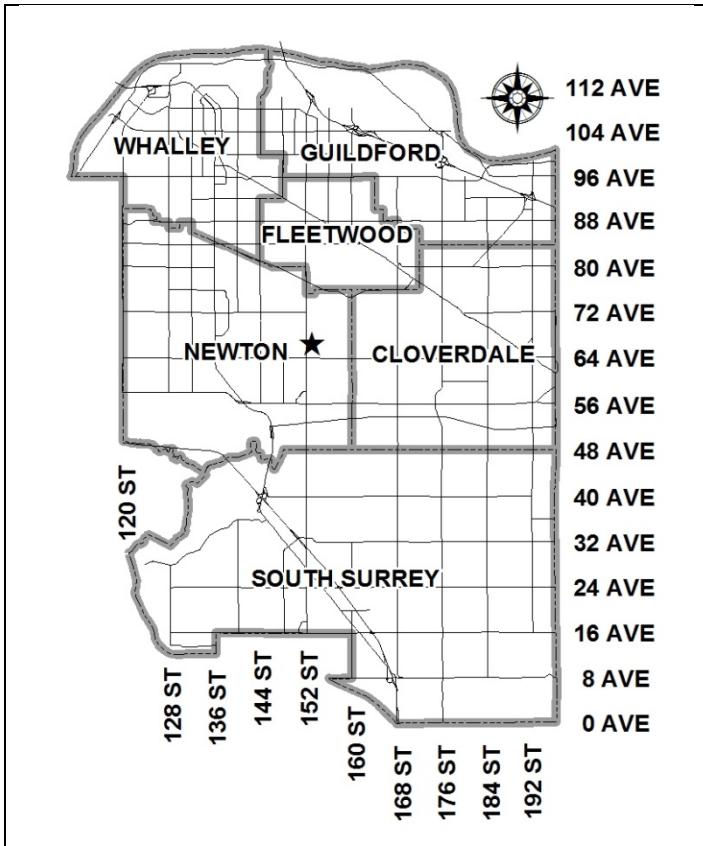


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7914-0184-00

Planning Report Date: October 20, 2014

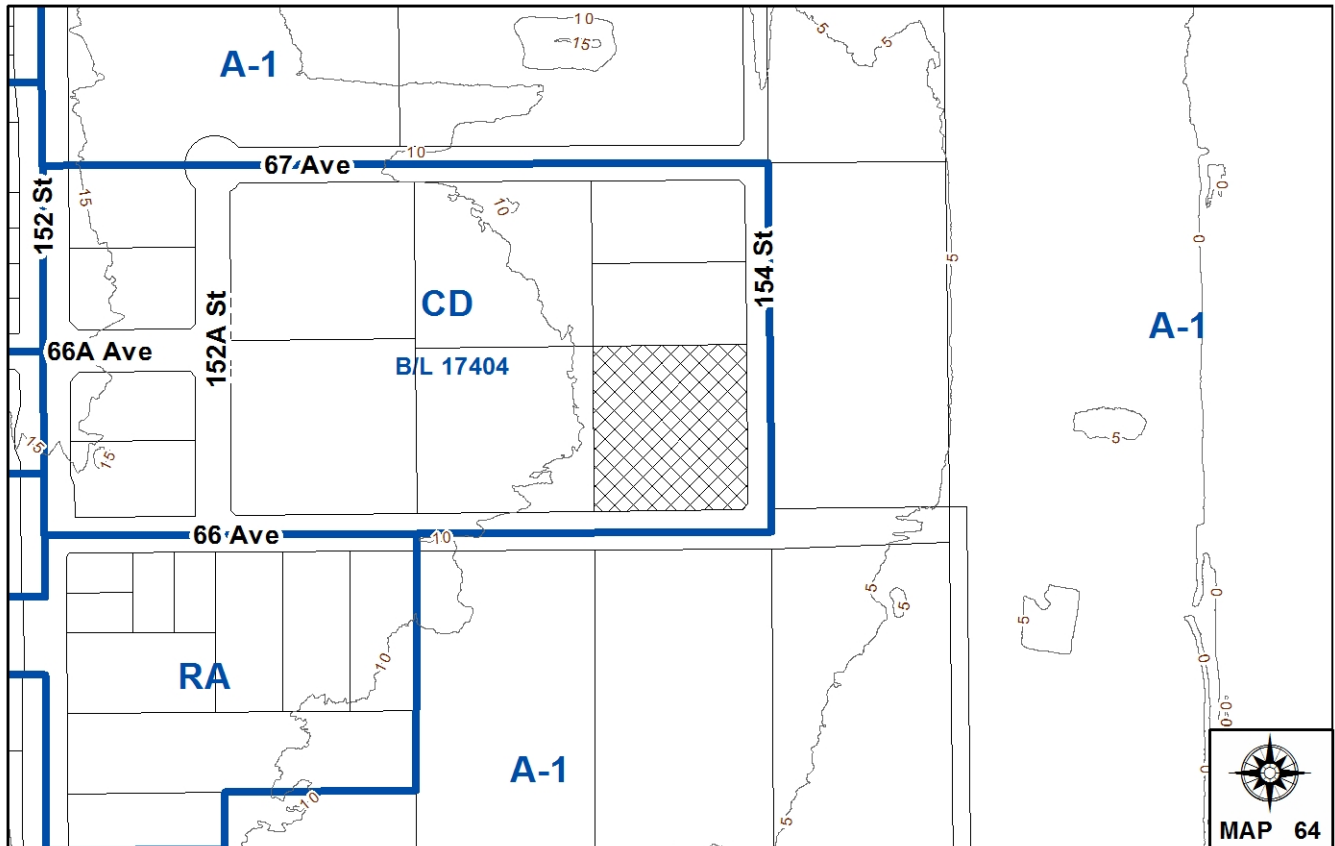


**PROPOSAL:**

- **Development Permit**
- **Development Variance Permit**

in order to permit the development of a 5,639 m<sup>2</sup> (60,693 ft<sup>2</sup>) grocery warehouse with a cold-storage component.

**LOCATION:** 6633 - 154 Street  
**OWNER:** Indochina Food Inc.  
**ZONING:** CD (By-law No. 17404)  
**OCP DESIGNATION:** Industrial  
**NCP DESIGNATION:** Business Park



### RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- A Development Variance Permit is required for two proposed variances:
  - Reduction in the rear yard setback from 7.5 m (25 ft.) to zero; and
  - Reduction in the minimum required parking from 57 spaces to 31 spaces.

