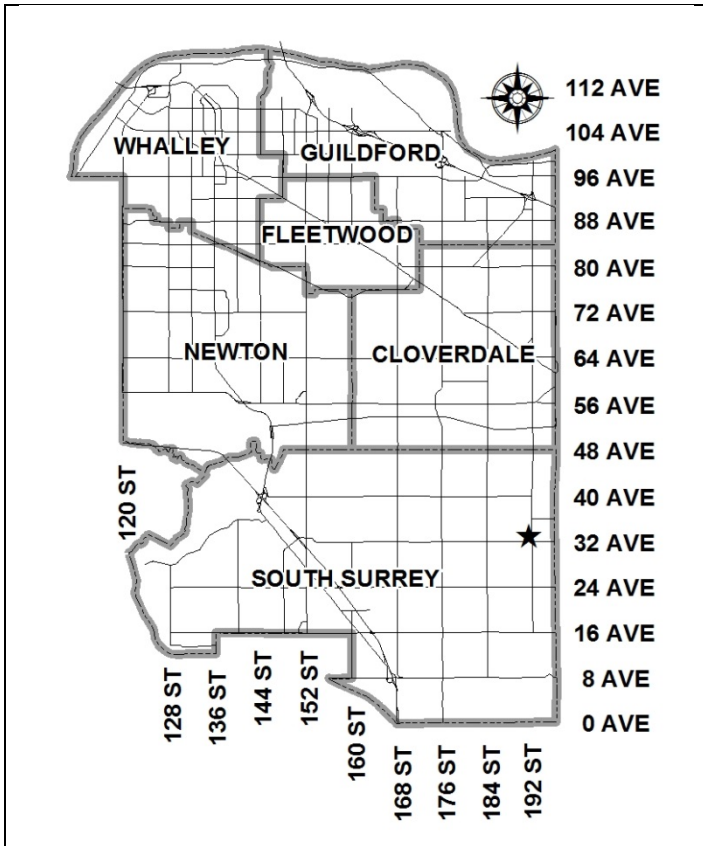


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0157-00

Planning Report Date: September 8, 2014



PROPOSAL:

- **Development Permit**

in order to permit the development of an industrial business park building.

