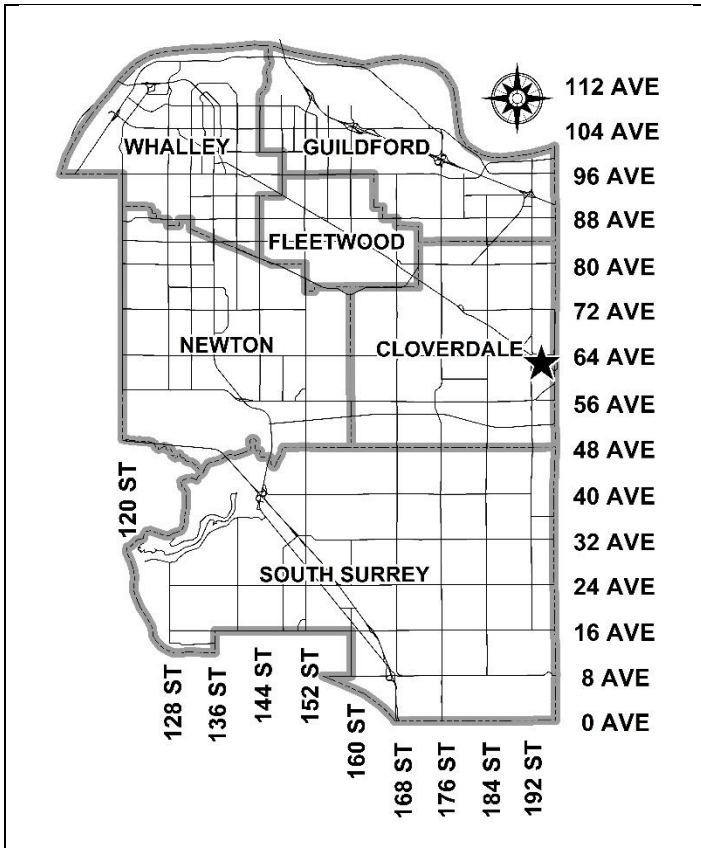


City of Surrey  
**ADDITIONAL PLANNING COMMENTS**

Application No.: 7915-0393-00

Planning Report Date: June 14, 2021



**PROPOSAL:**

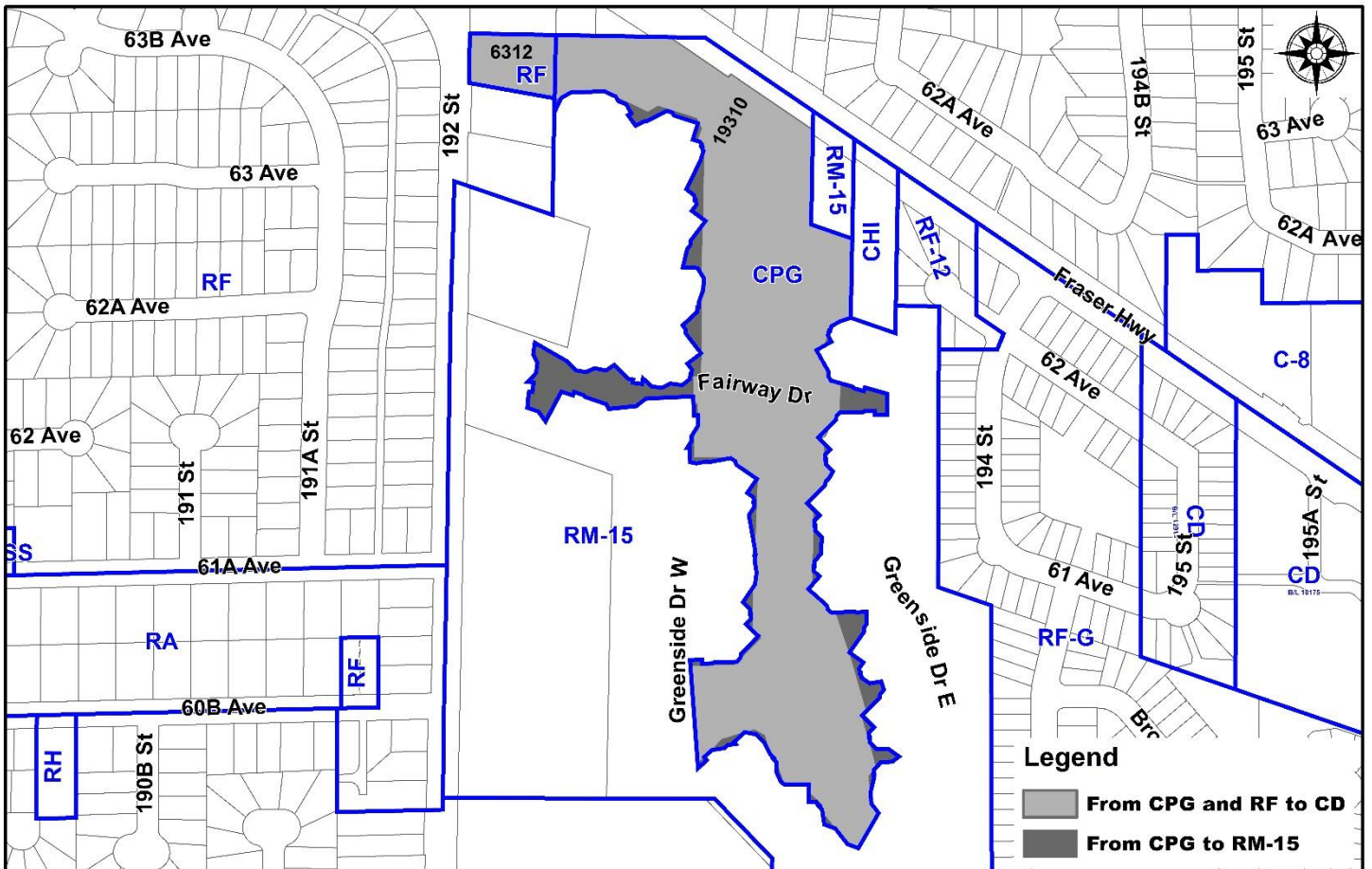
• **Housing Agreement**

to secure ten percent (10%) of the total dwelling units in seven mid-rise apartment buildings (consisting of up to 650 units) as market rental units in Phase 2 of a mixed townhouse and apartment development on the site.

**LOCATION:** 19310 - Fraser Highway  
 6312 - 192 Street

**ZONING:** CPG and RF

**OCP DESIGNATION:** Urban



**RECOMMENDATION SUMMARY**

- By-law Introduction, First, Second and Third Reading for a Housing Agreement.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- None.

**RATIONALE OF RECOMMENDATION**

- At the Regular Council – Land-Use Meeting on September 14, 2020, Council granted Third Reading to Development Application No. 7915-0393-00 (Bylaw Nos. 20151 and 20152) which allows for a two-phased development consisting of 55 ground-oriented townhouses as well as seven mid-rise (up to 6-storey) apartment buildings with a total of 650 dwelling units.
- As noted in the original Planning Report for Development Application No. 7915-0393-00, the applicant has agreed to enter into a Housing Agreement, prior to final adoption of the rezoning, to secure ten percent (10%) of the total dwelling units that are to be constructed as part of a future phase of Development (Phase 2) as market rental housing.
- The attached Housing Agreement, to be adopted by Bylaw and registered on title, will restrict ten percent (10%) of the total dwelling units constructed in Phase 2 on the site to a rental tenure for 20 years.
- The Housing Agreement Bylaw will be brought forward for final adoption concurrently with the Rezoning Bylaws (Nos. 20151 and 20152) when all conditions associated with the rezoning are fulfilled.



## RECOMMENDATION

The Planning & Development Department recommends that a Bylaw be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant former golf course and vacant single-family lot	Urban	CPG & RF
North (Including across Fraser Highway):	Single family residential lots and vacant single family lots	Urban	RF
East:	2-storey townhouses and automobile dealership	Urban	RM-15 & CHI
South:	2-storey townhouses (Greenside Estates)	Urban	RM-15
West:	2-storey townhouses (Greenside Estates) and stacked townhouses (currently under application No. 7918-0253-00)	Urban	RM-15 & RF

## Referrals

Engineering: The Engineering Department has no objection.

## DEVELOPMENT CONSIDERATIONS

- At the Regular Council – Land-Use Meeting on September 14, 2020, Council granted Third Reading to Development Application No. 7915-0393-00 (Bylaw Nos. 20151 and 20152) which allows for a two-phased development consisting of 55 ground-oriented townhouses as well as seven mid-rise (up to 6-storey) apartment buildings with a total of 650 dwelling units.
- The first phase of development consists of a Detailed Development Permit for 55 ground-oriented townhouse units. In the second phase (currently under Development Application No. 7921-0005-00 and pre-Council), the applicant is proposing to construct 7 mid-rise (up to 6-storey) apartment buildings with a total of up to 650 dwelling units.
- As noted in the July 27, 2020, Planning Report for Development Application No. 7915-0393-00, the applicant has agreed to enter into a Housing Agreement to ensure that ten percent (10%) of the dwelling units constructed in Phase 2 (i.e., the apartment component) will be secured as market rental housing (Appendix II).

- The total number of dwelling units secured as market rental through the Housing Agreement, as part of future phases of development (i.e., Phase 2), will be confirmed as part of subsequent development applications, but will be no less than 10% of the units.
- Section 483 of the Local Government Act authorizes Local Governments to enter into Housing Agreements for affordable and special needs housing.
- Typically, Housing Agreements include the terms and conditions agreed to by the Local Government and the owner regarding:
  - the form of tenure of the housing units;
  - the occupancy of the housing units identified in the agreement (including their form of tenure and their availability to the classes of persons identified in the agreement);
  - the administration of the units (including the means by which the units will be made available to intended occupants); and
  - the rents and lease prices of units that may be charged and the rates at which these can be increased over time.
- The attached Housing Agreement (Appendix II) will be adopted by Bylaw and registered on title. The agreement will restrict ten percent (10%) of all dwelling units constructed as part of Phase 2 to a rental tenure for a maximum period of 20 years from the date the City issues the Occupancy Permit for the proposed building(s) in which the market rental units are situated.
- The City may, from time to time, require that the owner of the building provide written proof of compliance with the Housing Agreement.
- The Housing Agreement Authorization Bylaw will be brought forward for final adoption concurrently with the associated Rezoning By-laws (Nos. 20151 and 20152), once all of the outstanding conditions associated with the rezoning are fulfilled.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan – Phase 2
Appendix II.	Proposed Housing Agreement
Appendix III.	Planning Report for Development Application No. 7915-03939-00 (dated July 27, 2020)

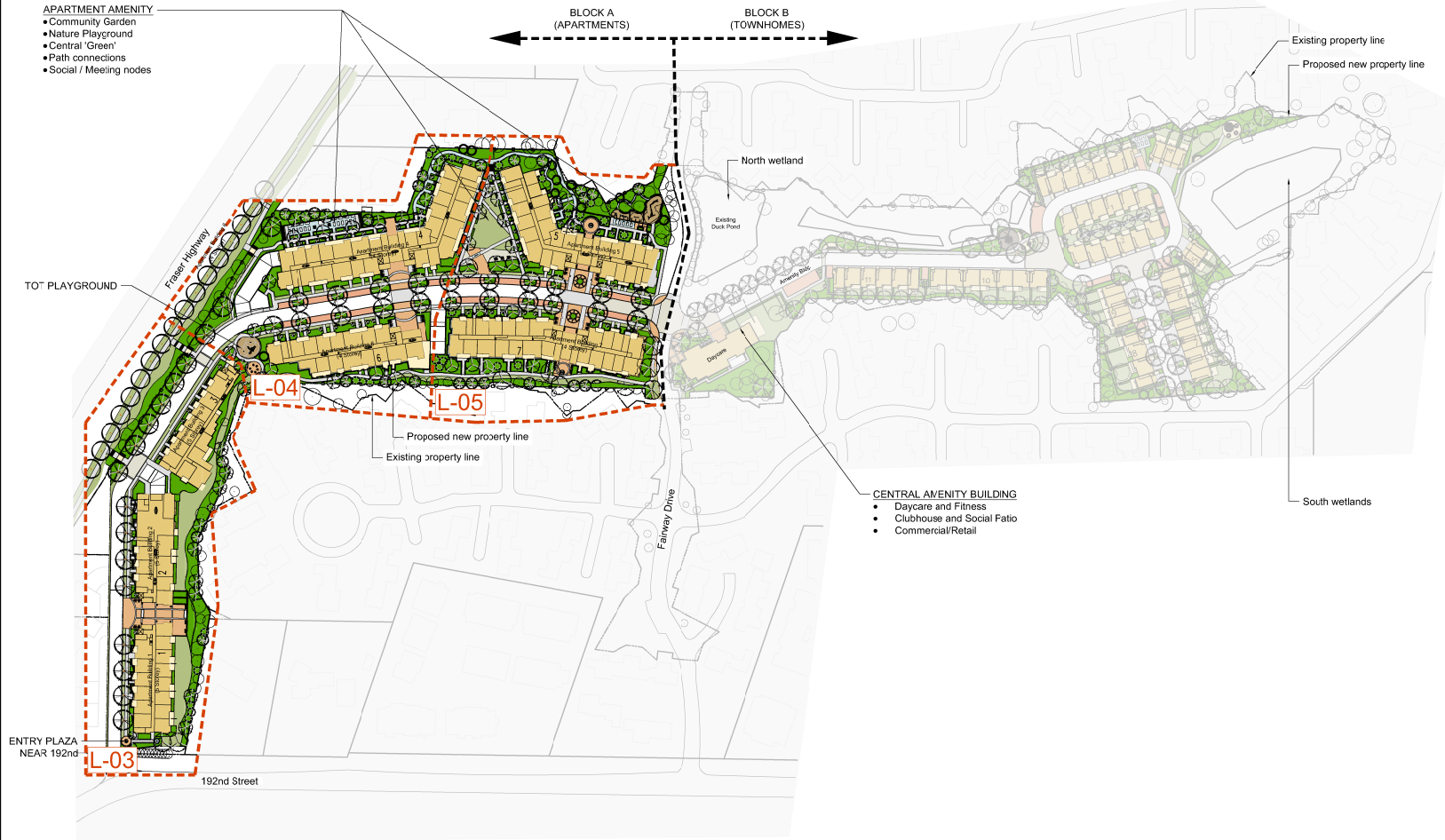
*approved by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

MRJ/cm

# Appendix I

LANDSCAPE ARCHITECTURE CIVIL ENGINEERING URBAN DESIGN  
**FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO**  
 100-9181 Church St | 181-355 Kingway  
 Fort Langley, BC | Vancouver, BC  
 V4M 2R8 | V5T 3J7  
 www.vdz.ca 604-882-0024



- APARTMENT AMENITY**
- Community Garden
  - Nature Playground
  - Central 'Green'
  - Faith connections
  - Social / Meeting nodes

- CENTRAL AMENITY BUILDING**
- Daycare and Fitness
  - Clubhouse and Social Patio
  - Commercial/Retail

No.	By:	Description	Date
6	ET	Issued for general DP	July 2, 2020
5	AD	Issued for DP	June 19, 2020
4	AD	Submission to ADR	May 28, 2020
3	AD	Issued for Reasoning and DP	March 2, 2020
2	AD	Issued for Reasoning and DP	Sept 27, 2019
1	AD	Issued for Reasoning and DP	Sept 4, 2019

**REVISIONS TABLE FOR DRAWINGS**  
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

**Project:**  
 GREENSIDE DEVELOPMENT  
 BLOCK A (APARTMENTS)

**Location:**  
 15310 Fraser Highway & 6312 -  
 152 Street, Surrey BC

Drawn: AD DV	Stamp:
Checked: SH	
Approved: MVDZ	
Scale: 1:1000	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND USER. RETURNED THE COMPLETION OF THE WORK, ALL DIMENSIONS AND SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS LABELLED ISSUED FOR TRADE/CONTRACTOR.



Z:\PROJECTS\DEVELOPMENT\PROJECTS\GREENSIDE DEVELOPMENT\TOWNHOMES\SET - APARTMENTS\02 OVERALL PLAN.DWG

Drawing Title: **OVERALL PLAN**  
 Drawing #: **L-02**  
 DP2019-43  
 NORTH

**HOUSING AGREEMENT**  
(Section 483, *Local Government Act*)

THIS AGREEMENT is made on the \_\_\_\_\_ day of \_\_\_\_\_, 2021

AMONG:

**192<sup>ND</sup> STREET DEVELOPMENT LTD.**  
(Inc. No. BC1115973)  
200 - 15055 54A Avenue, Surrey B.C. V3S 5X7  
(the "**Owner**")

AND:

**CITY OF SURREY**, a municipal corporation having its  
offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8  
  
(the "**City**")

WHEREAS:

- A. The Owner is the legal owner of the Lands (as hereinafter defined);
- B. The Owner submitted an application to the City to rezone the Lands (the "**Rezoning Application**") from CPG (Golf Course Zone) and Single Family Residential Zone (RF) zones to CD Bylaw 20151 and RM-15 zone, respectively, to permit a development (the "**Development**") on the Lands, as shown on the plan attached hereto as Schedule A (the "**Plan**"), consisting of (i) 7 buildings (collectively, the "**Buildings**") containing up to approximately 595 dwelling units (collectively, the "**Condo Strata Lots**"), constructed over an underground parkade (the "**Parkade**), (ii) 11 separate buildings containing up to approximately 55 residential townhome dwelling units (the "**Townhouse Strata Lots**"), and (iii) a further separate building containing an approximately 12,360 square foot amenity building (the "**Amenity Building**"), together with related improvements;
- C. The Owner must make arrangements to the satisfaction of the City to enter into a housing agreement pursuant to section 483 of the *Local Government Act* to ensure that, during the Term not less than ten percent of the Condo Strata Lots (the "**Market Rental Units**") constructed in the Development, as show outlined in blue on the Plan, are used only for Market Rental Housing (as defined in Subsection 1.01(b));
- D. Section 483 of the *Local Government Act* permits the City to enter into and, by legal notation on title, note on title to lands, housing agreements; and
- E. As a condition of the Rezoning By-law (defined herein) to permit the development of the Lands in the manner aforesaid, the Owner has agreed to enter into this Agreement with the City.

NOW THIS AGREEMENT WITNESSES that for good and valuable consideration, the receipt and sufficiency of which the parties hereby acknowledge and agree to and will not be denied, the Owner and the City covenant and agree as follows:

## ARTICLE I. DEFINITIONS

### Section 1.01 Definitions

- (a) **“Agreement”** means this Housing Agreement;
- (b) **“Amenity Building”** has the meaning given to it in Recital B;
- (c) **“Buildings”** has the meaning given to it in Recital B;
- (d) **“Arbitration Act”** means the *Arbitration Act*, R.S.B.C. 1996, c. 55 (formerly, the *Commercial Arbitration Act*), as amended, replaced, restated, or re-enacted from time to time;
- (e) **“City Personnel”** means any and all of the elected and appointed officials, and officers, employees, agents, nominees, delegates, permittees, contractors subcontractors, and volunteers of the City from time to time;
- (f) **“Commencement Date”** means the date that is the first day of the month after the final inspection of the building has been issued by the City;
- (g) **“Condo Strata Lots”** has the meaning given to it in Recital B;
- (h) **“Development”** means the development of the on the Lands described in Recital B in accordance with the Development Permit;
- (i) **“Development Permit”** means Development Permit No. 7915-0393-00 issued by the City authorizing development on the Lands, as amended from time to time;
- (j) **“Land Title Act”** means the *Land Title Act*, R.S.B.C., 1996, c. 250, as amended, replaced, restated, or re-enacted from time to time;
- (k) **“Lands”** means, together, the lands and premises legally described as:
  - Parcel Identifier: 005-054-958  
Lot 205  
Section 10, Township 8  
New Westminster District Plan 53056; and
  - Parcel Identifier: 002-020-904  
Lot “A”  
Section 10, Township 8  
New Westminster District Plan 13184;
- (l) **“Land Title Office”** means the New Westminster Land Title Office;
- (m) **“Local Government Act”** means the *Local Government Act*, R.S.B.C. 2015, c. 1, as amended, replaced, restated, or re-enacted from time to time;



- (n) “**Losses**” means any and all damages, losses, fines, penalties, costs (including legal costs on a solicitor and own client basis), actions, causes of action, claims, demands, liabilities, indirect or consequential damages (including loss of profit and loss of use and damages arising out of delays) and expenses of every nature or kind whatsoever;
- (o) “**Market Rental Rate**” means the average rental rate per square foot for the Market Rental Units, as determined from time to time by the Owner;
- (p) “**Market Rental Housing**” means Rental Housing that is rented at market rates, as the same may be determined from time to time by the Owner;
- (q) “**Market Rental Units**” has the meaning given to it in Recital C and refers to the Condo Strata Lots which are to be used only for Market Rental Housing and which the applicant must clearly identify to the City, in writing, and which must be accepted by the City prior to the City issuing an Occupancy Permit for any Building which contains a Market Rental Unit;
- (r) “**Notice**” has the meaning given to it in Section 2.02;
- (s) “**Occupancy Permit**” means a permit issued by the City authorizing the use and occupation of any building, development or partial development on the Lands, whether such permit is temporary, conditional or final;
- (t) “**Owner**” has the meaning ascribed to it on Page 3 hereof and such Owner’s respective successors in title from time to time as the registered or beneficial owner from time to time of any portion of the Lands;
- (u) “**Parkade**” has the meaning given to it in Recital B;
- (v) “**Rental Housing**” means a dwelling unit that is not occupied by the registered or beneficial owner of the same, but which is made available by such owner to the general public at arms’ length, for use as residential rental accommodation on a month-to-month or longer basis, excluding rentals for purposes of Tourism Accommodation (as such term is defined in the Zoning By-law) and excluding rentals for any less than 30 consecutive days, in accordance with this Agreement, reasonably prudent landlord-tenant practice for rental residential accommodation, and any and all laws applicable thereto, including, without limitation, residential tenancy and human rights legislation in British Columbia;
- (w) “**Residential Tenancy Act**” means the *Residential Tenancy Act*, S.B.C. 2002, c. 78, as amended, replaced, restated, or re-enacted from time to time;
- (x) “**Rezoning Application**” has the meaning given to it in Recital B;
- (y) “**Rezoning By-law**” means the City of Surrey Zoning Amendment Bylaw No. 20151 enacted as a result of the Rezoning Application;
- (z) “**Term**” has the meaning ascribed thereto in Section 2.01;
- (aa) “**Townhouse Strata Lots**” has the meaning given to it in Recital B; and

- (bb) **“Zoning By-law”** means the City’s Zoning By-law 12000, as amended, replaced, or replaced from time to time.

## **ARTICLE II. TERM AND NOTICE**

### **Section 2.01 Term**

The term (the **“Term”**) of this Agreement will commence on the Commencement Date and will end on the earlier of (i) the date that is twenty (20) years from the date when an Occupancy Permit is issued for the originally constructed Market Rental Units and (ii) the time when the Owner, acting reasonably, determines, that it is not economical to repair or restore the Buildings or to keep and maintain the Buildings in tenable condition to the standard required by this Agreement, and in such event, the City will abandon, surrender, and release the Owner from this Agreement and, at the Owner’s expense, cause the Notice to be removed from the title to the Lands; provided that any disagreement between the Owner and the City as to whether the City is obliged to abandon, surrender, and release the Owner from this Agreement pursuant to this Section 2.01 will be determined by arbitration conducted pursuant to the *Arbitration Act*, the cost of which arbitration will be borne evenly as between the Owner and the City. Each party will bear the cost of its own legal counsel in connection with any arbitration pursuant to this Section 2.01

### **Section 2.02 Notice of Housing Agreement**

The Owner acknowledges that the City may file in the Land Title Office on title to the Lands a notice (the **“Notice”**) of this Agreement and any amendments made thereto from time to time in accordance with Section 5.07.

## **ARTICLE III. RESTRICTIONS ON AND CONDITIONS OF USE**

### **Section 3.01 Owner’s Covenants**

The Owner covenants and agrees that throughout the Term:

- (a) the Lands and the Market Rental Units, will not be used in any way that is inconsistent with the terms of this Agreement;
- (b) not less than 10% of the of the Condo Strata Lots must be used, at all times, only as Market Rental Housing in accordance with the Rezoning By-law, the Development Permit and the requirements of this Agreement;
- (c) throughout the Term, the Owner will not suffer, cause or permit the beneficial or registered title to or any interest in and to the Market Rental Units or any portion thereof, to be sold or otherwise transferred unless the transferee(s) of the registered and beneficial title or interest, as applicable to the interest transferred, prior to and as a condition of closing enters into an assumption agreement satisfactory to the City, acting reasonably, whereby such transferee agrees to be and thereafter remain bound by each and every term and condition of this Agreement applicable to the Owner;

- (d) the Strata Corporation will insure, or cause to be insured, the Buildings and all parts thereof to the full replacement cost against perils normally insured against by reasonable and prudent owners of similar buildings and lands;
- (e) unless and until the City consents otherwise in writing by way of an amendment to this Agreement on request of the Owner, the Owner will keep and maintain the Market Rental Units in good repair and in a safe, clean, neat and tidy condition, reasonable wear and tear excepted, and fit for human habitation and consistent with the general standards required by the *Residential Tenancy Act* and all other applicable statutes, regulations, bylaws, and rules in effect from time to time for residential rental buildings of similar age and character in the City of Surrey from time to time and will comply with the same, including health and safety standards applicable to the Rental Units; and
- (f) except as contemplated in Section 2.01, the Owner will not demolish the Buildings, in which the Market Rental Units are located, or any portion thereof without the prior written consent of the City and, in any case, without a demolition permit therefor issued by the City in the City's sole discretion.

#### **ARTICLE IV. INDEMNITY, RELEASE, DEFAULT AND REMEDIES**

##### **Section 4.01 Indemnity**

The Owner will and does hereby indemnify and save harmless the City and the City Personnel of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reasons of or arising out of failure of the Owner to comply with the terms and conditions of this Agreement, except to the extent caused by the negligence of the City and/or City Personnel.

##### **Section 4.02 Release**

Provided that the City is in compliance with the terms and conditions of this Agreement, the Owner hereby releases and forever discharges the City and the City Personnel of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Covenantor now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by this Agreement, except to the extent caused by the negligence of the City and/or City Personnel.

##### **Section 4.03 Remedies**

The Owner covenants and agrees with the City that, in addition to any other remedies available to the City under this Agreement or at law or equity, if the Owner materially defaults under the terms of this Agreement, including without limitation omitting, failing or neglecting to carry out any of its material obligations contained in this Agreement and doing or carrying out a material act contrary to the Owner's obligations contained in this Agreement:

- (a) the Owner shall rectify such material default within 45 days after receipt of written notice of such material default to the Owner by the City;

- (b) if the Owner fails to take such positive action as the City considers necessary to rectify any material default as provided for herein, the City may apply to court for a mandatory or prohibitive order requiring the Owner to take such action; and
- (c) the Owner shall pay to the City, on written demand, the costs (including actual solicitor's fees, disbursements and taxes thereon) incurred by the City to obtain a court order pursuant to Section 4.03(b), and if the Owner fails to pay such amounts to the City within 30 days from the date the Owner receives any such written demand from the City, any and all arrears will bear interest from the date of demand to the date of payment at the prime rate of the Bank of Nova Scotia plus 3% per annum.

#### **Section 4.04 Survival of Release and Indemnity**

The release and indemnity in this Article IV will remain effective, and will survive any modification, discharge or partial discharge of any or all of the covenants created by this Agreement, and the termination of this Agreement, whether by fulfillment of the covenants contained in this Agreement or otherwise.

### **ARTICLE V. GENERAL PROVISIONS**

#### **Section 5.01 Interpretation.**

In this Agreement:

- (a) Any reference to a party herein will be deemed to include the heirs, executors, administrators, successors, assigns, employees, servants, agents, officers, contractors, licensees and invitees of such parties wherever the context so permits or requires.
- (b) Wherever the singular or masculine or neuter is used in this Agreement, the same will be construed to mean the plural or the feminine or body corporate or politic, and vice versa as the context or the parties so require.
- (c) The captions and headings appearing in this Agreement have been inserted as a matter of convenience and for reference only and in no way define, limit or enlarge the scope or meaning of this Agreement or any of the provisions hereof.
- (d) References to the or this "Agreement" and the words "hereof", "herein" and similar words refer to this Agreement as a whole and not to any section or subsection or other subdivision hereof and any reference in this Agreement to a designated Recital, Article, Section, subsection or other subdivision is a reference to the designated Recital, Article, Section, subsection or subdivision hereof.

#### **Section 5.02 Records**

The Owner will keep accurate records pertaining to the use and occupancy of the Rental Units as necessary to reasonably demonstrate compliance by the Owner with the requirements of this Agreement, such records to be to the satisfaction of the City, acting reasonably. At the request of the City, from time to time, the Owner will make such records

available for inspection and copying by the City. The City will comply with the Owner's statutory obligations with respect to privacy of such information.

**Section 5.03 Legislation.**

Any reference to a law or statute herein includes and is a reference to such law or statute and to the regulations made pursuant thereto, with all amendments made thereto and as in force from time to time, and to any law or statute or applicable regulation amending, replacing, or superseding any of the same.

**Section 5.04 Time.**

Time shall be of the essence of this Agreement and each part of it. If any party expressly or impliedly waives this requirement, that part may reinstate it by delivering notice to the other party(ies). If a time is specified in this Agreement for observing or performing any obligation, such time shall be Pacific Standard Time.

**Section 5.05 No Effect on Rights.**

Nothing contained or implied herein will prejudice the rights and powers of the City in the exercise of its functions under any public and private statutes, bylaws, orders and regulations, all of which may be fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and this Agreement does not impose on the City any legal duty or obligation, including any duty of care or contractual or other legal duty or obligation, to enforce this Agreement, nor does this Agreement relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Lands.