### RATIONALE OF RECOMMENDATION

- Complies with Official Community Plan (OCP) and the East Newton Business Park Neighbourhood Concept Plan (NCP).
- The proposed development is consistent with the design guidelines outlined in the East Newton Business Park NCP and the general development permit approved for this area.
- The reduced setback is supported by the owner of the property to the north and is justified because the applicant proposes a south yard setback that is wider than the minimum, with an enlarged landscaped area.
- The proposed parking variance can be supported because the 31 stalls provided will still substantially exceed the anticipated needs of the business. Because the building is designed for cold-storage, it is unlikely to be modified in the future for a different use with higher parking demands.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7914-0184-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7914-0184-00 (Appendix V) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum rear yard setback of the CD Zone from 7.5 metres (25 ft.) to 0 metres (0 ft.); and
  - (b) to reduce the minimum number of on-site parking spaces from 57 to 31.
3. Council instruct staff to resolve the following issues prior to approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project, as outlined in Appendix III.

Surrey Fire Department: The Fire Department has no objection to the proposal.

SITE CHARACTERISTICS

Existing Land Use: Vacant business park lot.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North and west:	Vacant business park lots.	Industrial/Business Park	CD (By-law No. 17404)

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East (Across 154 Street):	Tentnology, a company that manufactures large tents (operating in contravention of existing zoning).	Industrial/Business Park	A-1
South (Across 66 Avenue):	Large residential lots.	Industrial/Live and Work or Business Park	A-1

## DEVELOPMENT CONSIDERATIONS

### Context and Background

- The subject property is designated "Industrial" in the Official Community Plan (OCP) and "Business Park" in the East Newton Business Park Neighbourhood Community Plan (NCP).
- The lot was created and zoned for industrial business park use under CD By-law No. 17404. The rezoning and subdivision were completed in November 2011.
- A general Development Permit was registered as part of the rezoning application. The DP discusses detailed requirements for drainage and landscaping, including a small corner plaza on private property at the intersection of 66 Avenue and 154 Street.

### Proposal

- The subject site will be occupied by Indochina Food Inc, which will supply Henlong Market, a grocery store located on 104 Avenue near 144 Street.
- The application is for a 5,639 m<sup>2</sup> (60,693 ft<sup>2</sup>) grocery warehouse with four loading bays and a large cold-storage component. The freezer and cooler areas will be approximately 1,668 m<sup>2</sup> (17,955 ft<sup>2</sup>), or 38% of the building footprint.
- The rest of the main floor will be warehouse space, with 290 m<sup>2</sup> (3,122 ft<sup>2</sup>) of office space located around the building's main entrance. The majority of the office space associated with the grocery business is located at Henlong Market's retail store.
- The building will have 1,184 m<sup>2</sup> (12,745 ft<sup>2</sup>) of mezzanine space that will be used for storage of fixtures and displays for the retail location.
- Building height is proposed to be 11.4 m (37.4 ft.).
- The application includes two proposed variances, which are both supported and will be discussed in more detail later in this report:
  - Vary the rear yard setback from 7.5 m (25 ft.) to zero; and
  - Vary the required parking from 57 spaces to 31 spaces.

## PRE-NOTIFICATION

- Pre-notification letters were not required for this application.

## DESIGN PROPOSAL AND REVIEW

### Parking, Access, and Circulation

- Two vehicle accesses are proposed: one on 66 Avenue and one on 154 Street. It is expected that large trucks will primarily use the 66 Avenue driveway for easier access to the four loading bays at the south end of the building.
- One at-grade loading door is proposed on the east elevation. It will be treated with glass to integrate well with the building. This door will be used infrequently to accommodate smaller deliveries that are made in vans or small trucks.
- Although the loading bays are located at the south end of the east elevation, a 4.3 m (14 ft.) high screening wall is proposed to ensure that the loading area is not highly visible from 66 Avenue. An enlarged front yard setback will allow adequate landscaping to be provided in front of the screening wall.
- Although 57 parking spaces would be required to meet the Zoning By-law requirement for 1 space per 100 m<sup>2</sup>, the applicant proposes to provide 31 spaces. Because there are only three to five staff anticipated to work in the warehouse, and because the majority of the business' office and meeting space is at their North Surrey retail location, the 31 spaces will be sufficient. The Engineering Department supports the proposed variance.
- A pedestrian pathway is proposed to connect the building to the City sidewalk on 154 Street.

### Building Design

- The proposed building will cover 54.5% of the site and will have an FAR of 0.69.
- The proposed building and site plan are consistent with the design guidelines outlined in the East Newton Business Park NCP and the general Development Permit.
- The building is proposed to be tilt-up concrete, painted in contrasting shades of grey ("Whitestone" and "Wrought Iron"). The east and south facades feature extensive blue-tinted glazing.

## TREES

- Colin Rombough, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder/Cottonwood	1	1	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Crabapple, Pacific	1	1	0
Horsechestnut	1	1	0
Maple, Bigleaf	1	1	0
Plum, Common	1	1	0
<b>Coniferous Trees</b>			
Spruce, Sitka	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>5</b>	<b>5</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>38</b>	
<b>Total Retained and Replacement Trees</b>		<b>38</b>	
<b>Contribution to the Green City Fund</b>		<b>None required</b>	

- The Arborist Assessment states that there are a total of five protected trees on the site, excluding Alder and Cottonwood trees. One existing tree, approximately 17% of the total trees on the site, is an Alder/Cottonwood tree. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of eleven replacement trees on the site. The applicant is proposing 38 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Douglas fir, Austrian black pine, yellow bird magnolia, and pacific sunset maple.

### Landscaping

- Landscaping is required in compliance with the East Newton Business Park NCP.
- The landscaping on this property will include a small plaza in the southeast corner. The plaza is intended as an amenity for all users of the business park. A right-of-way for the plaza, which will remain privately owned, was secured at the time of rezoning.
- The landscaping plan has not yet been finalized but is generally acceptable. Some minor revisions may still be required.

- A storm-water infiltration trench, in compliance with the NCP, is required adjacent to the east property line.
- The landscaping is wide enough around the trench to allow a row of Douglas fir trees to be planted on this property along 154 Street. Because the East Newton Business Park lands are higher than the surrounding agricultural lands, the park is very visible from the east. With the planting of larger coniferous trees on the east side of this building, the visual impact of the industrial buildings should be minimized.
- Although the CD Zone requires a 7.5 m (25 ft.) setback on the south side of the building, the applicant proposes a slightly wider setback of approximately 9.6 m (31 ft.). The additional setback area will be used for landscaping, allowing for attractive screening of the loading area. The wider setback is accommodated by reducing the north (rear) yard setback to zero.