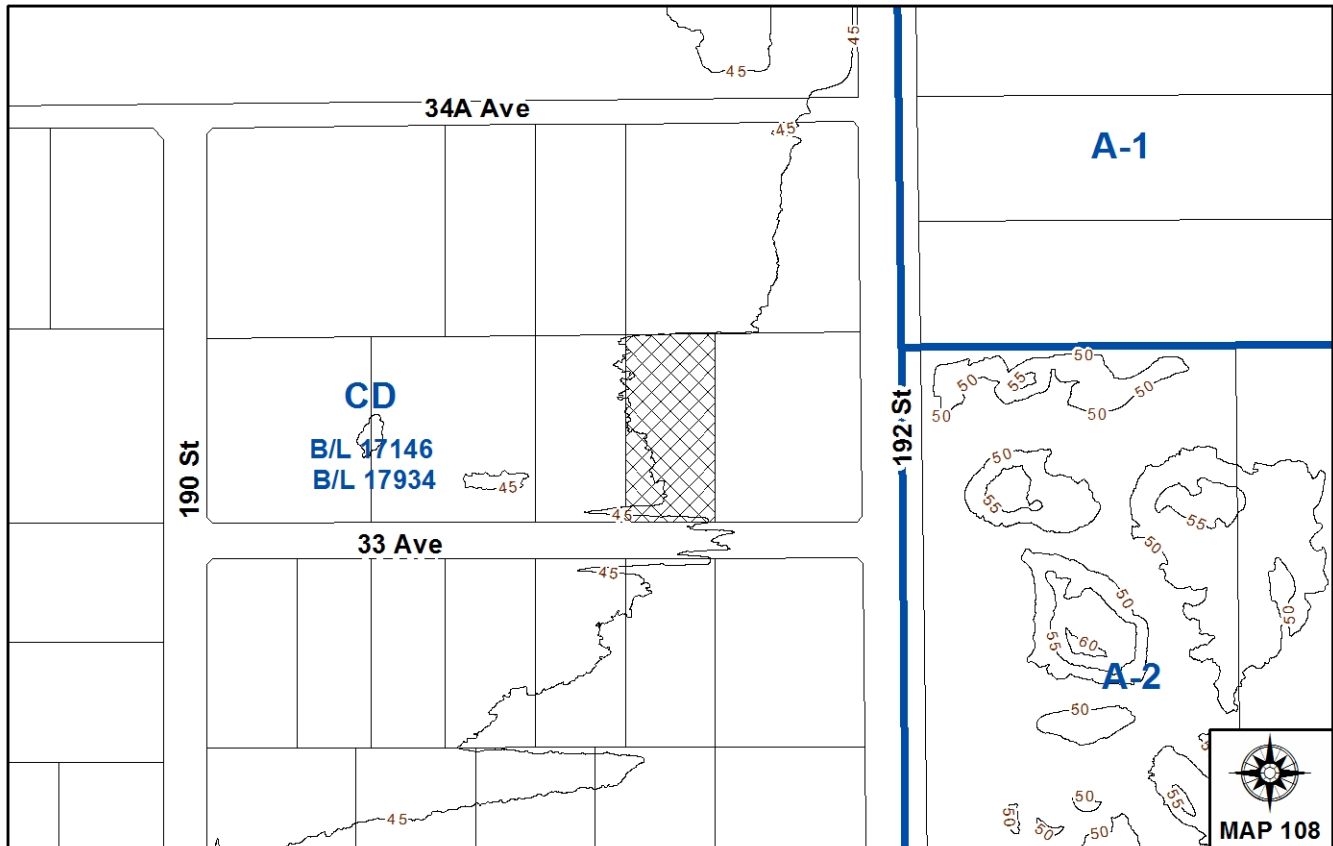
LOCATION: 19159 - 33 Avenue

OWNER: 028138813 Holdings Lot 9 Ltd

ZONING: CD (By-law Nos. 17146 & 17934)

OCP DESIGNATION: Industrial

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with Official Community Plan (OCP) and the Campbell Heights Business Park Local Area Plan (LAP).
- Complies with CD By-laws No. 17146 and No. 17934.
- The proposed development is consistent with the design guidelines outlined in the Campbell Heights Local Area Plan and the general development permit approved for Campbell Heights North.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7914-0157-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to approval:
 - (a) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix III.

Surrey Fire Department: The Fire Department has no concerns.

SITE CHARACTERISTICS

Existing Land Use: Undeveloped industrial land

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North:	Undeveloped lot with DP recently approved (No. 7913-0279-00)	Industrial in the OCP. Business Park in the Campbell Heights LAP.	CD By-law Nos. 17146/17934
East, South and West:	Undeveloped industrial land.	Industrial in the OCP. Business Park in the Campbell Heights LAP.	CD Bylaw Nos. 17146/17934

DEVELOPMENT CONSIDERATIONSContext

- The subject property is 0.52 ha (1.3 acres) in size, and located in the Campbell Heights North area, which has recently been rezoned and subdivided. This property, located in Phase One of the Campbell Heights North Business Park, was created under subdivision application no. 7910-0179-00 in May 2012.
- The site and surrounding properties are currently vacant, with little or no vegetation.

- On the property to the north, a Development Permit for a furniture warehousing and manufacturing facility has recently been approved under application no. 7913-0279-00. The approved building is proposed to be 8,399 m² (90,409 ft²) in size.

Proposal

- The subject site will be occupied by Northwest Sheet Metal, a company that offers "custom sheet metal fabrication and HVAC contracting".
- The application is for a 2,156 m² (23,208 ft²) industrial building with a 1,864 m² (20,065 ft²) footprint and 292 m² (3,143 ft²) of second-floor office space.
- The building will be 10.0 m (32.8 ft) tall.

