112 AVE 104 AVE GUILDFORD 96 AVE 88 AVE FLEETWOOD 80 AVE **72 AVE** NEWTON CLOVERDALE 64 AVE 56 AVE **48 AVE** 20 ST 40 AVE 32 AVE SOUTH SURREY **24 AVE 16 AVE** 144 ST 152 ST 136 ST 8 AVE 160 ST 0 AVE 184 ST 192 ST 168 ST 176 ST

City of Surrey PLANNING & DEVELOPMENT REPORT File: 7914-0231-00

Planning Report Date: December 15, 2014

PROPOSAL:

- Development Permit
- Development Variance Permit

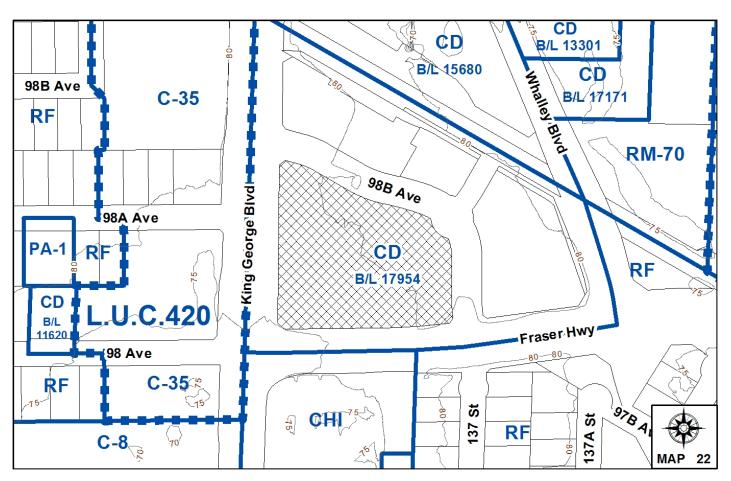
in order to permit the development of Phase 2 of a mixed-use development, consisting of 2 residential towers (39-storey and 12-storey) and 13-storey office building with lower level commercial uses.

LOCATION: 9808 - King George Blvd

OWNER: KGS Holdings Ltd.

ZONING: CD By-law No. 17954

OCP DESIGNATION: Central Business District



RECOMMENDATION SUMMARY

- Approval to reduce indoor amenity space.
- Approval to reduce outdoor amenity space.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

 Seeking to vary the Sign By-law to allow for free-standing, fascia, third party, changeable copy, under awning, projecting, roof and banner signs, and to increase the height, number and sign area of these various signs.

RATIONALE OF RECOMMENDATION

- Complies with the "Central Business District" designation in the OCP.
- Complies with the "Mixed-Use 5.5 FAR" designation in the City Centre Plan.
- The proposed development complies with the City's Employment Lands Strategy and Economic Development Strategy, as an employment generator for the City.
- The proposed density and building form are appropriate for this part of City Centre and consistent with the zoning approved for this site on December 16, 2013.
- The proposed development conforms to the goal of achieving high density development nodes around the three SkyTrain stations.
- The signage has been comprehensively designed to be integrated with the design of the buildings and is high quality and appropriate in scale.
- The signage is required to provide wayfinding for the commercial component of the development and to be visible from the four road frontages, as well as to guide patrons to their stores.

RECOMMENDATION

The Planning & Development Department recommends that:

- 1. Council approve the applicant's request to reduce the amount of required indoor amenity space for Tower 1 (at the southwest corner), from 708 square metres (7,621 square feet) to 633.2 square metres (6,816 square feet).
- 2. Council approve the applicant's request to reduce the amount of required outdoor amenity space for Tower 5 (at the southeast corner), from 519 square metres (5,586 square feet) to 504.7 square metres (5,433 square feet).
- 3. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
- 4. Council authorize staff to draft Development Permit No. 7914-0231-00, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix III).
- 5. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (e) registration of a statutory right-of-way for pedestrian right-of-passage through the plaza;
 - (f) the applicant adequately address the impact of reduced indoor amenity space for Tower 1 (at the southwest corner); and
 - (g) the applicant adequately address the impact of reduced outdoor amenity space for Tower 5 (at the southeast corner).

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REFERRALS

The Engineering Department has no objection to the project, Engineering:

subject to the completion of Engineering servicing requirements, as

outlined in Appendix III.

School District: Projected number of students from this development:

12 Elementary students at Simon Cunningham Elementary School

5 Secondary students at Queen Elizabeth Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by November,

2018.

Surrey Fire Department: The Fire Department has provided comments and their comments

will be incorporated into the design prior to submission of the

Building Permit application.

TransLink: TransLink has indicated a concern regarding the naming of the

development "King George Station" which TransLink indicates is

proprietary. The applicant is resolving this issue.

Ministry of Environment

(MOE)

The larger development site was remediated in November 2013 in conjunction with Application No. 7912-0332-00. In June 2014, the

applicant applied for the necessary Certificate of Compliance. The

Certificate of Compliance was issued in October 2014.

SITE CHARACTERISTICS

Medical building to be removed. Existing Land Use:

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 98B Avenue):	10-storey Coast Capital building currently under construction, approved under Development Permit No. 7912-0332-01.	Central Business District	CD By-law No. 17954

Direction	Existing Use	OCP Designation	Existing Zone
East (Across 137 Street):	Existing surface parking lot. Future redevelopment site for multiple residential towers.	Central Business District	CD By-law No. 17954
Further East (Across Whalley Boulevard):	Mid-rise apartment building.	Central Business District	RM-70
	Quibble Creek and SkyTrain Guideway. Proposed location of District Energy facility.	Central Business District	RF
South (Across Fraser Highway):	Existing church and single family dwellings.	Central Business District	CHI and RF
West (Across King George Boulevard):	Holland Pointe proposed development, currently on hold under Application No. 7908-0207-00 and existing mid-rise apartment building.	Central Business District	LUC No. 420 (underlying C-35 Zone)

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is located at 9808 King George Boulevard. The parent property was rezoned on December 16, 2013 and subdivided into four (4) lots, as part of Development Application No. 7912-0332-00. General Development Permit No. 7912-0332-00 was also approved to guide the general design for the larger development site.
- As part of this approval, road dedication for the new 98B Avenue/137 Street was conveyed to the City, along with road dedications for the widening of King George Boulevard, for the future Light Rapid Transit (LRT) connection to the south and along the north, adjacent the SkyTrain corridor, for connection ultimately to the east to Langley.
- One of the four (4) newly created lots is the site of the 10-storey Coast Capital headquarters building (Phase 1) currently under construction to the north of the subject property (approved under Development Permit No. 7912-0332-01).
- The subject application is on the largest of the 4 newly created lots.

Development Proposal

• The proposal is for a mixed-use office, retail and multiple residential development, consisting of the following:

- o 21,931 square metres (236,060 sq.ft.) of retail floor area on two levels;
- o 16,214 square metres (174,531 sq.ft.) of office space on levels 3 to 13 of the 39-storey, mixed use, high rise;
- o 236 dwelling units (intended to be marketed) on levels 14 to 39 of the 39-storey, mixed use, high rise; and
- o 173 dwelling units (intended to be rental) in a 12-storey mid-rise.
- The program for the commercial space consists of two large format retail spaces, surrounded by smaller commercial retail units (CRUs). The two large format retail uses will be a grocery store and a drug store. The second floor of the retail podium will consist of a fitness centre, movie theatre and restaurants.
- The proposal has changed from the original master plan proposal, which was approved under General Development Permit No. 7912-0332-00. Previously, a 15-storey office tower and a 21-storey rental residential tower were proposed over a 2-storey commercial podium.
- The revised development proposal still complies with the maximum 5.5 floor area ratio (FAR) prescribed for this subject lot (Block B). However, the 15-storey office tower has now been replaced with a 39-storey office and residential tower and the 21-storey rental building has now been replaced with a 12-storey residential rental tower.
- It should be noted that the applicant has indicated their intent to stratify all the dwelling units, but market only those 236 dwelling units proposed in the 39-storey high-rise tower. The remaining 173 dwelling units proposed in the 12-storey mid-rise building are intended to be rented. The provision of rental housing is not a requirement of the City and therefore no Housing Agreement is proposed to ensure these units remain rental.
- The applicant proposes to develop this second phase (Phase B) of the development in four phases. Phase one shall encompass the 2-storey retail podium with the first six floors of office, the second phase shall consist of the 7th to 13th floors of office, the third phase shall consist of the residential portion (14th to 39th floors) of the landmark tower and the last phase shall consist of the 12-storey residential mid-rise.

Residential Tower 1

- The dwelling units intended to be marketed are located in the 14th to 39th floors of the proposed 39-storey landmark tower, located at the southwest of the subject lot. A total of 236 dwelling units are proposed and are intended to be stratified and sold individually.
- The 236 proposed dwelling units consist of the following:
 - o 36 one-bedroom units, ranging in size from 40.1 square metres (432 sq.ft.) to 40.8 square metres (439 sq.ft.);
 - o 66 one-bedroom and flex units, ranging in size from 46.1 square metres (497 sq.ft.) to 52.6 square metres (566 sq.ft.);

- o 93 two-bedroom units, ranging in size from 60.4 square metres (650 sq.ft.) to 98.1 square metres (1,056 sq.ft.);
- o 38 two-bedroom and flex units, ranging from 68.1 square metres (734 sq.ft.) to 111.9 square metres (1,205 sq.ft.); and
- o 3 3-bedroom units, ranging from 81.5 square metres (877 sq.ft.) to 86 square metres (926 sq.ft.).
- Based upon 236 dwelling units, 708 square metres (7,621 sq.ft.) of indoor amenity space and 708 square metres (7,621 sq.ft.) of outdoor amenity space are required.
- Tower 1 will provide 633.2 square metres (6,816 sq.ft.) of indoor amenity space and 772.4 square metres (8,314 sq.ft.) of outdoor amenity space. The outdoor amenity space is exceeded, but cash-in-lieu will be required for the shortfall in indoor amenity space.
- The indoor and outdoor amenity spaces will be located on the 14th floor. The indoor amenity space will consist of two (2) party rooms, meeting rooms, a library and a fitness centre. The outdoor amenity area will consist of outdoor seating, a BBQ area and an outdoor fitness area.

Residential Tower 5

- The 12-storey apartment tower, located at the southeast corner of the subject lot, is intended to offer the rental of stratified dwelling units managed by a property management company. The tower will accommodate 173 dwelling units. These 173 dwelling units will consist of the following:
 - o 59 one-bedroom units, ranging in size from 40.9 square metres (440 sq.ft.) to 52.2 square metres (562 sq.ft.);
 - o 6o one-bedroom and flex units at 54.3 square metres (585 sq.ft.);
 - o 36 two-bedroom units, ranging in size from 65.5 square metres (705 sq.ft.) to 70.4 square metres (758 sq.ft.); and
 - o 18 two-bedroom and flex units, ranging in size from 70.3 square metres (757 sq.ft.) to 73.2 square metres (788 sq.ft.).
- Based upon 173 dwelling units, 519 square metres (5,586 sq.ft.) of indoor amenity space is required, as well as 519 square metres (5,586 sq.ft.) of outdoor amenity space.
- The development proposes 532.4 square metres (5,731 sq.ft.) of indoor amenity space and 504.7 square metres (5,433 sq.ft.) of outdoor amenity space on the second floor. The indoor amenity space will include a party room with seating and a kitchen area. The outdoor amenity space includes a BBQ area and multiple seating areas.
- Cash-in-lieu will be required for the shortfall in outdoor amenity space for Tower 5.

Vehicular and Pedestrian Circulation

 Access to the underground parkade is proposed from King George Boulevard and at the central roundabout on the new 98B Avenue/137 Street. A third driveway is proposed from Fraser Highway, which will lead into the internal truck loading area, as well as a mezzanine parking area.

• The parking for the development will be located within three levels of the underground parkade and a mezzanine level.

- Truck loading and off-loading for the commercial component of the development will be internal along the driveway access from Fraser Highway.
- A plaza is proposed to be located in the heart of the project. The plaza will allow for retailers, such as the grocery and restaurants to spill out with seasonal displays and seating to animate the space. The plaza also aligns with the Coast Capital Community Plaza to the north, allowing for pedestrian access and views directly from the development to the King George SkyTrain Station. A statutory right-of-way will be secured to permit public access to this area.
- Based upon the parking ratios in CD By-law No. 17954, a total of 1,317 parking spaces will be required. The applicant is proposing 1,326 parking spaces, which is a surplus of 9 parking spaces.
- The development is required to provide 510 bicycle parking spaces and the applicant proposes 725 bicycle parking spaces, which exceeds the number required under the Zoning By-law requirements.

DESIGN PROPOSAL AND REVIEW

- The development proposes a 39-storey landmark office and high rise residential tower at the southwest portion of the development site and one 12-storey residential tower at the southeast portion, both situated on top of a 2-storey commercial podium.
- The proposed 39-storey tower will consist of 13 storeys of office and 26 storeys of dwelling units above. The office portion will target LEED Gold accreditation. The lower 6 floors of office are partial office floors which will wrap around the movie theatre and the drug store (at the second floor of the 2-storey commercial podium) to the north. The intent is to limit the blank wall of the theatre and the office provides a strong building base with an active use along the street.
- The office and residential components of the development will be distinct from one another. The residential façade will include staggered balconies to produce an iconic rhythm and texture. Offset opaque panels will link balconies between floors to produce a woven texture. The office façade will reflect a vertical grain through the use of mullion caps extended over a curtain wall.
- At grade, the building will have small commercial retail units (CRUs) facing both Fraser Highway and King George Boulevard. The building transitions from office to residential at the 14th floor. The 14th floor will become, in part, the residential amenity floor. Volumetrically, the building width transitions from 30 metres (100 ft.) wide to 18 metres (60 ft.) wide as the program changes. This change allows for the amenity to have a wraparound terrace.
- The proposed 12-storey residential building is located at the intersection of Fraser Highway and 137 Street. This building is intended to be stratified, owned by the applicant and the units rented.

• Ground floor retail will be situated at the property line along Fraser Highway and 137 Street providing active uses at the street. A residential lobby is also located on Fraser Highway. The residential building above steps back 1.5 metres (5 ft.) at the second floor providing further relief to the sidewalk. The second floor is targeted to accommodate a day care, with the outdoor area for the daycare being the terrace.

- The design of the 12-storey rental building will take the form of a slab block. The surface texture and façade expression will be consistent with the higher residential floors of the 39storey tower.
- The proposed material palette is broken up to create distinctive buildings on the site. Three (3) different colour bricks have been chosen for three of the different buildings. Brick is proposed at the ground floor along King George Boulevard, 98B Avenue and 137 Street. A combination of black and clear anodized aluminum metal finishing will be situated between vision glass storefronts to further distinguish each building in the development.
- Along Fraser Highway, the ground floor retail will be a combination of metal panel and curtain wall.
- Above the ground floor, the development will be clad in composite metal panel and will have a combination of storefront, curtain wall glazing and window wall for the residential component.

Proposed Public Art

- The applicant requested a deferral of the provision of public art from Phase A (Phase 1) of the development to Phase B (Phase 2). In consultation with the City's Public Art staff, two (2) locations for public art have been identified. One art installation will be located within the plaza, fronting 98B Avenue and the other art installation will be within the traffic circle of 98B Avenue/137 Street. The art piece within the traffic circle will be facilitated by the City's Public Art staff through funding partially contributed by the PCI Group and funding from the general Public Art fund.
- The applicant has retained a Public Art consultant to develop a design for the location in the pedestrian mews and the proposed art installation will be reviewed by the Public Art Committee in the new year.

Trees and Landscaping

- The arborist report, prepared by Alexandre Man-Bourdan, registered arborist, for PWL Partnership Landscape, for the larger site, was approved under Application No. 7912-0332-00.
- The plaza proposed in the subject application is to connect with the public plaza established to the north in the first phase with the Coast Capital development. The plaza will be paved with a combination of concrete patterns. The geometric pattern and score lines within the concrete will represent a creek which will flow from one end of the mews to the other.
- Rain gardens will be incorporated within the green roof design of the commercial podium.

- Each rain garden will be separated into angular and triangular forms retained by concrete curbs/low walls, creating a unique roof garden visible from the surrounding towers.
- Plants selected will assist in the treatment of contaminants through microbial biodegradation.
- Any remaining water that is not absorbed as it passes through the rain gardens will discharge to the stormwater sewer.

Comprehensive Sign Package

- The PCI Group has retained a signage consultant to design a comprehensive signage concept for the subject site. The signage concept has been designed to be integrated into the architectural design of the development and is intended to be reflective of an urban "village" style.
- The proposed signs are intended to be seen by drivers, travelers on the SkyTrain, as well as by pedestrians, in order to provide wayfinding to patrons and to identify and advertise the multiple tenants of the development.
- The signage concept proposes a number of sign types including free-standing, fascia, awning, under awning, changeable copy, projecting and directional signage. A hierarchy of signs is proposed. Generally each tenant will be permitted one fascia and one under awning sign for each premise frontage.
- A number of proposed signs require variances to the Sign By-law. Please see Appendix II for a detailed explanation of the variances. Staff are supportive of the variances as part of a comprehensive sign design package for the development.

Free-standing directory signs

- A total of three (3) free-standing double sided signs are proposed within the plaza area of the site. These signs are required as pedestrian directory signs and will accommodate up to 5 destinations, with an optional digital map/directory. The directory specification is intended to either be:
 - A static, fixed LED display with either a changeable displayed map including directions to adjacent public transit and tenant directory that is updated from time to time as needed; or
 - o A touchscreen map and tenant directory that allows the visitor/user to scroll and highlight wayfinding instructions to destinations at the development.
- The signs will be 4.6 metres (15 ft.) in height, which exceed the maximum height of 2.4 metres (8 ft.) under the Sign By-law for free-standing signs in the City Centre.

Fascia signs

• A number of fascia signs are proposed throughout the development. Generally, each tenant is permitted one fascia sign per premise frontage.

• A variance is required to allow 14 signs to be situated at varying heights at the second storey of the commercial podium, as the Sign By-law requires that any signage above the first storey must be located at the top floor of the building and only one (1) fascia sign per lot frontage may be located above the first storey.

- A variance is required to allow the movie theatre to have two (2) fascia signs on the north elevation.
- A variance is required to allow for the two (2) proposed office fascia signs above the ground floor to be located at the 13th floor, which is the top of the commercial component of the 39-storey mixed-use tower, for the largest office tenants.

Third-party signs

- Three (3) large fascia signs are proposed to be located along the King George Boulevard frontage to advertise the three anchor tenants: the drug store, the food store and the fitness centre. The only tenant which will have frontage on King George Boulevard will be the drug store.
- As the food store and the fitness centre do not have premise frontage on King George Boulevard, these two (2) signs require a variance to advertise on King George Boulevard, as third party advertising under the Sign By-law.

Changeable copy signs

- Three (3) changeable copy signs are proposed at the King George Boulevard frontage to advertise the feature presentations at the movie theatre.
- These signs will be single sided, with an LED static non-dynamic backlit display cabinet.
- A variance is required as the Sign By-law currently only permits changeable copy signs for charities and not for commercial businesses.

Under awning signs

- Under the Sign By-law, for multi-tenant developments, each premise is permitted one (1) under awning sign.
- The signage consultant proposes a second under awning sign for some of the larger CRUs, given the larger floor area and frontage. CRUs larger than 269.4 square metres (2,900 sq.ft.) in floor area are proposed to be permitted up to two (2) under awning signs.

Projecting signs

• Eight (8) projected signs are proposed for the development. Two (2) of the signs at King George Boulevard are to advertise the major tenants: the drug store and the food store. One (1) projecting directory sign is proposed along King George Boulevard, with the other projecting directory sign proposed at the south elevation. The remaining four (4) projecting signs are to be located at the three parkade access points to direct drivers to parking.

• Two (2) signs require variances to allow them to be located where the premises do not have premise frontage.

• Four (4) of the eight (8) projecting signs require a variance to exceed the maximum 3 square metres (32 sq.ft.) sign area.

Roof sign

- One (1) identification sign is permitted for the development. A sign to advertise the development's name "King George Station" is proposed at the north elevation of the 2-storey commercial podium.
- Although the sign is permitted as an identification sign, the sign is still considered a rooftop sign, as a small portion of the sign extends beyond the roofline of the commercial podium. Rooftop signs are not normally permitted under the Sign By-law. Staff have worked considerably with the applicant to find an acceptable location for the sign, and the proposed location is considered suitable given the intended prominence of the sign in the branding of the development. The sign will be in channel letters and centered on the fascia.

Banner signs

- Ten (10) banner signs are proposed for the development, to be installed along the King George Boulevard and 98B Avenue road frontages.
- The signs are generally to advertise seasonal or special events.
- A variance is required as banner signs are permitted only by non-profit and community organizations for special events and are meant to be temporary in nature (maximum 30 day duration). As well, the sign area will exceed the maximum 2.3 square metres (32 sq.ft.) sign area under the Sign By-law.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 1, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability	Sustainable Development Features Summary
Criteria	
1. Site Context &	Located within the City Centre Plan area.
Location	• The site is in an urban infill area and within a frequent transit area.
(A ₁ -A ₂)	• The proposed development is consistent with the "Central Business
	District" designation of the new OCP, adopted on October 20, 2014
	and the "Mixed-use 5.5 FAR" designation of the City Centre Plan.

Sustainability	Sustainable Development Features Summary
Criteria	
2. Density & Diversity (B1-B7)	 Complies with the "Mixed-use 5.5 FAR" designation of the City Centre Plan. FAR of 4.73 is proposed. The proposed development includes a mix of land uses, including multiple residential, retail and office. The proposed development will include a range of unit sizes to suit a variety of household types. The development proposes purpose-built stratified rental units.
3. Ecology & Stewardship (C1-C4)	 The proposed development will incorporate Low Impact Development Standards (LIDS) in its design. The proposed development will contain provisions for recycling and space will be available for future strata if they would like to deal with organic waste.
4. Sustainable Transport & Mobility (D1-D2)	 The proposed development will include provisions to reduce private vehicle use reduction and emission reduction measures, such as shared parking, electric vehicle plug-ins and secured all-weather bicycle parking. The development will include pedestrian and cycling oriented infrastructure/direct external network linkages, including: connection to off-site pedestrian and multi-use paths, pedestrian-specific lighting, direct pedestrian linkages to transit stops, showers and change facilities, bike racks and lockers and preferential carpool parking.
5. Accessibility & Safety (E1-E3)	 The design of the development will incorporate Crime Prevention Through Environmental Design (CPTED) principles. The proposed development will provide for adaptable and/or accessible units as the market demands. The proposed development will provide for different age groups and/or life stages with a day care centre on the second floor of the commercial podium.
6. Green Certification (F1)	• The applicant is seeking LEED Gold certification for the office component of Tower 1. The retail and the residential components, in following the LEED Campus approach and sharing many of the same systems (stormwater management, green roofs, etc.) are intended to be LEED certified.
7. Education & Awareness (G1-G4)	• Under the LEED Core and Shell criteria, a LEED credit is provided for developing a Green Building Education Plan. New tenants will be educated about the unique and particular features of the LEED building.

ADVISORY DESIGN PANEL

ADP Date: September 11, 2014

All of the ADP recommendations have been satisfactorily resolved, except for some minor coordination of the architectural, landscape and signage drawings and the landscape drawings require some further revisions. These revisions shall be resolved prior to Final Approval of the Development Permit.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners, Action Summary and Project Data Sheets

Appendix II. Proposed Sign By-law Variances Table

Appendix III. Site Plan, Building Elevations, Landscape Plans, Perspective and Signage

Concept

Appendix IV. Engineering Summary
Appendix V. School District Comments

Appendix VI. ADP Comments and the Applicant's Responses

INFORMATION AVAILABLE ON FILE

• Complete Set of Architectural, Signage Concept and Landscape Plans prepared by Musson Cattell Mackey Partnership, EDG Experience Design Group and PWL Landscape Partnership, respectively, dated December 3, December 3 and July 30, 2014.

original signed by Judith Robertson

Jean Lamontagne General Manager Planning and Development

PL/da

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Greg Mitchell

PCI Developments Corp.

Address: 1030 - West Georgia Street, Suite 1700

Vancouver, BC V₃T ₄Y₃

Tel: 604-331-5238

2. Properties involved in the Application

(a) Civic Address: 9808 - King George Blvd

(b) Civic Address: 9808 - King George Blvd

Owner: KGS Holdings Ltd.

PID: 029-337-071

Lot 4 Section 35 Block 5 North Range 2 West New Westminster District Plan EPP32216

3. Summary of Actions for City Clerk's Office

(a) Proceed with Public Notification for Development Variance Permit No. 7914-0231-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 17954

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)	Waximum /mowcu	
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		14,514.3 sq.m.
		100 100-4
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		87.34 %
Paved & Hard Surfaced Areas		12.66 %
Total Site Coverage		100 %
<u> </u>		
SETBACKS (in metres)		
King George Boulevard	o m	o m
Fraser Highway	o m	o m
98B Avenue	o m	o m
137 Street	o m	o m
BUILDING HEIGHT (in metres/storeys)		
Tower 1		132 m / 39 storeys
Tower 5		42.3 m / 12 storeys
NUMBER OF RESIDENTIAL UNITS		
One Bed		36
One Bed and flex		66
Two Bedroom		93
Two Bedroom and flex		38
Three Bedroom		3
Total		409
FLOOR AREA: Residential		30,456 sq.m.
-		
FLOOR AREA: Commercial		
Retail		21,931 sq.m.
Office		16,214 sq.m.
Total		38,145 sq.m.
FLOOR AREA: Industrial		N/A
THOOD ADDA A		> 7.7.4
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		68,601 sq.m.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	5.5	4.73
AMENITY SPACE (area in square metres)		
Indoor – Tower 1	708 sq.m.	633.2 sq.m. (cash- in-lieu req.)
Tower 5	519 sq.m.	532.4
Outdoor – Tower 1	708 sq.m.	772.4
Tower 5	519 sq.m.	504.7 (cash-in- lieu req.)
PARKING (number of stalls)		
Commercial		
Office:		276
Retail:		535
Restaurant:		74
Day care		46
Residential		
Residential Bachelor + 1 Bedroom		188
2-Bed		185
3-Bed		3
Residential Visitors		19
Institutional		N/A
Total Number of Parking Spaces		1,326
Number of disabled stalls		26
Number of small cars		189
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	No	Tree Survey/ Assessment Provided	No (provided under
			Application No. 7912-
			0332-00)

MULTIPLE BUILDINGS DATA SHEET

Existing Zoning: CD By-law No. 17954

Required Development Data	Tower 1 (market condos)	Tower 5 (rental)	Retail
SETBACK (in metres)			
King George Blvd	o m	o m	o m
Fraser Hwy	o m	o m	o m
98B Ave	o m	o m	o m
137 Street	o m	o m	o m
BUILDING HEIGHT (in metres/storeys)			
NUMBER OF RESIDENTIAL UNITS/			
SIZE RANGE			
One Bedroom	36	59	
One Bedroom and Den	66	6o	
Two Bedroom	93	36	
Two Bedroom and Den	38	18	
Three Bedroom	3		
TOTAL	236	173	
TOTAL FLOOR AREA	18,415 sq.m.	12,041 sq.m.	21,931 sq.m.

