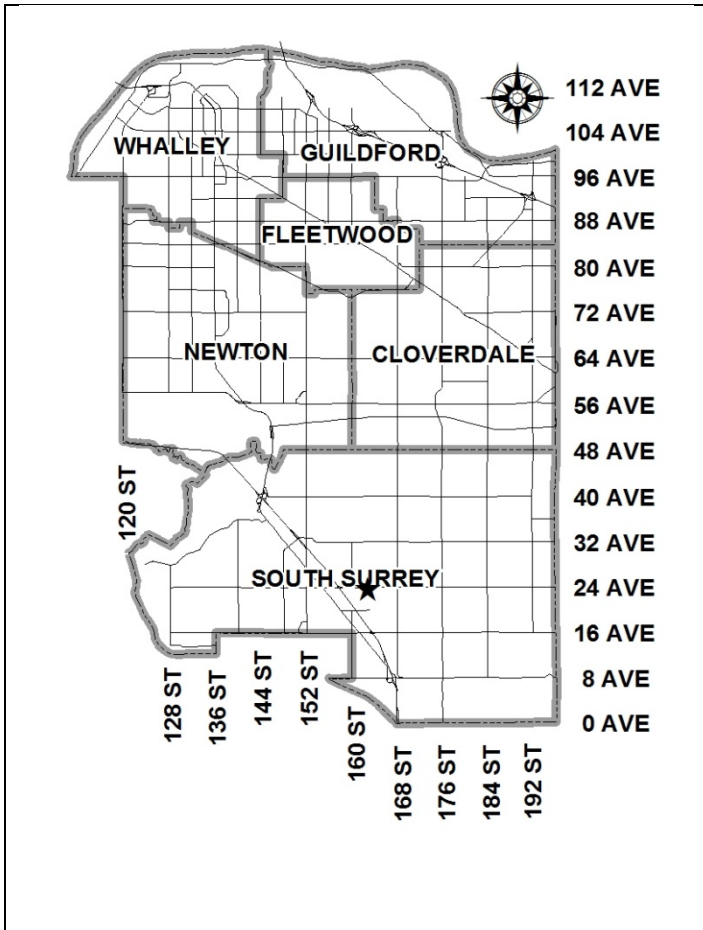


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7914-0159-00

Planning Report Date: October 20, 2014

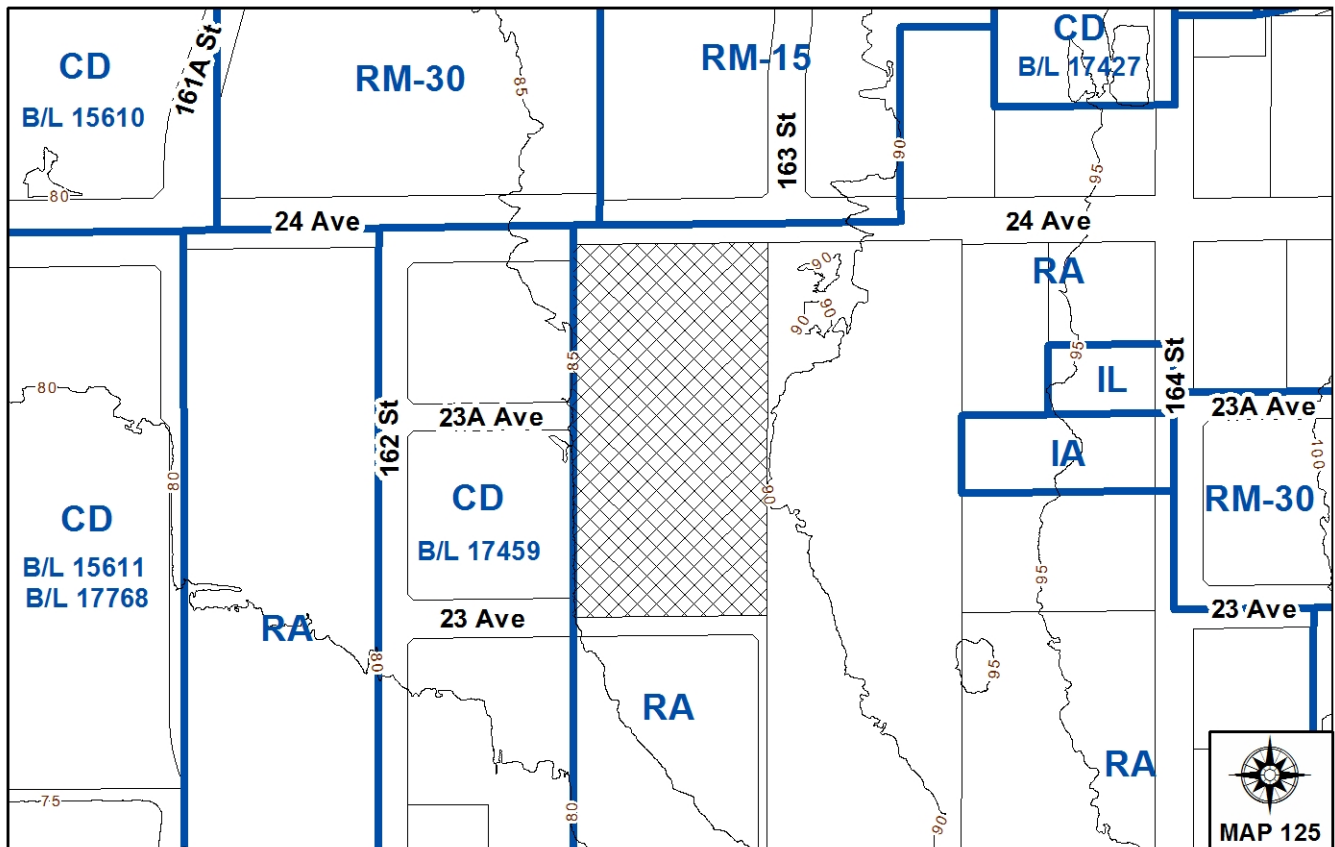


**PROPOSAL:**

- **OCP Amendment** from Suburban to Multiple Residential
- **NCP Text Amendment**
- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

in order to permit the development of a 94-unit townhouse complex.

**LOCATION:** 16272 - 24 Avenue  
**OWNER:** Mosaic 24th Ave Holdings Ltd.  
**ZONING:** RA  
**OCP DESIGNATION:** Suburban  
**NCP DESIGNATION:** Multiple Residential 30-45 upa and Multiple Residential 15-25 upa



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking an OCP Amendment from "Suburban" to "Multiple Residential".
- The applicant is seeking to reduce the indoor amenity space from the required 282 sq.m. (3,035 sq.ft.) to 113 sq.m. (1,215 sq.ft.) and pay cash-in-lieu for the shortfall.
- The applicant is proposing various setback relaxations.
- An NCP text amendment to the Sunnyside Heights NCP is proposed to secure ownership of the Grandview Ridge Trail at no cost to the City instead of securing the multi-use pathway through a statutory-right-of-way (SRW).

### RATIONALE OF RECOMMENDATION

- The proposed OCP Amendment was anticipated as part of the approval process for development applications in the Sunnyside Heights NCP in order to achieve the approved land use designations and density.
- The proposed indoor amenity space shortfall is supportable given that the proposed reduced indoor amenity space is functional, with the remaining shortfall addressed through a cash-in-lieu contribution in accordance with City policy.
- The proposed setbacks achieve a more urban, pedestrian streetscape.
- The Grandview Ridge Trail is an important public amenity in the Sunnyside Heights NCP. Securing ownership of the greenway at no cost to the City as opposed to the greenway remaining on private property through a SRW improves the City's ability to develop and maintain this important amenity.
- The proposed form and character of the townhouses are appropriate for this area of the Sunnyside Heights NCP.
- Complies with the NCP Designation.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site in Development Application No. 7914-0159-00 from "Suburban" to "Multiple Residential" and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA )" (By-law No. 12000) to "Multiple Residential 30 Zone (RM-30)" (By-law No. 12000) and a date be set for Public Hearing.
4. Council approve the applicant's request to reduce the amount of required indoor amenity space from 282 sq.m. (3,035 sq.ft.) to 113 sq.m. (1,215 sq.ft.).
5. Council authorize staff to draft Development Permit No. 7914-0159-00 generally in accordance with the attached drawings (Appendix II).
6. Council approve Development Variance Permit No. 7914-0159-00 (Appendix V) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.0 metres (10 feet) along 163 Street;
  - (b) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.6 metres (12 feet) along 23A Avenue;
  - (c) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 4.5 metres (15 feet) along 23 Avenue; and
  - (d) to reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.0 metres (10 feet) for the side of buildings and 5.5 metres (18 feet) for the front of buildings.
7. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;

- (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (f) submission of an acoustical report for the units adjacent to 24 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures.
  - (g) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (i) the applicant adequately address the impact of reduced indoor amenity space; and
  - (j) registration of a reciprocal and shared access agreement for use and maintenance of indoor and outdoor amenity spaces and visitor parking.
8. Council pass a resolution to amend the Sunnyside Heights NCP to secure ownership of the Grandview Ridge Trail at no cost to the City, when the project is considered for rezoning.

### REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
School District:	<p><b>Projected number of students from this development:</b></p> <p>15 Elementary students at Pacific Heights Elementary School 8 Secondary students at Earl Marriott Secondary School</p> <p>(Appendix IV)</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by March 2016.</p>
Parks, Recreation & Culture:	No concerns.
Surrey Fire Department:	No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family residential.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 24 Avenue):	Townhouses	Multiple Residential and Urban/ 10-15 upa Medium Density and 20-30 upa Medium High Density	RM-15 and RM-30
East :	Single family residential, under application no. 7914-0257-00 for townhouses.	Suburban/ Multiple Residential 15-25 upa	RA
South (Across 23 Avenue):	City park land	Suburban/Park	RA
West:	Townhouses	Multiple Residential/ Multiple Residential 15-25 upa and Multiple Residential 30-45 upa	CD By-law No. 17459

JUSTIFICATION FOR PLAN AMENDMENT

- The applicant is seeking an Official Community Plan (OCP) amendment from "Suburban" to "Urban". The OCP Amendment is necessary to accommodate development at a density higher than 5 units per hectare (2 units per acre) and it was acknowledged that the OCP would need amending as development proposals came forward in the Sunnyside Heights Neighbourhood Concept Plan (NCP). The proposed OCP amendment is necessary to ensure the site develops as per the NCP designation.
- An NCP text amendment to the Sunnyside Heights NCP is proposed to secure ownership of the Grandview Ridge Trail at no cost to the City instead of securing the multi-use pathway through a statutory-right-of-way (SRW).
- The proposed Grandview Ridge Trail is an important public amenity in the Sunnyside Heights NCP. The trail is a continuous, 2 km (3.2 miles), multi-use permeable pathway leading from the Grandview Corners area to Darts Hill Park. The trail is situated at the top of a slope and will provide significant viewpoints towards Boundary Bay and the San Juan Islands as well as a connection to two of the three parks and the riparian area identified in the NCP.
- The Grandview Ridge Trail is to be secured through the rezoning and site planning review process. Consideration will be given to setback variances along the trail alignment.
- Securing ownership of the Grandview Ridge Trail at no cost to the City as opposed to the trail remaining on private property through a SRW improves the City's ability to develop and maintain this important amenity.

## DEVELOPMENT CONSIDERATIONS

### Site Context

- The subject site is located at 16272 – 24 Avenue and is zoned "One-Acre Residential Zone (RA)" and is 2.0 hectares (5 acres) in gross area. The parcel is designated "Suburban" in the OCP and "Multiple Residential 30-45 upa" and "Multiple Residential 15-25 upa" in the North Sunnyside Heights NCP.
- The subject site is bordered to the west by a recently completed townhouse development. To the south, across 23 Avenue, there is a newly acquired 1.7 hectare (4.2 acre) City park. To the east, across 163 Street is a 4.0 hectare (9.9 acre) parcel currently under a rezoning application to permit townhouses (File No. 7914-0257-00). To the north, across 24 Avenue, lies a townhouse complex.

### Proposal

- In addition to the above-described OCP and NCP amendments, the applicant is proposing :
  - a rezoning from RA to "Multiple Residential 30 Zone (RM-30)";
  - a Development Permit to allow for 94 townhouse units; and
  - a Development Variance Permit to allow for various setback relaxations.
- The applicant is proposing to blend the densities proposed in the NCP to arrive at a unit density of 64 uph (26 upa), similar to the completed project to the west (File No. 7910-0320-00) which has the same NCP designations. The applicant is proposing a floor area ratio (FAR) of 0.85 which complies with the RM-30 Zone.

### Access, Pedestrian Circulation and Parking

- The site will consist of two hooked parcels each bounded on 3 sides by public roads. The east-west roads are 24 Avenue, 23 A Avenue and 23 Avenue. 163 Street runs along the eastern edge of the development. All of the roads will have full sidewalks and 24 Avenue will have an enhanced sidewalk in the form of a 4.0 metre wide multi-use pathway.
- The applicant is dedicating a 10 metre (33 feet) wide corridor for the Grandview Ridge Trail. This is a terminus of the trail and a unique plaza highlighting the trail is proposed at the intersection of 24 Avenue and 163 Street.
- The individual units will either have direct pedestrian access to the fronting streets, or will be accessed from the central mews that run between paired blocks of units or the proposed pathway along the western edge of the site. The subject site's internal pedestrian network is proposed to connect to the proposed pedestrian connection between the site and the City park to the south.
- The applicant is proposing to provide 188 resident parking spaces and 19 visitor parking spaces, which meets the minimum parking requirements of the Zoning By-law. Twenty-six (26) units (28%) are proposed to have a double-car garage while the remaining 68 units (72%) are proposed to have a tandem parking arrangement.