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on June 18, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The proposed development is located within the East Newton Business Park NCP area and is consistent with the plan.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• Maximum permitted FAR is 0.75 and proposed FAR is 0.69.</li> <li>• The development does not include a mix of uses.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The proposal includes absorbent soils, an infiltration trench, and a dry swale.</li> <li>• Tree canopy coverage will increase after the project is completed.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• The site is located approximately 400m from a bus stop on 152 Street, with good sidewalk connections available.</li> <li>• Bicycle racks and pedestrian-specific lighting are proposed.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The reduced setback on the north property line will eliminate any possible CPTED concerns associated with the setback area.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• The developer will not be seeking third-party green certification.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• The end-user has been involved throughout the planning process.</li> <li>• The equipment that powers the industrial freezer and coolers generates heat, which will be captured and re-circulated back into the facility for space-heating purposes. The building is self-cooled, with no need for air-conditioning.</li> </ul>

ADVISORY DESIGN PANEL

- A referral to the Advisory Design Panel (ADP) was not required but the design was reviewed by City staff and found to be satisfactory.

BY-LAW VARIANCE AND JUSTIFICATION

## (a) Requested Variance:

- Vary north side yard setback from 7.5m (25 ft.) to zero.

## Applicant's Reasons:

- A 7.5 m setback at the rear of the building creates a narrow corridor that has no utility to the property owners and can lead to CPTED concerns.
- Elimination of the required rear yard setback is offset by a landscaped front yard setback that is approximately 9.6m (31 ft.) instead of the minimum 7.5 m.

## Staff Comments:

- Setbacks on the other three sides of the building comply with the CD By-law requirements.
- The owner of the property to the north has stated in writing that he has no objection to the proposed variance. The expectation is that when the lot to the north is developed, its south side yard setback will be reduced to zero to mirror the current layout.
- The increased width of the front yard setback benefits the property owner and the public more than a 7.5 m rear yard setback would, because it would not be as visible from the street and could easily become unsightly or unsafe.

## (b) Requested Variance:

- Vary minimum parking requirement from 57 spaces to 31 spaces.

## Applicant's Reasons:

- The applicant does not expect more than 5 employees to be working in the building at any time, which is consistent with industry standards for cold-storage facilities. The current warehouse in Langley typically generates demand for only 3 parking spaces.
- The majority of the office space associated with this business is already in place at their retail location on 104 Avenue. Although offices have been incorporated into the proposed warehouse building, they are not expected to be used intensively.



**Staff Comments:**

- When evaluating development proposals, it is the City's responsibility to ensure that sufficient parking is provided for the proposed use and any other use that the building could be converted to in the future. In this case, because of the investment and unique design that will go into constructing a cold-storage facility, the building is not likely to be used for anything else. Because staffing at these types of facilities is typically low, the proposed parking variance can be supported. The Engineering Department also supports the proposed parking arrangement.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Development Variance Permit No. 7914-0184-00

**INFORMATION AVAILABLE ON FILE**

- Complete Set of Architectural and Landscape Plans prepared by Annie Leung Architecture and PMG Landscape Architects, respectively, dated October 2, 2014.

*original signed by Nicholas Lai*

Jean Lamontagne  
General Manager  
Planning and Development

MJ/da

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## DEVELOPMENT DATA SHEET

Existing Zoning: CD (No.17404)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total	8,178	
Road Widening area		
Undevelopable area		
Net Total	8,178	
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	60	54.5
Paved & Hard Surfaced Areas		
Total Site Coverage		
<b>SETBACKS</b> ( in metres)		
Front	7.5	Approx. 9.6
Rear	7.5	0
West Side	3.6	3.6
East Side	7.5	24.5
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	12	11.4
Accessory		
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		n/a
<b>FLOOR AREA: Residential</b>		n/a
<b>FLOOR AREA: Commercial</b>		
Retail		
Office		
Total		n/a
<b>FLOOR AREA: Industrial</b>		5,639
<b>FLOOR AREA: Institutional</b>		n/a
<b>TOTAL BUILDING FLOOR AREA</b>		5,639

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	0.75	0.69
FAR (net)	0.75	0.69
AMENITY SPACE (area in square metres)		n/a
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	57	31
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	57	31
Number of disabled stalls		2
Number of small cars		1
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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ISSUES	
NO. / DATE	DESCRIPTION
1 / 10/1/2014	ISSUED FOR INFORMATION
2 / 10/1/2014	ISSUED FOR INFORMATION
3 / 10/1/2014	RE-ISSUED FOR DEVELOPMENT PERMIT

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CLIENT: INDOCHINA FOOD INC.

ADDRESS: 6633 154th AVENUE, SURREY, BC

TITLE: SITE PLAN

DRAWN BY: CO  
 CHECKED BY: TK  
 SCALE: AS NOTED  
 DATE: Oct 1, 2014  
 SHEET NO. A2.1  
 DATE PRINTED: 10/1/2014 2:39:59 PM

