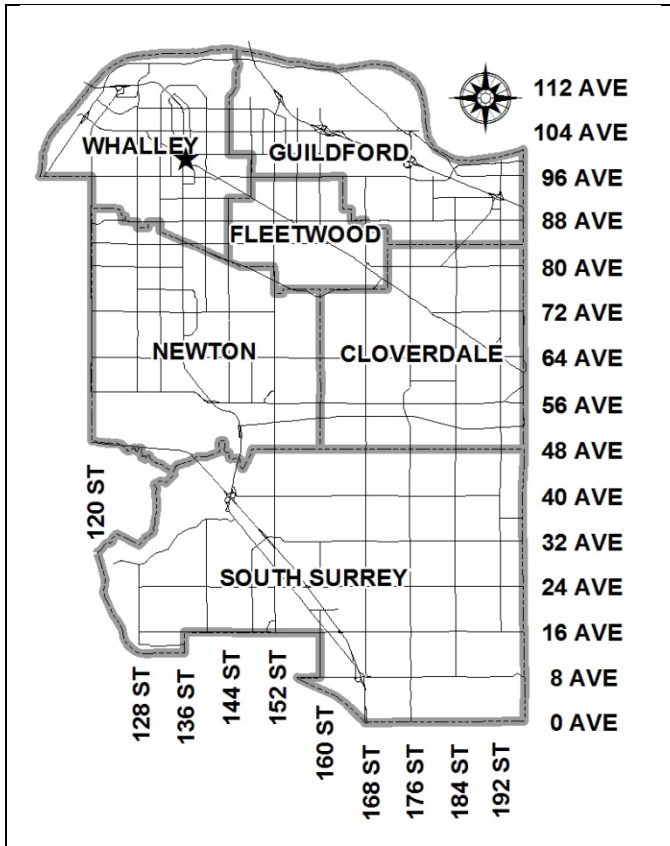


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0231-00

Planning Report Date: December 15, 2014

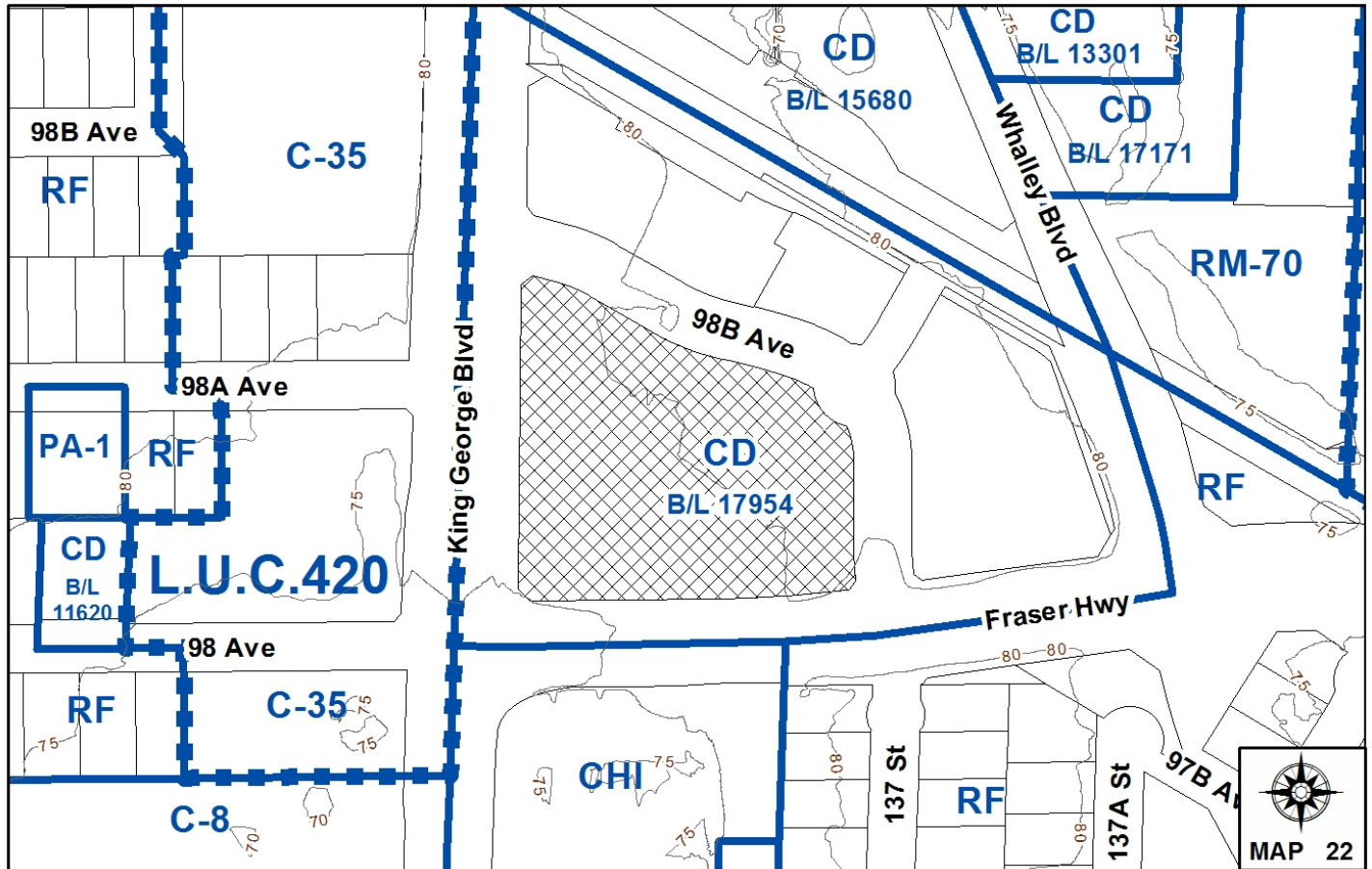


PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

in order to permit the development of Phase 2 of a mixed-use development, consisting of 2 residential towers (39-storey and 12-storey) and 13-storey office building with lower level commercial uses.

LOCATION: 9808 - King George Blvd
OWNER: KGS Holdings Ltd.
ZONING: CD By-law No. 17954
OCP DESIGNATION: Central Business District



RECOMMENDATION SUMMARY

- Approval to reduce indoor amenity space.
- Approval to reduce outdoor amenity space.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to vary the Sign By-law to allow for free-standing, fascia, third party, changeable copy, under awning, projecting, roof and banner signs, and to increase the height, number and sign area of these various signs.

RATIONALE OF RECOMMENDATION

- Complies with the "Central Business District" designation in the OCP.
- Complies with the "Mixed-Use 5.5 FAR" designation in the City Centre Plan.
- The proposed development complies with the City's Employment Lands Strategy and Economic Development Strategy, as an employment generator for the City.
- The proposed density and building form are appropriate for this part of City Centre and consistent with the zoning approved for this site on December 16, 2013.
- The proposed development conforms to the goal of achieving high density development nodes around the three SkyTrain stations.
- The signage has been comprehensively designed to be integrated with the design of the buildings and is high quality and appropriate in scale.
- The signage is required to provide wayfinding for the commercial component of the development and to be visible from the four road frontages, as well as to guide patrons to their stores.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to reduce the amount of required indoor amenity space for Tower 1 (at the southwest corner), from 708 square metres (7,621 square feet) to 633.2 square metres (6,816 square feet).
2. Council approve the applicant's request to reduce the amount of required outdoor amenity space for Tower 5 (at the southeast corner), from 519 square metres (5,586 square feet) to 504.7 square metres (5,433 square feet).
3. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
4. Council authorize staff to draft Development Permit No. 7914-0231-00, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix III).
5. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (e) registration of a statutory right-of-way for pedestrian right-of-passage through the plaza;
 - (f) the applicant adequately address the impact of reduced indoor amenity space for Tower 1 (at the southwest corner); and
 - (g) the applicant adequately address the impact of reduced outdoor amenity space for Tower 5 (at the southeast corner).

REFERRALS

- Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix III.
- School District: **Projected number of students from this development:**
 12 Elementary students at Simon Cunningham Elementary School
 5 Secondary students at Queen Elizabeth Secondary School
 (Appendix IV)
 The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by November, 2018.
- Surrey Fire Department: The Fire Department has provided comments and their comments will be incorporated into the design prior to submission of the Building Permit application.
- TransLink: TransLink has indicated a concern regarding the naming of the development "King George Station" which TransLink indicates is proprietary. The applicant is resolving this issue.
- Ministry of Environment (MOE) The larger development site was remediated in November 2013 in conjunction with Application No. 7912-0332-00. In June 2014, the applicant applied for the necessary Certificate of Compliance. The Certificate of Compliance was issued in October 2014.

SITE CHARACTERISTICS

Existing Land Use: Medical building to be removed.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 98B Avenue):	10-storey Coast Capital building currently under construction, approved under Development Permit No. 7912-0332-01.	Central Business District	CD By-law No. 17954

Direction	Existing Use	OCP Designation	Existing Zone
East (Across 137 Street):	Existing surface parking lot. Future redevelopment site for multiple residential towers.	Central Business District	CD By-law No. 17954
Further East (Across Whalley Boulevard):	Mid-rise apartment building. Quibble Creek and SkyTrain Guideway. Proposed location of District Energy facility.	Central Business District Central Business District	RM-70 RF
South (Across Fraser Highway):	Existing church and single family dwellings.	Central Business District	CHI and RF
West (Across King George Boulevard):	Holland Pointe proposed development, currently on hold under Application No. 7908-0207-00 and existing mid-rise apartment building.	Central Business District	LUC No. 420 (underlying C-35 Zone)

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is located at 9808 King George Boulevard. The parent property was rezoned on December 16, 2013 and subdivided into four (4) lots, as part of Development Application No. 7912-0332-00. General Development Permit No. 7912-0332-00 was also approved to guide the general design for the larger development site.
- As part of this approval, road dedication for the new 98B Avenue/137 Street was conveyed to the City, along with road dedications for the widening of King George Boulevard, for the future Light Rapid Transit (LRT) connection to the south and along the north, adjacent the SkyTrain corridor, for connection ultimately to the east to Langley.
- One of the four (4) newly created lots is the site of the 10-storey Coast Capital headquarters building (Phase 1) currently under construction to the north of the subject property (approved under Development Permit No. 7912-0332-01).
- The subject application is on the largest of the 4 newly created lots.

Development Proposal

- The proposal is for a mixed-use office, retail and multiple residential development, consisting of the following:
 - 21,931 square metres (236,060 sq.ft.) of retail floor area on two levels;
 - 16,214 square metres (174,531 sq.ft.) of office space on levels 3 to 13 of the 39-storey, mixed use, high rise;
 - 236 dwelling units (intended to be marketed) on levels 14 to 39 of the 39-storey, mixed use, high rise; and
 - 173 dwelling units (intended to be rental) in a 12-storey mid-rise.
- The program for the commercial space consists of two large format retail spaces, surrounded by smaller commercial retail units (CRUs). The two large format retail uses will be a grocery store and a drug store. The second floor of the retail podium will consist of a fitness centre, movie theatre and restaurants.
- The proposal has changed from the original master plan proposal, which was approved under General Development Permit No. 7912-0332-00. Previously, a 15-storey office tower and a 21-storey rental residential tower were proposed over a 2-storey commercial podium.
- The revised development proposal still complies with the maximum 5.5 floor area ratio (FAR) prescribed for this subject lot (Block B). However, the 15-storey office tower has now been replaced with a 39-storey office and residential tower and the 21-storey rental building has now been replaced with a 12-storey residential rental tower.
- It should be noted that the applicant has indicated their intent to stratify all the dwelling units, but market only those 236 dwelling units proposed in the 39-storey high-rise tower. The remaining 173 dwelling units proposed in the 12-storey mid-rise building are intended to be rented. The provision of rental housing is not a requirement of the City and therefore no Housing Agreement is proposed to ensure these units remain rental.
- The applicant proposes to develop this second phase (Phase B) of the development in four phases. Phase one shall encompass the 2-storey retail podium with the first six floors of office, the second phase shall consist of the 7th to 13th floors of office, the third phase shall consist of the residential portion (14th to 39th floors) of the landmark tower and the last phase shall consist of the 12-storey residential mid-rise.

Residential Tower 1

- The dwelling units intended to be marketed are located in the 14th to 39th floors of the proposed 39-storey landmark tower, located at the southwest of the subject lot. A total of 236 dwelling units are proposed and are intended to be stratified and sold individually.
- The 236 proposed dwelling units consist of the following:
 - 36 one-bedroom units, ranging in size from 40.1 square metres (432 sq.ft.) to 40.8 square metres (439 sq.ft.);
 - 66 one-bedroom and flex units, ranging in size from 46.1 square metres (497 sq.ft.) to 52.6 square metres (566 sq.ft.);

- 93 two-bedroom units, ranging in size from 60.4 square metres (650 sq.ft.) to 98.1 square metres (1,056 sq.ft.);
 - 38 two-bedroom and flex units, ranging from 68.1 square metres (734 sq.ft.) to 111.9 square metres (1,205 sq.ft.); and
 - 3 3-bedroom units, ranging from 81.5 square metres (877 sq.ft.) to 86 square metres (926 sq.ft.).
- Based upon 236 dwelling units, 708 square metres (7,621 sq.ft.) of indoor amenity space and 708 square metres (7,621 sq.ft.) of outdoor amenity space are required.
 - Tower 1 will provide 633.2 square metres (6,816 sq.ft.) of indoor amenity space and 772.4 square metres (8,314 sq.ft.) of outdoor amenity space. The outdoor amenity space is exceeded, but cash-in-lieu will be required for the shortfall in indoor amenity space.
 - The indoor and outdoor amenity spaces will be located on the 14th floor. The indoor amenity space will consist of two (2) party rooms, meeting rooms, a library and a fitness centre. The outdoor amenity area will consist of outdoor seating, a BBQ area and an outdoor fitness area.

Residential Tower 5

- The 12-storey apartment tower, located at the southeast corner of the subject lot, is intended to offer the rental of stratified dwelling units managed by a property management company. The tower will accommodate 173 dwelling units. These 173 dwelling units will consist of the following:
 - 59 one-bedroom units, ranging in size from 40.9 square metres (440 sq.ft.) to 52.2 square metres (562 sq.ft.);
 - 60 one-bedroom and flex units at 54.3 square metres (585 sq.ft.);
 - 36 two-bedroom units, ranging in size from 65.5 square metres (705 sq.ft.) to 70.4 square metres (758 sq.ft.); and
 - 18 two-bedroom and flex units, ranging in size from 70.3 square metres (757 sq.ft.) to 73.2 square metres (788 sq.ft.).
- Based upon 173 dwelling units, 519 square metres (5,586 sq.ft.) of indoor amenity space is required, as well as 519 square metres (5,586 sq.ft.) of outdoor amenity space.
- The development proposes 532.4 square metres (5,731 sq.ft.) of indoor amenity space and 504.7 square metres (5,433 sq.ft.) of outdoor amenity space on the second floor. The indoor amenity space will include a party room with seating and a kitchen area. The outdoor amenity space includes a BBQ area and multiple seating areas.
- Cash-in-lieu will be required for the shortfall in outdoor amenity space for Tower 5.

Vehicular and Pedestrian Circulation

- Access to the underground parkade is proposed from King George Boulevard and at the central roundabout on the new 98B Avenue/137 Street. A third driveway is proposed from Fraser Highway, which will lead into the internal truck loading area, as well as a mezzanine parking area.

- The parking for the development will be located within three levels of the underground parkade and a mezzanine level.
- Truck loading and off-loading for the commercial component of the development will be internal along the driveway access from Fraser Highway.
- A plaza is proposed to be located in the heart of the project. The plaza will allow for retailers, such as the grocery and restaurants to spill out with seasonal displays and seating to animate the space. The plaza also aligns with the Coast Capital Community Plaza to the north, allowing for pedestrian access and views directly from the development to the King George SkyTrain Station. A statutory right-of-way will be secured to permit public access to this area.
- Based upon the parking ratios in CD By-law No. 17954, a total of 1,317 parking spaces will be required. The applicant is proposing 1,326 parking spaces, which is a surplus of 9 parking spaces.
- The development is required to provide 510 bicycle parking spaces and the applicant proposes 725 bicycle parking spaces, which exceeds the number required under the Zoning By-law requirements.

DESIGN PROPOSAL AND REVIEW

- The development proposes a 39-storey landmark office and high rise residential tower at the southwest portion of the development site and one 12-storey residential tower at the southeast portion, both situated on top of a 2-storey commercial podium.
- The proposed 39-storey tower will consist of 13 storeys of office and 26 storeys of dwelling units above. The office portion will target LEED Gold accreditation. The lower 6 floors of office are partial office floors which will wrap around the movie theatre and the drug store (at the second floor of the 2-storey commercial podium) to the north. The intent is to limit the blank wall of the theatre and the office provides a strong building base with an active use along the street.
- The office and residential components of the development will be distinct from one another. The residential façade will include staggered balconies to produce an iconic rhythm and texture. Offset opaque panels will link balconies between floors to produce a woven texture. The office façade will reflect a vertical grain through the use of mullion caps extended over a curtain wall.
- At grade, the building will have small commercial retail units (CRUs) facing both Fraser Highway and King George Boulevard. The building transitions from office to residential at the 14th floor. The 14th floor will become, in part, the residential amenity floor. Volumetrically, the building width transitions from 30 metres (100 ft.) wide to 18 metres (60 ft.) wide as the program changes. This change allows for the amenity to have a wraparound terrace.
- The proposed 12-storey residential building is located at the intersection of Fraser Highway and 137 Street. This building is intended to be stratified, owned by the applicant and the units rented.

- Ground floor retail will be situated at the property line along Fraser Highway and 137 Street providing active uses at the street. A residential lobby is also located on Fraser Highway. The residential building above steps back 1.5 metres (5 ft.) at the second floor providing further relief to the sidewalk. The second floor is targeted to accommodate a day care, with the outdoor area for the daycare being the terrace.
- The design of the 12-storey rental building will take the form of a slab block. The surface texture and façade expression will be consistent with the higher residential floors of the 39-storey tower.
- The proposed material palette is broken up to create distinctive buildings on the site. Three (3) different colour bricks have been chosen for three of the different buildings. Brick is proposed at the ground floor along King George Boulevard, 98B Avenue and 137 Street. A combination of black and clear anodized aluminum metal finishing will be situated between vision glass storefronts to further distinguish each building in the development.
- Along Fraser Highway, the ground floor retail will be a combination of metal panel and curtain wall.
- Above the ground floor, the development will be clad in composite metal panel and will have a combination of storefront, curtain wall glazing and window wall for the residential component.

Proposed Public Art

- The applicant requested a deferral of the provision of public art from Phase A (Phase 1) of the development to Phase B (Phase 2). In consultation with the City's Public Art staff, two (2) locations for public art have been identified. One art installation will be located within the plaza, fronting 98B Avenue and the other art installation will be within the traffic circle of 98B Avenue/137 Street. The art piece within the traffic circle will be facilitated by the City's Public Art staff through funding partially contributed by the PCI Group and funding from the general Public Art fund.
- The applicant has retained a Public Art consultant to develop a design for the location in the pedestrian mews and the proposed art installation will be reviewed by the Public Art Committee in the new year.

Trees and Landscaping

- The arborist report, prepared by Alexandre Man-Bourdan, registered arborist, for PWL Partnership Landscape, for the larger site, was approved under Application No. 7912-0332-00.
- The plaza proposed in the subject application is to connect with the public plaza established to the north in the first phase with the Coast Capital development. The plaza will be paved with a combination of concrete patterns. The geometric pattern and score lines within the concrete will represent a creek which will flow from one end of the mews to the other.
- Rain gardens will be incorporated within the green roof design of the commercial podium.

- Each rain garden will be separated into angular and triangular forms retained by concrete curbs/low walls, creating a unique roof garden visible from the surrounding towers.
- Plants selected will assist in the treatment of contaminants through microbial biodegradation.
- Any remaining water that is not absorbed as it passes through the rain gardens will discharge to the stormwater sewer.

Comprehensive Sign Package

- The PCI Group has retained a signage consultant to design a comprehensive signage concept for the subject site. The signage concept has been designed to be integrated into the architectural design of the development and is intended to be reflective of an urban "village" style.
- The proposed signs are intended to be seen by drivers, travelers on the SkyTrain, as well as by pedestrians, in order to provide wayfinding to patrons and to identify and advertise the multiple tenants of the development.
- The signage concept proposes a number of sign types including free-standing, fascia, awning, under awning, changeable copy, projecting and directional signage. A hierarchy of signs is proposed. Generally each tenant will be permitted one fascia and one under awning sign for each premise frontage.
- A number of proposed signs require variances to the Sign By-law. Please see Appendix II for a detailed explanation of the variances. Staff are supportive of the variances as part of a comprehensive sign design package for the development.

Free-standing directory signs

- A total of three (3) free-standing double sided signs are proposed within the plaza area of the site. These signs are required as pedestrian directory signs and will accommodate up to 5 destinations, with an optional digital map/directory. The directory specification is intended to either be:
 - A static, fixed LED display with either a changeable displayed map including directions to adjacent public transit and tenant directory that is updated from time to time as needed; or
 - A touchscreen map and tenant directory that allows the visitor/user to scroll and highlight wayfinding instructions to destinations at the development.
- The signs will be 4.6 metres (15 ft.) in height, which exceed the maximum height of 2.4 metres (8 ft.) under the Sign By-law for free-standing signs in the City Centre.

Fascia signs

- A number of fascia signs are proposed throughout the development. Generally, each tenant is permitted one fascia sign per premise frontage.

- A variance is required to allow 14 signs to be situated at varying heights at the second storey of the commercial podium, as the Sign By-law requires that any signage above the first storey must be located at the top floor of the building and only one (1) fascia sign per lot frontage may be located above the first storey.
- A variance is required to allow the movie theatre to have two (2) fascia signs on the north elevation.
- A variance is required to allow for the two (2) proposed office fascia signs above the ground floor to be located at the 13th floor, which is the top of the commercial component of the 39-storey mixed-use tower, for the largest office tenants.

Third-party signs

- Three (3) large fascia signs are proposed to be located along the King George Boulevard frontage to advertise the three anchor tenants: the drug store, the food store and the fitness centre. The only tenant which will have frontage on King George Boulevard will be the drug store.
- As the food store and the fitness centre do not have premise frontage on King George Boulevard, these two (2) signs require a variance to advertise on King George Boulevard, as third party advertising under the Sign By-law.

Changeable copy signs

- Three (3) changeable copy signs are proposed at the King George Boulevard frontage to advertise the feature presentations at the movie theatre.
- These signs will be single sided, with an LED static non-dynamic backlit display cabinet.
- A variance is required as the Sign By-law currently only permits changeable copy signs for charities and not for commercial businesses.

Under awning signs

- Under the Sign By-law, for multi-tenant developments, each premise is permitted one (1) under awning sign.
- The signage consultant proposes a second under awning sign for some of the larger CRUs, given the larger floor area and frontage. CRUs larger than 269.4 square metres (2,900 sq.ft.) in floor area are proposed to be permitted up to two (2) under awning signs.

Projecting signs

- Eight (8) projected signs are proposed for the development. Two (2) of the signs at King George Boulevard are to advertise the major tenants: the drug store and the food store. One (1) projecting directory sign is proposed along King George Boulevard, with the other projecting directory sign proposed at the south elevation. The remaining four (4) projecting signs are to be located at the three parkade access points to direct drivers to parking.

- Two (2) signs require variances to allow them to be located where the premises do not have premise frontage.
- Four (4) of the eight (8) projecting signs require a variance to exceed the maximum 3 square metres (32 sq.ft.) sign area.

Roof sign

- One (1) identification sign is permitted for the development. A sign to advertise the development's name "King George Station" is proposed at the north elevation of the 2-storey commercial podium.
- Although the sign is permitted as an identification sign, the sign is still considered a rooftop sign, as a small portion of the sign extends beyond the roofline of the commercial podium. Rooftop signs are not normally permitted under the Sign By-law. Staff have worked considerably with the applicant to find an acceptable location for the sign, and the proposed location is considered suitable given the intended prominence of the sign in the branding of the development. The sign will be in channel letters and centered on the fascia.

Banner signs

- Ten (10) banner signs are proposed for the development, to be installed along the King George Boulevard and 98B Avenue road frontages.
- The signs are generally to advertise seasonal or special events.
- A variance is required as banner signs are permitted only by non-profit and community organizations for special events and are meant to be temporary in nature (maximum 30 day duration). As well, the sign area will exceed the maximum 2.3 square metres (32 sq.ft.) sign area under the Sign By-law.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 1, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Located within the City Centre Plan area. • The site is in an urban infill area and within a frequent transit area. • The proposed development is consistent with the "Central Business District" designation of the new OCP, adopted on October 20, 2014 and the "Mixed-use 5.5 FAR" designation of the City Centre Plan.

Sustainability Criteria	Sustainable Development Features Summary
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • Complies with the "Mixed-use 5.5 FAR" designation of the City Centre Plan. FAR of 4.73 is proposed. • The proposed development includes a mix of land uses, including multiple residential, retail and office. • The proposed development will include a range of unit sizes to suit a variety of household types. • The development proposes purpose-built stratified rental units.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development will incorporate Low Impact Development Standards (LIDS) in its design. • The proposed development will contain provisions for recycling and space will be available for future strata if they would like to deal with organic waste.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposed development will include provisions to reduce private vehicle use reduction and emission reduction measures, such as shared parking, electric vehicle plug-ins and secured all-weather bicycle parking. • The development will include pedestrian and cycling oriented infrastructure/direct external network linkages, including: connection to off-site pedestrian and multi-use paths, pedestrian-specific lighting, direct pedestrian linkages to transit stops, showers and change facilities, bike racks and lockers and preferential carpool parking.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The design of the development will incorporate Crime Prevention Through Environmental Design (CPTED) principles. • The proposed development will provide for adaptable and/or accessible units as the market demands. • The proposed development will provide for different age groups and/or life stages with a day care centre on the second floor of the commercial podium.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The applicant is seeking LEED Gold certification for the office component of Tower 1. The retail and the residential components, in following the LEED Campus approach and sharing many of the same systems (stormwater management, green roofs, etc.) are intended to be LEED certified.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Under the LEED Core and Shell criteria, a LEED credit is provided for developing a Green Building Education Plan. New tenants will be educated about the unique and particular features of the LEED building.