PRE-NOTIFICATION

- The proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS does not anticipate any short-term impact on the Little Campbell River from this application and therefore no concerns were raised.

DESIGN PROPOSAL AND REVIEW

Parking, Access and Circulation

- One vehicle access is proposed, at the southwest corner of the property. The site is designed with a two-way drive-aisle on the west side of the property. Loading bays are located on the north side (rear) of the building and are not visible from the street.
- Most of the 22 required parking spaces are located in front of the building, with some additional spaces for staff in the rear yard.
- A pathway for pedestrian access to the site is connected to the public sidewalk and located near the building entrance.

Building Design

- The proposed building will cover 36% of the site and will have an FAR of 0.41.
- The proposed building and site plan are consistent with the design guidelines outlined in the Campbell Heights LAP and the Campbell Heights North Design Guidelines document.
- The building is proposed to be tilt-up concrete, painted grey with an orange accent. The front (south) façade features extensive grey-tinted glazing in black anodized aluminum frames and includes charcoal-coloured corrugated metal cladding as an accent material.

- A painted steel trellis is also proposed on the south façade, which is designed to accommodate a climbing vine to create a "green wall." The type of vine that will be planted has not yet been established.

TREES

- An arborist report was not required because there are currently no trees and very little vegetation at all on the property.
- The landscaping plan has been reviewed and is generally acceptable. Some minor revisions are still required.
- The proposed landscaping must reflect the registered restrictive covenant for landscaping and storm-water management along the front property line. The restrictive covenant requires installation of a bio-swale and associated rain garden with planted trees, shrubs and groundcover.
- The front yard landscaping incorporates a pedestrian connection between the building and the sidewalk on 33 Avenue.
- A small amenity area for staff is proposed outside the main building entrance. The area is designed with tables and landscape planting. A bicycle rack is also located near the building entrance.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 27, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Proposal is consistent with the Campbell Heights LAP
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • Maximum permitted FAR is 1.0. Proposed FAR is 0.42. • The proposal does not include a mix of uses. It does include an outdoor amenity area.

3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposal incorporates absorbent soils, a bio-swale with rain garden, sediment control devices and perforated pipes. • 22 trees are proposed to be planted. • There are no environmentally sensitive features on the site.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposal does not include measures to reduce private vehicles or emissions. • The site plan includes 80m of pedestrian walkways, a pedestrian connection to the City sidewalk, and a bicycle rack.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposal considers CPTED principles by allowing for clear sight-lines around the building and providing extensive glazing, particularly on the interior corner stair.
6. Green Certification (F1)	<ul style="list-style-type: none"> • Third-party certification will not be sought for green features.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The building user has been involved in the design process. • Skylights will be installed in the building accordance with current ASHRAE standards. • Master lighting-control will be incorporated to minimize unnecessary after-hours illumination. • Photo-cell control of exterior lighting will be provided.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III. Engineering Summary

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by CTA Design Group and Jonathan Losee Ltd., respectively, dated August 24, 2014 and August 26, 2014

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MJ/da

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DEVELOPMENT DATA SHEET

Existing Zoning: CD (No. 17146 & 17934)