**Section 5.06 Benefit of City.**

The City is a party to this Agreement for the purpose only of receiving the covenants, promises and agreements as provided in the terms of this Agreement and is not intended to protect the interests of the Owner, any tenant, or any future owner, lessee, occupier or user of the Lands, the Mixed-Use Building, including the Rental Units or any portion thereof, and the City may at any time execute a release for the discharge of the Notice of this Agreement without liability to anyone for doing so, and without obtaining the consent of the Owner.

**Section 5.07 Agreement Runs with the Lands.**

Following the filing of the Notice in the Land Title Office, this Agreement and, if applicable, any amendments thereto, will be binding on all persons who acquire an interest in the land affected by this Agreement, as amended if applicable. It is further expressly agreed that this Agreement may be modified or amended from time to time, by consent of the Owner and a bylaw duly passed by City Council and thereafter if an amendment is signed by the City and the Owner.

**Section 5.08 Limitation on Owner's Obligations.**

The Owner is only liable for breaches of this Agreement that occur while the Owner is the registered and/or beneficial owner of the Lands or such applicable portions thereof,



provided however that notwithstanding that the Owner is no longer the registered nor beneficial owner of the Lands or any portion thereof, the Owner will remain liable for breaches of this Agreement that occurred while the Owner was the registered and/or beneficial owner of the Lands or such portions thereof, as the case may be.

**Section 5.09 Partial Discharge.**

The Owner and the City acknowledge and agree that this Agreement and the Notice are only intended to apply to the Market Rental Units and not to any Condo Strata Lots, the Townhouse Strata Lots, the Amenity Building or the Parkade. The City covenants and agrees that concurrently with the registration of any subdivision plan (including an airspace subdivision plan, or strata plans pursuant to the *Strata Property Act* (British Columbia)) that creates a separate legal parcel or parcels for any of the Buildings, the Condo Strata Lots, the Townhouse Strata Lots, the Amenity Building or the Parkade, the City will execute in registrable form and deliver to the Owner for filing in the applicable land title office, a discharge of this Agreement and the Notice from title to the parcel so created that does not include any of the Market Rental Units or any portion thereof.

**Section 5.10 Enurement.**

This Agreement will enure to the benefit of and be binding upon the parties hereto and their respective successors and permitted assigns.

**Section 5.11 Further Assurances.**

The parties will do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement.

**Section 5.12 Governing Law.**

This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.

**Section 5.13 Severability.**

If any part of this Agreement is held to be invalid, illegal or unenforceable by a court having the jurisdiction to do so, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.

**Section 5.14 Waiver.**

An alleged waiver of any breach of this Agreement is effective only if it is an express waiver in writing of the breach in respect of which the waiver is asserted. A waiver of a breach of this Agreement does not operate as a waiver of any other breach of this Agreement.

**Section 5.15 No Fiduciary Relationship.**

Nothing contained in this Agreement will be deemed in any way, or for any purpose, to constitute the City a partner, agent or legal representative of the Owner in the conduct of

any business or otherwise, or a member of a joint venture or joint enterprise with the Owner, or to create any fiduciary relationship between the City and the Owner.

**Section 5.16 Joint and Several.**

If the Owner consists of more than one person, firm, or corporation, from time to time, the Owner's obligations under this Agreement shall be joint and several.

**Section 5.17 Survival.**

Notwithstanding anything contained herein, the Owner covenants and agrees that the obligations of the Owner, including without limitation those set out in Article IV, shall survive termination or release of this Agreement.

**Section 5.18 Notice.**

Whenever it is required or desired that either party will deliver or serve a notice on the other, delivery or service will be deemed to be satisfactory if and deemed to have occurred when:

- (a) the Clerk of the City or the Owner, or its successor in title, or a director of the Owner or successor in title, if applicable, has been served personally, on the date of service; or
- (b) mailed by prepaid registered mail, on the date received or on the sixth day after receipt of mailing by any Canada Post office, whichever is the earlier, so long as the notice is mailed to, in the case of the City, at the address provided in this Agreement, or in the case of the Owner, or its successor in title, at the address noted on the Certificate of Title for the Lands, or to whatever address a party may from time to time provide to the other party.

**Section 5.19 Owner's Representations and Warranties.**

The Owner represents and warrants to and covenants and agrees with the City that:

- (a) the Owner has the full and complete power, authority, and capacity to enter into, execute, and deliver this Agreement and the bind all legal and beneficial interests in the title to the Lands with the interests in lands created hereby;
- (b) upon execution and delivery of this Agreement and the filing of the Notice, the interests in land created hereby will encumber all legal and beneficial interests to the title to the Lands;
- (c) this Agreement will be fully and completely binding upon the Owner in accordance with its terms and the Owner will perform all of its obligations under this Agreement in accordance with its terms; and
- (d) the foregoing representations, warranties, covenants, and agreements will have force and effect notwithstanding any knowledge on the part of the City whether actual or constructive concerning the status of the Owner with regard to the Lands or any other matter whatsoever.

**Section 5.20 Counterparts.**

This Agreement may be executed and delivered by the parties hereto in one or more counterparts.

IN WITNESS WHEREOF, each of the parties has duly executed this Agreement on the Form C – General Instrument to which this Agreement is attached as of the date first written above.

**192<sup>ND</sup> STREET DEVELOPMENT LTD.**, by  
its authorized signatory:

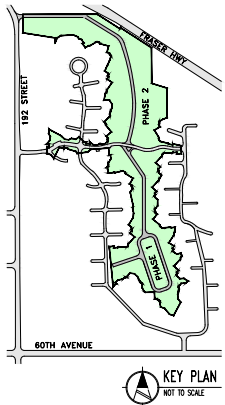
**CITY OF SURREY**, by its authorized  
signatories:

\_\_\_\_\_  
Name:  
Title:

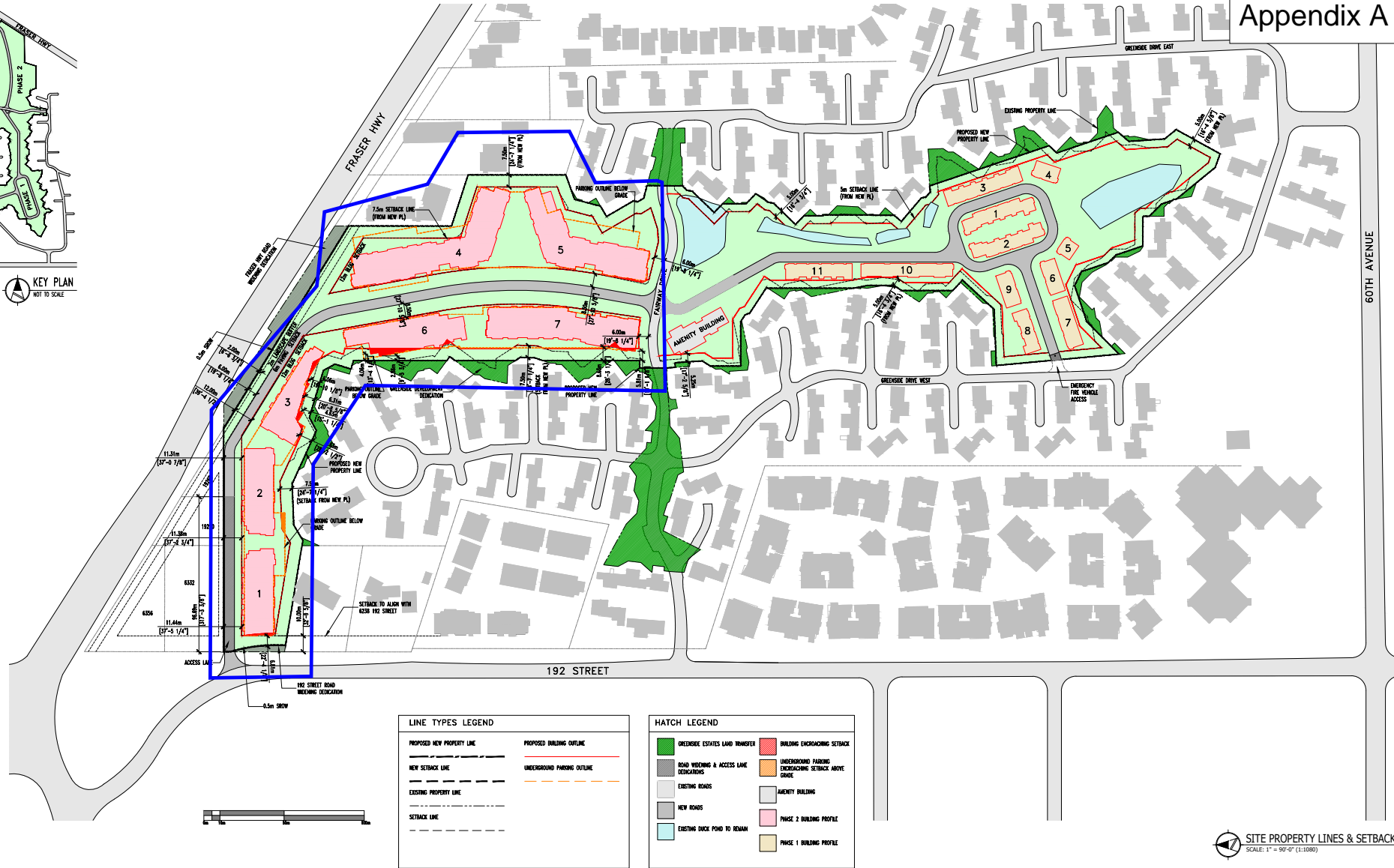
\_\_\_\_\_  
Name:  
Title:

\_\_\_\_\_  
Name:  
Title:

## APPENDIX A



KEY PLAN  
NOT TO SCALE



LINE TYPES LEGEND	
	PROPOSED NEW PROPERTY LINE
	NEW SETBACK LINE
	EXISTING PROPERTY LINE
	SETBACK LINE
	PROPOSED BUILDING OUTLINE
	UNDERGROUND PARKING OUTLINE
	PARKING OUTLINE BELOW GRADE

HATCH LEGEND	
	GREENSIDE ESTATES LAND TRANSFER
	ROAD WIDENING & ACCESS LINE SETBACKS
	EXISTING ROADS
	NEW ROADS
	EXISTING DRAINAGE POND TO REMAIN
	BUILDING ENVELOPING SETBACK
	UNDERGROUND PARKING ENVELOPING SETBACK ABOVE GRADE
	AMENITY BUILDING
	PHASE 2 BUILDING PROFILE
	PHASE 1 BUILDING PROFILE



SITE PROPERTY LINES & SETBACKS  
SCALE: 1" = 90'-0" (1:1080)



**INTER-OFFICE MEMO**

**Regular Council - Land Use**

**Monday, July 27, 2020**

**Item B.16**

**Supplemental Information: Page Replacements**

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**TO: City Clerk, Legislative Services Division**

**FROM: Manager, Area Planning & Development – North Division  
Planning & Development Department**

**DATE: July 27, 2020**

**FILE: 7915-0393-00**

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**RE: Item B.16 July 27, 2020 Regular Council – Land Use Meeting  
Corrections to Planning Report**

**ADDRESSES: 19310 Fraser Highway  
6312 - 192 Street**

Development Application No. 7915-0393-00 is proceeding to Council for introduction at the July 27, 2020 Regular Council - Land Use meeting as Item B.16 on the Agenda.

Minor typos within the Planning Report have been identified by staff. To ensure clarity they are listed below:

- At the bottom of Page 7, under the Planning Considerations section, the Planning Report notes that a portion of the site being rezoned to “Multiple Residential 15 Zone (RM-15)” (Block 2 of Appendix I) is 5.67 ha. This figure is incorrect – the correct area of Block 2 is 0.70 ha.
- On pages 7 and 8, the Planning Report notes that there are proposed to be seven, 5 to 6 storey apartment buildings in Phase 2 of the project. That should read 4 to 6 storey apartment buildings.

Replacement pages 7 and 8 with the errors struck through with replacement text have been included with this memo.



Ron Gill  
Manager  
Area Planning & Development – North Division

P207240

CLERKS DEPT.  
JUL 27, 2020  
7915-0393-00  
B.16 RCPH Jul 27, 20

## Context & Background

- The subject site is 6.4 hectares in area and is currently designated as Urban in the OCP; the subject site is not within a Secondary Plan area. The site is currently zoned "Golf Course Zone (CPG)" and "Single Family Residential Zone (RF)". There have been no previous development applications related to these properties.
- The site consists of a former executive-sized golf course and a single-family residential lot. The property features steeper sloping grades at the north portion of the site near 192 Street and slopes gently to the south for the remainder of the site. Being a former golf course, the site features significant clusters of mature trees, a wet pond, a dry pond, as well as a drainage ditch that connects these ponds.
- The property has not been in operation as a golf course since the early 2000's.
- Land Use Contract No. 290, which once regulated development of the site, was terminated by Council on December 4, 2017.

## DEVELOPMENT PROPOSAL

- The applicant is proposing the following:
  - to amend the OCP designation on the site from Urban to Multiple Residential;
  - a rezoning from "Golf Course Zone: (CPG)" and "Single Family Residential Zone (RF)" to a "Comprehensive Development Zone (CD)" (based on "Multiple Residential 45 Zone (RM-45)" and "Multiple Residential 15 Zone (RM-15)");
  - a General Development Permit (Form and Character), Sensitive Ecosystems (Streamside Areas) Development Permit, and Hazard Lands (Steep Slopes) Development Permit for the entire site;
  - a Detailed Development Permit (Form and Character) for Phase 1; and
  - a Development Variance Permit to vary Part 7A – Streamside Protection of the Zoning Bylaw,

to permit the development of 55 townhouse units and an amenity building with a child care centre in Phase 1, and seven 5 + 4 – 6 storey buildings in Phase 2.

## Planning Considerations

- The approximately ~~5.67~~ 0.70 ha portion of the site being rezoned to "Multiple Residential 15 Zone (RM-15)" (Block 2 of Appendix I) is proposed to be subdivided from the subject site and sold to and consolidated with the adjacent Greenside Estates property for \$1. Over time, as a result of uncertainty with respect to ambiguous property line boundaries, a number of the Greenside Estates residents have planted privacy hedges adjacent to their units. Residents have expressed concerns about the potential loss of these privacy hedges.

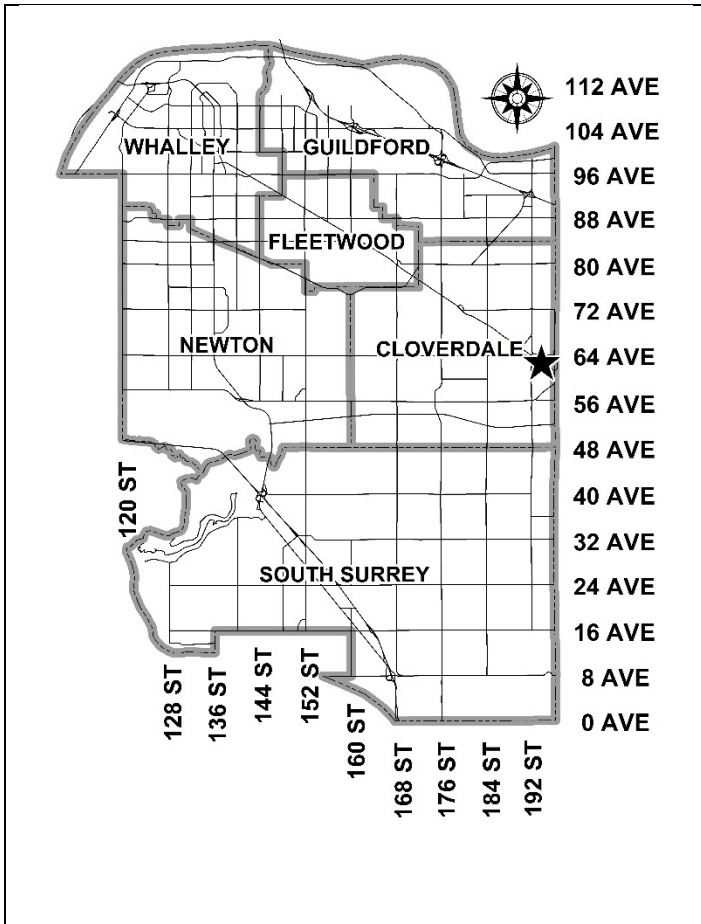
- The applicant voluntarily worked with the adjacent Strata NW1218 (Greenside Estates Townhouses) to arrive at an agreement with respect to the property line adjustment and subsequent transfer of land. The proposed property transfer is intended to resolve this issue, which was one of the most significant concerns of the Strata residents by establishing clear and coherent property lines.
- The remainder of the site is proposed to be rezoned to a "Comprehensive Development Zone (CD)" to accommodate a medium density residential development consisting of 55 townhouses on the southern portion of the site, and seven, 5 4 to 6 storey apartment buildings on the north portion of the site, and amenity facilities, to be constructed in phases.
- The applicant is proposing that 10% of the total unit count (up to 65 units) be market-rate purpose-built rental units. The applicant has agreed to enter into a Housing Agreement to secure the proposed purpose-built rental units for of a minimum of 20 years. Registration of this housing agreement will be a condition of Final Adoption of the proposed rezoning by-laws.
- The applicant is proposing to incorporate a publicly accessible child care centre into the amenity building in Phase 1 of the development.
- The "Comprehensive Development Zone (CD)" portion of the proposal (the project) is divided into two phases as shown in Schedule A of Appendix IV.
- Development details for the "Comprehensive Development Zone (CD)" portion of the proposal are provided in the table below:

	Proposed
<b>Lot Area</b>	
Total Site Area:	63,764 m <sup>2</sup>
Undevelopable Area:	5,566 m <sup>2</sup>
<u>Gross Site Area:</u>	58,198 m <sup>2</sup>
Road Dedication:	1,824 m <sup>2</sup>
Land Transfer to Adjacent Site (Greenside Estates):	7,040 m <sup>2</sup>
<u>Net Site Area:</u>	49,334 m <sup>2</sup>
<b>Number of Lots:</b>	1
<b>Building Height:</b>	Phase 1 – max. 12 metres/3 storeys Phase 2 – max. 21 metres/6 storeys
<b>Unit Density:</b>	Overall site – 135 UPH / 55 UPA (net) Phase 1 – 28 UPH / 11.11 UPA (net) Phase 2 – 204 UPH / 82.2 UPA (net)
<b>Floor Area Ratio (FAR):</b>	Overall site – 1.0 (net) Phase 1 – 0.39 (net) Phase 2 – 1.44 (net)
<b>Total Floor Area</b>	Overall site – 50,205 m <sup>2</sup> Phase 1 – 7,888 m <sup>2</sup> Phase 2 – 42,314 m <sup>2</sup>
<b>Residential Units:</b>	
<b>Phase 1</b>	

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7915-0393-00  
 7915-0393-01

Planning Report Date: July 27, 2020



**PROPOSAL:**

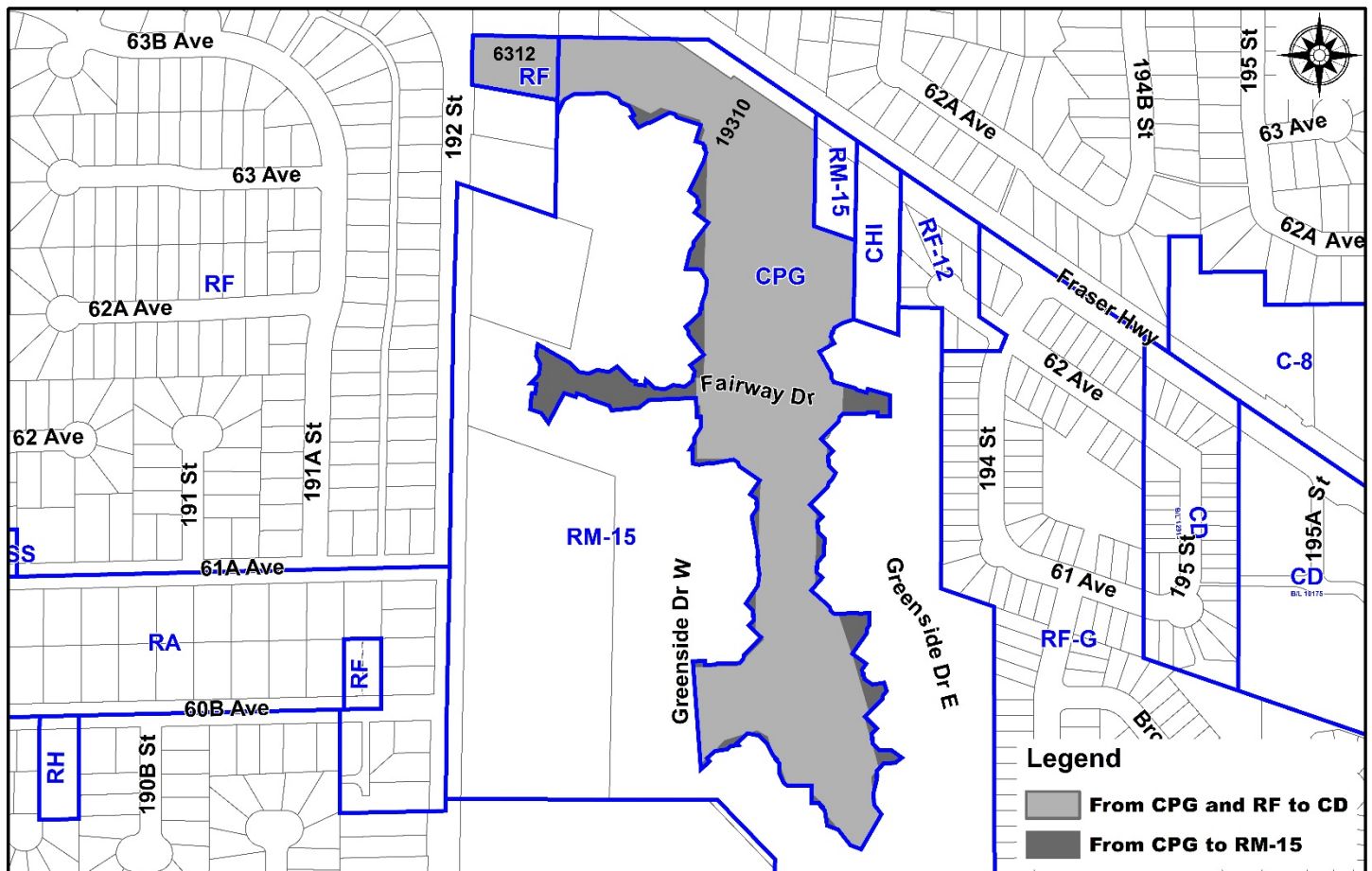
- **OCP Amendment** from Urban to Multiple Residential
- **Rezoning** from CPG and RF to CD (based on RM-45) and RM-15
- **General Development Permit**
- **Detailed Development Permit**
- **Development Variance Permit**

to permit the development of a two-phased development consisting of 7 mid-rise (up to 6-storey) apartment buildings and 55 townhouses totalling up to 650 dwelling units.

**LOCATION:** 19310 - Fraser Highway  
 6312 - 192 Street

**ZONING:** CPG and RF

**OCP DESIGNATION:** Urban



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning;
- Approval to draft a General Development Permit for Form and Character, Hazard Lands, and Sensitive Ecosystems for the entire site.
- Approval to draft a Detailed Development Permit for Form and Character (Phase 1 - townhouses).
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) to redesignate the site from Urban to Multiple Residential.
- Proposing to vary the Part 7A Streamside Protection setbacks from the top of bank for Class B Ditches.

## RATIONALE OF RECOMMENDATION

- The proposed OCP amendment from Urban to Multiple Residential is supportable to accommodate increased density and apartment built form along an existing Frequent Transit Network (FTN) corridor and future rapid transit (Skytrain) corridor along Fraser Highway.
- The applicant is seeking a density bonus in the form of an OCP amendment from Urban to Multiple Residential, and is therefore subject to the Tier 2 Capital Projects Community Amenity Contributions under the City's Capital Projects Community Amenity Contribution and Density Bonus Program and as outlined in Corporate Report R224.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Northeast Cloverdale given the proximity to two proposed SkyTrain stations on Fraser Highway at 190 Street and 196 Street and its location along the Frequent Transit Network (FTN) corridor. The proposed development will form part of an emerging higher-density corridor along Fraser Highway.
- The proposal includes a component of market rental units, which are in demand and desirable in Northeast Cloverdale, as well as a child care facility.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas).



- 
- The proposal complies with the Development Permit requirements in the OCP for Hazard Lands (Steep Slopes).
  - The proposal complies with the City's requirements for a General Development Permit in the OCP for Form and Character.
  - The proposed building setbacks and overall site design achieve a more urban, pedestrian-oriented environment in accordance with the Development Permit (Form and Character) design guidelines in the OCP. The proposed site setbacks and transfer of land along the periphery to the adjacent townhome strata will ensure a compatible building interface between the proposed development and the adjacent existing townhouse development.
  - The proposed mix of townhouses and apartment buildings achieve an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality, to achieve a positive urban experience between the proposed building and the public realm.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Urban to Multiple Residential and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone a portion of the subject site as shown as Block 1 on the attached Survey Plan (Appendix I) from "Golf Course Zone (CPG)" and "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. A By-law be introduced to rezone a portion of the subject site as shown as Block 2 on the attached Survey Plan (Appendix I) from "Golf Course Zone (CPG)" to "Multiple Residential 15 Zone (RM-15)" and a date be set for Public Hearing.
5. Council authorize staff to draft General Development Permit No. 7915-0393-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan.
6. Council authorize staff to draft Detailed Development Permit No. 7915-0393-01 for Phase 1 of the project (townhouses), generally in accordance with the attached drawings (Appendix I).
7. Council approve Development Variance Permit No. 7915-0393-00 (Appendix VII) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum setback distance for a Class B (yellow-coded) ditch from 7 metres to 2 metres.
8. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (g) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff; This finalized Ecosystem Development Plan and Impact Mitigation Plan must be reviewed by the Province to confirm that it meets the minimum RAPR and SPEA guidelines. The proposed drainage infrastructure within the RAPR SPEA does not conform to Provincial minimum setbacks and therefore a Fisheries Act Review will be required. The results of the Fisheries Act Review will determine if a Fisheries Act Authorization is required.
- (h) submission of a finalized Transportation Impact Assessment to the satisfaction of the Planning and Development Department;
- (i) submission of a Noise Study to the satisfaction of the Planning and Development Department and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
- (j) submission of a finalized peer-reviewed geotechnical report to the satisfaction of City staff;
- (k) registration of reciprocal access easements to ensure access for on-site residents to the proposed shared amenity facilities within the development;
- (l) registration of a Section 219 Restrictive Covenant to allow the tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (m) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (n) the applicant enter into a Housing Agreement with the City to secure a minimum of 10% of the overall dwelling units in both phases as market rental dwelling units, for a minimum of 20 years;
- (o) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (p) registration of a Section 219 Restrictive Covenant for "no build" on proposed Block A (Phase 2) requiring the applicant to provide an updated land valuation for Block A (Phase 2), based on the value of the land at the time of Final Adoption of the Rezoning, for the revised residential floor area and unit count proposed for Block A (Phase 2) at the time of the Detailed Development Permit submission, in order to determine whether a re-calculation of Tier 2 Capital Project CACs is required.

- (q) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all applicable Community Amenity Contributions should the market rental units be stratified and converted to market condominiums at any time after the Housing Agreement has expired;
- (r) registration of a mutually beneficial right-of-access and maintenance easement between the applicants and the adjacent Strata NW1218 (Greenside Estates Townhouses);
- (s) registration of a Section 219 Restrictive Covenant for "no build" on all riparian areas for the installation of restoration works, maintenance, and protection of the riparian areas;
- (t) an agreement in principle with the adjacent Strata NW1218 (Greenside Estates Townhouses) to install traffic-calming measures that do not reduce street connectivity; and
- (u) registration of a Section 219 Restrictive Covenant to ensure that the site is constructed in accordance with the geotechnical report.

#### SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant former golf course and vacant single-family residential lot.	Urban	CPG & RF
North (across Fraser Hwy):	Single family residential lots, vacant single family lots, 2-storey townhouses	Urban	RF, RM-15,
East:	2-storey townhouses, automobile dealership	Urban	RM-15, CHI
South:	2-storey townhouses (Greenside Estates)	Urban	RM-15
West:	2-storey townhomes (Greenside Estates) and stacked townhouses (currently under application 18-0253)	Urban	RM-15, RF

## Context & Background

- The subject site is 6.4 hectares in area and is currently designated as Urban in the OCP; the subject site is not within a Secondary Plan area. The site is currently zoned "Golf Course Zone (CPG)" and "Single Family Residential Zone (RF)". There have been no previous development applications related to these properties.
- The site consists of a former executive-sized golf course and a single-family residential lot. The property features steeper sloping grades at the north portion of the site near 192 Street and slopes gently to the south for the remainder of the site. Being a former golf course, the site features significant clusters of mature trees, a wet pond, a dry pond, as well as a drainage ditch that connects these ponds.
- The property has not been in operation as a golf course since the early 2000's.
- Land Use Contract No. 290, which once regulated development of the site, was terminated by Council on December 4, 2017.

## DEVELOPMENT PROPOSAL

- The applicant is proposing the following:
  - to amend the OCP designation on the site from Urban to Multiple Residential;
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to permit the development of 55 townhouse units and an amenity building with a child care centre in Phase 1, and seven 5 – 6 storey buildings in Phase 2.

