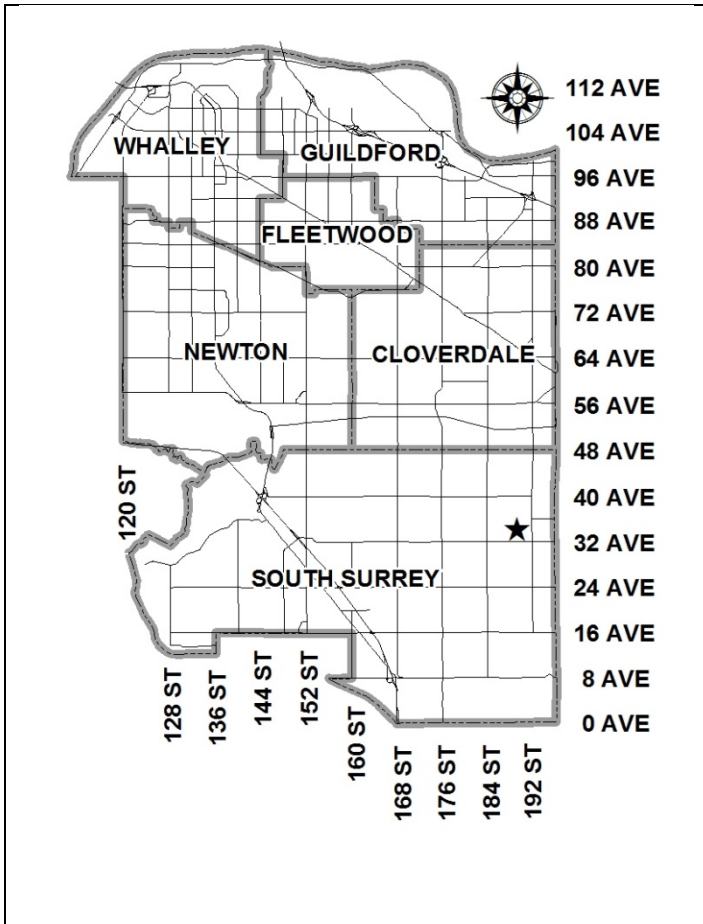


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0199-00

Planning Report Date: October 20, 2014



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

in order to permit the development of a 8,580 m² (92,350 ft²) light-industrial warehouse.

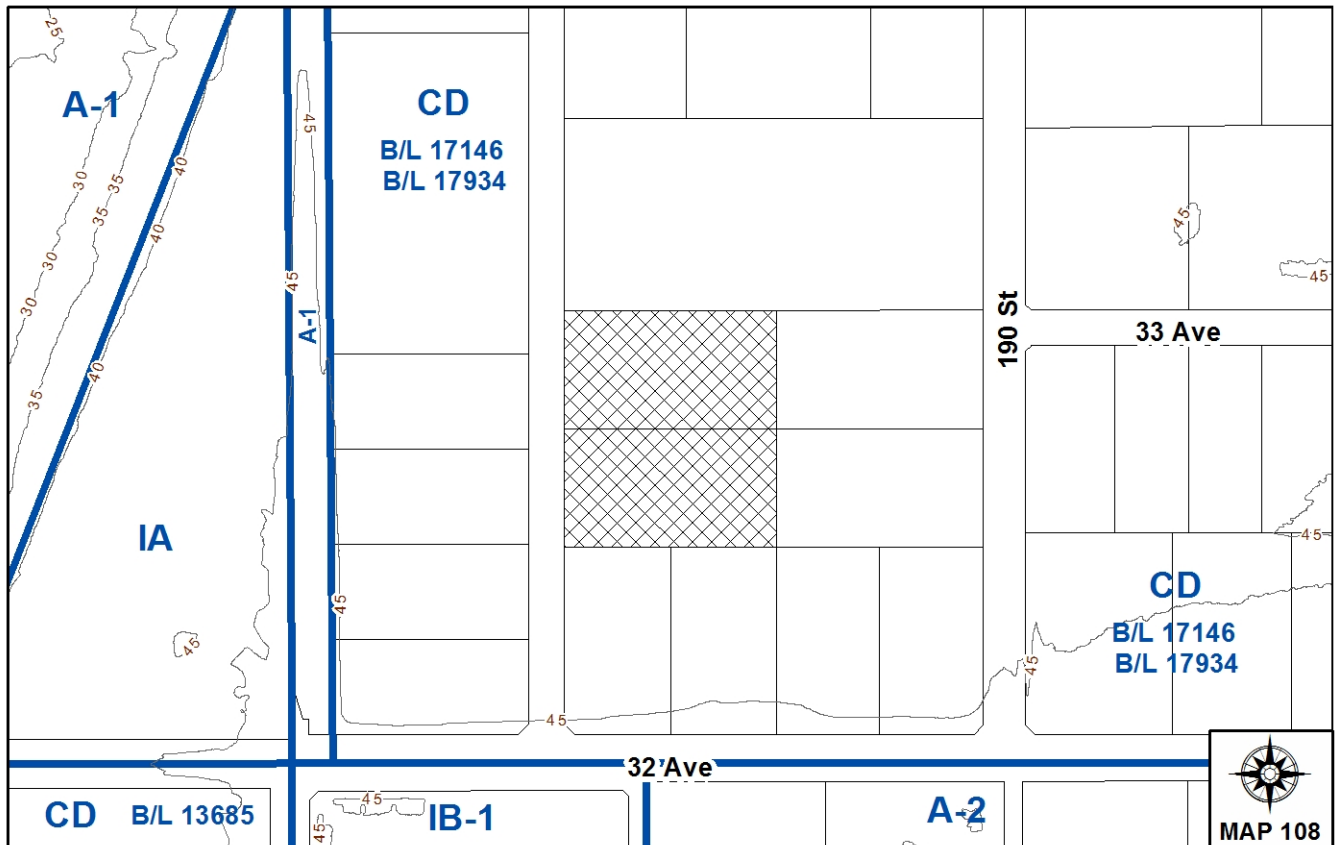
LOCATION: 3288 - 189 Street
 3250 - 189 Street

OWNER: 1001238 B.C. Ltd.
 Mercana Art Decor Inc.
 Mercana Enterprises Ltd.

ZONING: CD (By-law Nos. 17146 & 17934)

OCP DESIGNATION: Industrial

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- A Development Variance Permit is required to vary Section 5 Parking and Loading/Unloading of the Zoning Bylaw to allow 4.7 metre- (15.4 foot-) wide drive aisles.

RATIONALE OF RECOMMENDATION

- Complies with the Official Community Plan (OCP) and the Campbell Heights Business Park Local Area Plan (LAP).
- The proposed development is consistent with the design guidelines outlined in the Campbell Heights Local Area Plan and the general development permit approved for Campbell Heights North.
- The proposed aisle width is supported because the site layout is designed to function as a one-way loop around the building, providing adequate vehicle circulation.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7914-0199-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7914-0199-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum width of a vehicle maneuvering aisle from 7.5 m (25 ft) to 4.7 m (15.4 ft).
3. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) consolidation of the two subject properties;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

- Engineering: The Engineering Department has no objection to the project, as outlined in Appendix III.
- Surrey Fire Department: The Fire Department has no concerns with the proposed development.