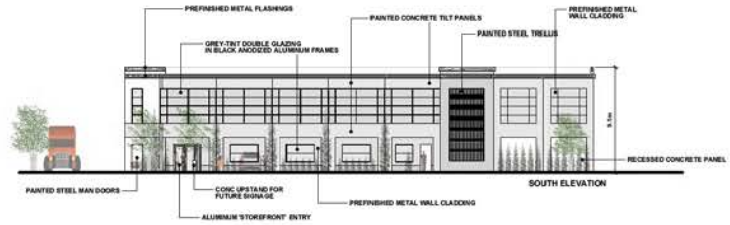
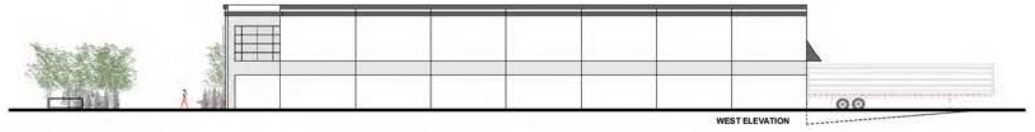
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	5,229	
Road Widening area		
Undevelopable area		
Net Total	5,229	
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60	37
Paved & Hard Surfaced Areas		51
Total Site Coverage		88
SETBACKS (in metres)		
Front	16.0	17.0
Rear	7.5	37.0
Side #1 (West)	7.5	7.6
Side #2 (East)	0.0	0.0
BUILDING HEIGHT (in metres/storeys)		
Principal	14.0	10.0
Accessory	n/a	n/a
NUMBER OF RESIDENTIAL UNITS	n/a	n/a
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential	n/a	n/a
FLOOR AREA: Commercial	n/a	n/a
Retail		
Office		
Total		
FLOOR AREA: Industrial	2,232	2,232
FLOOR AREA: Institutional	n/a	n/a
TOTAL BUILDING FLOOR AREA		2,232

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		0.43
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	22	22
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	22	22
Number of disabled stalls	1	1
Number of small cars	6	3
Tandem Parking Spaces: Number / % of Total Number of Units	0	0
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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REV	DATE	REMARKS
A	MAY 26, 14	CP SUBMISSION
B	JULY 19, 14	CP RESUBMISSION

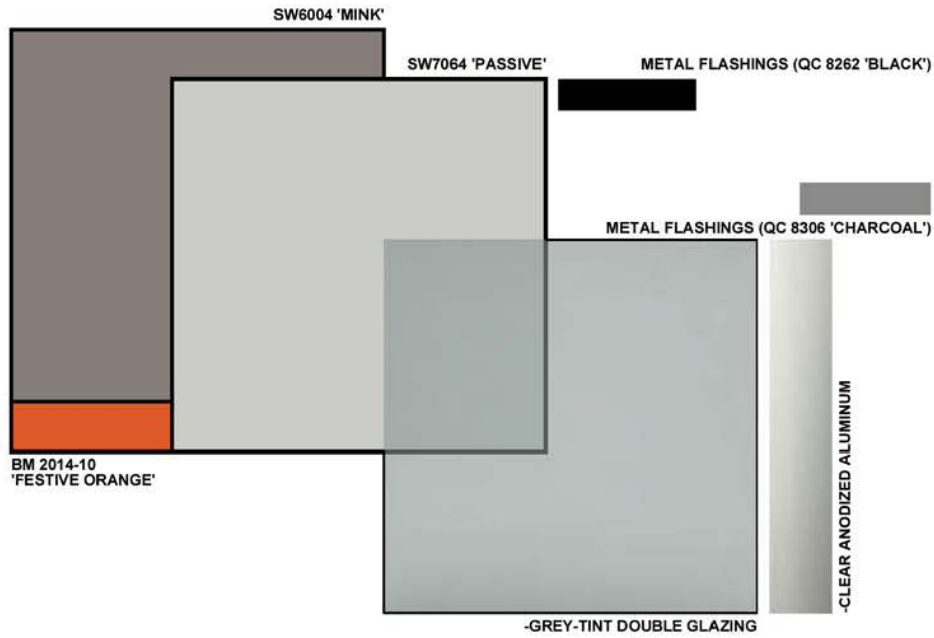
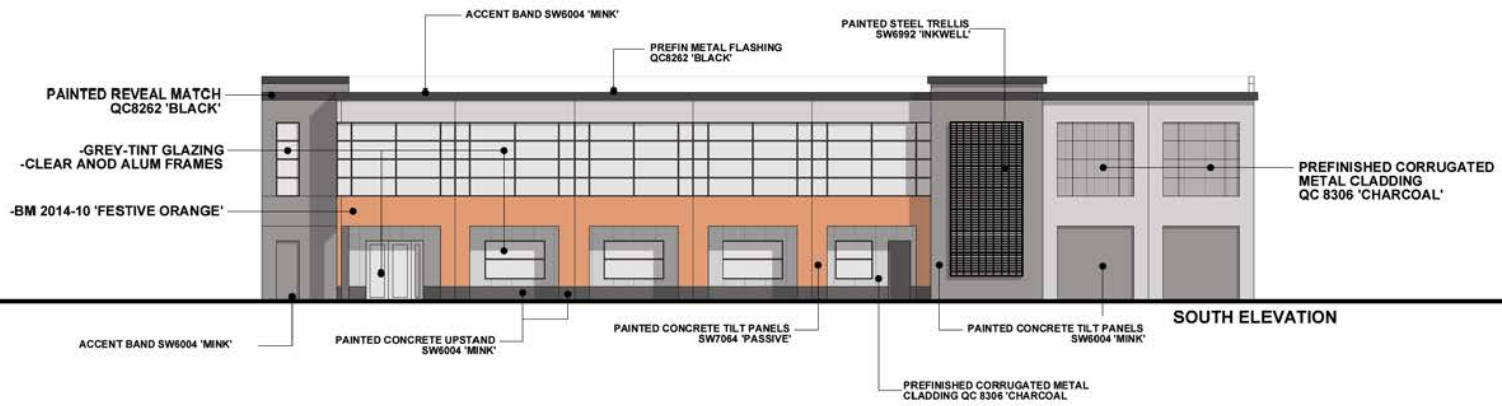
ARCHITECTURAL & ENGINEERING
 750 WEST 10TH STREET
 VANCOUVER, BC V6Z 1R7
cta
 construction & design
 a division of cta construction inc.
 a member of the cta group