RE-ISSUED FOR DEVELOPMENT PERMIT

APPENDIX II

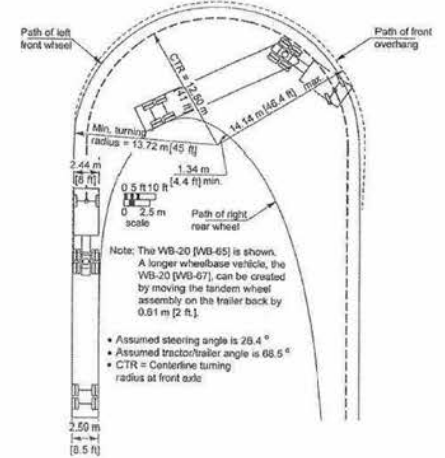
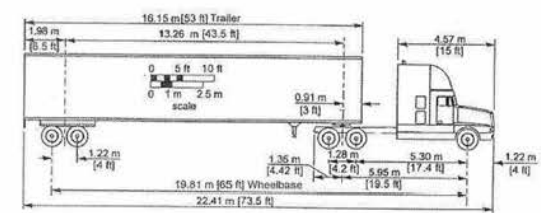
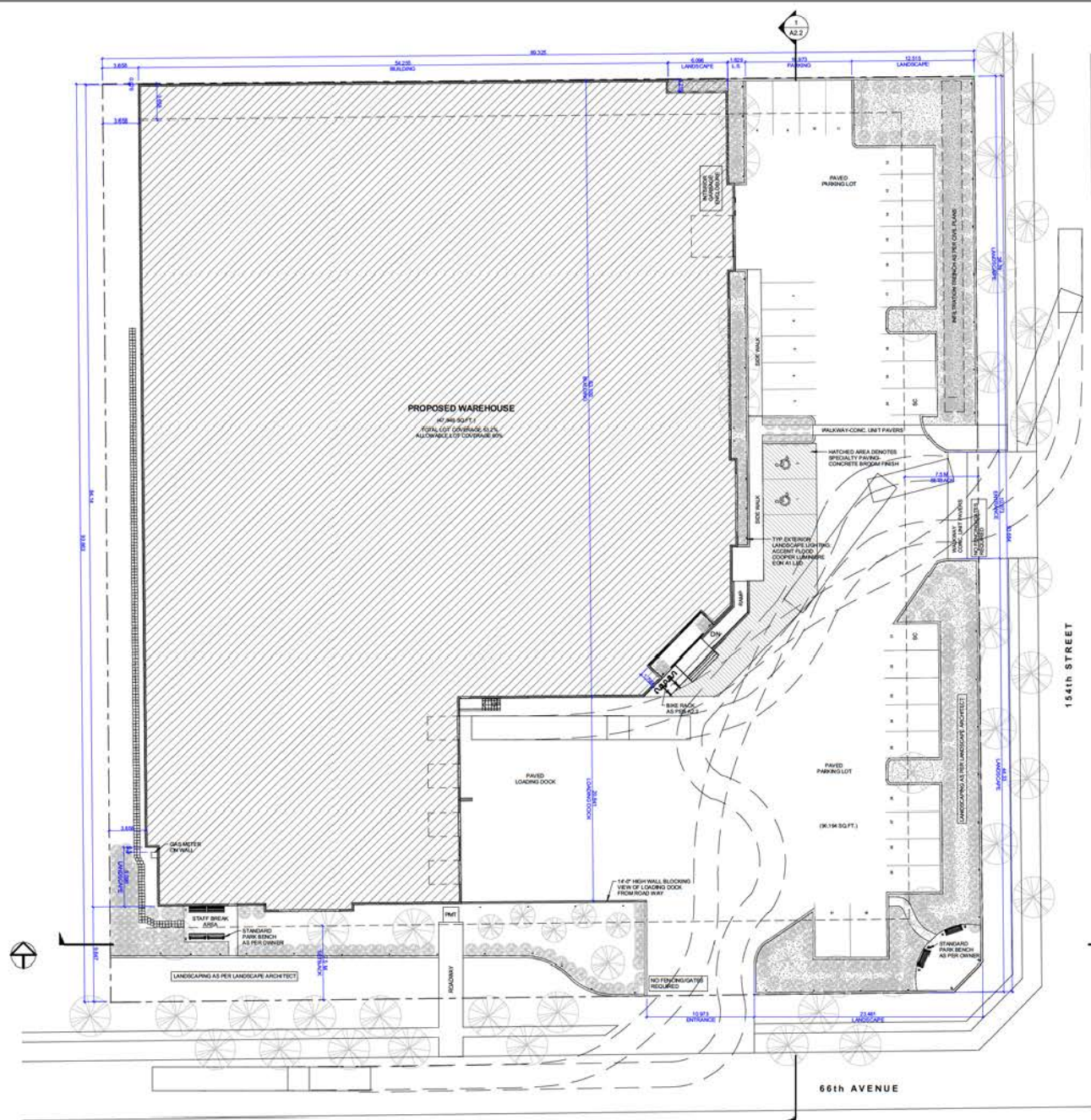


Exhibit 2-16. Minimum Turning Path for Interstate Semitrailer (WB-20 [WB-65 and WB-67] Design Vehicle)



1 SITE PLAN  
 A3.1 1:200

NO.	DATE	ISSUE
1	10/1/2014	ISSUED FOR INFORMATION
2	10/1/2014	ISSUED FOR INFORMATION PERMIT
3	10/1/2014	RE-ISSUED FOR DEVELOPMENT PERMIT

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 INDOCHINA FOOD INC.

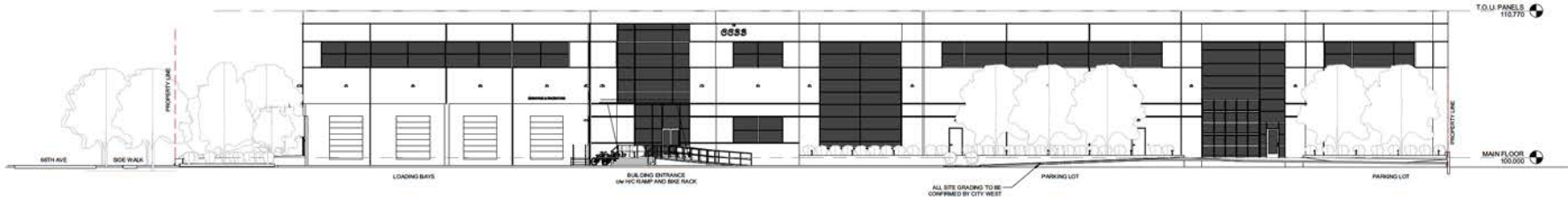
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 6633 154th AVENUE,  
 SURREY, BC

TITLE:  
 SITE PLAN SECTIONS

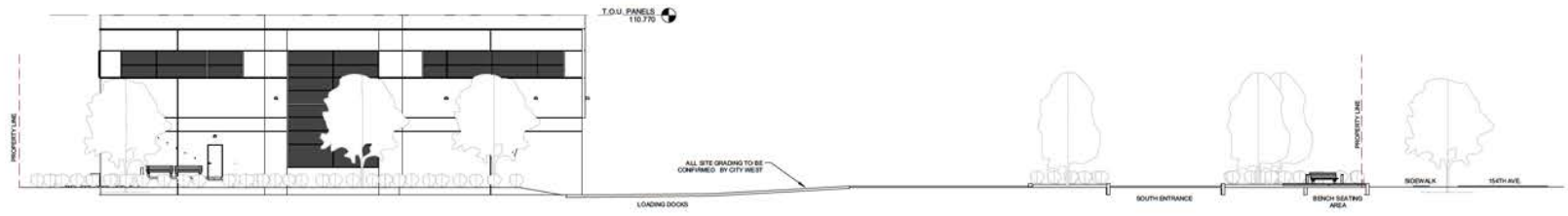
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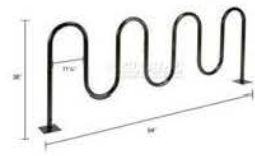
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 A2.1 1:150