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow for three (3) free-standing directory signs at 4.6m (15 ft.) in height.	The maximum height of free-standing signs in the City Centre is 2.4m (8 ft.) (Part 5, Section 27(1)(k) and Schedule 1.A).	Given the mixed-use development and proximity to multi-modal public transit options, prominent illuminated pedestrian maps and other easily seen wayfinding is proposed on these signs.
2	To allow for two (2) fascia signs along the north elevation of the movie theatre.	Two (2) fascia signs on the same façade of the premise are only permitted when the premise has a floor area of 3,000 square metres (32, 290 sq.ft.) or more (Part 5, Section 27.(2)(a)).	Given the large floor area of the movie theatre (3,716 sq.m./40,000 sq.ft.), the two (2) signs at the north elevation are appropriate.
3	To allow for fourteen (14) fascia signs to be mounted at varying heights above the ground floor on the commercial podium, to allow for two (2) fascia signs to be mounted at the top floor of the office roof deck (Level 13) of the 39-storey mixed-use building and to allow for three (3) static changeable copy signs for the movie theatre. In total, nineteen (19) fascia signs require variances.	Fascia signs above the first storey must be located at the top floor of the building (Part 5, Section 27 (2)(a.1)iii) and, a maximum of one (1) fascia sign per lot frontage may be located above the first storey (Part 5, Section 27(2)(a.i)ii.).	Proposed fascia signs are to be located at the top of the 2-storey commercial podium, at varying mounting heights, to provide animation to the exterior street façade and exposure for second floor tenants. Of the mixed-use 39-storey building, the top floor of the office component is the 13 th floor and therefore this is where the office tenant fascia signage is proposed to be located. The movie theatre needs to be able to promote the feature presentations.
4	To allow for two (2) third party signs along King George Boulevard.	Third party advertising shall be limited to 30% of the copy area of a sign (Part 1, Section 6(11)).	The applicant would like to utilize the exposure of King George Boulevard to advertise two of its major tenants, which do not have premise frontage on King George Boulevard. The intent of these signs is to provide drive-by identity and visual presence for larger inward facing anchor tenants.

5	To allow for one (1) additional under awning sign, up to a maximum of two (2) signs, for commercial retail units which exceed 269.4 square metres (2,900 sq.ft.) in floor area.	Only one (1) under awning sign is permitted per premise in a multi-tenant building (Part 5, Section 27.(4)(a)).	The additional under awning signs are required to correspond with tenant signage and longer premise frontage areas.
6	To allow for two (2) projecting signs which are not attached to their premises.	A projecting sign is required to be attached to the premise to which it pertains (Part 5, Section 27 (4) (a)ii.a.).	There are several inward facing anchor retail tenants and 3 major entrances to the parkade which require street identity.
7	To allow for four (4) projecting signs to exceed the 3 square metres (32 sq.ft.) sign area.	A maximum sign area of 3 square metres (32 sq.ft.) is permitted (Part 5, Section 27(4)(a)ii.b.).	The signs are needed to be large to be viewable by drivers along the road frontages.
8	To allow for one (1) roof sign which is also the identification sign for the development.	A roof sign is a prohibited sign(Part 1, Section 10.(2)).	The roof mounting sign is proposed to give the development a distinctive appearance.
9	To allow for ten (10) banner signs, which exceed a sign area of 2.3 square metres (32 sq.ft.) and exceed the 30 day duration limitation.	Banner signs can only be installed by a non-profit or community organization for a special event, cannot exceed 2.3 square metres (32 sq.ft.) in sign area and must be removed in 30 days(Part 1, Section 7.(13)(a)(b)and (c)).	The banners signs will be will market special or seasonal events. The banners are to be of high quality materials, designed to be durable, permanent and add to the character of the development and animate the surrounding roads.



SITE SUMMARY		
CIDIC ADDRESS:	9808 KING GEORGE BOULEVARD, BURREY, BC	
LEGAL DESCRIPTION:	LOT 4 SECTION 35 BLOCK 5 NORTH RANG 2 WEST NEW WESTMINSTER DISTRICT	
PLAN EPP32216		
UBAGE:	MIXED RETAIL, COMMERCIAL & OFFICE	
PROPOSED CONING:	CD	
GROSS SITE A AREA:	156,231 st OR 14,514.3 sm (NOTE: AREAS PENDING FINAL SURVEY)	
NUMBER OF STORIES:	39	
PARKING BELOW GRADE:	3 LEVELS UNDERGROUND	
FBR:	[BLDG: GFA] / SITE AREA= [741,039 st / 156,231 st = 4.74 FSR	
BUILDING HEIGHT:	431'-6" ft OR 131.6 m	
SITE COCERAGE:	(BLDG. FOOTPRINT) / SITE AREA -	
	156,231 sf OR 14,514.3 sm / 156,231 sf OR 14,514.3 sm	
	- 100%	

DID. BOPART 3 - BC BUILDING CODE 2012 SEE SITE INFO ABODE

MICED USE OFFICE C RETAIL / COM

MAJOR OCCUPANCIES: GROUP A DIE. 109ROUP A DIE. 20 GROUP B DIE. 303ROUP C23ROUP DE GROUP E03ROUP F DIE. 3

NUMBER OF STOREYS: 3DABOCE GRADE LCLS D3 U/G PARCING

BUILDING CODE SUMMARY

SPRINCLERED:

FACING DOF STREETS: NON-COMBUSTIBLE: FIRE ALARM REDUIRED: STANDPIPE REDUIRED: HIGH-RISE BUILDING: HIGH-RISE BUILDING: EMERG. LIGHTING RED. D: EMERG. GENERATOR RED. D: EDIT SIGN REDUIRED: ALTERNATE SOLUTIONS RED. D:

DRAWING	TITLE	ISSUE			
A000	COGER SHEET	DE STREETSCHA	RELECTOR AUP THEODER	ADP ADP AMMINISMENT SET VICTA	AZP AANUT COTOC
A001	DATA SHEET			•	
A001a	RESIDENTIAL DATA SHEET				- 0
A002	CICIL			•	0.0
A003	TOPOGRAPHY		•	•	5 8
A004	TOPOGRAPHY				2.0
A101	MASTER PLAN - PARCING LEGEL 1			•	8 3
A102	MASTER PLAN - LEGEL 1			•	
A201	PARDING LEDEL 3 PLAN		•	•	
A202	PARDING LEDEL 2 PLAN			•	
A203	PARDING LEGEL 1 PLAN	*	•	•	
A204	PARCING MECO. LECEL PLAN	*	•	•	
A206 A208	LECEL 1 PLAN			•	
A208 A200	TOWER 1 - LEGEL 6 D TOWER 6 - LEGEL 6		•	•	
A200	TOWER 1 - LEGEL 16 G TOWER 6 - ROOF LEGEL				
A200	ROOF PLAN	*	:	:	-
A201	NORTH ELECATION	-	•	•	
A302	EAST ELECATION	-	•	•	-
A303	SOUTH ELECATION	-	-	-:-	
A304	WEST ELECATION	-	•		
A305	INTERIOR PLACA ELECATION		-	•	
A308	BUILDING SECTIONS				
A300	BUILDING SECTIONS	*			. 6
A300	BUILDING SECTIONS	-	•	•	
A300	BUILDING SECTIONS				- 3
A310	PARDING ENTRY ELECATION			•	
A401	TOWER 1 - LOBBY PLAN		•		
A402	TOWER 1 - LECEL 2 FLOOR PLAN		•	1.00	
A403	TOWER 1 - LECEL 3 FLOOR PLAN			•	1 0
A404	TOWER 1 - LEGEL 4 FLOOR PLAN		•	•	. 9
A405	TOWER 1 - LEGEL 6 FLOOR PLAN			•	
A408	TOWER 1 - LECEL 8 FLOOR PLAN				
A400	TOWER 1 - LEGEL DFLOOR PLAN	•		•	- 1
A400	TOWER 1 - LEGEL 13 FLOOR PLAN		•	•	
A400 A410	TOWER 1 - LEGEL 14 FLOOR PLAN	*		•	
A410 A411	TOWER 1 - LEGEL 22 FLOOR PLAN			•	
A412	TOWER 1 - LECEL 30 FLOOR PLAN	•	:	•	
A413	TOWER 1 - LEGEL SUFLOOR PLAN	-	-	:	
A414	TOWER 1 - TYP FLOOR PLAN	-	•	-	
A416	TOWER 1 - TYP FLOOR PLAN	•	•	•	-
A418	TOWER 1 - TYP FLOOR PLAN		•	•	
A410	TOWER 6 - TYP FLOOR PLAN	•		•	
A4101	TOWER 6 - 2ND FLOOR PLAN		1 1		
A4102	TOWER 6 - AMENITY FLOOR PLAN				
A410	TOWER 6 - UNIT PLAN				4 9
A601	SIGNAGE - BUILDING 1 0 6				
A602	8IGNAGE - BUILDING 2	-			П
A603	SIGNAGE - BUILDING 3				
A604	SIGNAGE - BUILDING 4	•	•		
A505	SIGNAGE - PROJECT SIGNAGE	•	•		
A608	SIGNAGE - PARCING SIGNAGE	•			
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DRAWING	TITLE	12.3UE			
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A000	COCER SHEET			•	
A001a	RESIDENTIAL DATA SHEET	-		•	•
A002	CICIL			•	- 1
A003	TOPOGRAPHY	•	•		•
A004	TOPOGRAPHY				
A101	MASTER PLAN - PARCING LEGEL 1				
A102	MASTER PLAN - LEGEL 1				•
A201	PARDING LEDEL 3 PLAN		•	•	
A202	PARDING LEDEL 2 PLAN				•
A203	PARDING LEGEL 1 PLAN	*	•	•	•
A204	PARCING MECC. LECEL PLAN	-	•	•	
A206	LECEL 1 PLAN			•	•
A208 A200	LECEL 2 PLAN TOWER 1 - LECEL 6 D TOWER 6 - LECEL 6		•	•	•
					•
A200	TOWER 1 - LEGEL 16 G TOWER 6 - ROOF LEGEL	*		•	•
A200 A301	ROOF PLAN NORTH ELECATION		•	•	
A301	EAST ELECATION	•	•	•	•
A303	SOUTH ELECATION	-	:	•	•
A304	WEST ELECATION		•	•	-
A305	INTERIOR PLACA ELECATION			•	-
A308	BUILDING SECTIONS				-
A30□	BUILDING SECTIONS	*	-	•	-
A300	BUILDING SECTIONS	-	•	•	•
A300	BUILDING SECTIONS	-		•	
A310	PARCING ENTRY ELECATION	-	•	•	•
A401	TOWER 1 - LOBBY PLAN		•	•	•
A402	TOWER 1 - LEGEL 2 FLOOR PLAN	*		•	
A403	TOWER 1 - LEGEL 3 FLOOR PLAN				
A484	TOWER 1 - LEGEL 4 FLOOR PLAN			•	
A406	TOWER 1 - LEGEL 6 FLOOR PLAN			•	
A408	TOWER 1 - LEGEL 8 FLOOR PLAN				
A400	TOWER 1 - LEGEL DFLOOR PLAN	•		•	
A400	TOWER 1 - LEGEL 13 FLOOR PLAN		•	•	•
A400	TOWER 1 - LEGEL 14 FLOOR PLAN	*		•	•
A410	TOWER 1 - LECEL 16 FLOOR PLAN			•	•
A411	TOWER 1 - LECEL 22 FLOOR PLAN	•	•	•	•
A412	TOWER 1 - LEGEL 30 FLOOR PLAN				
A413	TOWER 1 - LEGEL 3G FLOOR PLAN		•	•	
A414 A415	TOWER 1 - TYP FLOOR PLAN		•	•	•
A416 A416	TOWER 1 - TYP FLOOR PLAN TOWER 1 - TYP FLOOR PLAN	•	•	•	•
A418 A410		*	:	:	:
A4101	TOWER 6 - TYP FLOOR PLAN TOWER 6 - 2ND FLOOR PLAN	•		•	
A4102	TOWER 6 - AMENITY FLOOR PLAN		-		:
A410	TOWER 6 - UNIT PLAN				-
A601	SIGNAGE - BUILDING 1 0 6	-	•	-	-
A602	SIGNAGE - BUILDING 2	-	•		_
A603	SIGNAGE - BUILDING 3	-	•		
A604	SIGNAGE - BUILDING 4	•	•		-
A506	SIGNAGE - PROJECT SIGNAGE	-	-		
A508	SIGNAGE - PARCING SIGNAGE	•	•		
		-	1	_	_





2 02 DEC 2014 ISSUED FOR ADP AMMENDMENT 2 1 06 NOV 2014 ISSUED FOR ADP AMMENDMENT







KING GEORGE PHASE B

PROJECT DIRECTORY

CLIENT

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6D4-331-5238

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CICIL CONSULTANT

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CODE CONSULTANT

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GEOTECHNICAL CONSULTANT Geopacific Consultants Ltd.

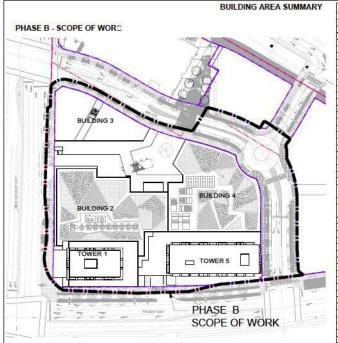
Geopacific Consultants Ltd 215 - 1200 73RD Avenue W Vancouver, B.C., V6P 6GS 604-439-0922 (226) 604-341-6360 Matt ⊡okan kokan@geopacific.ca

KING GEORGE PHASE B

> KING GEORGE BLVD. SURREY, BC

COVER **PROJECT INFO**

211011.02 A000



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LEGEL 10	RESIDENTIAL		1			- (TD4			_		1	8	THEATRE	30360	+
LECEL 20	RESIDENTIAL		-		—		+			IIE1	122			1	1		FITNESS	31331	+
LEGEL 21	RESIDENTIAL		9			- (100	12		_	5 33	,	8	FILMESS	91001	+
LECEL 22	RESIDENTIAL		2					8		188	- 12				1	8	TOTAL	230 343 (SF)	+
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PARCING STALL SUMMARY

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1.10	1.10	\$1.0 1938 120 121 1281 110 1281 110 11	L1.5	1380	120
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LLC 1981 110 LLC 1980 156 LLC 1	LLC 1981 110 LLC 1980 156 LLC 1	LLC 1281 110 LLC 138C 154 LL.19 138C 154 LL.19 132C 191 LL.11 132C 191 LL.12 1386 140 LL.12 1386 140 LL.13 13C 156 LL.13 156 LL.13 156 LL.15 156 LL.1	L1.0	1306	120
1.1.10	1.1.10	1.10	L1.0		110
L1.11	L1.11	L1-11 1000 1400 1400 1410 1410 1410 1410	L1.0	1960	154
1.13	1.13	1.1.12	L1.10	1030	181
1.5.13	1.5.13	1.5.13	L1.11	1000	108
L1.129	L1.129	L1.12b	L1.12	1306	140
1.5.17e	1.5.17e	1.5.170	L1.13	1503	148
1.5.14 19230. CIS	1.5.14 19230. CIS	1.14 19200 UK	L1.12b	CC0	122
L1-1C 1923 1D L1-1C 1923 1D L1-1C 1925 1F0 L1-1C 1925 148 L1-21 2944 298 L1-22 4098 442 L1-22 4098 395 L2-1 0000 PS L2-2 1000 PS L2-2 1000 DS DOBUS STORE 5280 DS DOBUS STORE 5280 DS DOBUS STORE 5280 3300 FITNEES 51021 2000	L1-1C 1923 1D L1-1C 1923 1D L1-1C 1925 1F0 L1-1C 1925 148 L1-21 2944 298 L1-22 4098 442 L1-22 4098 395 L2-1 0000 PS L2-2 1000 PS L2-2 1000 DS DOBUS STORE 5280 DS DOBUS STORE 5280 DS DOBUS STORE 5280 3300 FITNEES 51021 2000	L1.10 1028 100 L1.10 1003 110 L1.11 1330 144 L1.21 2344 238 L1.22 456 442 L2.1 0000 58 L2.1 0000 58 L2.2 1000 63 L2.2 1000 000 DRUG STORE 5280 000	L1.120	1360	
L1-1C 1923 1D L1-1C 1923 1D L1-1C 1925 1F0 L1-1C 1925 148 L1-21 2944 298 L1-22 4098 442 L1-22 4098 395 L2-1 0000 PS L2-2 1000 PS L2-2 1000 DS DOBUS STORE 5280 DS DOBUS STORE 5280 DS DOBUS STORE 5280 3300 FITNEES 51021 2000	L1-1C 1923 1D L1-1C 1923 1D L1-1C 1925 1F0 L1-1C 1925 148 L1-21 2944 298 L1-22 4098 442 L1-22 4098 395 L2-1 0000 PS L2-2 1000 PS L2-2 1000 DS DOBUS STORE 5280 DS DOBUS STORE 5280 DS DOBUS STORE 5280 3300 FITNEES 51021 2000	L1.10 1028 100 L1.10 1003 110 L1.11 1330 144 L1.21 2344 238 L1.22 456 442 L2.1 0000 58 L2.1 0000 58 L2.2 1000 63 L2.2 1000 000 DRUG STORE 5280 000	L1.18	10000	ш
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1.1.1	1.1.1	1.5.10 1880 148 1.5.21 2344 238 1.5.22 4.028 442 1.5.23 3986 390 1.5.1 00070 052 1.5.2 10070 053 1.5.2 10070 053 1.5.2 10070 050 1.5.3 10070 050 1.5	L1.10		110
1.121 2.344 238 242	1.121 22.44 238 1.122 4.226 4.426	1.121 2.946 298 1.122 4.528 442 1.122 5.935 5.93 1.122 1.122 1.123 1			143
L1:22 4098 442 L1:23 3985 392 L2:1 0000 082 L2:2 5000 83 L2:2 1000 102 L2:3 1000 102 L0:3 1000 08 00 L0:3 1000 08 00 L0:3 5000 313 FOOD STORE 5000 3130 FOOD STORE 5000 3130 FITNEES 51031 2000	L1:22 4098 442 L1:23 3985 392 L2:1 0000 082 L2:2 5000 83 L2:2 1000 102 L2:3 1000 102 L0:3 1000 08 00 L0:3 1000 08 00 L0:3 5000 313 FOOD STORE 5000 3130 FOOD STORE 5000 3130 FITNEES 51031 2000	L1.22 4058 442 L2.1 3986 391 L2.1 0000 082 L2.2 1000 633 L2.2 1000 000 DRUS 2000 083 C3.3 1000 083 C3.3 1000 083 C5.3 1000 083 C			
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12-1 CRC CRC	12-1 CRC CRC	12.1 DDCT DE2	L1.23		330
122 62320 683 122 12	122 62320 683 122 12	1.22 5230 633 12	L2.1		D62
L2.3 19399 D20 DIOSC DIS DIS DRUG STORE 35389 3319 FOOD STORE 33369 3300 THEATRE 3CD6C 33889 FITNESS 31031 2050	L2.3 19399 D20 DIOSC DIS DIS DRUG STORE 35389 3319 FROD STORE 33369 3300 THEATRE 3CD6C 33808 FITNESS 31031 2050	L2.3 10,360 DEC DISS DEC DISS DE DISS DE DISS DE DE DES DES DES DES DES DES DES DES			633
12.5 10.990 DEI	12.5 10.990 DEI	L2.3 19369 CPU	L2.2	1004	103
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DRUG STORE 36380 3313 FOOD STORE 33358 3300 THEATRE 30360 3380 FITNESS 31031 2050	DRUG STORE 36380 3313 FOOD STORE 33358 3300 THEATRE 30360 3380 FITNESS 31031 2050	DRUG STORE 35380 3213 FOOD STORE 33368 3301 THEATRE 30360 3388 FITNESS 31021 2050	DIOSD		
FOOD STORE 33369 3300 THEATRE 30360 3388 FITNESS 31031 2050	FOOD STORE 33369 3300 THEATRE 30360 3388 FITNESS 31031 2050	FOOD STORE 33968 SD0D THEATRE SCH6C 3988 FITNESS 310231 2050			3213
THEATRE 30360 3388 FITNESS 31031 2050	THEATRE 30360 3388 FITNESS 31031 2050	THEATRE 30260 3288 FITNESS 31231 2050			3000
FITNESS 31031 2050	FITNESS 31031 2050	FITNESS 31031 2050	THEATRE	30360	33866
		Annual Communication of the Co			
TOTAL 230343 (SF) 21810 (SM)	TOTAL 230343 (SF) 21310 (SM)	TOTAL 220343 (9F) 2131G (8A	V 2-127711		
			TOTAL	230 343 (SF)	21310 (SM)

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PAREING NUMBER SUMMARY

Use		Areas	Unit	Bylaw Rates			Parking Required	bylaw)	Parking Required
Office		174,533	sq.ft	1.7	1,075	sq.ft			276
CRU Retai	r:	63,384	sq.ft	2.0	1.075	sn ft	118		
Drug Ston		35,660	sq.ft	2.0	1,075		66		
Grocery		33,456	sq.ft	2.0	1,075		62		
Restauran	ıt	15,811	sq.ft	5.0	1,075		74		
Gym		31,831	sq.ft	3.0	1,075		89		
Theatre		2,000	seats	1.0	10	seats	200		
Daycare		23	Emp.	2.0		per employee	46		
								Subtotal	655
Tower 1									
	1 BR	102	units	0.85		per unit	87		
	2 BR	131	units	1.0		per unit	131		
	3 BR	3	units	1.0		per unit	3.0		
	Visitor Stalls	1	5	0.025		per unit	6		
	Total Units	236						Subtotal	227
Tower 5									
	1 BR	119	units	0.85		per unit	101		
	2 BR	54	units	1.0		per unit	54		
	Visitor Stalls	1		0.025		per unit	4		
	Total Units	173						Subtotal	159
							Parking Req'd		1,317.0
							Parking Provided		1,326

Surplus cars

LEVEL	SMALL (SC)	81	ANDARD	DISAE	HLITY	SUM			
P3	62	. 6	413	- 8	7	482			
P2	69	6 6	402		7	478			
P1	58	1 9	239	2	9	306			
MEZZ.	0	15	57	-	3	60			
SUB-TOTAL	189	1.	111	2	5				
TOTAL	CALLERON BASISTON	attender.				1,326			
MALL TO STD % -	(189 / 1,326) = 1	14.3%				(OCIL)			
ICYCLE ST	REQUIRED		VIDED						
		SECUE	RED STORA		EXTER RACK I	IOR MOUNT			
RESTAURANT	2			- 8		22			
OFFICE									
TOWER 1	19			27					
RESIDENTIAL									
TOWER 1	283			350					
TOWER 5	206			320					
SUB-TOTAL				697		28			
TOTAL	610								
ENSITY SU	OMPOSTUDO, TOTAL		REQUIRE	ED		PROVIDED 409/3.59 = 114			
DEMONT : 3 OF BUILT	w units/acre (gi	russ)	-	5.5		4.73			
FAR (gross)									

AMENITY SPACE	OY.	
REQUIRED	PROVIDED	
TOWER 1	(m²)	(R°)
INDOOR RES. AMENITY (LEVEL14): 236 (units) x 3 (m²) = 708(m²)	633.2 (m²)	6,816 (ft°)
OUTDOOR RES. AMENITY (LEVEL 14): 236 (units) x 3 (m²) = 708(m²)	772.4 (m²)	8,314 (ft°)
TOWER 5		
INDOOR RES. AMENITY: 173 (units) x 3 (m²) = 519(m²)	532.4 (m²)	5,731 (ft²)
OUTDOOR RES. AMENITY (LEVEL 2): 173 (units) x 3 (m²) = 519(m²)	504.7 (m²)	5,433 (ft ^a)
DAYCARE OUTDOOR AMENITY (LEVEL 2)	873.8 (m²)	9,405 (ft°)

KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC

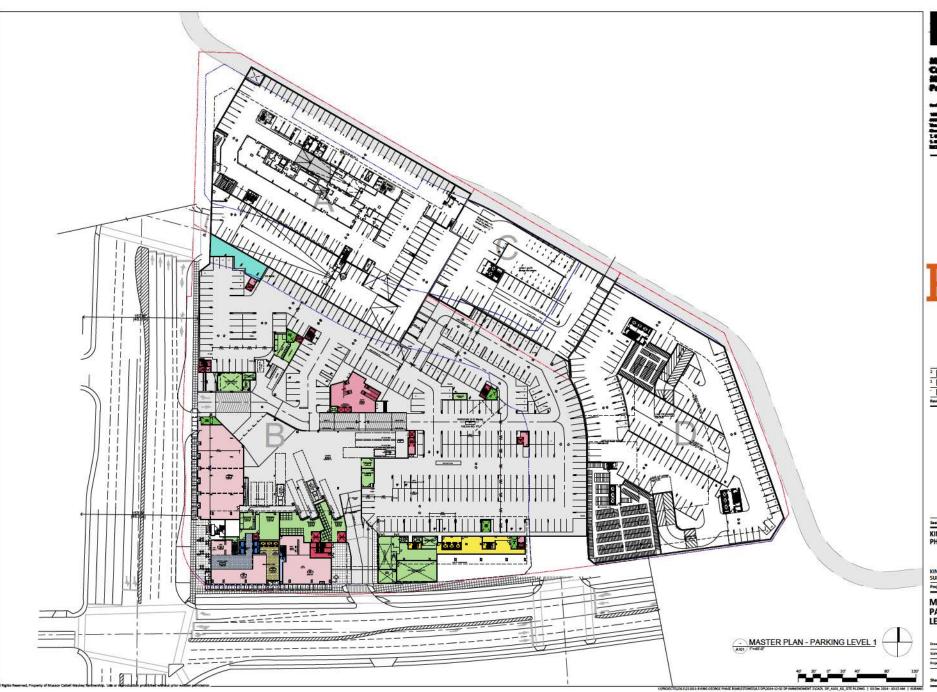
DATA SHEET PROJECT INFO PHASE B

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rvel 15 (064sf)	1	432 439	1 1 1 1	497 497 556 556	1	693	1 1 1	935 717 832	i			Area	Level 30 (7,426nf)	1		1 1 1 1	497 497 556 556	i	693	1	71.7	1	960	i	926		Level 3 (12,672sf)	A1 A1 B	562 562 440 440 525	A A A A	Area 585 585 585 585 585 585 585 585	C C C O2	Area 705 705 758 719	D1 D3	Area 757 788	3
Level 16 (8,021sf)	1 1	432 432	1 1 1	497 497 556 566	1	693	1 1 1	915 810 717	1	736			Level 31 (7,384sf)	1 1	432 412	1 1 1 1	497 497 556 566	3	693	1	71.7	1	942	1	902		Level 4 {12,672sf}	A1 A1 B	562 562 562 440	A	585 585 585 585	C C	705 706 758 719	D1 D3	757 788	3
evel 17 7,979sf)	1 1	412 432	1 1 1	497 497 556 556	1	693	1 1 1	896 787 717	1	786			Level 32 (7,341sf)	1 1	432 432	1	497 497 556 556	1	693	1	717	i	924	1	877		Level 5	8 E E	525 525 562	A A A	585 585 585 585	D4 C		D1 D3	757 788	3
evel 18 7,936(f)	1 1	432 432	1 1 1	497	1	693	1 1 1	876 764 717	1	736			Level 33 (7,298sf)			1	556			1 1 1 1	1,045 795 758	1 1	768 734				(12.672sf)	A1 8 8 6 E	562 440 440 525 525	A A A A	585 585 585 585 585	D4	705 705 758 719	DB	788	3
Level 19 (7,89%f)	1 1	432 432	1 1 1	497	1	693	1 1	856 741	1	736			Level 34 (7,256sf)							1 1 1 1 1	1,001 1,056 1,045 795	1 1	768 734				Level 6 (12,672sf)	A1 B B	562 562 440 440 525	A A A A	585 585 585 585 585	C C D2 D4	705 705 758 719	D1 D3	757 788	3
Level 20 7,851sf)	1 1	432 432	1 1 1 1	556 556 556 497 497	1	693	1 1 1	717 836 719	1	736			Level 35 (7,213sf)							1 1 1 1	1,045	1 1	768 734				Level 7 (12,672:f)	A1 A1 B	525 562 562 440 440	A A A	585 585 585 585 585	C C DZ 04	705 705 758 719	D1 D3	75.7 788	3
Level 21	1	432	1	556 556 497	1	693 696	1	717	1	736			Level 36							1 1 1	758 961		768 734				Level 8 (12.672sf)	E E A1 A1	525 525 562 562 440	A A A	585 585 585 585 585 585 585	C C 02	705 705 758 719	D1 D3	757 788	3_
(7,809:1)	1	432	1 1 1	497 556 556			1	817		10.7			(7,173sf)							1 1 1	758 941 987						Level 9	8 8 8 8	525 525	A A A	585	02 04		D1		31
Level 22 (7,766a1)	1 1	432	1 1 1 1	497 497 556 556	1		1	71/7	1	736			(7,1294)							1 1 1 1	1,045 795 758 1021 964	1 1	768 734				(12,6724)	8 8 8 8	562 562 440 440 525 525	A A A A	585 585 585 585 585 585	C 02 04	705 705 758 719	03	757 788	3
Level 23 (7,724sf)	1	432	1 1 1	497 497 556 556	1	693 650	1	713	1	736			Level 38 (7,086sf)					1	685	1 1 1	1,045 1,273 747	1	967 1,205				Level 10 (12,672:/)	A1 A1 B	562 562 440 440	A A A	585 585 585 585	C C D2	705 705 758 719	D1 D3	757 788	3
Level 24 (7,681sf)	1	432 432	1 1 1	497 497 556	1	693	1	717 884	1	747 1,066			Level 39 (7,044sf)					1	685	1 1 1	1,045 1,273 747	1	947 1,182				Level 11 (12,672sf)	E E A1 A1 B	525 525 562 562 440	A A A	\$85 \$85 \$85 \$85 \$85 \$85 \$85	C C 02	705 705 758	D1 D3	757 788	3
Level 25 (7,639:f)	1 1	432	1 1 1	497 497 586	1	693	1	717 860	1	747 1,048			TOTA	1000	15,559 E BED ROOM	UNITS	AREA(sf)	TOTAL TW	15,863 O SED ROOM	10 200	59,17	UNITS	AREA(sf)	UNITS	2,705 E BED ROOM AREA (sf)		Level 12	8 E E	525 525	A A A	585 585	04	719			3
evel 26 7,596(f)	1 1	432 432	1	497 497 556	1	693	1 1	717 835	1 1	747 1,030				į.		102	50,141	ı.					106,909 WER 1 NET A	REA UNITS	2,705 AREA(st) 159,755		(12,672s/l)	AI H E	562 562 562 525 525	A A A	585 585 585 585 585 585 585					3
Level 27	1	492	1		1	693	1	713	1	747									·		•	TOTAL 10	WER 1 GROS		AREA(sf) 198,219		SUB-TOTA	TOTAL ONE	99 30,3 BED ROOM	UNI	60 35,1 TS AREA[19 65,3	TOTAL TWO	36 25.98 D BED ROOM	UNITS	AREA(1f)	3
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Level 28 (7,511sf)	1 1	432	1 1 1	497 497 556	1	693	1	717 785	1	747 995			}													(~	•••	TOTAL TOV	VER 5 GROSS AR		AREA(sf) 129,608	3
Level 29 (7,469sf)	1 1	432	1 1 1	497 497 556	1	693	1	717 761	1 1				}																							2 D P
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KING GEORGE PHASE B

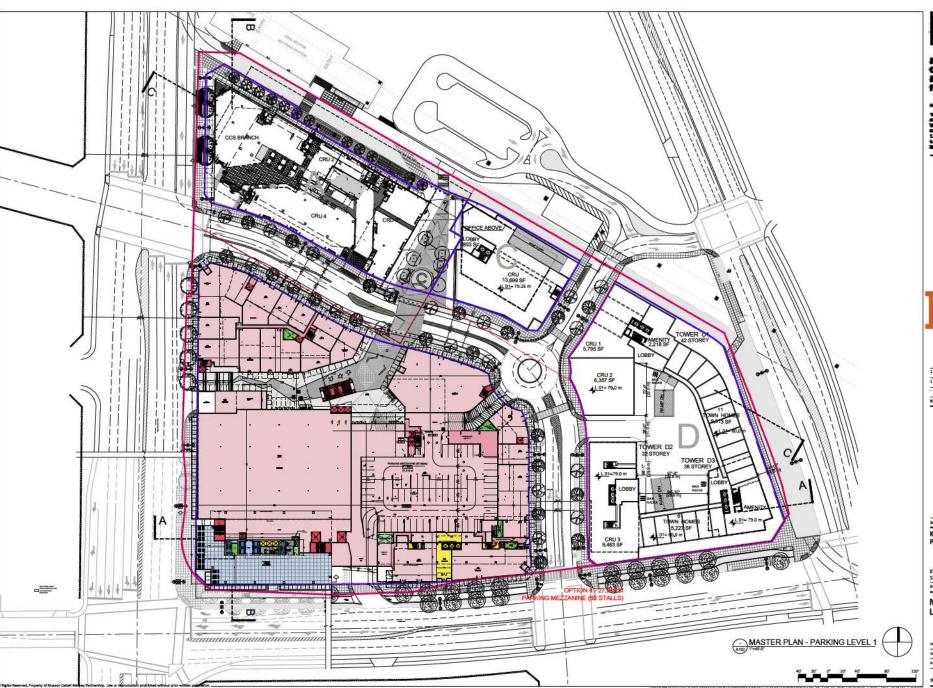
KING GEORGE BLVD. SURREY, BC Project

MASTER PLAN PARKING LEVEL 1

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Scale 1*-40' Roject 211051.02

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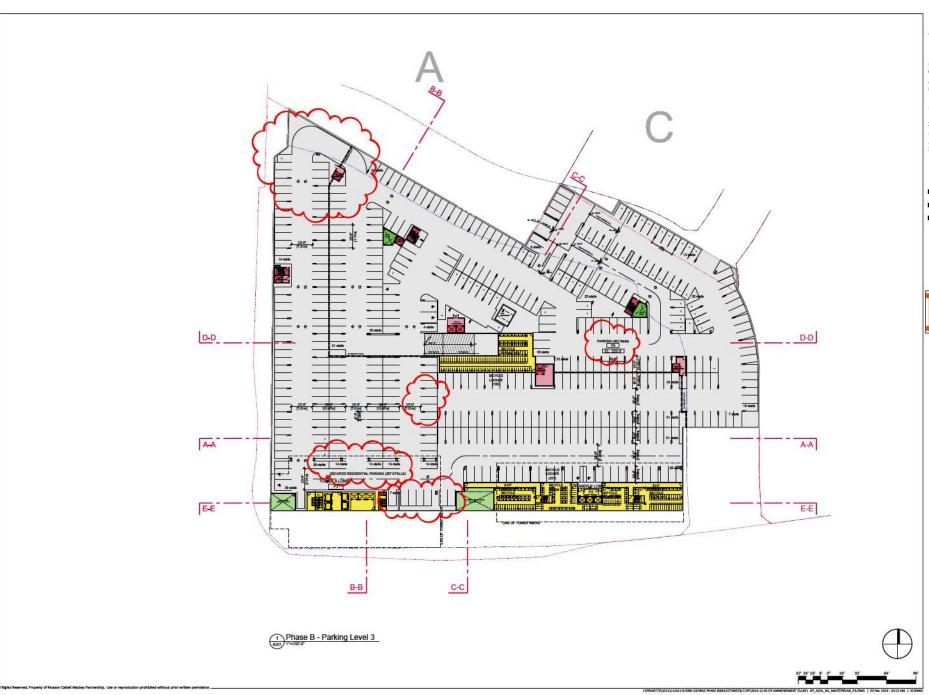
KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC Project

MASTER PLAN LEVEL 1 PLAN

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Sale 1'-40'
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Sheet A102



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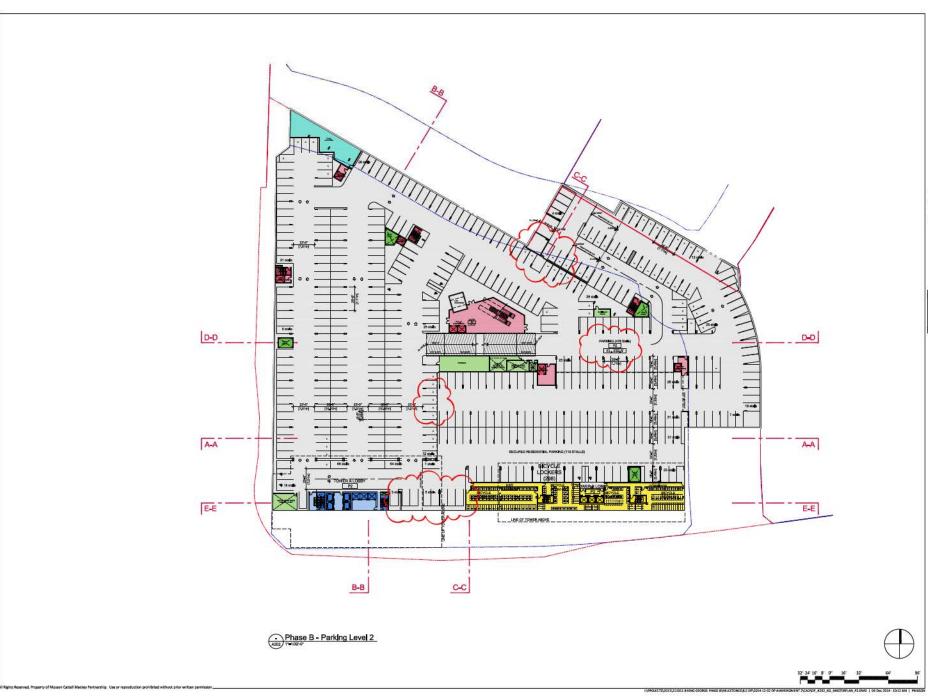
KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC Project

PARKING LEVEL 3

1/32" + 1'-0" 211011.02

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> Residente Designare Plane 1600 - Two Bentall Contre 1505 Barrard Street, Best 264 Vencouver, British Columbia Canada Y7X 1869 C 604, 687, 1970 F 604, 687, 1771





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KING GEORGE PHASE B

KING GEORGE BLVD. SURRY, BC Project

PARKING LEVEL 2

braving 1/32" = 1'-0"

Sheet A202



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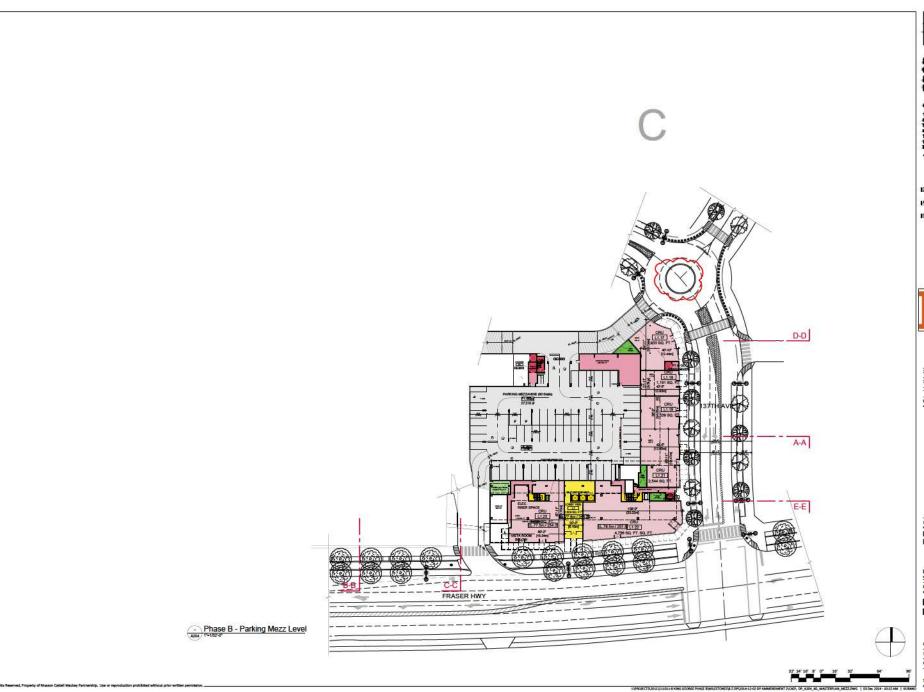
KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC Project

PARKING LEVEL 1

Drawing Scale

1/32"-1"-0"
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Sheet A203



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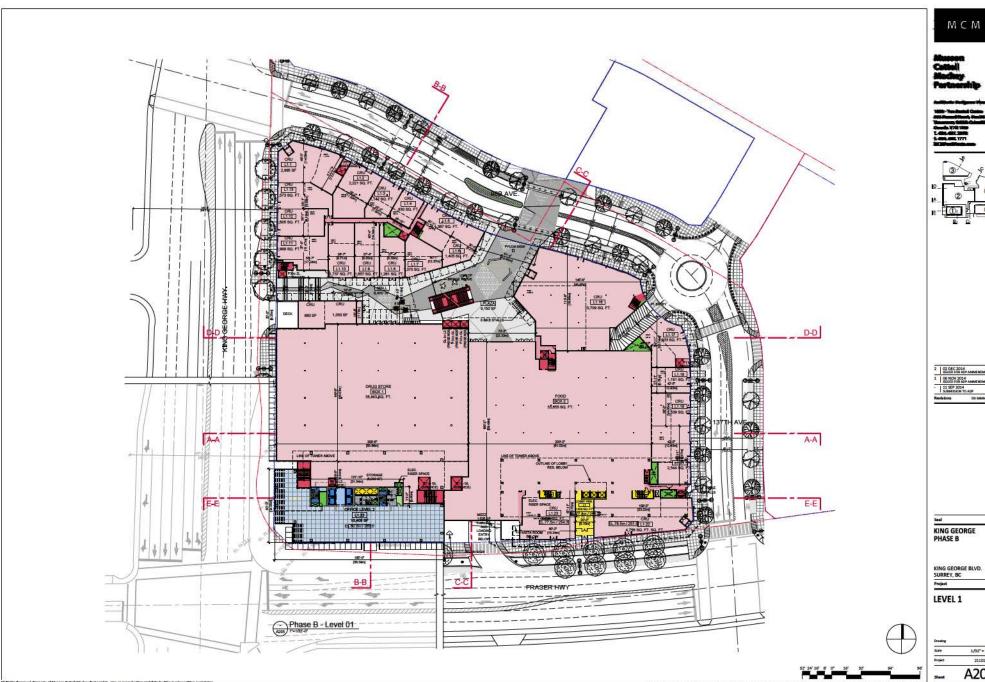
KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC Project

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1/32"-1"-0"
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Sheet A204

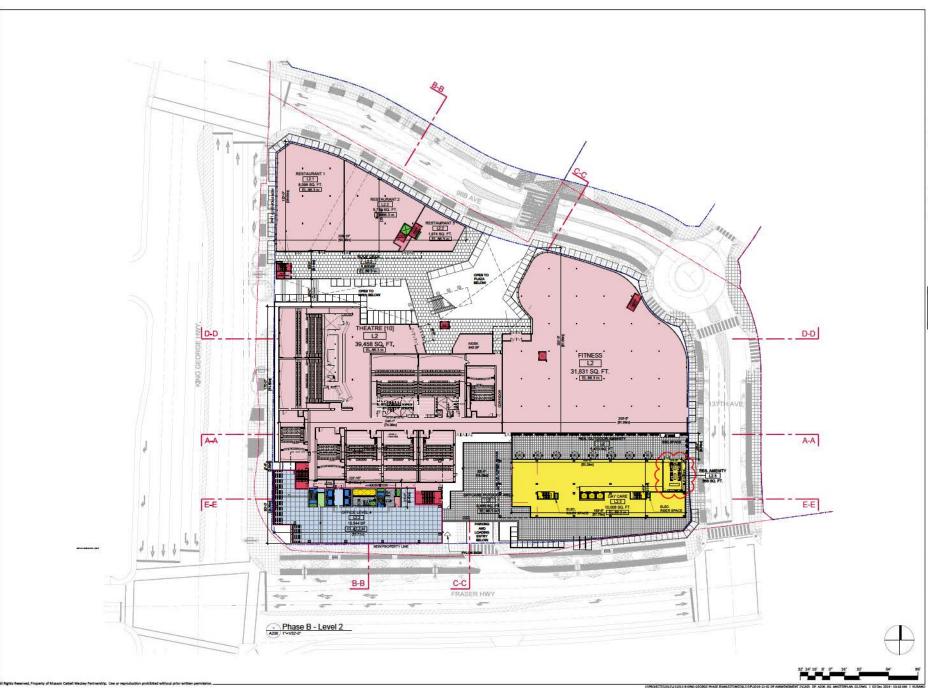




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1/32" + 1'-0" 211011.02

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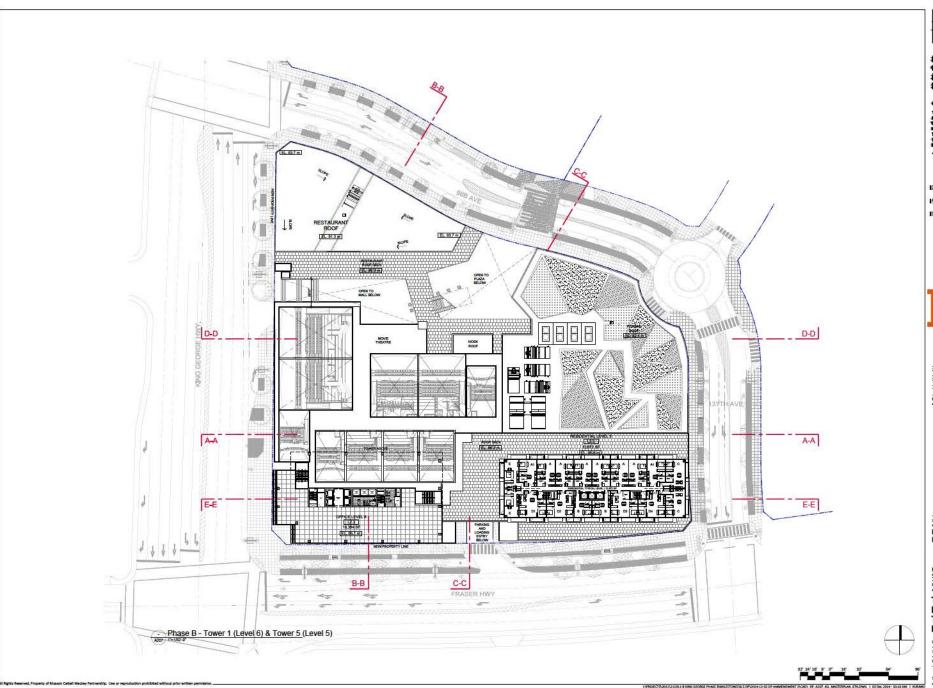
KING GEORGE PHASE B

KING GEORGE BLVD SURREY, BC Project

LEVEL 2

Drawing 1/52" = 1'-0" Roject 211011.02

sheet A206



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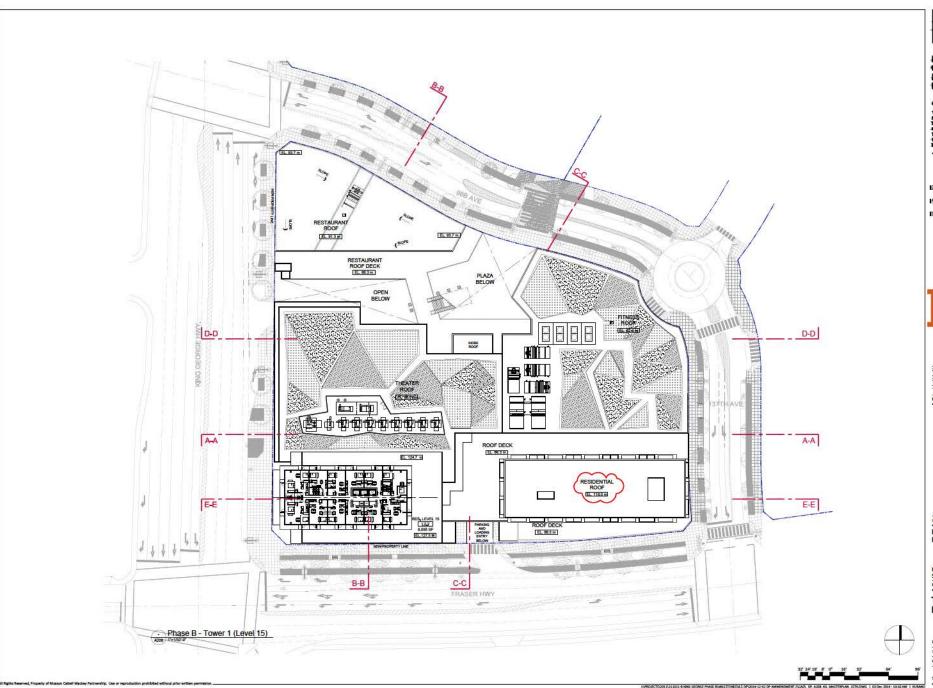
KING GEORGE PHASE B

KING GEORGE BLVD SURREY, BC Project

TOWER 1 LEVEL 6 TOWER 5 LEVEL 5

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Scale 1/32"+1"-0"
Roject 231011.02