Indoor and Outdoor Amenity

- The Zoning By-law requires that 282 sq.m. (3,035 sq. ft.) of indoor amenity area and outdoor amenity area be provided for this project, based on 3 sq.m. (32 sq. ft.) per dwelling unit.
- The applicant is proposing to provide 113 sq.m. (1,215 sq.ft.) of indoor amenity space located in a visually prominent corner of the site, at the intersection of 163 Street and 23A Avenue. The amenity space contains a large multi-purpose room, a washroom, and two meeting rooms.
- The proposed indoor amenity space shortfall of 169 sq.m. (1,819 sq.ft.) is supportable given the proposed reduced indoor amenity space is functional, with the remaining shortfall addressed through a cash-in-lieu contribution in accordance with City policy.
- The applicant is proposing to provide 282 sq.m. (3,035 sq.ft.) of outdoor amenity space, located throughout the site. The amenity spaces will contain mail kiosks and seating benches.

DESIGN PROPOSAL AND REVIEW

- The proposed development consists of 12 buildings containing 94 dwelling units. The siting and orientation of the buildings results in a strong streetscape with the majority of units designed to interact positively with the public realm.
- The majority of the street-fronting units contain active living space on the ground floor which promotes interaction with the public realm. These units have front doors facing the street, a walkway connecting each residence to the street, and windows that provide casual surveillance of the street.
- The perceived building massing has been reduced by following the natural grades of the site through a stepped building form and also through variations in the roof massing.
- Particular attention has been paid to the street facing elevations with extensive brick and hardipanel siding, painted wood crown moulding, painted wood trim, and planter shelves. Internally the siding is mostly vinyl with wooden trim.

TREES AND LANDSCAPING

- Norman Hol, ISA Certified Arborist of Arbortech Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	0	0	0
Cottonwood	0	0	0

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Apple	3	3	0
Cherry	8	8	0
Norway maple	1	1	0
Walnut	3	3	0
<b>Coniferous Trees</b>			
Douglas fir	4	3	1
Sawara cypress	2	2	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>21</b>	<b>20</b>	<b>1</b>
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)		<b>274</b>	
<b>Total Retained and Replacement Trees</b>		<b>275</b>	
<b>Contribution to the Green City Fund</b>		<b>Not required</b>	

- The Arborist Assessment states that there are a total of 21 protected trees on the site. There are no alder and cottonwood trees. It was determined that 1 tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees at a 2 to 1 replacement ratio. This will require a total of 42 replacement trees on the site. The applicant is proposing 274 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a large variety of trees including maples, dogwoods, magnolias and spruce. The landscaping includes a mix of trees, shrubs, ground cover and grasses.
- The applicant is proposing layered planting with 0.9 (3 feet) high transparent wood picket fence along the street frontages. Special paving is proposed for near the main entrances. No garbage enclosure is proposed as garbage and recycling will be picked up at each unit.

#### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 29, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.



Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>The site is located within the Sunnyside Heights NCP.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>The proposal includes 34 two-bedroom units and 60 three-bedroom units.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>Absorbent soils greater than 30 cm (1 foot) in depth, on-site infiltration trenches or sub-surface chambers, and cisterns/rain barrels are proposed.</li> <li>The applicant is proposing to retain 1 on-site tree.</li> <li>Recycling pick-up will be made available.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>The applicant will be conveying a 10 metre (33 feet) wide corridor for the Grandview Ridge Trail greenway.</li> <li>On-site pedestrian paths will be provided.</li> <li>There is transit service on 24 Avenue.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>Street-fronting townhouses will be oriented to the street, to provide surveillance.</li> <li>Outdoor and indoor amenity space is proposed.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>n/a</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>The typical notifications to area residents occurred (ie. development proposal signage and pre-notification letters).</li> </ul>

### ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found generally acceptable.

### PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

### PRE-NOTIFICATION

Pre-notification letters were sent on September 8, 2014 and staff received 5 phone calls and 1 email.

- Four (4) of the callers and the email writer did not have any concerns about the proposal. Most callers were curious about the timing of the City park to the south of the site.

*(The City park south of the subject site will be developed as a neighbourhood park, with a children's playground and open spaces for passive park use. An existing grove of mature evergreen trees will be retained and managed as a small natural area. A public consultation process will be undertaken during the planning and design of the park, which will be initiated once adequate NCP park amenity funds have been collected.)*

- One caller expressed concerns that traffic is busy in the area and that there is not enough infrastructure or community centres in the area.

*(The subject application will be providing road dedications as well as dedication for the Grandview Ridge Trail greenway. The City is developing nearby civic facilities in the 16800 block of 24 Avenue.)*

### BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.0 metres (10 feet) along 163 Street.

Applicant's Reasons:

- The proposed setback allow for an efficient use of the site.

Staff Comments:

- The applicant is providing a substantial dedication (15 metres/49 feet) for the purposes of providing a 10-metre (33 feet) wide Grandview Ridge Trail greenway and 5 metres (16 feet) for 163 Street.
- The townhouse units' interface will be with the 10-metre (33 feet) wide greenway and as such the proposed townhouse units will be set much farther back from the street than the typical setback.

(b) Requested Variance:

- To reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.6 metres (12 feet) along 23A Avenue.

Applicant's Reasons:

- The proposed setback allows for an efficient use of the site.

Staff Comments:

- 23A Avenue is a 14.5 metre (48 feet) wide flex road that is not intended to handle large volumes of traffic but is rather to help provide a finer grained grid for local traffic.

- The reduced setback on 23A Avenue will assist in lessening the burden of road dedications prescribed in the NCP.

(c) Requested Variance:

- To reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 4.5 metres (15 feet) along 23 Avenue.

Applicant's Reasons:

- The proposed setback allows for an efficient use of the site.

Staff Comments:

- The proposed setback allows for building presence on the street and also an appropriately sized landscaped area along the street.

(d) Requested Variance:

- To reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.0 metres (10 feet) for the side of buildings and 5.5 metres (18 feet) for the front of buildings.

Applicant's Reasons:

- The proposed setback allows for an efficient use of the site.

Staff Comments:

- The proposed setbacks match the setbacks on the adjacent recently completed townhouse complex.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Site Plan, Building Elevations, and Landscape Plans
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Development Variance Permit No. 7914-0159-00
- Appendix VI. Summary of Tree Survey and Tree Preservation
- Appendix VII. OCP Redesignation Map

*Original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

KB/da

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DRV 10/16/14 9:47 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                  Stephanie Bird  
    Mosaic Homes  
    Address:              #500, 2609 - Granville Street  
    Vancouver, BC V6H 3H3  
    Tel:                      604-685-3888

2. Properties involved in the Application

(a) Civic Address:                      16272 - 24 Avenue

(b) Civic Address:                      16272 - 24 Avenue  
Owner:                                      Mosaic 24th Ave Holdings Ltd.  
PID:    029-273-935  
Lot 1 Section 13 Township 1 New Westminster District Plan EPP36912

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to amend the Official Community Plan to redesignate the property.
  
- (b) Introduce a By-law to rezone the property.
  
- (c) Proceed with Public Notification for Development Variance Permit No. 7914-0159-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

# DEVELOPMENT DATA SHEET

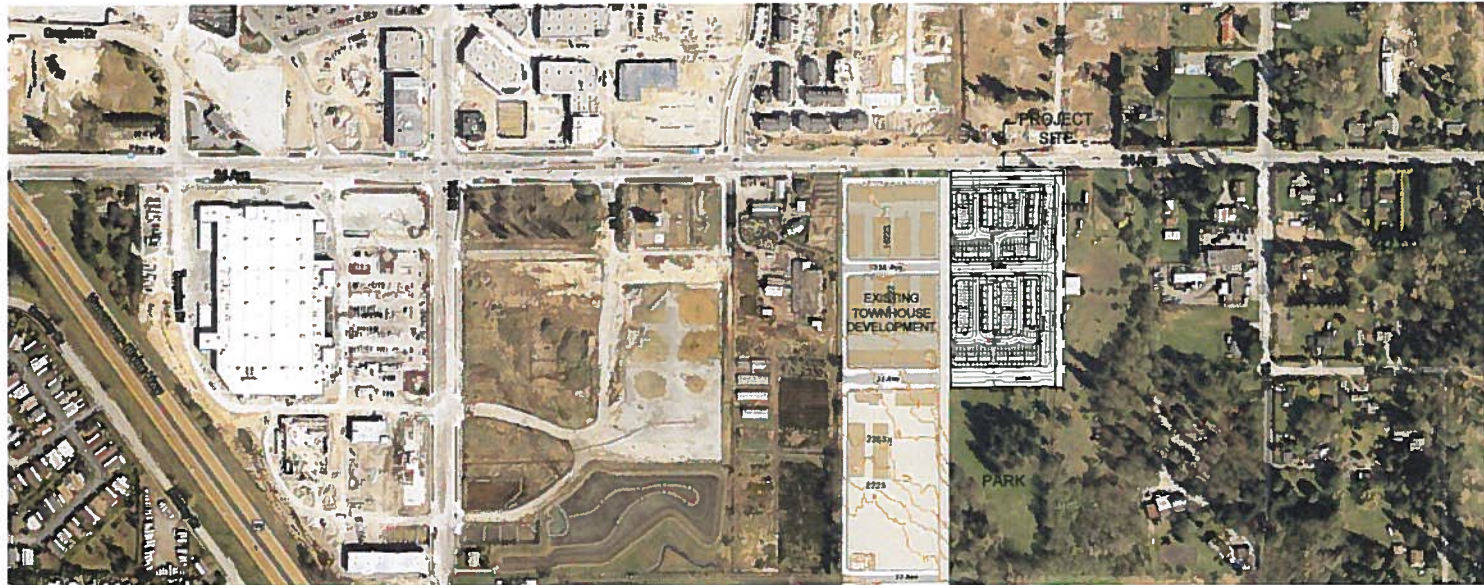
Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total		20,256 sq.m.
Road and MUP Widening area		5,687 sq.m.
Undevelopable area		
Net Total		14,569 sq.m.
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	45%	37%
Paved & Hard Surfaced Areas		
Total Site Coverage		
<b>SETBACKS</b> ( in metres)		
East (along 163 St)	7.5m	3.0m
Along 23A Ave	7.5m	3.6m
Along 23 Ave	7.5m	4.5m
West	7.5m	3.0m for side of buildings; 5.5m for front of buildings
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	13m	11.6m
Accessory (indoor amenity)	11m	8.5m
<b>NUMBER OF RESIDENTIAL UNITS</b>		
One Bed		
Two Bedroom		34
Three Bedroom +		60
Total		94
<b>FLOOR AREA: Residential</b>		12,432 sq.m.
<b>FLOOR AREA: Commercial</b>		
Retail		
Office		
<b>FLOOR AREA: Industrial</b>		
<b>FLOOR AREA: Institutional</b>		
<b>TOTAL BUILDING FLOOR AREA</b>		12,432 sq.m.

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph/ 30 upa	64.4 uph/26.1 upa
FAR (gross)		
FAR (net)	0.90	0.85
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	282 sq.m.	113 sq.m.
Outdoor	282 sq.m.	282 sq.m.
<b>PARKING (number of stalls)</b>		
Commercial		
Industrial		
Residential	188	188
Residential Visitors	19	19
Institutional		
Total Number of Parking Spaces	207	207
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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**Project Statistics - Overall** 24th Ave Townhomes 08-Sep-14

Setting	000-00	Townhomes	of	Ac
Green Site Area*	20200	716864	6.5	
Net Site Area (including S.R.W.)	14000	188625	3.5	
Height of City	300	4000	6.1	
Green Density	4000	40000	1.8	
Green Density	1427	17013	0.8	
Lot Coverage (% of Green Area)				36.6
Green Density				36.1 UPA
Floor Area Ratio (FAR)		1738271.667		4.88

\* Green Area is measured to the center line of 23rd Avenue  
 \*\* Green Density and FAR is measured within Net Site Area

SUBDIVISION	Gross Lot Area				Net Lot Area			
	Ac	sqm	of	Ac	sqm	of	Ac	sqm
Lot 1 (North)	2.30	5267	1000%	1.50	6471	60.3%		
Lot 2 (South)	2.71	32969	11760%	1.82	7756	470%		

**UNIT & DEDICATED PARKING COUNTS - North + South - total**

Unit Type	Number of units	Parking (Unit Type)	Floor Area (sq ft)		Total Area (sq ft)
			Ground	Upper	
B	36	12	1752	631	2383
B1	2	6	1822	679	2501
B2	2	6	1815	661	2476
B3	2	6	1817	662	2479
C	4	4	1935	710	2645
D	11	26	1382	536	1918
D1	6	26	1783	556	2339
D2	2	4	1571	476	2047
D3	2	4	1288	406	1694
E	27	54	1214	371	1585
F	7	14	1280	280	1560
Apartment Parking			61		
Rowal	96	188			32717

Parking Type	No. of units	sq ft of Parking per unit	Total sq ft of	Total sq ft of	Total sq ft of
Side by side	75	57	4275	57	4332
London	68	138	9384	19	9603
Victory	61	18.6	1134.6	19	1153.6
<b>Total Parking</b>	<b>204</b>		<b>14793.6</b>	<b>207</b>	<b>15001.2</b>

(20% Allowance)

**AGENCY SPACE REQUIREMENT**

City: North-South: 82 of 84 units = 8000 sq ft  
 Fire: North-South: 82 of 84 units = 8000 sq ft

**AGENCY SPACE PROVIDED**

City/Fire	North		South		Total (sq ft)	
	sq ft	of	sq ft	of	sq ft	of
City/Fire	206	8000	24	796	230	8000
Rowal	187	1263	0	0	187	1263