2 EASTWEST SITE SECTION  
 A2.2 1:150

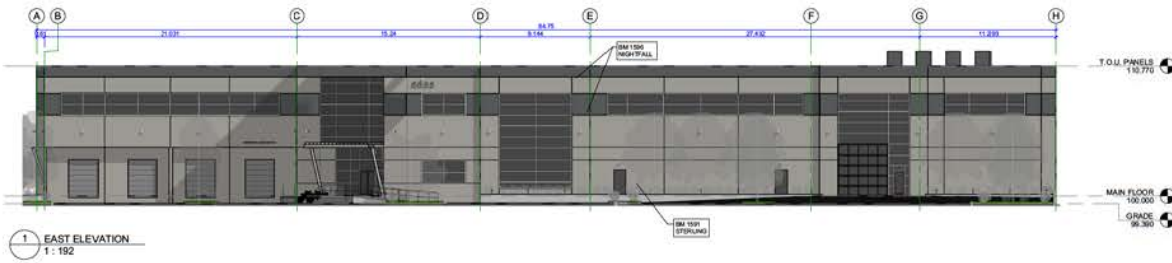


Base Plate Above Floor Anchoring for Stability and Security

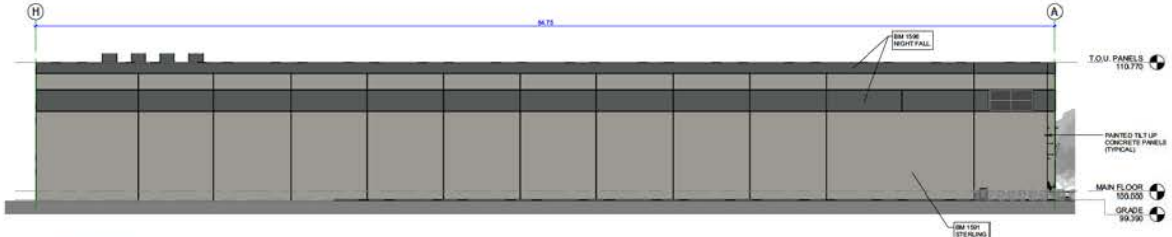


Product Specifications	
LENGTH INCHES	34 (2x 75.0cm)
HEIGHT INCHES	34.00 (86.9cm)
COLOR FINISH	Black
ASSEMBLY	Component
BRAND	Global Wave
CONSTRUCTION	100% Steel
INSTALLATION	Simple to Install
WEIGHT LBS	22 (10.0kg)

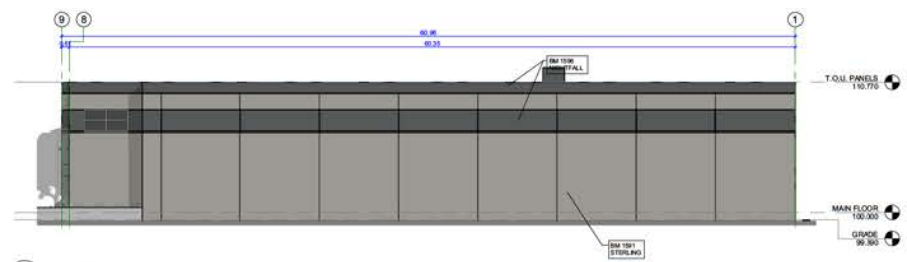
GLOBAL WAVE BIKE RACK DETAIL



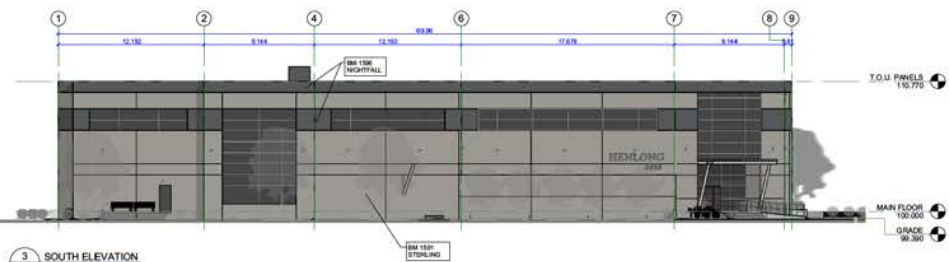
1 EAST ELEVATION  
1: 192



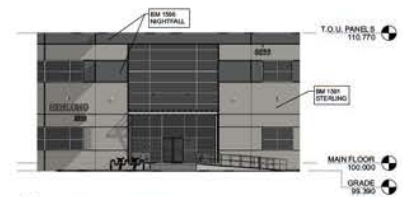
4 WEST ELEVATION  
1: 192



2 NORTH ELEVATION  
1: 192



3 SOUTH ELEVATION  
1: 192



5 FRONT ENTRANCE ELEVATION  
AS.1 1: 192

**City of Surrey Bylaw review**  
 1.0 Property Information  
 Project Site Address: 6633-154th Street, Surrey, BC  
 Property Legal Description: Lot 10 Section 14, Township 2, Plan BCP48715 NWD  
 PID: 028-737-854  
 Zoning Details: CD Comprehensive Development Zone governed by bylaw 17404  
 Property Area: 8,178sq.m (88,028 sq.ft)  
 2.0 Property Owner  
 Indochina Food Inc.  
 Minh Ngo  
 14351 - 104 Ave.  
 Surrey, BC V3T 1Y1

**3.0 By-Law 17404 Summary**

3.1 Permitted uses: This warehousing complex will be used for the storage of dry goods, and cold storage, with a limited office area. There will be no retail on the site. This building complies with "Warehouse Uses" under Blocks B3.