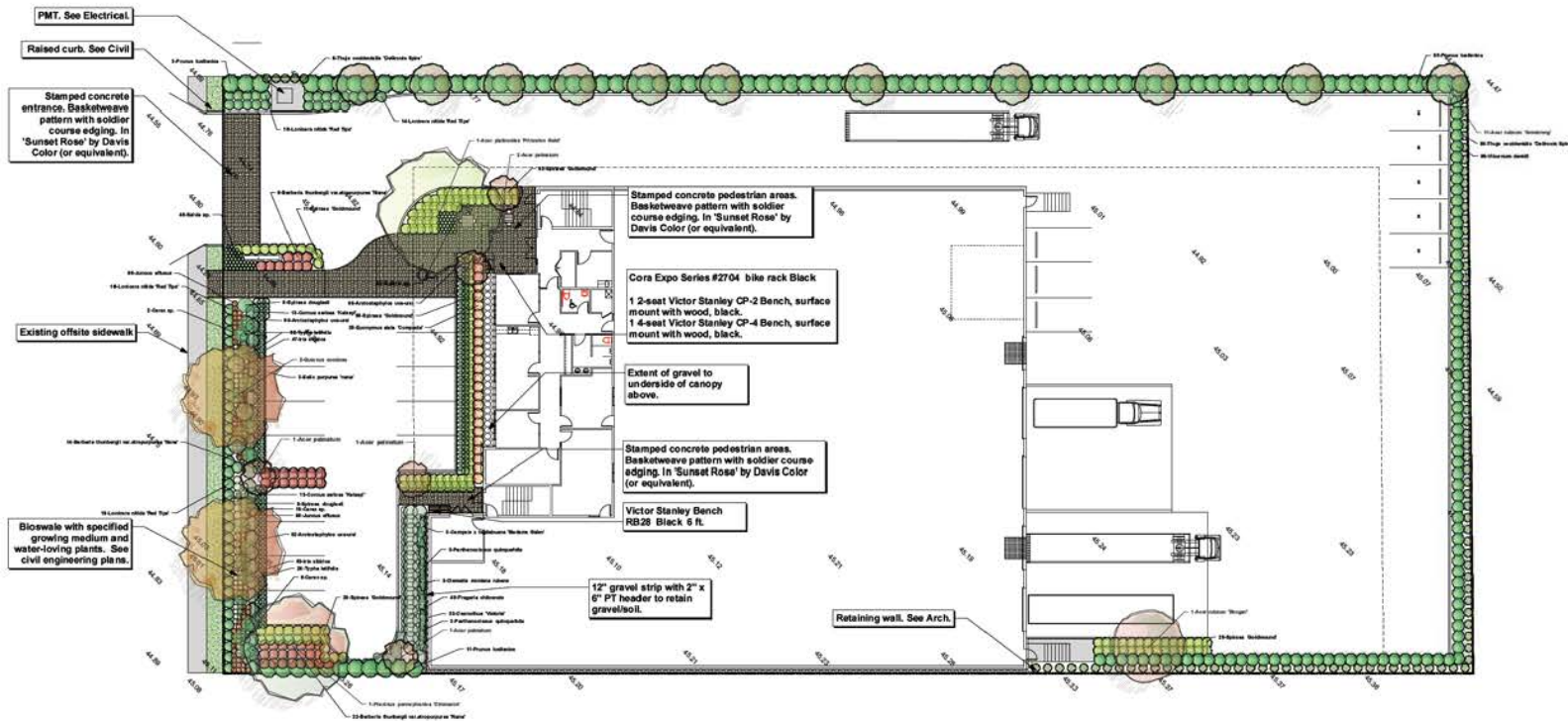
NORTHWEST
 SHEET METAL LTD.
 Custom Steel Metal Fabrication & HVAC Contracting