## Planning Considerations

- The approximately 5.67 ha portion of the site being rezoned to "Multiple Residential 15 Zone (RM-15)" (Block 2 of Appendix I) is proposed to be subdivided from the subject site and sold to and consolidated with the adjacent Greenside Estates property for \$1. Over time, as a result of uncertainty with respect to ambiguous property line boundaries, a number of the Greenside Estates residents have planted privacy hedges adjacent to their units. Residents have expressed concerns about the potential loss of these privacy hedges.

- The applicant voluntarily worked with the adjacent Strata NW1218 (Greenside Estates Townhouses) to arrive at an agreement with respect to the property line adjustment and subsequent transfer of land. The proposed property transfer is intended to resolve this issue, which was one of the most significant concerns of the Strata residents by establishing clear and coherent property lines.
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- The applicant is proposing that 10% of the total unit count (up to 65 units) be market-rate purpose-built rental units. The applicant has agreed to enter into a Housing Agreement to secure the proposed purpose-built rental units for of a minimum of 20 years. Registration of this housing agreement will be a condition of Final Adoption of the proposed rezoning by-laws.
- The applicant is proposing to incorporate a publicly accessible child care centre into the amenity building in Phase 1 of the development.
- The "Comprehensive Development Zone (CD)" portion of the proposal (the project) is divided into two phases as shown in Schedule A of Appendix IV.
- Development details for the "Comprehensive Development Zone (CD)" portion of the proposal are provided in the table below:

	Proposed
<b>Lot Area</b>	
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<b>Total Floor Area</b>	Overall site – 50,205 m <sup>2</sup> Phase 1 – 7,888 m <sup>2</sup> Phase 2 – 42,314 m <sup>2</sup>
<b>Residential Units:</b>	
<b>Phase 1</b>	

	Proposed
2-Bedroom:	25
3-Bedroom:	30
Total:	55
<b>Phase 2</b>	
Studio:	-
1-Bedroom:	-
2-Bedroom:	-
3-Bedroom:	-
Total:	Up to 595 units. Unit mix to be finalized with submission of Form and Character Development Permit submission for Phase 2

**Referrals**

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **The School District has provided the following projections for the number of students from this development:**

Phase 1:  
 14 Elementary students at Latimer Road School  
 7 Secondary students at Clayton Heights Secondary School

Phase 2:  
 60 Elementary students at Latimer Road School  
 36 Secondary students at Clayton Heights Secondary School

(Appendix III)

Please refer to School Capacity Considerations section for further information.

Parks, Recreation & Culture: Parks notes that this application is subject to Tier 1 Capital Projects Community Amenity Contributions (CACs) as outlined in Schedule G of the Zoning By-law and Tier 2 CACs for OCP Amendments outside of Secondary Plan Areas, as outlined in Corporate Report R224.

Ministry of Transportation & Infrastructure (MOTI): MOTI supports the development in principal subject to a review of further information requested from the applicant and their transportation consultant. Final approval from MOTI is a condition of Final Adoption of the proposed rezoning.

Surrey Fire Department: A Building Permit may not be issued until a Construction Fire Safety Plan has been submitted, reviewed and accepted by the Fire Department.

Advisory Design Panel: The proposal was considered at the ADP meeting on May 28, 2020 and was supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report.

Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, and subsequent to that, through submission of Form and Character Development Permit for Phase 2, to the satisfaction of the Planning and Development Department.

### Transportation Considerations

- The site is proposed to be accessed through two street access points, one being through Fairway Drive in the centre of the site, and the other being at the northwest portion of the site at 192 Street.
- Fairway Drive is a privately owned street, a portion of which is being conveyed to the Greenside Estates Strata which surrounds the subject site on three sides. There is currently a right-of-access easement in favour of the applicant, however, the applicant is required to update that agreement to ensure mutual access for residents of both the existing and proposed development. The updated access easement will permit Greenside Estates residents who live on the east side of the subject site and the proposed development's future residents to utilize Fairway Drive to access 192 Street.
- The site is adjacent to two arterial roadways, Fraser Highway and 192 Street.
- There is currently no sidewalk on Fraser Highway adjacent to the subject site.
- The proposed development is located adjacent to the 192 Street on-street north/south bicycle route and approximately 140 metres away from the on-street 64 Avenue east/west bicycle route.
- The subject site is currently served by bus routes that run along the Fraser Highway FTN corridor, as well as along 62 Street and 64 Street (Routes 320, 364, 395, 502, and 503). Additionally, the subject site is located along the planned future Surrey-Langley Skytrain extension along Fraser Highway.
- The applicant is required to provide a finalized Transportation Impact Assessment ("TIA"). The TIA will inform improvements that will be required to service the additional traffic of the proposed development:
- All site street accesses will be constructed to operate at acceptable levels of service.
  - The applicant will be responsible for constructing improvements at nearby intersections as recommended by the TIA to mitigate impacts of site-generated traffic.



- The intersections at Fraser Highway and Highway 10, as well as 192 Street and Highway 10, are recommended for continued monitoring for operations and signal timing optimization. These intersections are under the jurisdiction of the Ministry of Transportation and Infrastructure ("MoTI") and the recommendations will be forwarded to MoTI for their consideration.

### **Natural Area Considerations**

- The subject site has a number of water features: a pond adjacent to Fairway Drive, a pond at the south end of the site, as well as a ditch that connects the two water features.
- It was determined that these watercourses eventually lead to McClellan Creek, thus providing nutrients to downstream fishbearing waters. As such, the ponds and ditch have been deemed to be Class B Watercourses and are subject to the City's Sensitive Ecosystem Development Permit Guidelines (Streamside Areas).
- To meet the Provincial Riparian Area Protection Regulations (RAPR), the applicants adhered to 15-metre setbacks from the north, west, and east pond boundaries and 30-metres from the south pond boundaries.
- There is a ditch that currently connects the two ponds which has been determined to be a Class B ditch in accordance with Part 7a of the Zoning Bylaw. Typically, this type of watercourse would require a 7-metre setback from the top-of-bank.
- Due to site constraints and the need to provide a north/south road in this portion of the site, the applicant is proposing to vary the 7-metre setback on the western side of the ditch to 2 metres (the minimum provincial Riparian Areas Protection Regulation setback) and to increase the setback on the eastern side. Although Class B ditches are not subject to Part 7a's Flex Provisions of the Zoning Bylaw, the proposed variance to reduce the west streamside setback and increasing the east streamside setback meets the intent of the Flex Provisions.
- All areas covered by the Sensitive Ecosystems Development Permit (Streamside) are proposed to have invasive species removed and will be replanted with native species.
- The streamside areas will not be publicly accessible or open to the residents of the proposed development to ensure a minimal amount of human disturbance in the natural areas. These areas will be fenced with a 1-metre high split-rail fence and protected by a Restrictive Covenant in perpetuity.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. This project will be required to meet a minimum of Step 2 of the BC Energy Step Code, and possibly Step 3 based upon the date of Building Permit Issuance.
- In addition, the applicant has highlighted the following additional sustainable features:
  - Occupancy sensors for LED lighting fixtures throughout

- Low water use, dual flush toilets
- Low E - double glazed windows
- Perforated paving for surface parking spaces
- Dark sky landscape and wayfinding light fixtures throughout the site
- Durable exterior building materials throughout

### **School Capacity Considerations**

- The School District has advised that Latimer Road Elementary School's enrolment has grown recently due to a boundary change in 2015. Further growth in the area will need to be accommodated with portables. As of September 2019, there are 7 portables on site used for enrolling space.
- The School District also notes that École Salish Secondary, which opened in 2018, will relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary Schools. A 500-student capacity addition for Clayton Heights is on the District 5-year Capital Plan. Please refer to Appendix III for details.
- In terms of the proposed development's phasing, the townhouse portion of the project (Phase 1) is proposed to be ready for occupancy in spring of 2022. The timing of the apartment portion (Phase 2) will be dependent on market conditions and there may be a separate sequencing of construction for the seven proposed buildings to be developed within that phase. Once the development timelines for Phase 2 are confirmed, the details will be communicated to the School District to allow the School District to plan for anticipated growth accordingly.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The subject site is located within and complies with the General Urban Land Use Designation of Metro Vancouver's Regional Growth Strategy.

### **Official Community Plan**

#### Land Use Designation

- The subject site is currently designated as Urban in the OCP and is located along an existing FTN corridor (Fraser Highway). As outlined below, the Urban designation for sites abutting FTN corridors is proposed to support up to 72 units per hectare (30 upa); however, this designation does not support any zone that achieves a Floor Area Ratio high enough to facilitate the proposed development.

#### Amendment Rationale

- In December 2018, the Metro Vancouver regional Mayor's council on Transportation directed TransLink to proceed immediately with planning and project development for a Surrey Langley SkyTrain project. Stations have been planned at 190 Street and 196 Street in close proximity to the subject site.

- On April 1, 2019, Council received Corporate Report R059 "Fraser Highway SkyTrain Corridor – Land Use Planning Review and Related Official Community Plan Update" for information and also authorized staff to commence the planning review and to amend the OCP to reflect the approved Surrey-Langley SkyTrain Extension.
- On February 10, 2020, Council received Corporate Report R023 "Fleetwood Plan Update" for information. Within this report, the Interim Surrey-Langley Skytrain Development Contribution Expectations Policy is proposed. The Interim Surrey-Langley Skytrain Development Contribution Expectations Policy outlines direction on the consideration of rezoning applications requiring Plan amendments while the Fraser Highway Corridor planning process is underway.
- This application, because of the size of the site and the complexities of the proposed development, has been deemed to have merit to move forward under Policy 5, which states that applications along the corridor may be considered in advance of an approved Secondary Plan on a case-by case basis at the discretion of the Planning and Development Manager.
- On June 24, 2020 Council endorsed Corporate Report R102 "Density Adjustments for Sites Abutting Frequent Transit Networks". This proposed amendment supports transit-oriented densities for sites abutting Surrey's FTN corridors. The associated amendments to the OCP and Zoning By-law received Third Reading from Council after a Public Hearing on July 13, 2020.
- The applicant is proposing to redesignate the site to Multiple Residential in the OCP, which will allow for a Floor Area Ratio of up to 1.5 (and up to 2.0 FAR, should Council grant Final Adoption to the proposed densities for sites abutting FTN corridors, calculated on the net site area). The proposed development's resultant net Floor Area Ratio (FAR) for the overall site is 1.02.
- The proposed OCP amendment to the Multiple Residential designation will provide appropriate density and built form supportive of the future adjacent planned SkyTrain extension on Fraser Highway, and for the Fraser Highway FTN corridor.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- In accordance with Density Bonus Policy O-54, the applicant will submit a Market Report and Financial Analysis to determine the value of the land lift. The report will be reviewed by City staff to determine the 75% land lift contribution value in order to satisfy the proposed OCP Amendment. The applicant will be required to provide this contribution prior to final adoption.

## PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

### Themes/Policies

- The proposed development complies with the following themes and policies in the OCP:
  - The Multiple Residential OCP designation is intended to support higher-density residential development along Frequent Transit Corridors, subject to creating an appropriate interface with adjacent lower-density residential neighbourhoods. Residential uses in this designation may include apartment buildings, generally up to 6 storeys.

*(The applicant is proposing to amend the site's OCP designation to Multiple Residential as the site is adjacent to Fraser Highway which is a Frequent Transit Corridor to allow for the development of up to 6-storey buildings in the north portion of the property. The proposed site plan, building location and massing, and tree retention strategy act to ensure an appropriate interface with adjacent lower-density development.)*

- A1.1 – Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy* (RGS) (2011).

*(The proposed development is a more efficient use of the land and is consistent with the RGS.)*

- A1.2 – Ensure that urban development occurs within the Urban Containment Boundary.

*(The subject site is located within the Urban Containment Boundary.)*

- A1.3 – Accommodate urban land development according to the following order of growth management priorities:
  - a. City Centre, Town Centre, Urban Centre, Frequent Transit Development Areas and Skytrain Corridor Planning Area locations well-served by local services, infrastructure, and transit.
  - b. Vacant or under-developed commercial, mixed-use and multi-family locations in existing urban areas, particularly along transit corridors and areas well-served by existing community amenities and infrastructure.
  - c. Serviced infill areas and redevelopment sites in appropriate locations within existing residential neighbourhoods, when developed compatibly with existing neighbourhood character.

*(The proposed development is located on a vacant property that is adjacent to a Frequent Transit corridor and within a Skytrain Corridor Planning Area.)*

- A1.5a – Support Frequent Transit Corridors, Frequent Transit Development Areas (FTDA) and Skytrain Corridor Planning Areas (Appendix XII) as priority development areas for Surrey to accommodate an increased proportion of density and growth.

*(The proposed development will increase residential density along the planned Surrey-Langley Skytrain corridor, which will support the viability of the rapid transit line.)*

- A2 Accommodating Higher Density – Direct higher-density development into Surrey's City Centre, Town Centres and Frequent Transit Corridors.

*(The subject site is located adjacent to a Frequent Transit Corridor making it suitable site for higher density development.)*

- A2.1 – Direct residential and mixed-use development into Surrey's City Centre, Town Centres, Urban Centres, Skytrain Corridor Planning Areas along Frequent Transit Corridor at densities sufficient to encourage commercial development and transit service expansion.

*(The proposed development is located along a Frequent Transit Corridor within a Skytrain Corridor Planning Area and is proposed at a density to encourage commercial development and transit service expansion.)*

- A2.5 – Concentrate high-rise buildings taller than six storeys to within Surrey's City Centre and Town Centres, consistent with approved Secondary Plans.

*(The proposed development is not located within Surrey's City Centre or any one of the Town Centres. As such, the proposed building heights in Phase 2 respect the six-storey height limit.)*

- A2.6a – Ensure redevelopment along Frequent Transit Corridors, Frequent Transit Development Areas (FTDA) and Skytrain Corridor Planning Areas are required to be sufficient enough to support rapid transit infrastructure investments.

*(The subject site is located adjacent to a Frequent Transit Corridor within a Skytrain Corridor Planning Area. The proposed density is considered sufficient to support rapid transit infrastructure investments.)*

- A3.1 – Permit gradual and sensitive residential infill within existing neighbourhoods, particularly in areas adjacent to Town Centres, neighbourhood centres and transit corridors, in order to support significant transit improvements, utilize existing transportation infrastructure and implements improvements to the public realm.

*(The proposed development's building massing and siting, landscaping, as well as the tree retention plan will ensure an appropriate interface with adjacent development while also being at a density high enough to support transit improvement.)*

- A3.2 – Encourage the development of remaining vacant lands in urban neighbourhoods to utilize existing infrastructure and amenities and to enhance existing neighbourhood character and viability.

*(The subject site is currently vacant; the proposed development will better utilize existing infrastructure and amenities.)*

- A 3.4 - Retain existing trees and natural and heritage features in existing neighbourhoods, where possible, in order to preserve neighbourhood character and ecology.

*(The proposed development features significant tree retention, especially along the periphery, as well as the retention and enhancement of other ecological features within the site.)*

- A3.5 – Support infill development that is appropriate in scale and density to its neighbourhood context and that uses compatible design to reinforce neighbourhood character.

*(The proposed development's building massing and siting, as well as the tree retention plan will ensure development that is appropriate in scale and density with the surrounding built form.)*

- B3 - Transit Corridors – Support Transit Oriented Development along major corridors linking urban centres and employment areas.

*(The proposal features higher density residential development adjacent to planned rapid transit development and can be considered to be a transit-oriented development.)*

- B3.1 – Support higher-density residential, commercial and mixed-use development in appropriate locations along existing and planned Frequent Transit Corridors and Skytrain Corridor Planning Areas (see Appendix XII).

*(The proposed higher density portion of the development is located adjacent to a Frequent Transit Corridor within a Skytrain Corridor Planning Area.)*

- B3.5 – Ensure that densities along Frequent Transit Corridors and within FDTA and Skytrain Corridor Planning Areas are sufficient to support rapid transit infrastructure investments.

*(The subject site is adjacent to a Frequent Transit Corridor and is within a Skytrain Corridor Planning Area and the proposed density is sufficient to support rapid transit infrastructure investments.)*

- B4.6 – Direct higher residential densities to locations within walking distance of neighborhood centres, along main roads, near transit routes and adjacent to major parks or civic amenities.

*(The proposal seeks to increase density on a site along a main road and adjacent to transit routes and between two proposed Skytrain stations.)*

- B4.9 – Plan for housing units to front onto riparian and green areas, where possible, to increase visibility into those areas and to increase the amenity features for those residents.

*(Many of the townhomes proposed in Phase 1 will either front or back onto the retained environmental areas increasing passive surveillance of those areas.)*

- B4.24 Protect and retain significant trees; forest stands and other natural features within new and existing neighbourhoods.

*(The proposal seeks to retain a significant number of mature trees – many along the periphery and water features that feed nutrients into fish-bearing watercourses.)*

- B4.25 Incorporate natural open drainage systems and green infrastructure features into neighbourhood plans.

*(The existing ponds and drainage ditch that are proposed to be retained are existing open drainage systems.)*

- B4.31 - Limit direct access to arterial roads by supporting the use of rear lanes to provide private property vehicle access.

*(The proposed development is not proposing direct access to Fraser Highway and all proposed accesses are to 192 Street via a new lane at the north end of the site as well as through the existing Fairway Drive in the middle portion of the site.)*

- B6.4 – Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

*(The proposed development's building massing and siting, as well as the tree retention plan will ensure development that is appropriate in scale and density with the surrounding built form.)*

- C2.5 – Encourage development patterns, densities and designs that support transit services and that promote efficient walking and cycling.

*(The proposed density is high enough to support rapid transit service and the proposed site design creates a comfortable pedestrian environment, with internal pedestrian pathways designed to connect to the broader existing and future walking and cycling network.)*

- C2.14 – Accommodate consistent flows of traffic along high-volume streets by restricting the number of driveways that directly access arterial roads.

*(The proposed development is not proposing a direct access to Fraser Highway due to the fast-flowing traffic and topography in that section of road. The proposed accesses to 192 Street were supported as it is the only alternative road access and carries lower traffic volumes.)*

- D2 Hazard Lands – Reduce exposure to natural hazards through the appropriate location and design of development.

*(The northwest portion of the subject site is within the buffer area of a Hazard Lands – Steep Slope Development Permit Area. The applicant has provided a geotechnical report that has been reviewed and found to meet OCP guidelines for steep slope areas. This report will need to be peer-reviewed and finalized as a condition of Final Approval.)*

*A Restrictive Covenant will be registered against the title requiring the proposed development be constructed in accordance with the geotechnical report. Please refer to the Hazard Lands (Steep Slope) Development Permit Requirement section later in this report for more information.)*

- D3 Greener Site Development – Encourage and implement greener development and building practices to improve water, air, soil and habitat quality.

*(The proposed development includes retention of existing ponds and watercourses that feed nutrients into downstream fish bearing habitat. As part of this retention, the applicant proposes to remove invasive species from the riparian areas adjacent to the water features and replace with native plant species. These areas will be fenced off to limit human intrusion providing habitat areas for local wildlife.)*

- D3.3 – Maximize the retention of existing native vegetative cover on development sites to help provide environmental benefits by controlling development-caused erosion and runoff.

*(The applicants are proposing to retain a significant number of mature trees on the site and to retain watercourses and their associated riparian areas providing erosion and water retention benefits.)*

- D3.4 – Encourage the planting of native plants adapted to local soil and water conditions to enhance local wildlife habitat, micro-climates and air quality.

*(The riparian areas adjacent to the wet pond, dry pond, and the drainage ditch that connects them are proposed to be weeded of invasive plant species and replanted with native plant species. The retained natural areas will provide habitat for local wildlife.)*

- D3.5 – Use and install wildlife-supporting plant communities that provide food, nutrients and habitat.

*(The riparian areas are proposed to be weeded of invasive plant species and replanted with native plant species. The retained natural areas will provide habitat for local wildlife and nutrients for downstream fish habitats.)*

- F6.16 – Encourage large employers and the developers of commercial and multi-family developments to provide an on-site amenity space for childcare.

*(The proposed development includes a public Childcare Facility in the Amenity Building proposed in Phase 1.)*



## CD By-law

- The applicant proposes to rezone the subject site from "Golf Course Zone (CPG)" and "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on RM-45) and "Multiple Residential 15 Zone (RM-15)".
- The portion of the site being rezoned to "Multiple Residential 15 Zone (RM-15)" (Block B of Appendix I) is proposed to be subdivided and consolidated with the adjacent Greenside Estates property. Over time, as a result of uncertainty with respect to ambiguous property line boundaries, a number of the Greenside Estates residents have planted privacy hedges adjacent to their units. Residents have expressed concerns about the potential loss of these privacy hedges. As noted previously, the applicant worked closely with the adjacent Strata to complete the proposed property transfer, which is intended to resolve the issue by establishing clear and coherent property lines.
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed two phased master-planned development on the subject site.
- Phase 1, defined by Block B of the Survey Plan (Appendix I), is proposed to facilitate the development of 55 townhouse units.
- Phase 2, defined by Block A (Appendix I), is proposed to facilitate the development to up to 595 apartment dwellings in 7 buildings.
- The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 45 Zone (RM-45)" Zone.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-45 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-45 Zone (Part 23)	Proposed CD Zone	
		Phase 1 (Block B)	Phase 2 (Block A)
<b>Unit Density:</b>	Max. 111 UPH	Max. 135 UPH	
<b>Floor Area Ratio:</b>	Max. 1.30	Max. 1.03	
<b>Lot Coverage:</b>	Max. 45%	Max. 35%	
<b>Yards and Setbacks</b>	Min. 7.5 m	Min. 5.0 m	Min. 2.7 m
<b>Principal Building Height:</b>	Max. 15 m	12 m	21 m
<b>Permitted Uses:</b>	Multiple unit residential buildings, Ground-Oriented Multiple Unit Residential Buildings, and Childcare Centres.	Ground-Oriented Multiple Unit Residential Buildings, and Childcare Centres.	Multiple unit residential buildings.
<b>Amenity Space</b>			
Indoor Amenity:	<ul style="list-style-type: none"> <li>• 3.0 sq. m per dwelling unit;</li> <li>• 1.0 sq. m per lock-off suite; and</li> <li>• 4.0 sq. m per micro unit.</li> </ul>	<ul style="list-style-type: none"> <li>• 3.0 sq. m per dwelling unit;</li> <li>• 1.0 sq. m per lock-off suite; and</li> <li>• 4.0 sq. m per micro unit.</li> </ul>	
Outdoor Amenity:	<ul style="list-style-type: none"> <li>• 3.0 sq. m per dwelling unit;</li> <li>• 1.0 sq. m. per lock-off suite; and</li> <li>• 4.0 sq. m per micro unit.</li> </ul>	<ul style="list-style-type: none"> <li>• 3.0 sq. m per dwelling unit;</li> <li>• 1.0 sq. m. per lock-off suite; and</li> <li>• 4.0 sq. m per micro unit.</li> </ul>	
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls (for Multiple Unit Residential Dwellings)</b>			
Residential Ground-Oriented:	<ul style="list-style-type: none"> <li>• 2 parking spaces per dwelling unit;</li> </ul>	<ul style="list-style-type: none"> <li>• 2 parking spaces per dwelling unit;</li> </ul>	
Residential Non Ground-Oriented:	<ul style="list-style-type: none"> <li>• 1.3 parking spaces per dwelling unit with 1 or no bedrooms; plus</li> <li>• 1.5 parking spaces per dwelling unit with 2 or more bedrooms;</li> </ul>	<ul style="list-style-type: none"> <li>• 1.3 parking spaces per dwelling unit with 1 or no bedrooms; plus</li> <li>• 1.5 parking spaces per dwelling unit with 2 or more bedrooms;</li> </ul>	
Residential Visitor:	<ul style="list-style-type: none"> <li>• 0.2 parking space per dwelling unit</li> </ul>	<ul style="list-style-type: none"> <li>• 0.2 parking space per dwelling unit</li> </ul>	
Tandem (%):	<ul style="list-style-type: none"> <li>• Max 50%</li> </ul>	<ul style="list-style-type: none"> <li>• Max 50%</li> </ul>	

<b>Bicycle Spaces</b>		
Residential Secure Parking:	<ul style="list-style-type: none"> <li>• 1.2 bicycle spaces in a secure bicycle parking area per dwelling unit; and</li> </ul>	<ul style="list-style-type: none"> <li>• 1.2 bicycle spaces in a secure bicycle parking area per dwelling unit; and</li> </ul>
Residential Visitor:	<ul style="list-style-type: none"> <li>• 6 visitor bicycle spaces per multiple unit residential building.</li> </ul>	<ul style="list-style-type: none"> <li>• 6 visitor bicycle spaces per multiple unit residential building.</li> </ul>

- The key differences between the RM-45 Zone and the proposed CD Bylaw are as follows:
  - Between the two phases, based on net site area, the proposed development has a proposed density of 131.75 units per hectare and 1.02 FAR. This compares as a slightly higher units per hectare density and a slightly lower FAR than the RM-45 Zone.
  - The maximum site coverage is more restrictive in both Blocks than the RM-45 Zone.
  - The setbacks in the CD Bylaw are a reduction from those found in the RM-45 Zone and are designed to create a more urban, pedestrian oriented design environment, appropriate for a rapid transit corridor, in accordance with OCP design guidelines.
  - Block B features a lower maximum height and Block A features a higher maximum height than the RM-45 Zone.
  - The Indoor and Outdoor Amenity Area requirements are the same as the RM-45 Zone; however, they are being averaged over both phases of the project. This ensures that the apartment residents have access to the Community Hub Amenity Building being built in the townhouse phase of the development (see Indoor Amenity and Outdoor Amenity sections for more detail).
  - The applicant will be required to register a reciprocal access easement across the site to ensure residents of both phases have access to the amenity areas.

Streamside Variance

- The applicant is requesting the following streamside variance:
  - to reduce the minimum setback distance for a Class B (yellow-coded) ditch from 7 metres to 2 metres.
- The variance above is proposed due to the location of the north/south drainage ditch that connects the wet pond in the middle of the site and the dry pond at the south end of the site, which is at the narrowest portion of the subject site. This will ensure sufficient space is provided for both the adjacent units and a drive aisle. The applicant is proposing to offset the reduced setback on the west side of the stream with a greater setback on the eastern side, similar to the flex provisions that can be applied to other stream classifications.
- The applicant is proposing to remove invasive plant species from the riparian areas of the site and replant them with native species.

- The proposed setbacks comply with the provincial RAPR.
- Staff support the requested variance to proceed for Public Notification.

### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs and will provide \$2,000/unit if final adoption of the Rezoning By-law is approved by December 31, 2020. The contribution rates will be introduced based on a three-phase schedule, with rates increasing as of January 1, 2021. The proposed development will be required to pay at the rate applicable at the time of Final Adoption, prior to the issuance of the Building Permit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the current OCP designation allows.
- Although the proposed development is seeking an OCP Amendment to which Tier 2 CACs apply, purpose-built rental units (when secured through a Housing Agreement) are exempt from the density bonus amenity provisions of the policy.
- In accordance with Density Bonus Policy 0-54, the applicant will be required to provide a Market Report and Financial Analysis to determine the value of the land lift, and will be required to provide a contribution in accordance with the Density Bonus Policy prior to Final Adoption in order to satisfy the proposed Official Community Plan Amendment.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 10, 2018, this contribution does not apply.

### **Public Art Policy**

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.25% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

## PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 3, 2020 and updated on June 3, 2020, and the Development Proposal Signs were installed on April 14, 2020. Staff received 34 responses from citizens (*staff comments in italics*):
  - There was a general sentiment that the proposed development was too dense and that the scale should be more appropriate for the context. Certain respondents felt that the 3-storey townhouses were too tall as compared to the adjacent 2-storey Greenside Estates townhomes and that the proposed 6-storey apartments height was far beyond what was appropriate given the adjacent existing built form.

*(As the Fraser Highway corridor is an FTN corridor and is proposed for a SkyTrain extension, there is justification to intensify land uses and density adjacent to Fraser Highway.*

*The site plan has the densest portion of the proposed development directly adjacent to Fraser Highway. The three-storey townhouse form proposed for Phase 1 is considered to be an appropriate contextual fit for the south portion of the site. The higher-density apartments proposed in Phase 2 have been located a considerable distance from buildings on adjacent lots ensuring adequate separation space and most trees along the property line will be retained which create a visual buffer between existing and proposed buildings.*

- Another common theme of concern was regarding the increase in traffic that the proposed development would bring to the community. Several residents raised concerns that the increase in vehicular traffic posed a danger to children walking to Latimer Road Elementary School. There were also concerns about increased congestion on 192 Street and more cross-cutting between Fraser Highway and 64 Avenue through 194/194A Streets, to the east of the subject site. Finally, there were concerns about increased noise and air pollution from elevated traffic levels.

*(The applicant has submitted a Transportation Impact Assessment [TIA] in support of their application. As per the TIA findings and recommendations, the applicant will be constructing improvements at the nearby intersections to mitigate impacts of development-related traffic.*

*It is not anticipated that the proposed development will contribute significantly to increased traffic on 194 Street/194A Street east of the subject site; any site-generated traffic travelling on these streets would need to travel approximately one additional kilometre to access the surrounding road network, and as such these streets are not anticipated to be used as shortcutting routes.)*

- Nearby residents raised concerns about the proposed development's traffic cross-cutting through the strata's private roadways. The Greenside Estates residents also raised concerns about structural impacts to their homes and the strata's infrastructure over the course of construction. A concern was also raised about Greenside Estates' Visitor Parking stalls along Fairway Drive.

*(The applicant has agreed to work with the residents and strata of Greenside Estates to find mutually beneficial traffic calming solutions to the anticipated increased traffic levels. The applicant's contractors will be required to follow appropriate construction methods.)*

- A desire for the proposed development to take access directly from Fraser Highway was expressed to minimize traffic moving through the Greenside Estates property.