ADVISORY DESIGN PANEL

ADP Date: September 11, 2014

All of the ADP recommendations have been satisfactorily resolved, except for some minor coordination of the architectural, landscape and signage drawings and the landscape drawings require some further revisions. These revisions shall be resolved prior to Final Approval of the Development Permit.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Table
Appendix III.	Site Plan, Building Elevations, Landscape Plans, Perspective and Signage Concept
Appendix IV.	Engineering Summary
Appendix V.	School District Comments
Appendix VI.	ADP Comments and the Applicant's Responses

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural, Signage Concept and Landscape Plans prepared by Musson Cattell Mackey Partnership, EDG Experience Design Group and PWL Landscape Partnership, respectively, dated December 3, December 3 and July 30, 2014.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

PL/da

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DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 17954

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		14,514.3 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		87.34 %
Paved & Hard Surfaced Areas		12.66 %
Total Site Coverage		100 %
SETBACKS (in metres)		
King George Boulevard	0 m	0 m
Fraser Highway	0 m	0 m
98B Avenue	0 m	0 m
137 Street	0 m	0 m
BUILDING HEIGHT (in metres/storeys)		
Tower 1		132 m / 39 storeys
Tower 5		42.3 m / 12 storeys
NUMBER OF RESIDENTIAL UNITS		
One Bed		36
One Bed and flex		66
Two Bedroom		93
Two Bedroom and flex		38
Three Bedroom		3
Total		409
FLOOR AREA: Residential		30,456 sq.m.
FLOOR AREA: Commercial		
Retail		21,931 sq.m.
Office		16,214 sq.m.
Total		38,145 sq.m.
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		68,601 sq.m.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	5.5	4.73
AMENITY SPACE (area in square metres)		
Indoor - Tower 1	708 sq.m.	633.2 sq.m. (cash-in-lieu req.)
Tower 5	519 sq.m.	532.4
Outdoor - Tower 1	708 sq.m.	772.4
Tower 5	519 sq.m.	504.7 (cash-in-lieu req.)
PARKING (number of stalls)		
Commercial		
Office:		276
Retail:		535
Restaurant:		74
Day care		46
Residential		
Residential Bachelor + 1 Bedroom		188
2-Bed		185
3-Bed		3
Residential Visitors		19
Institutional		N/A
Total Number of Parking Spaces		1,326
Number of disabled stalls		26
Number of small cars		189
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	No
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Tree Survey/ Assessment Provided	No (provided under Application No. 7912-0332-00)
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MULTIPLE BUILDINGS DATA SHEET

Existing Zoning: CD By-law No. 17954

Required Development Data	Tower 1 (market condos)	Tower 5 (rental)	Retail
SETBACK (in metres)			
King George Blvd	0 m	0 m	0 m
Fraser Hwy	0 m	0 m	0 m
98B Ave	0 m	0 m	0 m
137 Street	0 m	0 m	0 m
BUILDING HEIGHT (in metres/storeys)			
NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE			
One Bedroom	36	59	
One Bedroom and Den	66	60	
Two Bedroom	93	36	
Two Bedroom and Den	38	18	
Three Bedroom	3		
TOTAL	236	173	
TOTAL FLOOR AREA	18,415 sq.m.	12,041 sq.m.	21,931 sq.m.

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow for three (3) free-standing directory signs at 4.6m (15 ft.) in height.	The maximum height of free-standing signs in the City Centre is 2.4m (8 ft.) (Part 5, Section 27(1)(k) and Schedule 1.A).	Given the mixed-use development and proximity to multi-modal public transit options, prominent illuminated pedestrian maps and other easily seen wayfinding is proposed on these signs.
2	To allow for two (2) fascia signs along the north elevation of the movie theatre.	Two (2) fascia signs on the same façade of the premise are only permitted when the premise has a floor area of 3,000 square metres (32,290 sq.ft.) or more (Part 5, Section 27.(2)(a)).	Given the large floor area of the movie theatre (3,716 sq.m./40,000 sq.ft.), the two (2) signs at the north elevation are appropriate.
3	To allow for fourteen (14) fascia signs to be mounted at varying heights above the ground floor on the commercial podium, to allow for two (2) fascia signs to be mounted at the top floor of the office roof deck (Level 13) of the 39-storey mixed-use building and to allow for three (3) static changeable copy signs for the movie theatre. In total, nineteen (19) fascia signs require variances.	Fascia signs above the first storey must be located at the top floor of the building (Part 5, Section 27 (2)(a.1)iii) and, a maximum of one (1) fascia sign per lot frontage may be located above the first storey (Part 5, Section 27(2)(a.i)ii).	Proposed fascia signs are to be located at the top of the 2-storey commercial podium, at varying mounting heights, to provide animation to the exterior street façade and exposure for second floor tenants. Of the mixed-use 39-storey building, the top floor of the office component is the 13 th floor and therefore this is where the office tenant fascia signage is proposed to be located. The movie theatre needs to be able to promote the feature presentations.
4	To allow for two (2) third party signs along King George Boulevard.	Third party advertising shall be limited to 30% of the copy area of a sign (Part 1, Section 6(1)).	The applicant would like to utilize the exposure of King George Boulevard to advertise two of its major tenants, which do not have premise frontage on King George Boulevard. The intent of these signs is to provide drive-by identity and visual presence for larger inward facing anchor tenants.

5	To allow for one (1) additional under awning sign, up to a maximum of two (2) signs, for commercial retail units which exceed 269.4 square metres (2,900 sq.ft.) in floor area.	Only one (1) under awning sign is permitted per premise in a multi-tenant building (Part 5, Section 27.(4)(a)).	The additional under awning signs are required to correspond with tenant signage and longer premise frontage areas.
6	To allow for two (2) projecting signs which are not attached to their premises.	A projecting sign is required to be attached to the premise to which it pertains (Part 5, Section 27 (4) (a)ii.a.).	There are several inward facing anchor retail tenants and 3 major entrances to the parkade which require street identity.
7	To allow for four (4) projecting signs to exceed the 3 square metres (32 sq.ft.) sign area.	A maximum sign area of 3 square metres (32 sq.ft.) is permitted (Part 5, Section 27(4)(a)ii.b.).	The signs are needed to be large to be viewable by drivers along the road frontages.
8	To allow for one (1) roof sign which is also the identification sign for the development.	A roof sign is a prohibited sign(Part 1, Section 10.(2)).	The roof mounting sign is proposed to give the development a distinctive appearance.
9	To allow for ten (10) banner signs, which exceed a sign area of 2.3 square metres (32 sq.ft.) and exceed the 30 day duration limitation.	Banner signs can only be installed by a non-profit or community organization for a special event, cannot exceed 2.3 square metres (32 sq.ft.) in sign area and must be removed in 30 days(Part 1, Section 7.(13)(a)(b)and (c)).	The banners signs will be will market special or seasonal events. The banners are to be of high quality materials, designed to be durable, permanent and add to the character of the development and animate the surrounding roads.



2	02 DEC 2014	SUBMITTED FOR ADP AMENDMENT 2
3	06 NOV 2014	SUBMITTED FOR ADP AMENDMENT 3
4	23 SEP 2014	SUBMITTED TO ADP
Revisions		DD MM YY

Seal
**KING GEORGE
PHASE B**

KING GEORGE BLVD.
SURREY, BC

Project
**PARKING
LEVEL 3**

Drawing
Scale 1/32" = 1'-0"
Project 21101.02

Sheet **A201**



1 Phase B - Parking Level 3
A201 1"=100'-0"





2	02 DEC 2014	ISSUED FOR ADP AMENDMENT 2
1	06 NOV 2014	ISSUED FOR ADP AMENDMENT 1
0	21 SEP 2014	FOR PRELIMINARY TO ADP

Revisions: DD MAM VTYT

Seal
**KING GEORGE
PHASE B**

KING GEORGE BLVD.
SURREY, BC
Project

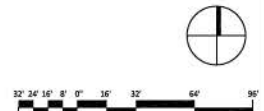
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LEVEL 2**

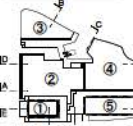
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Project

Sheet **A202**



Phase B - Parking Level 2
A202 1/32" = 1'-0"





2	02 DEC 2014	ISSUED FOR ADP AMENDMENT 2
1	08 NOV 2014	ISSUED FOR ADP AMENDMENT 1
-	11 SEP 2014	SUBMITTED TO ADP

Revisions: 00 MM YYY

Seal
**KING GEORGE
 PHASE B**

KING GEORGE BLVD.
 SURREY, BC

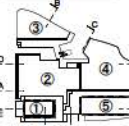
**PARKING
 LEVEL 1**

Drawing
 Scale: 1/32" = 1'-0"
 Project: 21101.02
 Sheet: **A203**



Phase B - Parking Level 1





- 2 02 DEC 2014
 - 3 08 NOV 2014
 - 4 11 SEP 2014
- Revisions: 00 MM YY

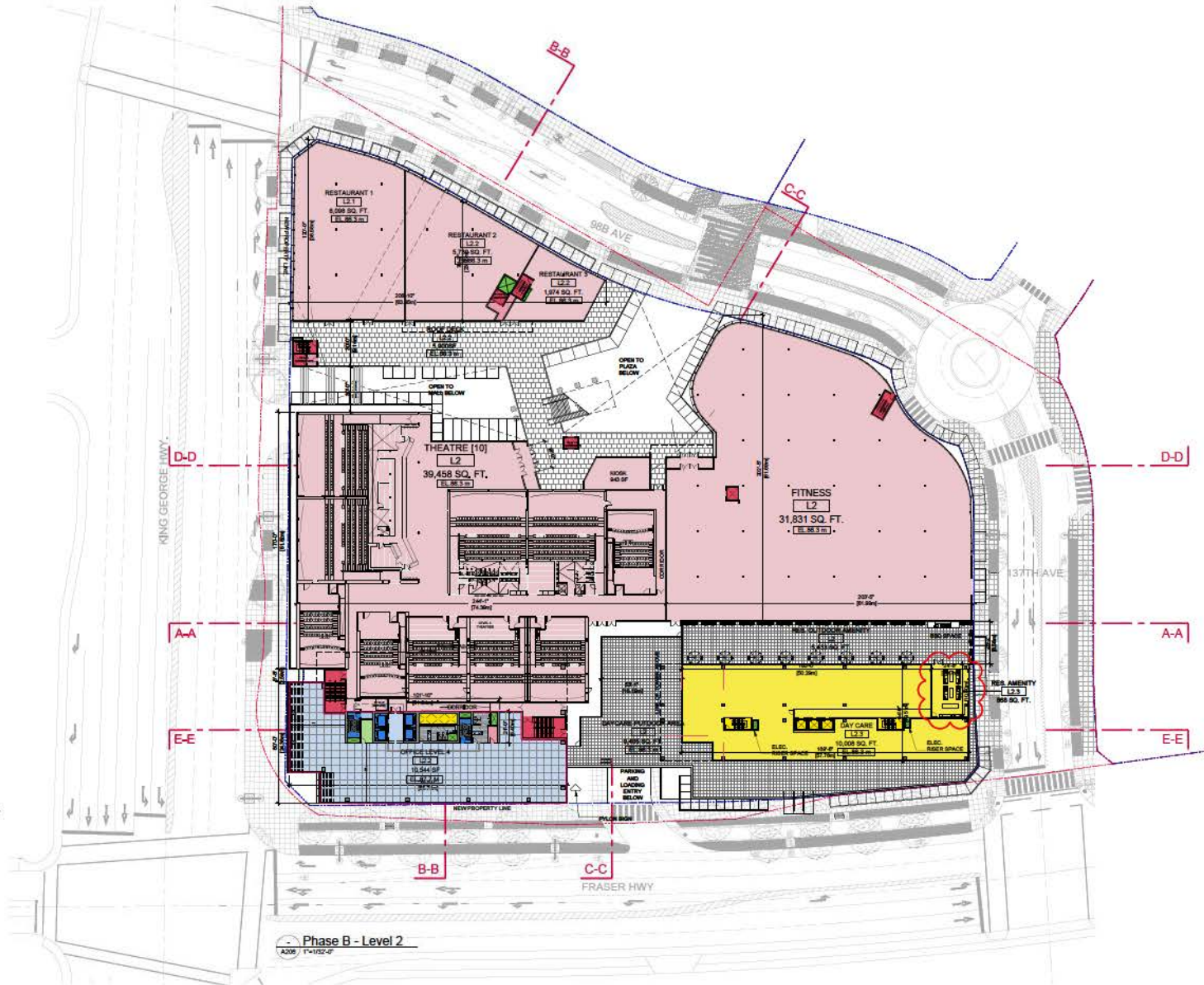
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 PHASE B**

KING GEORGE BLVD
 SURREY, BC

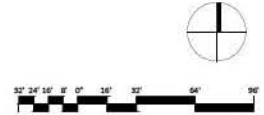
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LEVEL 2

Drawing
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 Project 211011.02

Sheet
A206



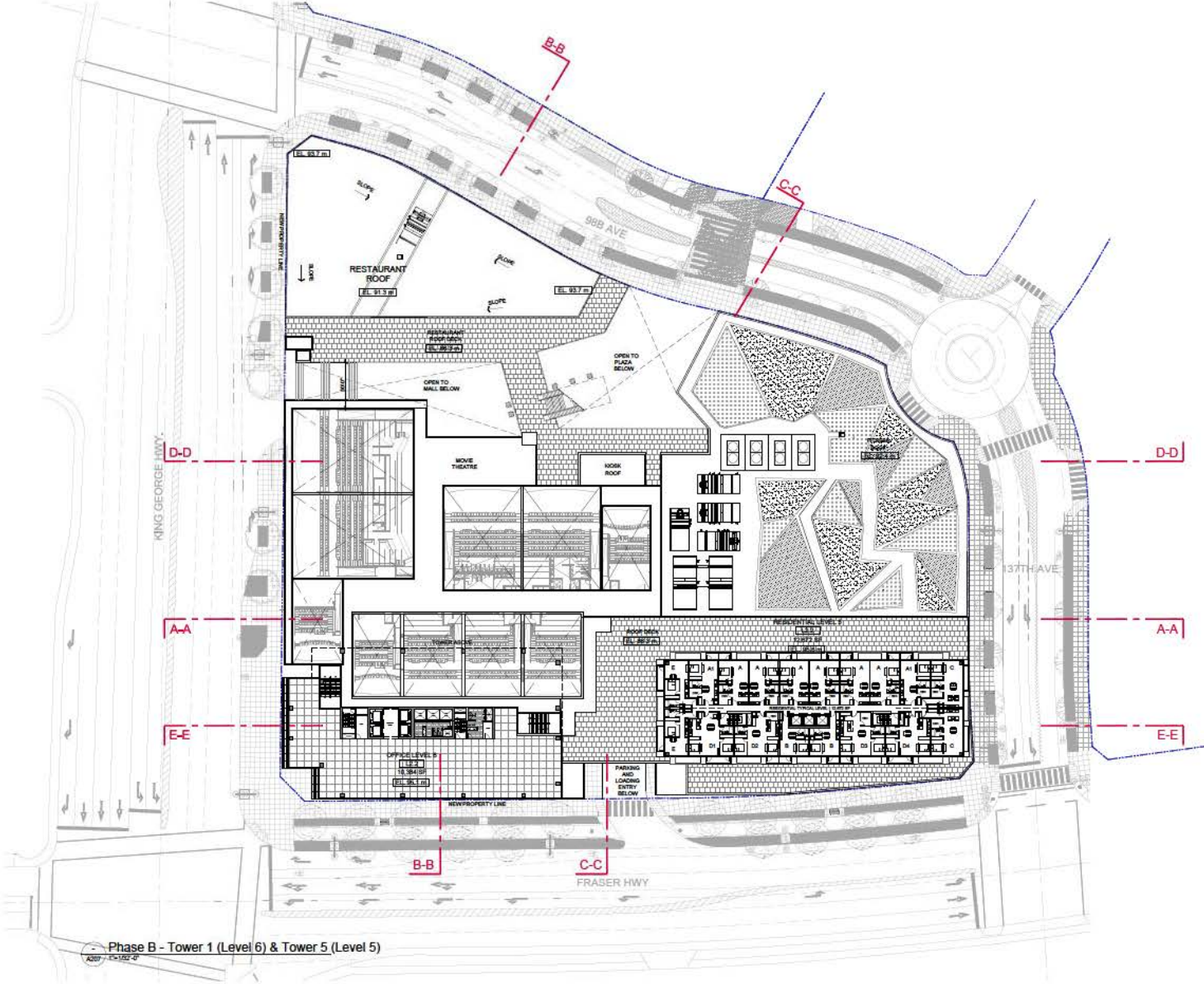
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 A206 17-1122-02



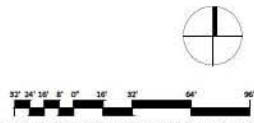


PCI

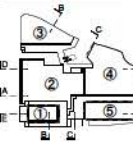
- 2 | 02 DEC 2014 | SUBMITTED FOR ADP AMENDMENT 2
 - 3 | 08 NOV 2014 | SUBMITTED FOR ADP AMENDMENT 3
 - 4 | 21 SEP 2014 | SUBMITTED TO ADP
- Revisions: 00 MM YYYY



Phase B - Tower 1 (Level 6) & Tower 5 (Level 5)
 A207 - EC-102-Q



Sheet
**KING GEORGE BLVD
 SURREY, BC**
 Project
**TOWER 1
 LEVEL 6
 TOWER 5
 LEVEL 5**
 Drawing
 Scale 1/32" = 1'-0"
 Project 21101.012
 Sheet **A207**



PCI

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3	08 NOV 2014	ISSUED FOR ADP AMENDMENT 3
4	11 SEP 2014	CONTRACT TO ADP

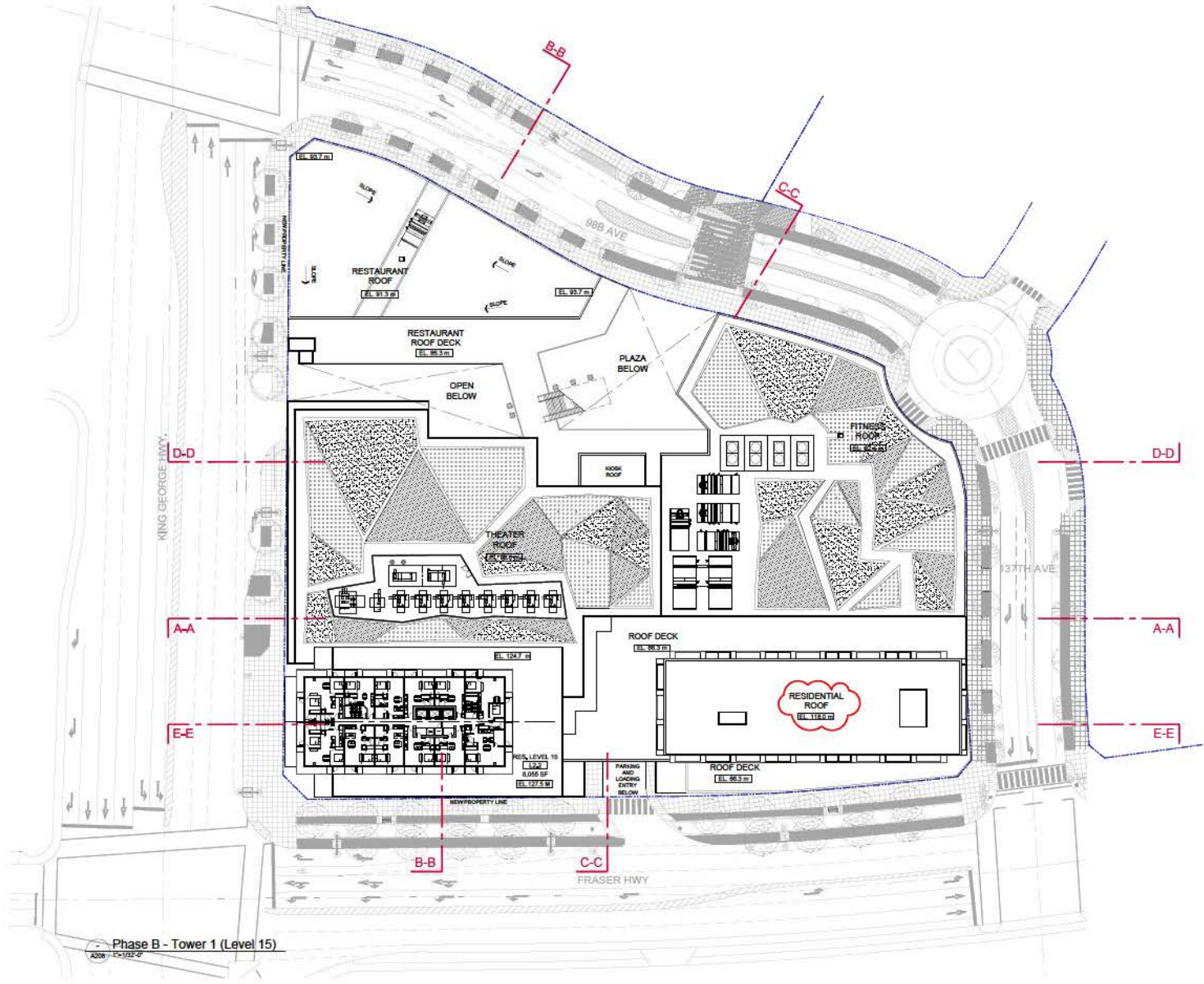
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Sheet
**KING GEORGE BLVD
 PHASE B**

KING GEORGE BLVD
 SURREY, BC
 Project

**TOWER 1
 LEVEL 15**

Drawing
 Scale 1/32" = 1'-0"
 Project 211011.012
 Sheet **A208**



Phase B - Tower 1 (Level 15)
 A208 - 12/12/2014



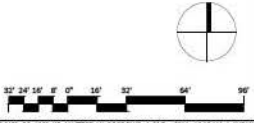
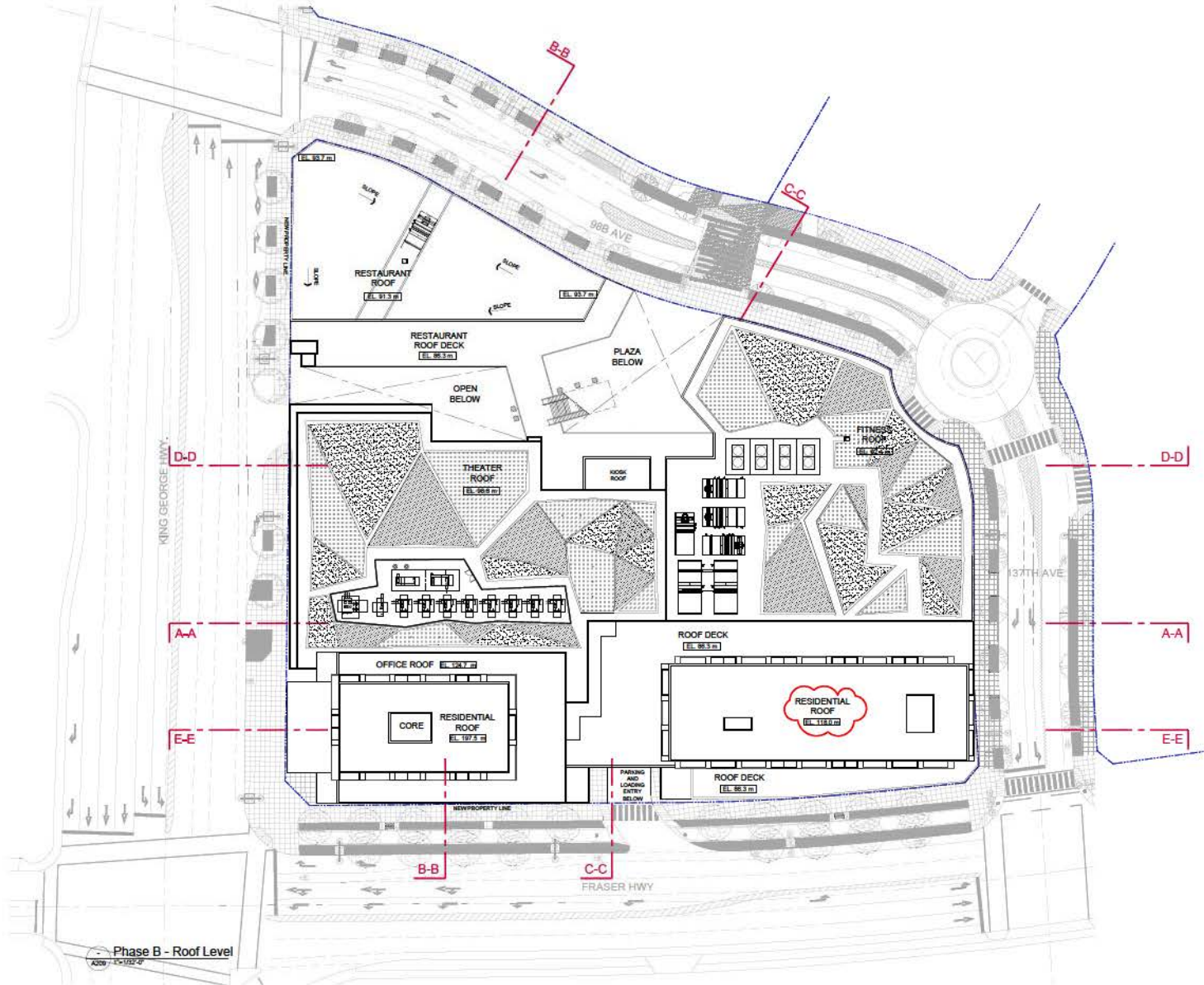
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1	08 NOV 2014	ISSUED FOR ADP AMENDMENT 1
1	11 SEP 2014	CONSTRUCTION TO ADP
1	11 SEP 2014	CONSTRUCTION TO ADP
Revisions	00 MM YYV	

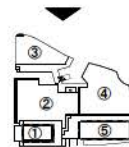
Sheet
**KING GEORGE
PHASE B**

KING GEORGE BLVD.
SURREY, BC

Project
ROOF LEVEL

Drawing
Scale 1/32" = 1'-0"
Project 211013.02
Sheet **A209**





PCI

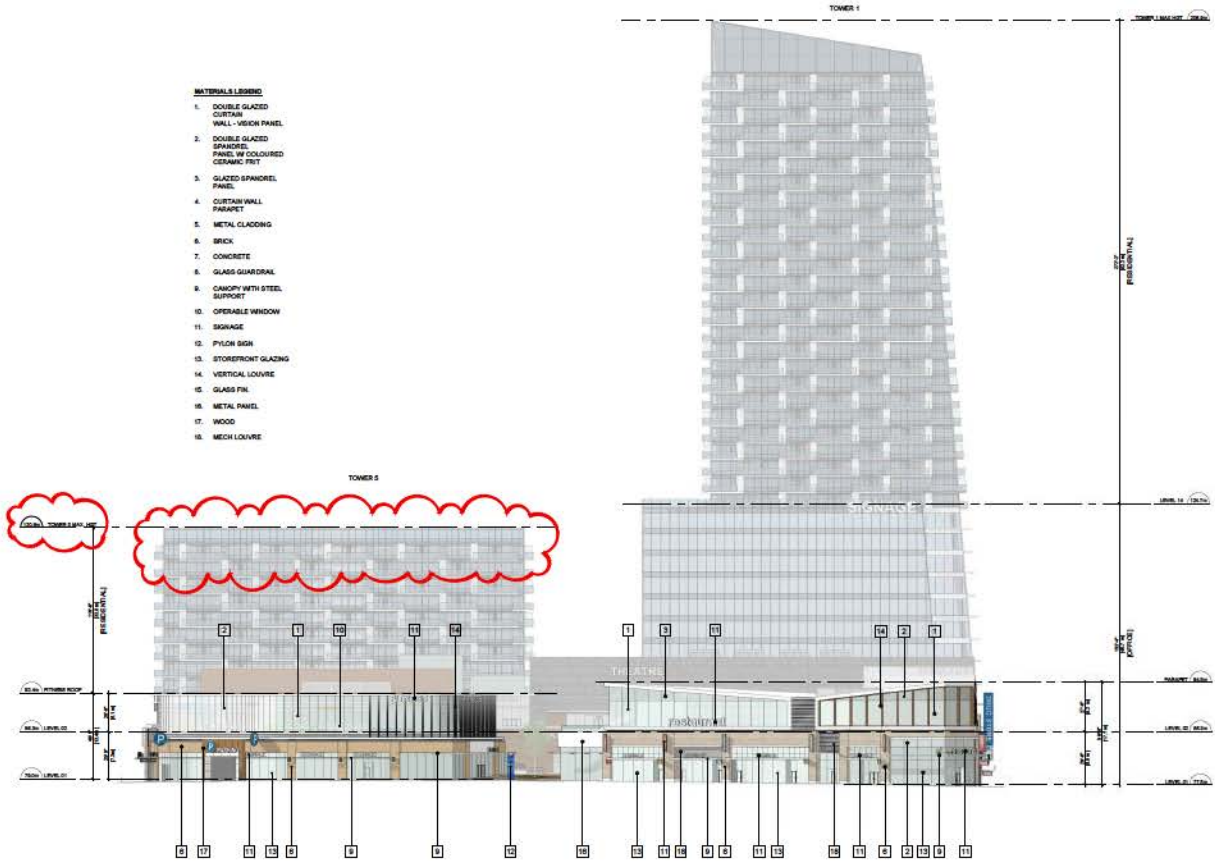
- 2 | 02 DEC 2014
REVISED FOR ADP AMENDMENT 2
 - 3 | 08 NOV 2014
REVISED FOR ADP AMENDMENT 3
 - 4 | 11 SEP 2014
SUBMITTED TO ADP
- Revisions: 00 MCM YYY