SITE CHARACTERISTICS

Existing Land Use: Undeveloped industrial land

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Undeveloped lot under application for DP and DVP in process (no. 7914-0098-00)	Industrial in the OCP. Business Park in the Campbell Heights LAP.	CD (By-Law Nos. 17146/17934)

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East:	Undeveloped land, with one lot under application for DP (No. 7914-0205-00)	Industrial in the OCP. Business Park in the Campbell Heights LAP.	CD (By-Law Nos. 17146/17934)
South and West:	Undeveloped industrial land.	Industrial in the OCP. Business Park in the Campbell Heights LAP.	CD (By-Law Nos. 17146/17934)

DEVELOPMENT CONSIDERATIONS

Context

- The subject site consists of two properties and is 1.6 ha (3.9 acres) in size. It is located in the Campbell Heights North area, which has recently been rezoned and subdivided. These properties, located in Phase Two of the Campbell Heights North Business Park, were created under subdivision application no. 7912-0160-00 in August 2013.
- The site and surrounding properties are currently vacant, with little or no vegetation.
- On the property to the north, a Development Permit and Development Variance Permit application is currently in process, for a pipe manufacturing and warehouse facility (No. 7914-0098-00).
- On one of the properties to the east, a Development Permit application is in process, for a grocery import and distribution warehouse (no. 7914-0205-00).

Proposal

- The subject site will be occupied by Mercana Art Décor, a company that imports, designs, and wholesales home furnishings and accessories. Mercana has been located near King George Boulevard and 78 Avenue since 1991. The company plans to consolidate their business from this location and three other locations into the facility in Campbell Heights.
- The application is for an 8,579 m² (92 347 ft²) industrial building with a 7,307 m² (78,654 ft²) footprint and 1,272 m² (13,692 ft²) of second-floor office space. The building will be divided into two units, with the larger unit (roughly $\frac{3}{4}$ of the building) being used by Mercana. The expectation is that the business will expand to occupy the whole building in the future.
- The building will be 9.8 m (32.2 ft) tall.
- The application is currently on two separate properties, which the applicant proposes to consolidate through the Land Titles Office. Consolidation must be finalized before the Development Permit can be approved.
- The application includes a proposal to vary the minimum width of a vehicle maneuvering aisle from 7.5 m (25 ft) to 4.7 m (15.4 ft). The site is designed to function as a one-way loop for automobiles and trucks that need to access the rear of the building. The Zoning By-law requirement for a 7.5 m drive-aisle is based on an assumption that the aisle will be used for

two-way traffic. Because the one-way circulation pattern is clearly designed on this site, the variance can be supported.

PRE-NOTIFICATION

- The proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS has no concerns with regards to the health of the Little Campbell watershed or the Little Campbell River.

DESIGN PROPOSAL AND REVIEW

Parking, Access, and Circulation

- Two vehicle accesses are proposed on 189 Street, adjacent to both the south and the north property lines. When entering the site, automobiles will be able to access a double-row of parking at the front of the building via a two-way drive-aisle (see Appendix II).
- Truck traffic, and automobiles accessing the parking at the sides and rear of the building, will use the one-way maneuvering aisle to the south of the building. All loading bays are located at the rear of the building and will be accessed this way.
- Trucks that are exiting the loading bays and leaving the site, as well as cars leaving the side and rear parking areas, will exit using the drive-aisle on the north side of the building. This one-way design supports the applicant's proposal to vary the width of the north and south maneuvering aisles because two-way traffic is not anticipated.
- A minimum of 86 parking spaces is required and the applicant proposes 89 spaces. 61 full-time employees and some additional part-time staff are anticipated at this location.
- Pedestrian pathways are proposed in two locations to connect the building entrances to the City sidewalk.

Building Design

- The proposed building will cover 46% of the site and will have an FAR of 0.54.
- The proposed building and site plan are consistent with the design guidelines outlined in the Campbell Heights LAP and the Campbell Heights North Design Guidelines document.
- The building is proposed to be tilt-up concrete, painted in several shades of grey ("Inkwell," "Mink," and "Passive") with accents of "New London Burgundy". The front (west) façade features extensive grey-tinted glazing in clear anodized aluminum frames.
- Four painted steel trellises are proposed on the west façade. They are designed to accommodate a climbing vine to create a "green wall." The type of vine to be planted has not yet been finalized.

TREES

- An arborist report was not required because there are currently no trees and very little vegetation at all on the property.

Landscaping

- The landscaping plan has not yet been finalized but is generally acceptable. Some minor revisions are still required.
- The proposed landscaping must reflect the registered restrictive covenant for landscaping and storm-water management along the front (west) property line. The restrictive covenant requires installation of a bio-swale and associated rain garden with planted trees, shrubs, and groundcover. In this regard, the applicant proposes a 3 m- (9.8 ft-) wide rain garden along the 189 Street frontage.
- 29 trees, including maple, hornbeam, beech, ash, and cedar, are proposed to be planted within the landscaped areas. Most are within the front yard setback.
- The front yard landscaping incorporates two pedestrian connections between the building and the sidewalk on 189 Street.
- Two garbage and recycling enclosures are located at the rear of the property and are screened from view.

ADVISORY DESIGN PANEL

- A referral to the Advisory Design Panel (ADP) was not required.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 27, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposal is consistent with the Campbell Heights Local Area Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The maximum allowable FAR is 1.0. The proposed FAR is 0.54.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposal incorporates absorbent soils, bio-swales, trellised green walls, sediment control devices and perforated piping. • 30 trees are proposed to be planted. • There are currently no ecologically sensitive areas on the property.

4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The applicant proposes to include bike racks. • On-site pedestrian pathways connect to City sidewalks.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Site and building design incorporate CPTED principles through the use of lighting, glazing, and appropriate landscaping.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The end-user has been involved in the building and site design. • The facility will be constructed to current ASHRAE standards for skylighting, glazing and envelope insulation.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- Vary the minimum width of the north and south vehicle maneuvering aisles from 7.5 m (25 ft) to 4.7 m (15.4 ft).

Applicant's Reasons:

- These two drive-aisles are designed to accommodate one-way traffic only. The 7.5 m standard for drive-aisles is acceptable for two-way traffic but unnecessarily wide for one-way traffic only.

