b>	<b>1711 - 152 Street</b>
<b>Developer:</b>	First Capital (Semiahmoo) Corporation c/o Cheryl Fu, Project Manager
<b>Architect:</b>	Tom Bunting, Studio B Architects
<b>Landscape Architect:</b>	Gerry Eckford, ETA Landscape Architecture
<b>Planner:</b>	Heather Kamitakahara
<b>Urban Design Planner:</b>	Hernan Bello

**The Urban Design Planner** presented an overview of the proposed project and highlighted that this is not a new building.

- The Semiahmoo Mall is an old mall. The most significant change will be to the new on-roof parking. The issue is the residential areas that overlook the roof top of the mall and the proposed surface parking.
- The mall will have existing surface parking, with new parking on the roof. The remainder of the proposal is for a complete reface of the mall.
- The parkade will have trees on the roof and the applicant is proposing a vehicle ramp from the ground level, with perforated metal guard rails. Panel is asked to comment on the transparency of the guard material.
- The Parks Recreation and Culture department would like to enhance the Semiahmoo Trail, to connect to the trail's north link, plus add a landscaped node at the west mall entry, as a place making opportunity.
- An enhanced pedestrian connection from Martin Drive is also recommended at the northeast.

**The City Architect** noted there was an earlier application that was shelved when Bosa sold the site. The ADP at the time emphasized the importance of developing Semiahmoo Trail through the site to provide unique character for the project.

**The Project Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- This is the old Zellers building. Zellers is moving out. This phase will “stand alone” but will also integrate with future phases. There will be more pedestrian connections in future phases.
- The 67,000 sq. ft., single storey building will be redeveloped. The interior will be renovated and retrofitted with upgraded mechanical and electrical systems and structural elements, as required. The stucco arcades will be demolished in this phase and ultimately completely removed.
- A vehicle ramp is proposed from the lower parking area (at grade with Zeller’s building) to the existing upper parking deck (at grade with 152 Street) and to the roof for new on-roof parking.
- New parking will be provided in Phase 1 to provide adequate parking when future phases of redevelopment are constructed.
- Two elevator/stair cores and a stair only core are proposed to facilitate roof parking pedestrian access.
- The project proposes to upgrade the three exterior elevations of the building to accommodate new tenant entries, as well as adding a loading area to the west face. Roof parking for approximately 150 cars is proposed in anticipation of future phases.
- The idea is to provide entries on all three facades, incorporate signage and weather protection, replace the red brick with a lighter buff coloured brick, and to add layers to give it the appearance of one building with multiple tenants and to add height and modulation.
- Sidewalks and furniture will be added along the old Zellers building.
- Planting, trellis and parapet features will provide screening for roof top parking from the residential buildings at Martin Drive.
- Pedestrian circulation diagrams provided – emphasis is on sidewalk treatment at north of building at main entry; whole perimeter connects to pedestrian network. Bridge at vehicle ramp connects to existing site at east and 152 Street.
- Access to the existing interior mall may be retained in Phase 1.

**The Landscape Architect** reviewed the landscape plans and highlighted the following:

- The focus is on enhancing the public and pedestrian realms with seating, site furnishings and plantings around the perimeter of the building, connections at the ramp, and screening the parkade to have good visibility into the open parkade structure.
- Concrete saw-cut paving, bollard lighting, street trees, bike parking.
- Strong way finding technique with a band of bamboo (in concrete containers) to screen the ramp and a walkway at base of the ramp.
- On roof there will be three different trellised areas, vine plantings.
- Evergreen planting recommended by staff to block views of the roof top parking lot; will review.



**ADVISORY DESIGN PANEL STATEMENT OF REVIEW**  
**DP for a renovation to the Semiahmoo Shopping Centre**  
**1711 - 152 Street**  
File No. 7914-0136-00

It was Moved by K. Newbert  
Seconded by C. Taylor  
That the Advisory Design Panel (ADP)  
recommends that the applicant address the following recommendations and  
revise and resubmit to Planning staff.

Carried

**STATEMENT OF REVIEW COMMENTS**

**Site**

- A well-executed project with attractive design. Big improvement to the site.
- Nice connection for site from Semiahmoo Trail.
- Good precedent set up for future development.
- Give consideration to where and how Semiahmoo Mall goes beyond this development. The connection to Semiahmoo Trail is an important access to the site for pedestrians and cyclists. Needs clear way finding.

**Building Form and Character**

- The vehicle ramp can be an interesting sculpted element with either glass or perforated metal.
- Parking is a good use for the roof space.
- Turning the building inside out is a great move; and moving the store frontage to the outside is welcoming to pedestrians.
- Good materiality.
- Vertical cladding to horizontal fascia seems counter intuitive.
- Encourage a more purposeful composition of inside programming.

**Landscaping**

- Consider introducing some mature evergreen trees or shrubs on the roof, visible from the pedestrian level.
- Consider irrigation, drainage, maintenance to all green roof planting materials, especially in the plant selection. (It takes a while to grow vines so it won't be green instantly.)
- Encourage trellis to be strong architecturally until plants grow in.
- Overhead clearance for vehicles at trellis will be the same height as the height clearance for entrances!!!
- Add more landscape to roof top parking area.
- Big tree on each corner is interesting.

**Accessibility**

- Is pedestrian friendly and welcoming.
- Reward transit users, pedestrians, cyclists who are coming to and from the site. Give them the best parking at entrances, great pedestrian walkways, etc.
- Power doors at entrances.

- Accessible washrooms.
- Disabled parking okay.
- Disappointed there is no internal access from mall to new tenants.

**Sustainability**

- Building should be completely updated to current energy code.
- Not enough room allowed on plans for rooftop equipment.
- Dual purposing the roof is great. A bit more green would also be nice.
- Storm water management – there is an opportunity here to improve an existing situation.

**C. OTHER COMPETENT BUSINESS**

**D. NEXT MEETING**

The next Advisory Design Panel is scheduled for Thursday, July 10, 2014.

**E. ADJOURNMENT**

The Advisory Design Panel meeting adjourned at 5:50pm.

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Jane Sullivan, City Clerk

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Leroy Mickelson, Chairman  
Advisory Design Panel