**Project Statistics - Lot 1 (North)**

Lot 1	Gross Lot Area				Net Lot Area			
	Ac	sqm	of	Ac	sqm	of	Ac	sqm
Lot 1	2.30	5267	1000%	1.50	6471	60.3%		

**UNIT & DEDICATED PARKING COUNTS**

Unit Type	Number of units	Parking (Unit Type)	Multistorey Floor Area (sq ft)		Total sq ft	Enclosed	Total Area
			Ground	Upper			
B	36	12	1752	631	2383	631	2714
B1	2	6	1822	679	2501	679	3180
B2	2	6	1815	661	2476	661	3137
B3	2	6	1817	662	2479	662	3141
C	4	4	1935	710	2645	710	3355
D	11	26	1382	536	1918	536	2454
D1	6	26	1783	556	2339	556	2895
D2	2	4	1571	476	2047	476	2523
D3	2	4	1288	406	1694	406	2100
E	27	54	1214	371	1585	371	1956
F	7	14	1280	280	1560	280	1840
Apartment Parking			61				
Rowal	96	188			32717		32717

**PARKING SUMMARY - Lot 1 (North)**

Parking Type	No. of units	sq ft of Parking per unit	Total sq ft of	Total sq ft of	Total sq ft of	% of House with Side-by-Side Parking
Side by side	75	57	4275	57	4332	75%
London	68	138	9384	19	9603	
Victory	61	18.6	1134.6	19	1153.6	
<b>Total Parking</b>	<b>204</b>		<b>14793.6</b>	<b>207</b>	<b>15001.2</b>	<b>75%</b>

(20% Allowance)

**Project Statistics - Lot 2 (South)**

Lot 2	Gross Lot Area				Net Lot Area			
	Ac	sqm	of	Ac	sqm	of	Ac	sqm
Lot 2	2.71	32969	11760%	1.82	7756	870%		

**UNIT & DEDICATED PARKING COUNTS**

Unit Type	Number of units	Parking (Unit Type)	Multistorey Floor Area (sq ft)		Total sq ft	Enclosed	Total Area
			Ground	Upper			
B	36	12	1752	631	2383	631	2714
B1	2	6	1822	679	2501	679	3180
B2	2	6	1815	661	2476	661	3137
B3	2	6	1817	662	2479	662	3141
C	4	4	1935	710	2645	710	3355
D	11	26	1382	536	1918	536	2454
D1	6	26	1783	556	2339	556	2895
D2	2	4	1571	476	2047	476	2523
D3	2	4	1288	406	1694	406	2100
E	27	54	1214	371	1585	371	1956
F	7	14	1280	280	1560	280	1840
Apartment Parking			61				
Rowal	96	188			32717		32717

**PARKING SUMMARY - Lot 2 (South)**

Parking Type	No. of units	sq ft of Parking per unit	Total sq ft of	Total sq ft of	Total sq ft of	% of House with Side-by-Side Parking
Side by side	75	57	4275	57	4332	75%
London	68	138	9384	19	9603	
Victory	61	18.6	1134.6	19	1153.6	
<b>Total Parking</b>	<b>204</b>		<b>14793.6</b>	<b>207</b>	<b>15001.2</b>	<b>75%</b>

(20% Allowance)





DATE: 10/11/14

CLIENT  
**Mosaic Homes**  
500-2650 Granville Street  
Vancouver, BC  
V6H-3H3



PROJECT NAME  
**24th Avenue Townhomes**  
Surrey, BC

DRAWING TITLE  
**Site Plan**

BY DATE CHECKED FOR:	DATE	BY
DESIGN & BP APPROVAL	MAY 25, 2014	JW
REVISION & BP APPROVAL	AUG 14, 2014	JW
REVISION & BP APPROVAL	AUG 23, 2014	JW

SCALE

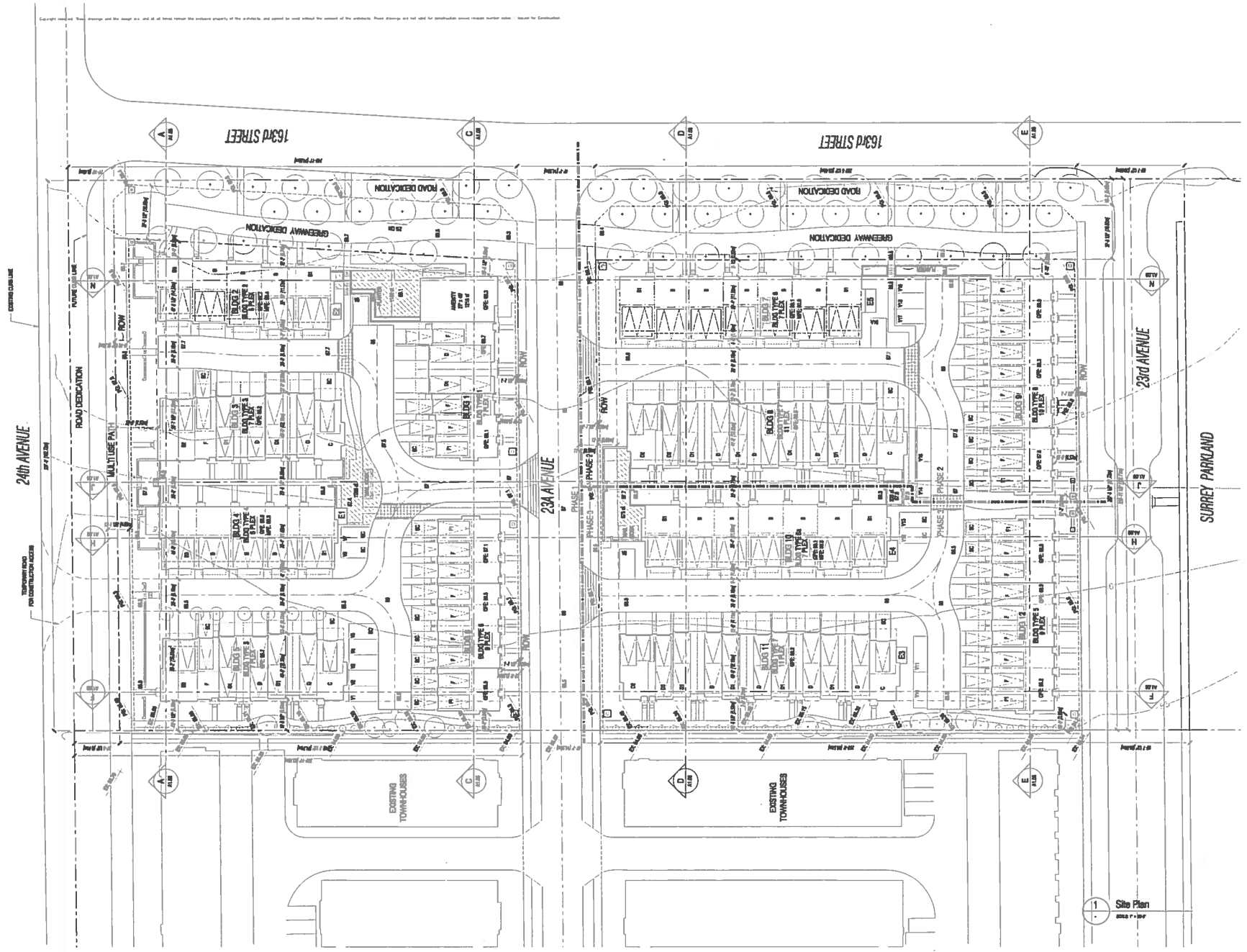
KEY PLAN

DATE: 10/11/14	DESIGNED BY: -
	JOB NUMBER: 1347
	REVISION NUMBER: -
	SCALE: -
	FILE NAME: -
	SHEET NO: -



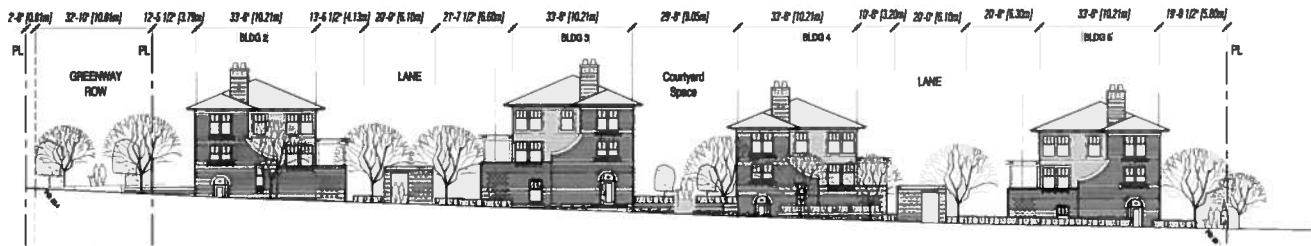
1 Site Plan  
0000 P-100P

A1.02

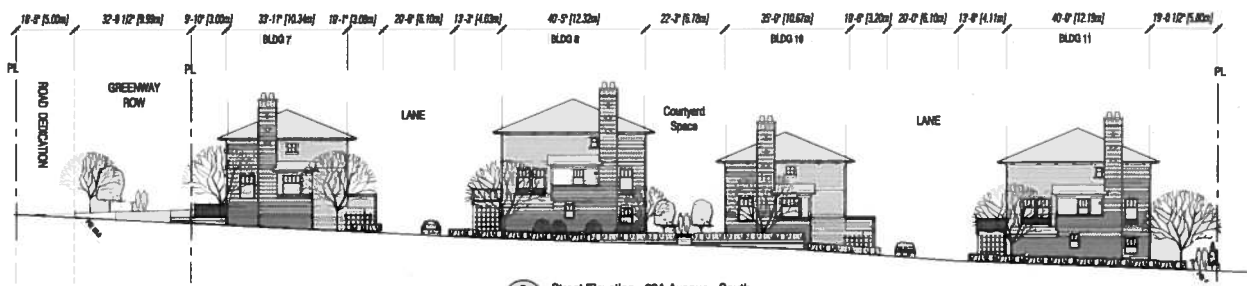


REQUIRED FOR REZONING & DP APPLICATION - AUGUST 23, 2014

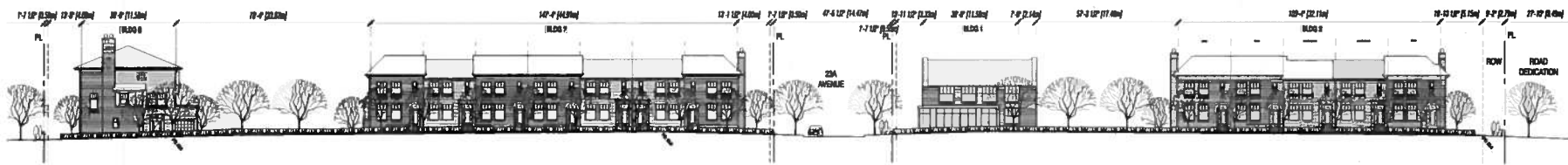
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1 Street Elevation - 24th Avenue  
SCALE 1/8" = 1'-0"



2 Street Elevation - 23A Avenue - South  
SCALE 1/8" = 1'-0"



3 Street Elevation - 163rd Street  
SCALE 1/8" = 1'-0"

CLIENT  
**Mosaic Homes**  
500-2607 Granville Street  
Vancouver, B.C.  
V6H 3A1

PROJECT NAME  
**24th Avenue Townhomes**  
Surrey, BC

DATE: 08/28/2014

10/20/14 & 01/07/15

10/20/14 & 01/07/15

10/20/14 & 01/07/15

DATE: 08/28/2014

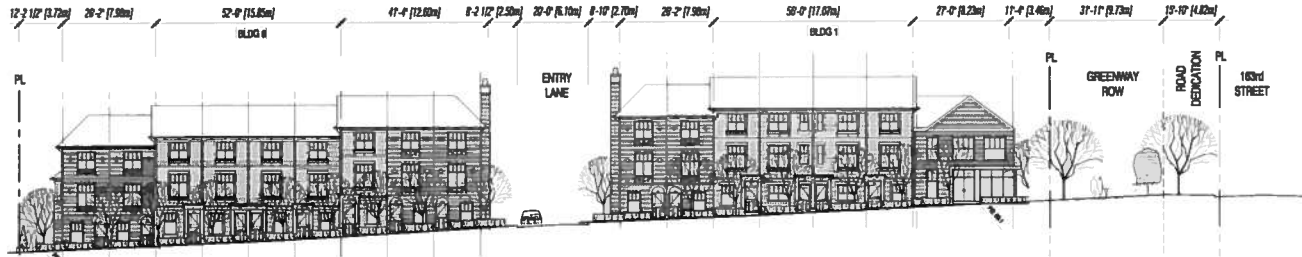
10/20/14 & 01/07/15

10/20/14 & 01/07/15

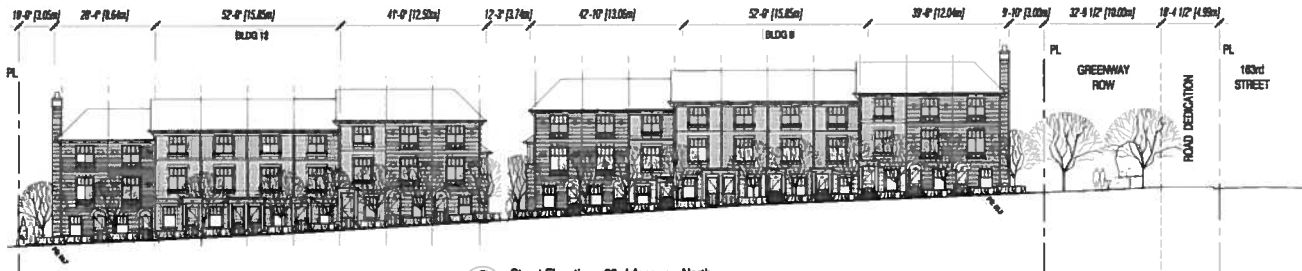
10/20/14 & 01/07/15

RE-ISSUED FOR REZONING & DP APPLICATION - AUGUST 28, 2014

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1 Street Elevation - 23A Avenue - North  
SCALE: 1/8" = 1'-0"