*(The proposed site accesses are forecasted to operate at acceptable levels and well below capacity. Typically, direct accesses to arterial roads, in particular high-volume arterial roads such as Fraser Highway, are avoided where possible to minimize operational and safety issues.)*

- Almost all respondents raised concerns about the impact on Latimer Road Elementary School's enrollment noting the school already has unsustainable student levels with children currently being taught in portables for many years.

*(The proposed application was forwarded to the Surrey School District for comment. The development is proposed to be phased giving the School District time to plan for future growth.)*

- Concerns were raised about the capacity of infrastructure in the area (water, sewer, roads, parks, etc.) and services to accommodate additional residents.

*(The proposed development has been reviewed by the City Engineering Department, Transportation Services Section, and Parks and Recreation Department. Any additional infrastructure required to facilitate the construction of the proposed development will be installed at the applicant's cost. Through the payment of Community Amenity Contributions, the applicant will be funding improvements to the City's infrastructure including Parks and Recreation.*

*Additional population will create a demand for additional services which the private sector is expected to be able to fill.)*

- Several respondents also raised concerns about the wildlife that currently inhabits the site, the loss of greenspace, as well as the loss of mature trees.

*(The applicant is proposing to retain all the water features on the site as well as their associated riparian areas, ensuring a significant area of wildlife habitat is protected from development in perpetuity. Additionally, the applicant is proposing to retain 172 of 320 mature trees on the site which have habitat value and act as a visual amenity and privacy screen to the adjacent properties.)*

- Certain respondents indicated that they felt the City should acquire the property for Parks' purposes with one respondent advocating for the site's use as an off-leash dog park.

*(Parks had indicated that the subject site is not suitable for parkland purposes as it is largely inaccessible to the public given that it is largely surrounded by private development.)*

- A number of residents raised concerns about potential negative impacts to their property resale values from the proposed development.

*(Densification is generally supported by various OCP policies along Frequent Transit Corridors, particularly as this site is located adjacent to the planned extension of the Surrey Langley SkyTrain.*

*Property values are evaluated by BC Assessment, but long-term trends in the Lower Mainland, including Surrey, have generally shown an increase to property values. Studies have demonstrated that increases in neighbourhood density are not correlated with declines in single-detached home values. Communities with diverse housing options are healthy and tend to retain and increase value over time.)*

- Certain respondents indicated that they purchased into their community on the basis that it would remain a lower-density community. They feel that they have a right to expect stability in their neighbourhood and that a change to the current make-up of the community would be a violation of that right.

*(The subject proposal is consistent with the policy direction of the OCP, which supports higher densities in Skytrain Corridor Planning Areas. The proposed development is deemed to have merit given the proximity of the site to transit including future rapid transit along Fraser Highway.)*

- The subject development application was forwarded to the Cloverdale Community Association (CCA) for comment. Staff have been advised by the CCA that the CCA has been made aware of concerns from residents of the Greenside community about increased traffic through their townhouse community resulting from this development, and that the CCA recommends that a driveway access from Fraser Highway be provided to accommodate this proposed development to address the concerns of Greenside residents.

### **Public Information Meeting**

Due to the COVID-19 pandemic, the applicant opted to host a series of virtual Public Open Houses. Three online information sessions were held at three different times by Brook Pooni and Associates over May 6 and May 7, 2020. The online information sessions provided an opportunity for the public to learn about the proposal and participate in a live question and answer session that was held at three different times during both dates.

Feedback was provided in three ways: comment form submissions, through e-mail, and by providing comments or questions on the live question and answer section during the online information sessions. Approximately 302 individuals participated in the online information sessions and there were over 1,026 website views between May 4 and May 25, 2020. A total of 24 comment forms were received but only 23 were submitted with feedback pertaining to the project.

Of the 23 comment forms received:

- 8 responses (35%) indicated support or were neutral for the proposal;
- 6 responses (26%) indicated support with questions; and
- 9 responses (39%) indicated concerns about the proposal.

Through feedback provided on comment forms, in the question and answer sessions and email, the following themes emerged:

- Support for the mix of housing;
- Support for urban design and environmental features;
- Support for density on Fraser Highway; and
- Concerns about transportation impacts, access, and noise.

## Traffic Calming Discussion with Greenside Estates Strata

On July 16, 2020, the applicants held a meeting with the Greenside Estates Strata to discuss traffic calming solutions and mitigation measures. Concerns were raised about the potential impact of increased traffic on Greenside Estates' narrow private roadways which lack sidewalks. Solutions such as additional speed bumps, reciprocal access for residents of both properties, better signage, raised crossings and intersections were presented. The applicant and Greenside Estates will continue to work towards a traffic-calming solution in advance of Final Approval of the proposed development.

## DEVELOPMENT PERMITS

### Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse which includes the existing pond in the middle portion of the site, an existing pond in the south portion of the site, and a drainage ditch that connects them. These water features provide fish nutrients to McLellan Creek. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Provincial Riparian Area Protection Regulations, the site's ponds are considered wetlands and require a minimum setback of 15 metres on the east, north, and west side. A 30-metre minimum setback is required from the south side to ensure sun exposure to the wetland. These distances are measured from the top of bank. The proposed setbacks comply with the requirements outlined in the RAPR.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 7 metres, as measured from the top of bank. The watercourse that connect the north pond and south pond is considered to be a Class B ditch. The proposed setbacks partially comply with the requirements outlined in the Zoning By-law. The applicants are seeking a variance to reduce the west streamside setback from 7 metres to 2 metres as the site narrows at this point resulting in situation where it is challenging to install infrastructure. The area lost on the west side is to be compensated on the east side of the ditch.
- The riparian area will be protected through the registration of a Restrictive Covenant against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity, in compliance with the OCP.
- A preliminary Ecosystem Development Plan, prepared by Libor Michalak, *R.P. Bio.*, of Keystone Environmental and dated March 12, 2020 was reviewed by staff. A completed and accepted EDP with planting plan, CEMP and cost estimate must be submitted to the City and reviewed by the Environmental Planner. The finalized report and recommendations will be incorporated into the Development Permit.



### **Hazard Lands (Steep Slope) Development Permit Requirement**

- The subject property falls within the buffer zone of the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that a portion of the site is within 30 metres from the top of a slope/or 10 metres from the base of a slope in excess of 20%. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The steepest slopes can be found at the north west portion of the site close to 192 Street. Generally, the rest of the site slopes gently towards the south.
- A geotechnical report, prepared by Joseph (Insoek) Oh, *P. Eng.*, and Stuart Hryσιο, *P. Eng.*, of Braun Geotechnical and dated December 21, 2016. The report was reviewed by staff and found to conform to the OCP Development Permit guidelines for Hazard Lands. The finalized peer-reviewed geotechnical report will be incorporated into the Development Permit.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development the site and proposing recommendations to ensure the ongoing stability of the slope.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including temporary unsupported slope cuts or the use of shoring, structural fill, and trench backfill.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

### **Form and Character Development Permit Requirement**

- Phase 1 of the proposed development, on the south side of Fairway Drive is subject to a Development Permit for Form and Character. Phase 2 of the proposed development, on the north side of Fairway Drive is seeking a General Development Permit at this time and will apply for a Detailed Form and Character Development Permit at a later date.
- Phase 1 of the proposed development generally complies with the Form and Character Development Permit guidelines.
- Phase 2 of the proposed development also generally complies with the Form and Character Development Permit guidelines as they relate to siting, general building massing, height, building setbacks, interfaces, pedestrian and vehicular accesses and outdoor amenity locations, and tree retention.
- The site's density is primarily focussed north of Fairway Drive with a logical transition to townhomes at the south end of the site. This strategy places more residents within a shorter walking distance to public transit on Fraser Highway.

- The applicant has worked with staff to lay out the site to locate higher density, four-six storey apartments at the north end of the site in order to support the proposed Skytrain and other transit services, while siting lower scale townhomes at the south end of the site to be contextually appropriate and capitalize on the retained natural areas and ponds.
- Furthermore, providing local amenities such as, natural areas, ponds, multiple pathway connections, and outdoor amenities will serve the new residents. The site is anchored by a pedestrian-friendly north/south axis on which there is a triangular shaped outdoor amenity space and the proposed two-storey amenity building with child care across from the existing wet pond.
- The subject site is almost entirely surrounded by the Greenside Estates townhouses which were developed in the 1970s. Developing a site plan to ensure a contextually-sensitive transition while also pursuing an increase in density at the north portion of the site required City staff and the applicant's design team to pay particular attention to setbacks and separation distances between existing and proposed development. In order to respect the concerns of the adjacent residents, the applicant is retaining as many of the mature trees on the subject site as possible in order to maintain a privacy screen between the existing and proposed developments.
- Phase 1 of the proposed development features 55 townhomes in eleven buildings will be comprised of 30 three-bedroom units and 25 two-bedroom units and the units have been sited to provide a sensitive interface with the adjacent Greenside Estates townhomes.
- In Phase 2, the proposed architectural form incorporates ground-oriented units with the buildings sited to take advantage of the natural grade and to provide an appropriate interface with the sidewalks, internal roads, and site's common areas.
- Building materials consist of hardi-board in a variety of neutral tones, EIFS with brick, decorative metal grills and picket railings as accent features.
- The townhouse buildings throughout the site have been located in clusters of between two (2) and seven (7) units per building to maximize tree preservation, landscaping, and accessibility with a maximum permitted height of 11 metres (36 feet) respecting the scale and character of the adjacent existing development.
- The townhouse units' range in size from 110 square metres to 136 square metres, comprised of two and three-bedroom units.
- Each of the 55 townhouse units will contain garages at the ground floor with a living room, dining room and kitchen on the second floor, and bedrooms on the upper floor. Nineteen units (35% of the 55 units) are proposed to utilize a tandem parking configuration.
- Each townhouse unit will have a private outdoor space and all units will include balconies.
- Phase 1 also features the Indoor Amenity building which will serve both phases of the project.

- Phase 2 will consist of 7 four to six storey buildings. The buildings have been sited and stepped with specific attention to ensuring privacy and compatibility with the grade and surrounding development.
- Phase 2 underground parking structures have been pulled back from the sidewalks, allowing for planting boulevard trees, and ensuring the appropriate environment to grow and form a pleasant and walkable road in the middle of the site.
- Phase 2's building has been situated to ensure an adequate separation distance to the adjacent Greenside Estates buildings, and to create a pedestrian-scaled internal street at the interior of the development.
- The top storeys of both buildings are proposed to be stepped back from the primary building face to minimize shadow and overlook impacts on the adjacent townhouse development.
- The massing of the buildings has been scaled to be more compatible with the lower-scale buildings in the area and the applicant has incorporated a variety of the materials and colours to create a visually articulated and interesting development.
- There are multiple outdoor amenity areas envisioned for each building and Phase 2 will also feature a larger triangular-shaped outdoor amenity area framed by the buildings.
- Greater details for Phase 2 will be provided with the submission of a detailed Form and Character Development Permit application.

### Landscaping

- The proposed landscaping includes pathways around the site, a variety of trees and shrubs, benches, community garden boxes, a playground, and outdoor lounging areas for the passive recreational use of the buildings' residents.
- Between Townhouse buildings 1 and 2, a bioswale is proposed which will act to supplement the connectivity of the preserved natural areas in this area of the development.
- In addition to the mature trees retained around the perimeter of the site, the landscape plan proposes to plant additional screening trees to ensure greater privacy for the adjacent existing development's and the proposed development's residents.
- Three entry plazas and one accessible ramp are proposed along the Fraser Highway interface of the proposed development once the pedestrian connections adjacent to the subject site to Fraser Highway are completed in the future.

### Indoor Amenity

- The indoor amenity areas are distributed as follows:
  - Phase 1 will feature a 1,099.6 sq. m. (11,836 sq. ft.) two-storey indoor amenity building. The facility will include a community room, yoga room, fitness centre, billiards room, craft room and child care facility. This building will be constructed in Phase 1 but will be accessible to residents of both phases of the project.
  - Phase 2's buildings are also proposed to feature indoor amenity spaces located throughout the buildings. In some cases, these spaces are centrally located between the buildings under connecting atriums to maximize sunlight access.
  - The programming and features of Phase 2's indoor amenity spaces will be detailed when the detailed Form and Character Development Permit is applied for.
  - Overall, the proposed development exceeds the minimum requirement of 3 sq. m. of indoor amenity space per unit.

### Outdoor Amenity

- The outdoor amenity areas are distributed as follows:
  - Phase 1's outdoor amenity areas will feature a play area, adjacent to a portion of the retained natural area, as well as the proposed child care's outdoor area.
  - Phase 2's outdoor amenity areas are distributed throughout the site. The primary outdoor amenity area is the triangular shaped courtyard. There are also two mid-building plazas and two spaces located behind building's 4 and 5, respectively.
  - The outdoor amenity areas will feature a variety of programming throughout the site, including:
    - play structures;
    - a climbing wall;
    - decorative paving;
    - bioswales;
    - picnic tables; and
    - trellises
  - Overall, the proposed development exceeds the minimum requirement of 3 sq. m. of outdoor amenity space per unit.

### Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues and Advisory Design Panel comments, as follows:
  - Phase 1 detailed sections.
  - Phase one updated civil.
  - Make sure indoor/outdoor amenities are accessible. (Ex: Indoor amenity patio steps).
  - Remove portions of plazas that appear to encroach the environmental protection areas. (Architecture drawing).
  - Make sure the architecture drawings are coordinated with landscape.

### TREES

- Glenn Murray, ISA Certified Arborist of Frogger Creek Tree Consultants Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Red Alder	6	5	1
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
American Sweetgum	6	0	6
Bigleaf Maple	1	1	0
Cherry	12	2	12
English Holly	5	0	5
English Oak	4	3	1
European Beech	1	0	1
European Hornbeam	3	0	3
Hedge Maple	1	0	1
London Plane	8	2	6
Manitoba Maple	5	2	3
Maple	2	2	0
Norway Maple	15	2	13
Oak	1	0	1
Paper Birch	1	0	1
Pin Oak	8	3	5
Purple Plum	1	0	1
Red Maple	19	3	16
Red Oak	7	6	1
Sycamore Maple	6	0	6
Tulip Tree	1	0	1
Walnut	1	0	1
White Poplar	1	0	1
Willow	2	0	2
<b>Coniferous Trees</b>			
Deodar Cedar	1	0	1

Douglas Fir	28	17	11
Excelsa Cedar	28	10	18
Hinoki Cypress	1	0	1
Lawson Cypress	26	9	17
Norway Spruce	14	6	8
Pyramid Cedar	1	1	0
Scot Pine	28	8	20
Spruce	1	0	1
Threadleaf Cypress	3	2	1
Western Redcedar	11	7	4
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>253</b>	<b>83</b>	<b>170</b>
<b>Additional Estimated Trees in the proposed Riparian Area</b>	<b>70</b>	<b>0</b>	<b>70</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>			
		<b>321</b>	
<b>Total Retained and Replacement Trees</b>		<b>561</b>	
<b>Contribution to the Green City Program</b>		<b>N/A</b>	

- The Arborist Assessment states that there is a total of 323 mature trees on the site, excluding Alder and Cottonwood trees. Eight (8) existing trees, approximately 2.5% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 172 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 70 protected trees that are located within the proposed riparian area. The trees within the riparian area will be retained, except where removal is required due to hazardous conditions.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and a restrictive covenant is required for the installation, monitoring and maintenance of the proposed trees to be planted in the protected riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 290 replacement trees on the site. The applicant is proposing 321 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including European Beech, Purples Ash, Magnolia, Shore Pine, Serbian Spruce, Pin Oak, and Western Red Cedar.
- In summary, a total of 563 trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. OCP Redesignation Map
- Appendix VI. Virtual Public Information Notification Area Map
- Appendix VII. Development Variance Permit No. 7915-0393-00
- Appendix VIII. Aerial Photos
- Appendix IX. ADP Comments and Response
- Appendix X. Frequent Transit Network Corridor and Skytrain Corridor Planning Areas

*approved by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

CW/cm

# APPENDIX I

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No: \_\_\_\_\_ OF  
 LOT 205 PLAN 53056  
 AND LOT "A" PLAN 13184  
 ALL OF SECTION 10 TOWNSHIP 8 NWD

B.C.G.S. 925/017  
 FOR REZONING PURPOSES

**LEGEND**  
 M SQUARED METRES  
 Sq.m. SQUARE METRES

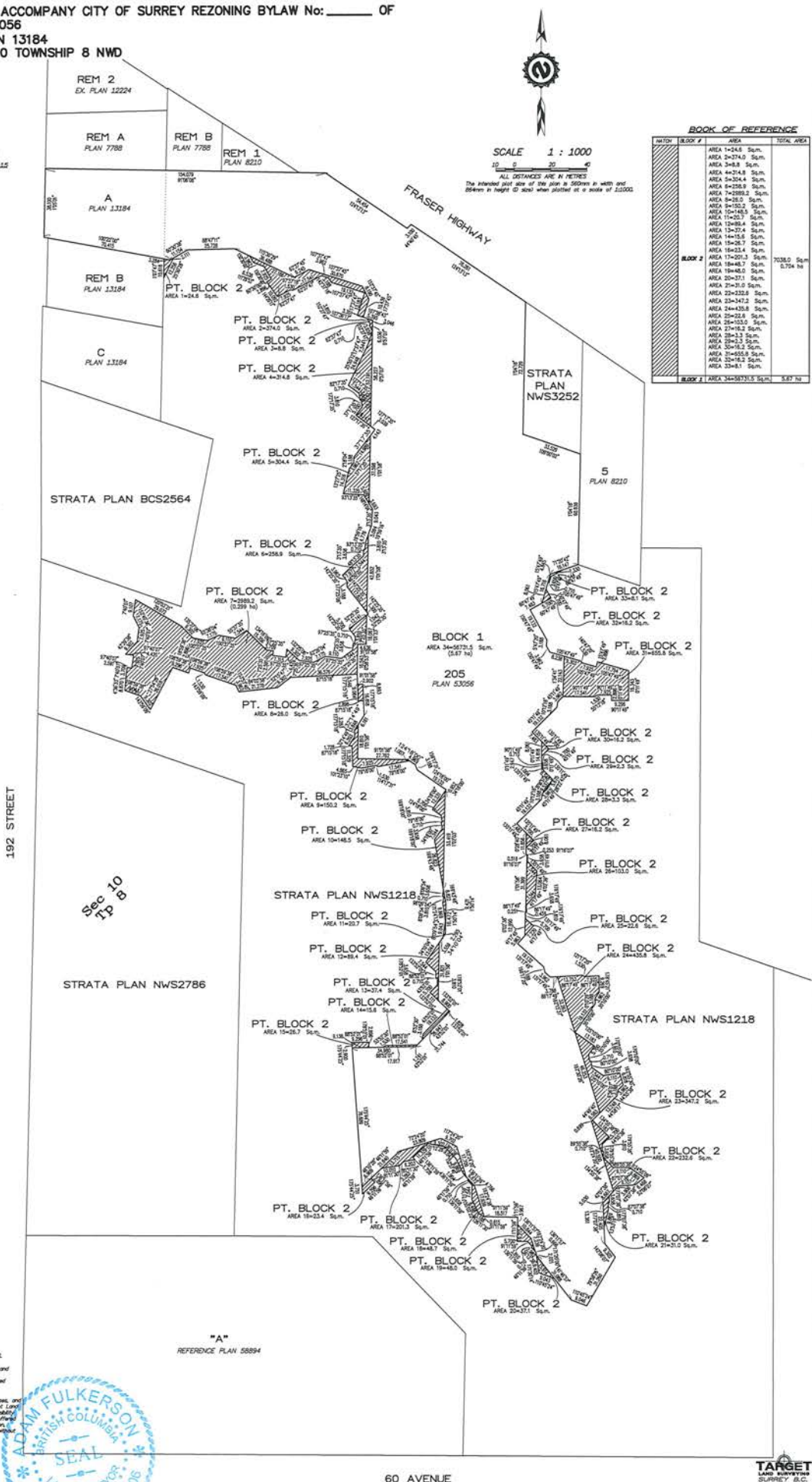
BLOCK 1 PROPOSED ZONING: C2  
 BLOCK 2 PROPOSED ZONING: R1-15



SCALE 1 : 1000

ALL DISTANCES ARE IN METRES  
 The intended print size of this plan is 500mm in width and 854mm in height (D size) when plotted at a scale of 1:1000.

SECTION	BLOCK #	AREA	TOTAL AREA
BLOCK 1	AREA 1=24.5 Sq.m.		7032.0 Sq.m. (2754.91)
	AREA 2=274.0 Sq.m.		
	AREA 3=48.8 Sq.m.		
	AREA 4=274.8 Sq.m.		
	AREA 5=354.4 Sq.m.		
	AREA 6=258.9 Sq.m.		
	AREA 7=2882.2 Sq.m.		
	AREA 8=281.0 Sq.m.		
	AREA 9=152.2 Sq.m.		
	AREA 10=251.0 Sq.m.		
	AREA 11=251.0 Sq.m.		
	AREA 12=27.4 Sq.m.		
	AREA 13=184.0 Sq.m.		
	AREA 14=15.0 Sq.m.		
AREA 15=26.7 Sq.m.			
AREA 16=23.4 Sq.m.			
AREA 17=201.3 Sq.m.			
AREA 18=48.7 Sq.m.			
AREA 19=48.0 Sq.m.			
AREA 20=37.1 Sq.m.			
AREA 21=212.6 Sq.m.			
AREA 22=347.2 Sq.m.			
AREA 23=433.8 Sq.m.			
AREA 24=22.8 Sq.m.			
AREA 25=151.0 Sq.m.			
AREA 26=11.3 Sq.m.			
AREA 27=18.2 Sq.m.			
AREA 28=16.2 Sq.m.			
AREA 29=451.6 Sq.m.			
AREA 30=16.2 Sq.m.			
AREA 31=8.1 Sq.m.			
BLOCK 2	AREA 34=58731.5 Sq.m.	58731.5	



Lot dimensions are derived from Plan 53056.  
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COPYING CORRECT  
 DATED: 20th DAY OF JULY, 2020  
 T. Adam Fulkerson B.C.L.S.



FILE: 925-4-BLOCK PLAN-10



**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No: \_\_\_\_\_ OF PART OF LOT 205 PLAN 53056 AND LOT "A" PLAN 13184 ALL OF SECTION 10 TOWNSHIP 8 NWD**

B.C.L.S. 925/017  
FOR REZONING PURPOSES

**LEGEND**  
M<sup>2</sup> DENOTES HECTARES  
Sq.m. DENOTES SQUARE METRES

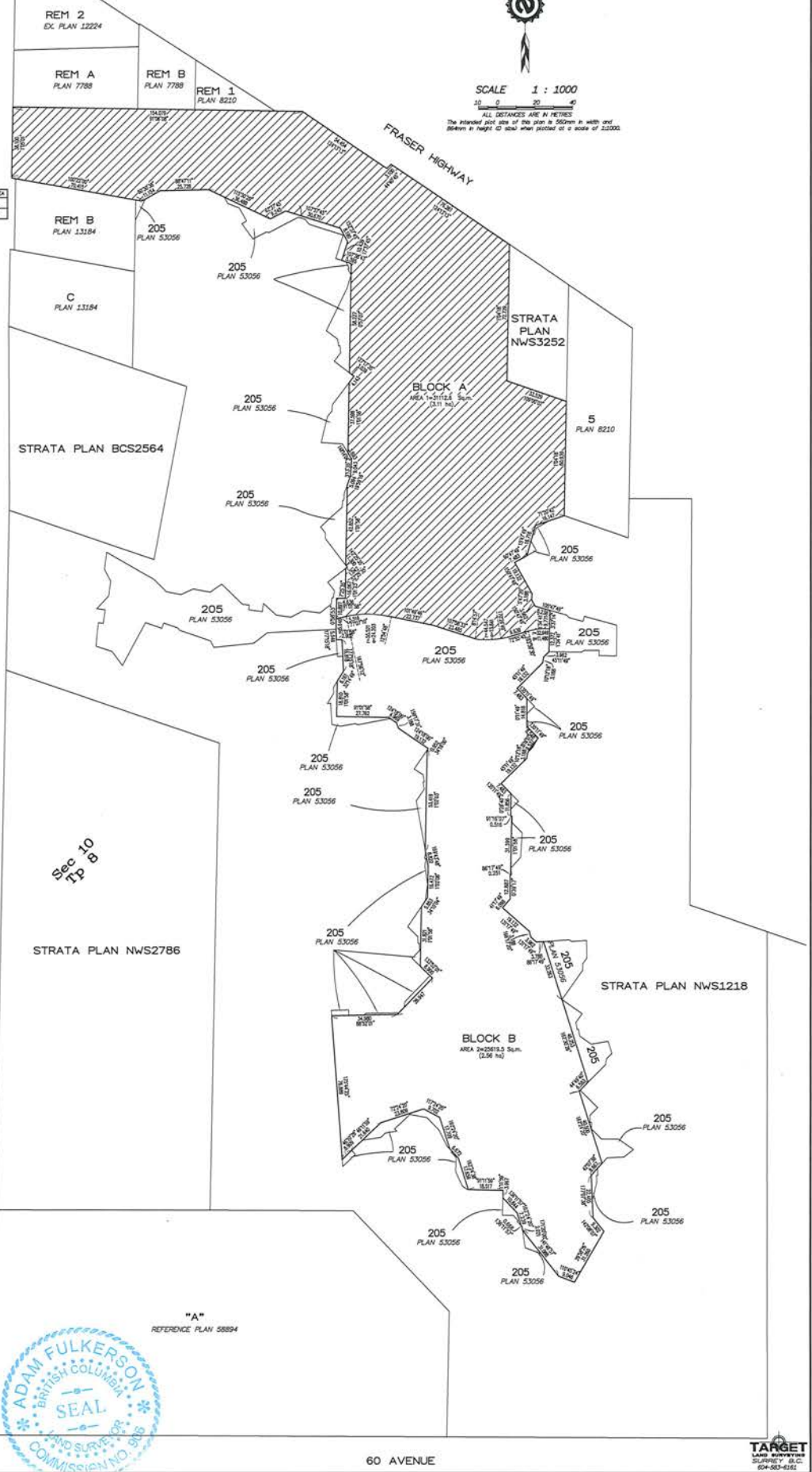


SCALE 1 : 1000

ALL DISTANCES ARE IN METRES  
The intended plot area of this plan is 500m in width and 804m in height @ scale when plotted at a scale of 1:2000.

**BOOK OF REFERENCE**

BLOCK #	PROPOSED USE	TOTAL AREA
BLOCK #1	APARTMENT	2.11 ha
BLOCK #2	TOWNHOUSE / SHOPS/ OFFICE	2.38 ha



Lot dimensions are derived from Plan 53056.  
If this plan is used in digital form, Target Land Surveys will only assume responsibility for information content shown on original undated drawing.  
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CERTIFIED CORRECT  
DATED THE 2nd DAY OF JULY, 2020  
A. Adam Fulkerson  
B.C.L.S.



"A"  
REFERENCE PLAN 58894



**PROPOSED SUBDIVISION PLAN OF LOT 205 PLAN 53056  
AND LOT "A" PLAN 13184  
ALL OF SECTION 10 TOWNSHIP 8 NWD**

DRAFT : JUNE-29-2020

B.C.G.S. 920.017

**CIVIC ADDRESS**

19350 Fraser Highway, Surrey BC  
P.L.D. 005-094-899  
6325 195 St, Surrey BC  
P.L.D. 002-020-904

**LEGEND**

ha DENOTES HECTARES  
Sq.m DENOTES SQUARE METRES  
REF. DENOTES REFERENCE  
EX. DENOTES EXPLANATORY

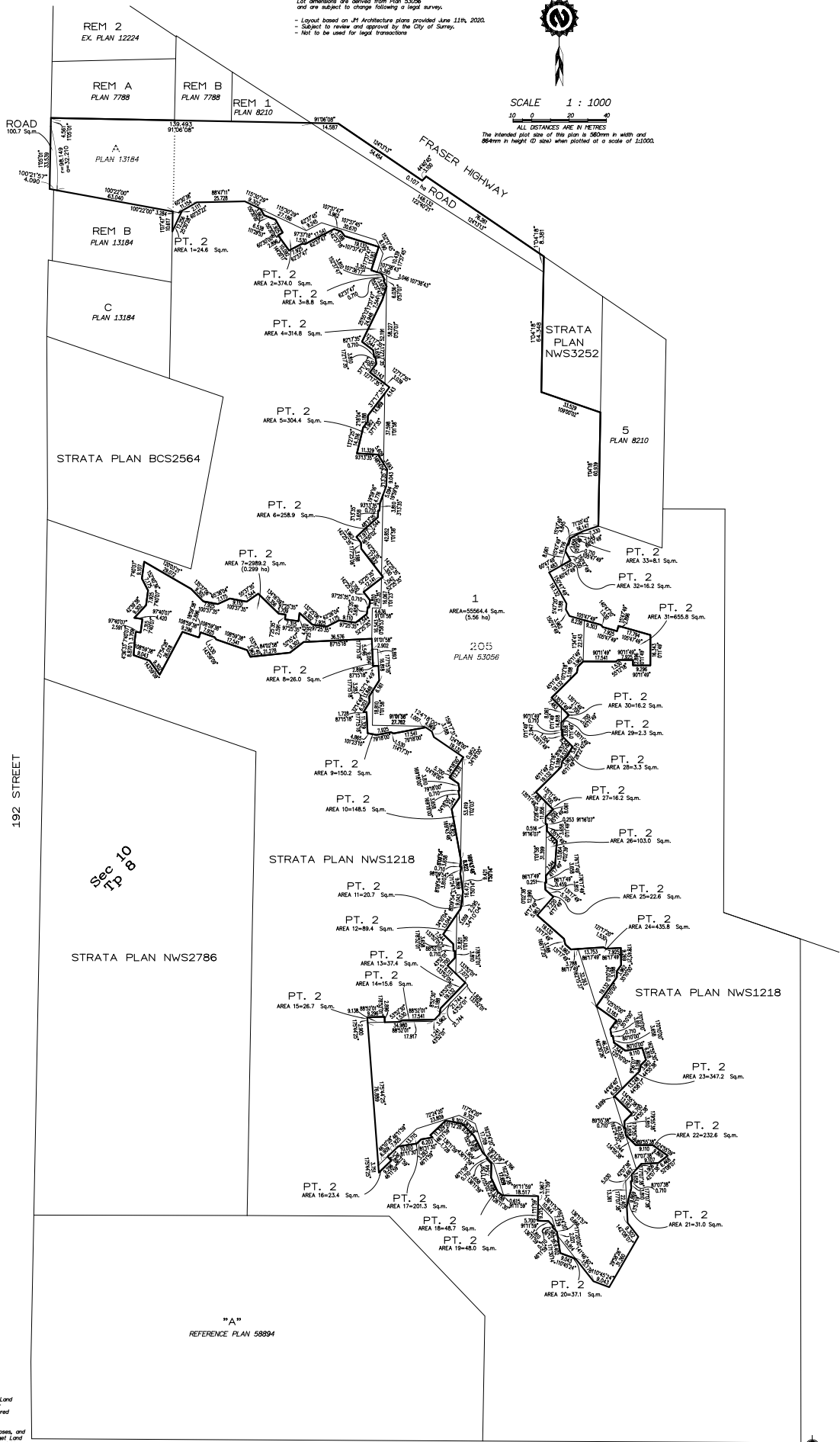
PROPOSED LOT 2 TOTAL AREA=7038.0 Sq.m. (3.704 ha)

Lot dimensions are derived from Plan 53298 and are subject to change following a legal survey.  
- Layout based on J1 Architecture plans provided June 11th, 2020.  
- Subject to review and approval by the City of Surrey.  
- Not to be used for legal transactions.