Staff Comments:

- Because the site is designed to function well as a one-way loop for vehicles that need to access the rear of the building, staff support the proposed variance.
- The Engineering Department has reviewed the proposal and has no objections to the proposed reduction in drive-aisle width.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Development Variance Permit No. 7914-0199-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by CTA Design Group and Jonathan Losee Ltd., respectively, dated October 10, 2014 and October 15, 2014.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MJ/da

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DEVELOPMENT DATA SHEET

Existing Zoning: CD (17146 & 17934)

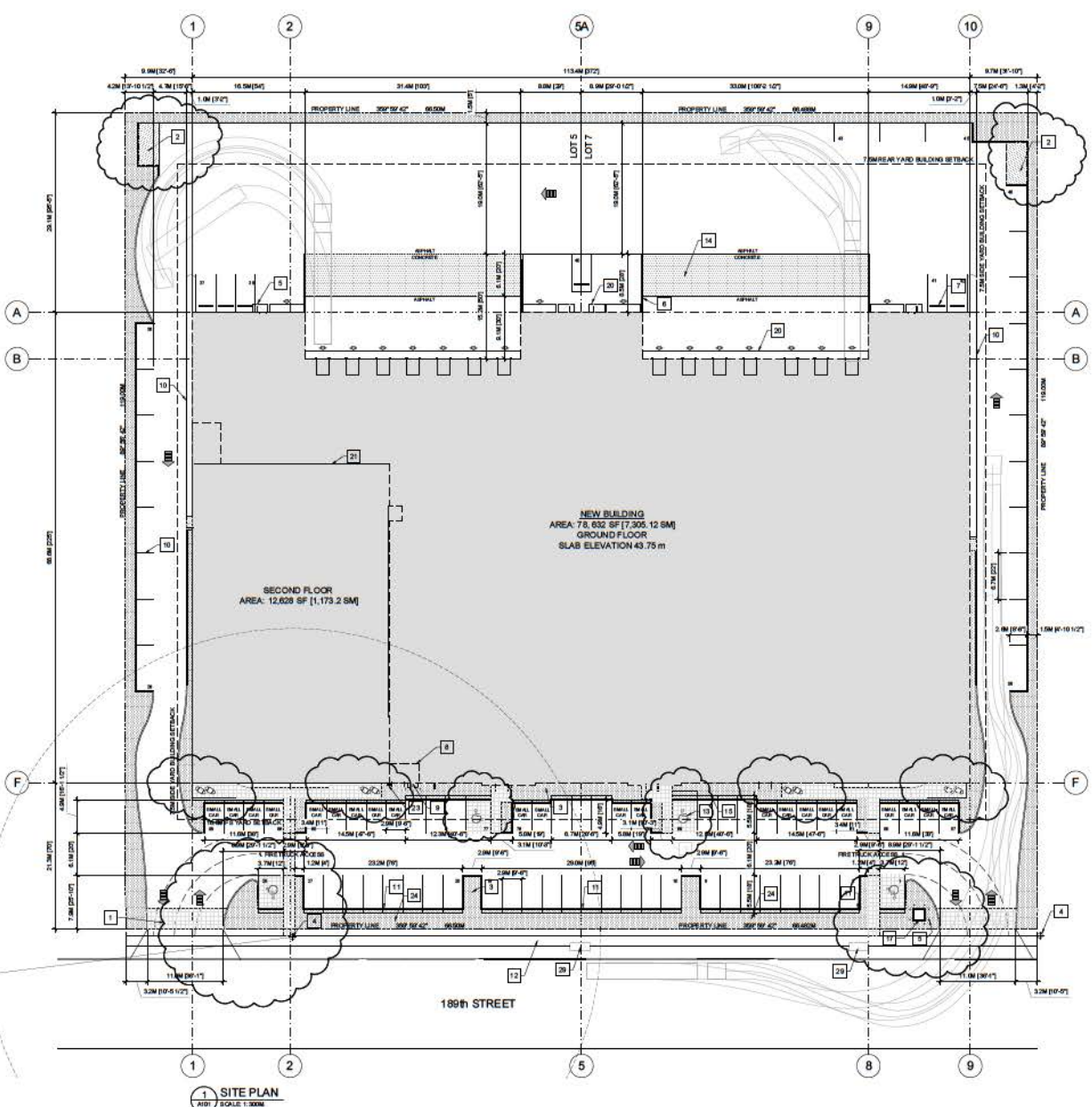
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		15,825
Road Widening area		
Undevelopable area		
Net Total		15,825
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60	46
Paved & Hard Surfaced Areas		45
Total Site Coverage		91
SETBACKS (in metres)		
Front	16.0	21.3
Rear	7.5	29.1
North Side	7.5	9.8
South Side	0.0	9.8
BUILDING HEIGHT (in metres/storeys)		
Principal	14.0	9.75
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		n/a
FLOOR AREA: Residential		n/a
FLOOR AREA: Commercial		
Retail		
Office		
Total		n/a
FLOOR AREA: Industrial		8,579
FLOOR AREA: Institutional		n/a
TOTAL BUILDING FLOOR AREA		8,579

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		0.54
FAR (net)		0.54
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	86	89
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	86	89
Number of disabled stalls	1	4
Number of small cars	22	22
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
---------------	----	---------------------------------	----



1 SITE PLAN
SCALE: 1:300M

KEYNOTES:

1	STAMPED CONCRETE
2	SEE LANDSCAPE DRAWINGS
3	REPAIR EXISTING AREA WITH CONCRETE PAD
4	LANDSCAPED AREA - SEE LANDSCAPE DRAWINGS
5	EXISTING FIRE HYDRANT
6	BOLLARDS
8	CONCRETE RETAINING WALL WITH STEEL GUARDRAIL
7	CONCRETE WHEEL STOP
8	SERVICE ROOM
9	SEE GROUND FLOOR PLAN
9	DWG METER W/ ENCLOSURE
9	SEE MECHANICAL DRAWINGS
10	PAINTED LINES (PARKING LINES)
11	1.0M CURB CUT-OUT
11	SEE CIVIL DRAWINGS
12	EXISTING CITY SIDEWALK
13	PAINTED H/C PARKING SYMBOL
14	CONCRETE DOLLY PAD
15	PARKING STALL LANDSCAPE FROM AVE. 2' DEEP TYPICAL
16	NOT USED
17	HC HYDRO HOSE
18	NOT USED
19	NOT USED
20	OUTLINE OF CANOPY BELOW
21	OUTLINE OF SECOND FLOOR ABOVE
22	NOT USED
23	FIRE DEPARTMENT WATER CONNECTION
24	RAIN GARDEN
24	REFER TO LANDSCAPE & CIVIL DWGS.
25	OUTLINE OF WALLS BELOW
26	CONCRETE SIDEWALK
27	NOT USED
28	NOT USED
29	EXISTING ELECTRICAL BOX

LEGEND:

1	CONCRETE PAVING
2	ASPHALT PAVING
3	TEXTURED CONCRETE
4	LANDSCAPED AREA

- GENERAL NOTES:**
- FOR SITE GRADING & SURVEY DATA REFER TO CIVIL DRAWING NO. 1403-1 PREPARED BY HUB ENGINEERING INC.
 - FOR SITE SERVICES REFER TO DRAWING NO. 1403-2 PREPARED BY HUB ENGINEERING INC.
 - FOR STORM MANAGEMENT PLAN REFER TO DRAWING NO. 1403-3 PREPARED BY HUB ENGINEERING INC.
 - FOR LANDSCAPING REFER TO LANDSCAPE DRAWINGS PREPARED BY JONATHAN LOSSE LTD.
 - FOR GEOTECHNICAL INFORMATION REFER TO GEOTECHNICAL REPORT DATED 2014 FILE NO. 1403-4
 - FOR TOPOGRAPHIC SURVEY REFER TO SURVEY DRAWING FILE NO. 10750 PREPARED BY STEPHEN MILNER, B.C. LAND SURVEYOR.