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KING GEORGE PHASE B

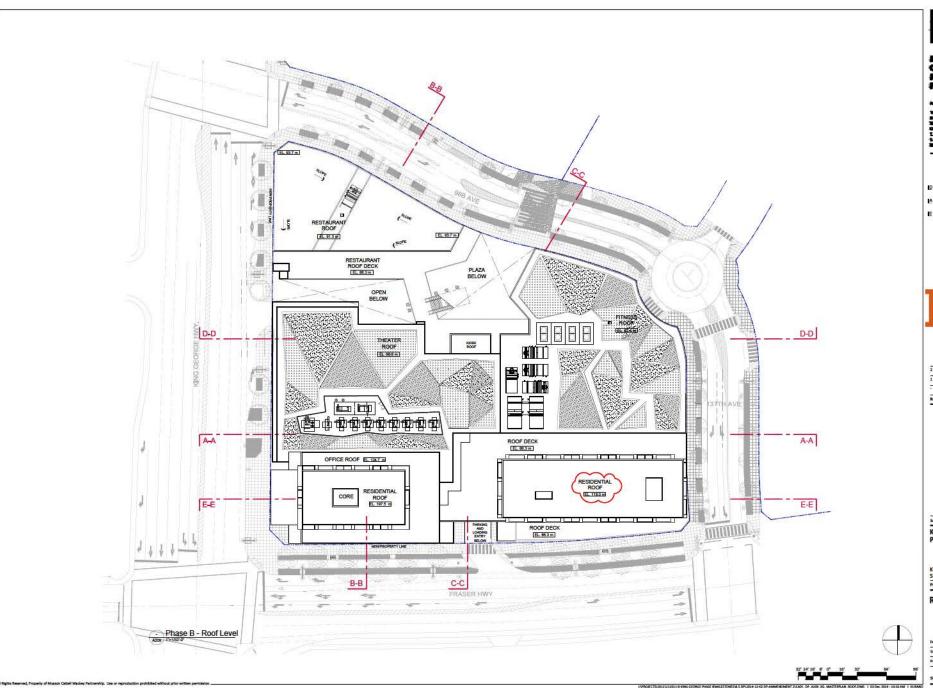
KING GEORGE BLVD SURREY, BC Project

TOWER 1 LEVEL 15

1/32" = 1'-0"

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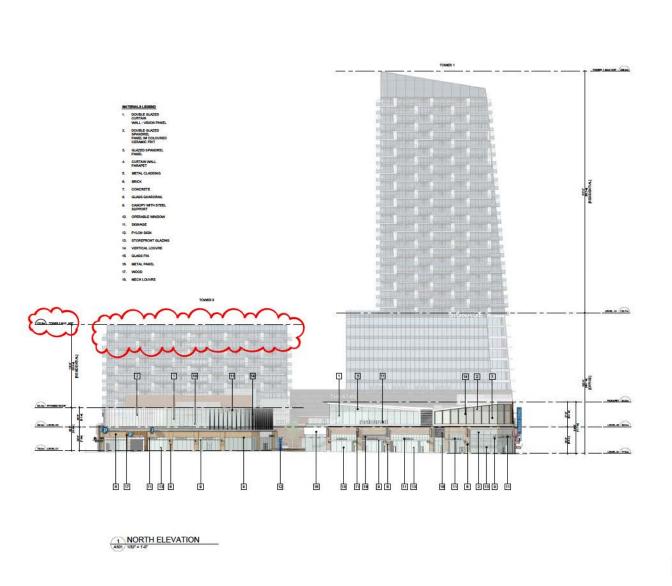
KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC

ROOF LEVEL

Drawing Scale 1/52"+1"-0" Reject 211051.02

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KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC Project

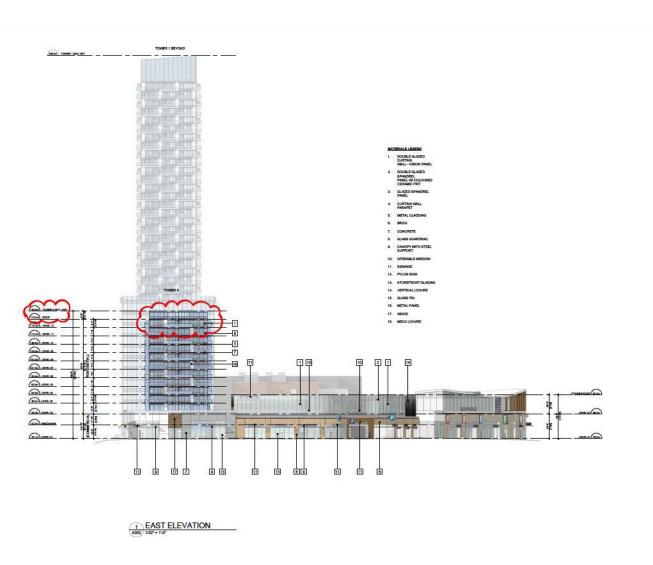
NORTH ELEVATION

* REFER TO SIGNAGE PACKAGE

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KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC Project

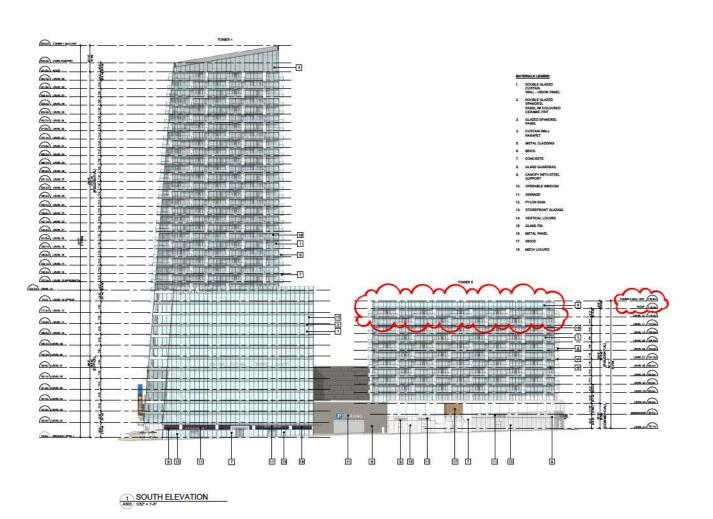
EAST **ELEVATION**

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Crawing Scale Project 1/32" = 1"-0" A302



Musson Cattell Mackey Pertnership

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SOUTH ELEVATION

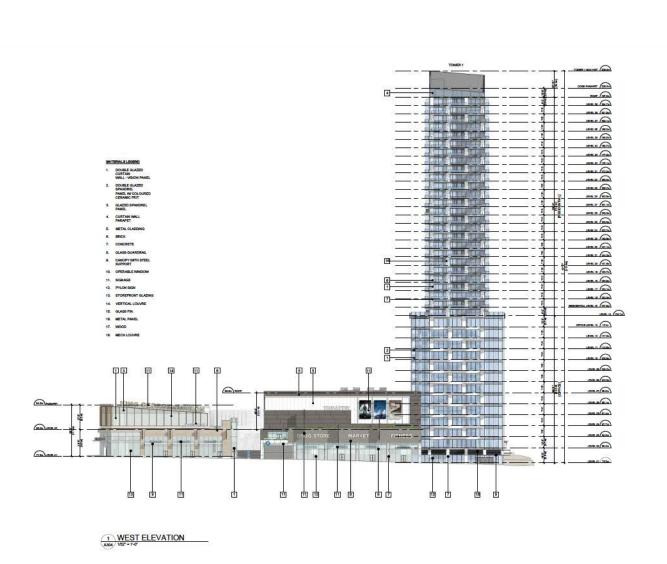
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Scale Project

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WEST ELEVATION

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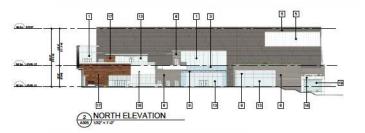
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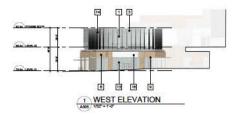
Drawing Scale Project

211011.02 A304

1/32" + 1"-0"







- S METAL CLADDING
- 6. BRICK
- 7. CONCRETE
- 8. CANOPY WITH STEEL SUPPORT
- 11. DIGNAGE 12. PYLON DIGN
- 14. VERTICAL LOUVRE
- 15. GLASS FIN.
- 15. METAL PANEL 17. WOOD
- 16. MISCH LOUVES 19. TEMPERED GLASS





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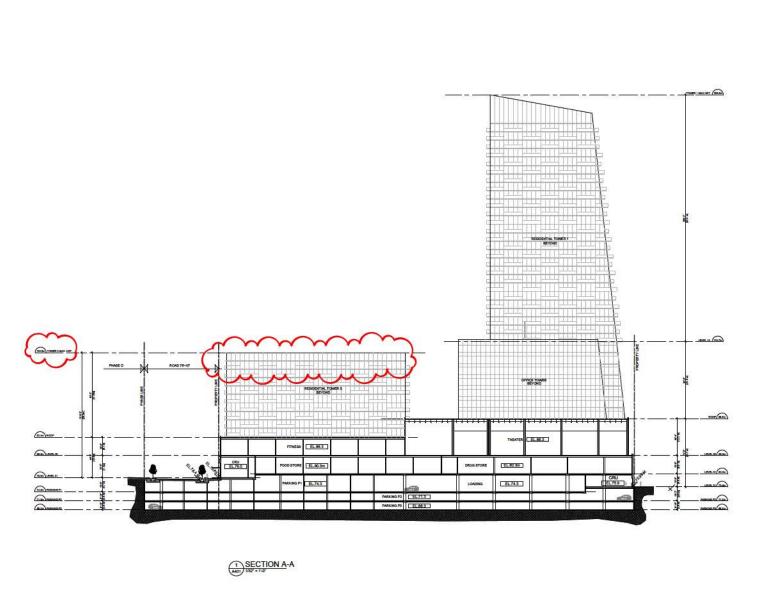
KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC Project

INTERIOR PLAZA ELEVATIONS

* REFER TO SIGNAGE PACKAGE

Drawing Scale Project 1/32" = 1"-0" 211011.02 A305



Museen Cattell Mackey Partnership

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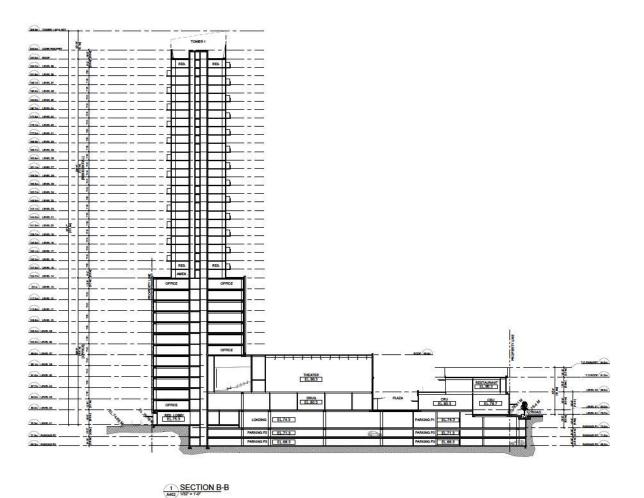
KING GEORGE BLVD. SURREY, BC

SECTION A-A

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KING GEORGE PHASE B

KING GEORGE BLVD. SURREY, BC Project

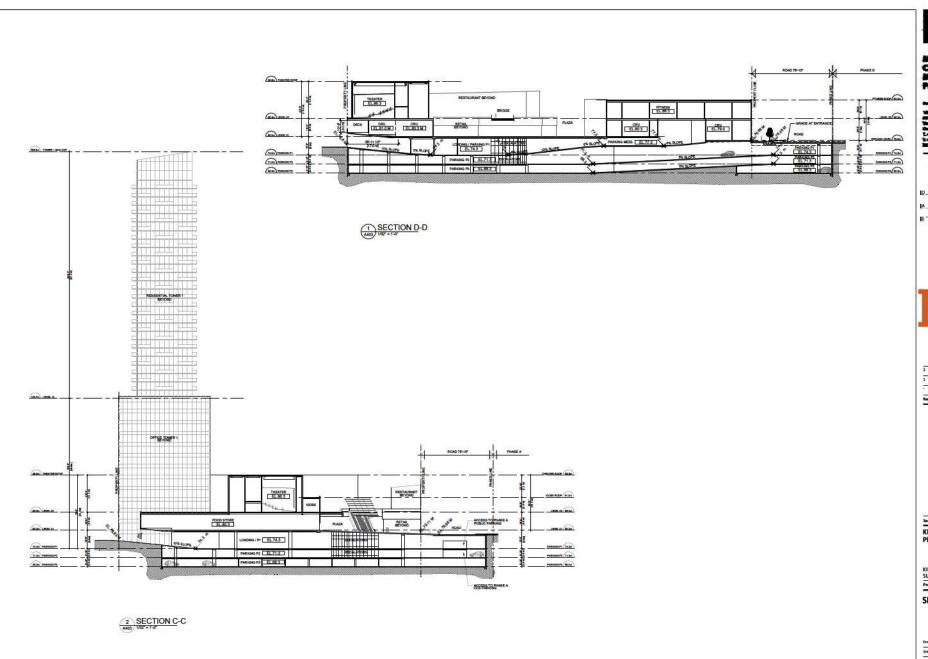
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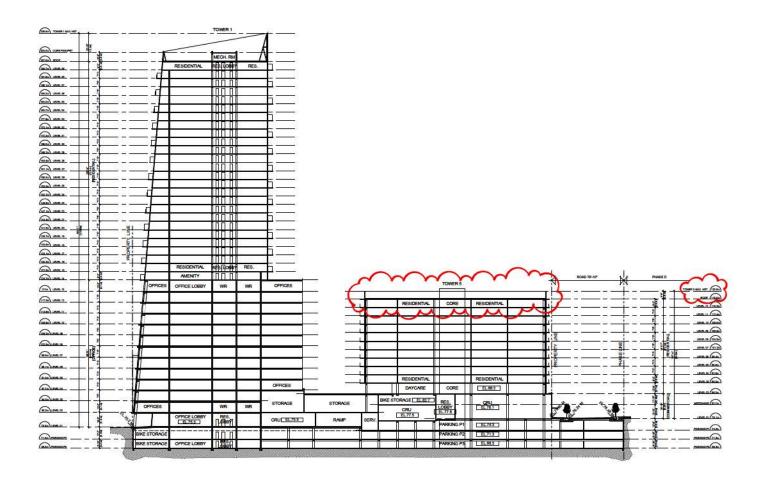
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SECTION C-C / D-D

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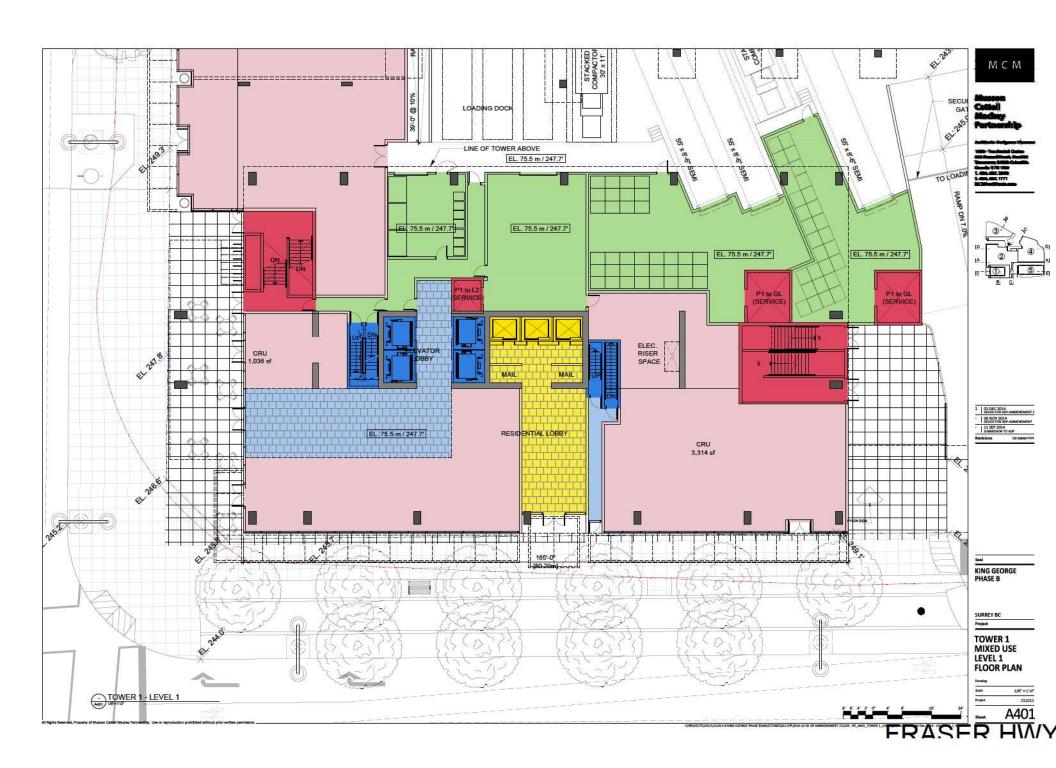
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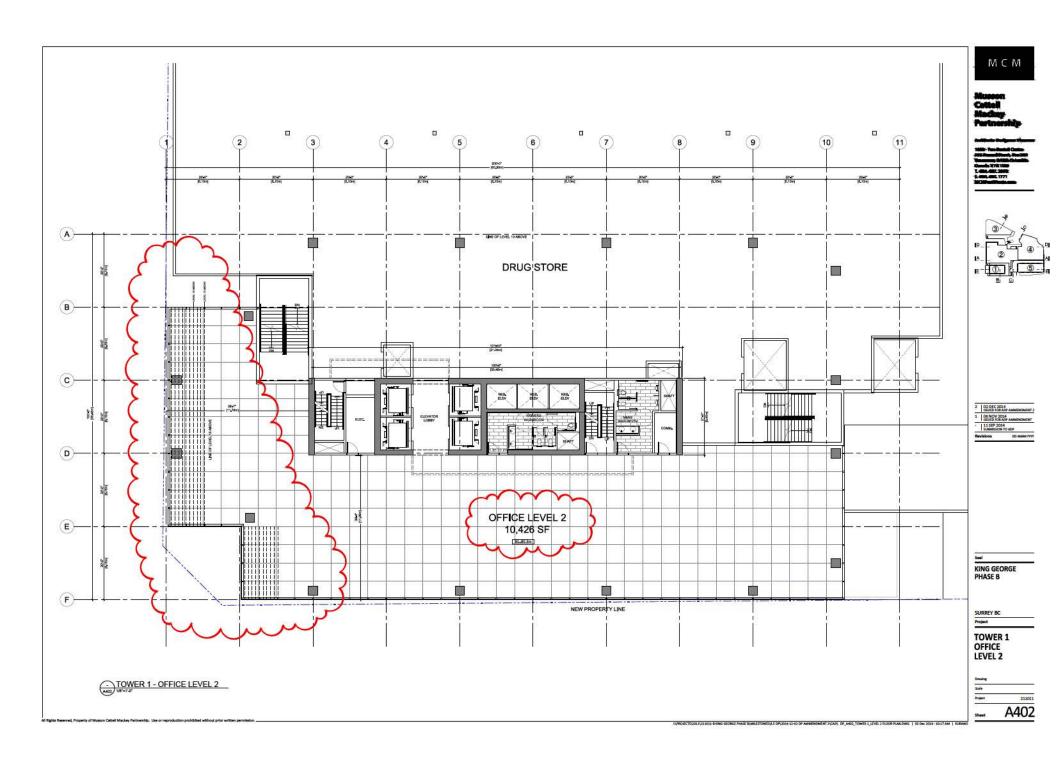
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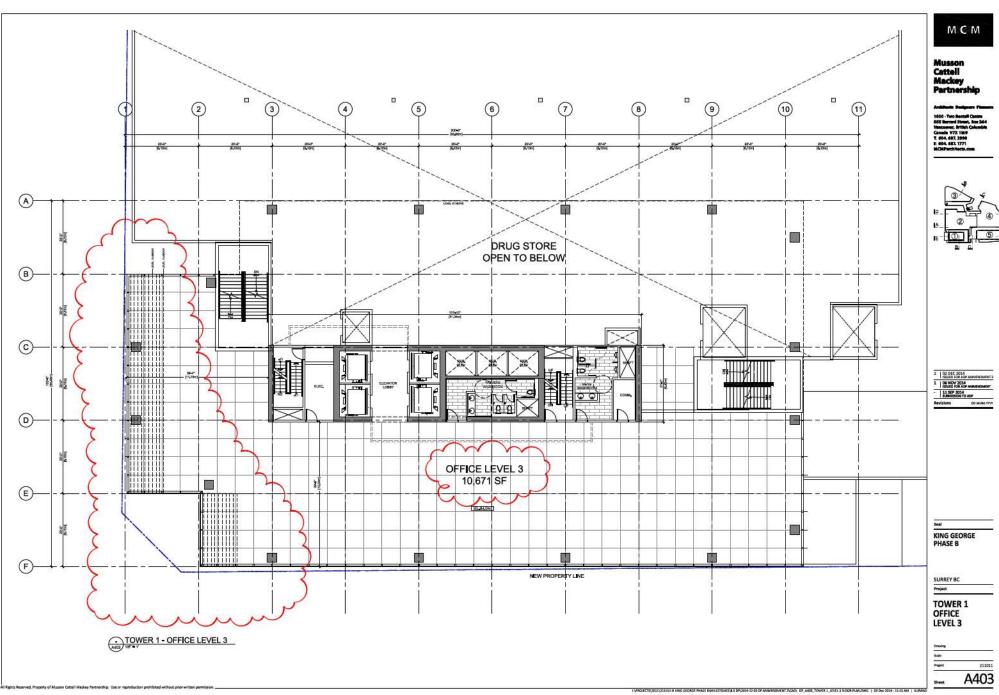
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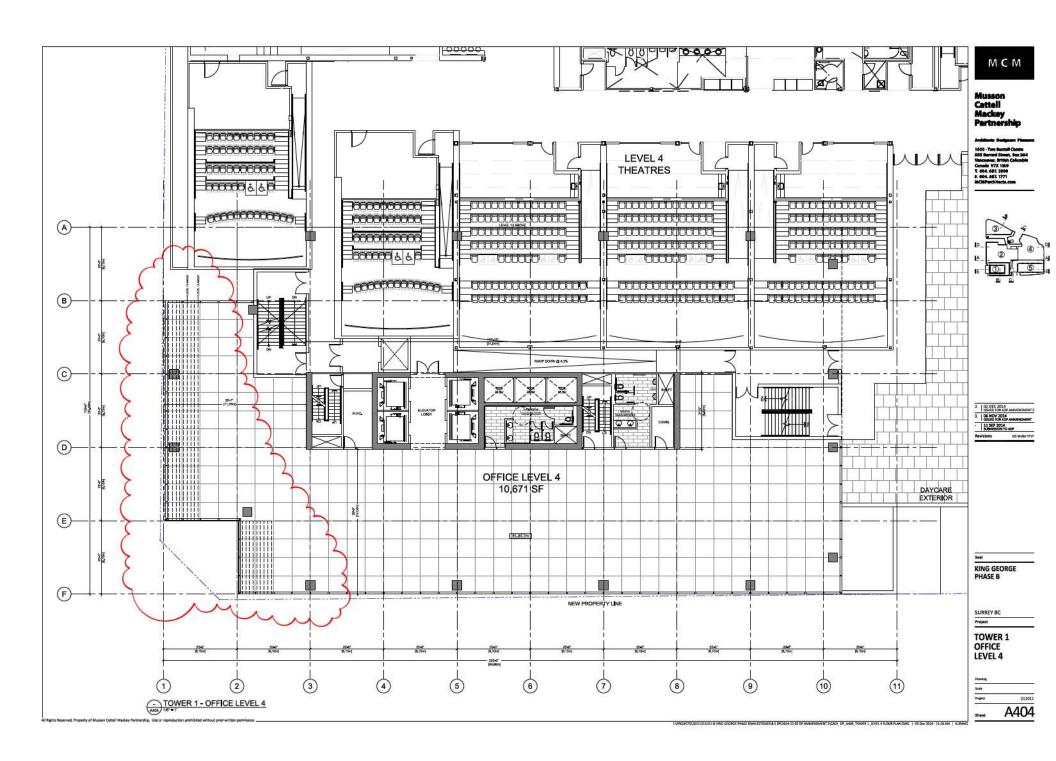
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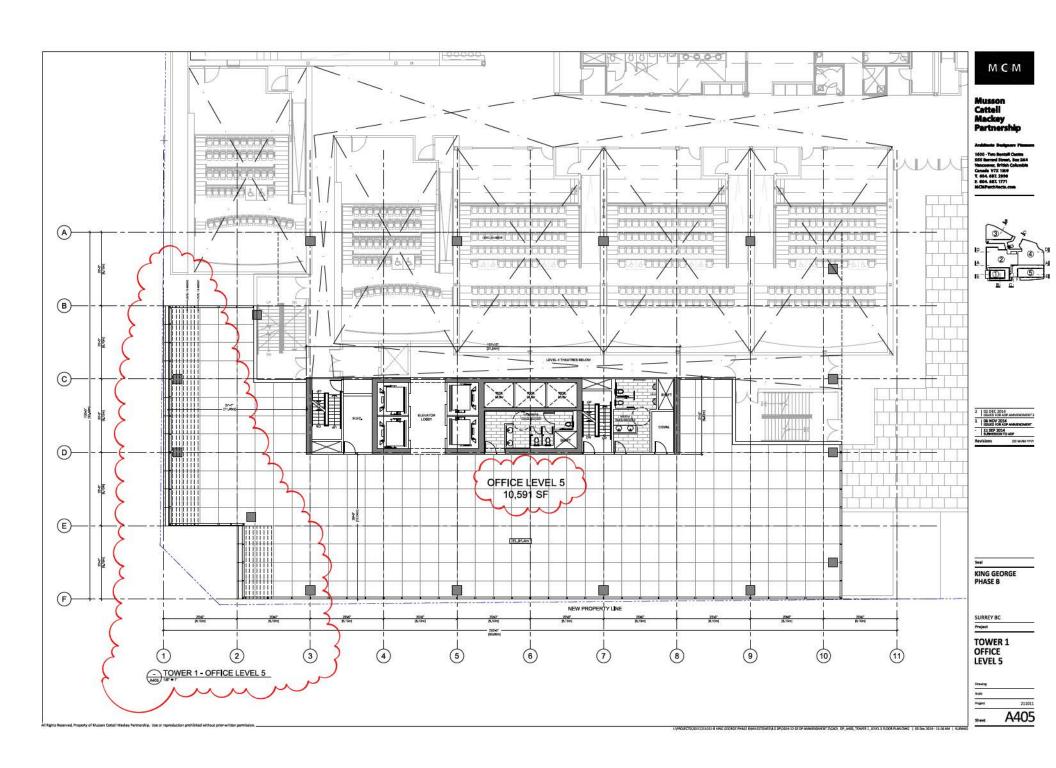