3.2: Density: Floor area ratio shall not exceed 0.75  
 Building areas:  
 Main Floor: 4,454.6 sq.m (47,949sq.ft)  
 Upper Floors/mezzanines: 1,183.98 sq.m (12,744.29 sq.ft)  
 Total building area: 5,638.6sq.m (60,693 sq.ft)  
 Floor area ratio = 60,693/88,028 = 69% (Building complies)  
 3.3: Lot Coverage: Shall not exceed 60%  
 Lot coverage = 47,949/88,028sq.ft = 54.5% (Building complies)

3.4: Yards and setbacks:  
 Principal Buildings and structures  
 Allowable Provided  
 Front Yard (East facing 154th) 25R (7.5m)  
 Rear Yard (facing West) 12R  
 (3.66m) 12R (3.66m)  
 Side Yard (facing North) 25R (7.5m)  
 Side Yard (facing South 66th) 25R (7.5m)

3.5: Heights of Buildings: Our building is 37'-4" from grade to maximum parapet height, and therefore is in conformance with the 12m (40ft) limitation

3.6: Landscaping: Our site complies with the bylaw as a minimum 10ft landscape strip has been provided along 66th avenue and 154th street. This has been widened along 154th to accommodate the City required infiltration trench as indicated on the drawings. See landscape drawings by PMG architects (project 14-052)

a) landscaping strip shall consist of an earth berm of not less than 2ft in height  
 b) berm shall be planted with maintenance free ground cover or grass  
 c) trees spaced not less than 25ft o/c with a minimum initial planting trunk diameter of not less than 2 inches measured 5ft above finished ground. The trees chosen shall be capable of attaining a height of not less than 20ft in 10 years.

d) As our building site is not flanking residential property a landscaping screen is not required on the North and West lot lines.

3.7: Special Regulations:  
 a) Outdoor storage of any goods, materials or supplies is specifically prohibited

4.0 Parking  
 1 parking space for every 1,075sq.ft of gross floor area  
 Gross floor area = 60,693sq.ft/1075=57 stalls  
 Parking stalls provided:  
 Regular stalls (9ftx18ft) = 28  
 Small car (9ft x 16ft) = 1  
 H/C stalls (11.2ftx18ft) = 2  
 Total = 31

Note: As this building is to be used as a storage warehouse facility, with large coolers and freezers we will deduct this area from the parking calculation, as there won't be any persons staying in these areas, the parking may be reduced by 65'-9.5"sq.ft x 279'-0.5"= 18292.82 sq.ft/1075= 17stalls. 57-17=40stalls x 70%=28 stalls. See also letter from owner for anticipated occupant loads.

The owner does not anticipate needing more than 9 regular parking stalls during the highest demand time of the year. On a regular day, the owner expects occupy only 4-5 parking stalls. Other than the warehouse staff, there is very limited offices and the associated personnel working at this proposed facility. The owner's office employees work at the main office at the Hen Long Market on 104 Ave.

**RE-ISSUED FOR DEVELOPMENT PERMIT**

NO. DATE	ISSUE
1 14-01-14	ISSUED FOR INFORMATION PERMIT
2 14-01-14	ISSUED FOR INFORMATION PERMIT
3 14-01-14	RE-ISSUED FOR DEVELOPMENT PERMIT

**ANNIE LEUNG ARCHITECTURE**  
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CLIENT:  
**INDOCHINA FOOD INC.**

ADDRESS:  
 6633 154th AVENUE, SURREY, BC

TITLE:  
**ELEVATIONS**

DRAWN BY: CO  
 CHECKED BY: TK  
 SCALE: AS NOTED  
 DATE: Oct 1, 2014  
 SHEET NO:  
**A3.1**  
 DATE PRINTED:  
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ISSUE	DATE	DESCRIPTION
1	SEP 15, 2014	ISSUED FOR INFORMATION
2	NOV 10, 2014	ISSUED FOR PERMIT
3	APRIL 23, 2014	RE-ISSUED FOR DEVELOPMENT PERMIT

ANNIE LEUNG ARCHITECTURE  
 988 BEMPSEY ROAD  
 NORTH VANCOUVER, BC  
 604-968-7837

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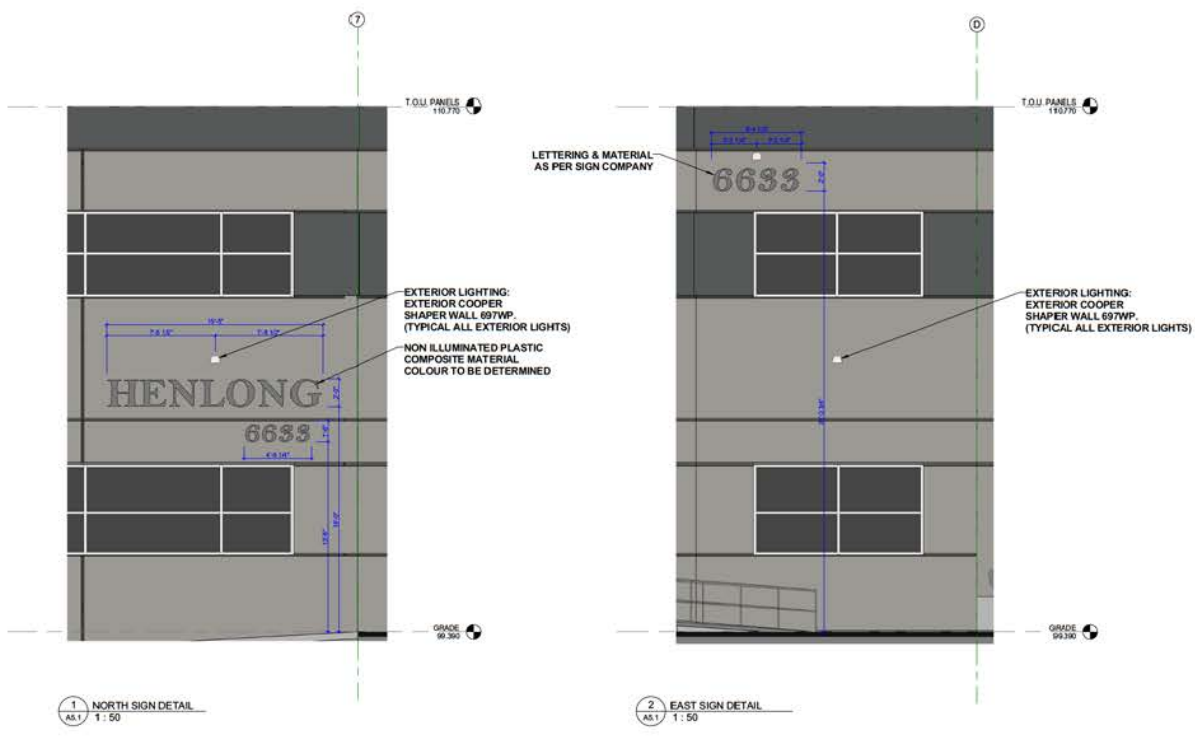
CLIENT:  
 INDOCHINA FOOD INC.