Seal
**KING GEORGE
PHASE B**

KING GEORGE BLVD.
SURREY, BC
Project
**NORTH
ELEVATION**

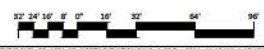
Drawing
Scale: 1/32" = 1'-0"
Project: 21101.02
Sheet: **A301**

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1. DOUBLE GLAZED CURTAIN WALL - VISION PANEL
 2. DOUBLE GLAZED SPANDREL PANEL BY COLOURED CERAMIC FRIT
 3. GLAZED SPANDREL PANEL
 4. CURTAIN WALL PARAPET
 5. METAL CLADDING
 6. BRICK
 7. CONCRETE
 8. GLASS GUARDRAIL
 9. CANOPY WITH STEEL SUPPORT
 10. OPERABLE WINDOW
 11. SIGNAGE
 12. Pylon SIGN
 13. STOREFRONT GLAZING
 14. VERTICAL LOUVRE
 15. GLASS FIN
 16. METAL PANEL
 17. WOOD
 18. MESH LOUVRE



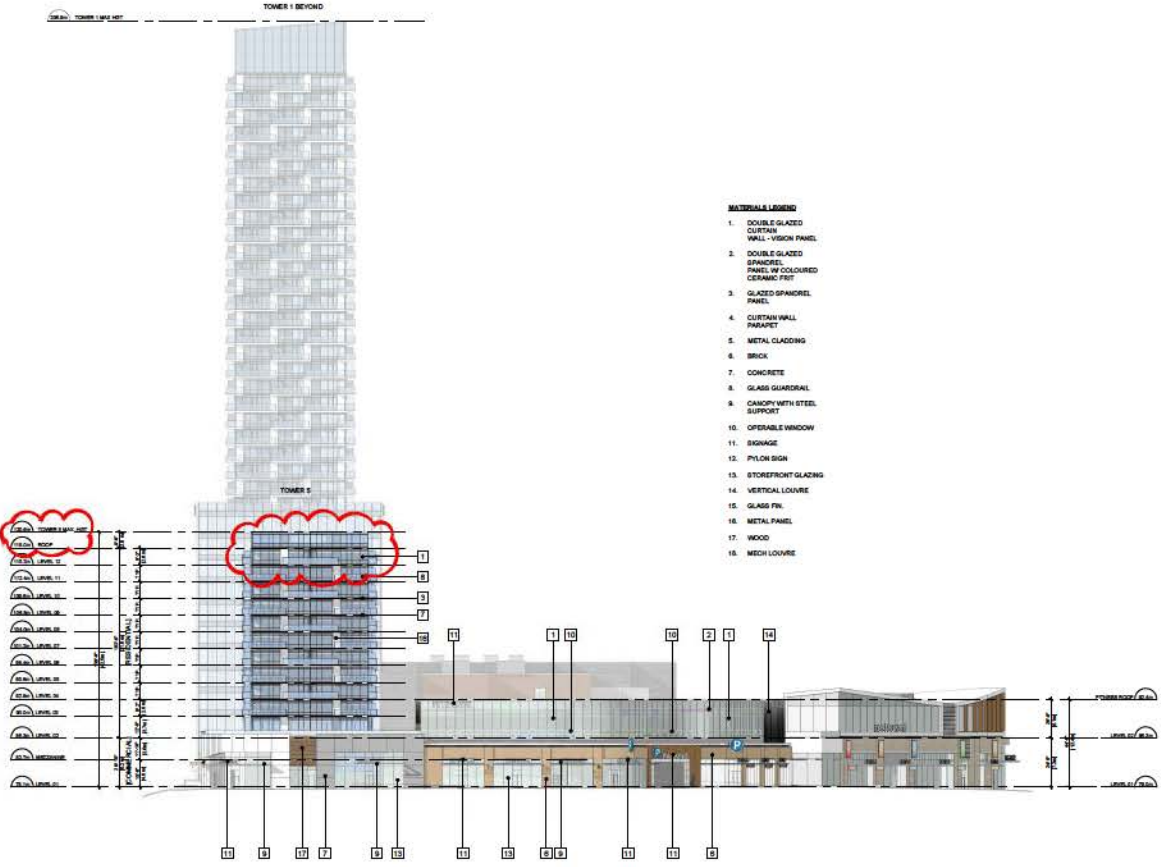
1 NORTH ELEVATION
A301 | 1/32" = 1'-0"

* REFER TO SIGNAGE PACKAGE





PCI



- MATERIALS LEGEND**
1. DOUBLE GLAZED CURTAIN WALL - VISION PANEL
 2. DOUBLE GLAZED SPANDREL PANEL W/ COLOURED CERAMIC FIN
 3. GLAZED SPANDREL PANEL
 4. CURTAIN WALL FRAME/PET
 5. METAL CLADDING
 6. BRICK
 7. CONCRETE
 8. GLASS GUARDRAIL
 9. CANTON WITH STEEL SUPPORT
 10. OPERABLE WINDOW
 11. SIGNAGE
 12. PYLON SIGN
 13. STOREFRONT GLAZING
 14. VERTICAL LOUVRE
 15. GLASS FIN
 16. METAL PANEL
 17. WOOD
 18. MESH LOUVRE

1 EAST ELEVATION
 AS22 1/32" = 1'-0"

* REFER TO SIGNAGE PACKAGE

- 2 | 02 DEC 2014 | ISSUED FOR ADP AMENDMENT 2
 - 3 | 08 NOV 2014 | ISSUED FOR ADP AMENDMENT 3
 - 4 | 21 SEP 2014 | SUBMISSION TO ADP
- Revisions: 00 MM YYYY

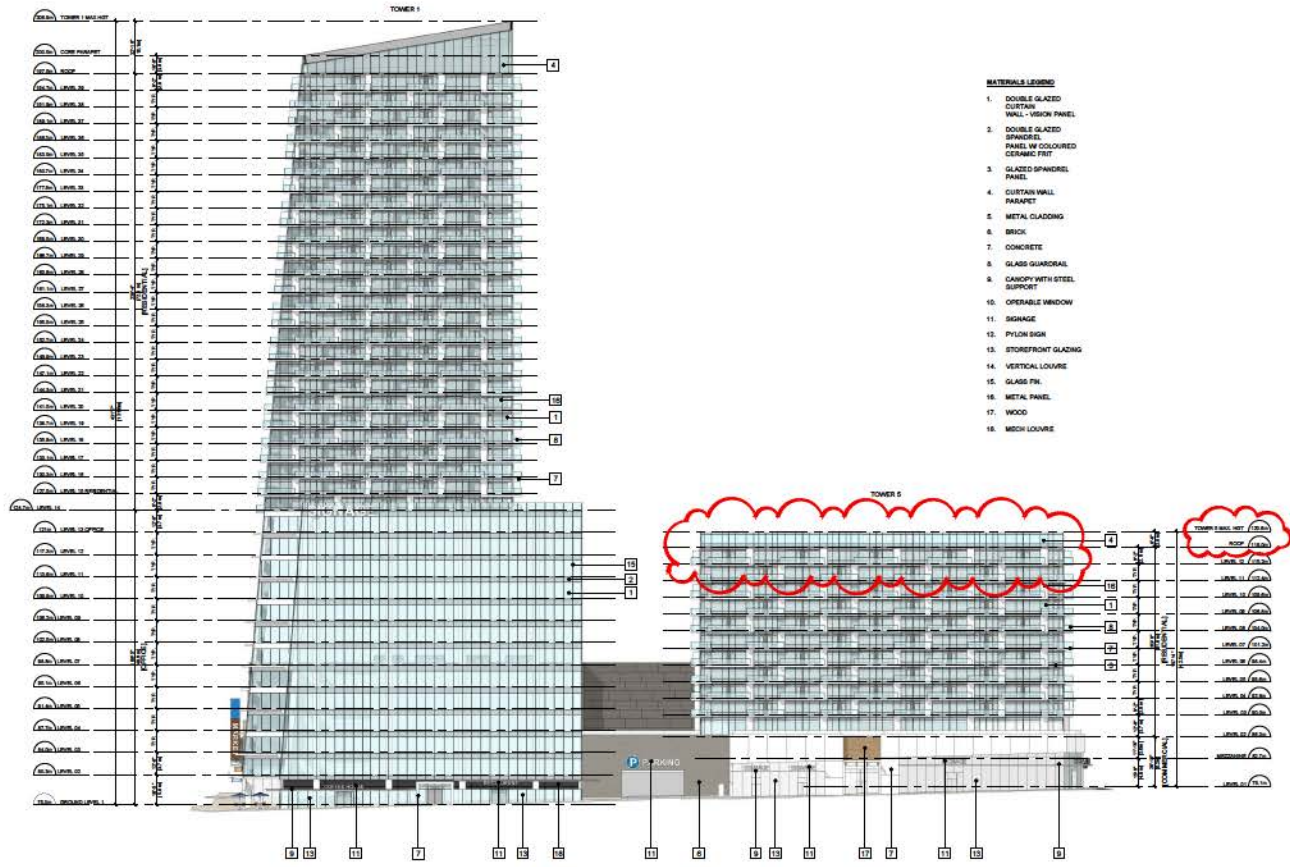
Seal
**KING GEORGE
 PHASE B**
 KING GEORGE BLVD.
 SURREY, BC
 Project
**EAST
 ELEVATION**

Drawing
 Scale 1/32" = 1'-0"
 Project 21101.02
 Sheet **A302**



1	02 DEC 2014	ISSUED FOR RFP
2	08 NOV 2014	ISSUED FOR ADP AMENDMENT
3	21 SEP 2014	FOR SUBMISSION TO ADP

Revisions: 00 MM/4/YY



- MATERIALS LEGEND**
1. DOUBLE GLAZED CURTAIN WALL - VISION PANEL
 2. DOUBLE GLAZED SPANDREL PANEL IN COLOURED CERAMIC FIT
 3. GLAZED SPANDREL PANEL
 4. CURTAIN WALL PARAPET
 5. METAL GLAZING
 6. BRICK
 7. CONCRETE
 8. GLASS GUARDRAIL
 9. CANTOPY WITH STEEL SUPPORT
 10. OPERABLE WINDOW
 11. SIGNAGE
 12. PYLON SIGN
 13. STOREFRONT GLAZING
 14. VERTICAL LOUVER
 15. GLASS FIN.
 16. METAL PANEL
 17. WOOD
 18. MOOR LOUVER

1 SOUTH ELEVATION
 A303 1/32" = 1'-0"

* REFER TO SIGNAGE PACKAGE

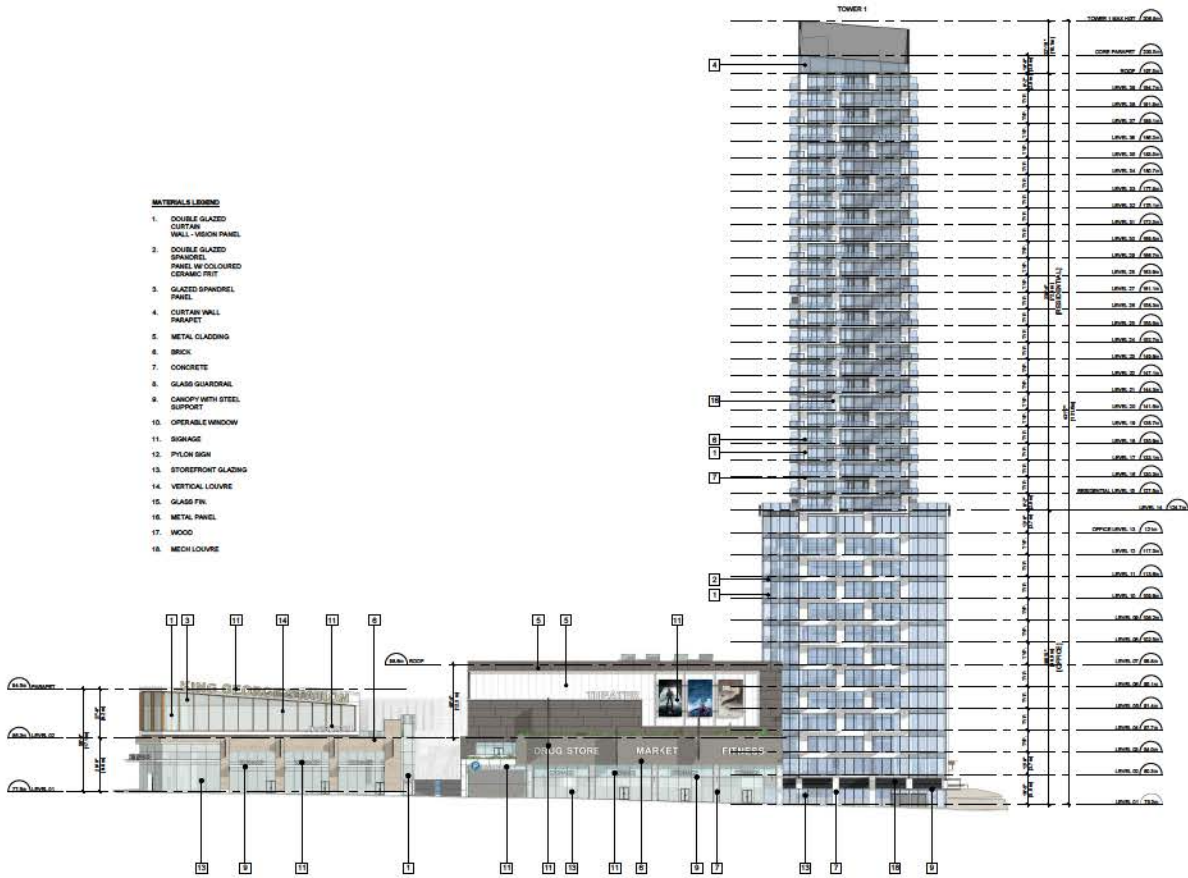
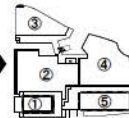


Seal
**KING GEORGE
 PHASE B**

KING GEORGE BLVD.
 SURREY, BC

**SOUTH
 ELEVATION**

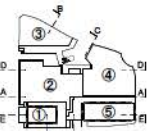
Drawing
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 Project 21101.02
 Sheet **A303**



1 WEST ELEVATION
 A304 1/32" = 1'-0"

* REFER TO SIGNAGE PACKAGE



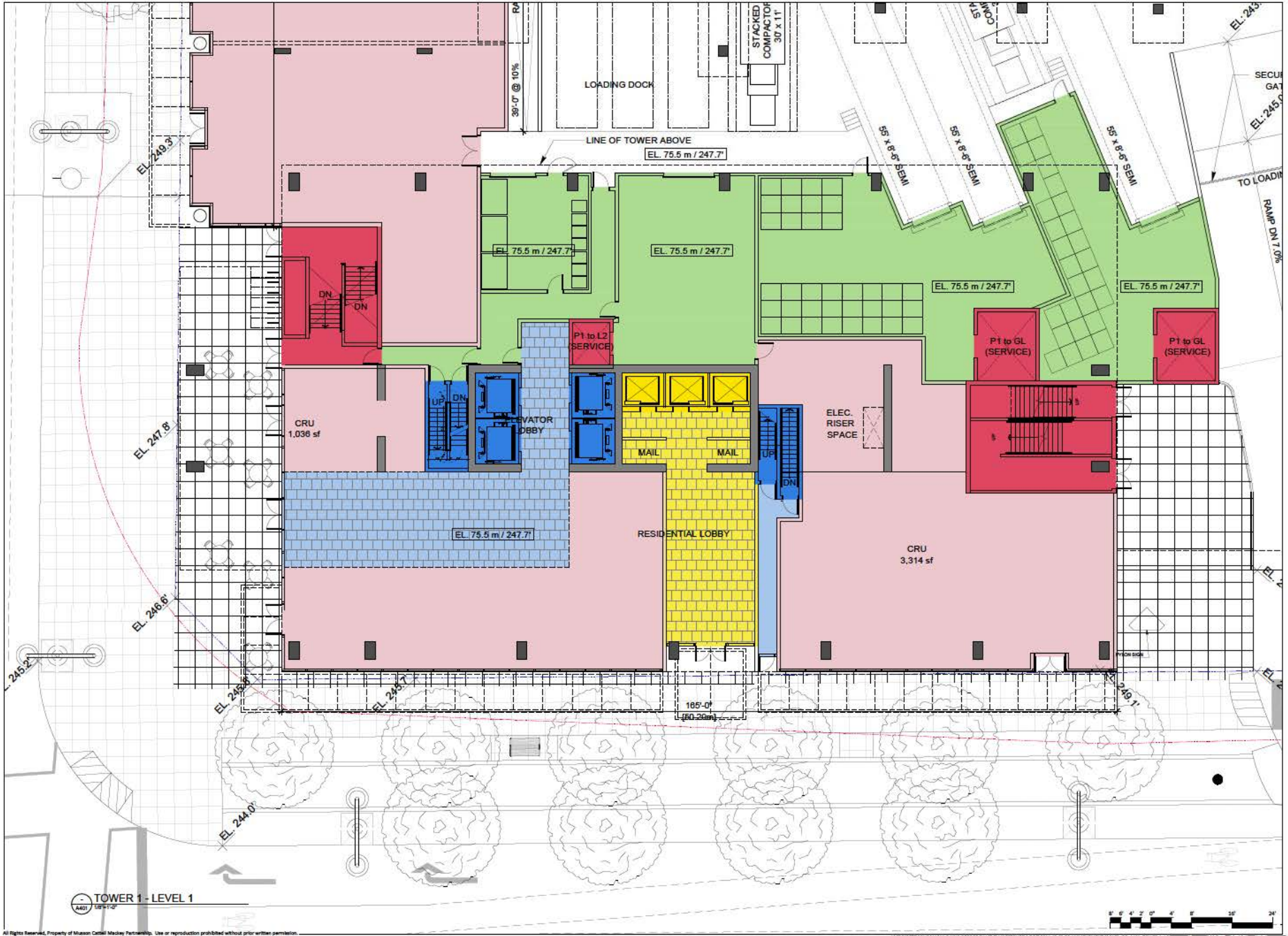


- 2 02 DEC 2014 ISSUED FOR ADP AMENDMENT 2
 - 1 08 NOV 2014 ISSUED FOR ADP AMENDMENT 1
 - 0 11 SEP 2014 COMMENCED TO ADP
- Revisions: 00 MCM YYY

Site
**KING GEORGE
PHASE B**

SURREY BC
Project
**TOWER 1
MIXED USE
LEVEL 1
FLOOR PLAN**

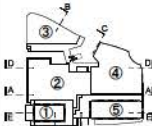
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Scale: 1/8" = 1'-0"
Project: 211011
Sheet: A401



TOWER 1 - LEVEL 1
A401 18x12

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PROJECTS\01\211011-0 KING GEORGE PHASE B\1880S\01\211011-02-01 ADP AMENDMENT 2\CAD\01_A401_TOWER 1...DWG

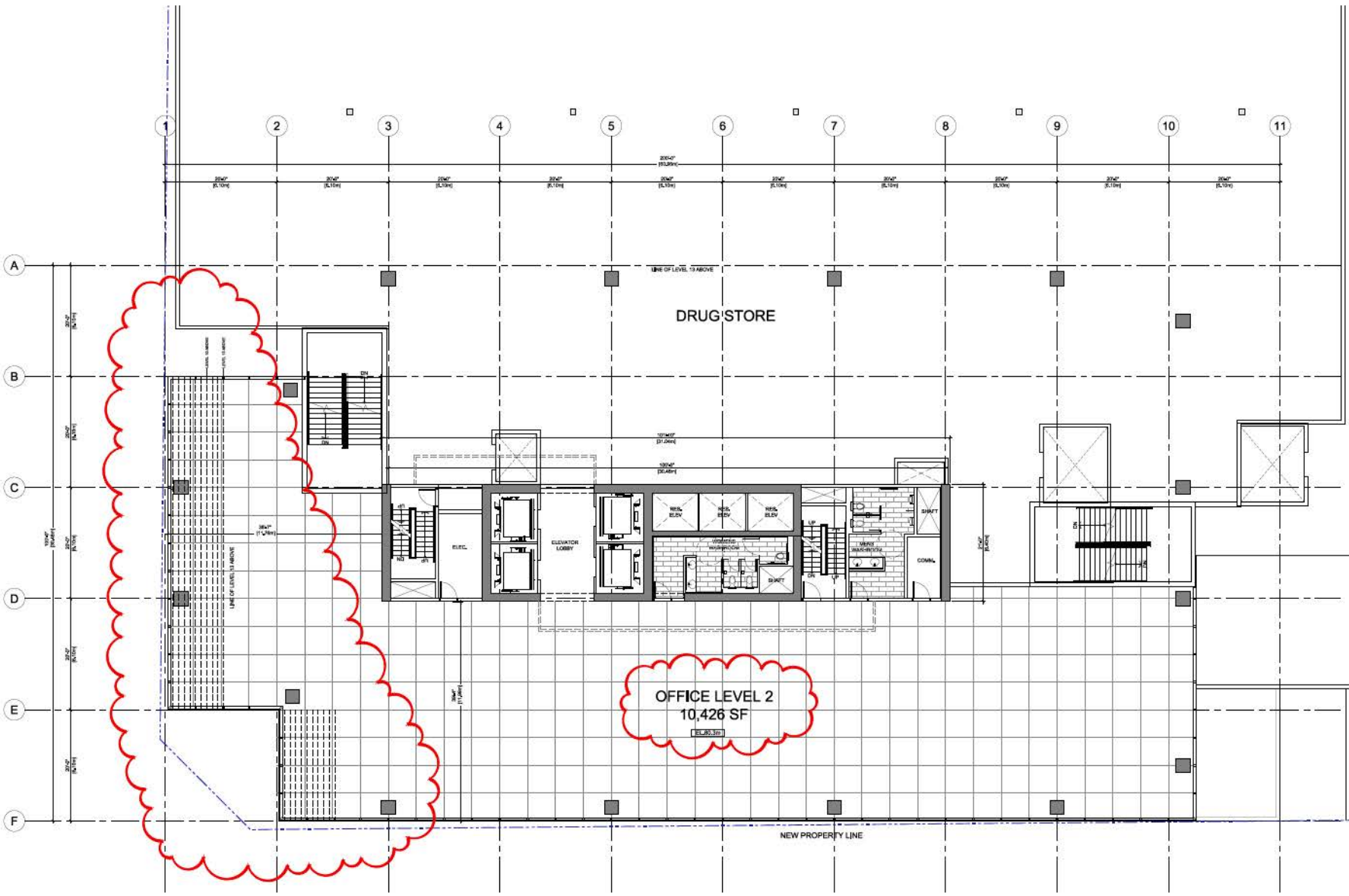


- 2 02 DEC 2024 ISSUED FOR ADP AMENDMENT 2
 - 1 08 NOV 2024 ISSUED FOR ADP AMENDMENT 1
 - 11 SEP 2024 SUBMITTED TO ADP
- Revisions: DD MM/YYYY

Seal
**KING GEORGE
 PHASE B**

SURREY BC
 Project
**TOWER 1
 OFFICE
 LEVEL 2**

Drawing
 Scale
 Project: 211011
 Sheet: **A402**



TOWER 1 - OFFICE LEVEL 2
 A402 1/8"=1'-0"



**Musson
Cattell
Mackay
Partnership**

Architects Designers Planners
1600 - Two Bayhill Courts
588 Burrard Street, Box 264
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MCMPartnership.com



- 1 02 DEC 2014 ISSUED FOR ADP AMENDMENT 1
 - 2 06 NOV 2014 ISSUED FOR ADP AMENDMENT 2
 - 3 21 SEP 2014 SUBMITTED TO ADP
- Revisions: DD MUM YYY

Seal
**KING GEORGE
PHASE B**

SURREY BC
Project

**TOWER 1
OFFICE LEVEL 4**

Drawing
Title
Page: 211011
Sheet: **A404**



TOWER 1 - OFFICE LEVEL 4
A404/10

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I:\PROJECTS\2013\10111 & KING GEORGE PHASE B\REVISED\DWG & DP\DWG 12 03 DP AMENDMENT 2\DWG_DP_A404_TOWER 1_LEVEL 4 FLOOR PLAN.DWG | 03 Dec 2014 - 11:56 AM | E:\RAGD



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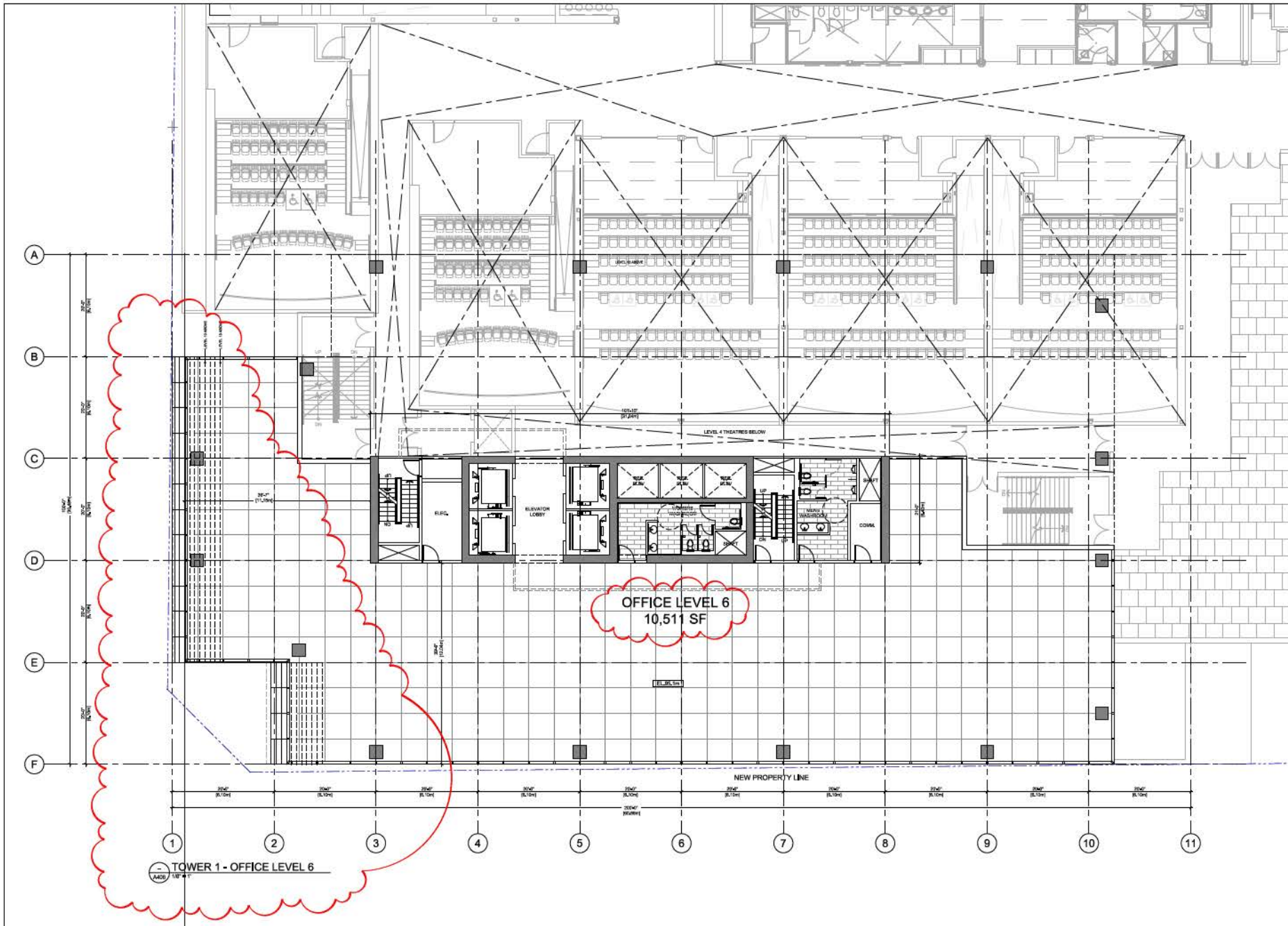
- 2 | 02 DEC 2014 | ISSUED FOR ADP AMENDMENT 2
 - 1 | 06 NOV 2014 | ISSUED FOR ADP AMENDMENT 1
 - 0 | 21 SEP 2014 | SUBMITTED TO ADP
- Revisions: DD MUM YYY