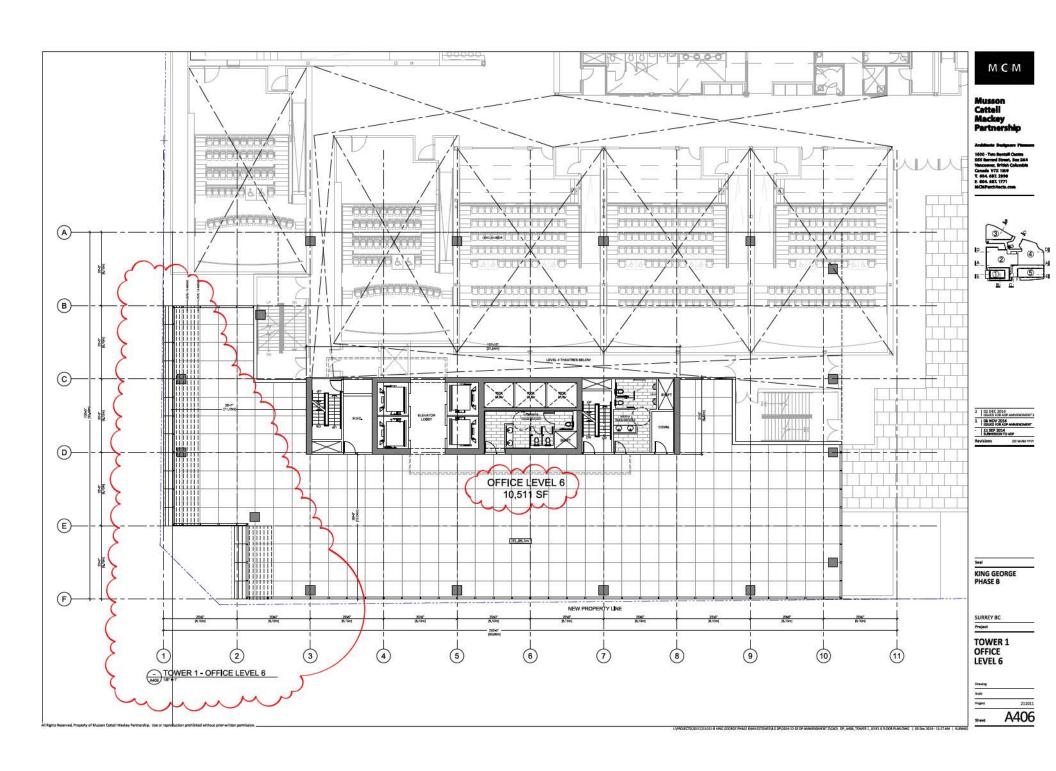


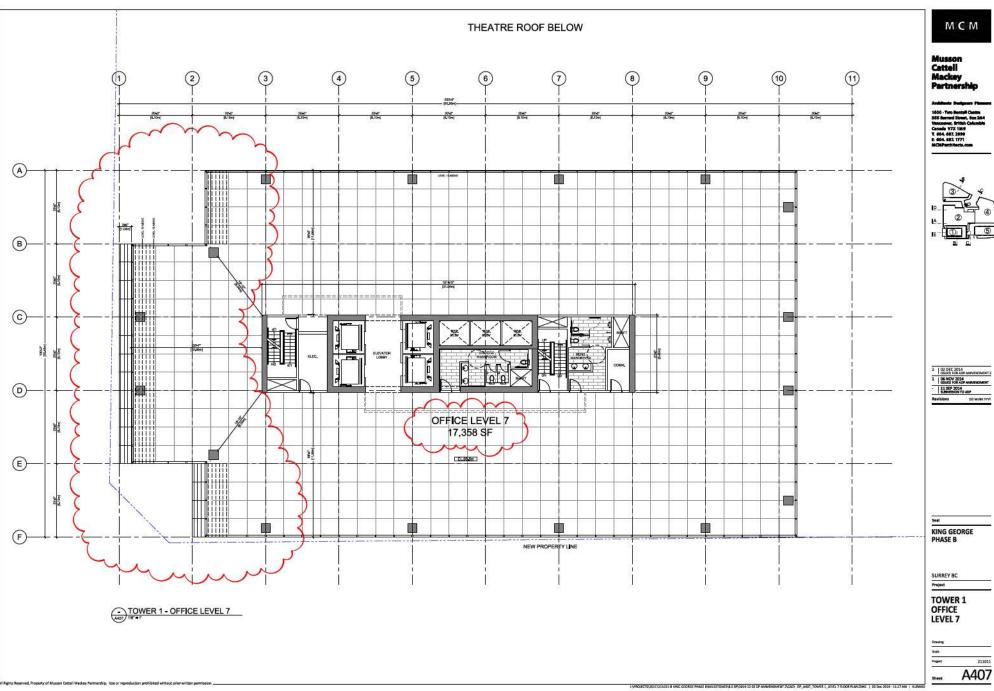






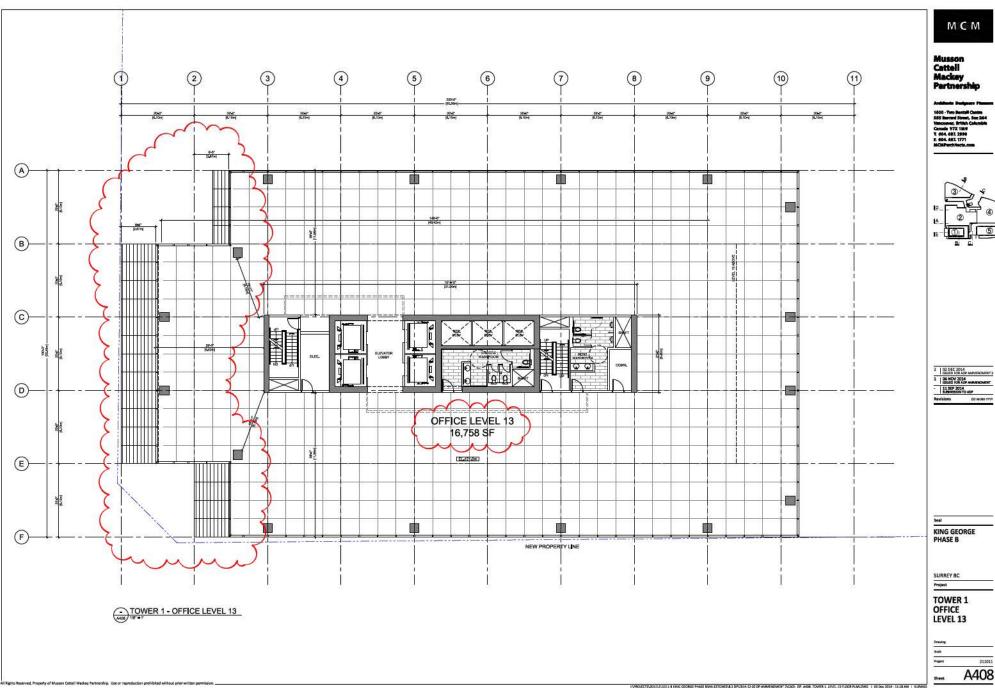






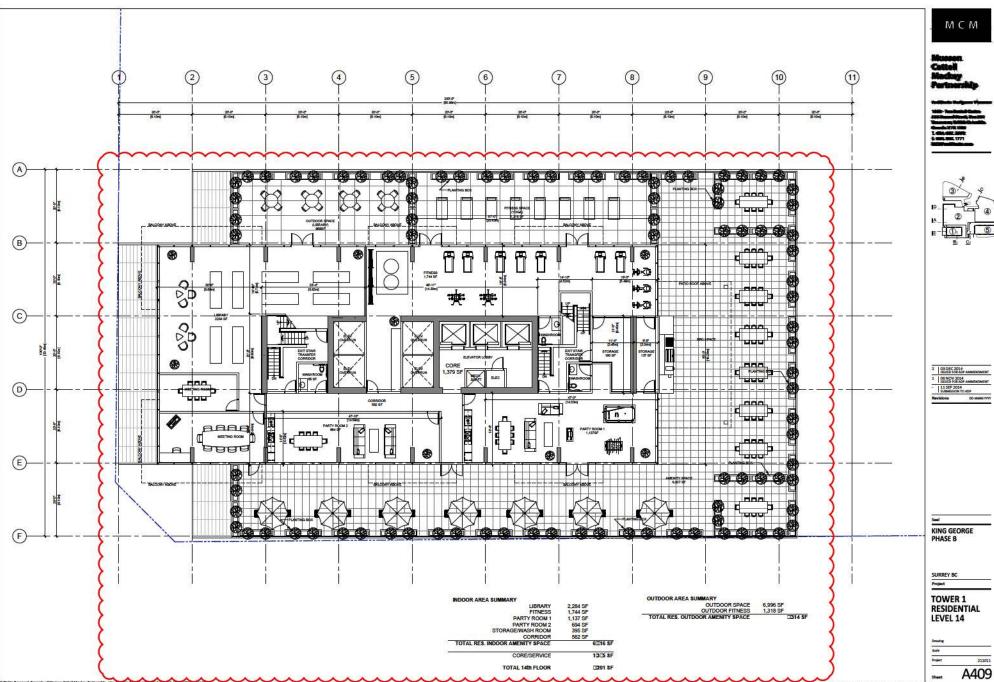


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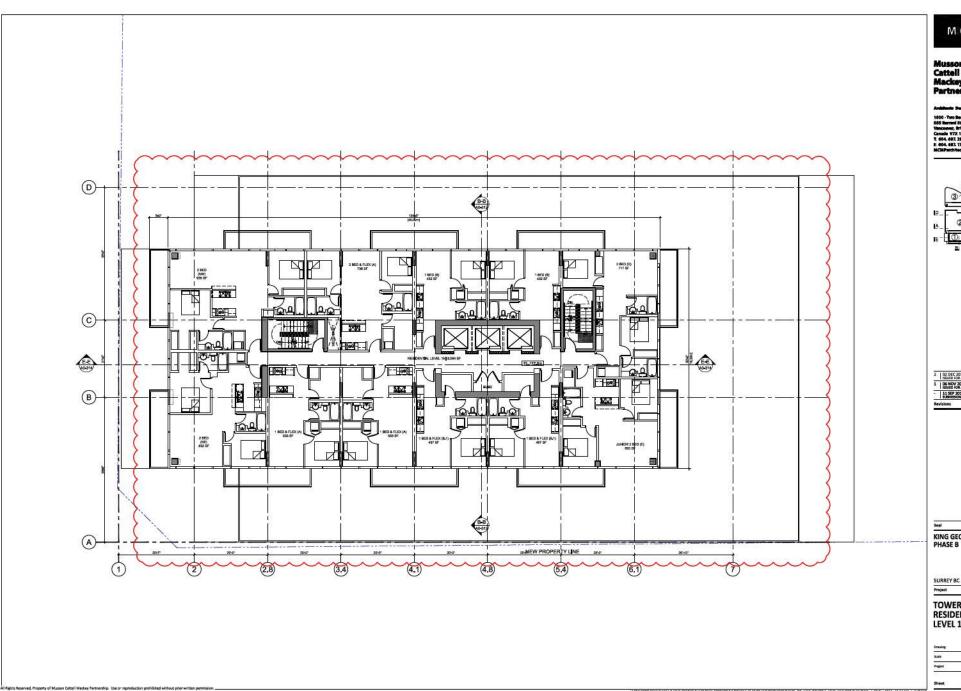




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MCM

Musson Cattell Mackey Partnership

1600 - Two Bentall Centre 565 Barrard Street, Rox 264 Vancouver, British Celembia Canada V7X 1M9 T 604, 687, 2999 F 604, 687, 1771 MCMFarch/tects.com



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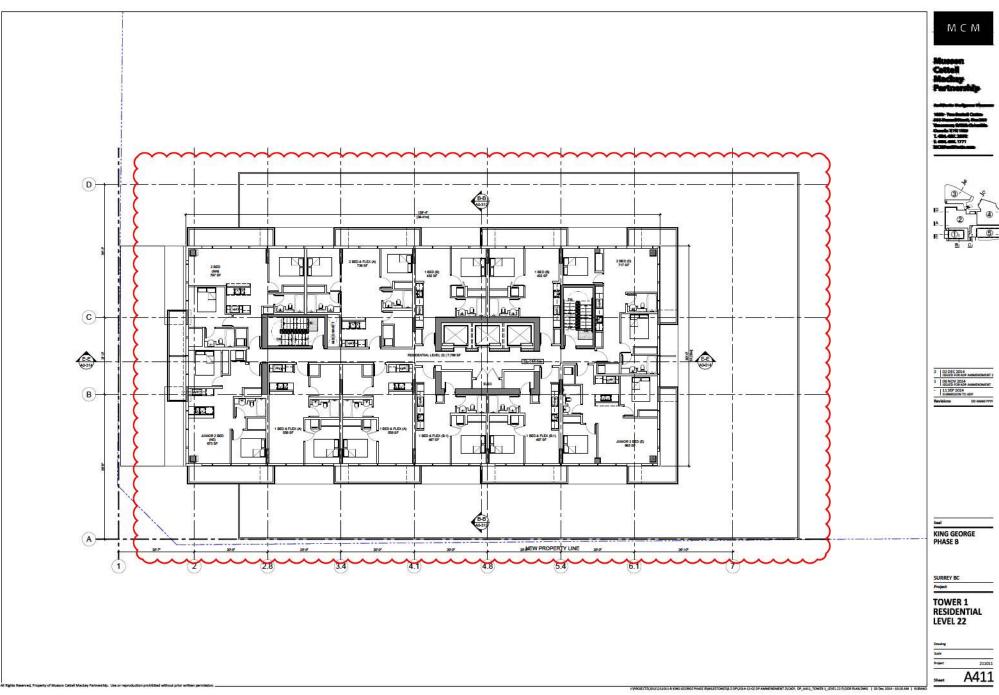
KING GEORGE

SURREY BC

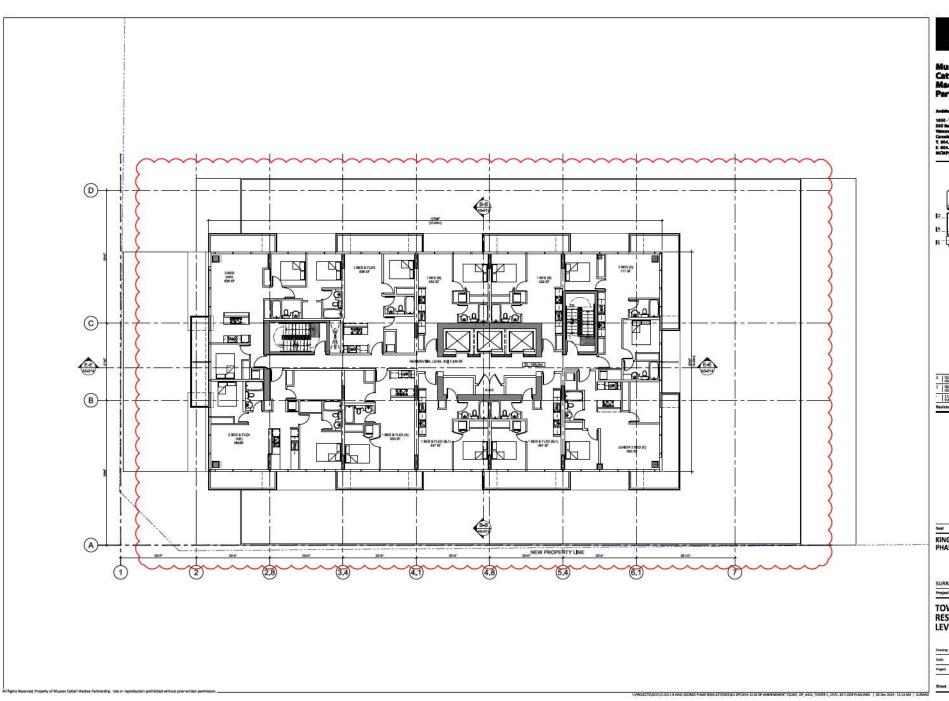
TOWER 1 RESIDENTIAL LEVEL 15

211011

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MCM

Musson Cattell Mackey Partnership

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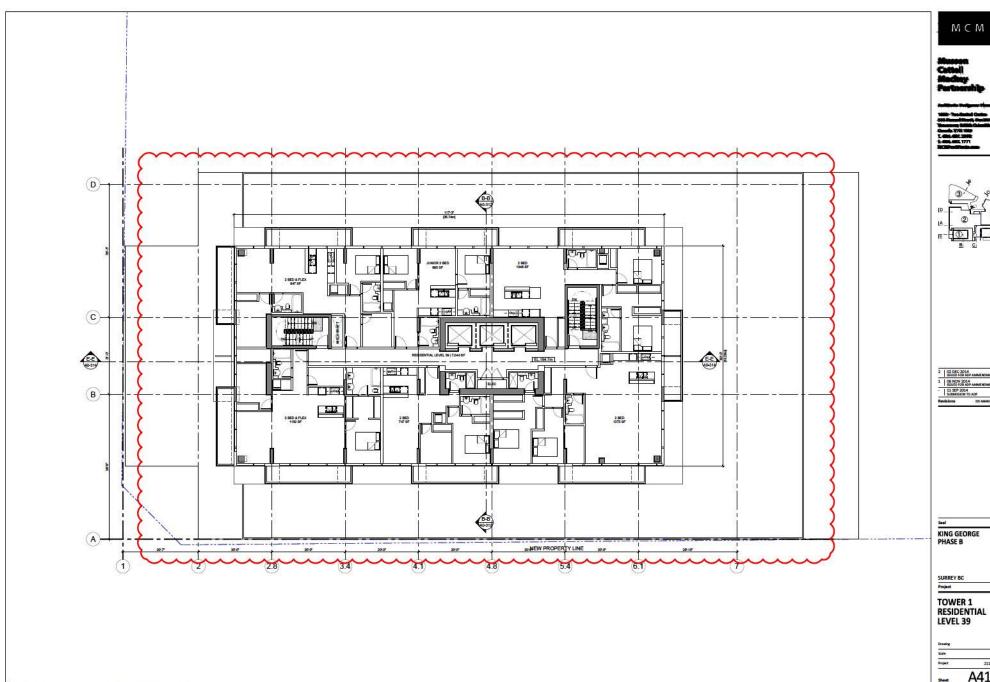
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KING GEORGE PHASE B

SURREY BC

TOWER 1 RESIDENTIAL LEVEL 30

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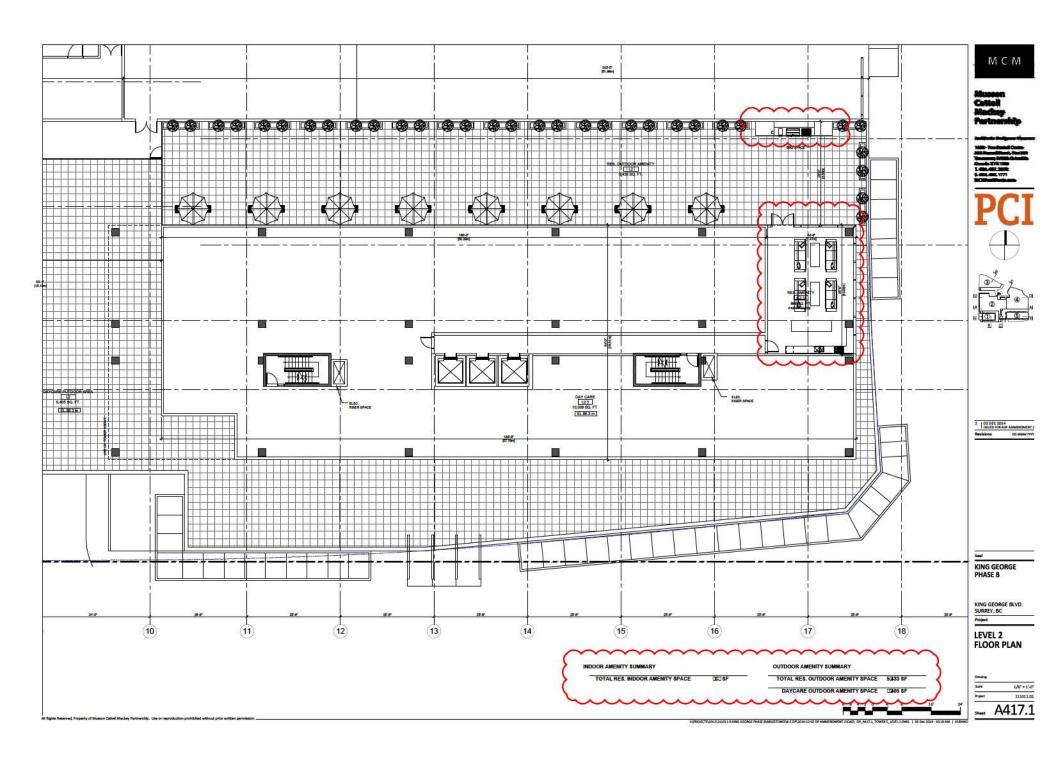
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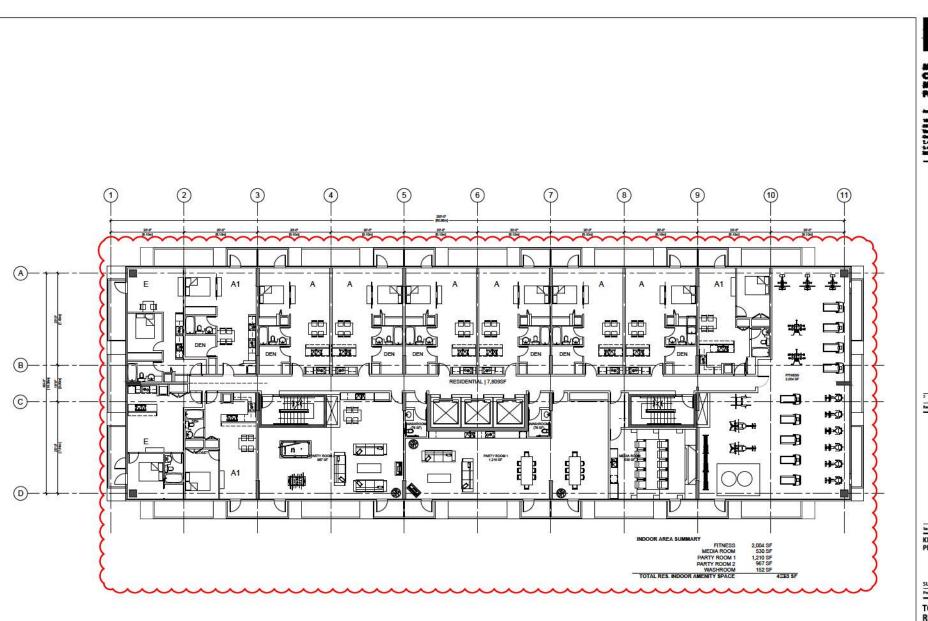
KING GEORGE PHASE B

SURREY BC

TOWER 5 RESIDENTIAL TYPICAL PLAN

DP_A417_TOWERS_TYP FLOOR FLAN_XREF ACTIVE.DWG | 08 Dec 2014 - 10:19 AM | ELEPANO





B4 - LEVEL 14 (AMENITY)

8' 6' 4' 2' 0" 4' 8' 16' 24'
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MCM

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KING GEORGE PHASE B

SURREY BC

TOWER 5 RENTAL AMENITY FLOOR LEVEL 14

Drawing ...

Scale 1/8"+1"-0" Project 211011

- A417.2

0.2 USE OF TYPOGRAPHY IN SIGN PROGRAM

The typeface for site wayfinding programs needs to meet international standards for legibility and easy recognition by viewers whether pedestrians, bicyclists, or drivers.

The typeface proposed for the signage at King George Station is Univers 75 Black. Lighter weights, such as Univers 65 Bold or Univers 55 Roman may be used in certain instances & secondary messages. This typeface meets international standards for legibility and easy recognition by viewers whether pedestrian or drivers, and maintains flexibility in a variety of

To ensure consistency and visual impact supporting typography must be set in the recommended font.

abcdefghijklmnopqrstuvwxyz ABCDEFGHIJKLMNOPQRSTUV ABCDEFGHIJKLMNOPQRSTUV ABCDEFGHIJKLMNOPQRSTUV WXYZ1234567890.,'()/-

Univers 75 Black

abcdefghijklmnopgrstuvwxyz WXYZ1234567890.,'()/-

Univers 65 Bold

abcdefghijklmnopgrstuvwxyz WXYZ1234567890.,'()/-

Univers 55 Roman





USE OF PICTOGRAM IN WAYFINDING PROGRAM

Pictograms are also known as pictographs, glyphs and symbols. They are symbol signs that cut across linguistic barriers to aid visitors orientation and wayfinding.

The pictograms illustrated here form part of the King George Station Wayfinding Program, and should be connected with the appropriate message. They are part of internationally recognized standards for public wayfinding. It is important to use only the pictograms specified here as part of the site wayfinding program.

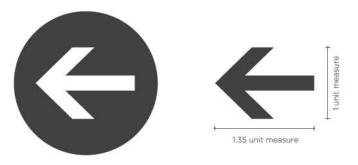
If any other pictogram is required it must be approved for use by PCI / EDG.



USE OF ARROWS IN WAYFINDING PROGRAM

Reversing the arrow out of a background makes the arrow appear to be larger. It also makes the arrow visually stand out from the adjacent messaging text.

If any other arrow is required it must be approved for use by PCI / EDG.



GUIDELINES FOR USE OF ARROWS

个	Straight ahead; up/upper level		
K	Left up	Right up	7
←	Left	Right	\rightarrow
K	Left down	Right down	K

SIZE OF ARROWS: The size is determined by the associated letter size

PLACEMENT OF ARROWS: All arrows must appear on the left side of the exterior sign.

WAYFINDING INFORMATION LAYOUT ON DIRECTIONAL SIGNS

GUIDELINES FOR USE OF DIRECTIONAL ARROWS:*

- Use no more than 3 destinations per directional arrow
- Use only one arrow per direction
- Use a maximum of 3 directions only
- Place all arrows on one side of sign
- All destinations to be listed in the order of arrival
- Use no more than 5 destinations per sign max.