ADDRESS:  
 6633 154th AVENUE, SURREY, BC

TITLE:  
 SIGN ELEVATIONS

DRAWN BY: CO  
 CHECKED BY: TK  
 SCALE: AS NOTED  
 DATE: Oct 1, 2014  
 SHEET NO: A3.2  
 DATE PRINTED: 10/1/2014 2:41:22 PM

RE-ISSUED FOR DEVELOPMENT PERMIT



1 NORTH SIGN DETAIL  
 AS1 1:50

2 EAST SIGN DETAIL  
 AS1 1:50





ENTRY CANOPY VIEW

PROJECT NO: 14-002

NO.	DATE	ISSUE
1	10/1/2014	ISSUED FOR PERMIT
2	10/1/2014	ISSUED FOR PERMIT
3	10/1/2014	ISSUED FOR DEVELOPMENT PERMIT

ANNE LEUNG ARCHITECTURE  
 3888 DEMPSEY ROAD  
 NORTH VANCOUVER, BC  
 604-988-7837

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CLIENT:  
 INDOCHINA FOOD INC.

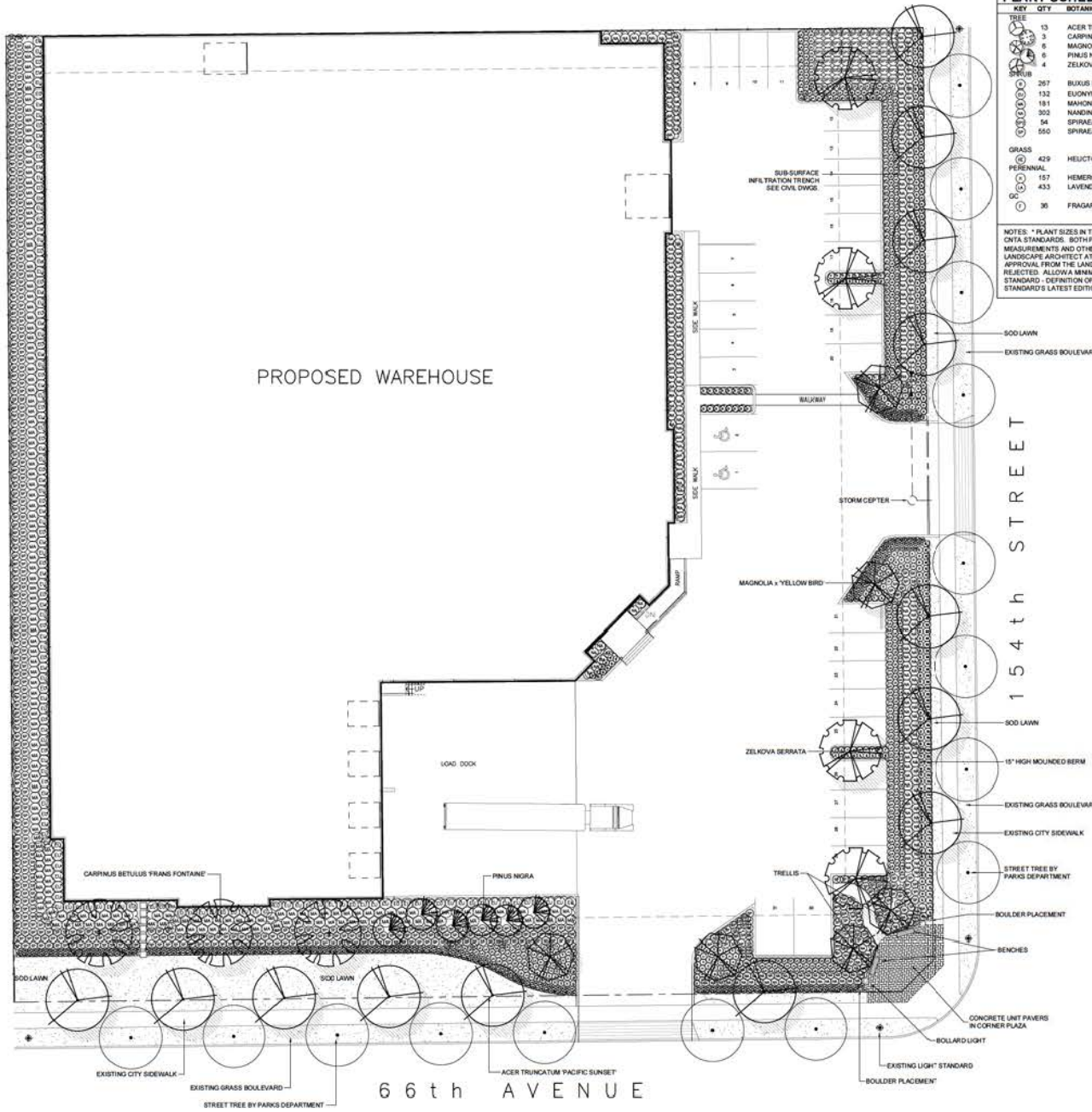
ADDRESS:  
 6633 154th AVENUE, SURREY, BC