Seal
**KING GEORGE
PHASE B**

SURREY BC
Project

**TOWER 1
OFFICE
LEVEL 6**

Drawing
Title
Project: 211011
Sheet: **A406**

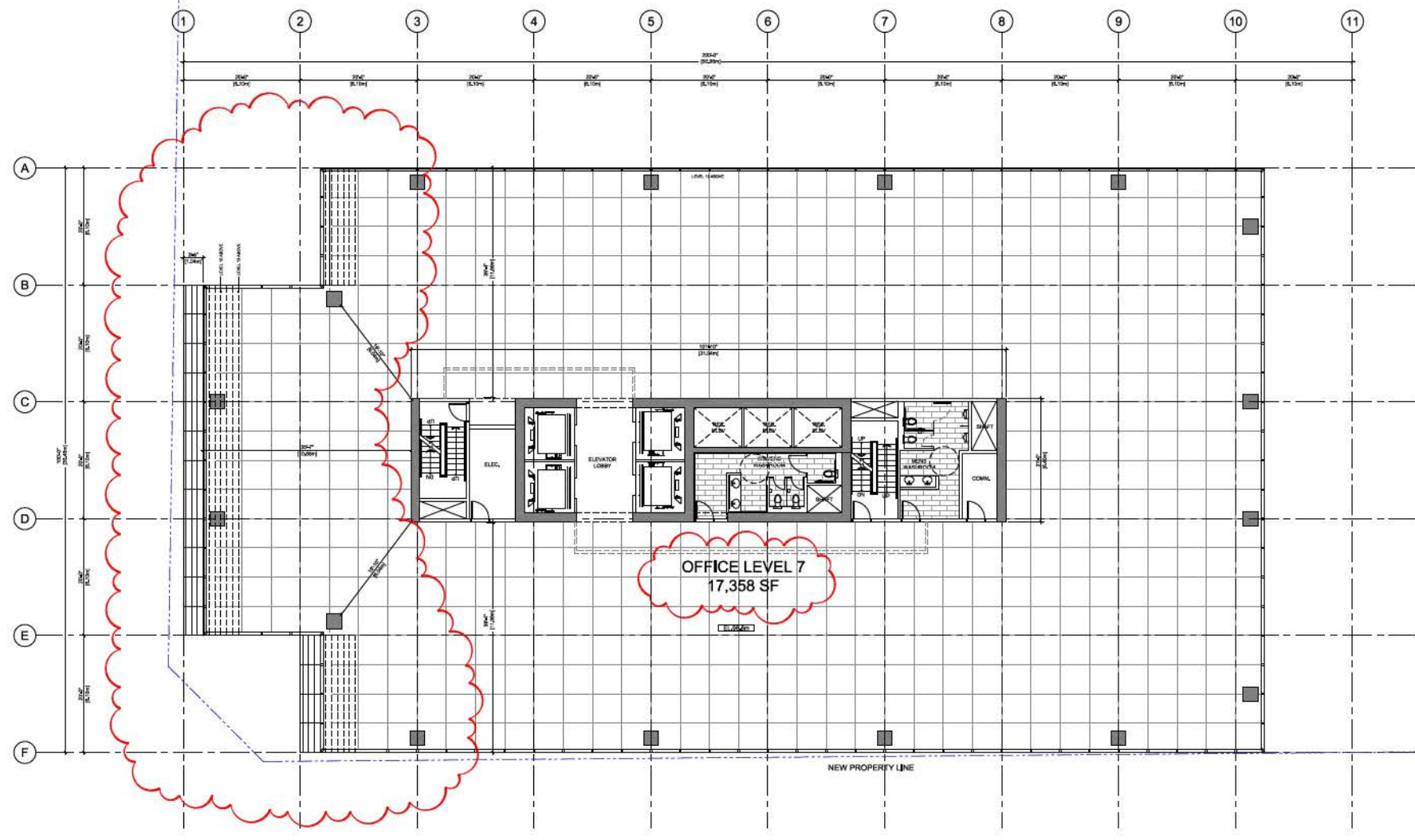
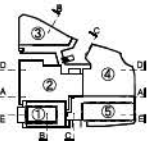


THEATRE ROOF BELOW



**Musson
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OFFICE LEVEL 7
17,358 SF

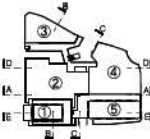
TOWER 1 - OFFICE LEVEL 7
A407 1/8" = 1'

- 1 02 DEC 2014 ISSUED FOR ADP AMENDMENT 2
 - 2 06 NOV 2014 ISSUED FOR ADP AMENDMENT
 - 3 21 SEP 2014 SUBMITTED TO ADP
- Revisions: 00 MUM YYY

Seal
**KING GEORGE
PHASE B**

SURREY BC
Project
**TOWER 1
OFFICE
LEVEL 7**

Drawing
Title
Project: 211011
Sheet: **A407**



OFFICE LEVEL 13
16,758 SF

TOWER 1 - OFFICE LEVEL 13
A408 / 13P #1

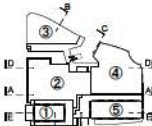
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2	06 NOV 2014	ISSUED FOR ADP AMENDMENT 1
3	21 SEP 2014	SUBMITTED TO ADP
Revisions		DD MUM YYY

Seal
**KING GEORGE
PHASE B**

SURREY BC
Project

**TOWER 1
OFFICE
LEVEL 13**

Drawing
Title
Project 211011
Sheet **A408**



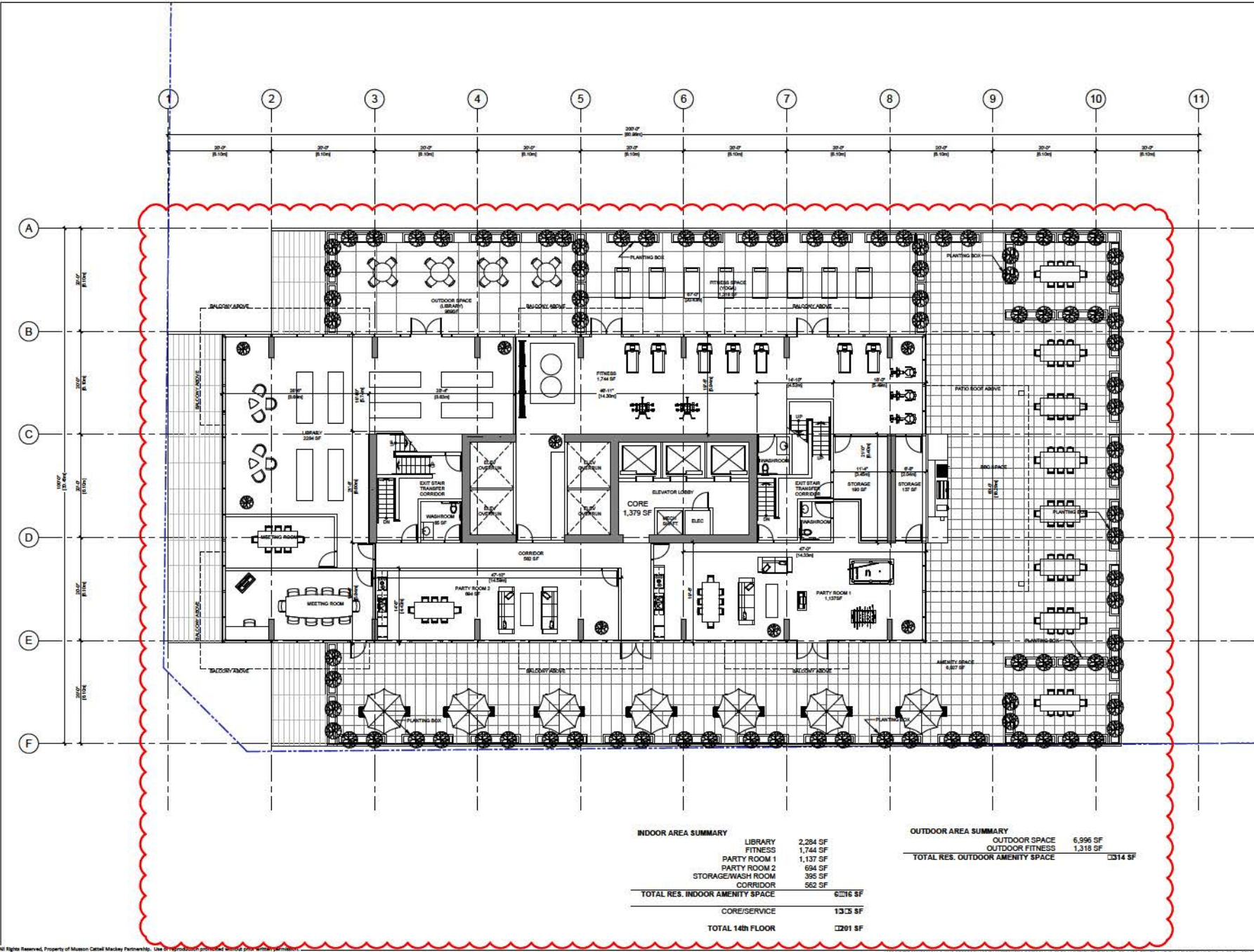
- 2 | 03 DEC 2024 | ISSUED FOR ADP AMENDMENT
 - 1 | 08 NOV 2024 | ISSUED FOR ADP AMENDMENT
 - 1 | 11 SEP 2024 | SUBMITTED TO ADP
- Revisions: DD MRM/YYY

Seal
**KING GEORGE
 PHASE B**

SURREY BC
 Project

**TOWER 1
 RESIDENTIAL
 LEVEL 14**

Drawing:
 Scale:
 Project: 211011
 Sheet: **A409**

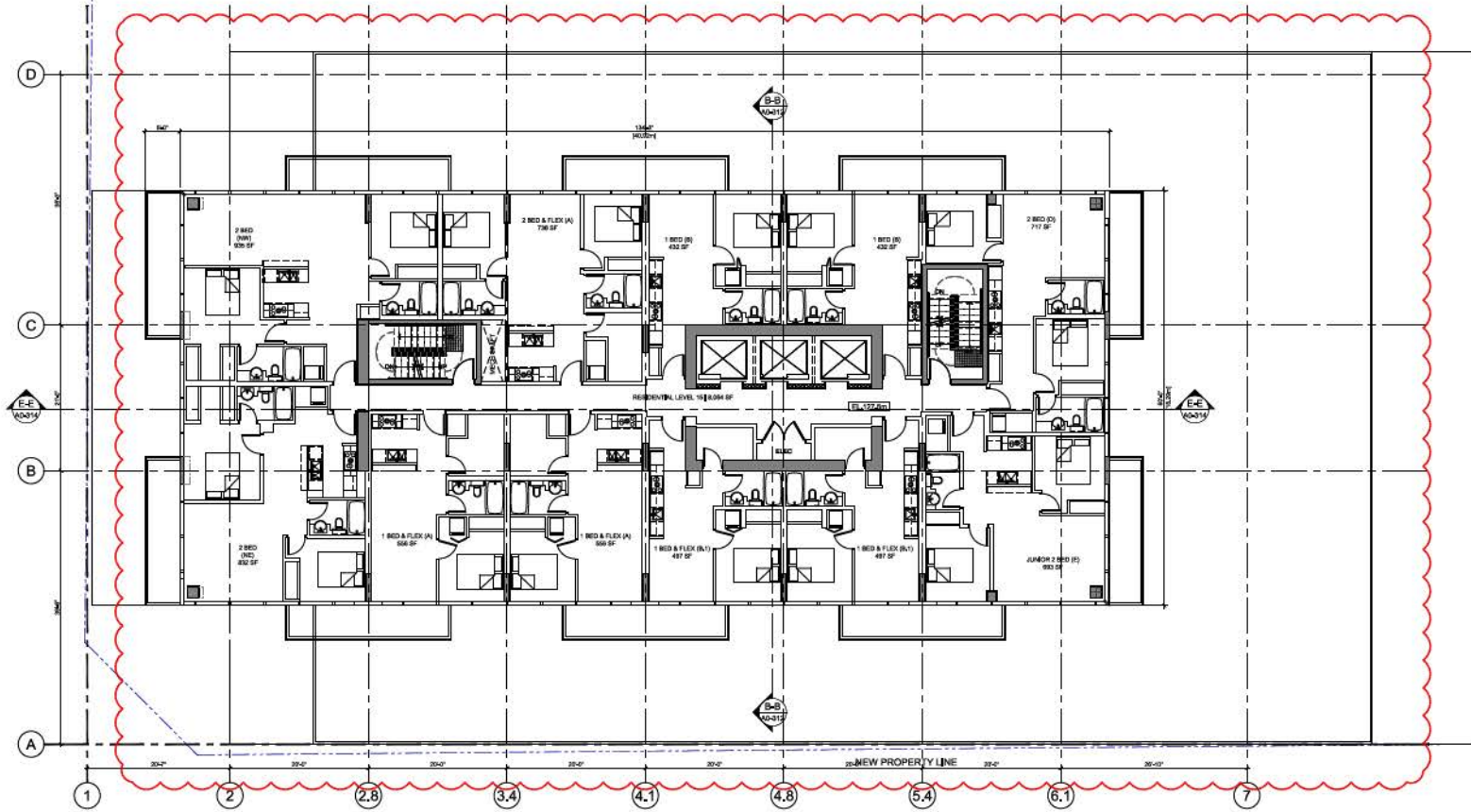
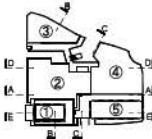


INDOOR AREA SUMMARY

LIBRARY	2,284 SF
FITNESS	1,744 SF
PARTY ROOM 1	1,137 SF
PARTY ROOM 2	694 SF
STORAGE/WASH ROOM	395 SF
CORRIDOR	582 SF
TOTAL RES. INDOOR AMENITY SPACE	6,036 SF
CORE/SERVICE	13,135 SF
TOTAL 14th FLOOR	19,171 SF

OUTDOOR AREA SUMMARY

OUTDOOR SPACE	6,996 SF
OUTDOOR FITNESS	1,318 SF
TOTAL RES. OUTDOOR AMENITY SPACE	8,314 SF



2	02 DEC 2014	ISSUED FOR ADP AMENDMENT 7
1	08 NOV 2014	ISSUED FOR ADP AMENDMENT 6
1	21 SEP 2014	SUBMITTED TO ADP
Revisions		DD MVM YYY

Seal
**KING GEORGE
PHASE B**

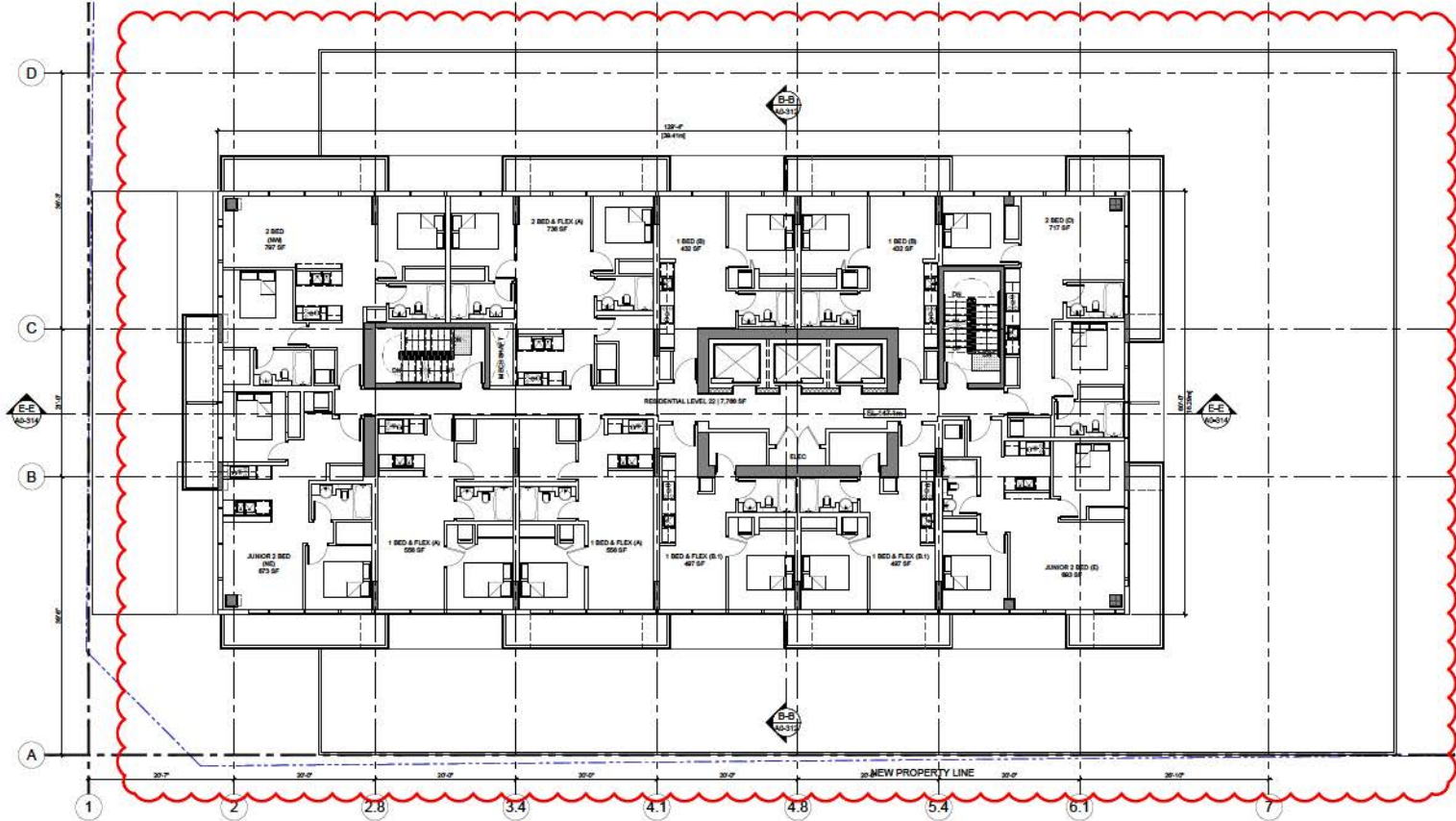
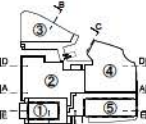
SURREY BC
Project
**TOWER 1
RESIDENTIAL
LEVEL 15**

Drawing
Scale
Project 21101
Sheet **A410**



**Museum
Cattell
Madison
Partnership**

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3000 - Professional Practice
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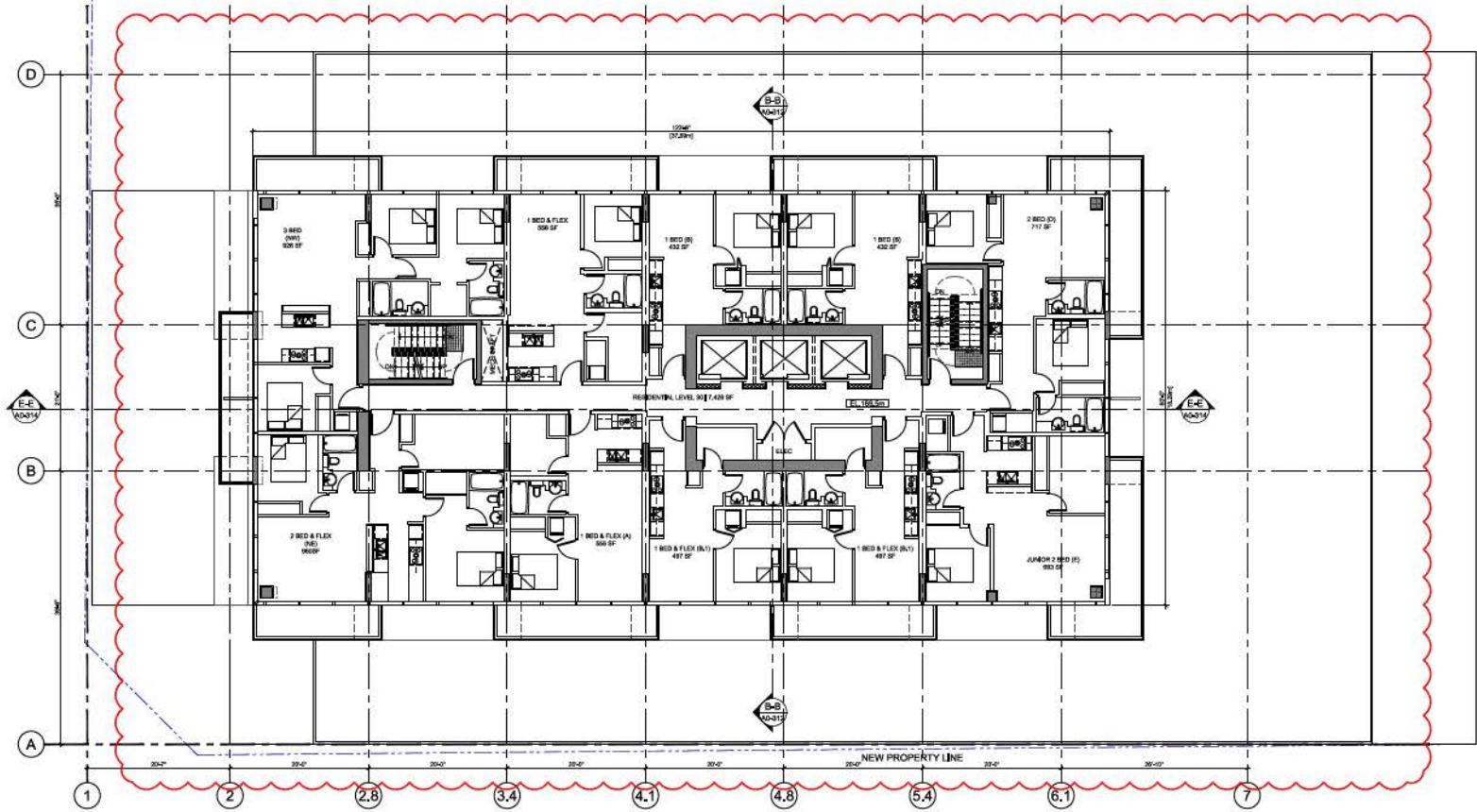
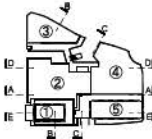


- 2 | 02 DEC 2024 | ISSUED FOR ADP AMENDMENT 2
 - 1 | 08 NOV 2024 | ISSUED FOR ADP AMENDMENT 1
 - 1 | 11 SEP 2024 | SUBMITTED TO ADP
- Revisions: 00 MMV VVV

Seal
**KING GEORGE
PHASE B**

SURREY BC
Project
**TOWER 1
RESIDENTIAL
LEVEL 22**

Drawing
Scale
Project: 211011
Sheet: **A411**

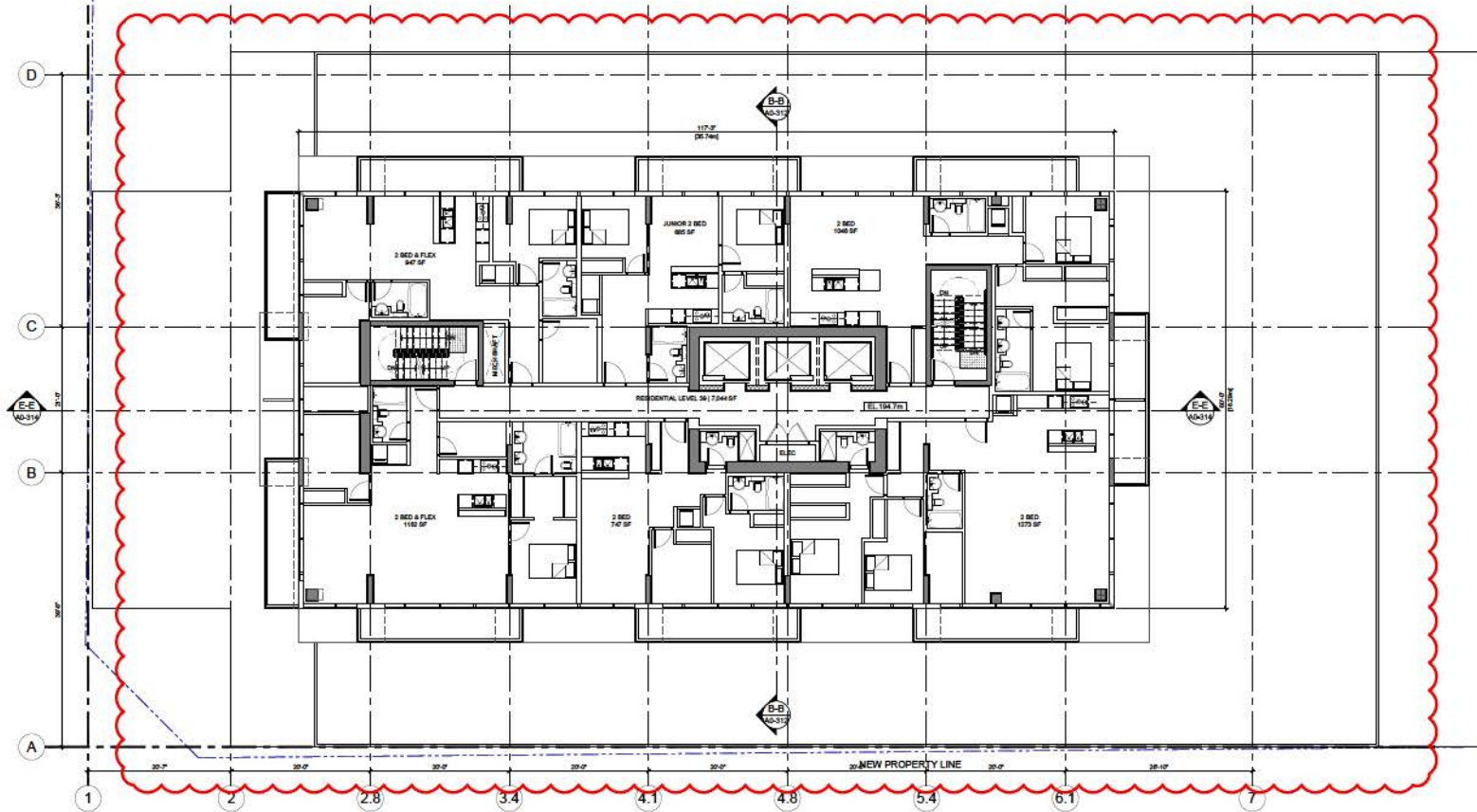
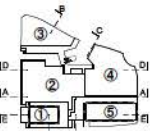


2	02 DEC 2014	ISSUED FOR ADP AMENDMENT 2
1	06 NOV 2014	ISSUED FOR ADP AMENDMENT 1
1	21 SEP 2014	SUBMITTED TO ADP
Revisions		DD MVM YYY

Seal
**KING GEORGE
PHASE B**

SURREY BC
Project
**TOWER 1
RESIDENTIAL
LEVEL 30**

Drawing
Scale
Project 211031
Sheet **A412**



- 2 | 02 DEC 2014 | SUBMITTED FOR ADP AMENDMENT 2
 - 3 | 08 NOV 2014 | SUBMITTED FOR ADP AMENDMENT 3
 - 4 | 21 SEP 2014 | SUBMITTED TO ADP
- Revisions: 00 MM YY

Seal
**KING GEORGE
 PHASE B**

SURREY BC
 Project
**TOWER 1
 RESIDENTIAL
 LEVEL 39**

Drawing
 Scale
 Project: 213011
 Sheet: **A413**

0.2 USE OF TYPOGRAPHY IN SIGN PROGRAM

The typeface for site wayfinding programs needs to meet international standards for legibility and easy recognition by viewers whether pedestrians, bicyclists, or drivers.