SCALE 1 : 1000

ALL DISTANCES ARE IN METRES  
The intended plot size of this plan is 360mm in width and 864mm in height (D size) when plotted at a scale of 1:1000.



192 STREET

Sec 10  
Tp 8

"A"  
REFERENCE PLAN 58894

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60 AVENUE



FILE: 9514-SLB-R2

**PROPOSED REFERENCE PLAN OF LOT 2 PLAN EPP  
AND NWS1218  
ALL OF SECTION 10 TOWNSHIP 8 NWD**

DRAFT : JUNE-29-2020

PURSUANT TO SECTION 100X126, LAND TITLE ACT,  
B.C.G.S. 920.017

Lot dimensions are derived from Plan S3298 and NWS1218  
and are subject to change following a legal survey.  
- Layout based on J1 Architecture plans provided June 11th, 2020.  
- Subject to review and approval by the City of Surrey.  
- Not to be used for legal transactions.

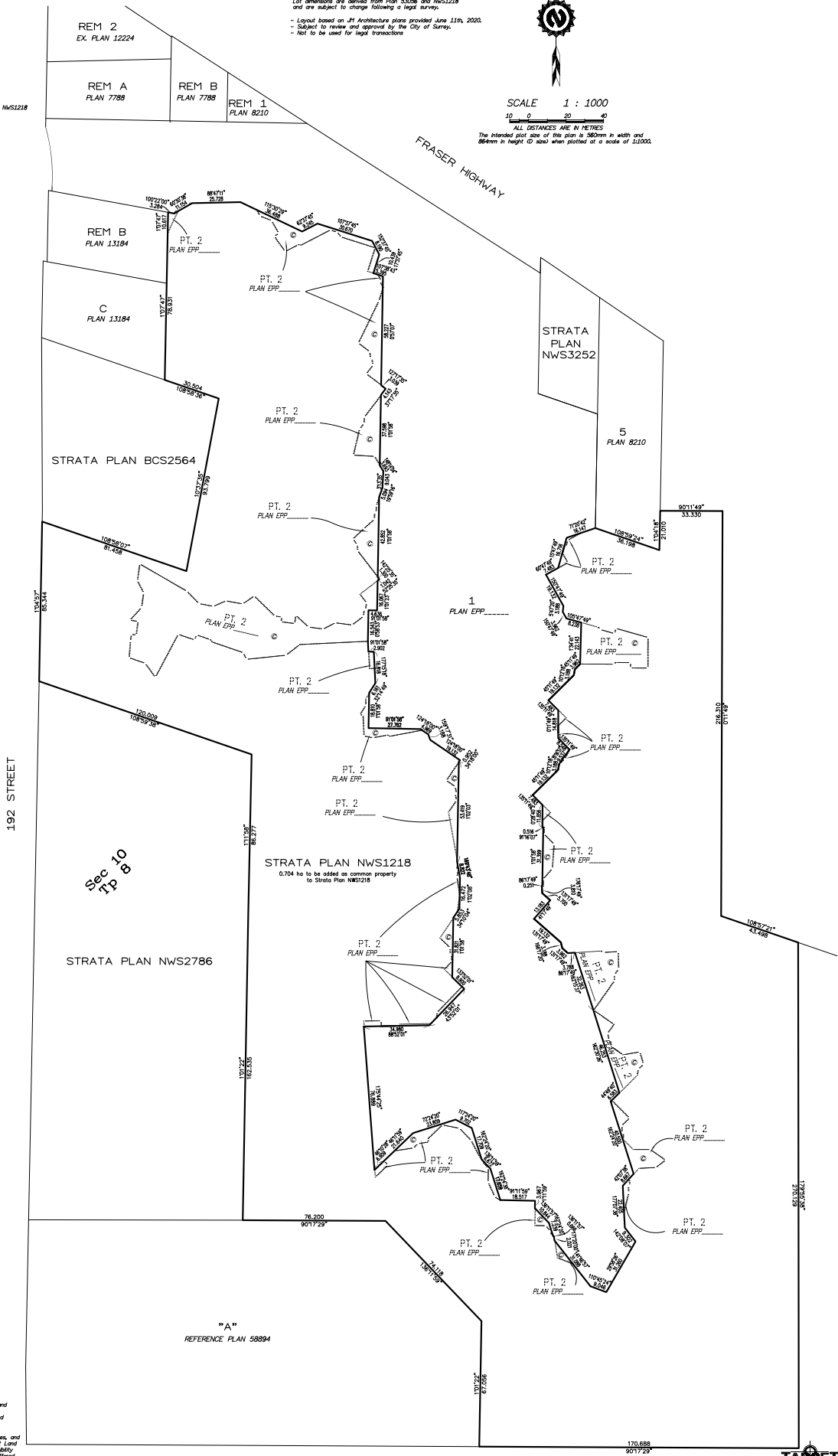
**OWNER ADDRESS**  
18210 Fraser Highway, Surrey BC  
P.O. 009-094-898  
6322 180 St, Surrey BC  
P.O. 003-020-804

**LEGEND**  
ha DENOTES HECTARES  
Sq.m DENOTES SQUARE METRES  
REF. DENOTES REFERENCE  
C DENOTES COMMON PROPERTY OF NWS1218



SCALE 1 : 1000

ALL DISTANCES ARE IN METRES  
The intended plot size of this plan is 900mm in width and  
664mm in height (D Size) when plotted at a scale of 1:1000.



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60 AVENUE



FILE: 9514-COV



Overall Aerial view

**Directory:**

<p><b>OWNER</b></p> <p><b>192 STREET DEVELOPMENT LTD.</b> 15055-54A AVE, Surrey, BC V3S 5X7 T: 604-570-1954 E: sukhi@bigroup.ca</p>	<p><b>ENVIRONMENTAL</b></p> <p><b>KEYSTONE ENVIRONMENTAL LTD</b> Suite 320 - 4400 Dominion Street Burnaby, B.C. V5C 4G5 T: 604 439-0971 F: 604 430-0672 E: imshukla@keystoneenvironmental.ca  CONTACT: MR. LIBOR MICHALAK, Senior Biologist</p>
<p><b>ARCHITECT</b></p> <p><b>JM ARCHITECTURE INC</b> Main Floor - Building #4 15243 - 91st Avenue Surrey, B.C. V3R 6P8 T: 604-583-0903 E: jae@jmarchitecture.ca  CONTACT: MR. JOE MINTEN, architect@abc.asa, mntc</p>	<p><b>MECHANICAL ELECTRICAL</b></p> <p><b>SRG ENGINEERING CONSULTANTS LTD</b> Unit 2015-4180 Lougheed Hwy Burnaby, B.C. V3C 6A7 T: 604 288-9091 F: 604 288-9092 E: bill@srge-eng.com  CONTACT: MR. BILL KHANGURA, P.Eng.</p>
<p><b>AUTHORITY HAVING JURISDICTION</b></p> <p><b>CITY OF SURREY</b> Area Planning - North Section, Planning Dept. 19410-148th Ave, Surrey, BC V3T 1V8 T: 604 598-5777 F: 604 599-2567 E: Christopher.Wilcott@surrey.ca  CONTACT: MR. CHRISTOPHER WILCOTT MCIP, RPP   PLANNER</p>	<p><b>ARBORIST</b></p> <p><b>FROGGER'S CREEK TREE CONSULTING LTD.</b> 7763 McGee Avenue Burnaby, BC T: 604-274-6003 E: glenn_murray@shaw.ca  CONTACT: MR. GLENN MURRAY</p>
<p><b>CIVIL ENGINEER</b></p> <p><b>CENTRAS ENGINEERING LTD.</b> 4110-1610 Croydon Drive Surrey, B.C. V3W 3T3 T: 604 782-6927 E: Steve@centras.ca  CONTACT: MR. STEVE O'CONNELL, P.Eng.</p>	<p><b>SURVEYOR</b></p> <p><b>MURRAY &amp; ASSOCIATES</b> 301-1348 82nd Avenue Surrey, B.C. V3W 3E9 T: 604-572-5422 E: jpa@murays.com  CONTACT: JOE RIRAR, BCLS</p>
<p><b>LANDSCAPE ARCHITECT</b></p> <p><b>VAN DER ZALM &amp; ASSOCIATES</b> 102 - 9181 Church Street P.O. Box 461 Fort Langley, B.C. V3M 2R8 T: 604-882-0004 E: mark@vdz.ca  CONTACT: Mr. Mark van der Zalm MBICLA, CSLA, ASLA, LEED AP</p>	<p><b>GEOTECHNICAL ENGINEER</b></p> <p><b>BRAUN GEOTECHNICAL LTD.</b> 106A - 9785 193 ST. Surrey, B.C. V4N 4C7 T: 604-513-4190 F: 604-513-4195 E: info@braungeo.com  CONTACT: MR. JOSEPH OH, P.Eng.</p>

**DRAWING LIST:**

ARCHITECTURAL	ISSUED FOR	ISSUED DATE
A-00 COVER SHEET (DIRECTORY & INDEX)	REZONING & GENERAL DP	2020-06-18
A-01 PROJECT DATA & ZONING RECONCILIATION	REZONING & GENERAL DP	2020-06-18
A-02 -A14 3D PERSPECTIVES (PHASE 1 & 2)	REZONING & GENERAL DP	2020-06-18
A-15 CITY CONTEXT MAPS	REZONING & GENERAL DP	2020-06-18
A-16 SITE CONTEXT MAP	REZONING & GENERAL DP	2020-06-18
A-17 SITE CONTEXT IMAGES	REZONING & GENERAL DP	2020-06-18
A-18 -A26a SITE PROPERTY LINES & SETBACKS	REZONING & GENERAL DP	2020-06-18
A-19 -A20 SHADOW DIAGRAMS		
A-21 FREE STANDING SIGN	REZONING & GENERAL DP	2020-06-18
A-100 SITE PLAN - OVERALL	REZONING & GENERAL DP	2020-06-18
A-101 ENLARGED SITE PLAN - AREA 1	REZONING & GENERAL DP	2020-06-18
A-102 ENLARGED SITE PLAN - AREA 2	REZONING & GENERAL DP	2020-06-18
A-103 ENLARGED SITE PLAN - AREA 3	REZONING & GENERAL DP	2020-06-18
A-104 ENLARGED SITE PLAN - AREA 4	REZONING & GENERAL DP	2020-06-18
A-105 OUTDOOR AMENITY SPACE	REZONING & GENERAL DP	2020-06-18
A-106 FIRE VEHICLE ACCESS PLAN	REZONING & GENERAL DP	2020-06-18
A-107 PEDESTRIAN & VEHICLE FLOW DIAGRAM	REZONING & GENERAL DP	2020-06-18
A-108 PARKING PLANS - BUILDING 1-3	REZONING & GENERAL DP	2020-06-18
A-109 PARKING PLANS - BUILDING 1-3	REZONING & GENERAL DP	2020-06-18
A-110 PARKING PLANS - BUILDING 4-5	REZONING & GENERAL DP	2020-06-18
A-110a PARKING PLANS - BUILDING 4-5	REZONING & GENERAL DP	2020-06-18
A-111 PARKING PLANS - BUILDING 6-7	REZONING & GENERAL DP	2020-06-18
A-112 BUILDING 1 & 2 FLOOR PLANS (PHASE 1)	REZONING & GENERAL DP	2020-06-18
A-113 BUILDING 3 FLOOR PLANS (PHASE 1)	REZONING & GENERAL DP	2020-06-18
A-114 BUILDING 4 & 5 FLOOR PLANS (PHASE 1)	REZONING & GENERAL DP	2020-06-18
A-115 BUILDING 6, 9, & 7 FLOOR PLANS (PHASE 1)	REZONING & GENERAL DP	2020-06-18
A-116 BUILDING 8 FLOOR PLANS (PHASE 1)	REZONING & GENERAL DP	2020-06-18
A-117 BUILDING 10 FLOOR PLANS (PHASE 1)		
A-118 BUILDING 11 FLOOR PLANS (PHASE 1)	REZONING & GENERAL DP	2020-06-18
A-200-201 STREETScape ELEVATIONS (PHASE 1)	REZONING & GENERAL DP	2020-06-18
A-202-209 TOWNHOME BUILDING ELEVATIONS (PHASE 1)	REZONING & GENERAL DP	2020-06-18
A-210-213 APARTMENT BUILDING ELEVATIONS (PHASE 2)	REZONING & GENERAL DP	2020-06-18
A-300-318 SITE SECTIONS - BUILDING PHASE 2	REZONING & GENERAL DP	2020-06-18
A-400 UNIT PLAN 'A'	REZONING & GENERAL DP	2020-06-18
A-401 UNIT PLAN 'A1'	REZONING & GENERAL DP	2020-06-18
A-402 UNIT PLAN 'A2'	REZONING & GENERAL DP	2020-06-18
A-403 UNIT PLAN 'A3'	REZONING & GENERAL DP	2020-06-18
A-404 UNIT PLAN 'A4'	REZONING & GENERAL DP	2020-06-18
A-405 UNIT PLAN 'A5'	REZONING & GENERAL DP	2020-06-18
A-406 UNIT PLAN 'B'	REZONING & GENERAL DP	2020-06-18
A-407 UNIT PLAN 'B1'	REZONING & GENERAL DP	2020-06-18
A-408 UNIT PLAN 'B2'	REZONING & GENERAL DP	2020-06-18
A-409 UNIT PLAN 'B3'	REZONING & GENERAL DP	2020-06-18
A-410 AMENITY BUILDING FLOOR PLANS	REZONING & GENERAL DP	2020-06-18
A-411 AMENITY BUILDING 3RD FLOOR PLAN + ELEVATION	REZONING & GENERAL DP	2020-06-18
A-412 AMENITY BUILDING ELEVATIONS	REZONING & GENERAL DP	2020-06-18
DIGITAL MATERIAL BOARD (PHASE -1)	REZONING & GENERAL DP	2020-06-18

**DRAWING LIST CONTINUED:**

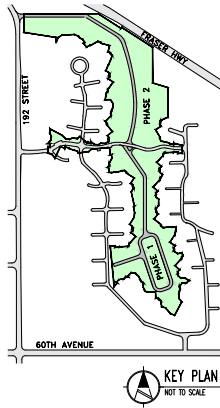
LANDSCAPE	ISSUED FOR	ISSUED DATE
L-01 COVER PAGE	REZONING & GENERAL DP	2020-06-18
L-02 OVERALL SITE PLAN	REZONING & GENERAL DP	2020-06-18
L-03 APARTMENT BLDGS 1 TO 3	REZONING & GENERAL DP	2020-06-18
L-04 APARTMENT BLDGS 4 & 6	REZONING & GENERAL DP	2020-06-18
L-05 APARTMENT BLDGS 5 & 7	REZONING & GENERAL DP	2020-06-18
L-06 CENTRAL AMENITY AREA	REZONING & GENERAL DP	2020-06-18
L-07 TOWNHOUSE SITE PLAN A	REZONING & GENERAL DP	2020-06-18
L-08 TOWNHOUSE SITE PLAN B	REZONING & GENERAL DP	2020-06-18
L-09a PLANTING SCHEMES	REZONING & GENERAL DP	2020-06-18
L-09b PLANTING SCHEMES	REZONING & GENERAL DP	2020-06-18
L-09c PLANTING SCHEMES	REZONING & GENERAL DP	2020-06-18
LS-01 SECTIONS	REZONING & GENERAL DP	2020-06-18
LS-02 SECTIONS	REZONING & GENERAL DP	2020-06-18
LS-03 SECTIONS	REZONING & GENERAL DP	2020-06-18
LS-04 SECTIONS	REZONING & GENERAL DP	2020-06-18
LD-01 DETAILS	REZONING & GENERAL DP	2020-06-18
LD-02 DETAILS	REZONING & GENERAL DP	2020-06-18
LD-03 DETAILS	REZONING & GENERAL DP	2020-06-18
LD-04 DETAILS	REZONING & GENERAL DP	2020-06-18
LD-05 DETAILS	REZONING & GENERAL DP	2020-06-18
LD-06 DETAILS	REZONING & GENERAL DP	2020-06-18
LD-07 DETAILS	REZONING & GENERAL DP	2020-06-18
<b>CIVIL</b>	<b>ISSUED FOR</b>	<b>ISSUED DATE</b>
19042-C1 COVER SHEET	REZONING & GENERAL DP	2020-06-18
19042-C2 OVERALL KEY PLAN	REZONING & GENERAL DP	2020-06-18
19042-C3 SITE GRADING PLAN - AREA 1	REZONING & GENERAL DP	2020-06-18
19042-C4 SITE GRADING PLAN - AREA 2	REZONING & GENERAL DP	2020-06-18
19042-C5 SITE GRADING PLAN - AREA 3	REZONING & GENERAL DP	2020-06-18
19042-C6 SITE GRADING PLAN - AREA 4	REZONING & GENERAL DP	2020-06-18
19042-C7 SITE GRADING PLAN - AREA 5	REZONING & GENERAL DP	2020-06-18
19042-C8 SITE SERVICING PLAN - AREA 1	REZONING & GENERAL DP	2020-06-18
19042-C9 SITE SERVICING PLAN - AREA 2	REZONING & GENERAL DP	2020-06-18
19042-C10 SITE SERVICING PLAN - AREA 3	REZONING & GENERAL DP	2020-06-18
19042-C11 SITE SERVICING PLAN - AREA 4	REZONING & GENERAL DP	2020-06-18
19042-C12 SITE SERVICING PLAN - AREA 5	REZONING & GENERAL DP	2020-06-18
19042-C13 SITE SERVICING PLAN - AREA 6	REZONING & GENERAL DP	2020-06-18
19042-C14 STORMWATER DETENTION	REZONING & GENERAL DP	2020-06-18
<b>CATCOMENT ANALYSIS</b>		
19042-C15 SANITARY SEWER - GRAVITY TO 60TH AVENUE	REZONING & GENERAL DP	2020-06-18
19042-C16 SANITARY SEWER - PUMPED TO FRASER HIGHWAY	REZONING & GENERAL DP	2020-06-18
19042-C17 STORM SEWER - GRAVITY TO 60TH AVENUE	REZONING & GENERAL DP	2020-06-18
19042-C18 STORM SEWER - PUMPED TO FRASER HIGHWAY	REZONING & GENERAL DP	2020-06-18
<b>ARBORIST</b>	<b>ISSUED FOR</b>	<b>ISSUED DATE</b>
TREE PRESERVATION REPORT	REZONING & GENERAL DP	2020-06-18
TREE PROTECTION DRAWINGS	REZONING & GENERAL DP	2020-06-18

**JMArchitecture Inc.**

**GREENSIDE DEVELOPMENT**  
19310 Fraser Hwy & 6312 - 192 Street, Surrey, BC

A-00 - Cover Sheet (Directory & Index)  
Issued for Rezoning and General DP Submission

**2017-17 GREENSIDE**



## Project Data

### Property Information

Project Name	Greenside Development
Civic Address	19310 Fraser Hwy & 6312 - 192 Street, Surrey, BC
Legal Description	LOT 205 SECTION 16 TOWNSHIP 8 PLAN NWP3056 NWD PART NW 1/4 LOT 4 SECTION 10 TOWNSHIP 8 PLAN NWP3184 NWD
PID	005-054-958 & 002-020-904
Current Zoning	CPC - Golf Course Zone
Proposed Zoning	CD (based on RM-45)
<b>Gross Lot Area [Entire Site]</b>	63,764 m <sup>2</sup> (686,351 S.F.) (6.38 hectares)
Net Lot Area	Gross Lot Area - Deductions
Fraser Highway Dedication	(1) 1067m <sup>2</sup> (1,141 S.F.)
192 Street Dedication	(3) 101m <sup>2</sup> (1,086 S.F.)
Access Lane off 192 Street	(3) 656m <sup>2</sup> (7,065 S.F.)
Proposed Land Transfer to Adjacent Site (CE)	(1) 7,040 m <sup>2</sup> (75,780 S.F.) (0.204 hectares)
Undevelopable Area	(3) 3565.64 m <sup>2</sup> (39,908 S.F.) (0.56 hectares)
<b>Net Lot Area (entire site)</b>	49,334 m <sup>2</sup> (531,031 S.F.) (4.93 hectares)
<b>Net Lot Area Block A [Phase 1]</b>	20,038 m <sup>2</sup> (215,691 S.F.) (2.0 hectares)
<b>Net Lot Area Block B [Phase 2]</b>	29,295 m <sup>2</sup> (315,340 S.F.) (2.93 hectares)

### Lot Coverage and Floor Areas [Per Phase]

<b>Lot Coverage (bldg footprint area)</b>	
Entire Site	14,781 m <sup>2</sup> (159,104 S.F)
BLOCK A (Phase 1)	4,275 m <sup>2</sup> (46,015 S.F)
BLOCK B (Phase 2)	10,506 m <sup>2</sup> (113,089 S.F)
<b>Gross Floor Area</b>	
Entire Site	49,203 S.M (529,614 S.F) up to 50,205 S.M(540,399 S.F)
Phase 1	7,888 m <sup>2</sup> (84,911 S.F)
Phase 2	41,314 m <sup>2</sup> (444,703 S.F) up to 42,317 S.M (455,496.3 S.F) [Excluding: balconies, decks, basements, & garages]

## Zoning Reconciliation

### City of Surrey Bylaw Requirements

	Required / Permitted for Current Zoning (CPC)	Required / Permitted for Future Zoning (RM-45)	Proposed / Provided
<b>Zone</b>	CPC - Golf Course Zone	RM-45 Multiple Residential 45	CD (under the guidance of RM-45)
<b>Permitted Uses</b>	Golf course, driving range, accessory uses, agriculture	Multi-unit residential & ground-oriented MUR	Multi-unit residential & ground-oriented MUR
<b>OCP Designation</b>	Urban	Urban	Multiple Residential
<b>Density: GLA [Entire Site] - FAR</b>	FAR 0.10	FAR 1.3	FAR 0.77
<b>Density: GLA [Entire Site] - UPH</b>	-	708 units	up to 650 units
<b>Density: NLA [Entire Site] - FAR</b>	FAR 0.10	FAR 1.3	FAR 1.02
<b>Density: NLA [Entire Site] - UPH</b>	-	609 units	up to 650 units
<b>Lot Coverage [Entire Site]</b>	10% (6376m <sup>2</sup> )	45% (28694m <sup>2</sup> )	39.96%
<b>BLOCK A (Phase 1)</b>	10% (6376m <sup>2</sup> )	45% (28694m <sup>2</sup> )	21.33%
<b>BLOCK B (Phase 2)</b>	10% (6376m <sup>2</sup> )	45% (28694m <sup>2</sup> )	35.86%
<b>Setbacks</b>	All Yards - 12.0m (40')	All Yards - 7.5m (25')	Phase 1 - 5.0m (16.4') Phase 2 - 7.5m (25') [exterior] Phase 2 - 8.5m (28'-10") [from cent. rd]
<b>Height</b>	n/a	15m (50 FT)	Refer to sheets A-205 - A-207 for actual heights.

Indoor Amenity Space		Outdoor Amenity Space	
Required Indoor Amenity Space	3m <sup>2</sup> per unit = 1950m <sup>2</sup> (20,990 S.F.)	Required Outdoor Amenity Space	3m <sup>2</sup> per unit = 1950m <sup>2</sup> (20,990 S.F.)
Amenity Building (phase 1)	11,836 SF	Play Area (phase 1)	2,900 SF
Build 1 (phase 2)	2,370 SF	Outdoor Daycare Area (phase 1)	2,700 SF
Build 2 (phase 2)	1,230 SF	Building 5 Backyard (phase 2)	7,500 SF
Build 4 (phase 2)	1,400 SF	Building 4 Backyard (phase 2)	3,300 SF
Build 5 (phase 2)	1,400 SF	Building 4-5 Plaza (phase 2)	10,750 SF
Build 6 (phase 2)	1,900 SF	Building 6-7 (phase 2)	13,090 SF
Build 7 (phase 2)	1,400 SF	Building 1-2 Plaza (phase 2)	3,000 SF
<b>Total Indoor Amenity Space Provided</b>	21,536 SF (2000 S.M)	<b>Total Outdoor Amenity Space Provided</b>	43,240 SF (4,075 S.M)

	Required / Permitted for Future Zoning (RM-45)	Proposed / Provided
<b>Phase 1 [Detailed DP]</b>	2 parking spaces per dwelling unit + 0.2 spaces per unit (visitors) 2 x 35 units = 110 spaces + 0.2 x 55 = 11 spaces	Double Carage Spaces 60 Single Car Carage Spaces 25 Single Car Parking Pad/Tandem Spaces 25
		Total Residential Spaces 110
		Total Visitor Spaces 11
		Amenities Total Amenity Spaces 6
	Total Spaces Required 121 spaces	Total Spaces Provided 127
<b>Phase 2 [General DP]</b>	1.3 spaces per unit (1-bedroom / studio) 1.5 spaces per unit (2 or more bedroom) + 0.2 spaces per unit (visitors)	Building 1-3 Off-street Parking - Building 4-5 Off-street Parking - Building 6-7 Off-street Parking - Extra Street Parking -
	Total Spaces Required -	Total Spaces Provided TBD at Detailed DP Stage

Unit Type	Count	Unit Type	Count
A	17	B	14
A1	3	B1	4
A2	2	B2	3
A3	6	B3	4
A4	1		
A5	2		
		Total Units (Phase 1)	55

Building #	Studio	1-Bedroom	2-Bedroom	3-Bedroom	Total
1	-	-	-	-	-
2	-	-	-	-	-
3	-	-	-	-	-
4	-	-	-	-	-
5	-	-	-	-	-
6	-	-	-	-	-
7	-	-	-	-	-
<b>Total (Phase 2)</b>					up to 595
					Total Units (Phase 1 + Phase 2) up to 650





BUILDING 2: STREETSCAPE



BUILDING 2 (NODE): STREETSCAPE



BUILDING 1: STREETSCAPE





BUILDING 10: STREETScape



BUILDING 10: STREETScape



SOUTH END PLAYGROUND: STREETScape





BUILDING 7: STREETScape



BUILDING 8: STREETScape



BUILDING 6 & 7: STREETScape





AMENITY BUILDING: STREETScape



AMENITY BUILDING: STREETScape



BUILDING 7 LOBBY: STREETScape



BUILDING 7: STREETScape



BUILDING 7: STREETScape





BUILDING 6: STREETSCAPE



BUILDING 6 & 4: STREETSCAPE



BUILDING 6: STREETSCAPE



BUILDING 5: STREETScape



BUILDING 5: STREETScape



BUILDING 5: STREETScape





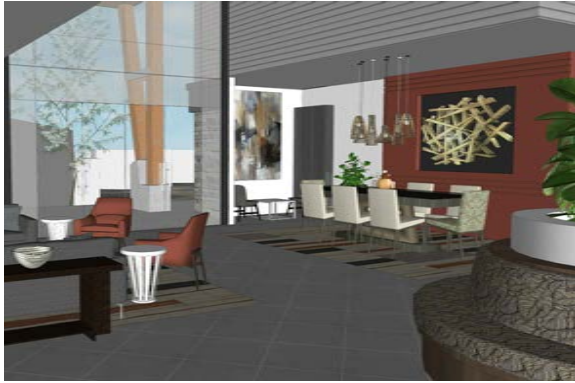
BUILDING 4: STREETScape



BUILDING 4: STREETScape



BUILDING 4: STREETScape



BUILDING 4: AMENITY SPACE



BUILDING 4: AMENITY SPACE



BUILDING 4: LOBBY





AERIAL VIEW: BUILDINGS 1-3 (PHASE 2)