TITLE:  
 3D VIEW

DRAWN BY: CO  
 CHECKED BY: TK  
 SCALE: AS NOTED  
 DATE: Oct 1, 2014  
 SHEET NO: A8.1

DATE PRINTED:  
 10/1/2014 2:52:17 PM

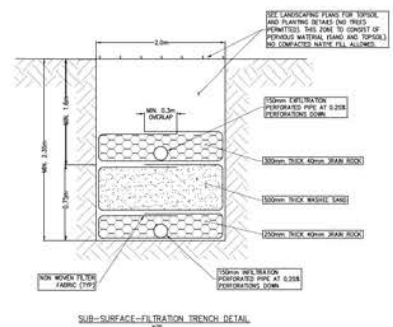
RE-ISSUED FOR DEVELOPMENT PERMIT



**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PMG PROJECT NUMBER: 14-052	PLANTED SIZE / REMARKS
TREE	13	ACER TRUNCATUM 'PACIFIC SUNSET'	PACIFIC SUNSET MAPLE		8CM CAL, 2M STD, B&B
	3	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM		8CM CAL, B&B
	6	MAGNOLIA 'YELLOW BIRD'	YELLOW BIRD MAGNOLIA		8CM CAL, 1.9M HT, B&B
	6	PINUS NIGRA	AUSTRIAN BLACK PINE		3M HT, B&B
	4	ZELKOVA SERRATA	SANLEAF ZELKOVA		8CM CAL, 1.9M STD, B&B
SHRUB	207	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX		#3 POT, 40CM
	132	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH		#3 POT, 50CM
	181	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY		#3 POT, 50CM
	302	NANDINA DOMESTICA 'HARBOUR DWARF'	HEAVENLY BAMBOO, LOW SPREADING		#3 POT, 50CM
	54	SPHRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPHRAEA, PINK		#2 POT, 40CM
	550	SPHRAEA 'KUNALGA' 'GOLD FLAME'	GOLD FLAME SPHRAEA		#2 POT, 40CM
GRASS	429	HELICTOTRICHON SEMPERVIRENS	BLUE CAT GRASS		#1 POT
PERENNIAL	157	HEMEROCALLIS	DAYLILY		#1 POT, 1-2 FAN
	433	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT, VIOLET-BLUE		#1 POT
	30	FRAGARIA CHILOENSIS	BEACH STRAWBERRY		9CM POT

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CRITA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



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SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	14 AUG 22	ADD FILTRATION	DO

CLIENT:

PROJECT:

**INDOCHINA FOODS INC.**  
6633 154TH STREET  
SURREY, BC

DRAWING TITLE:  
**LANDSCAPE PLAN**

DATE: 14 MAY 21 DRAWING NUMBER:  
SCALE: 1/16"=1'-0" **L1**  
DRAWN: DO  
DESIGN:  
CHKD: MCV **OF 1**



---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 8, 2014** PROJECT FILE: **7814-0184-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 6633 154 Street**

### DEVELOPMENT PERMIT

The following matters, associated with the Development Permit, are to be addressed as a condition of issuance of the Building Permit:

- Construct two 11.0 metre wide concrete letdowns to provide access from 66<sup>th</sup> Avenue and 154 Street.
- Provide a minimum queuing distance of 6.0 metres. Any future gates must be installed a distance back from the property line equivalent to or greater than the queuing distance.
- The off-site works required to service the site have been completed through Project 7808-0128-00.
- A bio-filtration trench/stormwater management system is to be implemented on the subject site in accordance to the criteria defined within the Restrictive Covenant registered on the lands (Title Charge BB1358280).
- The applicant is advised the existing storm service connection is located within the proposed driveway/drive aisle. The Civil consultant for the project will need to confirm the service connection inspection chamber(IC) is load rated or the IC is required to be relocated outside the drive isle.

A Servicing Agreement is not required prior to issuance of the Development Permit.

### DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit for the reduction in required parking stalls from 57 to 31 and reduction of the rear yard setback from 7.5 metres to 0.0 metres.

A Servicing Agreement is not required prior to issuance of the Development Variance Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

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## Tree Preservation Summary

Surrey Project No: 14-0184-00

Address: 6633 154 ST

Registered Arborist: Colin Rombough

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	6
<b>Protected Trees to be Removed</b>	6
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = <u>1</u></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 5 X two (2) = <u>10</u></li> </ul>	11
<b>Replacement Trees Proposed</b>	38
<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	1
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0</li> </ul>	1
<b>Replacement Trees Proposed</b>	TBD
<b>Replacement Trees in Deficit</b>	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:



Date: October 14, 2014



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302



(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7914-0184-00

Issued To: INDOCHINA FOOD INC.

("the Owner")

Address of Owner: 14351 - 104 Avenue  
Surrey, BC V3T 1Y1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-737-954  
Lot 10 Section 14 Township 2 New Westminster District Plan BCP49715  
6633 - 154 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- Part 5 Parking and Loading/Unloading Section C Table C.3 is varied for Light Impact Industrial Uses to require 0.5 parking spaces for every 100 square metres [1,075 sq.ft.] of gross floor area excluding retail area (including ancillary office use).

4. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2011, No. 17404, as amended, is varied as follows:

- Section F Yards and Setbacks is varied to allow a rear yard setback for a principal building to be 0.0 m [0 ft.].

5. The landscaping and the siting of buildings and structures shall be in accordance with the drawing numbered 7914-0184-00 (A) (the "Drawing") which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20   .  
ISSUED THIS      DAY OF      , 20   .

---

Mayor – Dianne L. Watts

---

City Clerk – Jane Sullivan

NO.	DATE	ISSUE
1	APR 14, 2014	ISSUED FOR INFORMATION
2	APR 14, 2014	ISSUED FOR INFORMATION
3	APR 14, 2014	RE-ISSUED FOR DEVELOPMENT PERMIT

ANNIE LEUNG ARCHITECTURE  
 988 BEMPEY ROAD  
 NORTH VANCOUVER, BC  
 604-988-7837

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CLIENT: INDOCHINA FOOD INC.

ADDRESS: 6633 154th AVENUE, SURREY, BC

TITLE: SITE PLAN

DRAWN BY: CO  
 CHECKED BY: TK  
 SCALE: AS NOTED  
 DATE: Oct 1, 2014  
 SHEET NO. A2.1  
 DATE PRINTED: 10/1/2014 2:39:59 PM

RE-ISSUED FOR DEVELOPMENT PERMIT

7914-0184-00 (A)

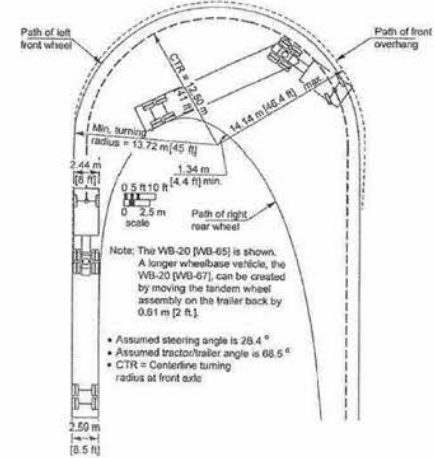
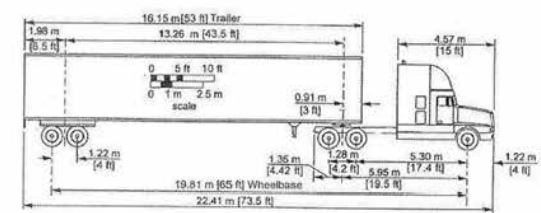


Exhibit 2-16. Minimum Turning Path for Interstate Semitrailer (WB-20 (WB-65 and WB-67) Design Vehicle