The typeface proposed for the signage at King George Station is **Univers 75 Black**. Lighter weights, such as **Univers 65 Bold** or **Univers 55 Roman** may be used in certain instances & secondary messages. This typeface meets international standards for legibility and easy recognition by viewers whether pedestrian or drivers, and maintains flexibility in a variety of applications of use.

To ensure consistency and visual impact supporting typography must be set in the recommended font.

**abcdefghijklmnopqrstuvwxy
ABCDEFGHIJKLMNOPQRSTU
WXYZ1234567890.,'()/-**

Univers 75 Black

**abcdefghijklmnopqrstuvwxy
ABCDEFGHIJKLMNOPQRSTU
WXYZ1234567890.,'()/-**

Univers 65 Bold

**abcdefghijklmnopqrstuvwxy
ABCDEFGHIJKLMNOPQRSTU
WXYZ1234567890.,'()/-**

Univers 55 Roman



USE OF PICTOGRAM IN WAYFINDING PROGRAM

Pictograms are also known as pictographs, glyphs and symbols. They are symbol signs that cut across linguistic barriers to aid visitors orientation and wayfinding.

The pictograms illustrated here form part of the King George Station Wayfinding Program, and should be connected with the appropriate message. They are part of internationally recognized standards for public wayfinding. It is important to use only the pictograms specified here as part of the site wayfinding program.

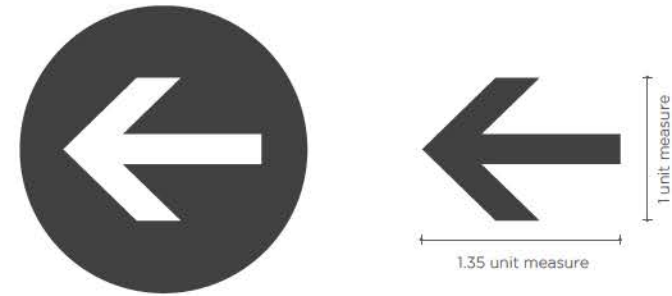
If any other pictogram is required it must be approved for use by PCI / EDG.



USE OF ARROWS IN WAYFINDING PROGRAM

Reversing the arrow out of a background makes the arrow appear to be larger. It also makes the arrow visually stand out from the adjacent messaging text.

If any other arrow is required it must be approved for use by PCI / EDG.



GUIDELINES FOR USE OF ARROWS

↑	Straight ahead; up/upper level		
↖	Left up	↗	Right up
←	Left	→	Right
↙	Left down	↘	Right down
↓	Down / lower level; Lane designation		

SIZE OF ARROWS: The size is determined by the associated letter size

PLACEMENT OF ARROWS: All arrows must appear on the left side of the exterior sign.

WAYFINDING INFORMATION LAYOUT ON DIRECTIONAL SIGNS

GUIDELINES FOR USE OF DIRECTIONAL ARROWS:*

- Use no more than 3 destinations per directional arrow
- Use only one arrow per direction
- Use a maximum of 3 directions only
- Place all arrows on one side of sign
- All destinations to be listed in the order of arrival
- Use no more than 5 destinations per sign max.

*Refer to Figure 1

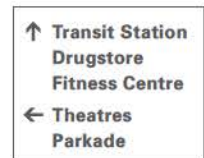


Figure 1

Sign Type Overview

*Note: Not all sign types shown. Refer to elevation drawings 1.4-1.7.

Sign #	Key	Sign Type
1		Anchor Tenant Fascia Sign
2		Office Tower Fascia Sign (Skysign)*
3		Tenant Canopy Sign
4		Tenant Projected Sign
5		Tenant Blade Sign
6		Building Entrance ID Sign
7		Parking "P" Projected Sign*
8		Parking Entrance ID Sign*
9		Projected Directory Sign
10		Pedestrian Directory/ Directional
11		Static Backlit Poster Display*
12		Tenant Directory Pylon (DELETED)
13		Project Identification Sign*
14		Banner Program (Temporary)*

10 PEDESTRIAN DIRECTORY/DIRECTIONAL (Freestanding Directional)

Double-sided pylon constructed of 25 mm (1") thick laminated darkened glass, on an LED edge-illuminated plynth. Illuminated Transit "T" at top of pylon. 37.5 mm (1 1/2") letters list a maximum of five destinations, with an optional digital map/directory below mounted underneath the glass. 762 mm x 4,572 mm (2'-6" x 15'-0")



5 TENANT BLADE SIGN (Under Canopy Sign)
Double-sided 1,524 mm x 304.8 mm Max (5'-0" x 1'-0" Max.)
(See page T-0.4)

Minimum (8'-0") clearance to grade/sidewalk



4 TENANT PROJECTED SIGN
*See elevations for sizes
Double-sided aluminum sign cabinet with backlit illuminated acrylic sign faces and push-through face lit individual letters. Typically 1,524 mm W x 8,534 mm to 9,754 mm H (5'-0" W x 28'-0" to 32'-0" H)

NOTE: Inclusion of horizontal bars enhances legibility of vertical sign blade



1 ANCHOR TENANT FASCIA SIGN (Note: Above Ground Floor Fascia Sign shown)
*See elevations for sizes
Typically 1,219 mm O.A. height (4'-0" height) including tenant logo where applicable. Internally illuminated (4100K) individual channel letters, logo and colours to suit tenant brand identity standard. (See page T-0.2)



3 TENANT CANOPY SIGN (Note: Under Canopy Sign shown, in some cases an Above Canopy Sign)
Typically 762 mm O.A. height (2'-6" O.A. height) including tenant logo where applicable. Internally illuminated (4100K) channel letters, logo and colours to suit tenant brand identity standard. (See page T-0.3)



9 PROJECTED DIRECTORY SIGN
Double-sided aluminum sign cabinet with backlit illuminated acrylic sign faces and vinyl text/graphics. Typically 1,524 mm W x 6,096 mm to 9,144 mm H (5'-0" W x 20'-0" to 30'-0" H)



6 ENTRANCE ID SIGN (RESIDENCE)
304.8 mm Max. (1'-0" Max.) Letter Height w/ No Logo. Individual non-illuminated.





Sign #	Key	Sign Type
1		Anchor Tenant Fascia Sign
2		Office Tower Fascia Sign (skysign)
3		Tenant Canopy Sign
4		Tenant Projected Sign
5		Tenant Blade Sign
6		Building Entrance ID Sign
7		Parking "P" Projected Sign
8		Parking Entrance ID Sign
9		Projected Directory Sign
10		Pedestrian Directory/ Directional
11		Static Backlit Poster Display
12		Tenant Directory Pylon (DELETED)
13		Project Identification Sign
14		Banner Program (Temporary)

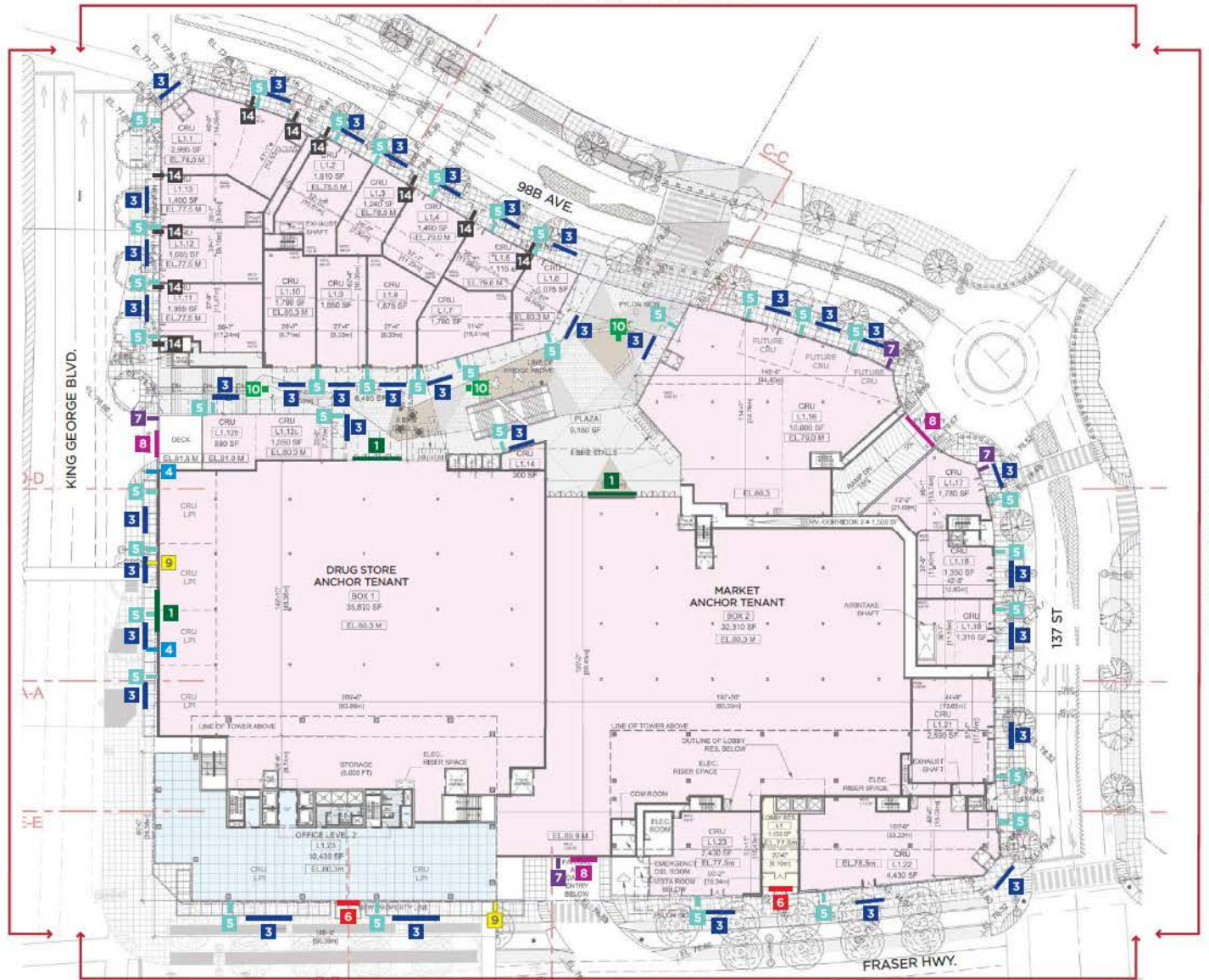
--- Indicates sub-ground CRU demising walls

NOTE
As per Easement Agreement with the City of Surrey, some signage is proposed to be installed outside the new property line but within the demountable canopy line.

Sign Types 3, 4, 5, 7, 9, and 14 fall under this allowance.

1.7 WEST ELEVATION - KING GEORGE BOULEVARD

1.4 NORTH ELEVATION - 98B AVENUE



1.6 SOUTH ELEVATION - FRASER HIGHWAY

1.5 EAST ELEVATION - 137 STREET

1.2 PHASE B - SIGN PLAN - LEVEL 1
NTS



King George Station Phase B
Comprehensive Sign Plan - DRAFT 3

CLIENT NAME: MCM Architects / PCI

FILE NAME: 14021 KGS CSP 1.2 Phase B Sign Plan Level 1ai

DATE: 2014-12-03

PROJECT: 14021

DRAWN BY: KB

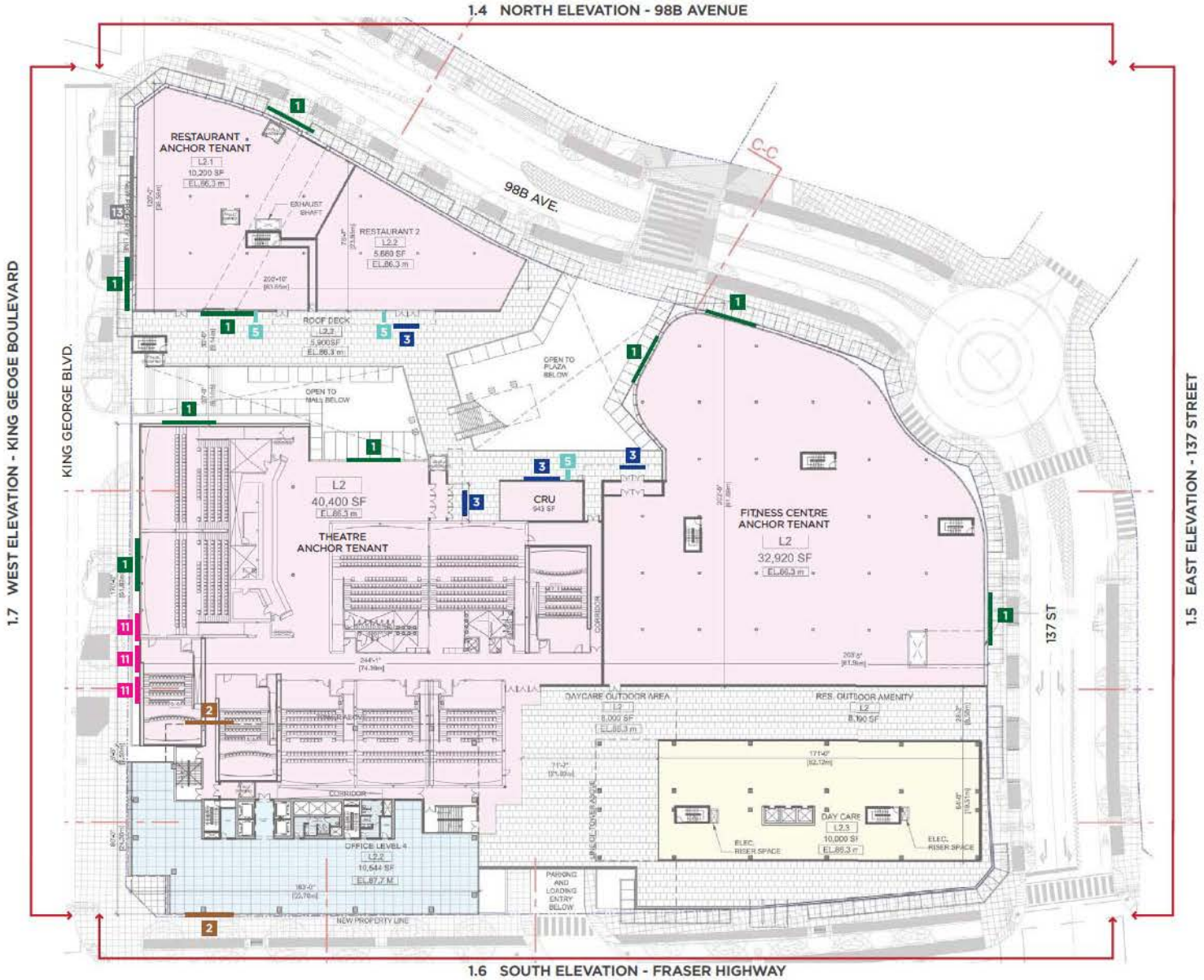
REVIEW BY: BM



Sign #	Key	Sign Type
1		Anchor Tenant Fascia Sign
2		Office Tower Fascia Sign (Skysign)
3		Tenant Canopy Sign
4		Tenant Projected Sign
5		Tenant Blade Sign
6		Building Entrance ID Sign
7		Parking "P" Projected Sign
8		Parking Entrance ID Sign
9		Projected Directory Sign
10		Pedestrian Directory/ Directional
11		Static Backlit Poster Display
12		Tenant Directory Pylon (DELETED)
13		Project Identification Sign
14		Banner Program (Temporary)

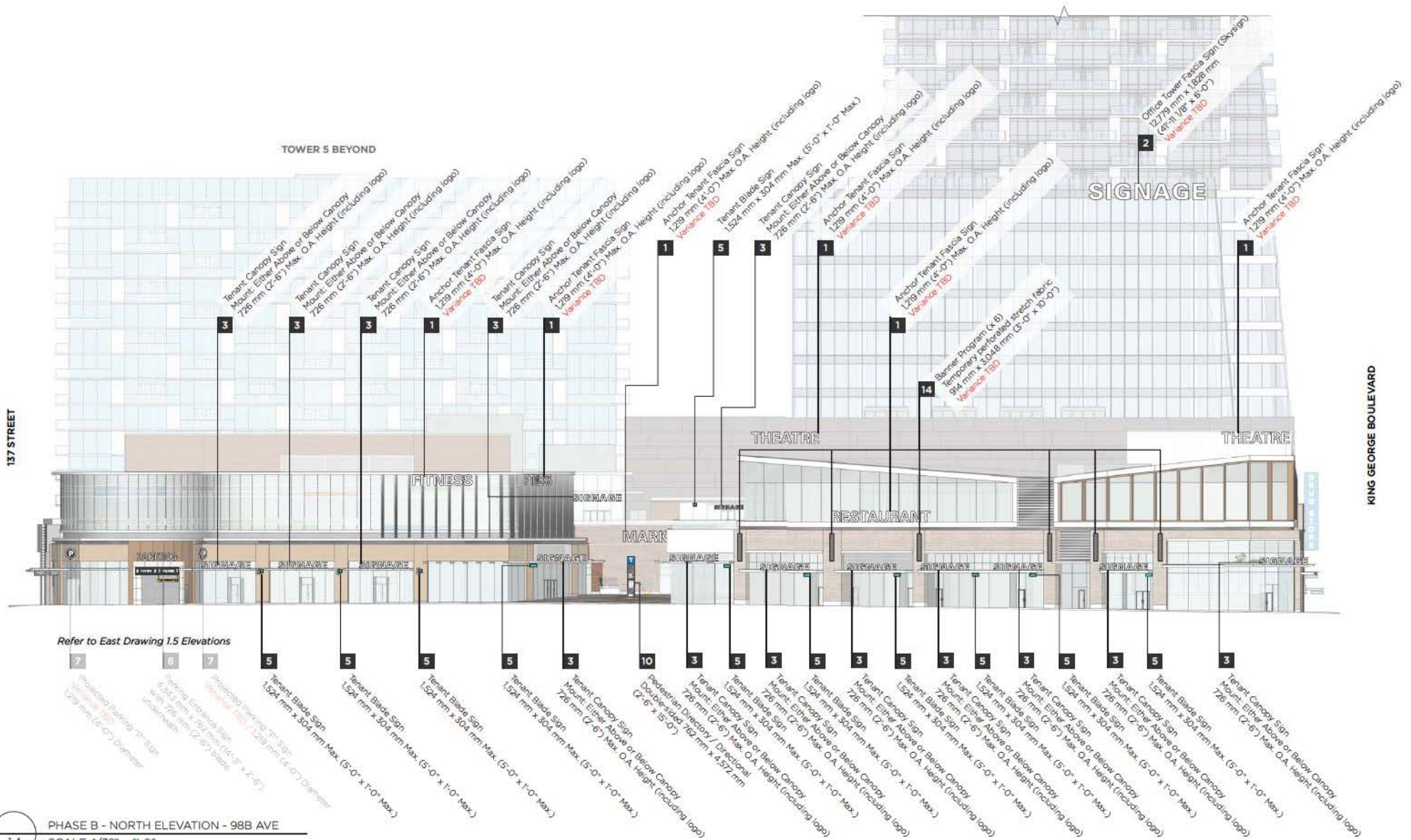
NOTE
As per Easement Agreement with the City of Surrey, some signage is proposed to be installed outside the new property line but within the demountable canopy line.

Sign Types 3, 4, 5, 7, 9, and 14 fall under this allowance.



1.3 PHASE B - SIGN PLAN - LEVEL 2
NTS





Refer to East Drawing 1.5 Elevations

1.4 PHASE B - NORTH ELEVATION - 98B AVE
 SCALE: 1/32" = 1'-0"

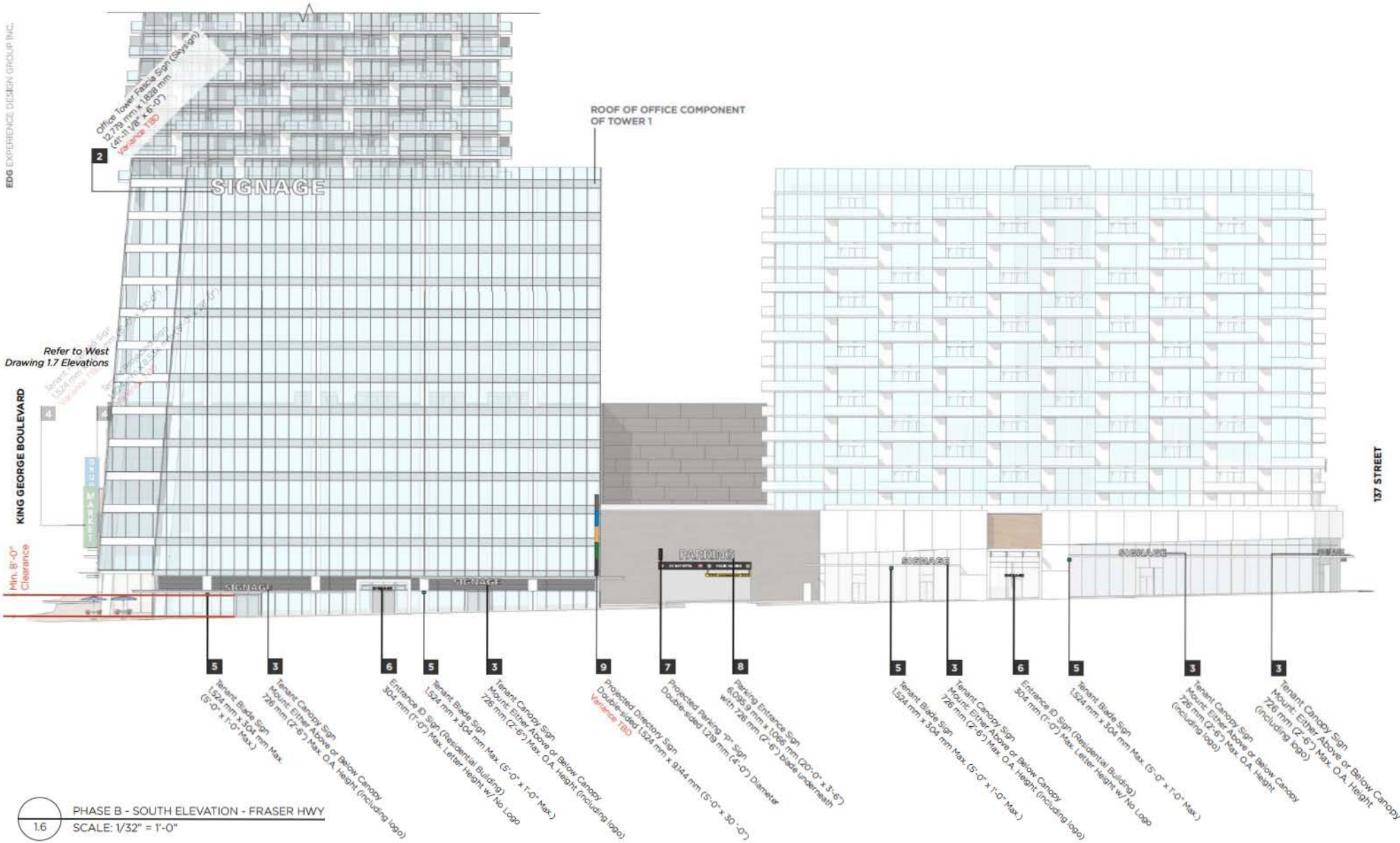


King George Station Phase B
 Comprehensive Sign Plan - DRAFT 3

CLIENT NAME: MCM Architects / PCI
 FILE NAME: 14021 KGS CSP 1.4 North Elevation.dwg

DATE: 2014-12-03
 PROJECT: 14021

DRAWN BY: KB
 REVIEW BY: BM



PHASE B - SOUTH ELEVATION - FRASER HWY
 SCALE: 1/32" = 1'-0"

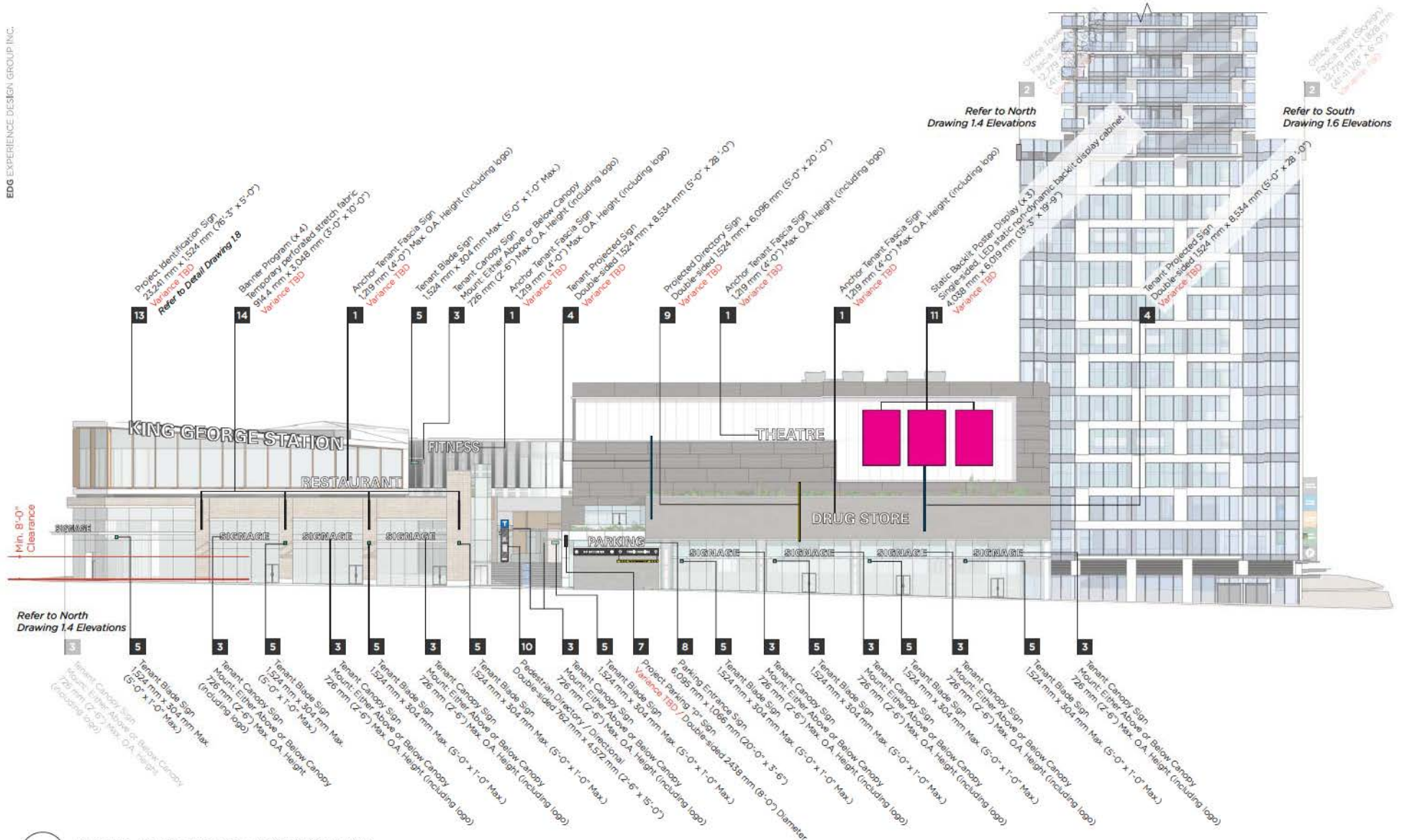


King George Station Phase B
 Comprehensive Sign Plan - DRAFT 3

CLIENT NAME: MCM Architects / PCI
 FILE NAME: 14021 KGS CSP 1.6 South Elevation.dwg