2 Street Elevation - 23rd Avenue - North  
SCALE: 1/8" = 1'-0"

3/28/2014

Client:  
**Mosaic Homes**  
500-2609 Granville Street  
Vancouver, B.C.  
V6H 3H3



Project No:  
**24th Avenue Townhomes**  
Surrey, BC

Volume 010

**Site Elevations**

Revised/Issued For	Date	By
Revised: 02/27/14	02/27/2014	AW
Revised: 02/27/14	02/27/2014	AW
Revised: 02/27/14	02/27/2014	AW
Revised: 02/27/14	02/27/2014	AW

1/14/14

02/14

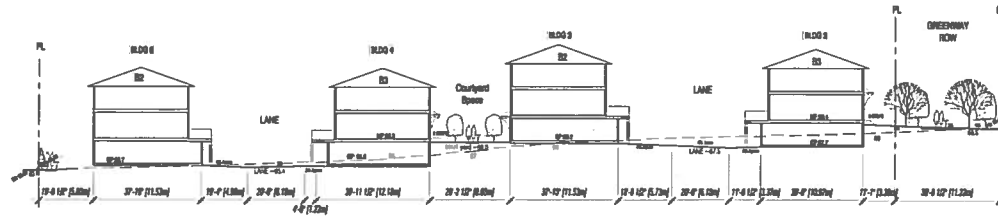
02/14

02/14

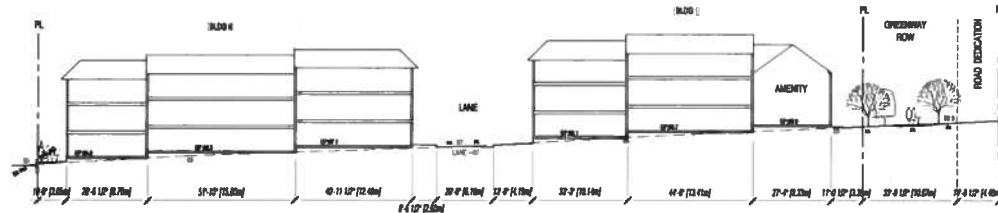
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Job Number: 1327  
Revision No.:  
Scale:  
File Name:

Sheet No.

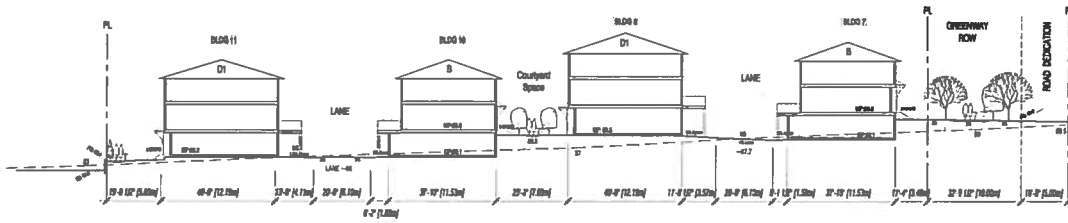
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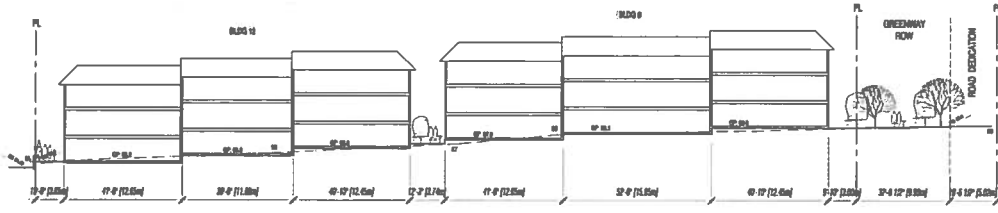
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SCALE 1" = 8'-0"



2 Section C  
SCALE 1" = 8'-0"



3 Section D  
SCALE 1" = 8'-0"



4 Section E  
SCALE 1" = 8'-0"



**RAMSAY WORDEN**  
ARCHITECTS  
255 Kingsway @ 1100 Avenue  
Vancouver, BC  
Canada V5Y 1Z7  
T: 604.736.0859  
F: 604.736.0999  
E: info@ramsayworden.com  
W: www.rw.ca

**Mosaic Homes**  
500-2629 Granville Street  
Vancouver, B.C.  
V6H 3H1  
**MOSAIC**

PROJECT NAME:  
**24th Avenue Townhomes**  
Surrey, BC

Site Sections

APPLICANT: Mosaic Homes	DATE: 08/20/14
DESIGNED BY: DP APPLICATOR	DATE: 08/20/14
REVISIONS BY: DP APPLICATOR	DATE: 08/20/14
REVISIONS BY: DP APPLICATOR	DATE: 08/20/14

DATE:

SCALE:

FILE NAME:

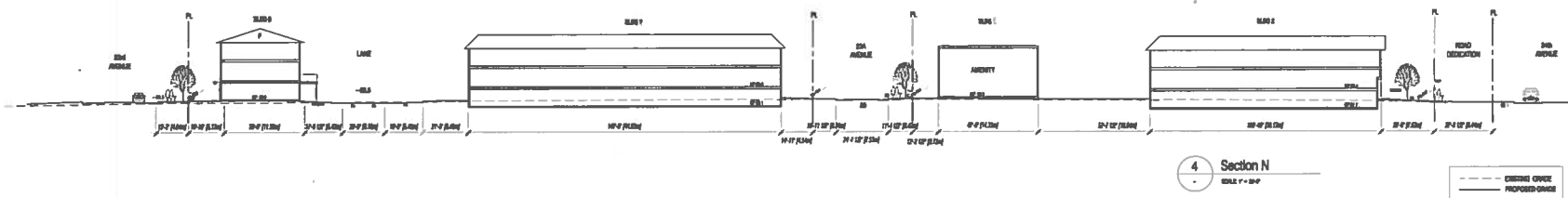
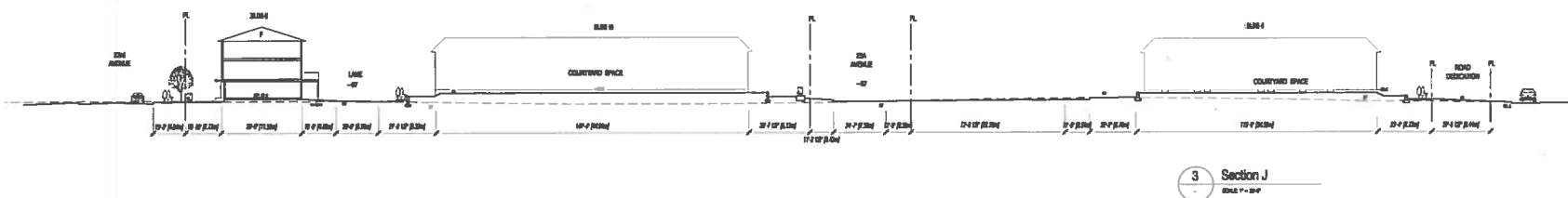
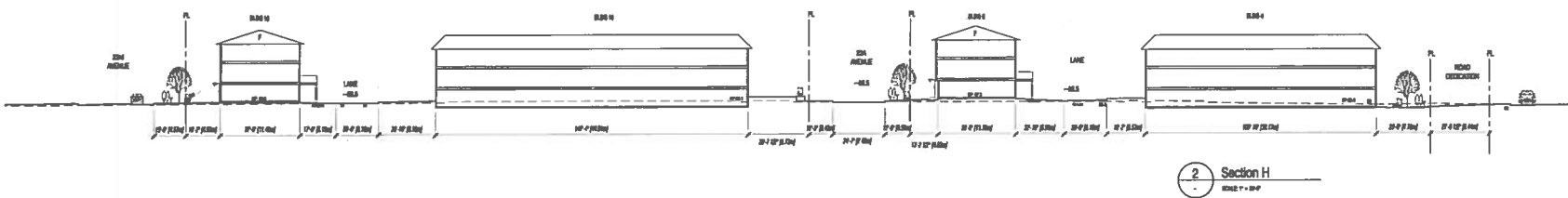
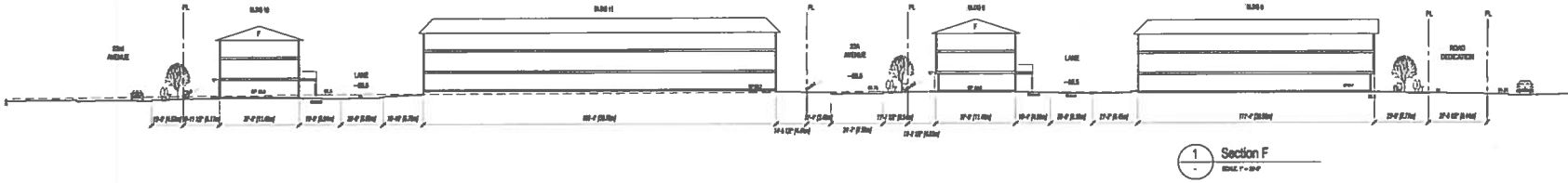
DATE: -  
JOB NUMBER: 137  
REVISION: -  
SCALE: -  
FILE NAME: -  
SHEET NO:

A1.05

RE-SUBMITTED FOR REZONING & DP APPLICATION - AUGUST 28, 2014

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**RAMSAY WORDEN**  
 355 Langley St 11th Avenue  
 Vancouver, BC  
 Canada V5Y 2J7  
 T: 604.736.9959  
 F: 604.736.9959  
 E: info@rw.ca  
 W: www.rw.ca



--- EXISTING CURVE  
 ——— PROPOSED CURVE

OWNER  
**Mosaic Homes**  
 5627-5700 Greenwood Street  
 Vancouver, BC  
 V6H 2H3

PROJECT TITLE  
**24th Avenue Townhomes**  
 Surrey, BC

DRAWING TITLE  
**Site Sections**

DRAWING NUMBER	DATE	REVISION	BY
SECTION F & H APPLICATION	04.17.2014	01	JL
SECTION H & J APPLICATION	04.17.2014	01	JL
SECTION J & N APPLICATION	04.17.2014	01	JL
SECTION N & DP APPLICATION	04.17.2014	01	JL

DATE  
 08.11.2014

DESIGNED BY  
 JAMES L. LEE

PROJECT MANAGER  
 JAMES L. LEE

DATE  
 08.11.2014

FILE NAME  
 24th Ave

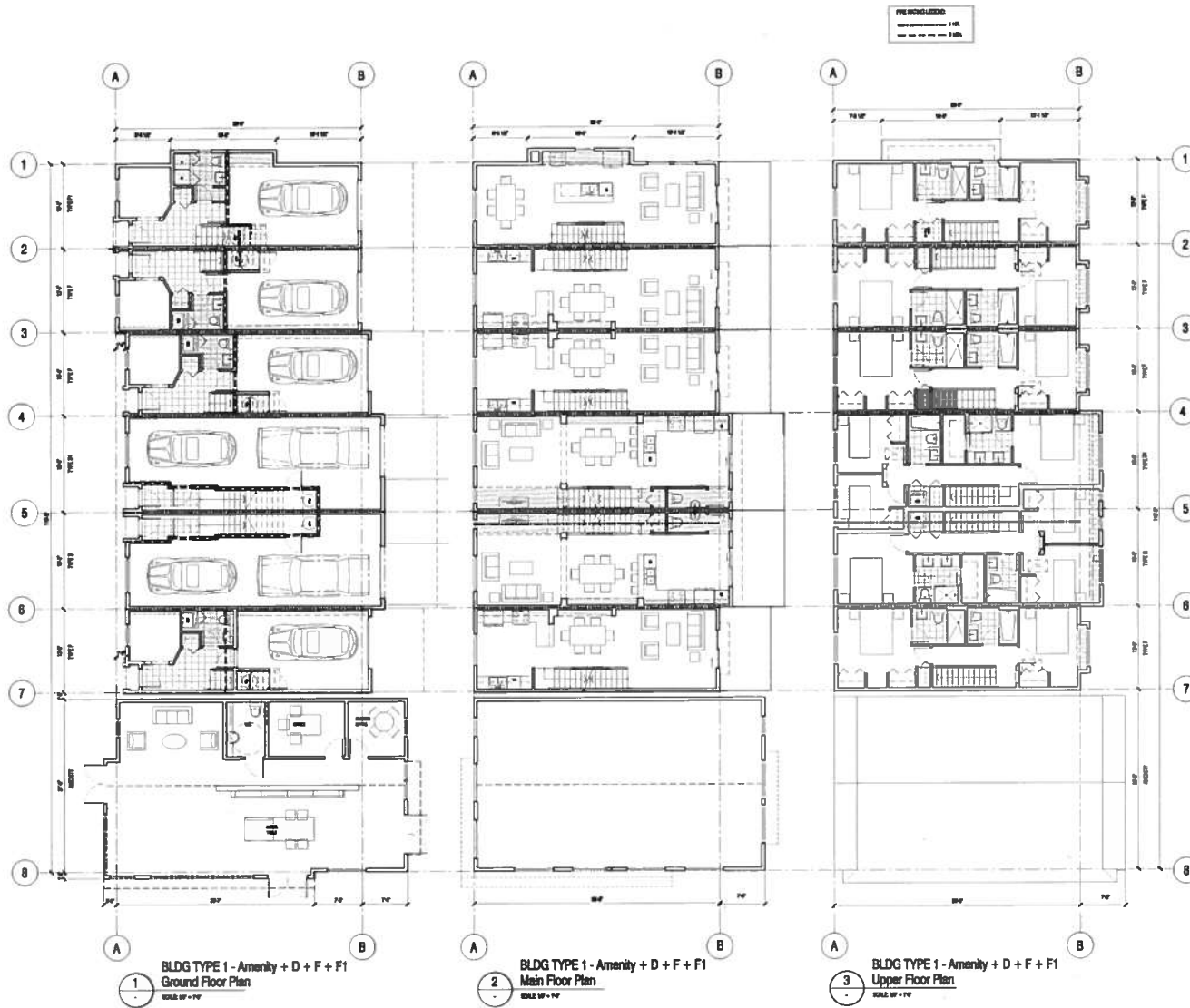
WEEK NO.  
 1

REVISIONS FOR RECHING & DP APPLICATION - AUGUST 25, 2014

A1.06

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**RAMSAY  
WORDEN**  
ARCHITECTS  
355 Kingsway, # 1100, Vancouver, BC  
Canada V5T 3J7  
T: 604 736 9955  
F: 604 736 9999  
E: info@r-w.ca  
W: www.r-w.ca