PRELIMINARY ISSUES HAVE LETTERS (A, B etc.)
WORKING ISSUES HAVE NUMBERS (1, 2 etc.)
REVISIONS HAVE LETTERS ADDED (A, B etc.)

NO.	DATE	REMARKS
1	OCT 10 2014	ISSUED FOR DP

ISSUE:

CONSULTANT:

NORTH:

CLIENT:

PRISM CONSTRUCTION LTD

PROJECT:

NEW BUILDING
FOR
MERCANA
ART DECOR & HOME FURNISHINGS

320 & 325 189th STREET
SURREY, BC

ARCHITECTURE AND ENGINEERING
101 - 525 WEST 8TH AVENUE
VANCOUVER, B.C. V5Z 1S4
Email: mich@ctadesign.net
TEL: 604 736-2554
FAX: 604 732-7451
www.ctadesign.net

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A Division of Prism Construction Ltd.

Without disclaimer a shall also provide no warranty or representation. The General Contractor shall verify dimensions, dates and details prior to construction. All errors and omissions shall be reported to CTA Design Group. Do not proceed with any possession of "FOR CONSTRUCTION" drawings.

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TITLE:
SITE PLAN

DRAWN: OL CHECKED:

DIRECTORY: H:\Current\1413 MERCANA\

SCALE: 1:300 M SHEET: 14

DRAWING NUMBER
1413 A101 1

APPENDIX II

PRELIMINARY ISSUES HAVE LETTERS (A, B etc.)
 WORKING ISSUES HAVE NUMBERS (1, 2 etc.)
 REVISIONS HAVE LETTER ADDED (CA, CB etc.)

NO.	DATE	REMARKS
1	OCT 10 09	ISSUED FOR DP

SCALE:

CONSULTANT:

NOV: SEAL:

CLIENT:

PRISM CONSTRUCTION LTD

NEW BUILDING
 FOR
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1ST FLOOR & BASEL SUPERMARKET

3280 & 3288 189th STREET
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ARCHITECTURE AND ENGINEERING
 01 - 923 W EST 8TH AVENUE
 VANCOUVER, B.C. V5Z 1E4

Tel: 604 736-2356
 FAX: 604 733-7451
www.ctadesigngroup.com

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Without dimensions and title precedence over scaled dimensions. The General Contractor shall verify all dimensions, dates and levels prior to commencement of work. All errors and omissions shall be reported immediately to CTA Design Group. Do not proceed with any work until in possession of "FOR CONSTRUCTION" drawings.

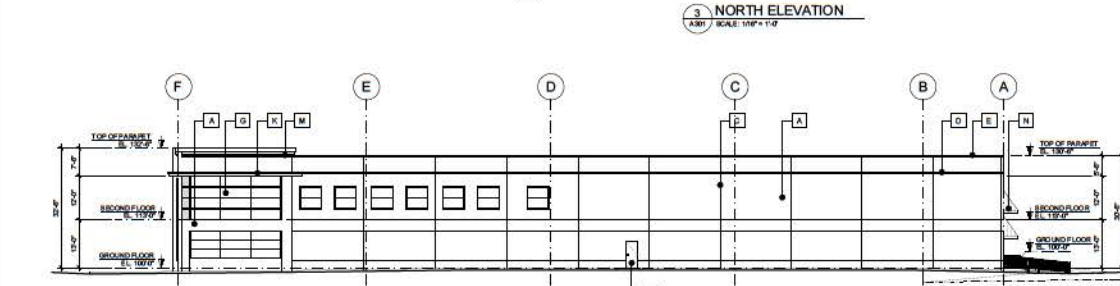
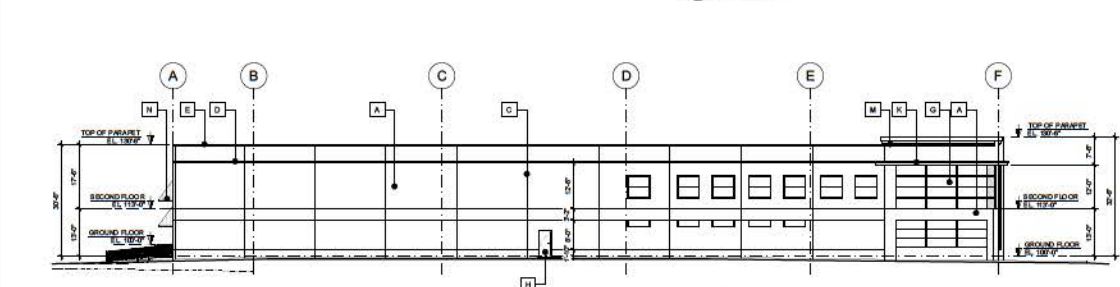
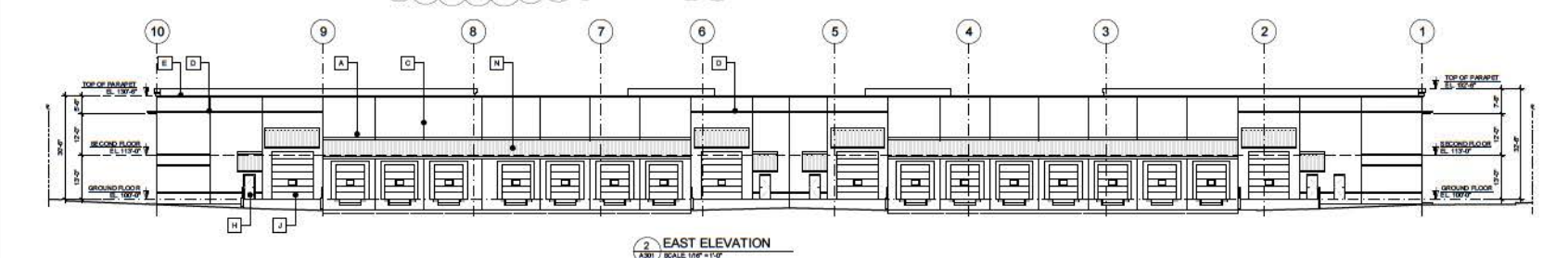
Copyright reserved. This drawing and all its contents are the exclusive property of CTA Design Group and may not be reproduced or altered without written consent of CTA Design Group.