DATE: 2014-12-03
 PROJECT: 14021

DRAWN BY: KB
 REVIEW BY: BM



PHASE B - WEST ELEVATION - KING GEORGE BLVD.
 1.7 SCALE: 1/32" = 1'-0"



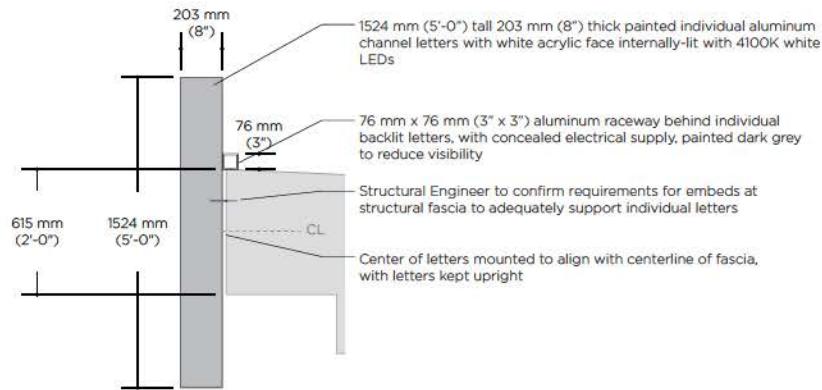
King George Station Phase B
 Comprehensive Sign Plan - DRAFT 3

CLIENT NAME: MCM Architects / PCI
 FILE NAME: 14021 KGS CSP 1.7 West Elevation.ai

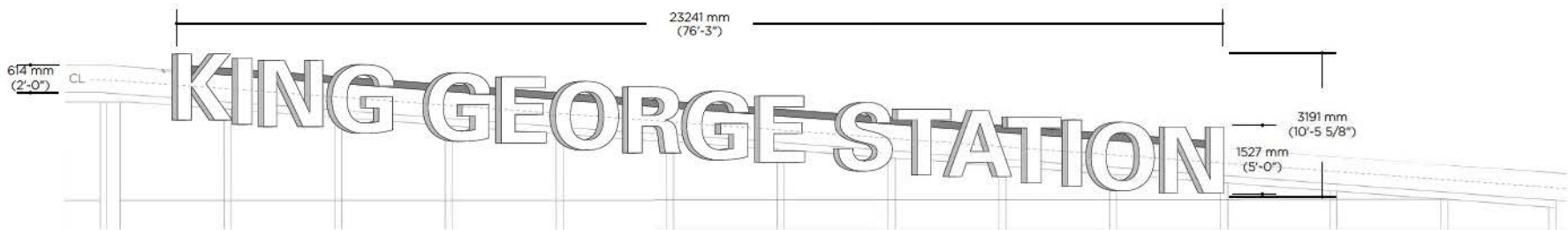
DATE: 2014-12-03
 PROJECT: 14021

DRAWN BY: KB
 REVIEW BY: BM

**SIGN TYPE 13: PROJECT IDENTIFICATION SIGN
STEPPED LETTERS**



A PHASE B - SIGN TYPE 13: PROJECT IDENTIFICATION SIGN - SECTION DETAIL
1.8 SCALE: 1/2" = 1'-0"



B PHASE B - SIGN TYPE 13: PROJECT IDENTIFICATION SIGN - WEST ELEVATION
1.8 SCALE: 1/8" = 1'-0"

COMMERCIAL TENANT EXTERIOR SIGN GUIDELINES

COMMERCIAL STOREFRONT DESIGN

The tenant's design solution should integrate the storefront signage, interior retail design and merchandising concepts into a complete statement consistent with the tenant's merchandise and market while furthering the sense of quality of the entire experience of the development.

COMMERCIAL STOREFRONT SIGNAGE

The tenant must retain the services of a professionally trained designer to create their brand identity program, sign program and environmental graphics.

There are at least three prominent locations in the development for tenant identity signage:

LOCATION 1: FASCIA SIGN

The first is on the appropriate street facing building fascia. If the tenant has a corner unit a secondary fascia sign may be allowed. In some cases tenants have an inside or "internal" private street or public plaza elevation allowing another fascia sign opportunity. Tenant fascia signs consist of individual dimensional letter forms mounted directly to the tenant fascia or an integral double metal raceway, which in turn is attached to the fascia. Signage is limited to the tenant trade name, brand identity and logo only. The maximum size of the signs are set out in the project CSP/ Comprehensive Sign Plan as approved by the City of Surrey. (REFER TO PAGE T-0.2 FOR DETAILS)

LOCATION 2: TENANT CANOPY SIGN BAND

The second is canopy signs suspended below the edge of (glazed) canopy above the public retail walkways, including those located on the public street, any "internal" private street or the public plaza. Tenant canopy signs consist of individual dimensional letter forms mounted directly below the edge of the canopy on an integral metal raceway, which in turn is attached to the edge of the canopy. Signage is limited to the tenant trade name, brand identity and logo only. The maximum size of the signs are set out in the project CSP/ Comprehensive Sign Plan as approved by the City of Surrey. (REFER TO PAGE T-0.3 FOR DETAILS.)

LOCATION 3: BLADE SIGN

The third is blade signs projected below the canopy and toward the public retail walkways, including those located on the public street, any "internal" private street or the public plaza. Tenant blade signs consist of low profile painted metal sign cabinet with push-through dimensional letters, mounted directly on building exterior wall with consist ant metal mounting frame through-out the development. Signage is limited to the tenant trade name, brand identity and logo only. The maximum size of the signs are set out in the project CSP/ Comprehensive Sign Plan as approved by the City of Surrey. (REFER TO PAGE T-0.4 FOR DETAILS)

TENANT IDENTITY

Identity signage is to be an integrated element of the tenant storefront. Tenants are to use their brand identity program (logo/logotype/colours, etc.) for maximum brand recognition and to create animation, individuality, and interest for the passerby and shopper.

LETTER FORMS FOR FASCIA & CANOPY MOUNTED SIGNS, MAY BE ONE OF THE FOLLOWING:

1. Reverse pan aluminum channel letters with halo LED illumination & integrated backing material. Letter faces and returns may be of painted, brushed or polished metal.
2. Pan channel letters with a translucent acrylic or polycarbonate face and internal LED illumination. The attachment of the plastic faces to the metal channel must be clean, flush, and secure. The plastic face must have a matte finish to avoid reflections.
3. Dimensional opaque letters of metal, acrylic, cast plaster or resin, or other appropriate exterior grade material with discreet surface illumination, mounted onto an integral raceway support.
4. Edge-lit glass or acrylic panel with letters deep carved or etched into the panel surface, yielding a glowing letter edge form.

FABRICATION & INSTALLATION

All wiring must take place within an approved raceway, integral with the sign or be completely concealed behind the tenant's fascia with access from within the tenant's space.

No exposed wiring or conduit will be permitted on any signage. All conduit tubing, conductors, transformers and other equipment must be concealed within the building or within an approved raceway. Electrical service to all Tenant's signs shall be from the tenant's electrical panel.

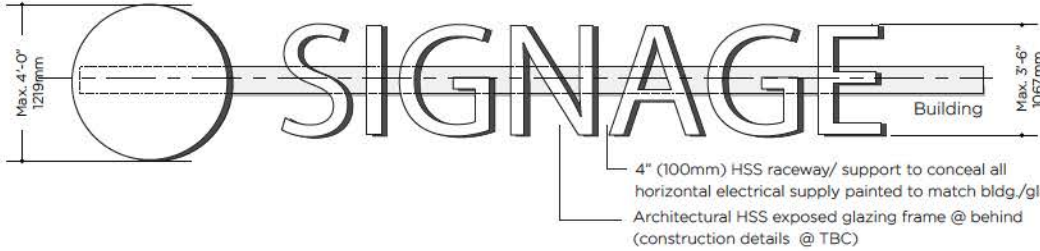
No window signs or front of glass mounted storefront advertising will be allowed that is visible from the public plaza and surrounding streets without express approval from the owner/architect. All windows to be generally kept clear according to the premises of the City By-law.

NOTE SIGN APPROVALS & PERMITS:

ALL SIGNS REQUIRE CITY OF SURREY APPROVAL AND NECESSARY PERMITS PRIOR TO INSTALLATION. Refer to current City Sign By-law and website for detailed requirements.

T-0.2 ANCHOR TENANT FASCIA SIGNS

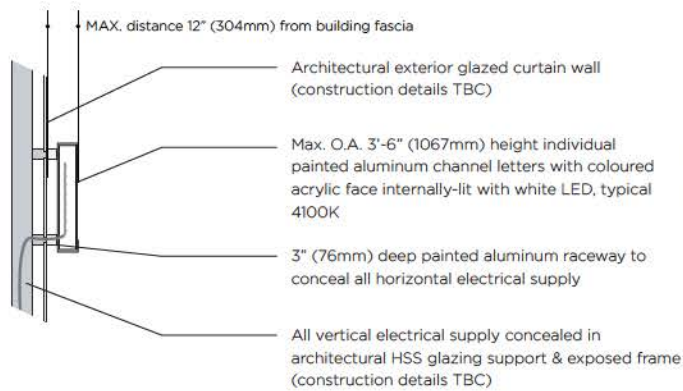
Tenant Fascia Sign Band
Individual internally lit letters / logo mounted on integral raceway to be attached to building mullions, 4'-0" Max. (1219mm) overall height with 3'-6" (1067mm) Max. letter height



All fascia signs to be mounted centred on same datum height on each building elevation

4" (100mm) HSS raceway/ support to conceal all horizontal electrical supply painted to match bldg./glazing framework
Architectural HSS exposed glazing frame @ behind (construction details @ TBC)

A
ANCHOR TENANT FASCIA SIGN - TYPICAL SECTION
SCALE: 1/4" = 1'-0"



C
ANCHOR TENANT FASCIA SIGN - MOUNTING DETAILS
SCALE: 1/4" = 1'-0"

SIGN TYPE 1 : Anchor Tenant Fascia Sign
Individual internally lit letters and Logo mounted on double raceway, attached to building mullions.
(Single Line) 4'-0" (1219mm) Max. O.A. height with 3'-6" (1067mm) Max. Letter Height
(Stacked) 14'-0" (4267mm) Max. O.A. height with 3'-6" (1067mm) Max. Letter Height
Max. 3 lines.



D
ANCHOR TENANT FASCIA SIGN - ELEVATION
SCALE: 3/8" = 1'-0"

Tenant Fascia Sign Band
Individual internally lit letters / logo mounted on integral raceway to be attached to building mullions, 8'-0" (2438mm) Max. O.A. height with 3'-6" (1067mm) Max. Letter Height, Max. 3 lines.



B
TENANT FASCIA SIGN - STACKED ELEVATION
SCALE: 1/4" = 1'-0"

EXAMPLES OF ACCEPTABLE FASCIA SIGNS



Sign positioning integrated with building

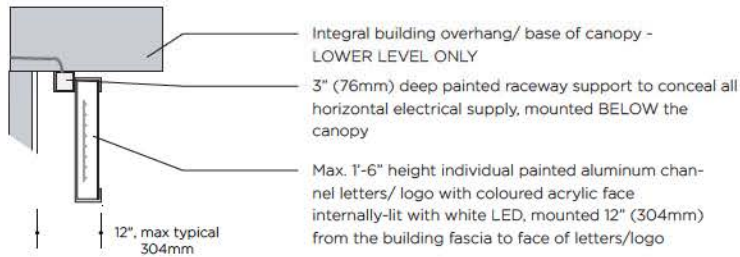
EXAMPLES OF UNACCEPTABLE FASCIA SIGN



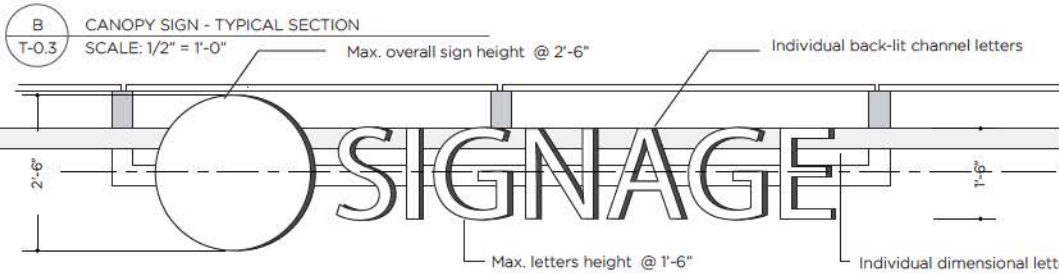
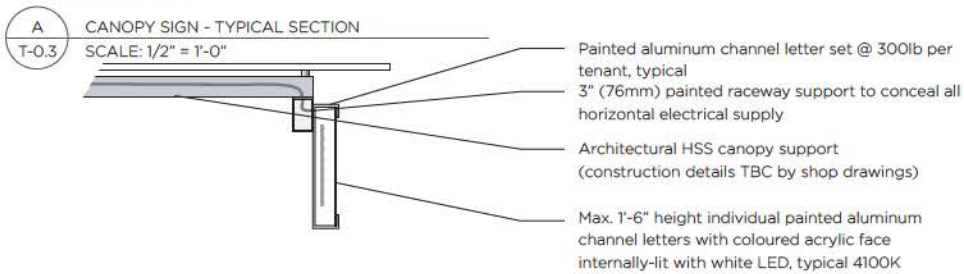
Large backlit plastic faced box signs.

T-0.3 - TENANT CANOPY SIGN

Individual internally lit letters / logo mounted on integral raceway suspended from edge below canopy structure, 2'-6" (762mm) Max. overall height (including logo) with 1'-6" (457mm) Max. letter height



TENANT CANOPY SIGN - TYPICAL SECTION (BULKHEAD MOUNT)
SCALE: 1/2" = 1'-0"



C TENANT CANOPY SIGN - TYPICAL UNDER CANOPY SECTION INSTALLATION
T-0.3 SCALE: 1/2" = 1'-0"

EXAMPLE OF ACCEPTABLE CANOPY SIGN

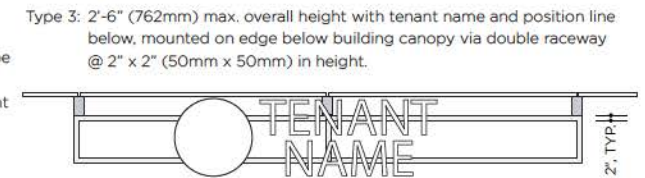
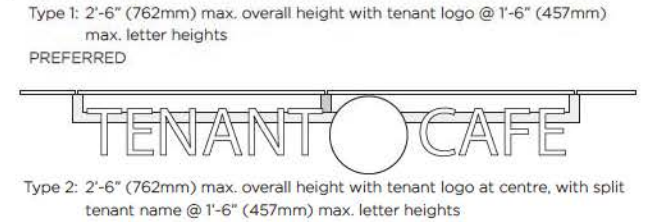
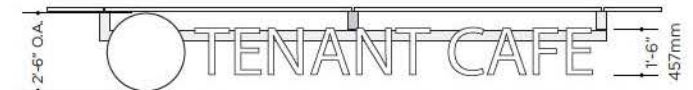


Sign position below, integrated with canopy

EXAMPLE OF UNACCEPTABLE CANOPY SIGN



Letters mounted above canopy



D POSSIBLE TENANT CANOPY SIGN LAYOUT CONFIGURATIONS
T-0.3 SCALE: 1/2" = 1'-0"

All canopy signs to be mounted centred on same datum height on each building elevation

T-0.4 TENANT BLADE SIGN
EXAMPLES OF ACCEPTABLE TENANT BLADE SIGNS



Internally illuminated push-through blade sign. Slim architectural detail with integrated electrical



Sign cabinet with integral bracket and concealed electrical supply to building

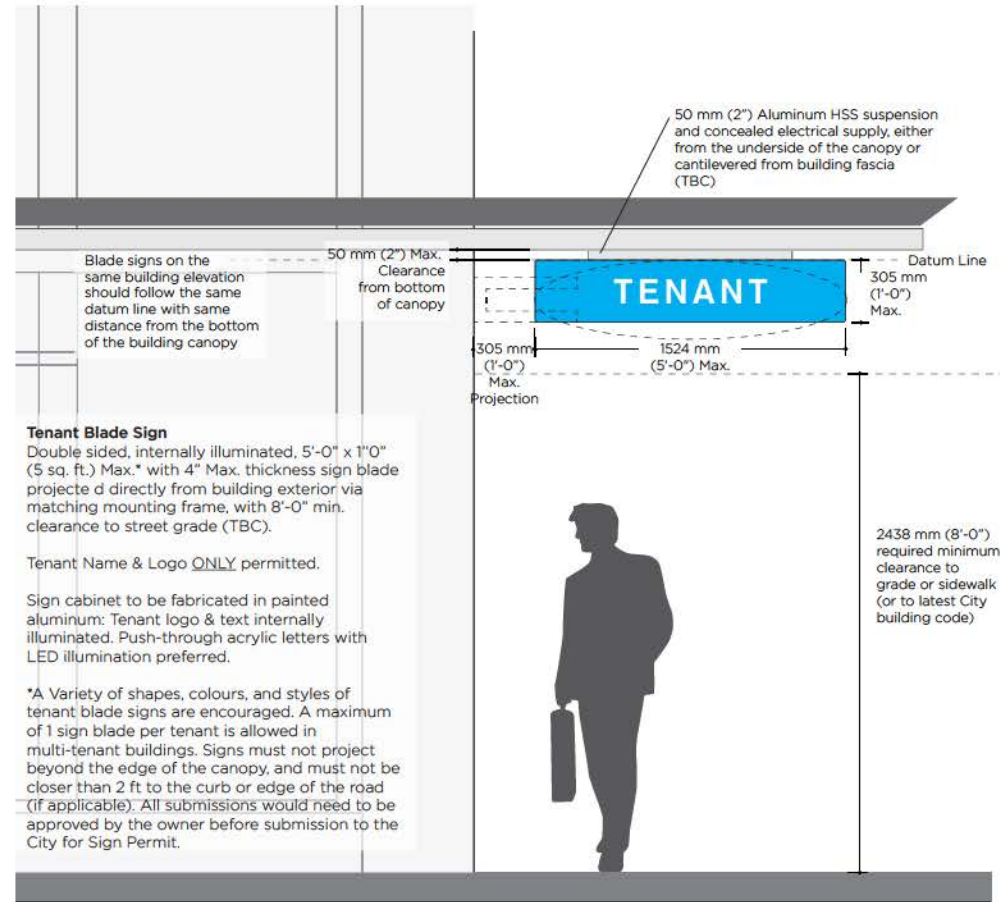
EXAMPLES OF UNACCEPTABLE TENANT BLADE SIGNS



Unacceptable: Internally illuminated plastic face, back-lit "box" sign too thick and exposed electrical conduit to supply building.



Unacceptable: externally illuminated sign face. Exposed suspension wire/ cables from canopy and poor example of exposed lighting.



TENANT SIGN GUIDELINES - BLADE SIGNS
 T-0.4 SCALE: 1/2" = 1'-0"

King George Station - Phase B

Landscape Drawing - DP Submission



van der Zalm + associates inc.
 Parks & Recreation • Environmental Consulting
 Urban Design • Landscape Architecture
 Suite 1, 20177 57th Avenue | P: 604 882 0000
 Langley, British Columbia | F: 604 882 0002
 V3V 4S6 | info@vzai.com | www.vzai.com

Contact Information	Other Key Contacts:				
van der Zalm + associates inc. Construction Landscape Architect Suite 1 - 20177 57th Avenue Langley, British Columbia, V T. 604 882 0004 F. 604 882 0042 Primary project contact: Mark Syman msyman@vzai.ca o. 604 882 0024 x32 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vzai.ca o. 604 882 0024 x22 Ryan Crago Senior Project Manager o. 604 882 0024 x30	PCI Developments Corp. Owner 1700 - 1030 West Georgia Street Vancouver, BC V6E 2Y3 T. 604 684 1151 F. 604 688 2328	Musson Cattell Mackey Partnership Project Building Architecture 1600 - Two Bentall Centre 555 Burrard Street, Box 254 Vancouver, BC V7X 1A9 T. 604 687 2990	Hub Engineering Civil Engineering Suite 101 - 7485 130 St Surrey BC V3W 1H8	Nemetz Project Electrical Engineering 2009 West 4th Avenue Vancouver BC V6J 1H3	Geopacific Consultants Ltd Project Geotechnical Engineering Suite 215-1200 73rd Ave W Vancouver BC V6P 6D5
	Integral Mechanical Engineering 180-200 Granville Street Vancouver BC V6C 1S4 T. 604 687 1800	Gloman Simpson Structural Engineering 1651 West 5th Avenue Vancouver BC V6J 1N5	Legal Address and Description: Lot 1, Section 35, Block 5 North, Range 2 West New Westminster District Plan_EPP EPP32791		

Sheet List Table	
Sheet Number	Sheet Title
L-00	COVER PAGE
LDP-1.00	TREE MANAGEMENT PLAN
L-01	NOTES
L-02	LANDSCAPE MASTER PLAN
L-03	GROUND FLOOR
L-04	ROOF LEVEL
L-05A	OFF SITE PLANTING PLAN
L-05B	ROOF PLANTING PLAN
L-06	SECTIONS
LD-01	HARDSCAPE DETAILS
LD-02	GREEN ROOF DETAILS
LD-03	MECHANICAL EQUIP. SCREEN DETAILS
LD-04	SITE FURNISHINGS
LD-05	LIGHTING



DP SUBMISSION

Site Plan Overview - 1:500



07-30-2014 ISSUED FOR DP



REVISIONS
**MUSSON
 CATTELL
 MACKAY
 PARTNERSHIP**
 ARCHITECTS DESIGNERS PLANNERS

1600 - TWO BENTALL CENTRE
 555 BURRARD STREET BOX 254 VANCOUVER BC
 CANADA V7X 1A9
 T: 604 687 2990 F: 604 687 1771
 mm@mcpartnership.com
 www.mcpartnership.com

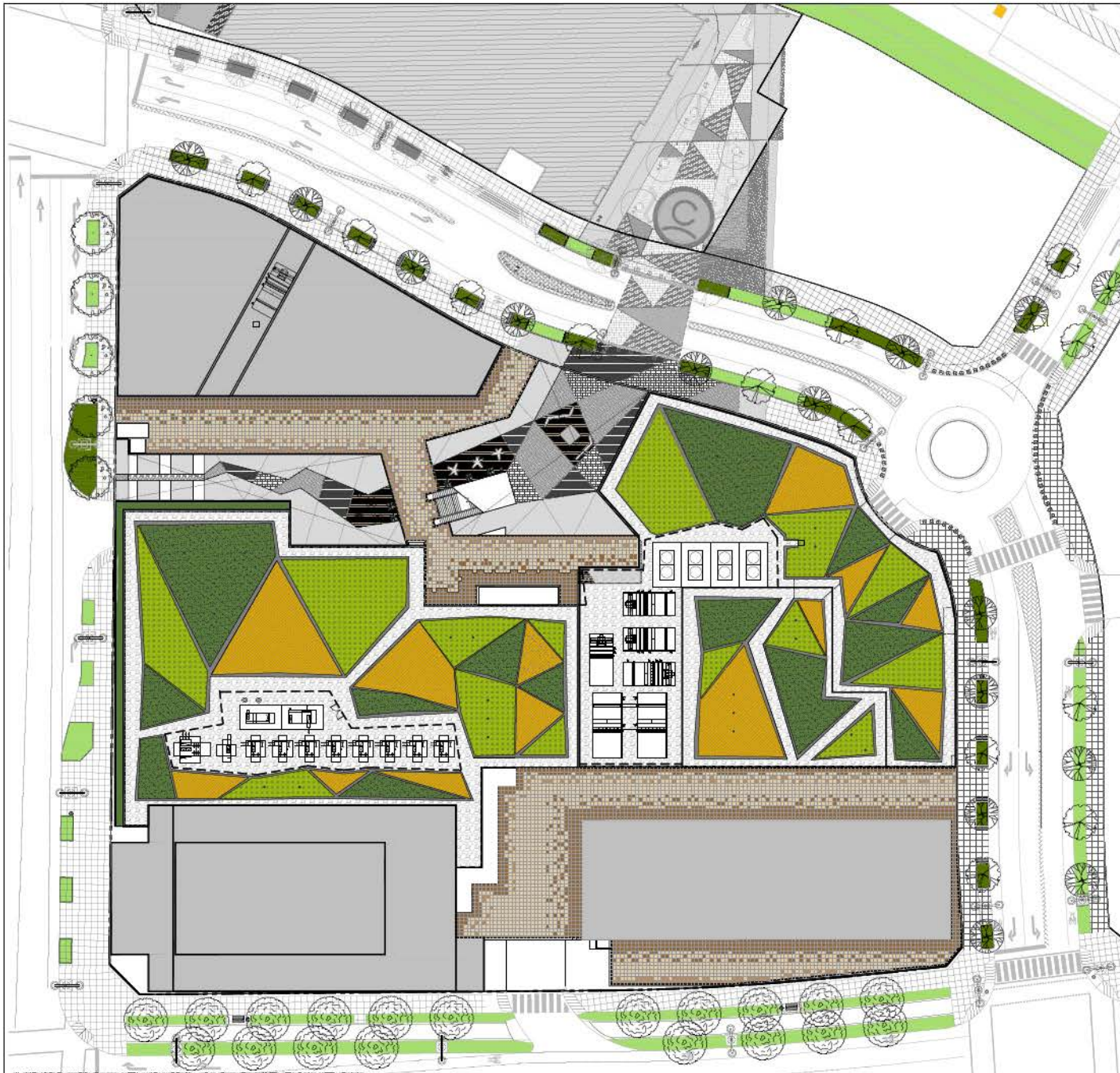
KING GEORGE STATION PHASE B

9900 KING GEORGE BLVD
 SURREY, BC

COVER PAGE

SCALE: AS NOTED
 DATE:
 DRAWN: MWIMS CHECKED: MVDZ
 REVISION:
 PROJECT: DP2013-19
 SHEET: L-00

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ROOF & LEVEL 2 LANDSCAPE LEGEND

QTY	KEY	DESCRIPTION
926 m ²		24" x 24" ROOF DECK PAVERS (LEVEL 2) Terrazo (Tan), Sandstone (Oyster Shell) & Saloma (Brown) Hybrid/Pressed Slabs from Absolute Concrete, random 'pixel' pattern. See Plan 1, LD-02. Refer to Arch Roof Assembly Typical.
See plant schedule		PLANTING BEDS: See SHT L-05. Refer to Arch Roof & Slab Assembly Typical.
1905 m ²		GRAVEL PATH: 10-15mm Chalkcol Pebbles from NW Landscape Supply, 6" depth. Refer to Arch Roof Assembly Typical.
212 m		EQUIPMENT SCREEN: See Plan 1, LD-02. Refer to Arch Roof Assembly Typical.