BUILDING 3: STREETSCAPE



BUILDING 3: LOBBY



BUILDING 3: STREETSCAPE





BUILDING 2: STREETSCAPE



BUILDING 2: ROOF GARDEN



BUILDING 2: STREETSCAPE



BUILDING 1 & 2: PLAZA

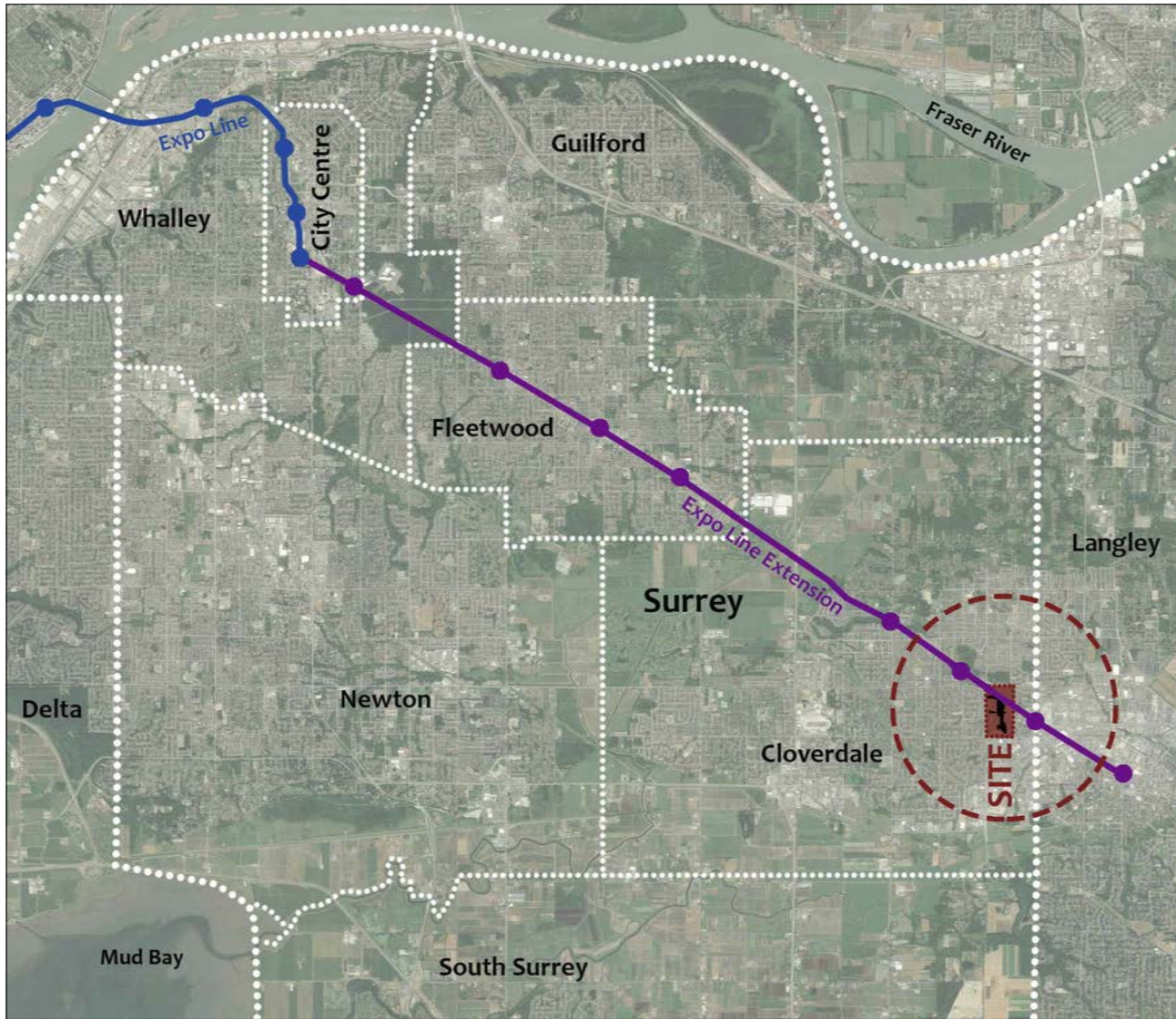


BUILDING 1: 192 ST. ENTRY PLAZA

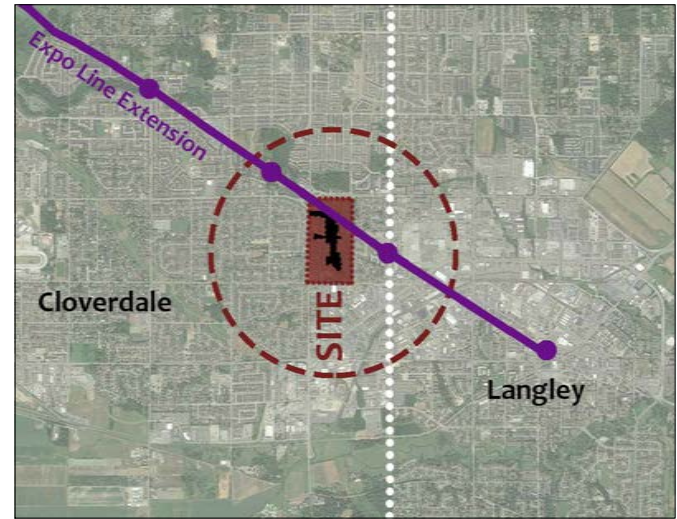


BUILDING 1: STREETScape





SURREY CONTEXT MAP  
NOT TO SCALE



CLOVERDALE CONTEXT MAP  
NOT TO SCALE



NEIGHBOURHOOD MAP  
NOT TO SCALE





 SITE CONTEXT MAP  
NOT TO SCALE



CONTEXT MAP



TOWNHOUSES ON FRASER HWY



EXISTING FRASER HWY INTERFACE



LATIMER ROAD ELEMENTARY SCHOOL



GREENSIDE ESTATES TOWNHOUSES



MIXED-USE DEVELOPMENT ON FRASER HWY



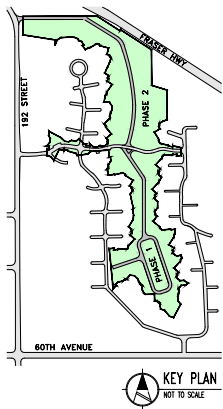
SINGLE FAMILY HOMES ON 192ND STREET



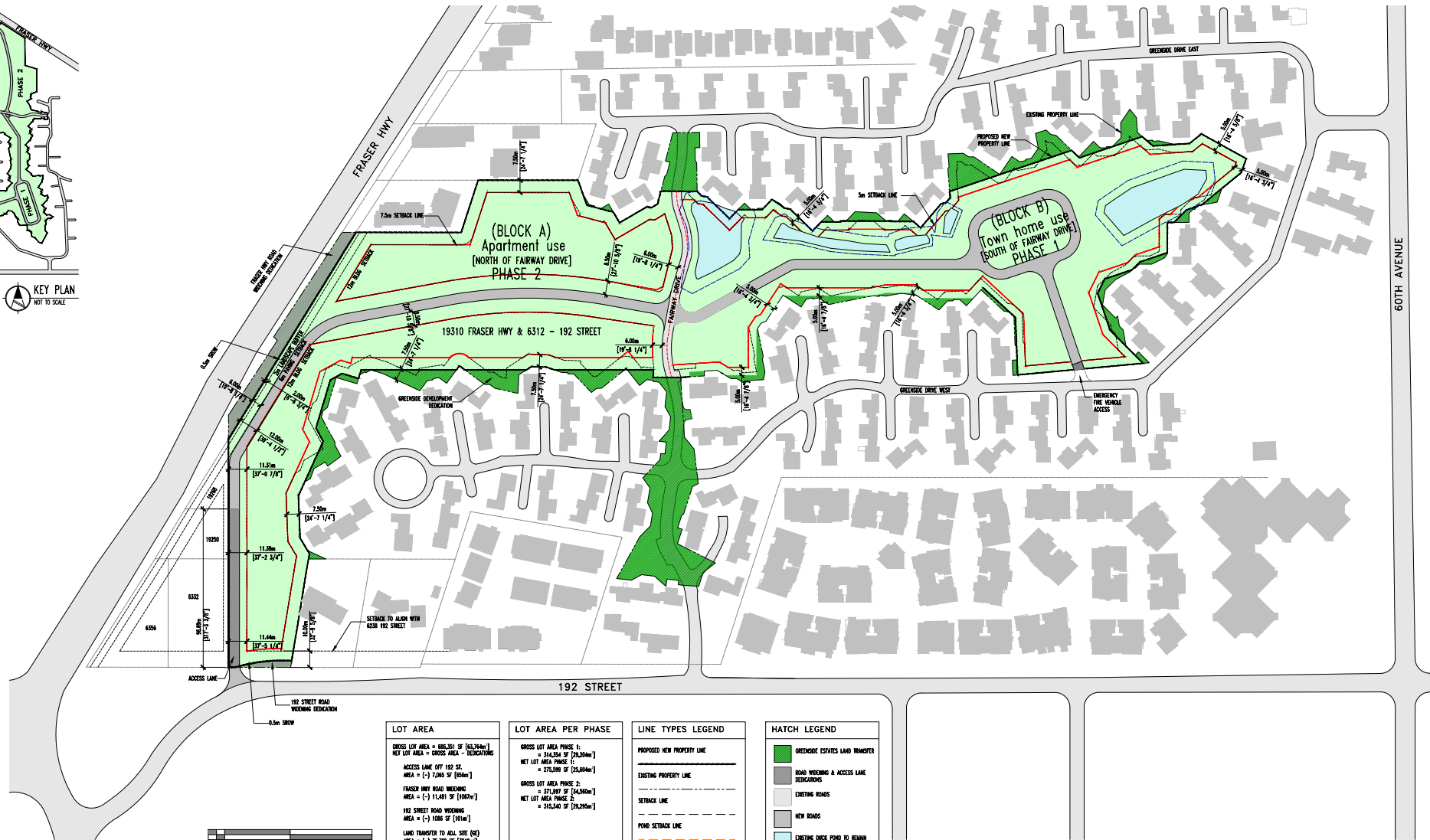
EXISTING DUCK POND (TO REMAIN)



TOWNHOUSES ON 192ND STREET



KEY PLAN  
NOT TO SCALE



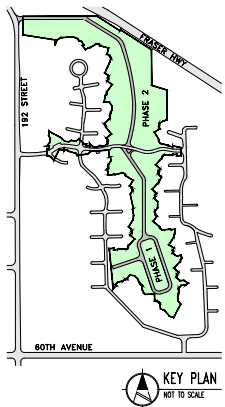
LOT AREA
GROSS LOT AREA = 88,551 SF [8,136sqm]
NET LOT AREA = GROSS AREA - DEDICATIONS
ACCESS LANE OFF 192 ST
AREA = (-) 2,065 SF [191sqm]
FRASER HWY ROAD WIDENING
AREA = (-) 11,481 SF [1,067sqm]
192 STREET ROAD WIDENING
AREA = (-) 1,038 SF [96sqm]
LAND TRANSFER TO ADJ. SITE (SE)
AREA = (+) 25,700 SF [2,384sqm]
NET LOT AREA = 59,639 SF [5,549sqm]

LOT AREA PER PHASE
GROSS LOT AREA PHASE 1:
= 34,924 SF [3,236sqm]
NET LOT AREA PHASE 1:
= 27,036 SF [2,516sqm]
GROSS LOT AREA PHASE 2:
= 53,627 SF [4,970sqm]
NET LOT AREA PHASE 2:
= 32,603 SF [3,033sqm]

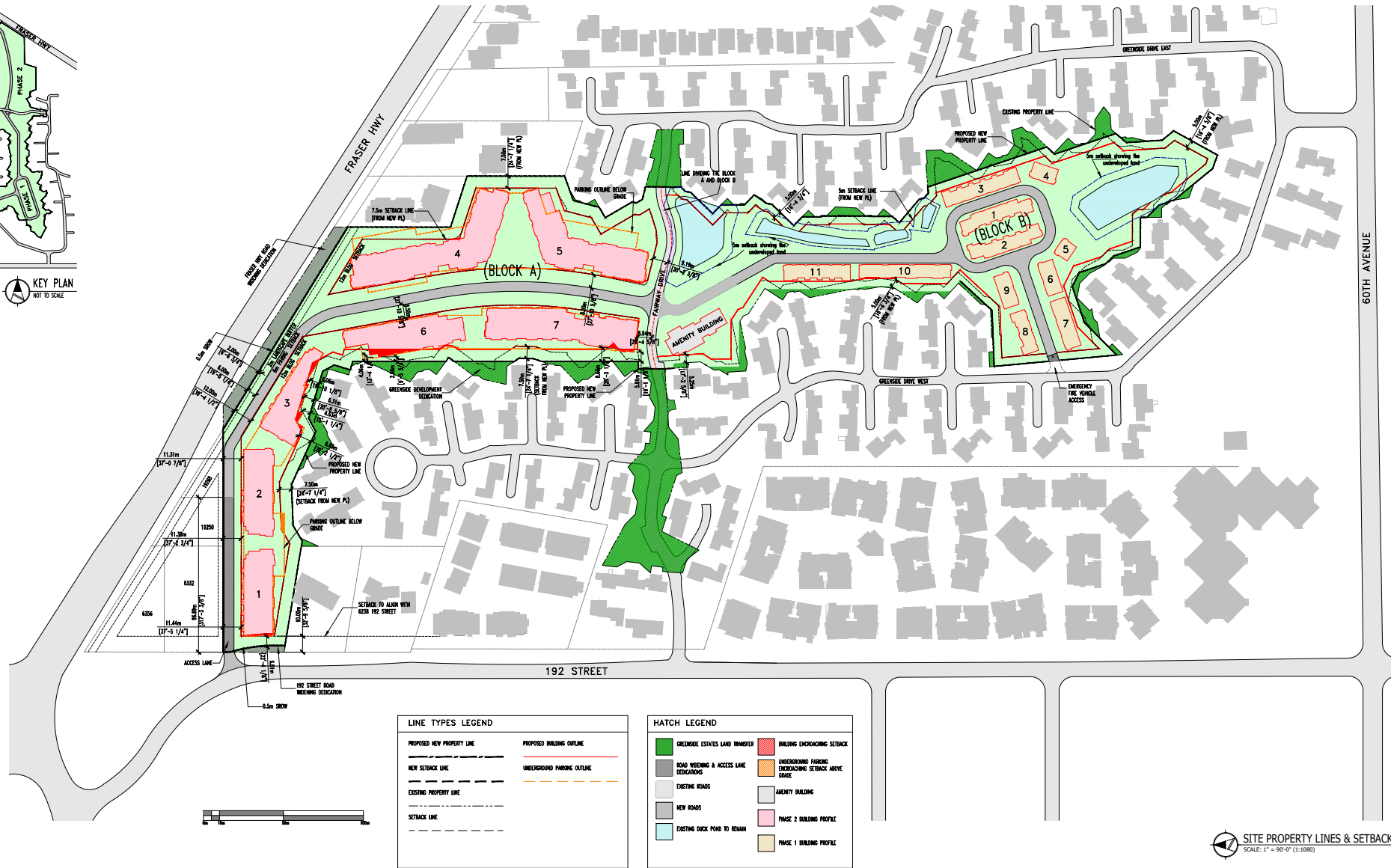
LINE TYPES LEGEND
PROPOSED NEW PROPERTY LINE
EXISTING PROPERTY LINE
SETBACK LINE
POND SETBACK LINE

HATCH LEGEND
GREENSIDE ESTATES LAND TRANSFER
ROAD WIDENING & ACCESS LANE DEDICATIONS
EXISTING ROADS
NEW ROADS
EXISTING DUCK POND TO REMAIN

SITE PROPERTY LINES & SETBACKS  
SCALE: 1" = 90'-0" (1:1080)



KEY PLAN  
NOT TO SCALE



LINE TYPES LEGEND	
	PROPOSED NEW PROPERTY LINE
	NEW SETBACK LINE
	EXISTING PROPERTY LINE
	SETBACK LINE
	PROPOSED BUILDING OUTLINE
	UNDERGROUND PARKING OUTLINE
	PARKING OUTLINE BELOW GRADE
	SETBACK TO ALIGN WITH 6230 192 STREET

HATCH LEGEND	
	GREENSIDE ESTATES LAND TRANSFER
	ROAD WIDENING & ACCESS LINE RECONSTRUCTION
	EXISTING ROADS
	NEW ROADS
	EXISTING DUCK POND TO REMAIN
	BUILDING ENVELOPING SETBACK
	UNDERGROUND PARKING ENVELOPING SETBACK ABOVE GRADE
	AMENITY BUILDING
	PHASE 2 BUILDING PROFILE
	PHASE 1 BUILDING PROFILE

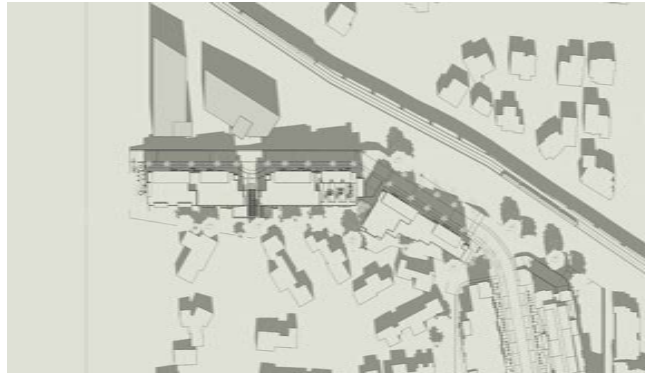


SITE PROPERTY LINES & SETBACKS  
SCALE: 1" = 90'-0" (1:1080)





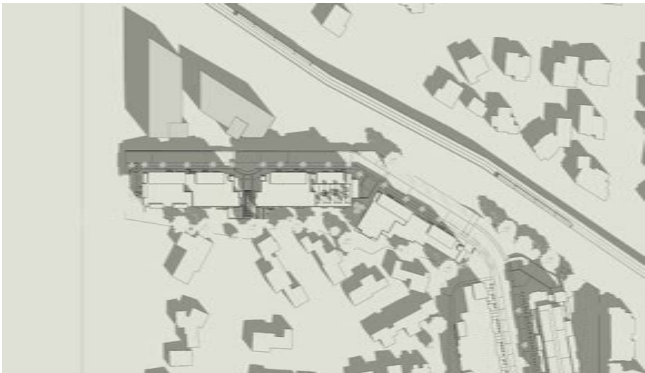
Shadow Study on AREA 1 - 21 Mar @ 10a.m.



Shadow Study on AREA 1 - 21 Mar @ noon



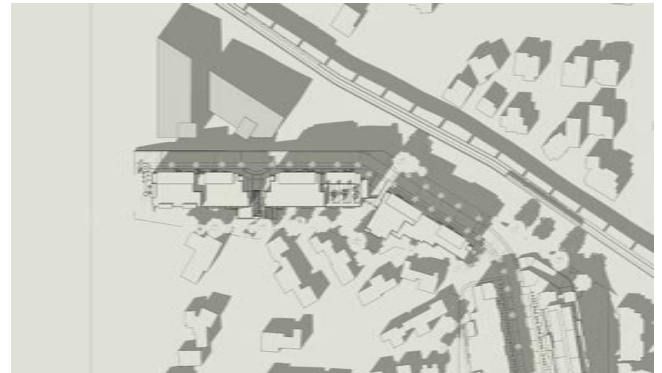
Shadow Study on AREA 1 - 21 Mar @ 2p.m.



Shadow Study on AREA 1 - 21 Sep @ 10a.m.



Shadow Study on AREA 1 - 21 Sep @ noon



Shadow Study AREA 1 - 21 Sep @ 2p.m.





Shadow Study on AREA 2 - 21 Mar @ 10a.m.



Shadow Study on AREA 2 - 21 Mar @ noon



Shadow Study on AREA 2- 21 Mar @ 2p.m.



Shadow Study on AREA 2 - 21 Sep @ 10a.m.



Shadow Study on AREA 2 - 21 Sep @ noon

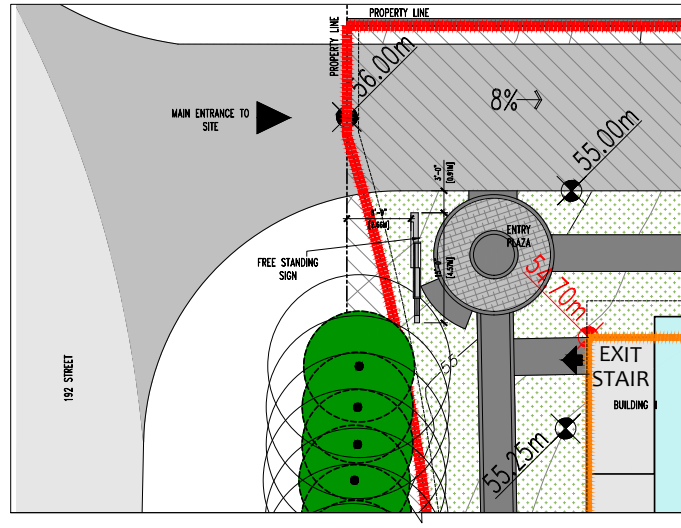


Shadow Study AREA 2 - 21 Sep @ 2p.m.

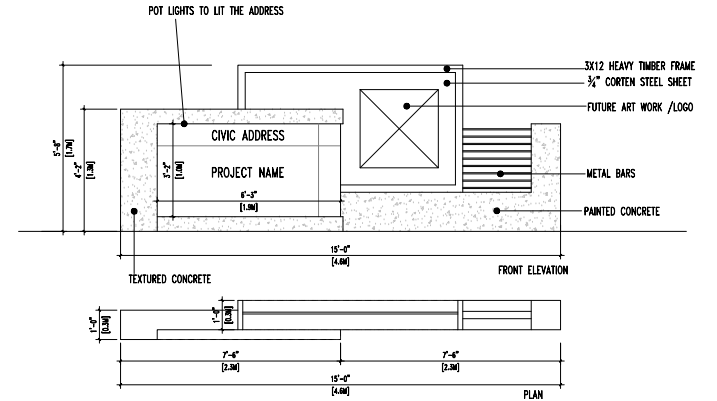
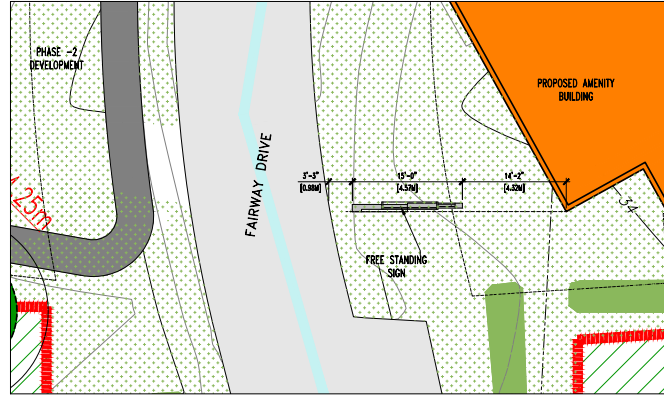
LOCATION -1 (AT MAIN ENTRANCE OF SITE)



LOCATION -2 (NEAR AMENITY BUILDING/  
FAIRWAY DRIVE)



PERSPECTIVE- FREE STANDING SIGNAGE  
SCALE: NTS



FREE STANDING SIGNAGE DETAILS  
SCALE: 1/2"=1'-0" (1:24)

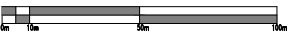


**UNIT TYPE LEGEND**

- UNIT TYPE "A" - TOTAL 55 UNITS  
3 BEDRM (1430 - 1461 SF)
- UNIT TYPE "B" - TOTAL 22 UNITS  
2 BEDRM (1160 - 1208 SF)
- TOTAL = 55 UNITS (PHASE 1)

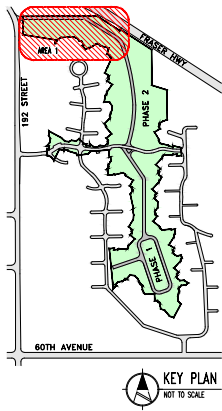
**BUILDING TYPE LEGEND**

- 4-STORY APARTMENT BUILDING
- 5-STORY APARTMENT BUILDING



OVERALL SITE PLAN  
SCALE: 1" = 30'-0" (1:900)

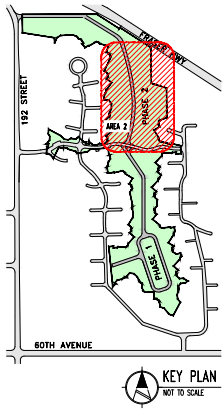




UNIT TYPES LEGEND	
	4-STORY APARTMENT BUILDING
	5-STORY APARTMENT BUILDING
	EXISTING GRADE
	PROPOSED GRADE
LINE TYPE LEGEND	
	PROPOSED NEW PROPERTY LINE
	EXISTING PROPERTY LINE
	GE WATER MAIN
	SETBACK LINE
	GE SANITARY SEWER LINE
	GE STORM SEWER LINE
	UNDERGROUND PARKING
HATCH LEGEND	
	GREENSIDE ESTATES LAND TRANSFER
	ROAD WIDENING & ACCESS LANE DEMARCATIONS
	EXISTING ROADS
	NEW ROADS
	EXISTING GREENSIDE ESTATES FENCES
	EXISTING TREES TO REMAIN



ENLARGED SITE PLAN - AREA 1  
SCALE: 1" = 30'-0" (1:360)

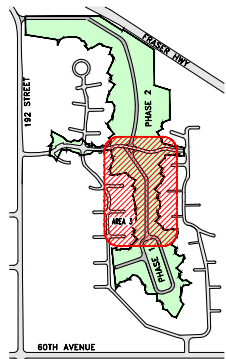


UNIT TYPES LEGEND	
	4-STORY APARTMENT BUILDING
	5-STORY APARTMENT BUILDING
	EXISTING GRADE
	PROPOSED GRADE
LINE TYPE LEGEND	
	PROPOSED NEW PROPERTY LINE
	EXISTING PROPERTY LINE
	GE WATER MAIN
	SETBACK LINE
	GE SANITARY SEWER LINE
	GE STORM SEWER LINE
	UNDERGROUND PARKING
HATCH LEGEND	
	GREENSIDE ESTATES LAND TRANSFER
	ROAD WIDENING & ACCESS LINE DEMARCATIONS
	EXISTING ROADS
	NEW ROADS
	EXISTING GREENSIDE ESTATES FENCES
	EXISTING TREES TO REMAIN



ENLARGED SITE PLAN - AREA 2  
SCALE: 1" = 30'-0" (1:360)





KEY PLAN  
NOT TO SCALE

UNIT TYPES LEGEND

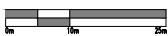
- UNIT TYPE 'X' - TOTAL 30 UNITS  
2 BDRM (1438 - 1461 SF)
  - UNIT TYPE 'Y' - TOTAL 25 UNITS  
2 BDRM (1181 - 1214 SF)
- TOTAL = 55 UNITS (PHASE 1)

LINE TYPE LEGEND

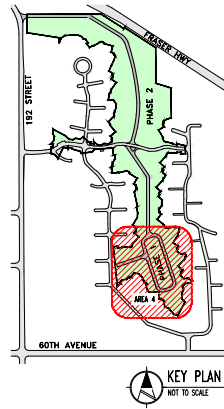
- PROPOSED NEW PROPERTY LINE
- EXISTING PROPERTY LINE
- GE WATER MAIN
- SETBACK LINE
- WETLAND & DITCH SETBACK LINE
- GE SANITARY SEWER LINE
- GE STORM SEWER LINE
- WOOD FENCE

HATCH LEGEND

- GREENSIDE ESTATES LAND TRANSFER
- ROAD WIDENING & ACCESS LANE DEMARCATIONS
- EXISTING ROADS
- NEW ROADS
- EXISTING GREENSIDE ESTATES HEDGES
- EXISTING TREES TO REMAIN



ENLARGED SITE PLAN - AREA 3  
SCALE: 1" = 30'-0" (1:360)



UNIT TYPES LEGEND	
	UNIT TYPE "A" - TOTAL 30 UNITS 3 BEDRM (1438 - 1461 SF)
	UNIT TYPE "B" - TOTAL 25 UNITS 2 BEDRM (1181 - 1216 SF)
TOTAL = 55 UNITS (PHASE 1)	
LINE TYPE LEGEND	
	PROPOSED NEW PROPERTY LINE
	EXISTING PROPERTY LINE
	GE WATER MAIN
	SETBACK LINE
	WETLAND & DITCH SETBACK LINE
	GE SANITARY SEWER LINE
	GE STORM SEWER LINE
	WOOD FENCE
HATCH LEGEND	
	GREENSIDE ESTATES LAND TRANSFER
	ROAD WIDENING & ACCESS LANE DEDICATIONS
	EXISTING ROADS
	NEW ROADS
	EXISTING GREENSIDE ESTATES MEADOWS
	EXISTING TREES TO REMAIN

0m 10m 25m







**LEGEND**

■ OUTDOOR AMENITY SPACE AREAS  
 TOTAL AREA: 43,240 SF (4,017m<sup>2</sup>)

TOTAL AMENITY SPACE REQUIRED:  
 450 UNITS x 5.5m<sup>2</sup> PER UNIT  
 = 2,475 m<sup>2</sup>

ADDITIONAL SPACE PROVIDED:  
 4,017 - 2,475 = 1,542 m<sup>2</sup>

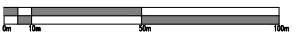
OUTDOOR AMENITY SPACE  
 SCALE: 1" = 30'-0" (1:914)





**LEGEND**

- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT

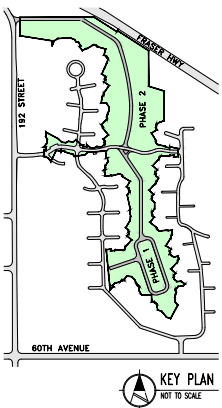


**FIRETRUCK ACCESS & HYDRANT LOCATIONS**  
 SCALE: 1" = 70'-0" (1:840)



**LEGEND**

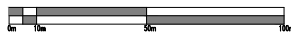
VEHICLE FLOW  
 PEDESTRIAN FLOW  
 DESIGN BUS STOP