**Mosaic Homes**  
300-2609 Granville Street  
Vancouver, B.C.  
V6H 3K3

**MOSAIC**

**24th Avenue Townhomes**  
Surrey, BC

**BLDG Type 1 Plan -  
7 Plex Amenity+D+F+F1  
(Building 1)**

ISSUED FOR PERMITS	DATE ISSUED	BY
REVISION & DP APPLICATION	AUG 26, 2014	JR
REVISION & DP APPLICATION	AUG 18, 2014	JR
REVISION & DP APPLICATION	AUG 26, 2014	JR

DATE: 08/26/14  
SCALE: 1/4" = 1'-0"

DATE: 08/26/14  
JOB NUMBER: 1327  
REVISION NUMBER: -  
SCALE: -  
FILE NAME: -  
SHEET NO: -

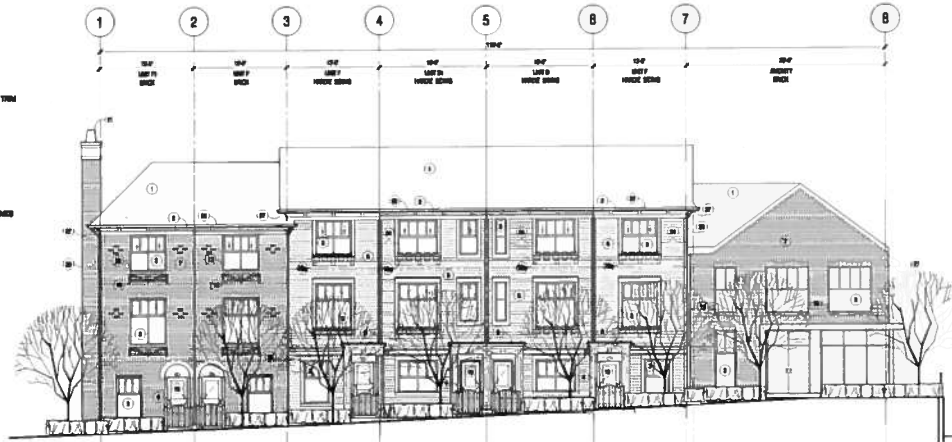
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RE ISSUED FOR REZONING & DP APPLICATION - AUGUST 26, 2014

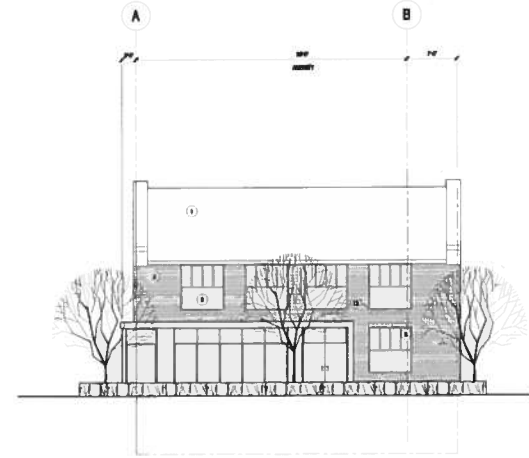
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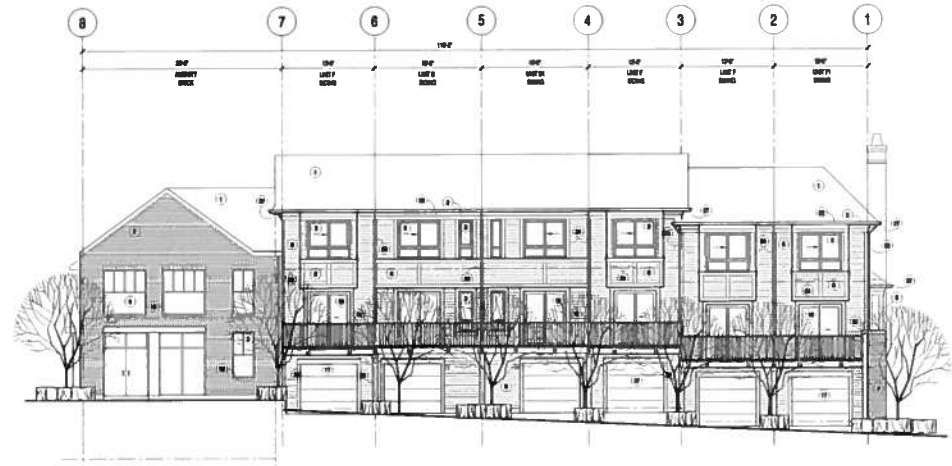
- MATERIAL LIST**
1. ASPHALT SHINGLES
  2. PAINTED WOOD CHIMNEY HOLDINGS ON WOOD TRIM
  3. VINYL FRAME DOUBLE GLAZED WINDOW
  4. WOOD ENTRY GATE
  5. HARD SIDING
  6. VINYL SIDING
  7. BRICK SIDING
  8. PORCELAIN ENTRY
  9. HARDIE PANEL
  10. FIBERGLASS EXTENSION DOOR
  11. CONCRETE CHIMNEY CAP w/ TERRAZZO COFFER
  12. METAL RAIL
  13. BRICK RAIL
  14. PAINTED WOOD TRIMMALS
  15. PAINTED WOOD STAIRS
  16. METAL PLANTER BENCH (ON BRICK LINETS)
  17. WOOD LANTERN BENCH (ON BRICK LINETS)
  18. OVERHEAD GARAGE DOOR
  19. PAINTED METAL / WOOD PORCH SCREEN
  20. VINYL FRAME GLASS BLINDS
  21. VINYL FRAME GLASS BRIMS PAINTED DOOR
  22. PAINTED METAL FLASHING
  23. ALUMINUM PARCH GUTTER
  24. ALUMINUM PARCH WATER LEADER
  25. PAINTED WOOD TRIM
  26. ATTIC VENT LEADING
  27. PAINTED DECORATIVE ROOF DORMER
  28. VINYL PERFORATED ROOFY
  29. COMPOSITE PANEL ROOFY
  30. PAINTED POLYMER BRUSH WOOD COLUMN
  31. PAINTED METAL SIDING
  32. BRICKED BRICK CAP
  33. WOOD PORCELAIN
  34. BRICK PATTERNOED SCREEN
  35. CONCRETE CAP



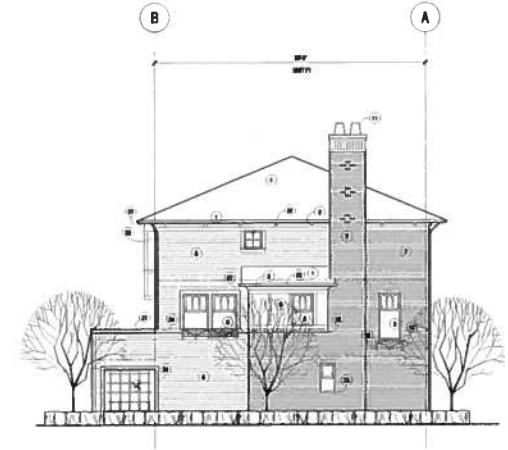
**1**  
BLDG TYPE 1 - Amenity + D + F + F1  
South Elevation - Front  
SCALE 1/8" = 1'-0"



**2**  
BLDG TYPE 1 - Amenity + D + F + F1  
East Elevation - Side  
SCALE 1/8" = 1'-0"



**3**  
BLDG TYPE 1 - Amenity + D + F + F1  
North Elevation - Rear  
SCALE 1/8" = 1'-0"



**4**  
BLDG TYPE 1 - Amenity + D + F + F1  
West Elevation - Side (TRUE)  
SCALE 1/8" = 1'-0"

**Mosaic Homes**  
Twin Cities, MN  
762-5433

**MOSAIC**

24th Avenue Townhomes  
Suite 201

BLDG Type 1 Elevation -  
7 Plex Amenity + D + F + F1  
(Building 1)

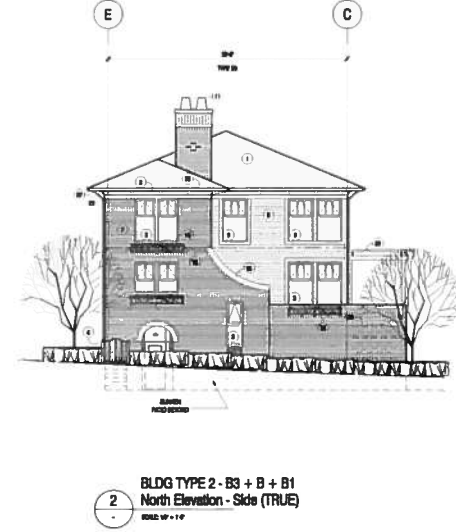
RE-ISSUED FOR REZONING & DP APPLICATION - AUGUST 20, 2014

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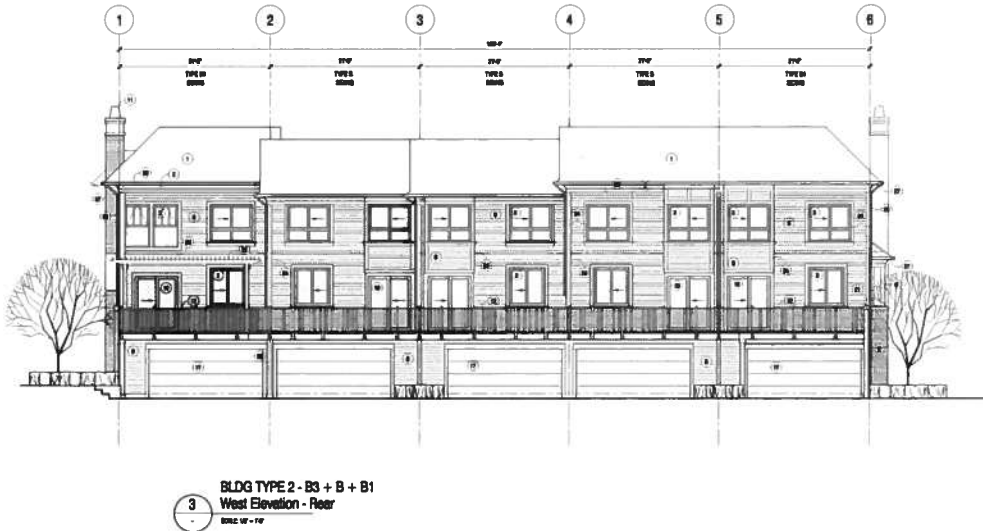
- MATERIAL LIST**
1. ASPHALT SHINGLES
  2. PAINTED WOOD CORNER MOLDING ON WOOD TRIM
  3. VINYL FRAME DOUBLE GLAZED WINDOW
  4. WOOD ENTRY GATE
  5. WOOD SIDING
  6. VINYL SIDING
  7. BRICK VENEER
  8. FIBERGLASS EXTERIOR DOOR
  9. HARDWOOD PANEL
  10. FIBERGLASS EXTERIOR DOOR
  11. CONCRETE CHIMNEY CAP w/ TERRA COTTA EDGES
  12. METAL PAUL
  13. BRICK SILL
  14. PAINTED WOOD TRILLER
  15. PAINTED WOOD STAIRS
  16. METAL PLASTER SHELF (2x4 BRICK UNITS)
  17. CONCRETE FINISHES DOOR
  18. PAINTED METAL / WOOD FINANCY SCREEN
  19. VINYL FRAME GLASS SHIMED PICTO DOOR
  20. VINYL FRAME GLASS SHIMED PICTO DOOR
  21. PAINTED METAL PLASTER
  22. ALUMINUM FINISH GLASS
  23. ALUMINUM FINISH WATER LEADER
  24. PAINTED WOOD TRIM
  25. ATTIC VENT SQUARE
  26. PAINTED DISCREETIVE ROOF EXPOSURE
  27. VINYL WINDOWED SHIPPY
  28. COMPOSITE PANEL SHIPPY
  29. PAINTED ROUGH BROWN WOOD COLLAR
  30. PAINTED METAL DOOR
  31. GLAZED BRICK CAP
  32. WOOD FENCE
  33. BRICK PATTERNOED SCREEN
  34. CONCRETE CAP



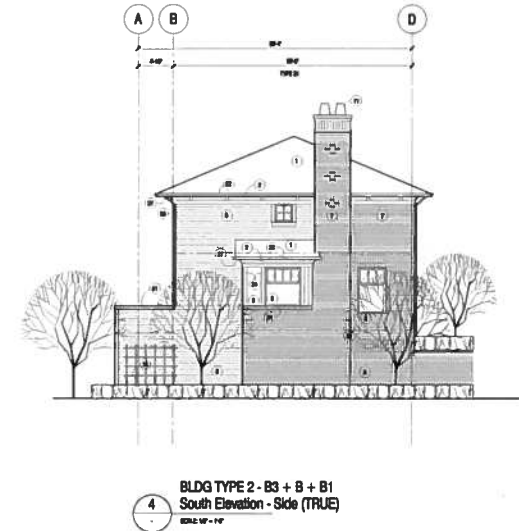
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BLDG TYPE 2 - B3 + B + B1  
East Elevation - Front  
SCALE 1/8" = 1'-0"



**2**  
BLDG TYPE 2 - B3 + B + B1  
North Elevation - Side (TRUE)  
SCALE 1/8" = 1'-0"



**3**  
BLDG TYPE 2 - B3 + B + B1  
West Elevation - Rear  
SCALE 1/8" = 1'-0"



**4**  
BLDG TYPE 2 - B3 + B + B1  
South Elevation - Side (TRUE)  
SCALE 1/8" = 1'-0"



103 FERGUSON ST. 11th Avenue  
Vancouver, BC  
Canada V5T 1J7  
T: 604.736.2525  
F: 604.736.8999  
E: RAMSAY@RW.COM  
WWW.RW.COM

**Mosaic Homes**  
500-2600 Granville Street  
Vancouver, B.C.  
V6H 1J1



**24th Avenue Townhomes**  
Surrey, BC

**BLDG Type 2 Elevation -  
5 Plex B3+B+B1  
(Building 2)**

DESIGNED BY	DATE	BY
REVISION & BY APPROVAL	JUL 25, 2014	JM
REVISION & BY APPROVAL	JUL 15, 2014	JM
REVISION & BY APPROVAL	AUG 15, 2014	JM

DATE

SCALE

DATE

DATE: 08/28/14  
JOB NUMBER: 1317  
REVISION: --  
SCALE:  
FILE NAME: --

SHEET NO.