TITLE:
BUILDING ELEVATIONS

DRAWN	CL	CHECKED	GD
DIRECTOR: H. CURRITT 413 AR. MERCANA@cta.ca			

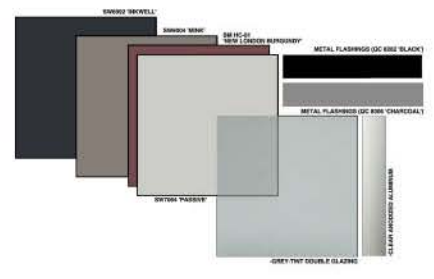
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DRAWING NUMBER: **1413 A301** VERSION: **1**



MATERIALS LEGEND

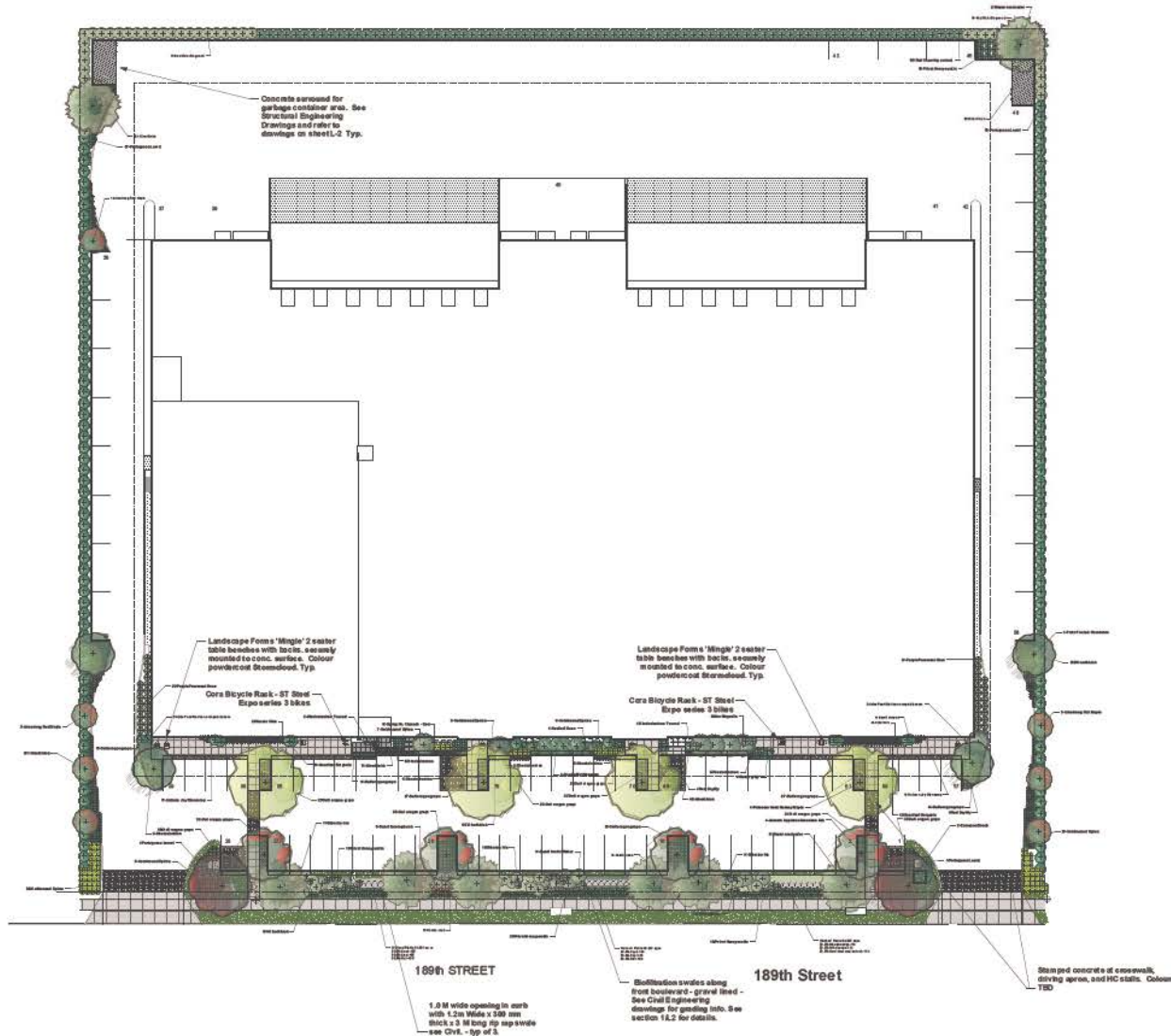
- PAINTED CONCRETE TILE PANEL
- FELD COLOUR
- ACCENT COLOUR
- LATTICE ATTACHED TOWARD (REF. TO LANDSCAPE DWGS.)
- OULDED PANEL AD INT
- CASIR REVEAL
- PREFINISHED METAL LATHING
- COPPER OVERFLOWS/CUPPER
- GLAZING IN CURTAIN WALL FRAME
- TINTED GLAZING AS SPECIFIED
- SPANNERS, GLAZING AS SPECIFIED
- PAINTED HOLLOW METAL DOOR AS SPECIFIED
- ONSHED SECTIONAL DOOR AS SPECIFIED
- CANOPY
- GALVANIZED STEEL RINE BOLLARD
- PAINT SAFETY YELLOW
- MANUFACTURE CORNICE
- PREFINISHED CORRUGATED METAL CANOPY
- PAINTED CONCRETE UPSTND



10/10/09 HCC: [unclear] HCC: [unclear]