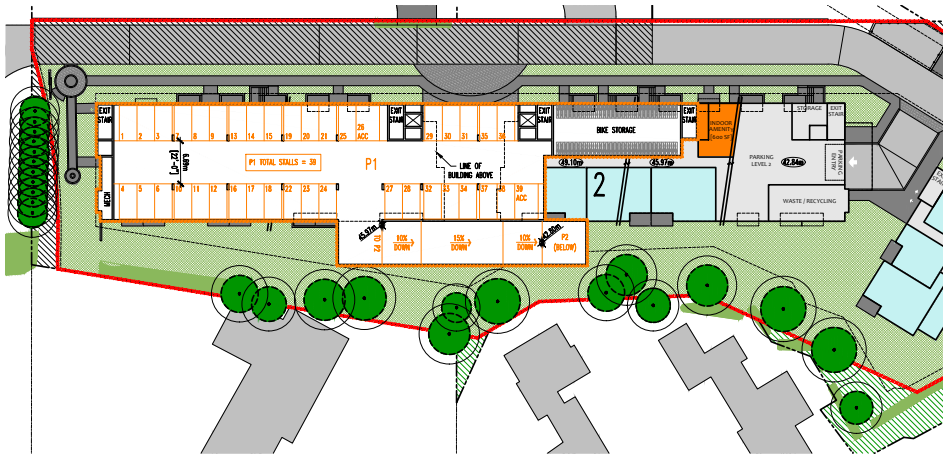


VEHICULAR TRAFFIC ENTRANCE/EXIT LOCATION TO SITE FROM 192 STREET

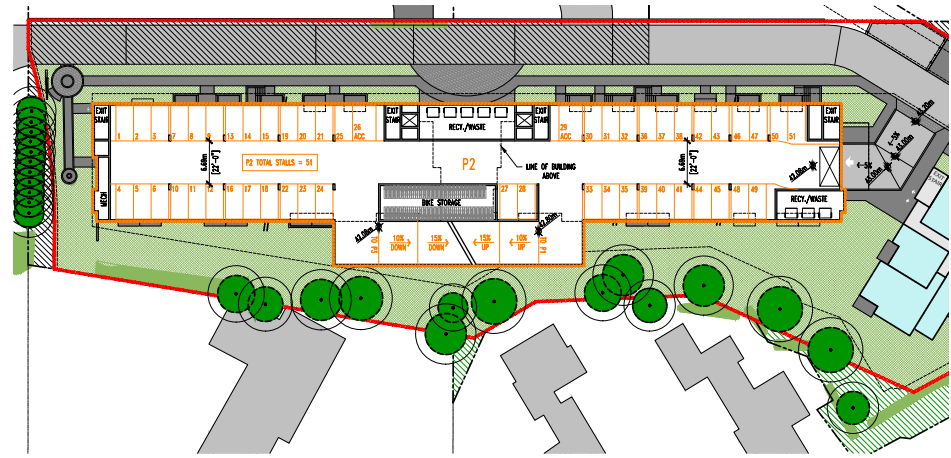
VEHICULAR TRAFFIC ENTRANCE/EXIT LOCATION TO SITE FROM 192 STREET

**VEHICLE TRAFFIC FLOW DIAGRAM**  
SCALE: 1" = 70'-0" (1:840)



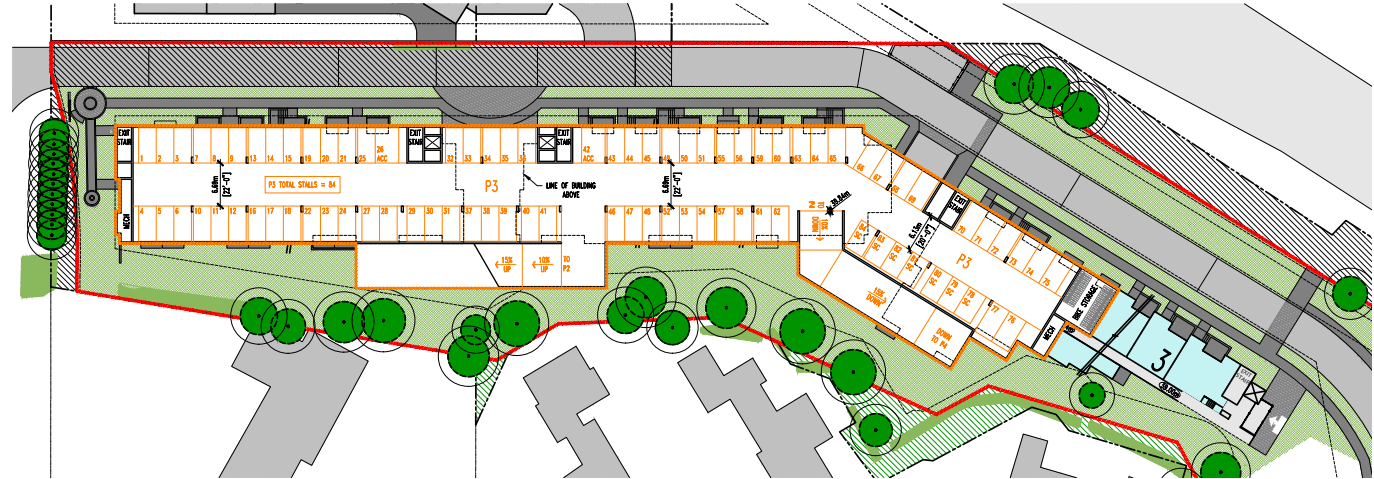


PARKING PLAN - BUILD 1-3 - P1  
SCALE: 1" = 30'-0" (1:360)

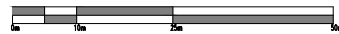


PARKING PLAN - BUILD 1-3 - P2  
SCALE: 1" = 30'-0" (1:360)

LINE TYPE LEGEND	
PROPOSED NEW PROPERTY LINE	
EXISTING PROPERTY LINE	
SETBACK LINE	
UNDERGROUND PARKING	

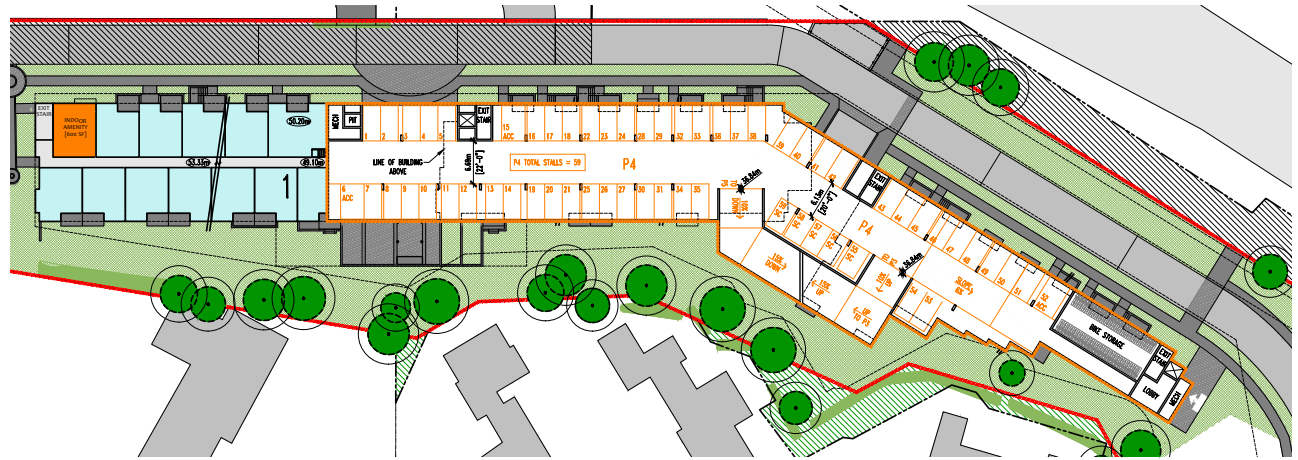


PARKING PLAN - BUILD 1-3 - P3  
SCALE: 1" = 30'-0" (1:360)

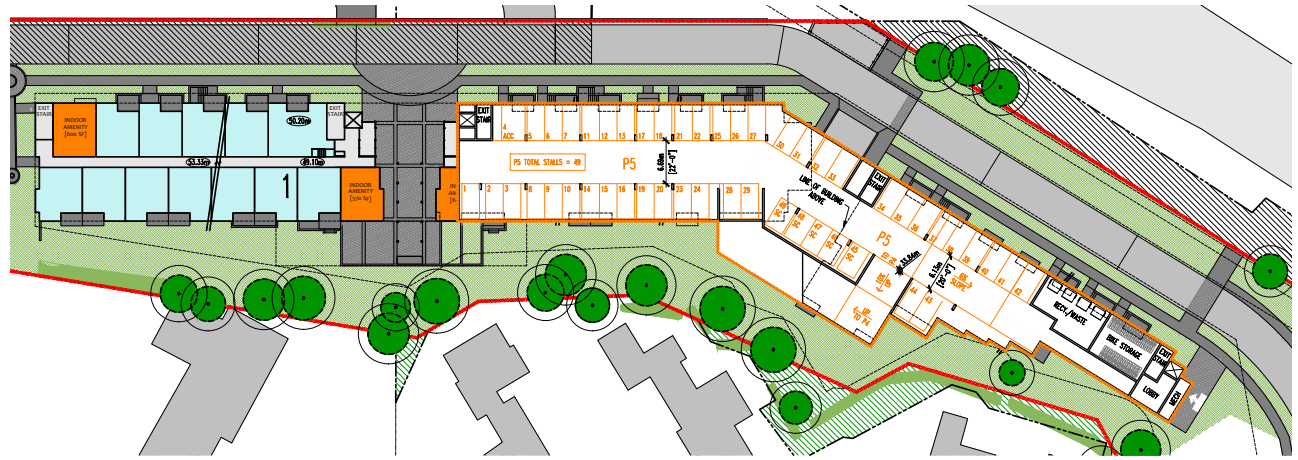




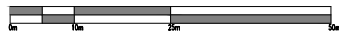
LINE TYPE LEGEND	
PROPOSED NEW PROPERTY LINE	
EXISTING PROPERTY LINE	
SETBACK LINE	
UNDERGROUND PARKING	



PARKING PLAN - BUILD 1-3 - P4  
SCALE: 1" = 30'-0" (1:360)



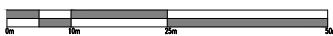
PARKING PLAN - BUILD 1-3 - P5  
SCALE: 1" = 30'-0" (1:360)



LINE TYPE LEGEND	
PROPOSED NEW PROPERTY LINE	
EXISTING PROPERTY LINE	
SETBACK LINE	
UNDERGROUND PARKING	

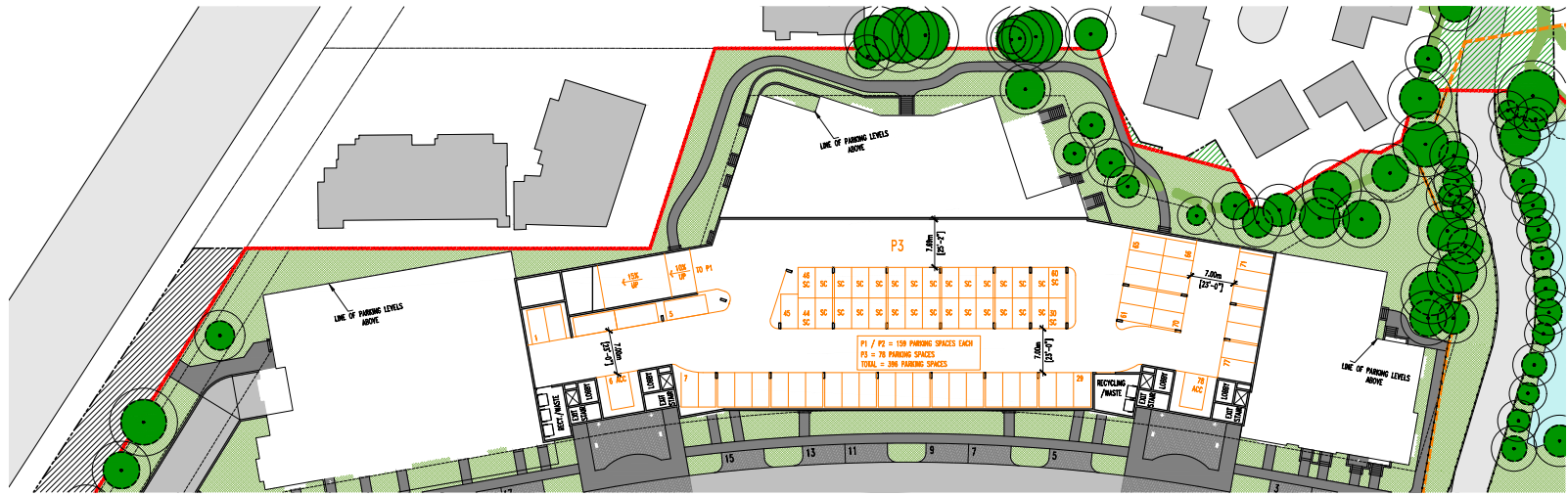


**PARKING PLAN - BUILD 4-5 - P1**  
SCALE: 1" = 30'-0" (1:360)



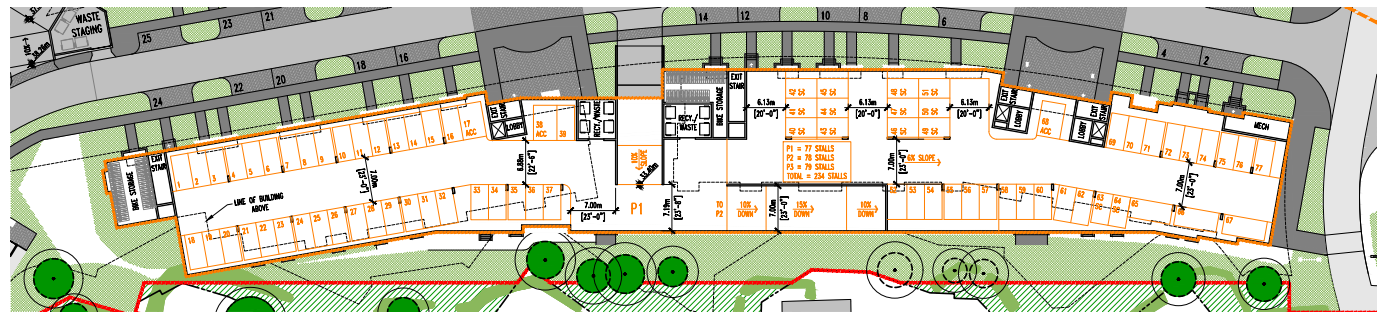
**PARKING PLAN - BUILD 4-5 - P2**  
SCALE: 1" = 30'-0" (1:360)

LINE TYPE LEGEND	
PROPOSED NEW PROPERTY LINE	
EXISTING PROPERTY LINE	
SETBACK LINE	
UNDERGROUND PARKING	

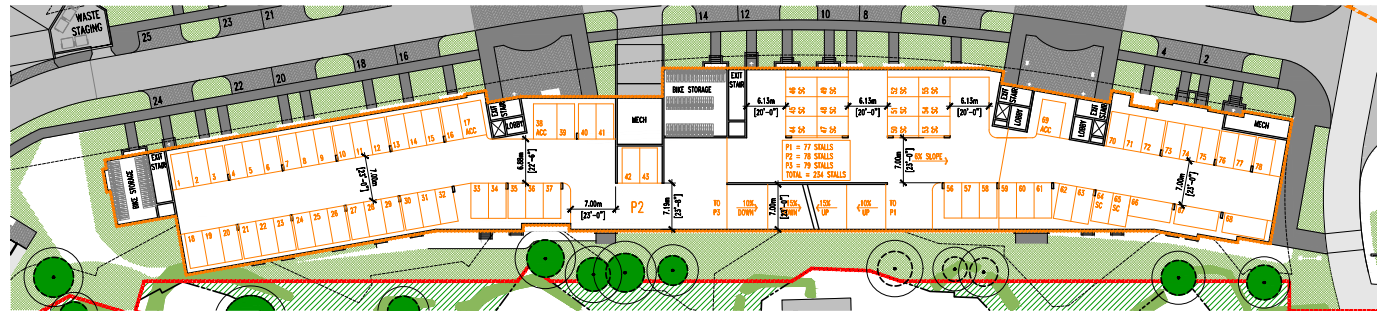


PARKING PLAN - BUILD 4-5 - P3  
SCALE: 1" = 30'-0" (1:360)

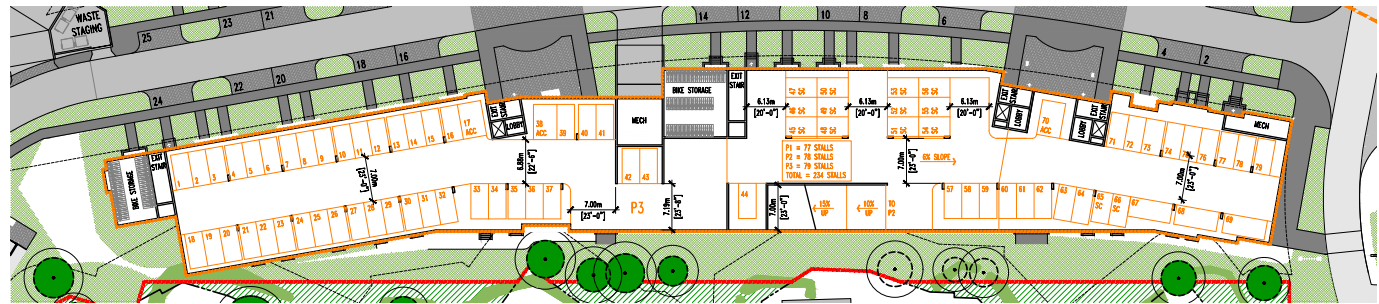
LINE TYPE LEGEND	
	PROPOSED NEW PROPERTY LINE
	EXISTING PROPERTY LINE
	SETBACK LINE
	UNDERGROUND PARKING



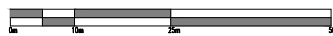
**PARKING PLAN - BUILD 6-7 - P1**  
SCALE: 1" = 30'-0" (1:360)



**PARKING PLAN - BUILD 6-7 - P2**  
SCALE: 1" = 30'-0" (1:360)



**PARKING PLAN - BUILD 6-7 - P3**  
SCALE: 1" = 30'-0" (1:360)





BUILDING-10

BUILDING-11



1 STREETScape - BUILDINGS 10 & 11  
SCALE: 3/32" = 1'-0"

BUILDING-3

BUILDING-1

BUILDING-2

BUILDING-9



2 STREETScape - BUILDINGS 1-3 & 9  
SCALE: 3/32" = 1'-0"

BUILDING-2

BUILDING-1

BUILDING-3



3 STREETScape - BUILDINGS 1-3  
SCALE: 3/32" = 1'-0"



BUILDING 6

BUILDING 9



1 STREETScape - BUILDINGS 6 & 9  
SCALE: 3/32" = 1'-0"

BUILDING 6

BUILDING 7



2 STREETScape - BUILDINGS 6 & 7  
SCALE: 3/32" = 1'-0"

BUILDING 8

BUILDING 9

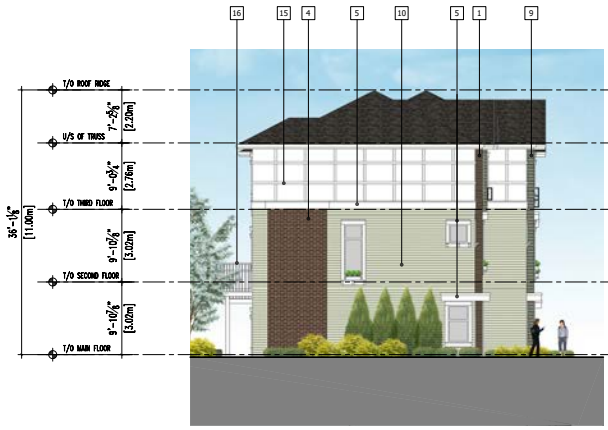


3 STREETScape - BUILDINGS 8 & 9  
SCALE: 3/32" = 1'-0"

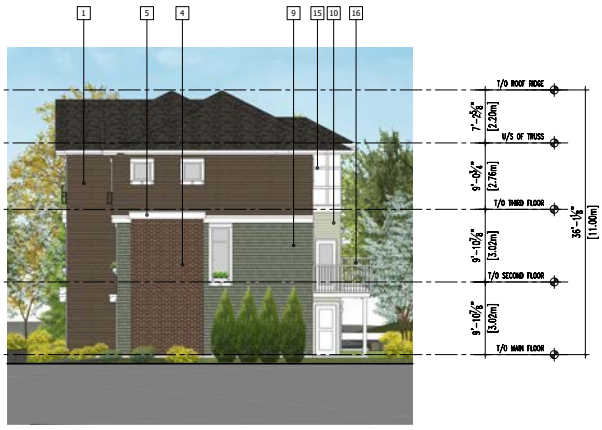


1 FRONT ELEVATION - BUILDING 1 & 2  
SCALE: 1/8" = 1'-0"

**NOTE**  
BUILDING 2 FLOOR PLAN IS A MIRROR OF BUILDING 1.



2 SIDE ELEVATION - BUILDING 1 & 2  
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION - BUILDING 1 & 2  
SCALE: 1/8" = 1'-0"

MATERIAL/COLOUR SELECTION		
BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER
1	HardieShingle Siding	TIMBER BARK JAMES HARDIE
2	HardiePlank Lap Siding	KHAKI BROWN JAMES HARDIE
3	HardiePlank Lap Siding	IRON GRAY JAMES HARDIE
4	BRICK	JAVA GENERAL SHALE
5	PAINT @ TRIMS AND BOARDS	LACEY PEARL 2108-70 BENJAMIN MOORE
6	HardiePlank Lap Siding	TIMBER BARK JAMES HARDIE
7	DECORATIVE METAL GRILL	-
8	HardieShingle Siding	IRON GRAY JAMES HARDIE
9	HardieShingle Siding	MOUNTAIN SAGE JAMES HARDIE
10	HardiePlank Lap Siding	HEATHERED MOSS JAMES HARDIE
11	HardiePlank Lap Siding	SANDSTONE BEIGE JAMES HARDIE
12	HardieShingle Siding	COUNTRY LANE RED JAMES HARDIE
13	HardieShingle Siding	GRAY SLATE JAMES HARDIE
14	HardiePlank Lap Siding	GRAY SLATE JAMES HARDIE
15	PAINTED HARDIE BOARD	LACEY PEARL 2108-70 BENJAMIN MOORE
16	ALUMINUM PICKET RAILING	-
17	HardieShingle Siding	KHAKI BROWN JAMES HARDIE
18	HardiePlank Lap Siding	COBBLE STONE JAMES HARDIE
19	HardieShingle Siding	COBBLE STONE JAMES HARDIE



1 REAR ELEVATION - BUILDING 1 & 2  
SCALE: 1/8" = 1'-0"

**NOTE**  
BUILDING 1 FLOOR PLAN IS A MIRROR OF BUILDING 2.

MATERIAL/COLOUR SELECTION			
BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER	
1	HardieShingle Siding	TIMBER BARK	JAMES HARDIE
2	HardiePlank Lap Siding	KHAKI BROWN	JAMES HARDIE
3	HardiePlank Lap Siding	IRON GRAY	JAMES HARDIE
4	BRICK	JAVA	GENERAL SHALE
5	PAINT @ TRIMS AND BOARDS	LACEY PEARL 2108-70	BENJAMIN MOORE
6	HardiePlank Lap Siding	TIMBER BARK	JAMES HARDIE
7	DECORATIVE METAL GRILL	-	-
8	HardieShingle Siding	IRON GRAY	JAMES HARDIE
9	HardieShingle Siding	MOUNTAIN SAGE	JAMES HARDIE
10	HardiePlank Lap Siding	HEATHERED MOSS	JAMES HARDIE
11	HardiePlank Lap Siding	SANDSTONE BEIGE	JAMES HARDIE
12	HardieShingle Siding	COUNTRY LANE RED	JAMES HARDIE
13	HardieShingle Siding	GRAY SLATE	JAMES HARDIE
14	HardiePlank Lap Siding	GRAY SLATE	JAMES HARDIE
15	PAINTED HARDIE BOARD	LACEY PEARL 2108-70	BENJAMIN MOORE
16	ALUMINUM PICKET RAILING	-	-
17	HardieShingle Siding	KHAKI BROWN	JAMES HARDIE
18	HardiePlank Lap Siding	COBBLE STONE	JAMES HARDIE
19	HardieShingle Siding	COBBLE STONE	JAMES HARDIE



1 FRONT ELEVATION - BUILDING 3  
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION - BUILDING 6 & 9  
SCALE: 1/8" = 1'-0"

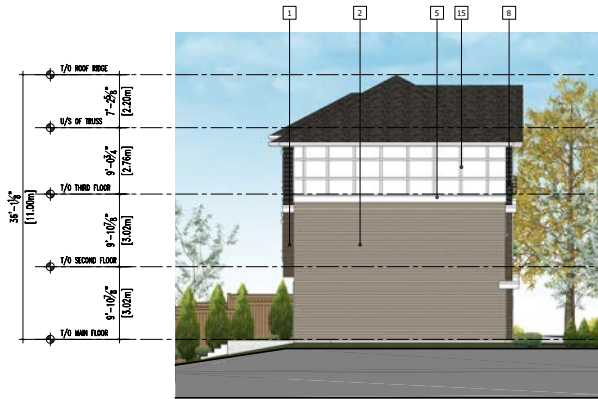
NOTE  
BUILDING 9 FLOOR PLAN IS A  
MIRROR OF BUILDING 6.