**A3.02**

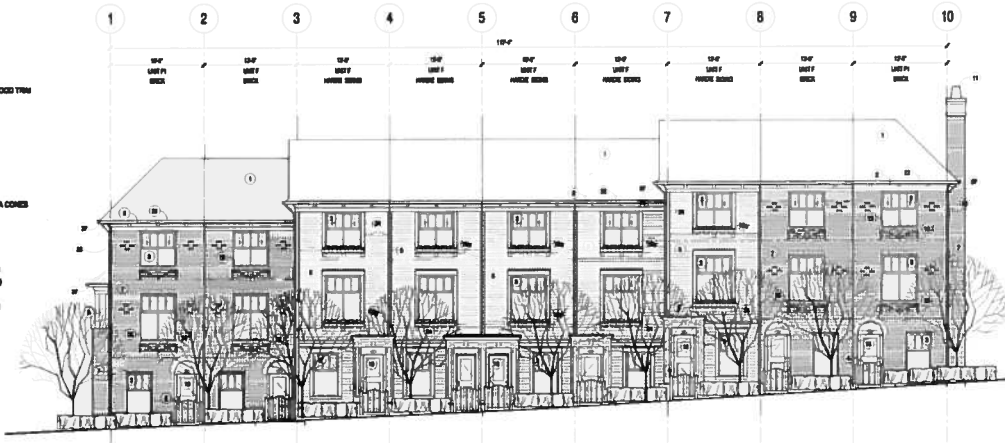
RE-ISSUED FOR REZONING & DP APPLICATION - AUGUST 28, 2014



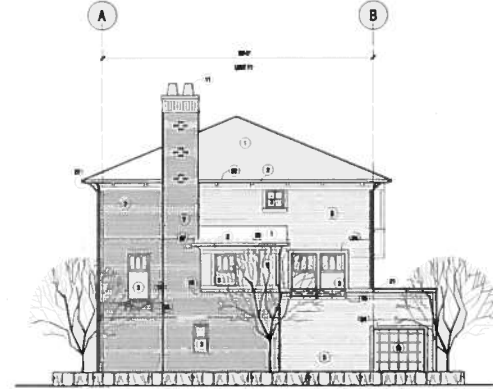
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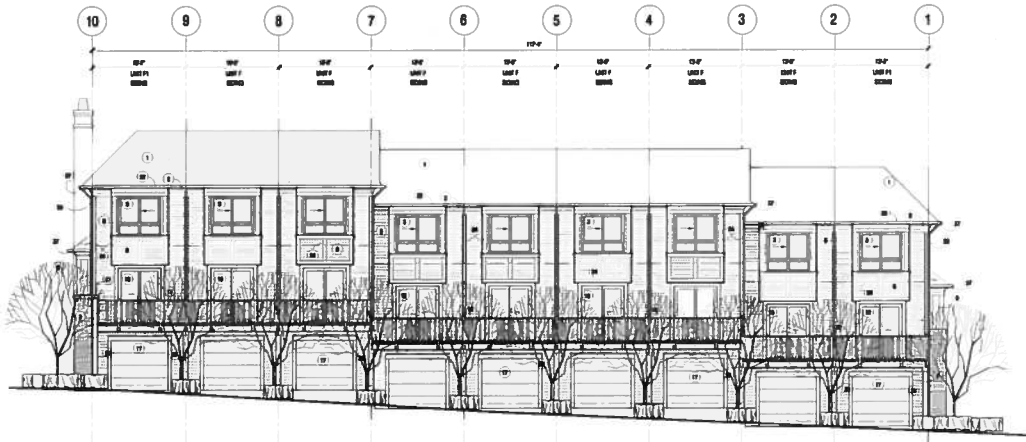
- MATERIAL LIST**
1. ASPHALT SHINGLES
  2. PAINTED WOOD CRANK HOLDING ON WOOD TRIM
  3. VINYL FRAME DOUBLE SLATED WINDOW
  4. WOOD ENTRY BAYE
  5. VINYL SIDING
  6. VINYL SIDING
  7. BRICK VENEER
  8. PORTAL ENTRY
  9. HANGING PANELS
  10. PINKISH-BROWN EXTERIOR COLOR
  11. CONCRETE CHIMNEY CAP w/ TERRA COTTA CONES
  12. METAL RAIL
  13. BRICK SILL
  14. PAINTED WOOD TRUSS
  15. PAINTED WOOD SHED
  16. METAL PLANTER (SHELF) (2x4 BRICK LINER)
  17. OVERHEAD GARAGE DOOR
  18. PAINTED METAL / WOOD PORCHY SCREEN
  19. VINYL FRAME GLASS SLIDER
  20. VINYL FRAME GLASS BRIMING PAINTED DOOR
  21. PAINTED METAL PLUMBING
  22. ALUMINUM RAIN WATER LEADER
  23. PAINTED WOOD TRIM
  24. ATTO VENT LUMINE
  25. PAINTED DECORATIVE ROOF CORNER
  26. VINYL PERFORATED SHIPPY
  27. CORRUGATED PANEL SHIPPY
  28. PAINTED WOOD BRIM WOOD COLUMN
  29. PAINTED METAL DECK
  30. SLATED BRICK CAP
  31. WOOD FERRISLA
  32. BRICK PATTERNOED SCREEN
  33. CONCRETE CAP



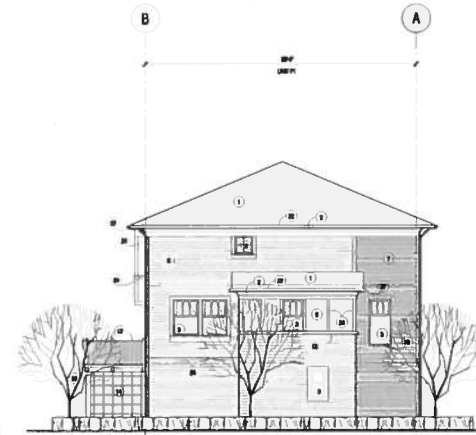
**1**  
BLDG TYPE 5 - F1 + F  
South Elevation - Front  
SCALE: 1/8" = 1'-0"



**2**  
BLDG TYPE 5 - F1 + F  
East Elevation - Side (TRUE)  
SCALE: 1/8" = 1'-0"



**3**  
BLDG TYPE 5 - F1 + F  
North Elevation - Rear  
SCALE: 1/8" = 1'-0"



**4**  
BLDG TYPE 5 - F1 + F  
West Elevation - Side  
SCALE: 1/8" = 1'-0"

Mosaic Homes

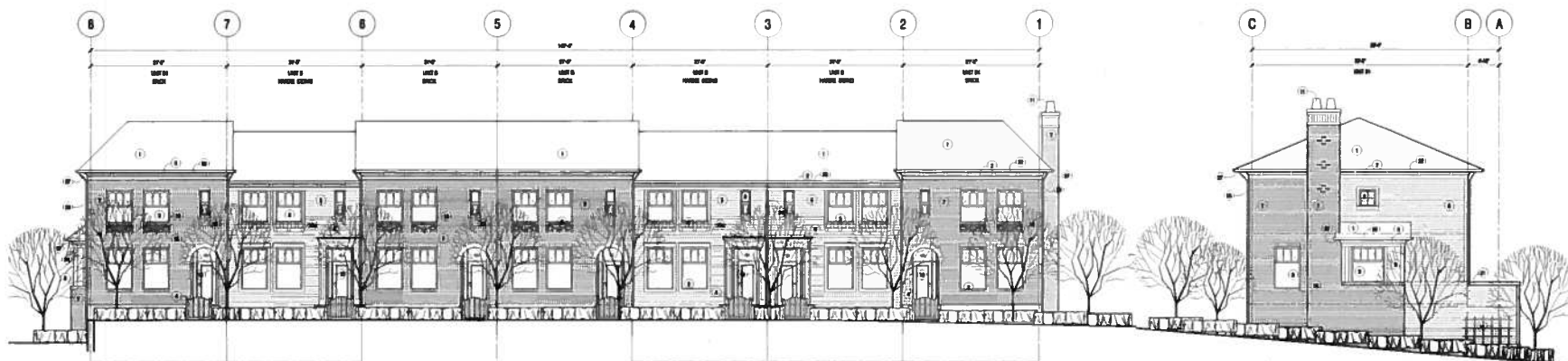


24th Avenue Townhomes

BLDG Type 5 Elevation -  
9 Plex F1+F  
(Building 6 & 12)

RE-ISSUED FOR REZONING & DP APPLICATION - AUGUST 26, 2014

A3.05

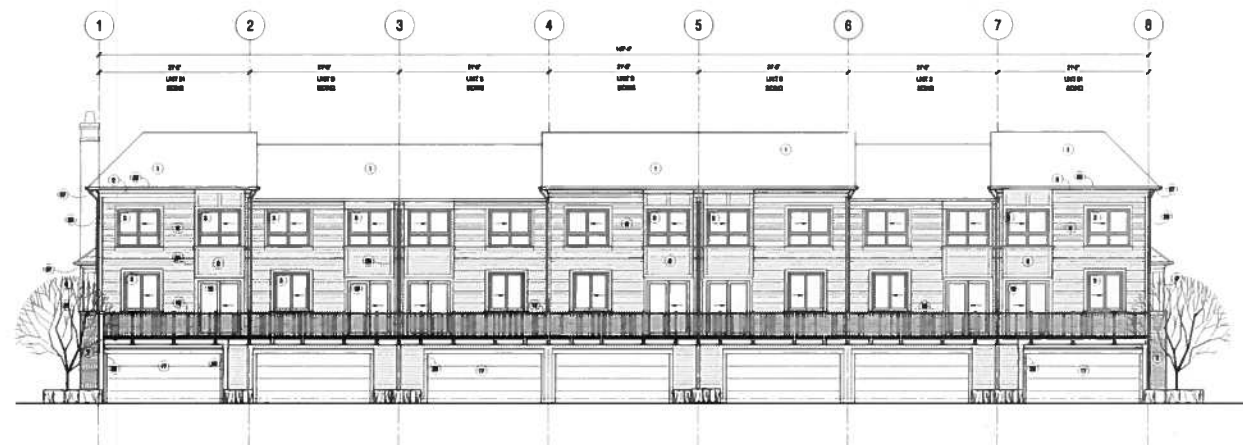


**1**  
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East Elevation - Front  
SCALE: 1/8" = 1'-0"

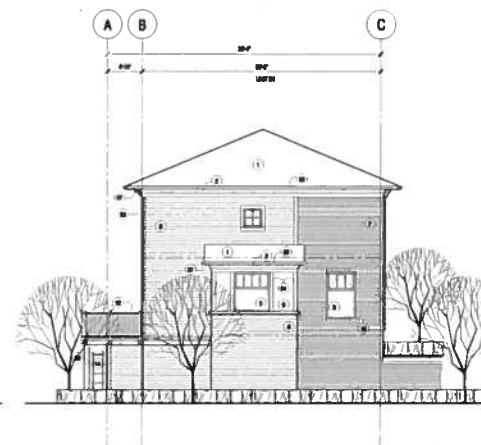
**2**  
BLDG TYPE 6 - B1 + B  
North Elevation - Side (TRUE)  
SCALE: 1/8" = 1'-0"