PRISM
 CONSTRUCTION LTD.

**PROPOSED
 NEW BUILDING**
 FOR
**NORTHWEST
 SHEET METAL**
 19159 33RD AVE
 SOUTH SURREY BC

TITLE: -ELEVATIONS -RENDERINGS	
DRAWN: JK	CHECKED: JK
SCALE: 1:200	FILE:
DRAWING NUMBER: ----	VERSION: B





LANDSCAPE NOTES

- Sizes on the planting plan shall be considered minimum sizes.
- All landscape contractor to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington, Oregon, California, and B.C.
- Root balls to be free of pesticides.
- Top soil mixture for the project shall be tested for particle size, pH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Off slab, min. soil depths are 6" for lawn areas, 18" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and rake smooth.
- Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The prepared sub-grade shall be approved by the Contractor prior to application of top soil mixture and finish grading. Slope towards lawn basins at min. 4%.
- Landscape Contractor to provide 60 days of maintenance after the date of substantial completion. Maintain to level 3 'Goodness' as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at drip line of existing hedger, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
- Planting material on City Boulevard to have the approval of the Parks Dept prior to installation. Size, species and location require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to SABC standards.

ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES					
Ap	Acer palmatum	Japanese Maple	5	1.25m, #20 pot	Cont.
AP30	Acer platanoides 'Princeton Gold'	Princeton Gold Norway Maple	1	5cm cal.	B & B
Ar3	Acer rubrum 'Armstrong'	Armstrong Red Maple	11	6cm cal.	B & B
ArM	Acer rubrum 'Moonglow'	Moonglow Red Maple	1	5cm cal.	B & B
FC3	Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Green Ash	1	5cm cal.	B & B
Qc	Quercus coccinea	Scarlet Oak	2	5cm cal.	B & B
SHRUBS					
Au	Arctostaphylos uva-ursi	Kinnikinnick	238	#1 pot	Cont.
Bt-N	Berberis thunbergii var. atropurpurea 'Nana'	Dwarf Japanese Barberry	45	#2 pot	Cont.
Cr	Campsis x tagliabuana 'Madame Galen'	Trumpet Creeper	3	#2 pot	Cont.
Cr3	Carex sp.	Mixed sedges	27	10cm pot	Cont.
Cv	Callunetum 'Victoria'	California Lilac	33	#3 pot	Cont.
Clm	Clematis montana rubens	Pink Anemone Clematis	3	#2 pot	Cont.
ClK	Cornus sericea 'Yelken'	Kelvey Redosier Dogwood	26	#3 pot	Cont.
Fa c	Fuquimys alata 'Compacta'	Dwarf burning bush	25	#3 pot	Cont.
Fc	Fragaria chionoxantha	coastal strawberry	48	10cm	Cont.
Is	Isis sibirica	Siberian Iris	100	#1 pot	Cont.
Auf	Amous effusus	Soft Bush	115	#1 pot	Cont.
Ln	Lonicera nitida 'Red Tip'	Red Tip Honeyuckle	59	#3 pot	Cont.
Pn	Parthenocissus quinquefolia	Virginia Creeper	6	#2 pot	Cont.
Pl	Prunus laurifolia	Portuguese Laurel	94	#5 pot	Cont.
Sen	Salix purpurea 'nana'	Dwarf Arctic Willow	3	#5 pot	Cont.
S	Salvia sp.	Sage	81	#1 pot	Cont.
SG	Spiraea 'Goldmound'	Goldmound Spine	152	#2 pot	Cont.
Sp3d	Spiraea douglasii	Hardhack	18	#2 pot	Cont.
The-DS	Thuja occidentalis 'DeGroot's Spire'	Arborvitae-DeGroot's	92	1.5M ht.	B & B
Tl	Tuyba latifolia	Celtis	60	#1 pot	Cont.
Vb	Viburnum davidii	David Viburnum	86	#3 pot	Cont.
GROUNDCOVER					
	Assorted perennials selected by Landscape Architect		100	#1 pot	Cont.