*Refer to Figure 1



Figure 1

Sign Type Overview

*Note: Not all sign types shown. Refer to elevation drawings 1.4-1.7.

Sign #	Key	Sign Type
	-	Anchor Tenant Fascia Sign
2		Office Tower Fascia Sign (Skysign)*
3	-	Tenant Canopy Sign
4		Tenant Projected Sign
	-	Tenant Blade Sign
	-	Building Entrance ID Sign
	-	Parking "P" Projected Sign*
		Parking Entrance ID Sign*
	-	Projected Directory Sign
10		Pedestrian Directory/ Directional
11	-	Static Backit Poster Display*
	-	Tenaci Directory Pylon (DELETED)
13	-	Project Identification Sign*
		Banner Program (Temporary)*

10 PEDESTRIAN DIRECTORY/DIRECTIONAL (Freestanding Directional)

Double-sided pylon constructed of 25 mm (1") thick laminated darkened glass, on an LED edge-illuminated plynth. Illuminated Transit "T" at top of pylon. 37.5 mm (11/2") letters list a maximum of five destinations, with an optional digital map/directory below mounted underneath the glass. 762 mm x 4,572 mm (2'-6" x 15'-0")



G

R

TENANT PROJECTED SIGN

H (5'-0" W x 28'-0" to 32'-0" H)

NOTE: Inclusion of horizontal bars

enhances legibility of vertical sign blade

Double-sided aluminum sign cabinet with backlit illuminated acrylic sign faces and

Typically 1,524 mm W x 8,534 mm to 9,754 mm

ANCHOR TENANT FASCIA SIGN

height) including tenant logo where

Typically 1,219 mm O.A. height (4'-0" O.A.

applicable. Internally illuminated (4100K) individual channel letters, logo and colours to suit tenant brand identity standard.

See elevations for sizes

(See page T-0.2)

(Note: Above Ground Floor Fascia Sign shown)

push-through face lit individual letters.

*See elevations for sizes

PARKING

MOVIE PROJECTED DIRECTORY SIGN THEATRE Double-sided aluminum sign cabinet with backlit illuminated acrylic sign faces and vinyl text/graphics. Typically 1,524 mm W x 6,096 mm to 9,144 mm H (5'-0" W x 20'-0" to 30'-0" H) DRUG STORE FOOD MARKET

> RESIDENTIAL TOWER **ENTRANCE ID SIGN (RESIDENCE)**

304.8 mm Max. (1'-0" Max.) Letter Height w/ No Logo. Individual non-illuminated.



PHASE B SIGN PLAN - SIGN TYPE OVERVIEW SCALE: 3/16" - 1'-0"

King George Station Phase B

CLIENT NAME, MCM Architects / PCI

DATE, 2014-12-03

DRAWN BY, KB



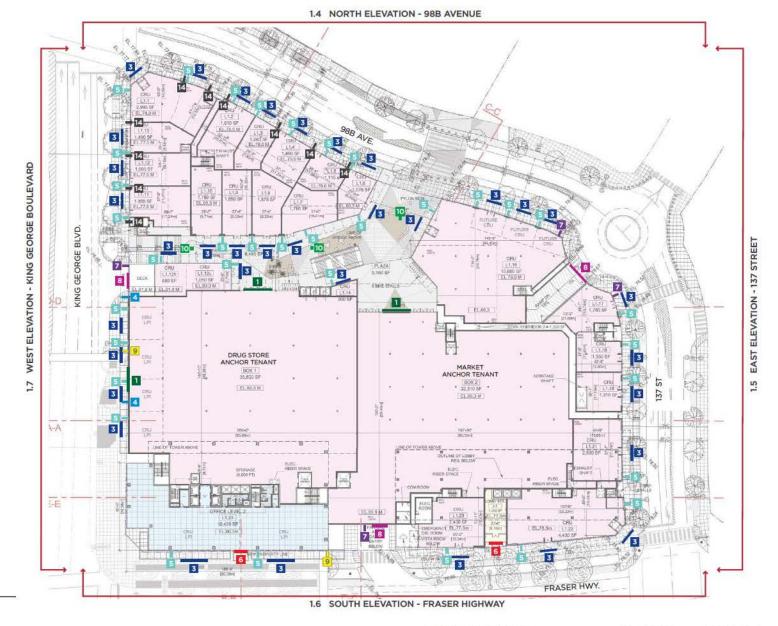
Sign #	Key	Sign Type
		Anchor Tenant Fascia Sign
2		Office Tower Fascia Sign (Skysign)
3		Tenant Canopy Sign
1.6	-	Tenant Projected Sign
5		Tenant Blade Sign
		Building Entrance ID Sign
		Parking "P" Projected Sign
	-	Parking Entrance ID Sign
	-	Projected Directory Sign
		Pedestrian Directory/ Directional
п	_	Static Backit Poster Display
12		Terens Genctory Pylon (DELETED)
	=	Project Identification Sign
1:34	-	Banner Program (Temporary)

Indicates sub-ground CRU demising walls

NOTE

As per Easement Agreement with the City of Surrey, some signage is proposed to be installed outside the new property line but within the demountable canopy line.

Sign Types 3, 4, 5, 7, 9, and 14 fall under this allowace.









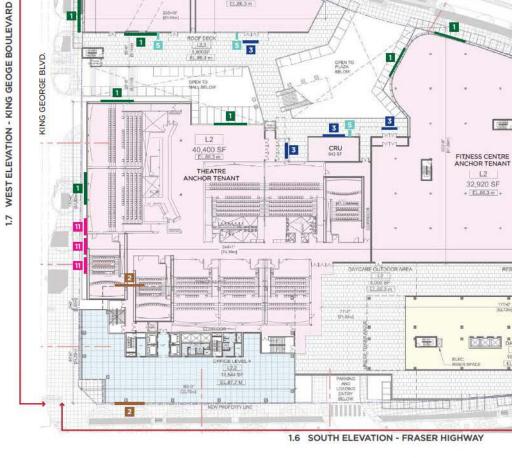


Sign #	Key	Sign Type
		Anchor Tenant Fascia Sign
2		Office Tower Fascia Sign (Skysign)
3		Tenant Canopy Sign
4	-	Tenant Projected Sign
5		Tenant Blade Sign
		Building Entrance ID Sign
		Parking "P" Projected Sign
	-	Parking Entrance ID Sign
	-	Projected Directory Sign
		Pedestrian Directory/ Directional
	_	Static Backit Poster Display
12		Tersini Ciractory Pylon (DELETED)
	=	Project Identification Sign
114	-	Banner Program (Temporary)

NOTE

As per Easement Agreement with the City of Surrey, some signage is proposed to be installed outside the new property line but within the demountable canopy line.

Sign Types 3, 4, 5, 7, 9, and 14 fall under this allowace.



RESTAURANT 2 12.2 5.660 SF = EL.86.3 m

1

ROOF DECK L2.7 5,900SF EL.86.3 m

L2

RESTAURANT . 10,200 SF EL,66,3 m

KING GEORGE BLVD.

Separate Park

1.4 NORTH ELEVATION - 98B AVENUE

3



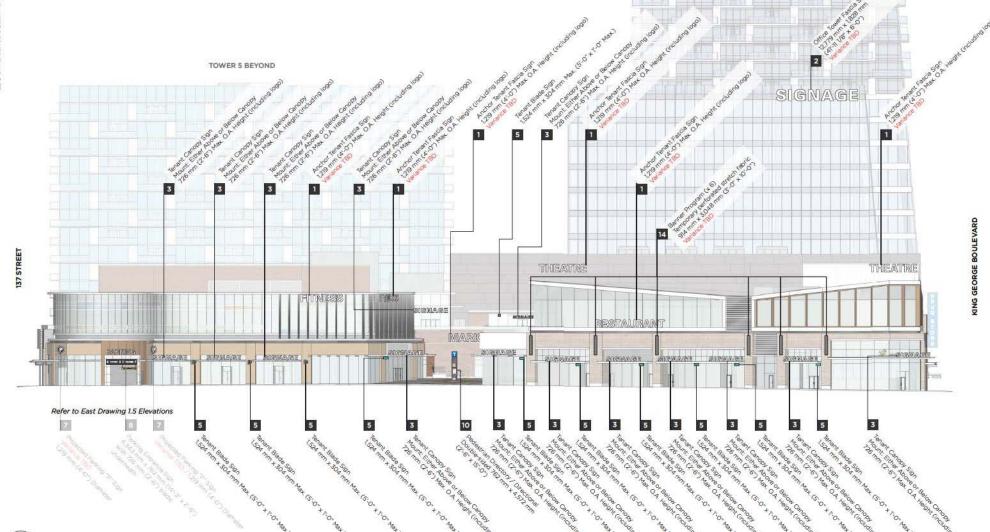
PHASE B - SIGN PLAN - LEVEL 2

RES. GUTTOOR AMENITY

minim

EAST ELEVATION - 137 STREET

1.5



King George Station Phase B Comprehensive Sign Plan - DRAFT 3

PHASE B - NORTH ELEVATION - 98B AVE

SCALE: 1/32" = 1'-0"

CLIENT NAME. MCM Architects / PCI FILE NAME. 14021 KGS CSP 1.4 North Elevation.ai DATE. 2014-12-03 PROJECT. 14021 DRAWN BY, KB REVIEW BY, BM Refer to South

Refer to North Drawing 1.4 Elevations

SIGNAGE

PHASE B - EAST ELEVATION - 137TH AVE SCALE: 1/32" = 1'-0"

Refer to South Drawing 1.6 Elevations

King George Station Phase B

CLIENT NAME, MCM Architects / PCI FILE NAME. 14021 KGS CSP 1.5 East Elevation.ai

Refer to North Drawing 1.4 Elevations

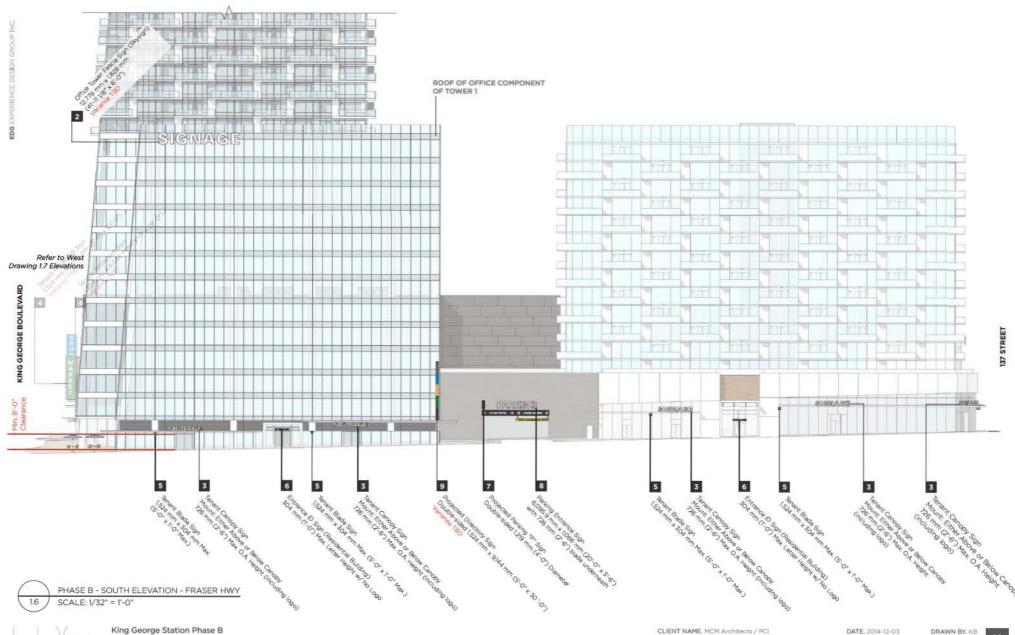
DATE. 2014-12-02 PROJECT, 14021

DRAWN BY, KB REVIEW BY, BM

RESIDENTIAL TOWER 1 ABOVE

OFFICE COMPONENT OF TOWER 5

Refer to North Drawing 1.4 Elevations



Comprehensive Sign Plan - DRAFT 3

FILE NAME, 14021 KGS CSP 1.6 South Elevation.ai

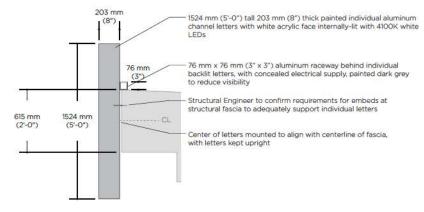
PROJECT, 14021

DRAWN BY, KB REVIEW BY, BM

King George Station Phase B
Comprehensive Sign Plan - DRAFT 3

CLIENT NAME. MCM Architects / PCI FILE NAME. 14021 KGS CSP 1.7 West Elevation.ai DATE. 2014-12-03 PROJECT. 14021 DRAWN BY, KB REVIEW BY, BM

SIGN TYPE 13: PROJECT IDENTIFICATION SIGN STEPPED LETTERS



PHASE B - SIGN TYPE 13: PROJECT IDENTIFICATION SIGN - SECTION DETAIL

SCALE: 1/2" = 1'-0"



PHASE B - SIGN TYPE 13: PROJECT IDENTIFICATION SIGN - WEST ELEVATION

SCALE: 1/8" = 1'-0"

King George Station Phase B Comprehensive Sign Plan - DRAFT 3 CLIENT NAME, MCM Architects / PCI FILE NAME. 14021 KGS CSP 1.8 Project ID Sign.ai DATE. 2014-12-03 PROJECT, 14021

DRAWN BY, KB

COMMERCIAL TENANT EXTERIOR SIGN GUIDELINES

COMMERCIAL STOREFRONT DESIGN

The tenant's design solution should integrate the storefront signage, interior retail design and merchandising concepts into a complete statement consistent with the tenant's merchandise and market while furthering the sense of quality of the entire experience of the development.

COMMERCIAL STOREFRONT SIGNAGE

The tenant must retain the services of a professionally trained designer to create their brand identity program, sign program and environmental graphics.

There are at least three prominent locations in the development for tenant identity signage:

LOCATION 1: FASCIA SIGN

The first is on the appropriate street facing building fascia. If the tenant has a corner unit a secondary fascia sign may be allowed. In some cases tenants have an inside or "internal" private street or public plaza elevation allowing another fascia sign opportunity. Tenant fascia signs consist of individual dimensional letter forms mounted directly to the tenant fascia or an integral double metal raceway. which in turn is attached to the fascia. Signage is limited to the tenant trade name, brand identity and logo only. The maximum size of the signs are set out in the project CSP/ Comprehensive Sign Plan as approved by the City of Surrey. (REFER TO PAGE T-0.2 FOR DETAILS)

LOCATION 2: TENANT CANOPY SIGN BAND

The second is canopy signs suspended below the edge of (glazed) canopy above the public retail walkways, including those located on the public street, any "internal" private street or the public plaza. Tenant canopy signs consist of individual dimensional letter forms mounted directly below the edge of the canopy on an integral metal raceway, which in turn is attached to the edge of the canopy. Signage is limited to the tenant trade name, brand identity and logo only. The maximum size of the signs are set out in the project CSP/ Comprehensive Sign Plan as approved by the City of Surrey. (REFER TO PAGE T-0.3 FOR DETAILS.)

LOCATION 3: BLADE SIGN

The third is blade signs projected below the canopy and toward the public retail walkways, including those located on the public street, any "internal" private street or the public plaza. Tenant blade signs consist of low profile painted metal sign cabinet with push-through dimensional letters, mounted directly on building exterior wall with consist ant metal mounting frame through-out the development. Signage is limited to the tenant trade name, brand identity and logo only. The maximum size of the signs are set out in the project CSP/ Comprehensive Sign Plan as approved by the City of Surrey. (REFER TO PAGE T-0.4 FOR DETAILS)

Identity signage is to be an integrated element of the tenant storefront. Tenants are to use their brand identity program (logo/logotype/colours, etc.) for maximum brand recognition and to create animation, individuality, and interest for the passerby and shopper.

LETTER FORMS FOR FASCIA & CANOPY MOUNTED SIGNS, MAY BE ONE OF THE FOLLOWING: 1. Reverse pan aluminum channel letters with halo LED illumination & integrated backing material. Letter faces and returns may be of painted, brushed or polished metal.

- 2. Pan channel letters with a translucent acrylic or polycarbonate face and internal LED illumination. The attachment of the plastic faces to the metal channel must be clean, flush, and secure. The plastic face must have a matte finish to avoid reflections.
- 3. Dimensional opaque letters of metal, acrylic, cast plaster or resin, or other appropriate exterior grade material with discreet surface illumination, mounted onto an integral raceway support.
- 4. Edge-lit glass or acrylic panel with letters deep carved or etched into the panel surface, yielding a glowing letter edge form.

FABRICATION & INSTALLATION

All wiring must take place within an approved raceway, integral with the sign or be completely concealed behind the tenant's fascia with access from within the tenant's space.

No exposed wiring or conduit will be permitted on any signage: All conduit tubing, conductors, transformers and other equipment must be concealed within the building or within an approved raceway. Electrical service to all Tenant's signs shall be from the tenant's electrical panel.

No window signs or front of glass mounted storefront advertising will be allowed that is visible from the public plaza and surrounding streets without express approval from the owner/architect. All windows to be generally kept clear according to the premises of the City By-law.

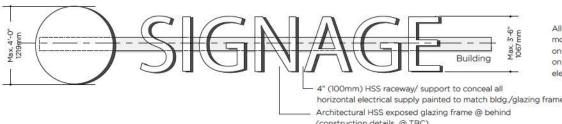
NOTE SIGN APPROVALS & PERMITS:

ALL SIGNS REQUIRE CITY OF SURREY APPROVAL AND NECESSARY PERMITS PRIOR TO INSTALLATION. Refer to current City Sign By-law and website for detailed requirements.



T-0.2 ANCHOR TENANT FASCIA SIGNS

Tenant Fascia Sign Band Individual internally lit letters / logo mounted on integral raceway to be attached to building mullions, 4'-0" Max. (1219mm) overall height with 3'-6" (1067mm) Max. letter height



All fascia signs to be mounted centred on same datum height on each building elevation

horizontal electrical supply painted to match bldg./glazing framework

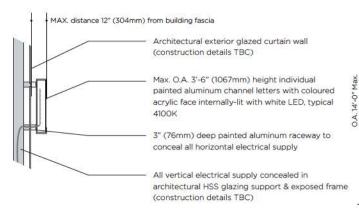
(construction details @ TBC)

ANCHOR TENANT FASCIA SIGN - TYPICAL SECTION SCALE: 1/4" = 1'-0"

SIGN TYPE 1: Anchor Tenant Fascia Sign

Individual internally lit letters and Logo mounted on double raceway, attached to building mullions.

(Single Line) 4'-0" (1219mm) Max. O.A. height with 3'-6" (1067mm) Max. Letter Height (Stacked) 14'-0" (4267mm) Max. O.A. height with 3'-6" (1067mm) Max. Letter Height Max. 3 lines.



ANCHOR TENANT FASCIA SIGN - ELEVATION SCALE: 3/8" = 1'-0"

Tenant Fascia Sign Band

Individual internally lit letters / logo mounted on integral raceway to be attached to building mullions, 8'-0" (2438mm) Max. O.A. height with 3'-6" (1067mm) Max. Letter Height, Max. 3 lines.



TENANT FASCIA SIGN - STACKED ELEVATION T-0.2 | SCALE: 1/4"=1'-0"

EXAMPLES OF ACCEPTABLE FASCIA SIGNS



Sign positioning integrated with building

EXAMPLES OF UNACCEPTABLE FASCIA SIGN



Large backlit plastic faced box signs.

SCALE: 1/4" = 1'-0"

King George Station Phase B Comprehensive Sign Plan - DRAFT 3

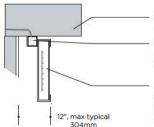
ANCHOR TENANT FASCIA SIGN - MOUNTING DETAILS

CLIENT NAME, MCM Architects / PCI FILE NAME. 14021 KGS CSP T-0.2 Fascia Sign.ai DATE, 2014-11-26 PROJECT, 14021

DRAWN BY, CW REVIEW BY. BM

T-0.3 - TENANT CANOPY SIGN

Individual internally lit letters / logo mounted on integral raceway suspended from edge below canopy structure, 2'-6" (762mm) Max. overall height (including logo) with 1'-6" (457mm) Max. letter height

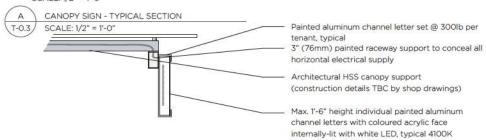


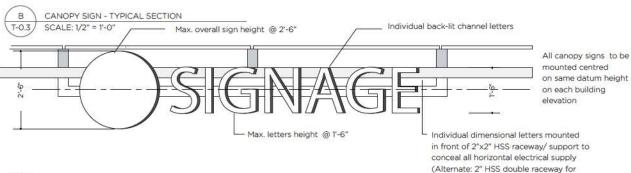
Integral building overhang/ base of canopy -LOWER LEVEL ONLY

3" (76mm) deep painted raceway support to conceal all horizontal electrical supply, mounted BELOW the canopy

Max. 1'-6" height individual painted aluminum channel letters/ logo with coloured acrylic face internally-lit with white LED, mounted 12" (304mm) from the building fascia to face of letters/logo

TENANT CANOPY SIGN - TYPICAL SECTION (BULKHEAD MOUNT) SCALE: 1/2" = 1'-0"





TENANT CANOPY SIGN - TYPICAL UNDER CANOPY SECTION INSTALLATION SCALE: 1/2" = 1'-0"

EXAMPLE OF ACCEPTABLE CANOPY SIGN



Sign position below, integrated with canopy

stacked / double lines canopy sign)

EXAMPLE OF UNACCEPTABLE CANOPY SIGN



Letters mounted above canopy



Type 1: 2'-6" (762mm) max. overall height with tenant logo @ 1'-6" (457mm) max. letter heights

PREFERRED



Type 2: 2'-6" (762mm) max. overall height with tenant logo at centre, with split tenant name @ 1'-6" (457mm) max. letter heights



Type 3: 2'-6" (762mm) max. overall height with tenant name and position line below, mounted on edge below building canopy via double raceway @ 2" x 2" (50mm x 50mm) in height.



Type 4: 2'-6" (762mm) max. overall height with stacked tenant name, mounted on edge below building canopy via double raceway @ 2" (50mm x 50mm) in height.

POSSIBLE TENANT CANOPY SIGN LAYOUT CONFIGURATIONS SCALE: 1/2" = 1'-0" T-0.3

King George Station Phase B Comprehensive Sign Plan - DRAFT 3 CLIENT NAME, MCM Architects / PCI

DATE, 2014-11-26 PROJECT, 14021

REVIEW BY. BM

T-0.4 TENANT BLADE SIGN **EXAMPLES OF ACCEPTABLE TENANT BLADE SIGNS**



Internally illuminated push-through blade sign. Slim architectural detail with integrated electrical



Sign cabinet with integral bracket and concealed electrical supply to building

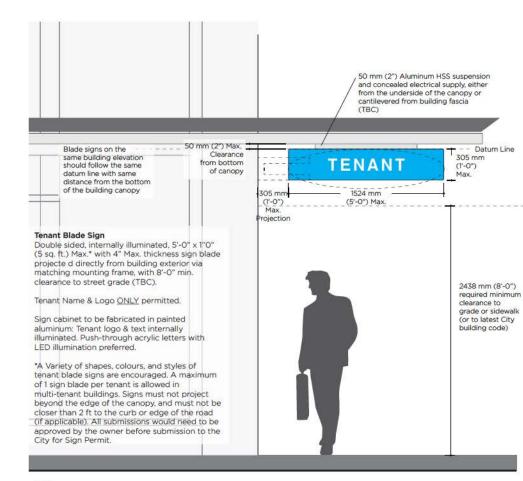
EXAMPLES OF UNACCEPTABLE TENANT BLADE SIGNS



Unacceptable: Internally illuminated plastic face, back-lit "box" sign too thick and exposed electrical conduit to supply building.



Unacceptable: externally illuminated sign face. Exposed suspension wire/ cables from canopy and poor example of exposed lighting.