**MATERIAL LIST**

- |   |  |
|---|--|
| <ol style="list-style-type: none"> <li>1. ASPHALT SHINGLES</li> <li>2. PAINTED WOOD CHIMNEY WEATHERING ON WOOD TRIM</li> <li>3. VINYL FRAME DOUBLE GLAZED WINDOW</li> <li>4. WOOD ENTRY DATE</li> <li>5. HARDSIDE SIDING</li> <li>6. VINYL SIDING</li> <li>7. BRICK VENEER</li> <li>8. FIBROGLASS EXTERIOR DOOR</li> <li>9. HARDSIDE PANEL</li> <li>10. FIBROGLASS EXTERIOR DOOR</li> <li>11. CONCRETE CHIMNEY CAP w/ TERRA COTTA CONES</li> <li>12. METAL RAIL</li> <li>13. BRICK SILL</li> <li>14. PAINTED WOOD TRUSS</li> <li>15. PAINTED WOOD STAIRS</li> <li>16. METAL PLANTER SHELF (2X8 BRICK LIMITS)</li> <li>16a. WOOD PLANTER SHELF (2X8 BRICK LIMITS)</li> </ol> | <ol style="list-style-type: none"> <li>17. OVERHEAD GARAGE DOOR</li> <li>18. PAINTED METAL WOOD FINANCY SCREEN</li> <li>19. VINYL FRAME GLASS BRICK</li> <li>20. VINYL FRAME GLASS BRICK PATIO DOOR</li> <li>21. PAINTED METAL FLASHING</li> <li>22. ALUMINUM FINISH OUTLET</li> <li>23. ALUMINUM PAINT WATER LEADER</li> <li>24. PAINTED WOOD TRIM</li> <li>25. ATTIC VENT LOUVER</li> <li>26. PAINTED DECORATIVE ROOF DORMER</li> <li>27. VINYL PERFORATED SCOFFY</li> <li>28. COMPOSITE PANEL SCOFFY</li> <li>29. PAINTED AQUA BRUSH WOOD COLUMN</li> <li>30. PAINTED METAL DOOR</li> <li>31. GLAZED BRICK CAP</li> <li>32. WOOD POROSOLA</li> <li>33. BRICK WATERPROOF SCREEN</li> <li>34. CONCRETE CAP</li> </ol> |
|---|--|



**3**  
BLDG TYPE 6 - B1 + B  
West Elevation - Rear  
SCALE: 1/8" = 1'-0"



**4**  
BLDG TYPE 6 - B1 + B  
South Elevation - Side  
SCALE: 1/8" = 1'-0"

Mosaic Homes  
500-2679 Columbia Street  
Vancouver, BC  
V6T 1A1  
**MOSAIC**

24th Avenue Townhomes  
Surrey, BC

BLDG Type 6 Elevation -  
7 Plex B1+B  
(Building 7)

REV. NO.	DATE	BY
REVISION 1	2014.08.15	JK
REVISION 2	2014.08.15	JK
REVISION 3	2014.08.15	JK

RE-ISSUED FOR REZONING & DP APPLICATION - AUGUST 28, 2014

Lightweight, thin paper or vellum for use in presentations. This drawing is not to be used for construction purposes.

**RAMSAY  
WORDEN  
ARCHITECTS**

1000 Broadway, Suite 1100  
 Vancouver, BC  
 V6C 1A5  
 Tel: 604.681.7777  
 Fax: 604.681.7778  
 Email: info@ramsayworden.com



View of building 6 along 23A Avenue



View through North Lot entry towards 24th Avenue



View along 24th Avenue towards 163rd Street



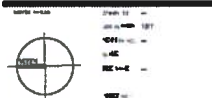
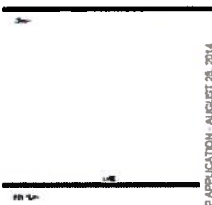
View to the central courtyard between building 3 and building 4

**Mosaic Homes**  
 1000-1008 (24th Ave)  
 Vancouver, BC  
**MOSAIC**

**24th Avenue Townhomes**

Renderings

Project #	24-001
Client	Mosaic Homes
Architect	Ramsay Worden Architects
Date	August 2014







NOTE:  
STREET TREE SPECIES  
TO BE DETERMINED BY  
CITY OF SURREY.

NOTES:



NO.	REVISION	DATE

**SD SHARP & DIAMOND**  
LANDSCAPE ARCHITECTURE

2288 HANCOCK BL., VANCOUVER BC, V6R 3Y1  
TEL: 604 681 5450 FAX: 604 681 5007  
www.sharpdiamond.com

**MOSAIC**  
HOMES

2007 - 2008 BURNABY BL.  
VANCOUVER BC V5N 3K7  
TEL: 604 276 6200  
FAX: 604 276 6200

**RANSAY MORTON**  
ARCHITECTS LTD.

305 HURONTARIO ST. 10TH FLOOR  
VANCOUVER BC V6Z 1W7  
TEL: 604 255 2200  
FAX: 604 255 2200

1637 24th AVE  
SURREY  
TOWNHOMES  
SURREY, BC

DATE: 05/13  
SCALE: 1/8" = 1'-0"

DATE:	05/13	SCALE:	1/8" = 1'-0"
DESIGN:			
PLANNING:			
LANDSCAPE:			
DATE:	05/13	SCALE:	1/8" = 1'-0"

LANDSCAPE SITE PLAN  
NORTH

DATE: 05/13

**L1.2**

2 NORTH SITE PLAN  
Scale: 1/8" = 1'-0"



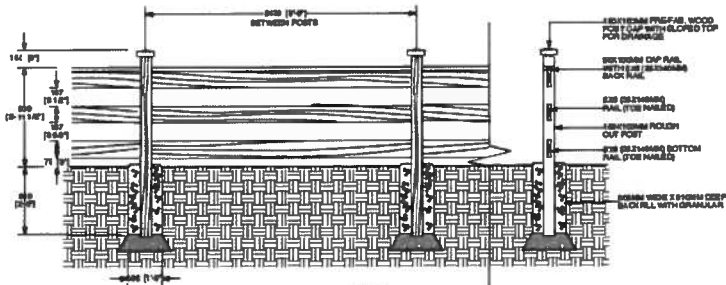






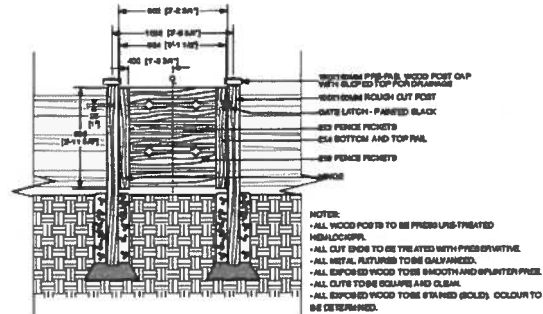






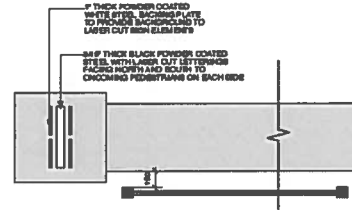
1 INTERNAL YARD FENCE  
SCALE: 1:30

NOTES:  
 -ALL WOOD POSTS TO BE PRESSURE-TREATED HEMLOCK/PINE  
 -ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE  
 -ALL METAL FIXTURES TO BE GALVANIZED  
 -ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE  
 -ALL CUTS TO BE SQUARE AND CLEAN  
 -ALL EXPOSED WOOD TO BE STAINED (GOLD) COLOUR TO BE DETERMINED

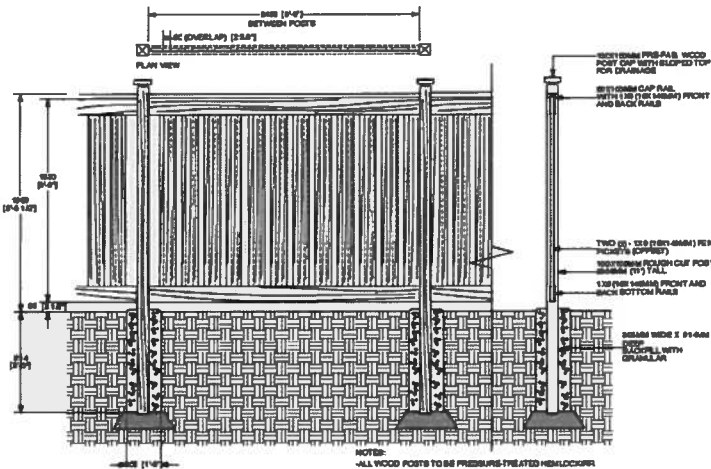


2 UNIT ENTRY GATE  
SCALE: 1:30

NOTES:  
 -ALL WOOD POSTS TO BE PRESSURE-TREATED HEMLOCK/PINE  
 -ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE  
 -ALL METAL FIXTURES TO BE GALVANIZED  
 -ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE  
 -ALL CUTS TO BE SQUARE AND CLEAN  
 -ALL EXPOSED WOOD TO BE STAINED (GOLD) COLOUR TO BE DETERMINED

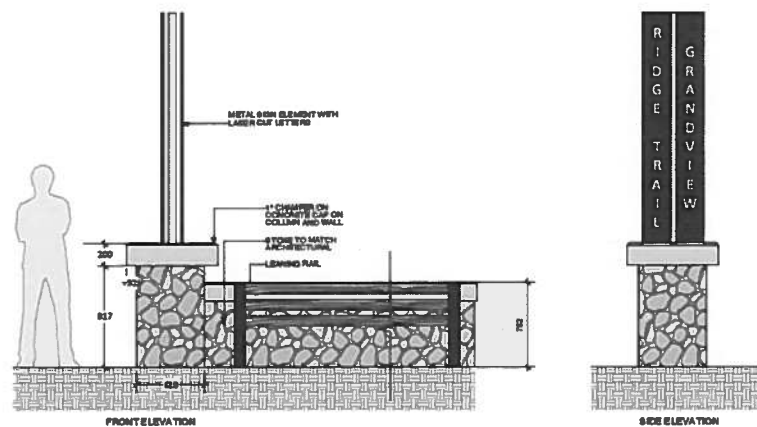


4 MONUMENT WALL PLAN  
SCALE: 1:30



3 PRIVACY SCREENFENCE  
SCALE: 1:30

NOTES:  
 -ALL WOOD POSTS TO BE PRESSURE-TREATED HEMLOCK/PINE  
 -ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE  
 -ALL METAL FIXTURES TO BE GALVANIZED  
 -ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE  
 -ALL CUTS TO BE SQUARE AND CLEAN  
 -ALL EXPOSED WOOD TO BE STAINED (GOLD) COLOUR TO BE DETERMINED



5 MONUMENT WALL ELEVATION  
SCALE: 1:30

NOTES:

1	Sheet No.	000000000000
2	Scale	As Indicated
3	Drawn By	000000000000
4	Checked By	000000000000
5	Approved By	000000000000
6	Date	00/00/00

**SD SHARP & DIAMOND**  
 LANDSCAPE ARCHITECTS  
 2888 Redwood St., Vancouver BC, V6N 2V1  
 T 604 681 8388 F 604 681 1387  
 www.sharpdiamond.com

**MOSAIC**  
 MOSAIC HOMES  
 650 - 10000 Glenridge Dr.  
 Vancouver BC V6N 1P6  
 Tel: 604-726-6666  
 Fax: 604-726-6666  
 Web: www.mosaic.ca

**RAMSAY WORDEN**  
 ARCHITECTS LTD.  
 680 Westborough St. W.  
 Vancouver BC V6E 2P7  
 Tel: 604-726-6666  
 Fax: 604-726-6666  
 Web: www.ramsay.com

Project:  
 182724th AVE  
 SURREY  
 TOWNHOMES  
 SURREY, BC

CONTRACT NO. 182724 (REVISED), SHEET 4.1 OF 4.1  
 DESIGN AND CONSTRUCTION OF TOWNHOMES WITH PRIVATE DRIVE

DATE	BY	CHKD
00/00/00	000000000000	000000000000
00/00/00	000000000000	000000000000
00/00/00	000000000000	000000000000
00/00/00	000000000000	000000000000

DETAILS  
 FENCES

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**TO:** Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department

**FROM:** Development Services Manager, Engineering Department

**DATE:** October 14, 2014 **PROJECT FILE:** 7814-0159-00

---

**RE:** Engineering Requirements  
Location: 16272 24 Avenue

**OCP AMENDMENT/NCP AMENDMENT**

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Dedicate 8.442 metres on 24 Ave for the ultimate 37.00 metre wide Arterial Road.
- Dedicate 14.50 metres for 23A Ave for ultimate 14.5 metre Flex Road.
- Dedicate 10.00 metre width for 23 Ave for ultimate 20.00 metre wide Local road.
- Dedicate varying width from 10.00 m to 15.00 m for 163 St (ultimate 30.00 m local road).
- Dedicate corner cuts at 163 St at intersection with 24 Ave, 23A Ave and 23 Ave.
- Register a 2.70 metre wide SRW on 24 Ave for the 4.00 metre wide Multi Use Pathway.
- Register 0.50 metre SRW on both sides of 23A Ave, and north side of 23 Ave.