Aug. 28 2014 Issue for BP
 July 16, 2014 Issue for DP
 May 15, 2014 For Review

Revisions:


Jonathan Luse Ltd
 Landscape Architecture

#102 - 1641 W. 2nd Ave.
 Vancouver, B.C. V6J 1Y1
 PH: 604-681-1023
 Email: info@jonthanluse.com

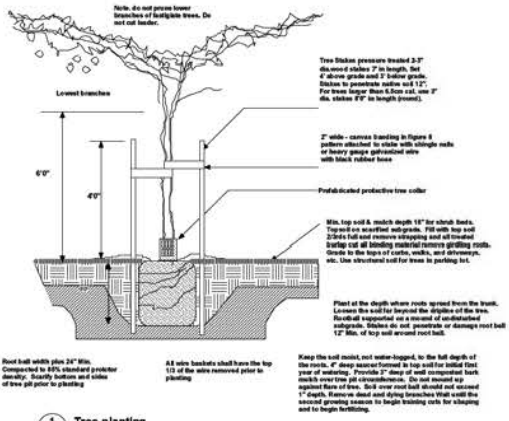
Project:
Northwest Sheet Metal
 19159 33rd Ave
 South Surrey, B.C.

Sheet Title:
Landscape Plan

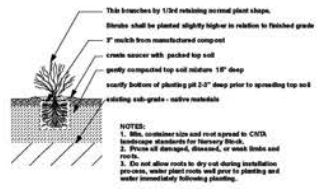
Scale:
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 Date: May 2014
 Project No.: 2014-17