NEW FACILITY FOR
MERCANA ART DECOR & HOME FURNISHINGS
189TH ST SURREY BC



PLANT LIST		Common Name	Quantity	Scheduled Size	Notes
TREES					
APop	Acer platanoides 'Princeton Gold'	Princeton Gold Norway Maple	4	5cm cal.	B & B
Am	Acer rubrum 'Armstrong'	Armstrong Red Maple	7	5 cm cal.	B & B
Am	Acer rubrum 'Frans Fontaine'	Frans Fontaine Hornbeam	4	5cm cal.	B & B
Eu	Fagus sylvatica purpurea	European Beech	2	5cm cal.	B & B
F&A	Fragaria americana 'Autumn Purple'	Autumn Apple/Red American Ash	4	5cm cal.	B & B
Tp	Thuja plicata	Western Redcedar	8	2.0 M Ht.	B & B
SHRUBS					
Bc	Berberis cordifolia	Heartleaf Berberis	76	#1 pot.	Cont.
Caob	Carex obovata	SloUGH sedge	353	10cm	Cont.
CaS	Carex stricta	Spike sedge	353	10cm pot.	Cont.
Chsp	Chamaelirium lictor 'Petal Peak'	Adonis Pearl Marigold orange blossom	5	#3 pot.	Cont.
Ch	Chamaelirium lictor	Adonis Pearl Marigold	12	#1 pot.	Cont.
Co	Cornus sericea	Red-Outer Dogwood	47	#2 pot.	Cont.
Ec	Eucymus alata 'Compacta'	Dwarf burning bush	8	#2 pot.	Cont.
Ham	Hemerocallis 'Red'	Red Daylily	12	#1 pot.	Cont.
Is	Isis glabra	Sheep Iris	40	#1 pot.	Cont.
LD	Latin Name	Common Name	0	Scheduled Size	Notes
Lp	Lonicera cilicaria	Privet Honeyuckle	58	#2 pot.	Cont.
Msa	Magnolia stellata	Star Magnolia	8	#20 pot. 1.2 5m Ht.	Cont.
Mh	Mehonia media 'Cherry'	Cherry Mahonia	10	#5 pot.	Cont.
Mh	Mehonia pacifica	Dull Oregon grape	337	#1 pot.	Cont.
Od	Osmunda cinnamomea	Sweet Olive	40	#2 pot.	Cont.
Pl	Prunus laurocerasus	Portuguese Laurel	145	#2 pot.	Cont.
Rh	Rhododendron 'Jean Marie de Montpelier'	Rhododendron 'Trianon'	6	#5 pot.	Cont.
Rh	Rhododendron hotel	Rhododendron	30	#2 pot.	Cont.
Rb	Ribes sanguineum	Red flowering currant	80	#2 pot.	Cont.
Rp	Rosa glauca	Red-leaf Rose	4	#5 pot.	Cont.
Rp	Rosa rugosa	NOODLE rose	24	#2 pot.	Cont.
RPP	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	43	#2 pot.	Cont.
Rsp	Rubus spectabilis	Salmoneberry	18	#2 pot.	Cont.
Scn	Salix caprea 'nana'	Dwarf Arctic Willow	11	#2 pot.	Cont.
ScP	Salix purpurea	Heart-stemmed bulrush	353	10 cm x 10cm	Cont.
ScP	Salix purpurea 'Joy'	Autumn Joy Stonecrop	25	#1 pot.	Cont.
SG	Spiraea 'Goldmound'	Goldmound Spirea	86	#2 pot.	Cont.
Vp	Viburnum coccineum f. tomentosum 'Maries'	Doublefile Viburnum	4	#2 pot.	Cont.
GROUNDCOVER					
Am	Ascorrhynchus oval-leaf	Kimbleick	1157	#1 pot.	Cont.
Mh	Mehonia nervosa	Dull Oregon grape	144	#1 pot.	Cont.

LANDSCAPE NOTES

1. Size on the planting plan shall be considered minimum sizes.
2. All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to be the satisfaction of the Landscape Standards for nursery stock. Conduct search for plant material to Washington, Oregon, California, and B.C.
3. Root balls to be free of pernicious weeds.
4. Top soil mixture for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. C/N ratio, pH, and sulphate S²⁻ for lawn areas. If turf beds are required, cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and make amend.
5. Provide positive grade away from buildings and toward lean drains and catch basins. Slope away from building at a minimum of 2%. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixture and finish grading. Slope towards lean basins at min. 4%.
6. Landscape Contractor is to provide 66 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Goodness' as per British Columbia Landscape Standards. Contractor provides a one-year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
7. Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at 90 cm of existing trunks, trees, and shrub beds which are to remain. Maintain the fencing during construction. No trucks or materials or equipment or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protection fencing and landscape as directed.
8. Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
9. All landscaping to have high efficiency irrigation system to BASC standards.



Cobblestone Stamped Concrete Pattern at edge of plazas



Landscape Forms Mingle 2 seat table and benches

Oct. 15 '14	For DP re-submission
Sept. 11 '14	For DP submission
June 26 '14	For Review

Revisors:
 **Jonathan Loson Ltd.**
 Landscape Architecture
 810 - 1641 W. 2nd Ave.
 Vancouver, B.C. V6J 1P9
 Ph: 604-681-0001
 Email: info@jonathanloson.com

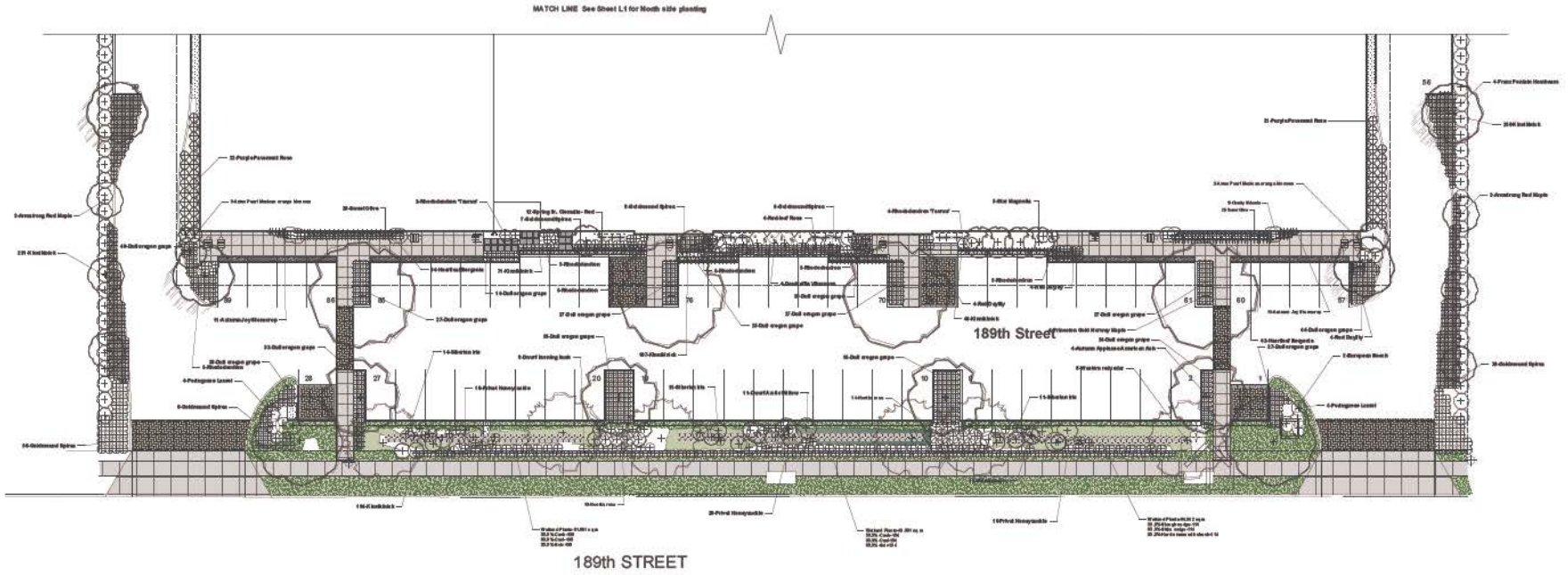
Project:
 Warehouse Building for
Mercana
 3250/3288 189 Street, Surrey, B.C.