GROUND LEVEL LANDSCAPE LEGEND

QTY	KEY	DESCRIPTION
1080 m ²		DECORATIVE CONCRETE ENCLOSURE: See SHT LD-01. Refer to Arch Floor Assembly Typical.
175 m ²		DECORATIVE CONCRETE ENCLOSURE: See SHT LD-01. Refer to Arch Floor Assembly Typical.
178 m ²		PLAZA DECKING: See SHT LD-01. Refer to Arch Floor Assembly Typical.
See plant schedule		PLANTING BEDS: See SHT L-05.
600 m ²		SOD: Refer to specification notes for requirements.
2083 m ²		PUBLIC REALM PAVING (OFF SITE): Refer to Surrey City Centre Design Standards: SCCD-13a & SCCD-13c. Refer to Arch Floor Assembly Typical.
See Plan 2, see Right 1, see Plan 3, see		PLAZA SEATING: Mitered & Flat from Landscapeform; White cast stone, freestanding. See SHT LD-05.
2, each		PLAZA TRASH BIN: See SHT LD-05.
5, each		DECORATIVE PLANT POTS: Custom design. See SHT LD-05.
16, each		CITY R.O.W. BENCH: 8' Barite Bench from Whitbone L&L; Black recycled plastic slatting, City of Surrey. Black powder coat, surface mount. See SHT LD-04.
6, each		GREENWAY TRASH BIN: See Detail 2, Sheet LD-06.
23, each		CONCRETE SEAT / BOLLARD: 22" Angled Cube from Landscapeform; Concrete or approved equal; Medium sandblast finish, embedded. See SHT LD-01.

- NOTES:**
- ALL SITE FURNISHINGS SHALL BE SPECIFIED TO THE APPROVAL OF THE CITY OF SURREY.
 - ALL LANDSCAPING AND LANDSCAPE MATERIALS MUST CONFORM TO THE LATEST EDITION OF THE BRITISH COLUMBIA LANDSCAPE STANDARD.
 - PLANS & SPECIFICATIONS ARE INTENDED TO BE READ IN COORDINATION WITH ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ET AL.
 - ALL QUANTITIES TO BE USED AS GUIDELINE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.



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07-30-2014 ISSUED FOR DP



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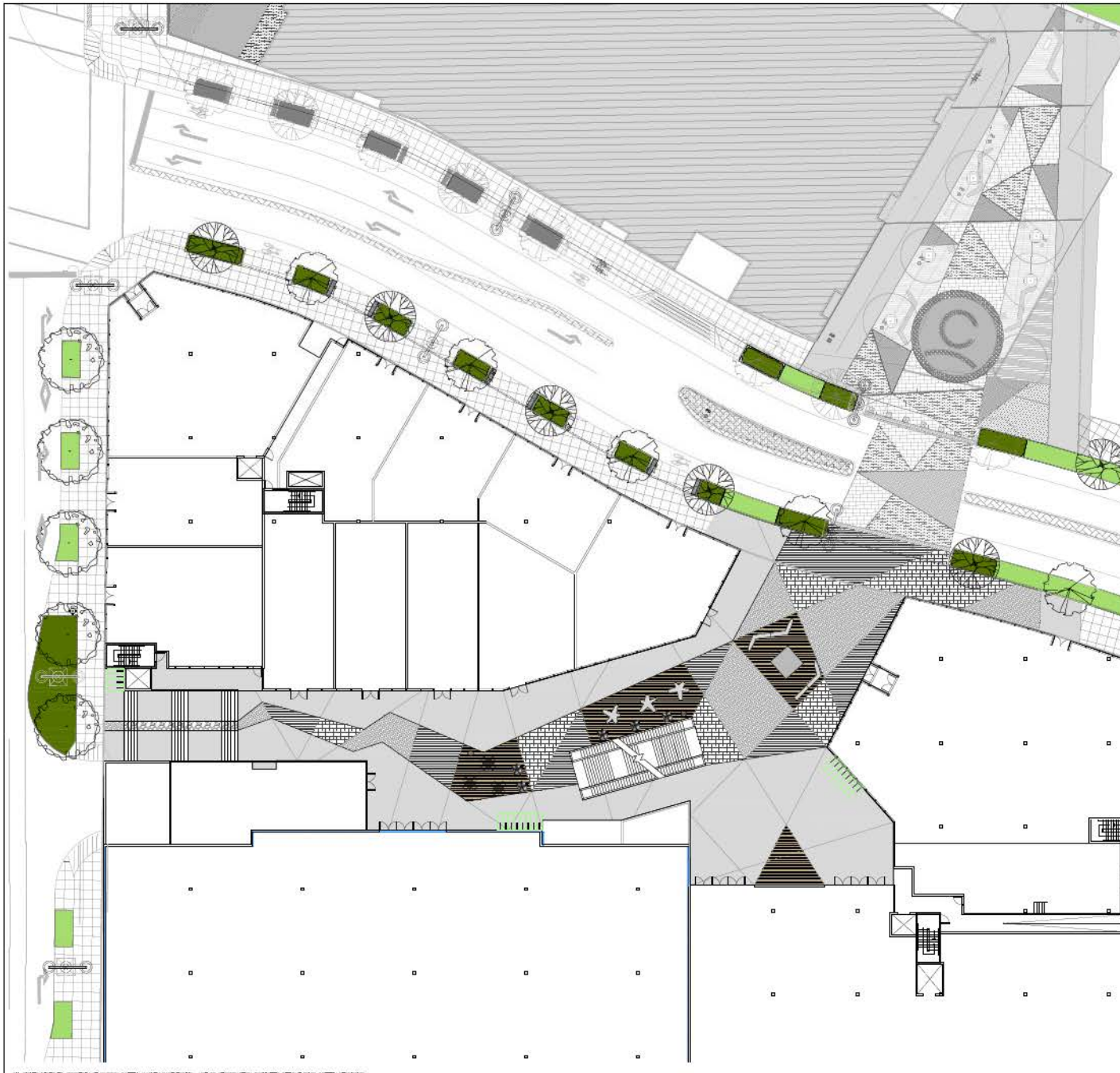
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**KING GEORGE
STATION PHASE B**

5900 KING GEORGE BLVD
SURREY, BC

**LANDSCAPE
MASTER PLAN**

SCALE: 1:300
DATE:
DRAWN: MWMS CHECKED: MVDZ
REVISION:
PROJECT: DP2013-19
SHEET: L-02



GROUND LEVEL LANDSCAPE LEGEND

QTY	KEY	DESCRIPTION
1080 m ²		DECORATIVE CONCRETE (UNCOLOURED) See SHT LD-01. Refer to Arch Floor Assembly Typical.
175 m ²		DECORATIVE CONCRETE (COLOURED) See SHT LD-01. Refer to Arch Floor Assembly Typical.
178 m ²		PLAZA DECKING See SHT LD-01. Refer to Arch Floor Assembly Typical.
See plant schedule		PLANTING BEDS See SHT L-05.
600 m ²		SOD Refer to specification notes for requirements.
2083 m ²		PUBLIC REALM PAVING (OFF SITE) Refer to Surrey City Centre Design Standards SCCD-13a & SCCD-13c. Refer to Arch Floor Assembly Typical.
L&F: 2, see Right: 1, see Straight: 1, see Flor: 3, see		PLAZA SEATING Milano & Flor from Landscapeforms. White cast stone, freestanding. See SHT LD-05.
2, each		PLAZA TRASH BIN. See SHT LD-06.
5, each		DECORATIVE PLANT POTS Custom design. See SHT LD-06.
10, each		CITY R.O.W. BENCH If Burke Bench from Wahbone Ltd. Black recycled plastic lumber, City of Surrey Black powder coat, surface mount. See SHT LD-04.
6, each		GREENWAY TRASH BIN. See Detail 2, Sheet LD-06.
23, each		CONCRETE SEAT / BOLLARD. 22" Angular Cube from Sanderson Concrete or approved equal. Medium sandblast finish, embedded. See SHT LD-01.

- NOTES:
1. ALL SITE FURNISHINGS SHALL BE SPECIFIED TO THE APPROVAL OF THE CITY OF SURREY.
 2. ALL LANDSCAPING AND LANDSCAPE MATERIALS MUST CONFORM TO THE LATEST EDITION OF THE BRITISH COLUMBIA LANDSCAPE STANDARD.
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**KING GEORGE
 STATION PHASE B**

9900 KING GEORGE BLVD
 SURREY, BC

GROUND FLOOR

SCALE: 1:200
 DATE:
 DRAWN: MWMS CHECKED: MVDZ
 REVISION:
 PROJECT: DP2013-19
 SHEET: **L-03**



ROOF & LEVEL 2 LANDSCAPE LEGEND		
QTY	KEY	DESCRIPTION
926 m ²		24" x 24" ROOF DECK PAVERS (LEVEL 2) Tasado (Tan), Sandstone (Desert Sand), & Saturna (Brown) Hydro-Pressed Stone from Absolute Concrete, random 'spot' pattern. See Plan 1, LD-02. Refer to Arch Roof Assembly Typical.
See plant schedule		PLANTING BEDS See SHT L-05. Refer to Arch Roof & Slab Assembly Typical.
1805 m ²		GRAVEL PATH: 10-15mm Charcoal Pebbles from NW Landscape Supply @ 1/4" depth. Refer to Arch Roof Assembly Typical.
212 m		EQUIPMENT SCREEN See Plan 1, LD-02. Refer to Arch Roof Assembly Typical.



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**KING GEORGE
 STATION PHASE B**

9900 KING GEORGE BLVD
 SURREY, BC

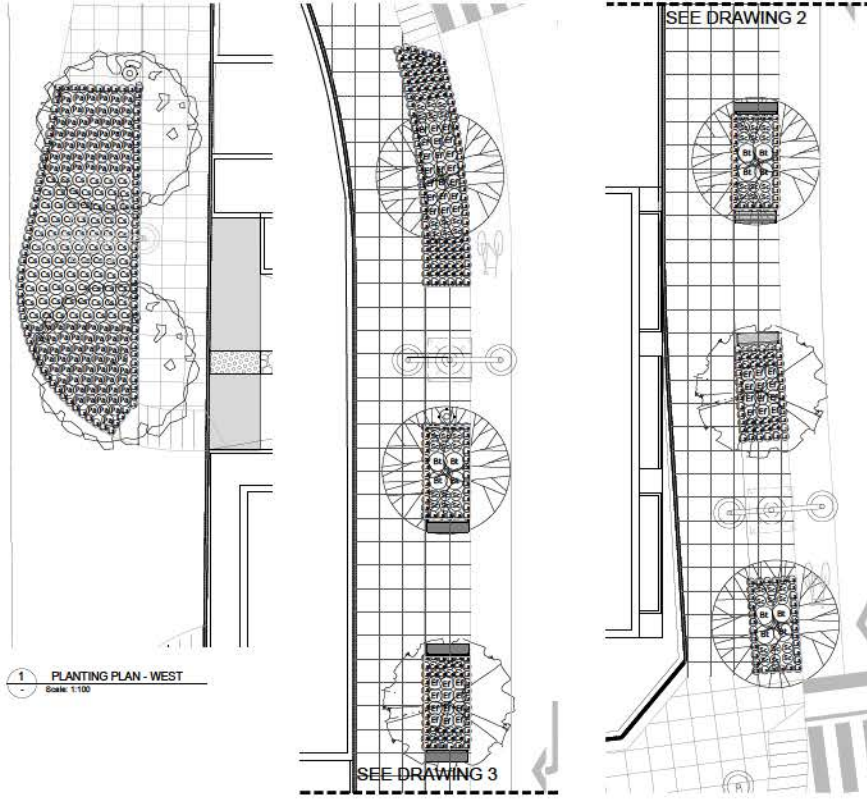
ROOF LEVEL

SCALE: 1:250
 DATE:
 DRAWN: MWMS CHECKED: MVDZ
 REVISION:
 PROJECT: DP2013-19
 SHEET: L-04

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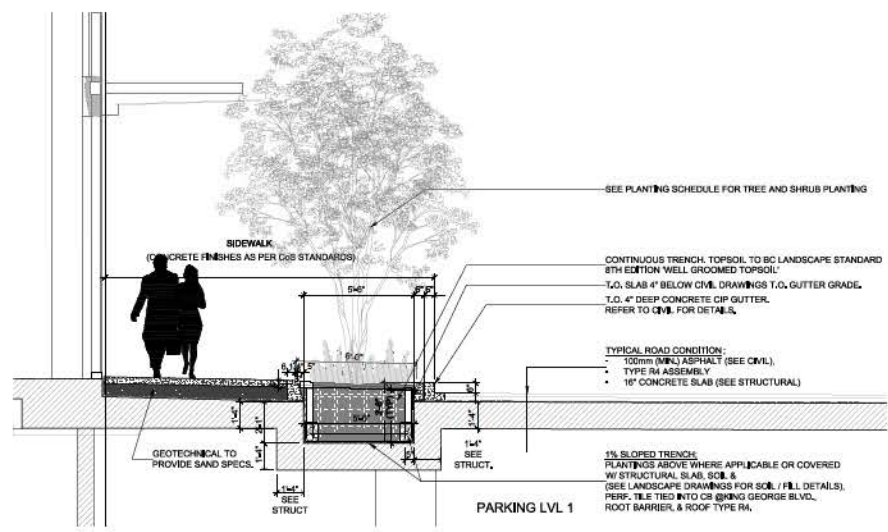
DP SUBMISSION



1 PLANTING PLAN - WEST
Scale: 1:100

2 PLANTING PLAN - EAST
Scale: 1:100

3 PLANTING PLAN - EAST
Scale: 1:100



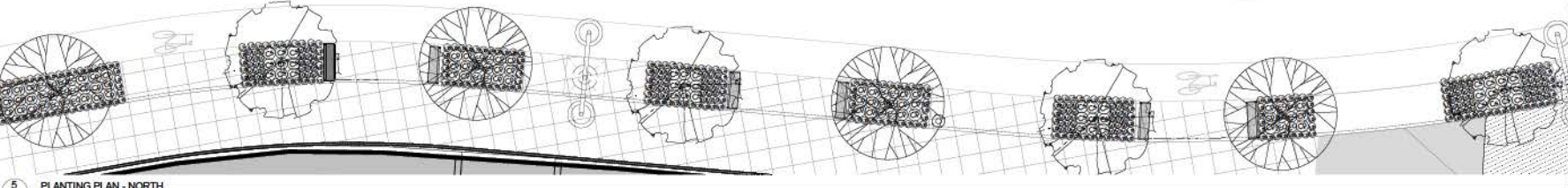
4 TREE PIT DETAIL
Scale: NTS

Bt SHRUBS SCHEDULE

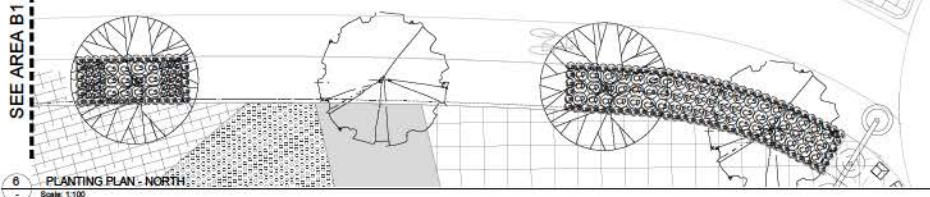
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
Bt	Berberis thunbergii 'Royal Burgundy'	Royal Burgundy Japanese Berberry	12	#2 Pot	800mm O.C.
Cs	Cornus sericea 'Yakely'	Yakely's Dwarf Red-Osier Dogwood	144	#3 Pot	800mm O.C.
Ef	Eucalyptus fulgens 'Emerald n' Gold'	Emerald Gold Eucalyptus	45	#2 Pot	800mm O.C.

CP PERENNIAL & GRASS SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
Ca	Carex elata 'Aurea'	Bowler's golden sedge	75	#2 Pot	500mm O.C.
Cp	Ceanothus l. pallidus 'Mistral'	Marie Bleue™ New Jersey Tea	75	#3 Pot	800mm O.C.
Ec	Euphorbia characias 'Wulfenii'	Euphorbia	48	#3 Pot	600mm O.C.
Ic	Imperata cylindrica 'Rubra'	Red Blood Grass	150	#2 Pot	300mm O.C.
Ls	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	65	#2 Pot	350mm O.C.
Sc	Scirpochyrium scoparium 'The Blues'	Blue Little Bluestem	45	#2 Pot	450mm O.C.
Pa	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	107	#2 Pot	500mm O.C.



5 PLANTING PLAN - NORTH
Scale: 1:100



6 PLANTING PLAN - NORTH
Scale: 1:100

SEE AREA B2

SEE AREA B1

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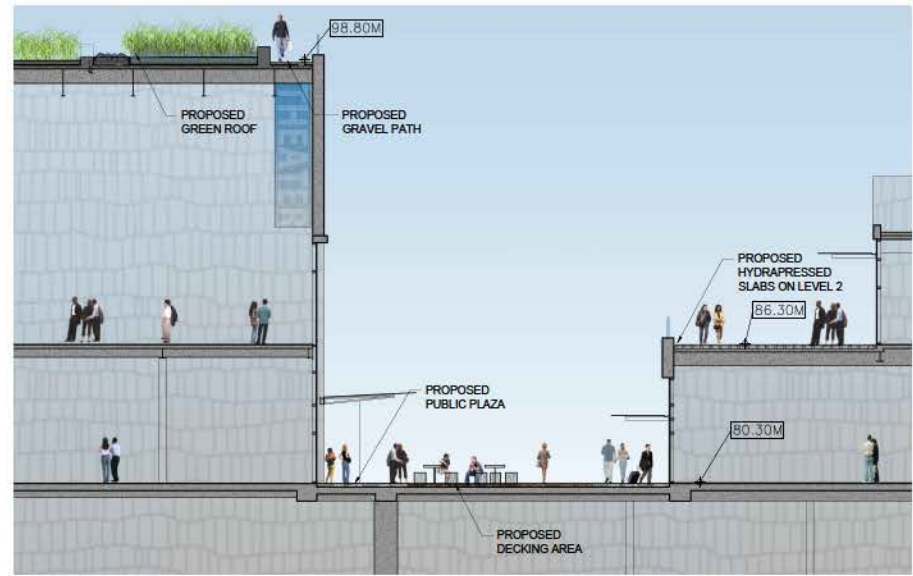
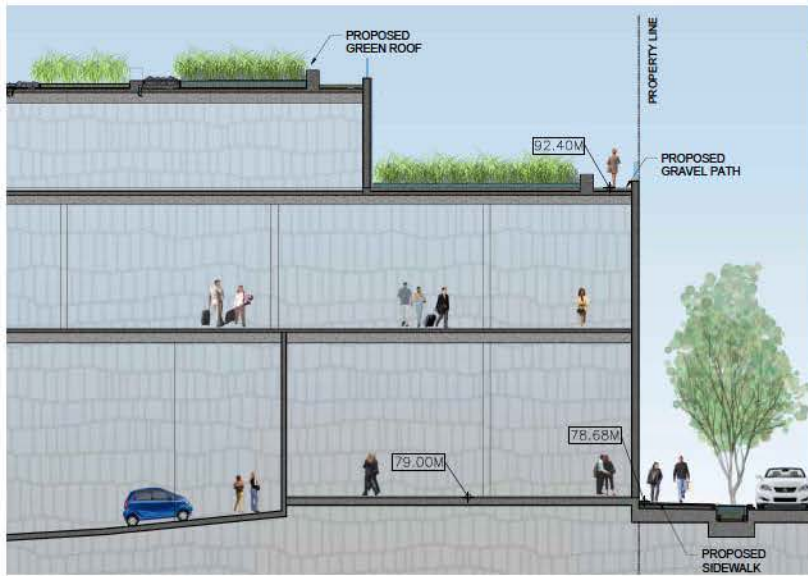
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KING GEORGE STATION PHASE B

9900 KING GEORGE BLVD
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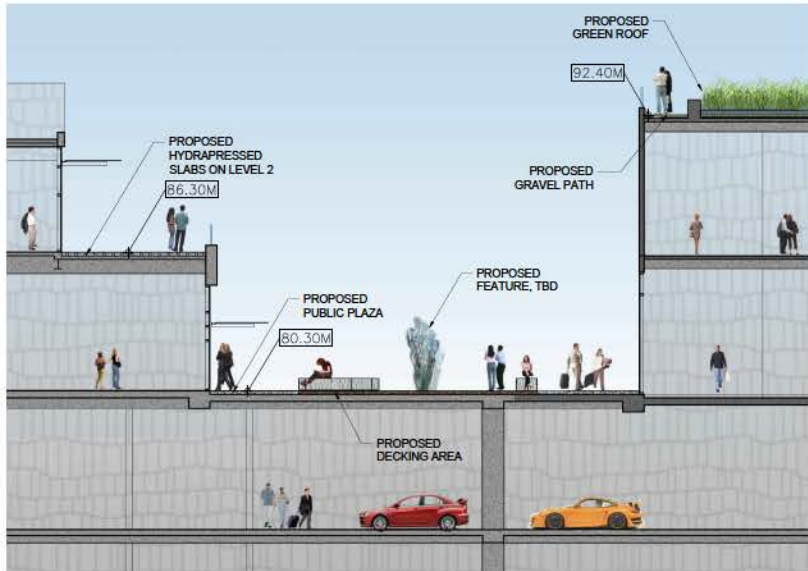
OFF SITE PLANTING PLAN

SCALE: 1:100
 DATE:
 DRAWN: MWMS CHECKED: MVDZ
 REVISION:
 PROJECT: DP2013-19
 SHEET: L-05A



1 SECTION THROUGH 137TH AVE SIDEWALK
Scale: 1:100

2 SECTION THROUGH PUBLIC PLAZA
Scale: 1:100



3 SECTION THROUGH WATER FEATURE
Scale: 1:100



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**KING GEORGE
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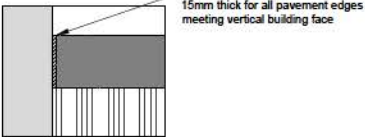
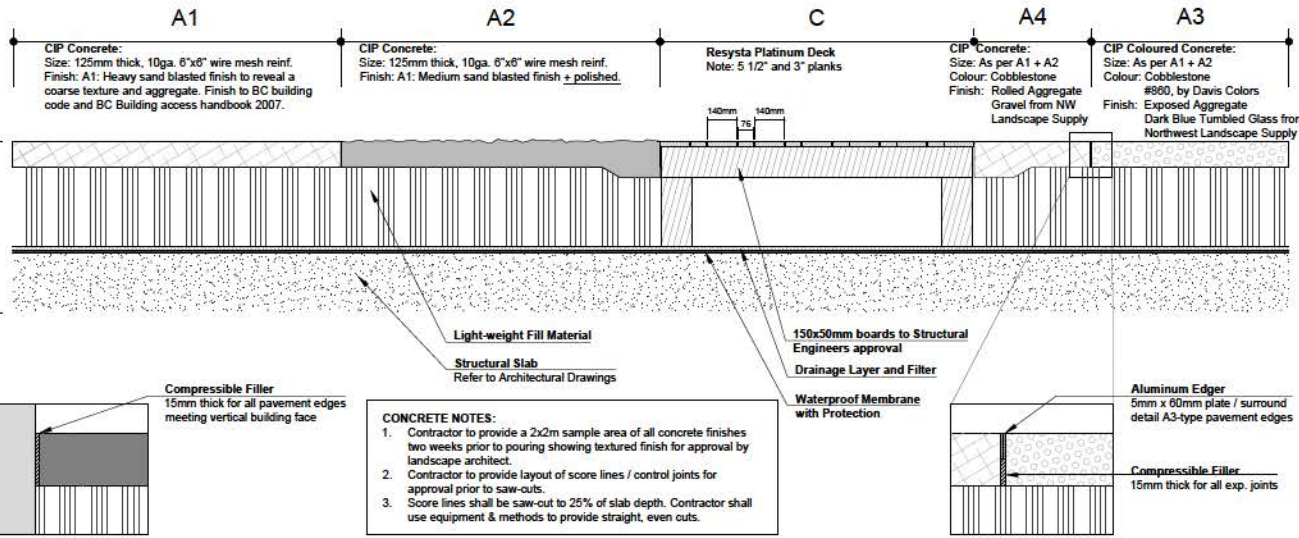
SECTIONS

SCALE: 1:200
 DATE:
 DRAWN: MWIMS CHECKED: MVDZ
 REVISION:
 PROJECT: DP2013-19
 SHEET: L-06

PLAN VIEW



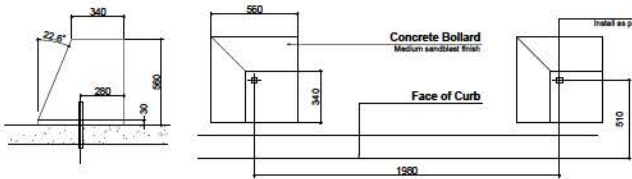
SECTION - ON SLAB



CONCRETE NOTES:

- Contractor to provide a 2x2m sample area of all concrete finishes two weeks prior to pouring showing textured finish for approval by landscape architect.
- Contractor to provide layout of score lines / control joints for approval prior to saw-cuts.
- Score lines shall be saw-cut to 25% of slab depth. Contractor shall use equipment & methods to provide straight, even cuts.

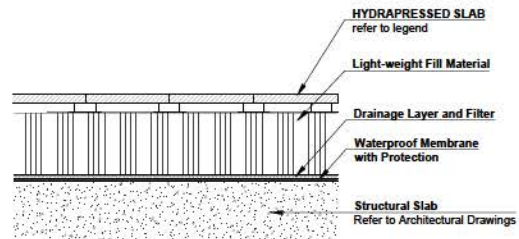
1 HARDSCAPE DETAILS
Scale: NTS



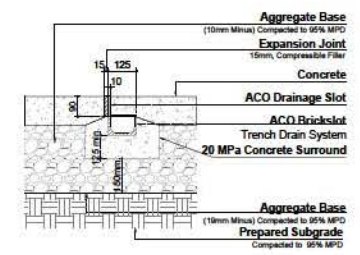
NOTES:

- Install bollards so angled surfaces are facing away from adjacent lane of on-coming traffic.
- Contractor to supply shop drawings for approval.

4 CONCRETE WARNING BOLLARD DETAIL
Scale: NTS



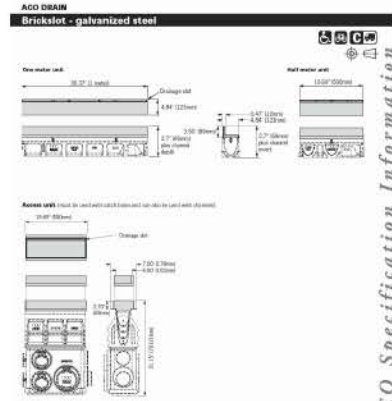
5 LEVEL 2 HYDRAPRESSED SLAB DETAIL
Scale: NTS



NOTES:

- Contractor to submit shop drawings for ACO drain locations, connections, and cleanouts for Landscape Architect & Mechanical Engineers approval prior to continuing.
- Install system as per manufacturer instructions and recommendations.
- Locate crack control joints in concrete surround at every trench drain joint.