***Works and Services***

- Construct on 24 Ave a 4.0 metre wide Multi-Use-Pathway with pedestrian lighting.
- Construct 23A Ave as a Flex road with storm mitigation features similar to Project 7810-0320-00.
- Construct 23 Ave to ultimate Local road standard with storm mitigation features similar to Project 7810-0320-00. The Developer will be reimbursed the cost of constructing the south of 23 Ave.
- Construct west side of 163 Street, including construction of the Grandview Ridge Trail.
- Confirm the downstream system capacity and construct storm drainage systems for the proposed development and all proposed roads.
- Provide cash in lieu for 50% of the cost of constructing a future storm sewer on 163 Street.
- Construct sustainable drainage features in lieu of the drainage corridors on 23A Ave and 23 Ave.
- Provide on-lot sustainable drainage features as required in the NCP.
- Construct water mains on 23A Ave (200mm dia), on 23 Ave (300mm) and 163 St. (300mm)
- Construct sewer mains on 23A Avenue and 23 Avenue.
- Pay applicable latecomer and Development Works Agreement levies. Pay 100% DCC's relative to applicable DCC Front Ender Agreements.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit



Rémi Dubé, P.Eng.  
Development Services Manager  
IK1

NOTE: Detailed Land Development Engineering Review available on file



## SCHOOL DISTRICT #36 (SURREY)

Friday, September 12, 2014  
Planning

### THE IMPACT ON SCHOOLS

APPLICATION #: 14 0159 00

#### SUMMARY

The proposed 94 townhouse units are estimated to have the following impact on the following schools:

#### Projected # of students for this development:

Elementary Students:	15
Secondary Students:	8

#### September 2009 Enrolment/School Capacity

##### Pacific Heights Elementary

Enrolment (K/1-7): 18 K + 218  
Capacity (K/1-7): 80 K + 250

##### Earl Marriott Secondary

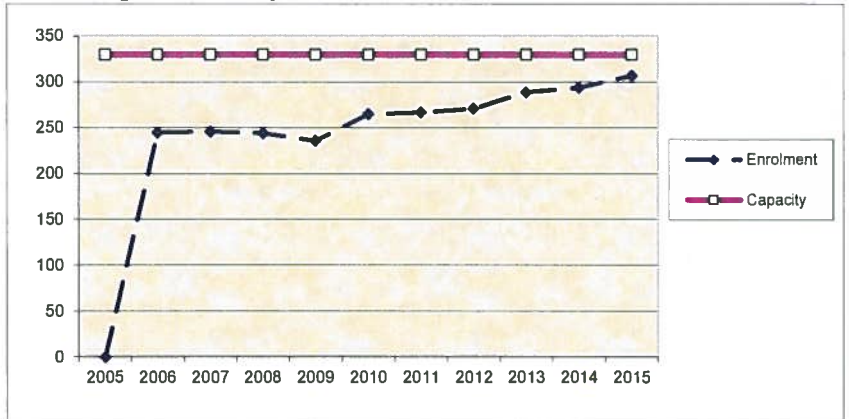
Enrolment (8-12): 1828  
Capacity (8-12): 1500

#### School Enrolment Projections and Planning Update:

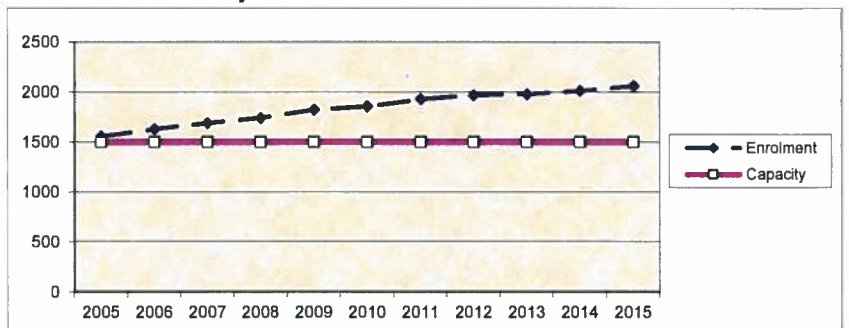
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

A boundary move from Sunnyside Elementary has been implemented with the opening of the new Pacific Heights. Grandview and Kensington Prairie have been closed and the enrolment shifted to Pacific Heights Elementary. The capital plan proposes the purchase of a new secondary school site in the Grandview Heights area, to relieve projected capacity shortfall in the long term.

#### Pacific Heights Elementary



#### Earl Marriott Secondary



CITY OF SURREY

(the "City")

# Appendix V

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0159-00

Issued To: Mosaic 24th Ave Holdings Ltd.

("the Owner")

Address of Owner: 500-2609 Granville Street  
Vancouver, BC  
V6H 3H3

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-273-935  
Lot 1 Section 13 Township 1 New Westminster District Plan EPP36912  
16272 - 24 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.0 metres (10 feet) along 163 Street;

- (b) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.6 metres (12 feet) along 23A Avenue;
  - (c) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 feet) to 4.5 metres (15 feet) along 23 Avenue; and
  - (d) to reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 feet) to 3.0 metres (10 feet) for the side of buildings and 5.5 metres (18 feet) for the front of buildings.
5. The siting of buildings and structures shall be in accordance with the drawing numbered 7914-0159-00 (A) (the "Drawing") which is attached hereto and form part of this development variance permit.
  6. This development variance permit applies to the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  10. This development variance permit is not a building permit.

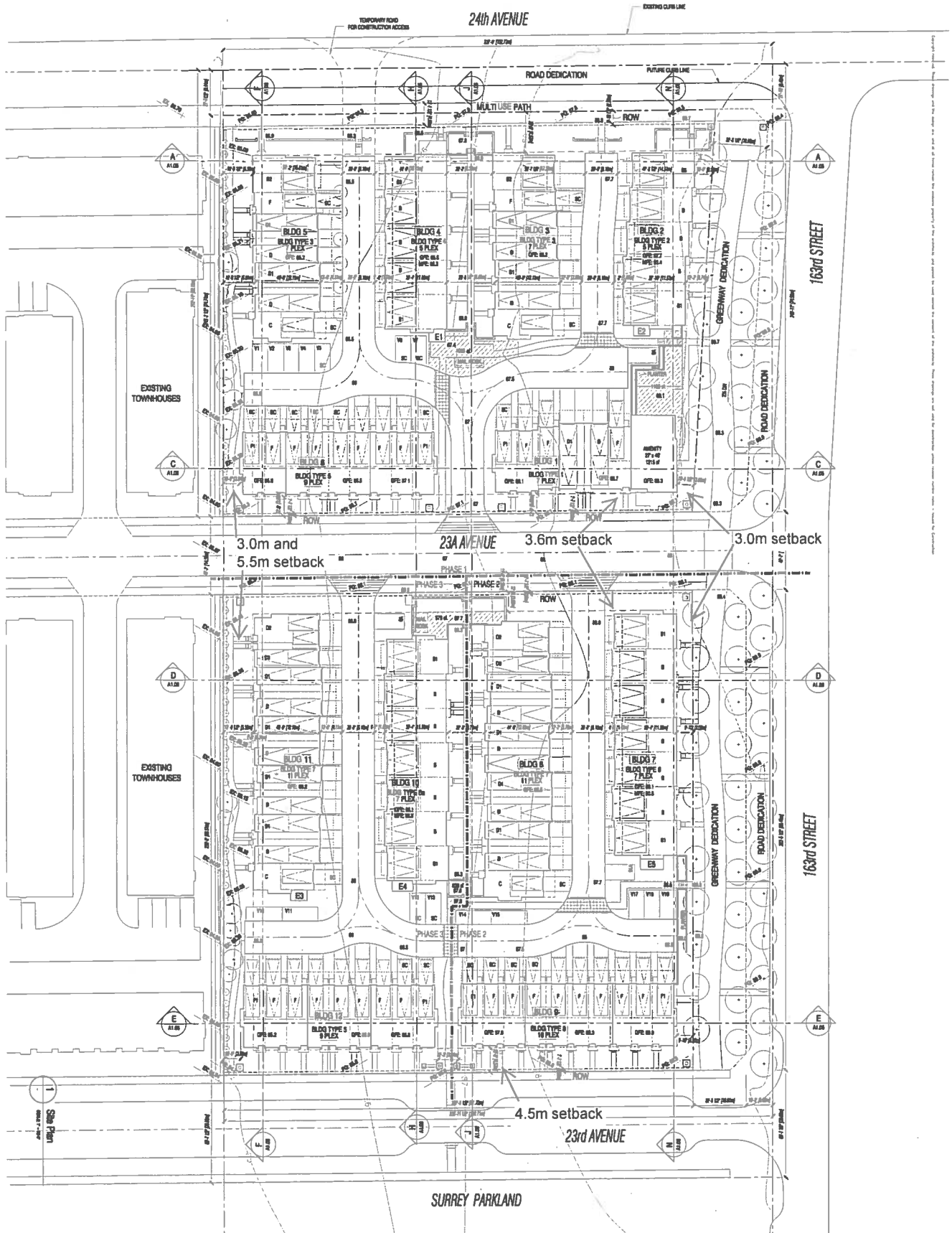
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Dianne L. Watts

---

City Clerk – Jane Sullivan



Site Plan  
 A1.02

RE-ISSUED FOR REZONING & DP APPLICATION - AUGUST 28 2014

24th Avenue Townhomes  
 Surrey, BC

Mosaic Homes  
 2000-2001 Grand Street  
 Vancouver, BC  
 (604) 273-3333  
 mosaic.ca

RAMSAY  
 WARDEN  
 ARCHITECTS  
 2100 West 4th Avenue  
 Vancouver, BC  
 (604) 273-3333  
 ramseywarden.com



### TREE PRESERVATION SUMMARY

**Surrey Project No.:** 7914-0159-00  
**Project Address:** 16272 24<sup>th</sup> Ave Surrey, BC  
**Consulting Arborist:** Norman Hol

ON-SITE TREES:	QUANTITY OF TREES
<b>Total Bylaw Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	<b>21</b>
<b>Bylaw Protected Trees to be Removed</b>	<b>20</b>
<b>Bylaw Protected Trees to be Retained</b> (excludes trees in Park dedication areas and ESA's)	<b>1</b>
<b>Replacement Trees Required:</b>	
Alder and Cottonwood at 1:1 ratio:                      0 times 1 =    0	
All Other Bylaw Protected Trees at 2:1 ratio:            20 times 2 =   40	
TOTAL:	<b>40</b>
<b>Replacement Trees Proposed</b>	<b>274</b>
<b>Replacement Trees in Deficit</b>	n/a
<b>Protected Trees Retained in Proposed Open Space/ Riparian Areas</b>	n/a

OFF-SITE TREES:	QUANTITY OF TREES
<b>Bylaw Protected Off-Site Trees to be Removed</b>	<b>0</b>
<b>Replacement Trees Required:</b>	
Alder and Cottonwood at 1:1 ratio:                      0 times 1 =    0	
All Other Bylaw Protected Trees at 2:1 ratio:            0 times 2 =    0	
TOTAL:	<b>0</b>
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>

TBD denotes to be determined by project landscape architect.

This summary and the referenced documents are prepared and submitted by:

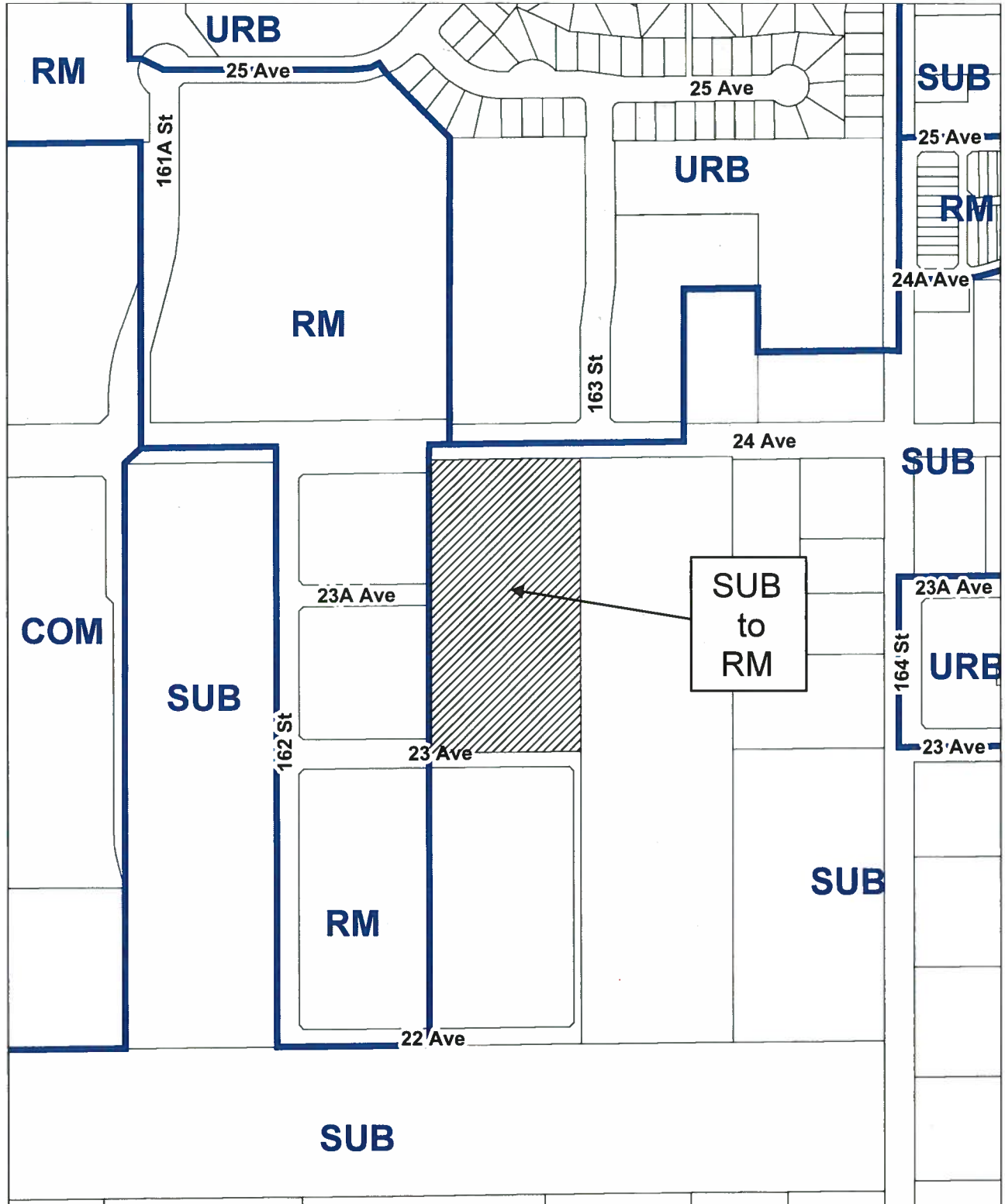


**Norman Hol, Consulting Arborist**

**Dated: April 14, 2014**

Direct: **604 813 9194**  
 Email: **norm@aclgroup.ca**

# Appendix VII



**OCP Amendment (7914-0159-00)**  
Proposed amendment from Suburban to  
Multiple Residential