Sheet Title:
Illustrative Landscape Plan

Scale: 1:300
 Date:
 Project No: 2014-21

L-1a





ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
PLANT LIST					
TREES					
AFGo	Acer glabroides 'Princeton Gold'	Princeton Gold Norway Maple	4	5cm cal	B & B
Ar	Acer rubrum 'Armstrong'	Armstrong Red Maple	7	5 cm cal	B & B
ChFF	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	4	5cm cal	B & B
Fr	Fraxinus sylvatica purpurea	European Beech	2	5cm cal	B & B
RAAA	Rhus americana 'Autumn Purple'	Autumn Redwing American Ash	4	5cm cal	B & B
Tp	Thuja plicata	Western redcedar	8	2.0 M Ht.	B & B
SHRUBS					
Bc	Berberis cordifolia	Hardy Berberis	7.6	#1 pot	Cont.
Coob	Carex obovata	Sedge sedge	3.53	10cm	Cont.
CaSl	Carex stricta	Silka sedge	3.53	10cm pot	Cont.
Orap	Ornithogalum 'Slateo Pearl'	Little Pearl Mexican orange blossom	5	#1 pot	Cont.
Co	Comarostaphylis rubra	Spotted Br. Cornelia - Red	1.2	#1 pot	Cont.
Co	Comus serotina	Red-Osier Dogwood	4.7	#2 pot	Cont.
Bi.c	Buottanum sibiricum 'Compacta'	Dwarf burning bush	8	#2 pot	Cont.
Hem	Hemerocallis x 'Red'	Red Daylily	1.2	#1 pot	Cont.
Is	Isis sibirica	Siberian Iris	4.0	#1 pot	Cont.
GRASSES					
Lp	Lonicera caerulea	Privet Honeyuckle	5.8	#2 pot	Cont.
Mis	Miscanthus sinensis	Star Miscanthus	8	#20 pot, 1.25m Ht.	Cont.
Mis	Miscanthus meyeri 'Charity'	Charity Miscanthus	1.0	#5 pot	Cont.
Mn	Melicope meyeri	Dull cretan grape	3.37	#1 pot	Cont.
Oj	Oleander	Sweet Olive	4.0	#2 pot	Cont.
P	Prunus laurocerasus	Portuguese Laurel	1.45	#2 pot	Cont.
RH	Rhododendron 'Jean Marie de Montcalm'	Rhododendron 'Jean'	8	#5 pot	Cont.
Rh	Rhododendron hybrid	Rhododendron	3.0	#2 pot	Cont.
Ra	Ribes sanguineum	Red-flowering currant	8.0	#2 pot	Cont.
Rg	Rosa glauca	Red-leaf Rose	4	#5 pot	Cont.
Rn	Rosa rugosa	Nootka rose	2.4	#2 pot	Cont.
RFP	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	4.3	#2 pot	Cont.
Rub	Rubus spectabilis	Salmosberry	1.8	#2 pot	Cont.
Sa	Salix purpurea 'Insel'	Dwarf Arctic Willow	1.1	#2 pot	Cont.
Scir	Scirpus baccatus	Hard-stemmed bulrush	3.53	10 cm plug	Cont.
SerA	Spiraea 'Autumn Joy'	Autumn Joy Spirea	2.5	#1 pot	Cont.
SO	Spirea 'Goldmound'	Goldmound Spirea	8.6	#2 pot	Cont.
Va	Viburnum plicatum f. tomentosum 'Mariesii'	Doublefile Viburnum	4	#2 pot	Cont.
GROUNDCOVER					
Ar	Arctostaphylos uva-ursi	Manzanilla	1.57	#1 pot	Cont.
Mn	Melicope meyeri	Dull cretan grape	1.44	#1 pot	Cont.

Oct 11 '14	For DP re-submission
Sept 11 '14	For DP submission
June 29 '14	For Review

Revised:

Jonathan Losen Ltd.
Landscape Architecture

#105 - 1861 W. 2nd Ave.
Vancouver, B.C. V6J 1T6
PH: 604-669-1003
Email: jlo@jlo-ltd.com

Project:
Washburn Building for
Mercana
3250/3258 189 Street, Surrey, B.C.

Sheet Title:
Planting Plan - South Side

Scale: 1:200

Date:
19/04/14
20/14/21

L-1b

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 10, 2014** PROJECT FILE: **7814-0199-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 3250/3288 - 189 Street**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit:

- Completion and acceptance (placed on maintenance) of Surrey Project 7812-0160-00.
- Remove redundant service connections pursuant to consolidation.
- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7812-0160-00 and address through the BP process.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager

LR

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0199-00

Issued To: 1001238 B.C. LTD.
Address of Owner: 1525 – Cliveden Avenue, Unit 201
Delta, BC V3M 6L2

Issued To: MERCANA ENTERPRISES LTD.
MERCANA ART DÉCOR
Address of Owner: 13478 - 78 Avenue, Unit 16
Surrey, BC V3W 8J6

(collectively referred to as "the Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-167-043
Lot 5 Section 28 Township 7 New Westminster District Plan EPP31532

3288 - 189 Street

Parcel Identifier: 029-167-060
Lot 7 Section 28 Township 7 New Westminster District Plan EPP31532