TENANT SIGN GUIDELINES - BLADE SIGNS

SCALE: 1/2" = 1'-0"



King George Station Phase B Comprehensive Sign Plan - DRAFT 3 CLIENT NAME, MCM Architects / PCI FILE NAME. 14021 KGS CSP T-0.4 Blade Sign.ai DATE, 2014-12-02 PROJECT, 14021

DRAWN BY, KB REVIEW BY. BM



King George Station - Phase B

Landscape Drawing - DP Submission

Contact Information	Other Key Contacts:				
van der Zaim + associates Inc. Continuation Landscape Architect Suite 1 - 2017 57th Avenue Langley, British Columbia, V 1. 482 20024 f. 604 882 0042 Primary project confact: Mark synan moynan@ydz.co 0. 604 882 0024 xi 22	PCI Developments Corp. Corper 1700 - 1030 West Georgia Street Vancovaer, BC VSE 2Y3 t. 604 689 2328	Musson Cattlell Mackey Partnership Projed Studing Architecture 1500 - Two Berhall Centre 558 Burned Street, Sox 264 Vancouver, BC V7X 1M9 1, 604 687 2990	Hub Engineering Old Engineering Sude 101 - 7485 130 8t Surrey BC VSW 1HB	Nemetz: Project Electrical Engineering 2009 West 4th Avenue Vancouver BC VSJ 11N3	Geopacfic Consultants Itd Project Geolectrical Engineering Suite 215-1200 7 and Ave W Vancouver BC V6P 605
Alternate contacts (Incase away): Mark van der Zalm Principal Landscape Architect mark@vat.ca 6.604 882.0034 x22 Ryan Crago Senior Project Manager 6.604 882.0034 x30	Integral Glotman Simpson Mechanical Engineering Structural Engineering	Legal Address and Description:			
	180-200 Granville Street Vancouver BC VSC 184 £ 604 687 1800	1661 West 5th Avenue Vancouver BC V6J 1NS	Lot 1, Section 35, Block 5 North, R New Westminster District Plan_EPI		

	Sheet List Table
Sheet Number	Sheet Title
L-00	COVER PAGE
LDP-1.00	TREE MANAGEMENT PLAN
L-01	NOTES
L-02	LANDSCAPE MASTER PLAN
L-03	GROUND FLOOR
L-04	ROOF LEVEL
L-05A	OFF SITE PLANTING PLAN
L-05B	ROOF PLANTING PLAN
L-06	SECTIONS
LD-01	HARDSCAPE DETAILS
LD-02	GREEN ROOF DETAILS
LD-03	MECHANICAL EQUIP. SCREEN DETAILS
LD-04	SITE FURNISHINGS
LD-05	LIGHTING

Site Plan Overview - 1:500





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KING GEORGE STATION PHASE B

9900 KING GEORGE BLVD SURREY, BC

COVER PAGE

DATE:	000000000000000000000000000000000000000
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PROJECT:	DP2013-19
SHEET:	1 -00

CRITICAL LANDSCAPE NOTES:

- PROJECT CONTACT
 - PRIMARY CONTACT: Mark Synan, Project Manager (msynan@vdz.ca) P. 604 882 0024 F. 604 882 0042
- 1.2 ALTERNATE CONTACT (IN CASE OF ABSENCE): Micole Wu (micole@vdz.ca) P. 604 882 0024 F. 604 882 0042

PROJECT COORDINATION:

- 2.1 The contractor(s) responsible for completing the landscape scope of work shall conform to the reference standards,
- 2.2 CoS Parks Department shall be invited to pre-con meeting:
- 2.3 Fraser Highway: One tree per 10m.
- 2.4 King George Blvd: Quercus coccinea; one tree per 10m.
- 2.5 137 Street / Whalley Blvd / 988 Ave: Cercidiphyllum japonica + Acer campestre 'Queen Elizabeth'; aitemating species, one tree
- 2.6 Inspection to be in conjunction with land development.
- City Details are being updated, this information may change.
 Contractor to confirm final design, detailing, and specifications with the City of Surrey Engineering Dept. and project consultants.

DRAWINGS AND SPECIFICATIONS:

- The contractor, sub-contractor, and coordinating trades/suppliers responsible for completing the landscape scope of work is responsible for reviewing the master specification package for the project in conjunction with all consultant drawings, inclusive
- 3.2 Should any drawing or detail conflict with the master on file the contractor must immediately notify the design team for coordination prior to order, preparation or installation of said conflicting works (typ).
- 3.3 Examples of key specifications that relate to landscape are
 - Division 1, General Requirements
 - Division 2. Existing Conditions
 - Division 3. Concrete
 - Division 6, Wood and plastics Division 7. Thermal and Moisture Protection

 - Division 31, Earthwork Division 32, Exterior improvements
- 3.4 The contractor(s) responsible for completing hard and soft landscape works are responsible for providing the landscape architect with a complete "project record copy" of mark-ups or changes to works defined in the Landscape Drawings. This is in addition to any record drawing requests defined under Division 1. The project record copy mark-ups should be completed with red pen if submitted as a hard copy or in red coloured notes if

LANDSCAPE CONCRETE WORK

- 4.1 All concrete shall conform to all standards identified under Division 3 of the master specification and specifications by the CMI Engineer (refer to civil drawings, with references to MMCD specs) (complete)
- 4.2 Concrete reinforcing for vertical landscape cast in place walls shall comply with details and specifications defined in structural
- 4.3 All hortzontal exterior concrete surfaces shall have a light broom finish or approved equal unless specified otherwise
- All vertical concrete surfaces inclusive of cast in place walls shall have a light sand blast finish or approved equal unless specified
- 4.5 The contractor should confirm the locations of control joint patterning and expansion joints with the landscape architect prior to installation for concrete paving surfaces and walls

UNIT PAVING

- Precast concrete unit pavers or natural stone unit pavers must be provided in a 2m x 2m 'mock-up' on site a minimum 2 weeks prior to order of materials for approval by the landscape architect. The mock-up should be installed as per manufacturer's architect. The mout-up should be installed as per manufacture specifications and include any bedding malerial, pedestails, grouts or mortar specified in project drawings or specifications. Grouts, mortars, sealers, or products that require drying time must have been installed a minimum 48 hours prior to the time
- 5.2 All approved unit paving and bedding or joining materials should be installed as per manufacturers specifications.

5.3 Professionals should be qualified and experienced (minimum 5 years) in installing paving products specified in landscape

- All metal work shall conform to Division 4 of the master specification for the project (complete)
- Additional references that apply to metal work (may not necessarily be included under Division 4):
- American Society for Testing and Materials international,
- American sourcey for recomplication for Pipe, Steel, Black and ASTM ASTM ASTM [02], Specification for Pipe, Steel, Black and Hot Dipped, Zinc, Coated, Welded and Seamless, ASTM A12 [199], Specification for Zinc, Coated (Galvanized) Steel
- ASTM DS116_[97], Standard Guide For Small_Scale Environmental Chamber Determinations of Organic Emissions From Indoor Materials/Products.Canadian General Standards
- Board (CGSB). CAN/CGSB 1.28 [98], Alkyd, Exterior House Paint.
- CAN/CGSB 1.69 [98], Aluminum Paint. CAN/CGSB 1.181 [99], Ready Mixed Organic Zinc Rich

- Coating.

 CANICGSS 1_GP_138M_[97], Paint Exterior Latex Type Flat.
 Canadian Standards Association (CSA International).

 CANICGA-A23.1-[00]/A23.2-[F00], Concrete Materials and
 Methods of Concrete Construction/Methods of Test for Concrete.
- CSA G42 [1964(R1998)], Galvanized (Zinc_Coated) Steel Farm Field Wire Fencing. CSA_080 Series_[97], Wood Preservation. Environmental Choice Program (ECP).

- CCD-047a-[98], Paints, Surface Coatings. CCD-47b-[98], Stains, Surface Coatings. CCD-47c-[98], Varnishes, Surface Coatings
- CCD-048-[95], Surface Coatings -Recycled Water-Borne
- 6.3 All fences, fasteners and railings shall be submitted via shop
- drawing and submitted for approval by the landscape architect prior to purchase or installation
- All fasteners used in wood connections (i.e. screws, nails, etc) are to be countersunk and predrilled to prevent wood splitting unless specified otherwise
- All anchor plates, hangers, and affiliated fastener joining materials must meet flush between joining surfaces without gaps, unless specified otherwise
- 6.6 All metal work shall be treated for protection from corrosion (i.e. Aluminum must be anodized and steel must be galvanized or stainless steel) prior to additional coatings of paints or sealers.
- 6.7 All metal bonding (i.e. welding or soldering) must be completed and metal work should be treated for protection from corresion.

 Bonding work should be concealed by the finishes of the metal work. Sanding or handwork needed to provide a smooth and consistent finish along the bonded metal material should be done to match the finish of the metals used for joining
- All railing heights, picket spacing, and rail spacing should be in accordance with the British Columbia Building Code, CAN/CSA - Z614-07 and affiliated ASTM standards
- Install a grounding rod on all fences, metal posts or poles taller than 6' (1800mm) in height through the direction of the project electrical engineer. Contractor to confirm the location(s) of said work at the time of project start-up with the electrical engineer and landscape architect

DESIGN BUILD IRRIGATION:

- Irrigation work should be completed to comply with the Canadian Electrical Code and Canadian Plumbing Code
- 7.2 Professionals should be qualified and experienced (minimum 5 years) in installing drip irrigation systems
- 7.3 Refer to design build imigation specifications for additional

PLANTING AND SOFTSCAPES:

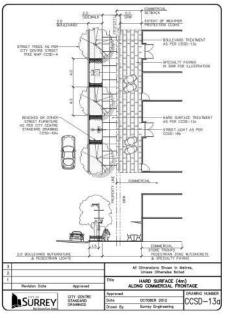
- All landscape materials, planting and softscaping shall conform to standards defined under Division 32 and BCLNA standards,
- 8.2 Warranty of plant material shall conform to BCLNA Standard, 8th
- The contractor is responsible to have the landscape architect Inspect the sile for fine grading in areas where slopes, berms or mounds are used as part of soft landscaping features prior to the installation of plant material. A minimum 7 days notice is required for this review
- 8.4 The contractor is responsible to have the landscape architect inspect the site for fine grading in areas where sod or seed are used as part of soft landscaping features prior to the installation of sod or seed. A minimum 7 days notice is required for this review. Preparation of sod and seed areas shall conform to BCLNA stands. No 1 Turfgrass and No. 1 Canadian seed standards apply as defined through BCLNA standards.

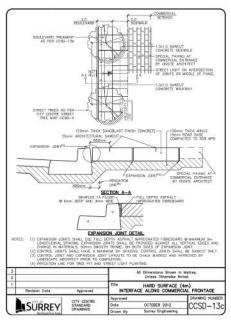
- installation and maintenance specifications of sod and seed shall apply as defined through BCLNA standards.
- 8.5 Establishment maintenance and watering must be completed by Leaduration in the landscape contractor through the course of construction, installation, AND substantial completion until all deficiencies are deemed as complete and landscape architect issues final acceptance. Establishment maintenance practice and edures are defined under the BCLNA Standard, 8th Edition. This should be compliant with "Level 1, well groomed
- 8.7 The landscape contractor shall provide the landscape architect The tanoscape contractor shall provide the tanoscape aromeo, with a minimum of 10 business days notice to perform a review at local nurseries who are supplying major plant orders to the site. Nursery reviews by the tandscape architect do not wave the right by the landscape architect to reject plant material on site that does not meet drawing specification or BCLNA standards at any time.
- 8.8 The landscape contractor must submit a soil report/test report to that shows that growing mediums comply with the standards identified in the BCLNA Standard, 8th Edition for "Level 1, well
- 8.9 The general contractor shall pay for a minimum two (2) random The general contractor shall pay for a minimum two (2) random tests will be performed during the course of constitution to center of the course of constitution to confirm that the growing medium being installed on site matches the less approved by the tundescape architect. The indiscape architect will notify the general contractor of when said beds will cour and soil camples should be malted out within 46 hours of this notice. Faiture to have soil match approved material could make the course of the c material at the contractor's expense. Soil tests should be sent to Pacific Soli Analysis Incorporated or approved equal testing
 - Pacific Soil Analysis Inc. Suite 5-11720 Voyageur Way, RICHMOND, BC V6X 3G9 Telephone 604 273 8226
- 8.10 Landscape mulch shall conform to BCLNA standards and be Installed at depths specified under BCLNA standards, 8th edition. Mulch must be non-toxic. Mulch should be dank brown or
- Filter fabric must be provided in any areas were drain rock is used as a mulch substitute or landscape feature, with the exception of drip strips (unless noted otherwise).
- 8.12 In areas where soft landscaping shall be planted over structural slabs, the contractor must submit, in writing, that the project architect has inspected planters or areas of soft landscape planting and has approved the waterproofing and siab protection present, such that it conforms to contract specifications and drawings. This shall be done prior to any inspections the landscape architect shall make to review growing medium
- 8.13 Should any fertilizers or chemicals be applied to soft landscapes,
- 8 14. It is expected that the contractor shall recycle waste materials and packaging in accordance with Waste Management and Disposal procedures defined under Division 1 of the master

EXTERIOR SITE FURNISHINGS:

- 9.1 Site furnishings shall all be provided via shop drawing submittals through the submittal processes defined under Division 1 of the master specification.
- 9.2 It is expected that the landscape architect shall see a shop drawing for every piece of landscape site furnishing specified in landscape drawings. It is the contractor's responsibility to receive approval from the landscape architect on all colours, installation options and affiliated finishes through shop drawing submittals prior to the purchase or installation of site furnishings.
- 9.3 All site furnishings should be installed as per the manufacturer's
- 9.4 It is the contractor's responsibility to notify the landscape architect if a conflict occurs between the installation requirements defined by manufacturers and the landscape site plan, specifications, or details.
- 9.5 It is expected that the contractor shall recycle waste materials and packaging in accordance with Waste Management and Disposal procedures defined under Division 1 of the master

SURREY CITY CENTRE DESIGN STANDARDS**:





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MUSSON CATTELL MACKEY PARTNERSHIP ARCHITECTE DESIGNERS PLANNERS

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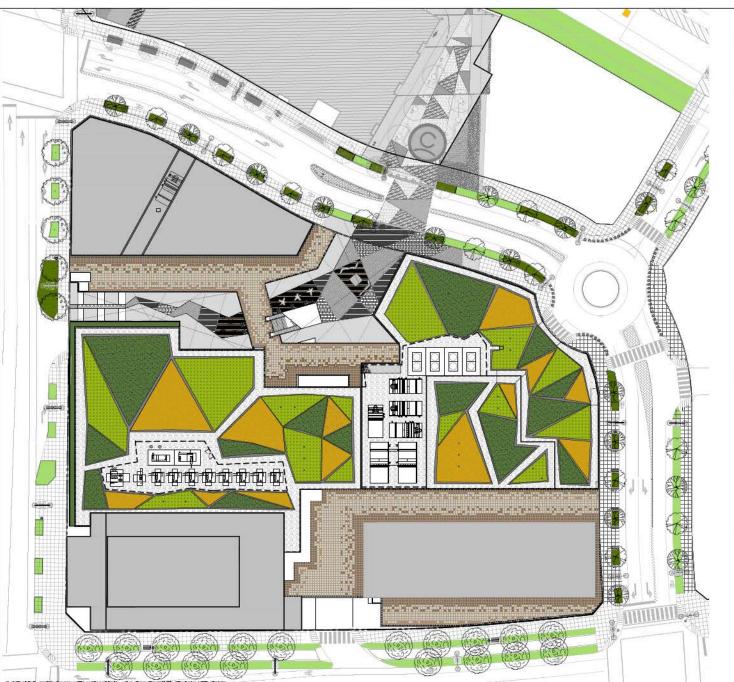
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QTY	KEY	DESCRIPTION
1060 m²		DECORATIVE CONCRETE (UNCOLOURED): See SHT LD-01. Refer to Arch Floor Assembly Typicals.
175 m²		DECORATIVE CONCRETE (COLOURED) See SHT LD-01. Refer to Arch Floor Assembly Typicals.
178 m²		PLAZA DECKING: See SHT LD-01. Refer to Arch Floor Assembly Typicals.
See plant schedule		PLANTING BEDS. See SHT L-06.
600 m²		SCO: Refer to specification notes for requirements.
2083 m²		PUBLIC REALM PAVING (OFF SITE): Refer to Surrey City Centre Design Standards: SCCD-19s & SCCD-19s; Refer to Arch Floor Assembly Typicals.
Right 1, es Streight 1, es Flor: 3, es	L43	PLAZA SEATING: Millerio & Flor from Landscapeforms; White cest stone, freestanding; See SHT LD-05.
2, each	0	PLAZA TRASH BIN See SHT LD-05.
5, each		DECORATIVE PLANT POTS: Custom design. See SHT LD-05.
16, each	_	CITY R.O.W. BENCH: 6' Surfe Bench from Wishbone Ltd.; Black recycled pleatic lumber, City of Surrey Black powder cost, surface mount; See SHT LD-04.
6, each	0	GREENWAY TRASH BIN See Datall 2, Sheet LD-05.
23, each	П	CONCRETE SEAT / BOLLARD: 27 Angular Cube from Sanderson Concrete of approved equal; Medium sandblast finish; embedded See SHT LD-01.

- OTIES:
 ALL SITE FURNISHMOS SHALL BE SPECIFED TO THE APPROVAL OF THE
 CITY OF SURBEY.
 ALL LANDSCAPPING AND LANDSCAPE MATERIALS MUST CONFORM TO THE
 ALL LANDSCAPPING SHOTHER OF CAMBRIA AND SHORE SHOWARD.
 ALL ALL SAFECPECATIONS ARE INTEREDIDED TO BE READ IN COMPONINT ON
 WITH ARCHITECTURAL, CIVIL, MECHANICAL, STRUCKLETURAL, ET A.,
 ALL QUANTITIES TO BE USED AS QUIDELINE ONLY, CONTRACTOR TO
 VERSY ALL QUANTITIES.

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Paris & Recreation - Environmental Consultin
Urban Design + Landscape Architecture



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MUSSON CATTELL MACKEY PARTNERSHIP

ARCHITECTE DESIGNERS PLANNERS 1609 - TWO BENTALL CENTRE 666 SURPHIED BENCE BOX 264 VANCOUVER BC CANADA V77, 1669 T 4601 687 9996 F 4604 467 1771

KING GEORGE STATION PHASE B

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LANDSCAPE MASTER PLAN

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GROUND LEVEL LANDSCAPE LEGEND DESCRIPTION DECORATIVE CONCRETE (UNCOLOURED): See SHT LD-01. Refer to Arch Floor Assembly Typio DECORATIVE CONCRETE 175 m² PLAZA DECKING: See SHT LD-01. Refer to Arch Floor Assembly Typicals. 178 m² Refer to specification notes for requirements. PUBLIC REALM PAVING (OFF SITE): Refer to Surrey City Centre Design Standards: SCCD-13e & SCCD-13c; Refer to Arch Floor Assembly Typicals. 2083 m² PLAZA SEATING: Millerio & Flor from Landscapeforms White cast atons, freestanding, See SHT LD-05. PLAZA TRASH BIN: See SHT LD-05. 2, each 0 DECORATIVE PLANT POTS: 5, each Custom design. See SHT LD-05. CITY R.O.W. BENCH:
6" Surfie Bench from Wahlbone Ltd.;
Black recycled pleatic lumber, City of Surrey
Black powder cost, surface mount,
Bee SHT LI-O4. 16, each 6, each CONCRETE SEAT / BOLLARD: 22" Angular Cube from Senderson Concrete or approved equat, Medium sendolest finish; embedded; See SHT LD-01. 23, each

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2. ALL LANDSCAPPION AND LANDSCAPE MATERIALS MUST CONFORM TO THE
LATEST EDITION OF THE SHITISH COLLINES LANDSCAPE STANDARD.

WITH ARCHITECTURAL, CIVIL, MECHANICAL, STRUCKLAP, ET. AL.
ALL QUANTITIES TO BE USED AS QUIDELINE ONLY CONTRACTOR TO
WERRY FLE, QUANTITIES.

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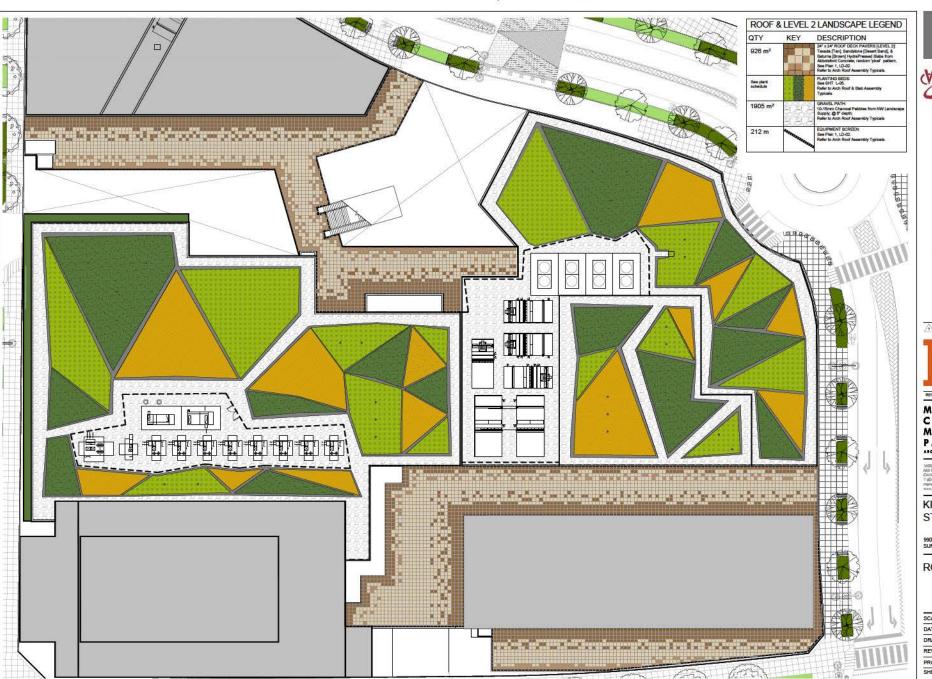
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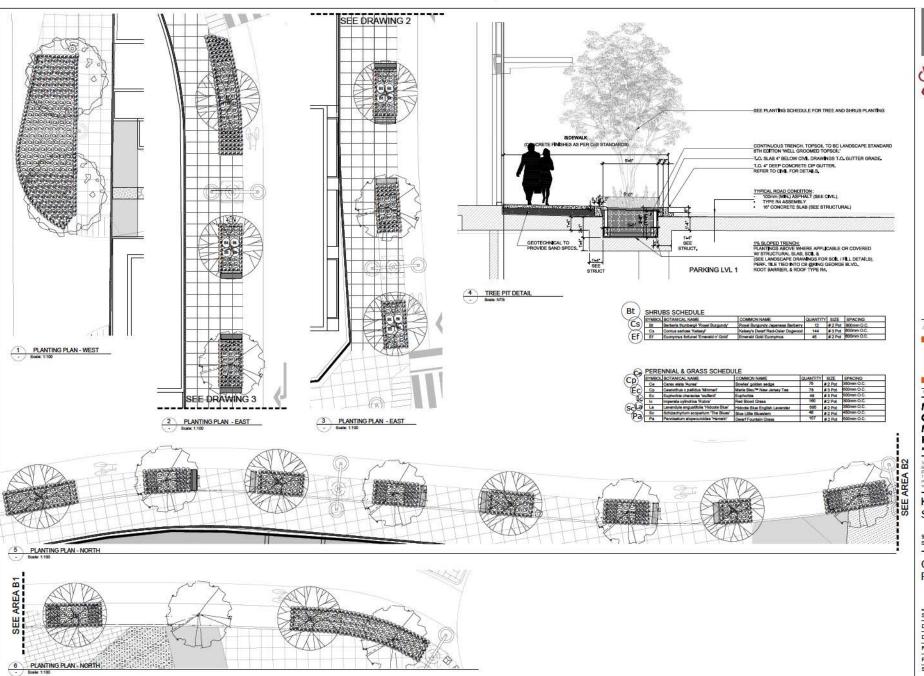
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ROOF LEVEL

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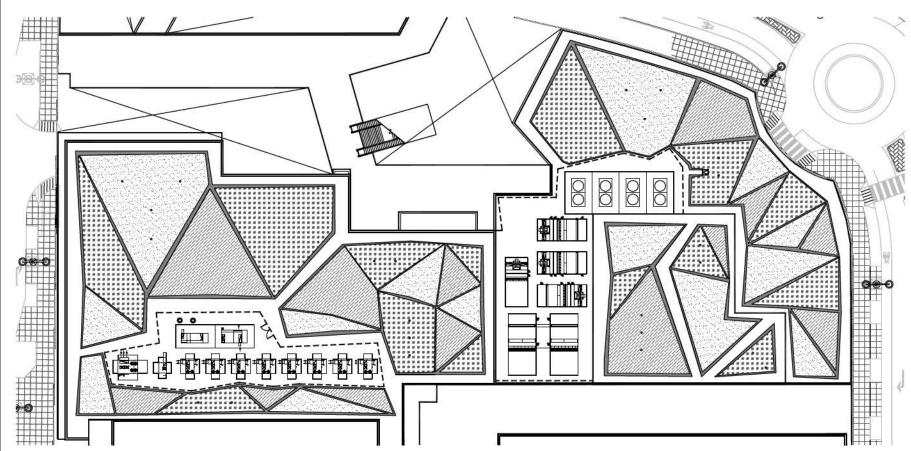
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OFF SITE PLANTING PLAN

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GREENROOF RAINGARDEN SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
	PLANT GROUP A				
	Carex aquates	Water sedge	XX	TBD	TBD
	Acorus calamus	Sweet flag	XX	TBD	TBD
- 3	Castaleja rhexifolia	Rosy paintbrush	XX	TBD	TBD
	Erigerion peregrinnus	Wandering datay	XX	TBD	TBD
7	Amica moss	Hary amica	XX	TBD	TBD
- 3	Pediculars groenlandica	Figwort	XX	TBD	TBD
	Calamagrostis acutifiora 'Karl forester'	Feather reed grass	XX	#2 Pot	450mm O.C.
	PLANT GROUP B			~	
(1111111	Deschampsia caespitosa	Tufted halirgrass	xx	#2 Pot	600mm O.C.
roevenii.	Calamagrostis acutiflora 'Karl forester'	Feather reed grass	XX	#2 Pot	450mm O.C.
	PLANT GROUP C			3	
	Carex sp	Sedge	XX	#2 Pot	600mm O.C.
	Carex sp	Sedge	XX	#2 Pot	600mm O.C.
	Calamagrostis acutiflora 'Karl forester'	Feather reed grass	XX	#2 Pot	450mm O.C.