L-1

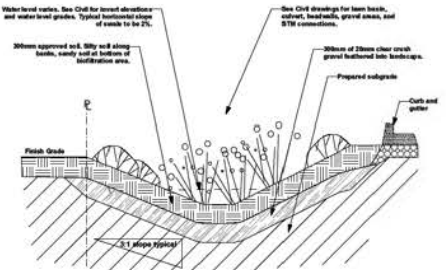




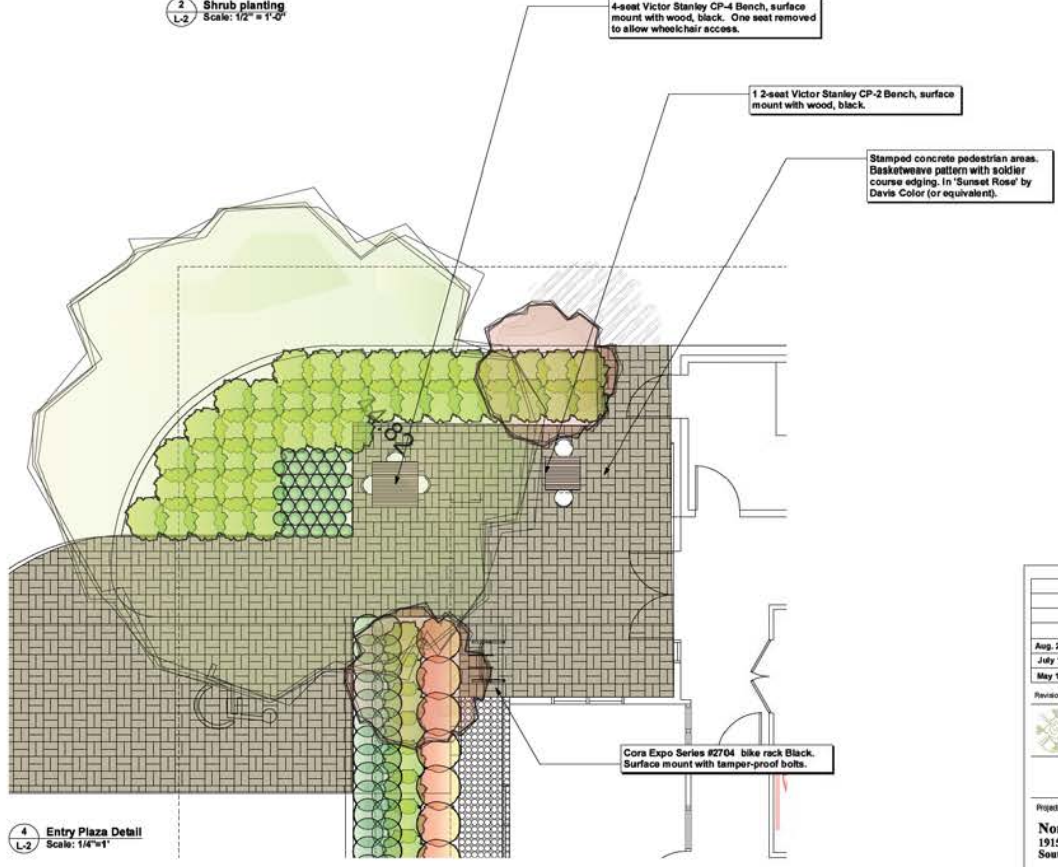
1 Tree planting
Scale: 1/2" = 1'-0"



2 Shrub planting
Scale: 1/2" = 1'-0"



3 Biofiltration soil section
Scale: 1/2" = 1'-0"



4 Entry Plaza Detail
Scale: 1/4" = 1'-0"

Aug. 28 2014	Issue for BP
July 16, 2014	Issue for CP
May 15, 2014	For Review

Revisions:

Jonathan Luse Ltd
Landscape Architecture

#102 - 1641 W. 2nd Ave.
Vancouver, B.C. V6J 1Y1
Ph: 604-680-1021
Email: info@jonathaneluse.com

Project:
Northwest Sheet Metal
19159 33rd Ave
South Surrey, B.C.

Sheet Title:
Detail Plan

Scale:
1/16" = 1'-0"

Date: May 2014

Project No:
2014-17

L-2

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **August 27, 2014** PROJECT FILE: **7814-0157-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 19159 33 Ave**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

BUILDING PERMIT

Services to the site were provided under the servicing agreement for City of Surrey project 7810-0179-00. The following issues are to be addressed as a condition of issuance of the Building Permit. Based on the expected scope of work, this can be done through a City Road Right of Way Permit:

- Relocation of service connections as required and abandonment of redundant service connections as required;
- Construction of 11 m curb letdown and associated modification to drainage features if required; and
- Construction of onsite infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7810-0179-00.

The applicant is advised to review the registered sustainable drainage and water quality control restrictive covenants prior to submitting building permit application.

Note that an Erosion and Sediment Control permit will be required for on-site work.



Rémi Dubé, P.Eng.
Development Services Manager

LR