3250 - 189 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

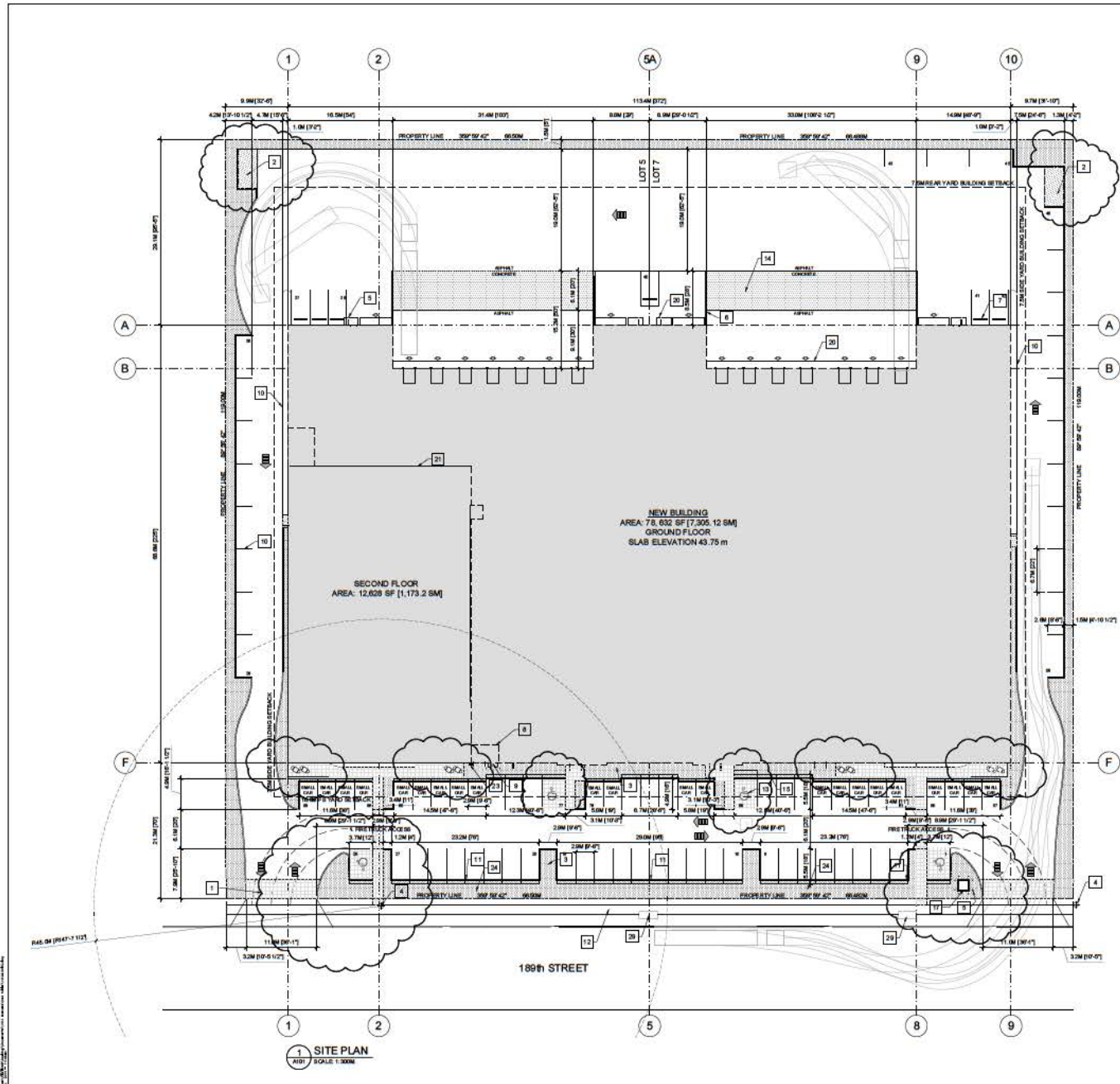
- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

- 4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Part 5 Parking and Loading/Unloading Section D Sub-section 3(b), the minimum width for a maneuvering aisle is varied from 7.5 metres [25 ft.] to 4.7 metres [15.4 ft.] for the drive-aisles on the north and south sides of the proposed building.
- 5. The siting of buildings and structures shall be in accordance with the site plan, as shown in Schedule A, which is attached hereto and forms part of this Development Variance Permit.
- 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
- 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
- 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Dianne L. Watts

City Clerk – Jane Sullivan



1 SITE PLAN
SCALE: 1:300M

- KEYNOTES:**
- STAMPED CONCRETE - SEE LANDSCAPE DRAWINGS
 - REPAIR STORAGE AREA WITH CONCRETE PAD
 - LANDSCAPED AREA - SEE LANDSCAPE DRAWINGS
 - EXISTING FIRE HYDRANT
 - BOLLARDS
 - CONCRETE RETAINING WALL WITH STEEL GUARDRAIL
 - CONCRETE WHEEL STOP
 - SERVICE ROOM - SEE GROUND FLOOR PLAN
 - DRG METER W/ ENCLOSURE - SEE MECHANICAL DRAWINGS
 - PAINTED LINES (PARKING LINES)
 - 1.0M CURB CUT-OUT - SEE CIVIL DRAWINGS
 - EXISTING CITY SIDEWALK
 - PAINTED HC PARKING SYMBOL
 - CONCRETE DOLLY PAD
 - PARKING STALL LANDSCAPE FROM AVE. 2' DEEP TYPICAL
 - NOT USED
 - BC HYDRO HOSE
 - NOT USED
 - NOT USED
 - OUTLINE OF CANOPY BELOW
 - OUTLINE OF SECOND FLOOR ABOVE
 - NOT USED
 - FIRE DEPARTMENT W/ WASTE CONNECTION
 - RAIN GARDEN - REFER TO LANDSCAPE & CIVIL DWGS.
 - OUTLINE OF WALKS BELOW
 - CONCRETE SIDEWALK
 - NOT USED
 - NOT USED
 - EXISTING ELECTRICAL BOX

- LEGEND:**
- CONCRETE PAVING
 - ASPHALT PAVING
 - TEXTURED CONCRETE
 - LANDSCAPED AREA

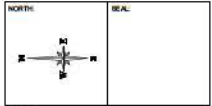
- GENERAL NOTES:**
- FOR SITE GRADING & SURVEY DATA REFER TO CIVIL DRAWING No. 1403-1 PREPARED BY HUB ENGINEERING INC.
 - FOR SITE SERVICES REFER TO DRAWING No. 1403-2 PREPARED BY HUB ENGINEERING INC.
 - FOR STORM MANAGEMENT PLAN REFER TO DRAWING No. 1403-3 PREPARED BY HUB ENGINEERING INC.
 - FOR LANDSCAPING REFER TO LANDSCAPE DRAWINGS PREPARED BY JONATHAN LOUZE LTD.
 - FOR GEOTECHNICAL INFORMATION REFER TO GEOTECHNICAL REPORT DATED 2014 FILE NO. 1403-4
 - FOR TOPOGRAPHIC SURVEY REFER TO SURVEY DRAWING FILE NO. 10750 PREPARED BY STEPHEN MULNER, B.C. LAND SURVEYOR.

PRELIMINARY ISSUES HAVE LETTERS (A, B etc.)
WORKING ISSUES HAVE NUMBERS (1, 2 etc.)
REVISIONS HAVE LETTERS ADDED (A, B etc.)

NO.	DATE	REMARKS
1	OCT 10 2014	ISSUED FOR DP

ISSUE:

CONSULTANT:



CLIENT:

PROJECT:
NEW BUILDING
 FOR

 328 & 328B 189th STREET
 SURREY, BC

ARCHITECTURE AND ENGINEERING
 101 - 525 WEST 8TH AVENUE
 VANCOUVER, B.C. V5Z 1S4
 Email: info@ctadesign.net
 TEL: 604 736-2554
 FAX: 604 732-7451
www.ctadesign.net

 A member of CTA GROUP

7914-0199-00
SCHEDULE A
 Copyright reserved. This drawing is the property of CTA GROUP and shall not be reproduced or altered without its consent.
 TITLE:
SITE PLAN

DRAWN: CL
 DIRECTORY: H:\Current\1413
 SCALE: 1:300 M
 DRAWING NUMBER: 1413 A'