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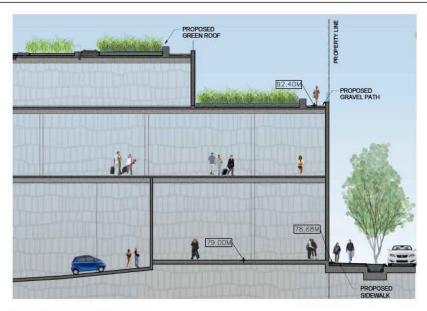
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000 BURNING STREET BOX 964 WANCOUNTS
CANADA V75 LINE
1 664 687 2990 F 604 687 1771
PROTERED WITHOUT STREET

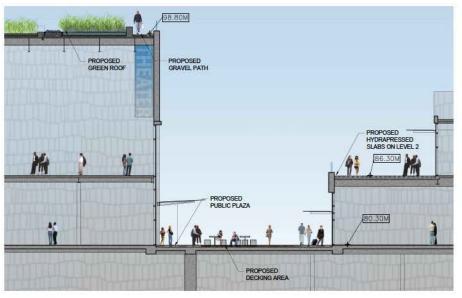
KING GEORGE STATION PHASE B

9900 KING GEORGE BLVD SURREY, BC

ROOF PLANTING PLAN

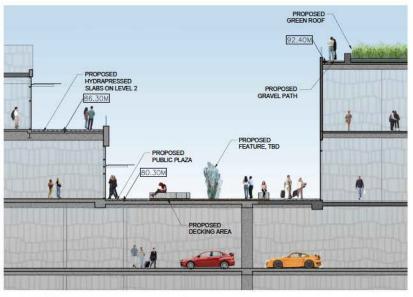
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1 SECTION THROUGH 137TH AVE SIDEWALK
- Scalin 1:100







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ARCHITECTE DESIGNERS PLANNERS

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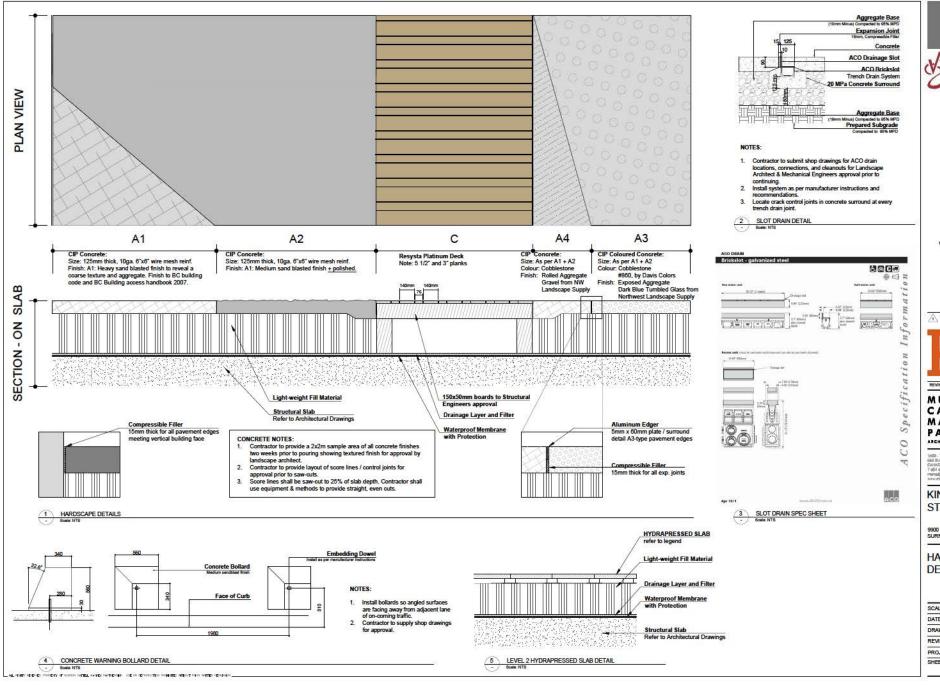
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SECTIONS

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SECTION THROUGH WATER FEATURE Scale: 1:100



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van der Zalm + associates inc.
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MUSSON CATTELL MACKEY PARTNERSHIP

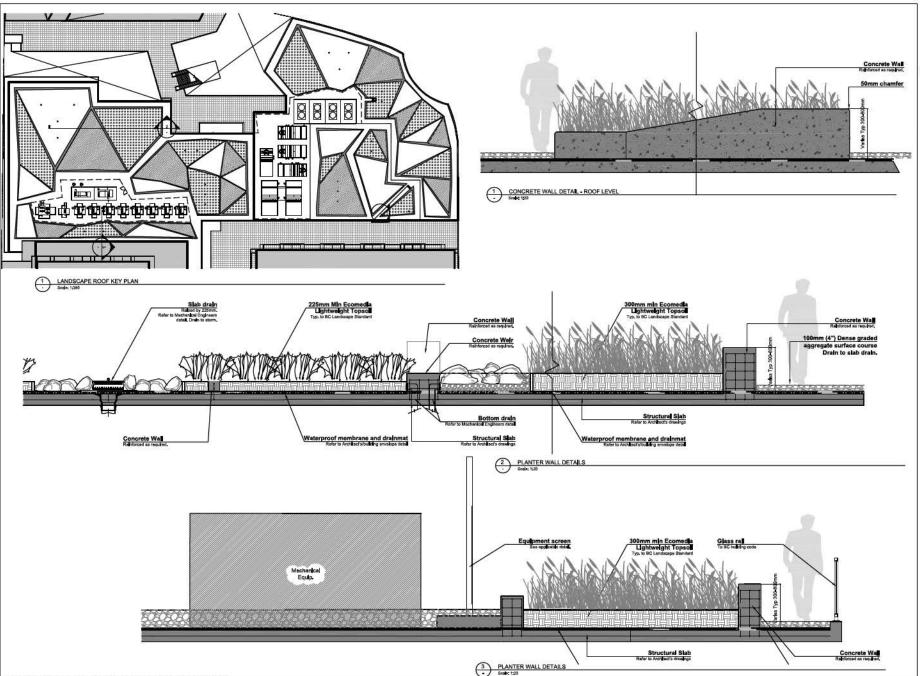
1609 - TWO BENTALL CENTRE 666 SURWED BRILET BOX 244 VANCOLVER BC CANADA VIX 1609 T 404 607 2000 F 404 467 1771 mana@manponinala.com

KING GEORGE STATION PHASE B

9900 KING GEORGE BLVD SURREY, BC

HARDSCAPE DETAILS

SHEET:		ID.	01
PROJECT	D)	DP2	013-19
REVISION	N:		
DRAWN:	MW/MS	CHECKED:	MVDZ
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SCALE:		ASI	NOTED



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DP SUBMISSION



MUSSON CATTELL MACKEY PARTNERSHIP

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KING GEORGE STATION PHASE B

9900 KING GEORGE BLVD SURREY, BC

GREEN ROOF DETAILS

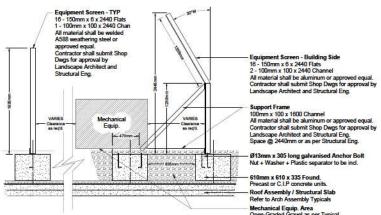
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DRAWN: MW/MS	CHECKED: MVDZ
REVISION:	Δ
PROJECT:	DP2013-19
SHEET:	ID-02





Equipment Screen 16 - 150mm x 6 x 2440 Flats 1 - 100mm x 100 x 2440 Channel Finish to be powdercoated.
Contractor shall submit Shop Dwgs for approval by Landscape Architect and Structural Eng. Ø13mm x 305 long galvanised Anchor Bolt Nut + Washer + Plastic separator to be incl. 610mm x 610 x 335 Found. Precast or C.I.P concrete units Roof Assembly / Structural Slab
 Refer to Arch Assembly Typicals

MECHANICAL EQUIPMENT SCREEN ELEVATION DETAIL



610mm x 610 x 335 Found. Precast or C.I.P concrete units.

Roof Assembly / Structural Slab Refer to Arch Assembly Typicals

Mechanical Equip. Area Open-Graded Gravel as per Typical. Provide min. 50mm cover over conc footings. Clearance for equip. as req'd.

3 MECHANICAL EQUIPMENT SCREEN SECTION DETAIL
- Scale: 120

MCM





DP SUBMISSION

07-30-2014 ISSUED FOR DP

MUSSON CATTELL MACKEY **PARTNERSHIP** ARCHITECTE DESIGNERS PLANNERS

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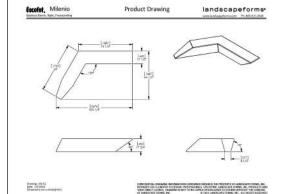
KING GEORGE STATION PHASE B

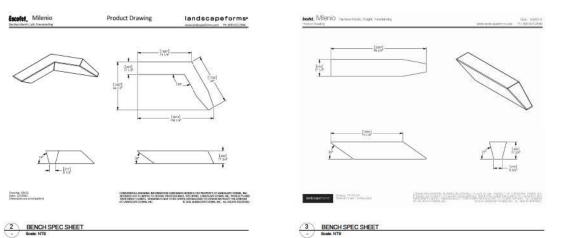
9900 KING GEORGE BLVD SURREY, BC

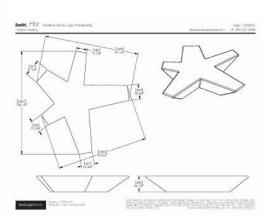
MECHANICAL EQUIP. SCREEN DETAILS

SCALE:	1:200
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REVISION:	
PROJECT:	DP2013-19
SHEET:	LD-03

ALTERNATIVE SERVED, PROPERTY OF MARCH CAPIEL MARKY PARTIENDED. THE OR REPORTATION PROBLEMS ARTHUR PROPERTY PERSONNEL.













BENCH SPEC SHEET

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5 OFF SITE BENCH SPEC SHEET
- Scale: NTS



6 CUSTOM PLANTER DETAIL

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7 ON SITE TRASH RECEPTACLE
80810 NT8



'Big Belly Bin' with Solar Compactor Bin to be Vinyl Wrapped to City of Surrey Specification. City of Surrey Engineering to confirm final specification.

9 OFF SITE TRASH RECEPTACLE
Scale: NTS

MCM





DP SUBMISSION

PCT

MUSSON CATTELL MACKEY PARTNERSHIP

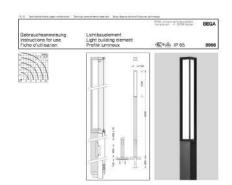
1602 - TWO BENTALL CENTRE 1605 BURNARD BIRDET BOX 234 VANCOUVER BC CAVADA VIX 1667 T 404 887 2000 F 404 467 1771 mamp@mampsouthissis.com

KING GEORGE STATION PHASE B

9900 KING GEORGE BLVD SURREY, BC

SITE FURNISHINGS

SCALE:			NTS
DATE:			
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REVISION			Δ
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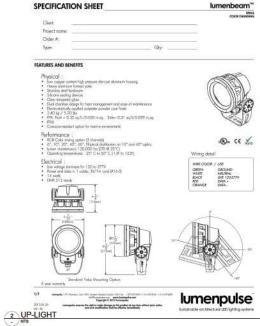


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DP SUBMISSION

07-90-2014 ISSUED FOR DP



MUSSON CATTELL MACKEY PARTNERSHIP

ARCHITECTE DESIGNERS PLANNERS CHNNDA V2X 1669 T dD1 d87 2990 F d01 d67 1771

KING GEORGE STATION PHASE B

9900 KING GEORGE BLVD SURREY, BC

LIGHTING

SHEET:	1005
PROJECT:	DP2013-19
REVISION:	
DRAWN: M	WMS CHECKED: MVDZ
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TO:

Manager, Area Planning & Development

- North Surrey Division

Planning and Development Department

FROM:

Development Services Manager, Engineering Department

DATE:

December 10, 2014

PROJECT FILE:

7814-0231-00

RE:

Engineering Requirements (Commercial/Industrial)

Location: 9808 King George Boulevard

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the DP and DVP.

The following outlines some key issues as well as requirements for servicing that must be addressed as a condition of issuance of the Building Permit:

- Construction of remaining ultimate sections of King George Boulevard, 98B Avenue, 137 Street and Fraser Highway;
- Construction of interim section of 137 Street, and north side of 98B Avenue fronting and Phases C (13677 98B Avenue);
- Construction of Kiss N Ride and 137 Street extension to Whalley Boulevard provided the design is finalized and accepted by the City after successful negotiations with Translink;
- Re-grading the Whalley Boulevard frontage along with a redesign of the parking lot for Phase D (9868 137 St), including access points, queuing distance, and grades.
- Submission of revised Servicing Agreement drawings for 7812-0332-00 this phase and any remaining ultimate works are required;
- A Highway Licensing Agreement for parking;, building overhangs and signs; and
- Lease agreement for parking under road.

General Servicing

- Sanitary, Water and drainage servicing is to be provided to Lot 4 in conformance with City Centre standards;
- The applicant will submit sustainable drainage mitigation plan for combined Phase A and Phase B, and sanitary sewer analysis;
- The applicant is responsible for the undergrounding of the existing overhead Hydro, Telephone, Cablevision and Fibre Optics Lines fronting the site; and
- Connection to the City's District Energy system is required.

A Servicing Agreement is not required for the Building Permit unless scope changes.

Rémi Dubé, P.Eng.

Development Services Manager

HB

NOTE: Detailed Land Development Engineering Review available on file



Friday, September 12, 2014
Planning

THE IMPACT ON SCHOOLS APPLICATION #: 7914-0231-00

SUMMARY

The proposed 486 highrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	12
Secondary Students:	5

September 2011 Enrolment/School Capacity

Simon	Cunningham	Elementary

Enrolment (K/1-7): 74 K + 481 Capacity (K/1-7): 60 K + 575

Queen Elizabeth Secondary

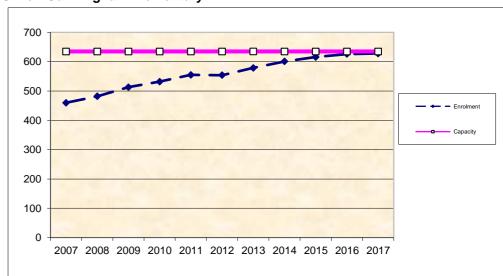
Enrolment (8-12): 1506
Nominal Capacity (8-12): 1600
Functional Capacity*(8-12); 1728

School Enrolment Projections and Planning Update:

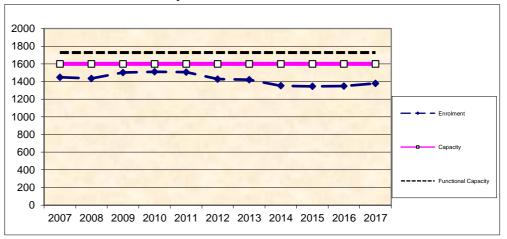
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Capacity of Queen Elizabeh Secondary in the table below includes an 8 classroom modular complex located on site. There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. A boundary move from Guildford Park Secondary to Queen Elizabeth Secondary has been implemented to increase enrolment Queen Elizabeth. Also, a boundary move of the King George Station area from Lena Shaw Elementary to Simon Cunningham Elementary has been implemented to increase enrolment at Simon Cunningham Elementary and reduce overcrowding at Lena Shaw. The proposed development will not have an impact on these projections.

Simon Cunningham Elementary



Queen Elizabeth Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



Advisory Design Panel Minutes

₂E - Community Room B

City Hall

13450 - 104 Avenue

Surrey, B.C.

THURSDAY, SEPTEMBER 11, 2014

Time: 4:00 p.m.

Present:

C. Taylor - Chair G. McGarva

T. Wolf

E. Mashig D. Newby J. Makepeace

Absent:

L. Mickelson N. Baldwin

B. Wakelin

T. Bunting S. Vincent

B. McGinn T. Coady

Cpl. M. Searle

Guests:

Mark Whitehead, Musson Cattell Mackey

Partnership Architects (MCMP)

Vince Fernadez, MCMP Celso Stifelmann, MCMP

Mark Van der Zalm, Van der Zalm & Associates, Inc.

Mark Synan., Van der Zalm & Associates, Inc.

Andy Croft, PCI Developments Corp. Tim Grant, PCI Developments Corp. Greg Mitchell, PCI Developments Corp.

Kevin Welsh, Integral Group

Staff Present:

M. Rondeau, Senior Planner

C. Craig, Administrative Assistant

A. RECEIPT OF MINUTES

It was Moved by G. McGarva

Seconded by D. Newby

That the Advisory Design Panel receive the

minutes of the July 10, 2014 meeting.

Carried

B. SUBMISSION

1. **4:00 PM**

File No.: 7914-0231-00/01

New or Resubmit: New Last Submission Date: N/A

Description: DP Amendment to DP No. 7912-0332-00 and

detailed DP for Phase B of King George Station development. Mixed-use retail,

office and multiple residential

developments.

Address: 9808 King George Boulevard, Surrey

Developer: Greg Mitchell, PCI Group Architect: Mark Whitehead, MCMP

Landscape Architect: Mark van der Zalm and Associates

Planner: Pat Lau

Urban Design Planner: Mary Beth Rondeau

The Urban Design Planner presented an overview of the proposed project and highlighted the following:

- The Panel saw a master plan for the whole site previously.
- This is similar to what has been seen before, but noted that this project has
 increased in density and height which was encouraged by the Panel since it
 is next to a transit station. With respect to use, form and density, staff is
 supportive of this project.
- Light rail is proposed to go through the site.
- The overall project is a little ambitious with respect to the amount of signage to be incorporated. More thought needs to go into the branding and naming of the site, as the history of this location is important, and could include considerations to the fact that it used to be "The Junction".

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes. A 3-D study model to address the project was provided on-table, and the following was highlighted:

- The King George Skytrain Station precinct is undergoing a significant transition triggered by the development of high-density residential to the north of the station, and the construction of the Coast Capital Savings Headquarters (HQ) (Phase A).
- An important component of this site is easy access to places such as: Surrey Memorial Hospital, Jim Pattison Outpatient Care and Surgery Centre, Revenue Canada, City Hall, and the King George Station.
- Vertical circulation (escalators, elevators, etc.) allows for pedestrian movement through the plaza to King George Station. A bus stop on Fraser Hwy. will serve to draw pedestrians.
- Street-facing retail is prominent, using both Fraser Hwy. and King George Blvd., while food and drug companies can operate above on the second floor. Small scale retail "cocoons" the larger boxes. King George Station to be a prominent feature, with the tower located behind, acting as the accent point.
- The mixed-use tower has some formal movement to give it more accent and texture. It is a landmark tower that achieves that quality through simple form, alternating balconies connected at the façade with a similar material element.
- Part of the animation variation is going to stem from the use of signage, giving each retailer the opportunity to create texture on the ground floor, depending on the signage they choose.
- The Project Architect presented a digital flyover to show how the site fits together.

The Landscape Architect reviewed the landscape plans and highlighted the following:

• Urban landscape design building on the idea of the rich, cultural history of the site as a meeting place, a confluence of people.

- The center mews is developed to be creek-like with a very geometric form (used a GIS interpretation of the landscape in the hope to mirror the original idea to create a striking geometric design), enriched with decking materials and day-lighting of the storm water system that connects to King George Blvd.
- The almost 1.5 acre rooftop level was designed to be a green roof/rain gardens, manifesting a triangular pattern (following the geometric design pattern). The design will incorporate small shrub communities and a variety of native grasses that will help detain and store storm water.
- High quality furnishings will be used (planted pots, unique seating arrangements, decorative concrete, recycled decking).

E. Mashig joined the meeting at 5:15 p.m.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

DP Amendment to DP No. 7912-0332-00 and detailed DP for Phase B of King George Station development to allow for a mixed-use retail, office and multiple residential developments.

9808 King George Boulevard

File No.: **7914-0231-00/01**

It was

Moved by G. McGarva Seconded by E. Mashig

That the Advisory Design Panel (ADP)

recommends that the applicant address the following recommendations and revise and resubmit to Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Site

- A very well documented and presented project, which responds to the City of Surrey's current urban design criteria. The site has been well-utilized and is resolved appropriately.
- The increase from previous density was strongly supported.
- Design elements should be carefully chosen to reflect the "Surrey-ness" of this site; there is a narrative about the urban intentions behind the project. The location of the site is historical and this has been taken into consideration.
- The creation of an urban edge will positively serve Surrey in the future.
- Good pedestrian linkages, movement and flow to the Skytrain.
- The mews connection to King George Blvd. lacks generosity; the invitation
 of the street is lacking. Suggested to make the edges more visually exciting.

The connection is flanked at the King George Boulevard sidewalk, by a glass elevator on the north and a glass wall on the south. Both of these

glass elements will be backlit. The glass elevator will be a focal point announcing the mews as a significant entry. The glass wall on the south, will be backlit by the lighting from the parkade entry. The design intention was for the entry to the mews to be extremely well lit and inviting. A water features is also incorporated into the stairs adding interest and softening the entrance to the mews.

Building Form and Character

• The landmark tower on King George Blvd. is a good feature; it has strong character and provides varied texture with the balconies. Subtle difference between textures provided on the different towers; this is very complimentary of the scheme. The tower would benefit from more development in terms of the top of the tower (very simplistic at the moment). It needs to be elegantly detailed.

The top of the tower has been further detailed and developed. A steel structure will form the parapet and be supporting a curtain wall that matches the mullion spacing of the residential below. The parapet curtain wall will match the glass of the residential. The curtain wall will also have a shadow box so the transparency of the glass will match the residential potion of the tower. The residential tower will be a monolithic entity incorporating the parapet adding strength and purpose to the top of the tower.

• The proposal would benefit from more design development particularly the tower, and incorporate solar response.

The percentage of glass on the residential building has been reduced from 60% to 50%. This reduction in glass will significantly affect the heat gain of the individual units.

 The mixed-use tower expression is somewhat forced. The tyranny of the residential expression is problematic once it hits the office floors. Consider better articulation of the masses; should meet the ground with more purpose.

The architect indicates that the office portion of the tower steps out from the residential portion acting as a strong base to the slender residential tower. The articulation of the office is purposely different in order to accentuate the base – tower relationship. The office and residential uses naturally have different aesthetics and we felt that an honest expression of each use, with differing massing and texture, was the appropriate response. The staggered horizontal balconies of the residential create an iconic rhythm and texture, while the vertical fins on the office create a comfortable counterpoint and balance.

The landmark features of the building is the sloping west elevation. This feature would be the element that ties the residential and office building together. The staggered horizontal banding from the residential will continue down into the office portion of the building. Similar glass and mullion spacing will be used.

• At the ground floor, the office tower seems to be a bit weak as it appears to be compressed by the weight of the building. Consider strengthening the base by incorporating prominent entries or a corner element, etc.

The base at the corner of King George Boulevard and Fraser Highway is (20 ft.) in height which feels very adequate. Where the base is compressed is along the Fraser Highway elevation. The original Development Permit elevation had the canopy running straight horizontally along Fraser Highway creating a pinch point at the eastern edge of the elevation. The architects have raised the height of the canopy by 1.5 metre (5 ft.), so that it steps with the rise in grade relieving the feeling of compression.

• Could incorporate more geometry into the retail podium to gesture the Coast Capital Savings Help HQ, particularly for the Fitness Building.

The architects felt it important that the retail/restaurant building, at the corner of King George Boulevard and 98B Avenue should evoke the dynamic nature of the Coast Capital Savings Help Headquarters (CCSHH) without mimicking it. A vocabulary of angular roofs captures the dynamic feel of CCSHH. The buildings are adjacent to each other and together there is a comfortable dialogue between the two buildings along King George Boulevard. In contrast, the architects feel that it was equally important that the Fitness Centre have a different feel. The design intention is that Phase B does not appear as one retail/restaurant building. Where the retail restaurant building is dynamic and angular, the fitness building is rounded and flows around the roundabout.

• There is a lot of variety in the commercial/retail podium however it seems to work as it is carefully articulated. There is generosity with the materials chosen and a rhythm that is pleasing to the street. Attention should be given to how the storefronts are varied (consider varied setbacks, widths, how doors open to create relationship between indoor and outdoor space, etc.). Bike racks should be added, as well as contemporary furniture, to create a truly social space.

The architects agree with this statement. They have varied the widths of the storefront and the door locations along 98B Avenue/137 Street. They focused the change along this street as it is a collector road and is more pedestrian oriented. They kept the rhythm of the retail regular along King George Boulevard as they felt it created a better, more legible, street wall.

• Let the signage add the variety and the characters of individual retailers to provide the animation. If well-incorporated into the building design, the signage is justified and will help the orientation throughout the site.

The architects agree with this comment. PCI Group has retained EDG as the signage consultant. A comprehensive sign design package will be submitted with the requested variances and design rationale.

- A high volume of pedestrians are projected. As such, weather protection along these streets is essential, and appears appropriate. Pedestrian experience along these edges is key.
- The treatment of the '5th Elevation' (the podium roof) is well-considered, with thoughtful narrative. Given the height and the residential use, this is very thorough.
- There is legibility on the ground space; it is obvious how one moves through the site. It is simple, but there is beauty in the simplicity of the design. This is a well-animated space. Concerned there is no outdoor social space for the residents that is not deemed a public space.

PCI Group and the architects are currently reviewing the programming of the indoor and outdoor amenity space areas to provide appropriate programming.

Landscaping

- The green roof design is well-crafted and is an excellent concept and rationale. The triangulation of the roof is interesting and makes this more 3-dimensional. Encourage more height on the roof to create interest.
- Consider trees in the mews. Studies have shown that people generally feel more comfortable, happier and spend more money in areas that have trees and are green.

Additional flexible landscaping will be provided by potted plantings to permit flexibility.

- Make sure the street trees remain generous enough to grow with large enough tree pits.
- Daycare outdoor space needs to be resolved.

Daycare outdoor space is planned at the second floor. Please see Drawing A206.

CPTED

• Should carefully consider how security is dealt with in the pedestrian mews leading to the main plaza.

The mews will be well lit and active uses are on both sides of the mews providing "eyes on the street". A CPTED review by a security consultant will identify any issues and they will be addressed.

Accessibility

No comments were made regarding accessibility.

Sustainability

LEED Gold and certified for different parts of the project is good.

• Concerned that the very high glazing percentage and very little external shading will be a challenge for both comfort and energy modeling for the glass on the tower. Upgrading to triple glazing might be required. Energy modeling will determine actual requirements. Would prefer to see less glazing (40% maximum) and more shading on the south side.

The architects have reduced the glass percentage to 50% for the residential portion of Tower 1 and Tower 5. The residential balconies provide a great deal of sun shading.

o.3 metre (1 ft.) deep vertical sun shades in the office portion of the Tower 1 will play a compositional role in the design of the tower, but they will also provide a level of shading for the office users.

• Consider irrigation for the roof. The roof looks like it will require a high level of maintenance.