2 SLOT DRAIN DETAIL
Scale: NTS



3 SLOT DRAIN SPEC SHEET
Scale: NTS

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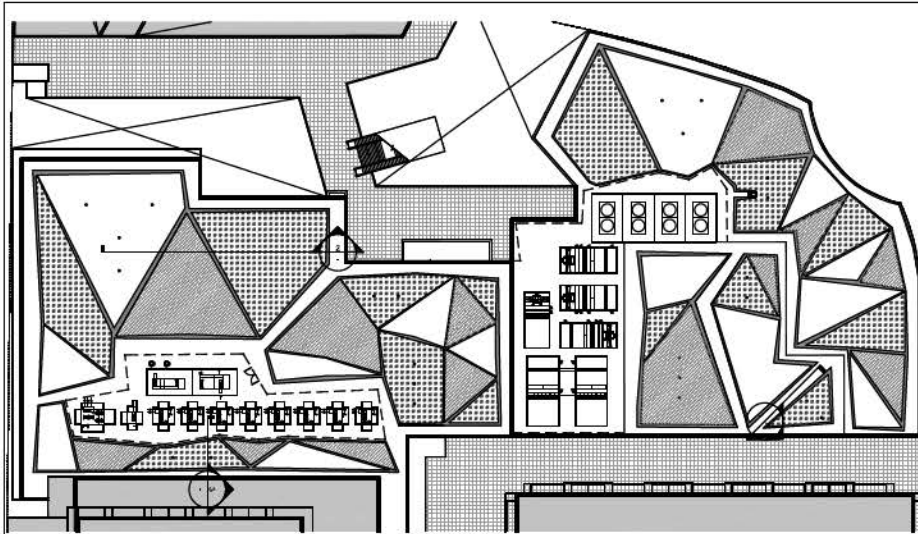
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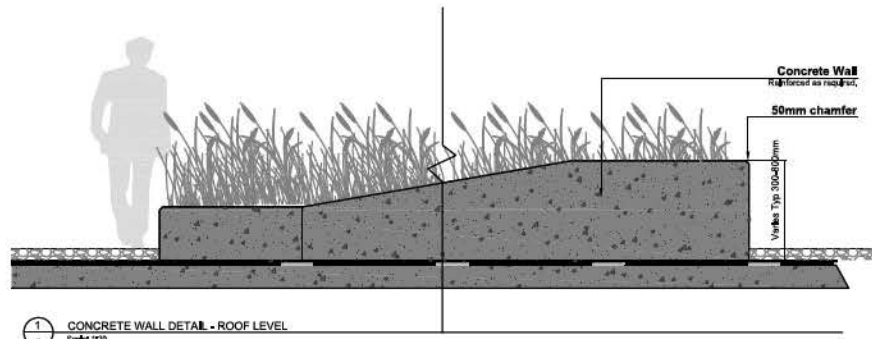
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HARDSCAPE
DETAILS

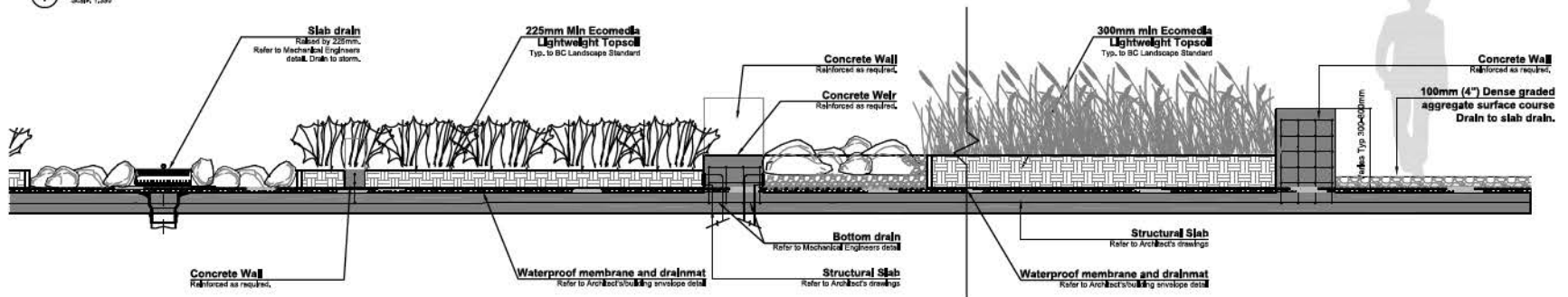
SCALE: AS NOTED
DATE:
DRAWN: MWMS CHECKED: MVDZ
REVISION:
PROJECT: DP2013-19
SHEET: LD-01



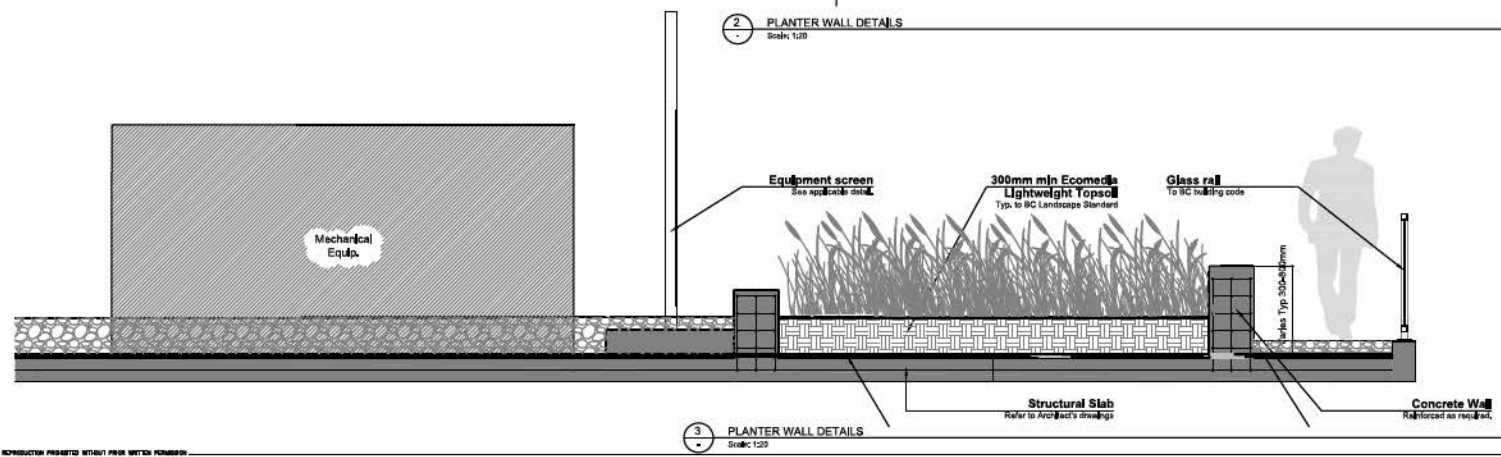
1 LANDSCAPE ROOF KEY PLAN
Scale: 1:300



1 CONCRETE WALL DETAIL - ROOF LEVEL
Scale: 1:20

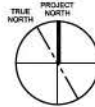


2 PLANTER WALL DETAILS
Scale: 1:20



3 PLANTER WALL DETAILS
Scale: 1:20

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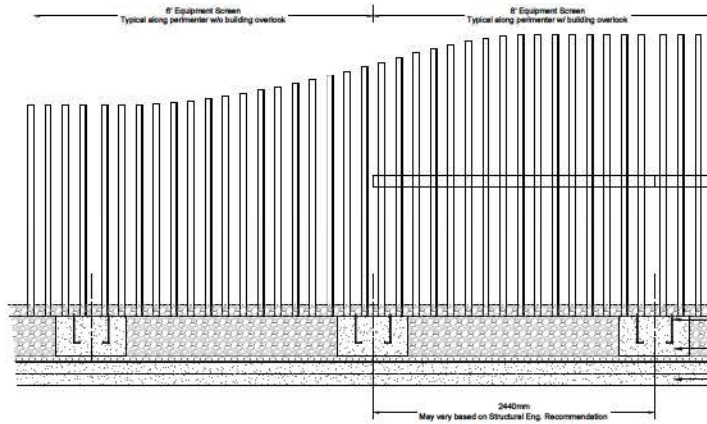
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21/01/2014 ISSUED FOR DP



1 SCREEN REFERENCE IMAGE

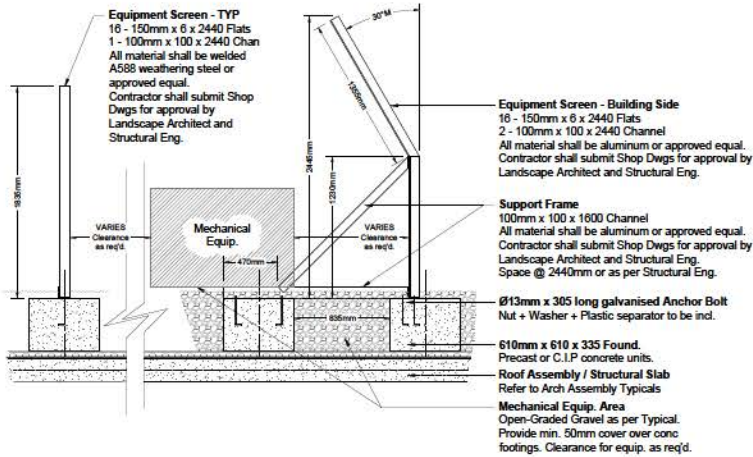
Scale: 1/10



2 MECHANICAL EQUIPMENT SCREEN ELEVATION DETAIL

Scale: 1/20

- Equipment Screen
- 16 - 150mm x 6 x 2440 Flats
- 1 - 100mm x 100 x 2440 Channel
- All material shall be Aluminum or approved equal.
- Finish to be powdercoated.
- Contractor shall submit Shop Dwg's for approval by Landscape Architect and Structural Eng.
- Ø13mm x 305 long galvanised Anchor Bolt
- Nut + Washer + Plastic separator to be incl.
- 610mm x 610 x 335 Found.
- Precast or C.I.P concrete units.
- Roof Assembly / Structural Slab
- Refer to Arch Assembly Typical's



3 MECHANICAL EQUIPMENT SCREEN SECTION DETAIL

Scale: 1/20

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**KING GEORGE
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**MECHANICAL
 EQUIP. SCREEN
 DETAILS**

SCALE: 1:200

DATE:

DRAWN: MW/MS CHECKED: MVDZ

REVISION:

PROJECT: DP2013-19

SHEET: LD-03

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 10, 2014** PROJECT FILE: **7814-0231-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 9808 King George Boulevard**

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the DP and DVP.

The following outlines some key issues as well as requirements for servicing that must be addressed as a condition of issuance of the Building Permit:

- Construction of remaining ultimate sections of King George Boulevard, 98B Avenue, 137 Street and Fraser Highway;
- Construction of interim section of 137 Street, and north side of 98B Avenue fronting and Phases C (13677 – 98B Avenue);
- Construction of Kiss N Ride and 137 Street extension to Whalley Boulevard provided the design is finalized and accepted by the City after successful negotiations with Translink;
- Re-grading the Whalley Boulevard frontage along with a redesign of the parking lot for Phase D (9868 – 137 St), including access points, queuing distance, and grades.
- Submission of revised Servicing Agreement drawings for 7812-0332-00 this phase and any remaining ultimate works are required;
- A Highway Licensing Agreement for parking,, building overhangs and signs; and
- Lease agreement for parking under road.

General Servicing

- Sanitary, Water and drainage servicing is to be provided to Lot 4 in conformance with City Centre standards;
- The applicant will submit sustainable drainage mitigation plan for combined Phase A and Phase B, and sanitary sewer analysis;
- The applicant is responsible for the undergrounding of the existing overhead Hydro, Telephone, Cablevision and Fibre Optics Lines fronting the site; and
- Connection to the City's District Energy system is required.

A Servicing Agreement is not required for the Building Permit unless scope changes.



Rémi Dubé, P.Eng.
Development Services Manager
HB

NOTE: Detailed Land Development Engineering Review available on file



Friday, September 12, 2014
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 7914-0231-00

SUMMARY

The proposed 486 highrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	12
Secondary Students:	5

September 2011 Enrolment/School Capacity

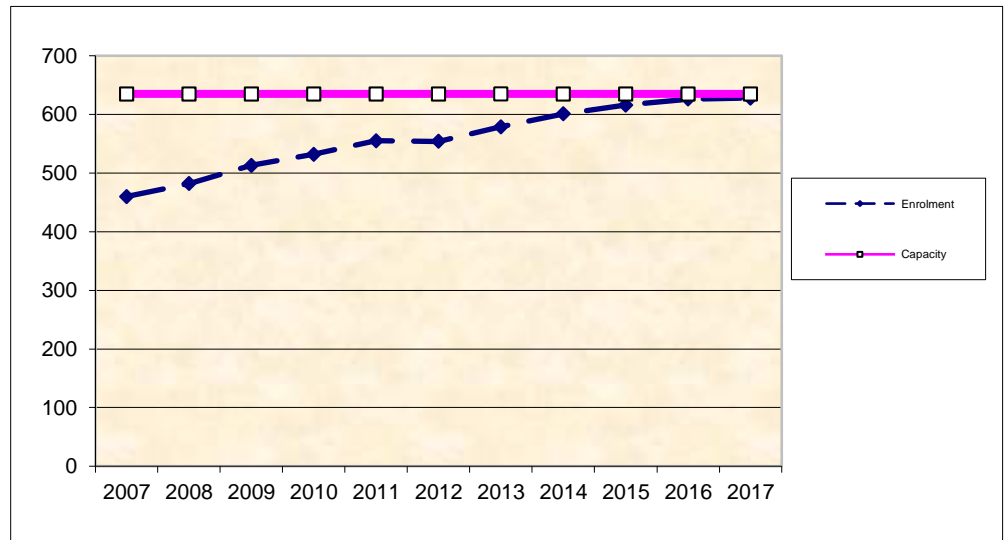
Simon Cunningham Elementary	
Enrolment (K/1-7):	74 K + 481
Capacity (K/1-7):	60 K + 575
Queen Elizabeth Secondary	
Enrolment (8-12):	1506
Nominal Capacity (8-12):	1600
Functional Capacity*(8-12):	1728

School Enrolment Projections and Planning Update:

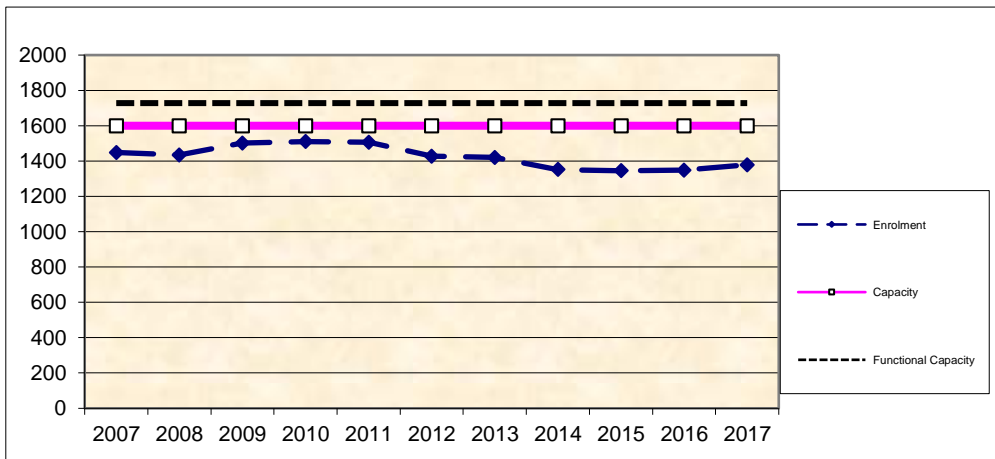
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Capacity of Queen Elizabeth Secondary in the table below includes an 8 classroom modular complex located on site. There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. A boundary move from Guildford Park Secondary to Queen Elizabeth Secondary has been implemented to increase enrolment Queen Elizabeth. Also, a boundary move of the King George Station area from Lena Shaw Elementary to Simon Cunningham Elementary has been implemented to increase enrolment at Simon Cunningham Elementary and reduce overcrowding at Lena Shaw. The proposed development will not have an impact on these projections.

Simon Cunningham Elementary



Queen Elizabeth Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, SEPTEMBER 11, 2014
Time: 4:00 p.m.

Present:

C. Taylor - Chair
G. McGarva
T. Wolf
E. Mashig
D. Newby
J. Makepeace

Absent:

L. Mickelson
N. Baldwin
B. Wakelin
T. Bunting
S. Vincent
B. McGinn
T. Coady
Cpl. M. Searle

Guests:

Mark Whitehead, Musson Cattell Mackey
Partnership Architects (MCMP)
Vince Fernandez, MCMP
Celso Stifelmann, MCMP
Mark Van der Zalm, Van der Zalm & Associates, Inc.
Mark Synan., Van der Zalm & Associates, Inc.
Andy Croft, PCI Developments Corp.
Tim Grant, PCI Developments Corp.
Greg Mitchell, PCI Developments Corp.
Kevin Welsh, Integral Group

Staff Present:

M. Rondeau, Senior Planner
C. Craig, Administrative Assistant

A. RECEIPT OF MINUTES

It was

minutes of the July 10, 2014 meeting.

Moved by G. McGarva
Seconded by D. Newby
That the Advisory Design Panel receive the

Carried

B. SUBMISSION

1. 4:00 PM

File No.:	7914-0231-00/01
New or Resubmit:	New
Last Submission Date:	N/A
Description:	DP Amendment to DP No. 7912-0332-00 and detailed DP for Phase B of King George Station development. Mixed-use retail, office and multiple residential developments.
Address:	9808 King George Boulevard, Surrey
Developer:	Greg Mitchell, PCI Group
Architect:	Mark Whitehead, MCMP
Landscape Architect:	Mark van der Zalm and Associates
Planner:	Pat Lau
Urban Design Planner:	Mary Beth Rondeau

The Urban Design Planner presented an overview of the proposed project and highlighted the following:

- The Panel saw a master plan for the whole site previously.
- This is similar to what has been seen before, but noted that this project has increased in density and height which was encouraged by the Panel since it is next to a transit station. With respect to use, form and density, staff is supportive of this project.
- Light rail is proposed to go through the site.
- The overall project is a little ambitious with respect to the amount of signage to be incorporated. More thought needs to go into the branding and naming of the site, as the history of this location is important, and could include considerations to the fact that it used to be "The Junction".

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes. A 3-D study model to address the project was provided on-table, and the following was highlighted:

- The King George Skytrain Station precinct is undergoing a significant transition triggered by the development of high-density residential to the north of the station, and the construction of the Coast Capital Savings Headquarters (HQ) (Phase A).
- An important component of this site is easy access to places such as: Surrey Memorial Hospital, Jim Pattison Outpatient Care and Surgery Centre, Revenue Canada, City Hall, and the King George Station.
- Vertical circulation (escalators, elevators, etc.) allows for pedestrian movement through the plaza to King George Station. A bus stop on Fraser Hwy. will serve to draw pedestrians.
- Street-facing retail is prominent, using both Fraser Hwy. and King George Blvd., while food and drug companies can operate above on the second floor. Small scale retail "cocoon" the larger boxes. King George Station to be a prominent feature, with the tower located behind, acting as the accent point.
- The mixed-use tower has some formal movement to give it more accent and texture. It is a landmark tower that achieves that quality through simple form, alternating balconies connected at the façade with a similar material element.
- Part of the animation variation is going to stem from the use of signage, giving each retailer the opportunity to create texture on the ground floor, depending on the signage they choose.
- The Project Architect presented a digital flyover to show how the site fits together.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Urban landscape design building on the idea of the rich, cultural history of the site as a meeting place, a confluence of people.

- The center mews is developed to be creek-like with a very geometric form (used a GIS interpretation of the landscape in the hope to mirror the original idea to create a striking geometric design), enriched with decking materials and day-lighting of the storm water system that connects to King George Blvd.
- The almost 1.5 acre rooftop level was designed to be a green roof/rain gardens, manifesting a triangular pattern (following the geometric design pattern). The design will incorporate small shrub communities and a variety of native grasses that will help detain and store storm water.
- High quality furnishings will be used (planted pots, unique seating arrangements, decorative concrete, recycled decking).

E. Mashig joined the meeting at 5:15 p.m.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

DP Amendment to DP No. 7912-0332-00 and detailed DP for Phase B of King George Station development to allow for a mixed-use retail, office and multiple residential developments.

9808 King George Boulevard

File No.: 7914-0231-00/01

It was

Moved by G. McGarva

Seconded by E. Mashig

That the Advisory Design Panel (ADP)

recommends that the applicant address the following recommendations and revise and resubmit to Planning staff.

Carried

STATEMENT OF REVIEW COMMENTS

Site

- A very well documented and presented project, which responds to the City of Surrey's current urban design criteria. The site has been well-utilized and is resolved appropriately.
- The increase from previous density was strongly supported.
- Design elements should be carefully chosen to reflect the "Surrey-ness" of this site; there is a narrative about the urban intentions behind the project. The location of the site is historical and this has been taken into consideration.
- The creation of an urban edge will positively serve Surrey in the future.
- Good pedestrian linkages, movement and flow to the Skytrain.
- The mews connection to King George Blvd. lacks generosity; the invitation of the street is lacking. Suggested to make the edges more visually exciting.

The connection is flanked at the King George Boulevard sidewalk, by a glass elevator on the north and a glass wall on the south. Both of these

glass elements will be backlit. The glass elevator will be a focal point announcing the mews as a significant entry. The glass wall on the south, will be backlit by the lighting from the parkade entry. The design intention was for the entry to the mews to be extremely well lit and inviting. A water feature is also incorporated into the stairs adding interest and softening the entrance to the mews.

Building Form and Character

- The landmark tower on King George Blvd. is a good feature; it has strong character and provides varied texture with the balconies. Subtle difference between textures provided on the different towers; this is very complimentary of the scheme. The tower would benefit from more development in terms of the top of the tower (very simplistic at the moment). It needs to be elegantly detailed.

The top of the tower has been further detailed and developed. A steel structure will form the parapet and be supporting a curtain wall that matches the mullion spacing of the residential below. The parapet curtain wall will match the glass of the residential. The curtain wall will also have a shadow box so the transparency of the glass will match the residential portion of the tower. The residential tower will be a monolithic entity incorporating the parapet adding strength and purpose to the top of the tower.

- The proposal would benefit from more design development particularly the tower, and incorporate solar response.

The percentage of glass on the residential building has been reduced from 60% to 50%. This reduction in glass will significantly affect the heat gain of the individual units.

- The mixed-use tower expression is somewhat forced. The tyranny of the residential expression is problematic once it hits the office floors. Consider better articulation of the masses; should meet the ground with more purpose.

The architect indicates that the office portion of the tower steps out from the residential portion acting as a strong base to the slender residential tower. The articulation of the office is purposely different in order to accentuate the base – tower relationship. The office and residential uses naturally have different aesthetics and we felt that an honest expression of each use, with differing massing and texture, was the appropriate response. The staggered horizontal balconies of the residential create an iconic rhythm and texture, while the vertical fins on the office create a comfortable counterpoint and balance.

The landmark features of the building is the sloping west elevation. This feature would be the element that ties the residential and office building together. The staggered horizontal banding from the residential will continue down into the office portion of the building. Similar glass and mullion spacing will be used.

- At the ground floor, the office tower seems to be a bit weak as it appears to be compressed by the weight of the building. Consider strengthening the base by incorporating prominent entries or a corner element, etc.

The base at the corner of King George Boulevard and Fraser Highway is (20 ft.) in height which feels very adequate. Where the base is compressed is along the Fraser Highway elevation. The original Development Permit elevation had the canopy running straight horizontally along Fraser Highway creating a pinch point at the eastern edge of the elevation. The architects have raised the height of the canopy by 1.5 metre (5 ft.), so that it steps with the rise in grade relieving the feeling of compression.

- Could incorporate more geometry into the retail podium to gesture the Coast Capital Savings Help HQ, particularly for the Fitness Building.

The architects felt it important that the retail/restaurant building, at the corner of King George Boulevard and 98B Avenue should evoke the dynamic nature of the Coast Capital Savings Help Headquarters (CCSHH) without mimicking it. A vocabulary of angular roofs captures the dynamic feel of CCSHH. The buildings are adjacent to each other and together there is a comfortable dialogue between the two buildings along King George Boulevard. In contrast, the architects feel that it was equally important that the Fitness Centre have a different feel. The design intention is that Phase B does not appear as one retail/restaurant building. Where the retail restaurant building is dynamic and angular, the fitness building is rounded and flows around the roundabout.

- There is a lot of variety in the commercial/retail podium however it seems to work as it is carefully articulated. There is generosity with the materials chosen and a rhythm that is pleasing to the street. Attention should be given to how the storefronts are varied (consider varied setbacks, widths, how doors open to create relationship between indoor and outdoor space, etc.). Bike racks should be added, as well as contemporary furniture, to create a truly social space.

The architects agree with this statement. They have varied the widths of the storefront and the door locations along 98B Avenue/137 Street. They focused the change along this street as it is a collector road and is more pedestrian oriented. They kept the rhythm of the retail regular along King George Boulevard as they felt it created a better, more legible, street wall.

- Let the signage add the variety and the characters of individual retailers to provide the animation. If well-incorporated into the building design, the signage is justified and will help the orientation throughout the site.

The architects agree with this comment. PCI Group has retained EDG as the signage consultant. A comprehensive sign design package will be submitted with the requested variances and design rationale.

- A high volume of pedestrians are projected. As such, weather protection along these streets is essential, and appears appropriate. Pedestrian experience along these edges is key.
- The treatment of the '5th Elevation' (the podium roof) is well-considered, with thoughtful narrative. Given the height and the residential use, this is very thorough.
- There is legibility on the ground space; it is obvious how one moves through the site. It is simple, but there is beauty in the simplicity of the design. This is a well-animated space. Concerned there is no outdoor social space for the residents that is not deemed a public space.

PCI Group and the architects are currently reviewing the programming of the indoor and outdoor amenity space areas to provide appropriate programming.

Landscaping

- The green roof design is well-crafted and is an excellent concept and rationale. The triangulation of the roof is interesting and makes this more 3-dimensional. Encourage more height on the roof to create interest.
- Consider trees in the mews. Studies have shown that people generally feel more comfortable, happier and spend more money in areas that have trees and are green.

Additional flexible landscaping will be provided by potted plantings to permit flexibility.

- Make sure the street trees remain generous enough to grow with large enough tree pits.
- Daycare outdoor space needs to be resolved.

Daycare outdoor space is planned at the second floor. Please see Drawing A206.

CPTED

- Should carefully consider how security is dealt with in the pedestrian mews leading to the main plaza.

The mews will be well lit and active uses are on both sides of the mews providing "eyes on the street". A CPTED review by a security consultant will identify any issues and they will be addressed.

Accessibility

- No comments were made regarding accessibility.

Sustainability

- LEED Gold and certified for different parts of the project is good.

- Concerned that the very high glazing percentage and very little external shading will be a challenge for both comfort and energy modeling for the glass on the tower. Upgrading to triple glazing might be required. Energy modeling will determine actual requirements. Would prefer to see less glazing (40% maximum) and more shading on the south side.

The architects have reduced the glass percentage to 50% for the residential portion of Tower 1 and Tower 5. The residential balconies provide a great deal of sun shading.

0.3 metre (1 ft.) deep vertical sun shades in the office portion of the Tower 1 will play a compositional role in the design of the tower, but they will also provide a level of shading for the office users.

- Consider irrigation for the roof. The roof looks like it will require a high level of maintenance.