MATERIAL/COLOUR SELECTION		
BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER
1	HardieShingle Siding	TIMBER BARK JAMES HARDIE
2	HardiePlank Lap Siding	KHAKI BROWN JAMES HARDIE
3	HardiePlank Lap Siding	IRON GRAY JAMES HARDIE
4	BRICK	JAVA GENERAL SHALE
5	PAINT @ TRIMS AND BOARDS	LACEY PEARL 2108-70 BENJAMIN MOORE
6	HardiePlank Lap Siding	TIMBER BARK JAMES HARDIE
7	DECORATIVE METAL GRILL	- -
8	HardieShingle Siding	IRON GRAY JAMES HARDIE
9	HardieShingle Siding	MOUNTAIN SAGE JAMES HARDIE
10	HardiePlank Lap Siding	HEATHERED MOSS JAMES HARDIE
11	HardiePlank Lap Siding	SANDSTONE BEIGE JAMES HARDIE
12	HardieShingle Siding	COUNTRY LANE RED JAMES HARDIE
13	HardieShingle Siding	GRAY SLATE JAMES HARDIE
14	HardiePlank Lap Siding	GRAY SLATE JAMES HARDIE
15	PAINTED HARDIE BOARD	LACEY PEARL 2108-70 BENJAMIN MOORE
16	ALUMINUM PICKET RAILING	- -
17	HardieShingle Siding	KHAKI BROWN JAMES HARDIE
18	HardiePlank Lap Siding	COBBLE STONE JAMES HARDIE
19	HardieShingle Siding	COBBLE STONE JAMES HARDIE

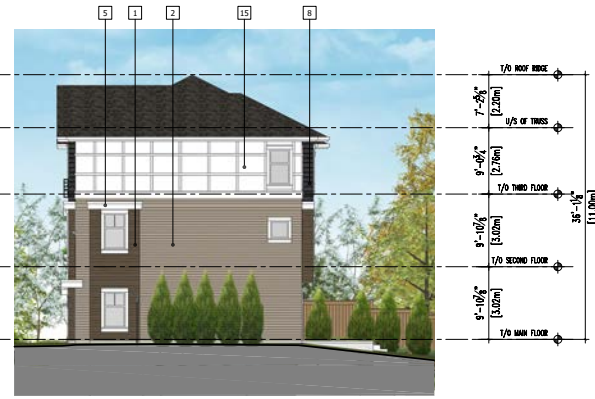




1 FRONT ELEVATION - BUILDING 7  
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION - BUILDING 7  
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION - BUILDING 7  
SCALE: 1/8" = 1'-0"

MATERIAL/COLOUR SELECTION			
BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER	
1	HardieShingle Siding	TIMBER BARK	JAMES HARDIE
2	HardiePlank Lap Siding	KHAKI BROWN	JAMES HARDIE
3	HardiePlank Lap Siding	IRON GRAY	JAMES HARDIE
4	BRICK	JAVA	GENERAL SHALE
5	PAINT @ TRIMS AND BOARDS	LACEY PEARL 2108-70	BENJAMIN MOORE
6	HardiePlank Lap Siding	TIMBER BARK	JAMES HARDIE
7	DECORATIVE METAL GRILL	-	-
8	HardieShingle Siding	IRON GRAY	JAMES HARDIE
9	HardieShingle Siding	MOUNTAIN SAGE	JAMES HARDIE
10	HardiePlank Lap Siding	HEATHERED MOSS	JAMES HARDIE
11	HardiePlank Lap Siding	SANDSTONE BEIGE	JAMES HARDIE
12	HardieShingle Siding	COUNTRY LANE RED	JAMES HARDIE
13	HardieShingle Siding	GRAY SLATE	JAMES HARDIE
14	HardiePlank Lap Siding	GRAY SLATE	JAMES HARDIE
15	PAINTED HARDIE BOARD	LACEY PEARL 2108-70	BENJAMIN MOORE
16	ALUMINUM PICKET RAILING	-	-
17	HardieShingle Siding	KHAKI BROWN	JAMES HARDIE
18	HardiePlank Lap Siding	COBBLE STONE	JAMES HARDIE
19	HardieShingle Siding	COBBLE STONE	JAMES HARDIE



1 REAR ELEVATION - BUILDING 7  
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION - BUILDING 8  
SCALE: 1/8" = 1'-0"

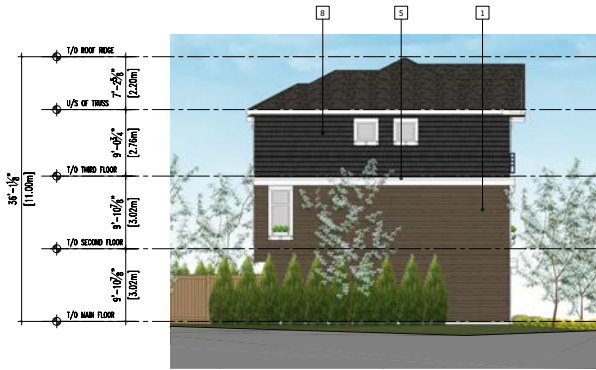
**MATERIAL/COLOUR SELECTION**

BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER
1 HardieShingle Siding	TIMBER BARK	JAMES HARDIE
2 HardiePlank Lap Siding	KHAKI BROWN	JAMES HARDIE
3 HardiePlank Lap Siding	IRON GRAY	JAMES HARDIE
4 BRICK	JAVA	GENERAL SHALE
5 PAINT @ TRIMS AND BOARDS	LACEY PEARL 2108-70	BENJAMIN MOORE
6 HardiePlank Lap Siding	TIMBER BARK	JAMES HARDIE
7 DECORATIVE METAL GRILL	-	-
8 HardieShingle Siding	IRON GRAY	JAMES HARDIE
9 HardieShingle Siding	MOUNTAIN SAGE	JAMES HARDIE
10 HardiePlank Lap Siding	HEATHERED MOSS	JAMES HARDIE
11 HardiePlank Lap Siding	SANDSTONE BEIGE	JAMES HARDIE
12 HardieShingle Siding	COUNTRY LANE RED	JAMES HARDIE
13 HardieShingle Siding	GRAY SLATE	JAMES HARDIE
14 HardiePlank Lap Siding	GRAY SLATE	JAMES HARDIE
15 PAINTED HARDIE BOARD	LACEY PEARL 2108-70	BENJAMIN MOORE
16 ALUMINUM PICKET RAILING	-	-
17 HardieShingle Siding	KHAKI BROWN	JAMES HARDIE
18 HardiePlank Lap Siding	COBBLE STONE	JAMES HARDIE
19 HardieShingle Siding	COBBLE STONE	JAMES HARDIE

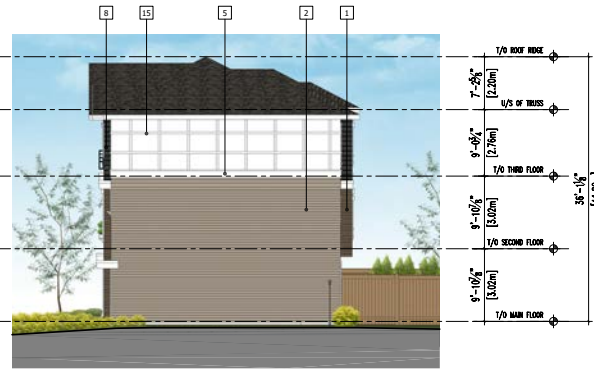




1 REAR ELEVATION - BUILDING 8  
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION - BUILDING 8  
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION - BUILDING 8  
SCALE: 1/8" = 1'-0"

MATERIAL/COLOUR SELECTION		
BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER
1 HardieShingle Siding	TIMBER BARK	JAMES HARDIE
2 HardiePlank Lap Siding	KHAKI BROWN	JAMES HARDIE
3 HardiePlank Lap Siding	IRON GRAY	JAMES HARDIE
4 BRICK	JAVA	GENERAL SHALE
5 PAINT @ TRIMS AND BOARDS	LACEY PEARL 2108-70	BENJAMIN MOORE
6 HardiePlank Lap Siding	TIMBER BARK	JAMES HARDIE
7 DECORATIVE METAL GRILL	-	-
8 HardieShingle Siding	IRON GRAY	JAMES HARDIE
9 HardieShingle Siding	MOUNTAIN SAGE	JAMES HARDIE
10 HardiePlank Lap Siding	HEATHERED MOSS	JAMES HARDIE
11 HardiePlank Lap Siding	SANDSTONE BEIGE	JAMES HARDIE
12 HardieShingle Siding	COUNTRY LANE RED	JAMES HARDIE
13 HardieShingle Siding	GRAY SLATE	JAMES HARDIE
14 HardiePlank Lap Siding	GRAY SLATE	JAMES HARDIE
15 PAINTED HARDIE BOARD	LACEY PEARL 2108-70	BENJAMIN MOORE
16 ALUMINUM PICKET RAILING	-	-
17 HardieShingle Siding	KHAKI BROWN	JAMES HARDIE
18 HardiePlank Lap Siding	COBBLE STONE	JAMES HARDIE
19 HardieShingle Siding	COBBLE STONE	JAMES HARDIE



1 FRONT ELEVATION - BUILDING 10  
SCALE: 1/8" = 1'-0"

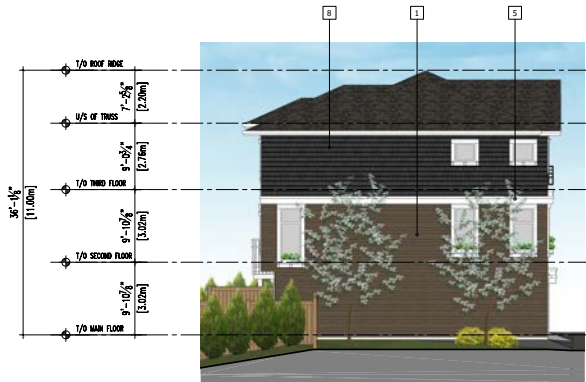


2 FRONT ELEVATION - BUILDING 11  
SCALE: 1/8" = 1'-0"

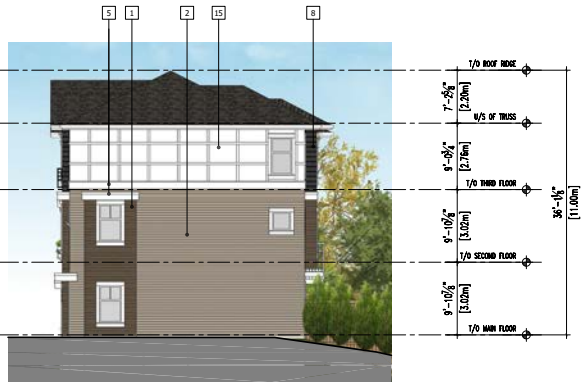
MATERIAL/COLOUR SELECTION		
BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER
1 HardieShingle Siding	TIMBER BARK	JAMES HARDIE
2 HardiePlank Lap Siding	KHAKI BROWN	JAMES HARDIE
3 HardiePlank Lap Siding	IRON GRAY	JAMES HARDIE
4 BRICK	JAVA	GENERAL SHALE
5 PAINT @ TRIMS AND BOARDS	LACEY PEARL 2108-70	BENJAMIN MOORE
6 HardiePlank Lap Siding	TIMBER BARK	JAMES HARDIE
7 DECORATIVE METAL GRILL	-	-
8 HardieShingle Siding	IRON GRAY	JAMES HARDIE
9 HardieShingle Siding	MOUNTAIN SAGE	JAMES HARDIE
10 HardiePlank Lap Siding	HEATHERED MOSS	JAMES HARDIE
11 HardiePlank Lap Siding	SANDSTONE BEIGE	JAMES HARDIE
12 HardieShingle Siding	COUNTRY LANE RED	JAMES HARDIE
13 HardieShingle Siding	GRAY SLATE	JAMES HARDIE
14 HardiePlank Lap Siding	GRAY SLATE	JAMES HARDIE
15 PAINTED HARDIE BOARD	LACEY PEARL 2108-70	BENJAMIN MOORE
16 ALUMINUM PICKET RAILING	-	-
17 HardieShingle Siding	KHAKI BROWN	JAMES HARDIE
18 HardiePlank Lap Siding	COBBLE STONE	JAMES HARDIE
19 HardieShingle Siding	COBBLE STONE	JAMES HARDIE



1 REAR ELEVATION - BUILDING 11  
SCALE: 1/8" = 1'-0"

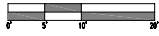


2 SIDE ELEVATION - BUILDING 11  
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION - BUILDING 11  
SCALE: 1/8" = 1'-0"

MATERIAL/COLOUR SELECTION		
BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER
1 HardieShingle Siding	TIMBER BARK	JAMES HARDIE
2 HardiePlank Lap Siding	KHAKI BROWN	JAMES HARDIE
3 HardiePlank Lap Siding	IRON GRAY	JAMES HARDIE
4 BRICK	JAVA	GENERAL SHALE
5 PAINT @ TRIMS AND BOARDS	LACEY PEARL 2108-70	BENJAMIN MOORE
6 HardiePlank Lap Siding	TIMBER BARK	JAMES HARDIE
7 DECORATIVE METAL GRILL	-	-
8 HardieShingle Siding	IRON GRAY	JAMES HARDIE
9 HardieShingle Siding	MOUNTAIN SAGE	JAMES HARDIE
10 HardiePlank Lap Siding	HEATHERED MOSS	JAMES HARDIE
11 HardiePlank Lap Siding	SANDSTONE BEIGE	JAMES HARDIE
12 HardieShingle Siding	COUNTRY LANE RED	JAMES HARDIE
13 HardieShingle Siding	GRAY SLATE	JAMES HARDIE
14 HardiePlank Lap Siding	GRAY SLATE	JAMES HARDIE
15 PAINTED HARDIE BOARD	LACEY PEARL 2108-70	BENJAMIN MOORE
16 ALUMINUM PICKET RAILING	-	-
17 HardieShingle Siding	KHAKI BROWN	JAMES HARDIE
18 HardiePlank Lap Siding	COBBLE STONE	JAMES HARDIE
19 HardieShingle Siding	COBBLE STONE	JAMES HARDIE





1 FRONT ELEVATION - BUILDING 1  
SCALE: 3/8" = 1'-0"



2 FRONT ELEVATION - BUILDING 2  
SCALE: 3/8" = 1'-0"

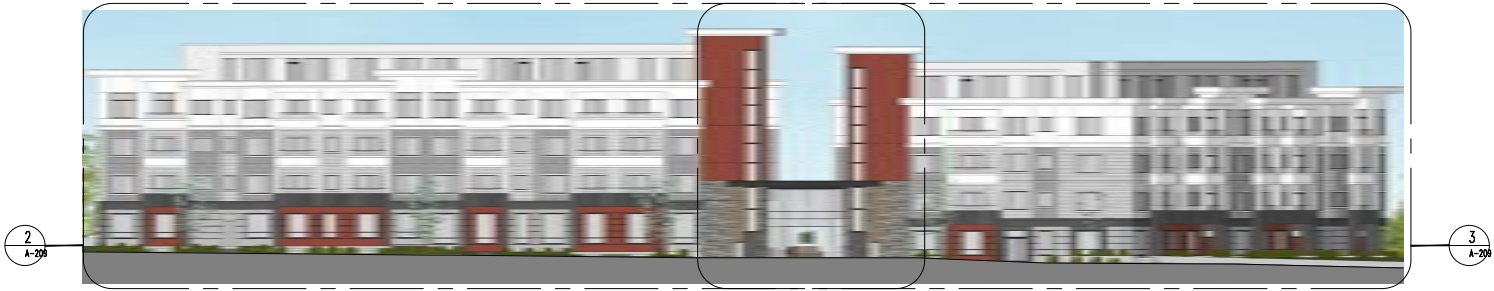




FRONT ELEVATION - BUILDING 3  
SCALE: 3/32" = 1'-0"



FRONT ELEVATION - BUILDING 5  
SCALE: 3/32" = 1'-0"



1 STREETScape - BUILDING 4  
NOT TO SCALE



2 FRONT ELEVATION - BUILDING 4  
SCALE: 3/32" = 1'-0"



3 FRONT ELEVATION - BUILDING 4  
SCALE: 3/32" = 1'-0"



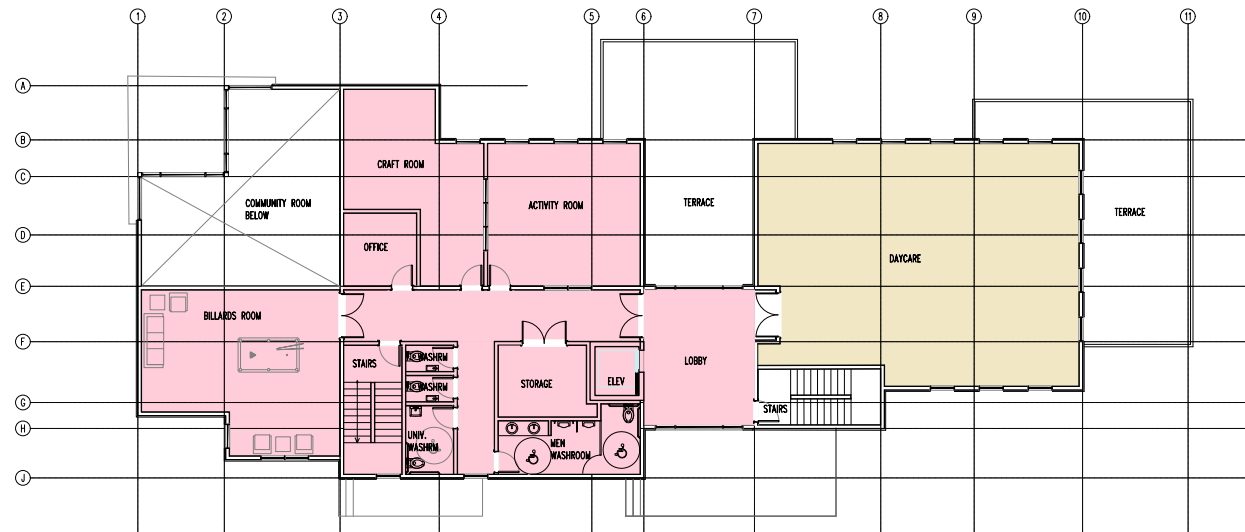
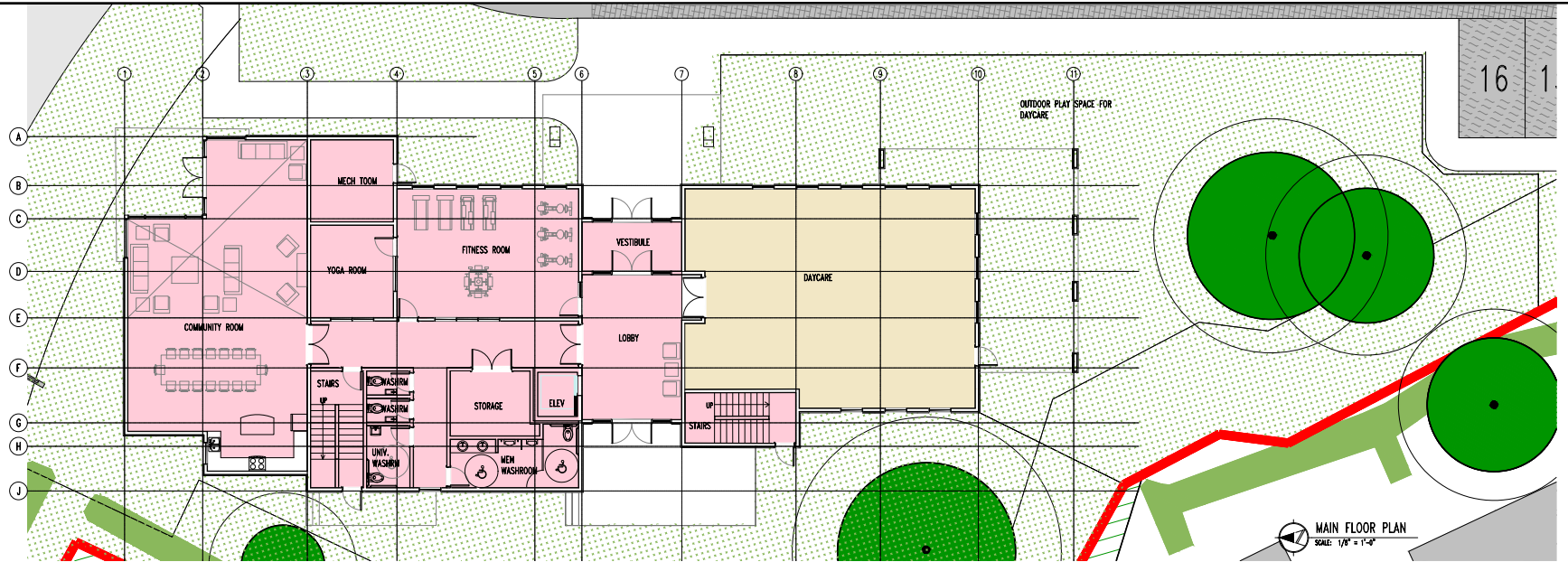


1 FRONT ELEVATION - BUILDING 6  
SCALE: 3/8" = 1'-0"

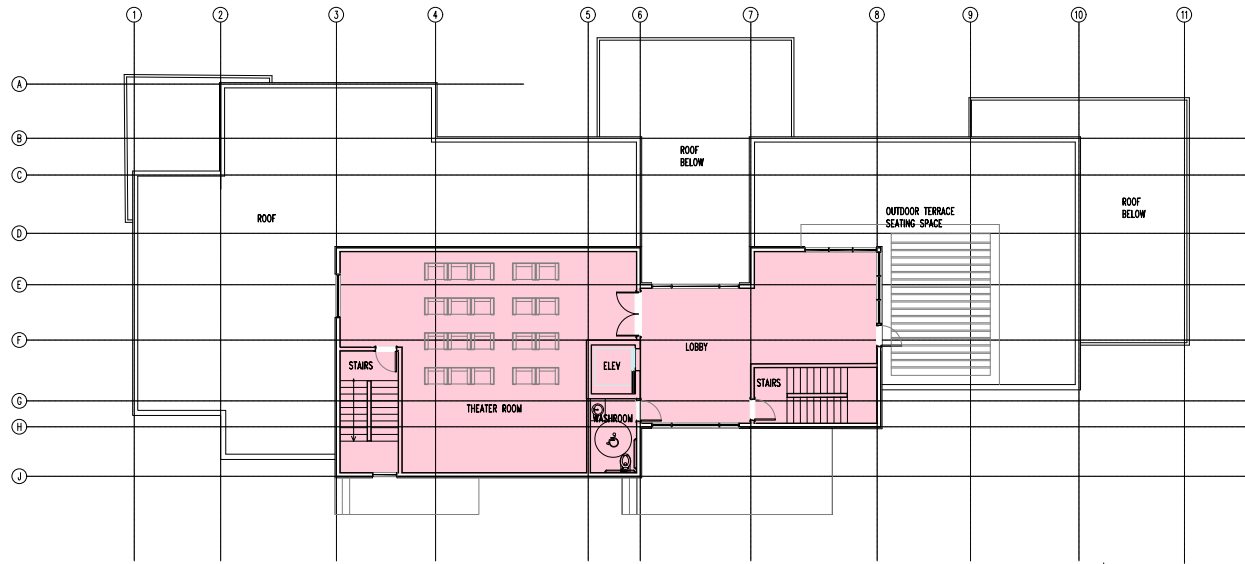


2 FRONT ELEVATION - BUILDING 7  
SCALE: 3/8" = 1'-0"

TOTAL AREA OF AMENITY BUILDING  
 = 11,836 SQ FT  
 (MAIN FLOOR - 5300 SQ FT  
 2ND FLOOR - 4515 SQ FT  
 3RD FLOOR - 2021 SQ FT)



2ND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



3RD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

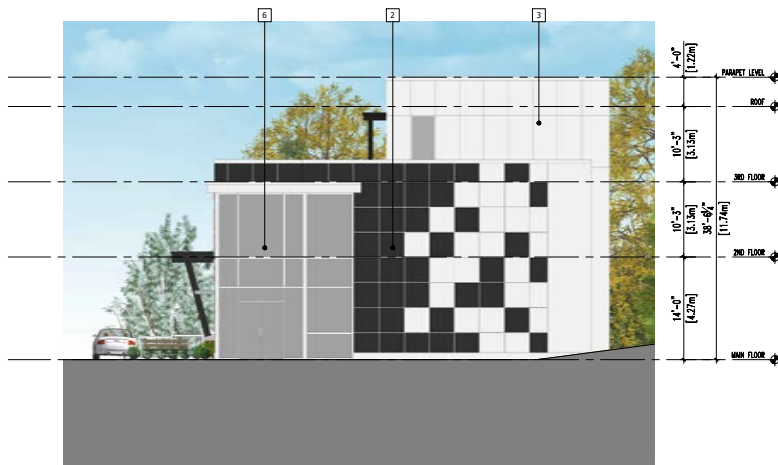


1 FRONT (WEST) ELEVATION  
SCALE: 1/8" = 1'-0"

MATERIAL/COLOUR SELECTION		
BUILDING MATERIALS	COLOUR	MANUFACTURER /SUPPLIER
1	IMAGE OVERLAYED ON METAL PANELS	-
2	HARDIE REVEAL PANELS	IRON GRAY JAMES HARDIE
3	EPS	ARCTIC WHITE -
4	EPS	COUNTRY LANE RED -
5	AL STOREFRONT DOORS	ALUMINUM -
6	AL WINDOWS	ALUMINUM -



1 REAR (EAST) ELEVATION  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



HARDIE PLANK LAP SIDING COLORS



HARDIE SHINGLE SIDING COLORS



TOWNHOMES - PERSPECTIVE

PAINT @ TRIMS AND BOARD



LACEY PEARL 2108-70

EIFS



ARTIC WHITE



COUNTRY LANE RED

BRICKS - GENERAL SHALE



JAVA

HARDIE REVEAL PANELS



IRON GRAY

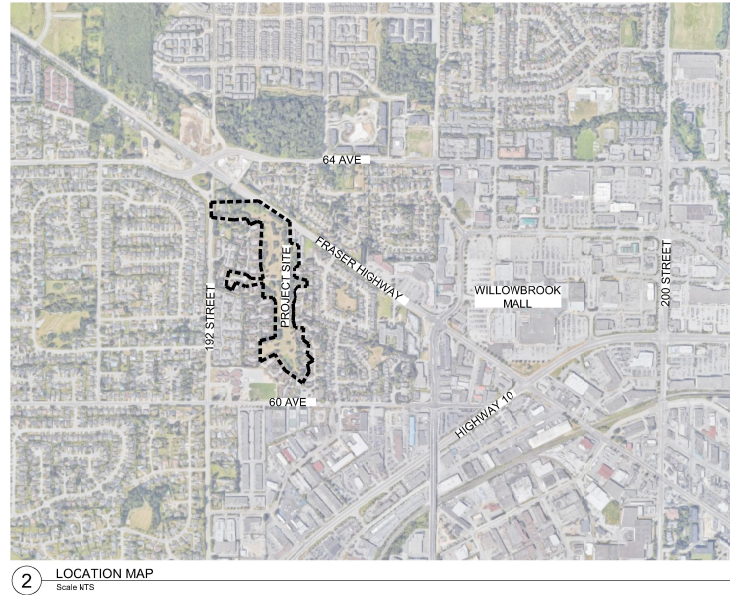
# GREENSIDE DEVELOPMENT - BLOCK A (APARTMENTS)

Issued for general DP

<p><b>Contact Information</b></p> <p><b>VDZ+A</b> Project Landscape Architecture</p> <p>Fort Langley Studio 100-9181 Church Street Fort Langley, British Columbia, V1M 2R6</p> <p>Mount Pleasant Studio 112-3555 Kingsway Vancouver, British Columbia, V5T 3J7</p> <p>Primary project contact: Stephen Heller stephen@vdz.ca o. 604 546 0929</p> <p>Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0920</p>	<p><b>Other Key Contacts:</b></p> <p><b>192 Street Development Ltd.</b> Project Owner</p> <p>15055 - 54A Avenue Surrey, BC V3S 5X7 t. 604 580 0154 c. Sukhi Rai</p> <p><b>JM Architecture Inc.</b> Project Building Architecture</p> <p>Main Floor - Building 4 15243 - 91st Avenue Surrey, BC V1R 6P6 t. 605 583 2063 c. Joe Minton</p> <p><b>Legal Address and Description:</b></p> <p>LOT 205, SECTION 13, TOWNSHIP 8, NEW WESTMINSTER DISTRICT, PLAN 53566</p>
--	--

## Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL PLAN
L-03	BUILDINGS 1, 2, AND 3 - LANDSCAPE PLAN
L-04	BUILDINGS 4 AND 6 - LANDSCAPE PLAN
L-05	BUILDINGS 5 AND 7 - LANDSCAPE PLAN
L-06	FENCE AND WALL PLAN
LS-01	SECTIONS
LS-02	SECTIONS
LS-03	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	FENCE DETAILS
LD-06	PLANTING DETAILS



REVISIONS TABLE FOR SHEET			
No.	By:	Description	Date
6	ET	Issued for general DP	July 2, 2020
5	AD	Issued for DP	June 10, 2020
4	AD	Submission to ADR	May 28, 2020
3	AD	Issued for Reasoning and DP	March 2, 2020
2	AD	Issued for Reasoning and DP	Sept 27, 2019
1	AD	Issued for Reasoning and DP	Sept 4, 2019
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No.	By:	Description	Date

Project:  
**GREENSIDE DEVELOPMENT  
BLOCK A (APARTMENTS)**

Location:  
15310 Fraser Highway & 6312 -  
152 Street, Surrey BC

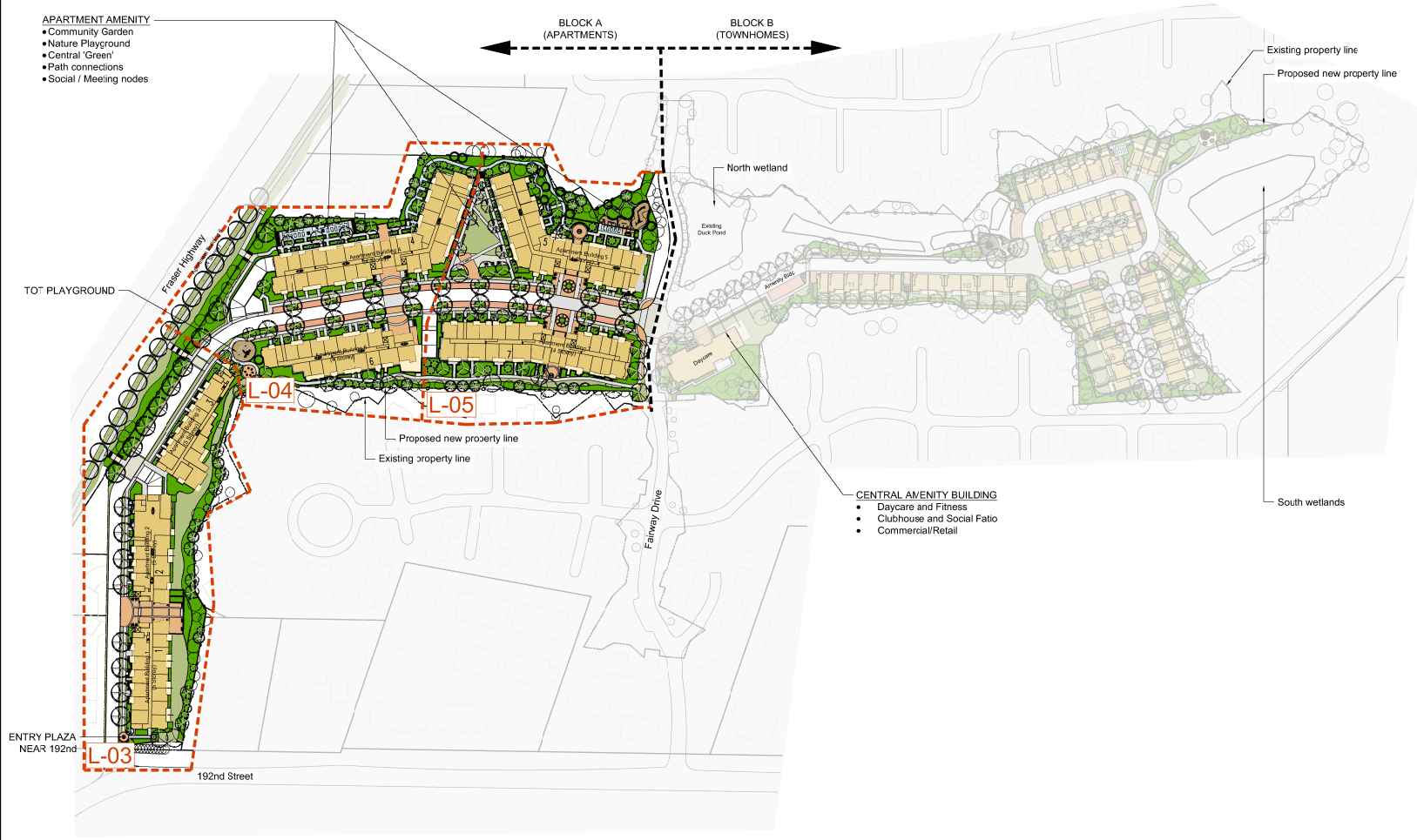
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- APARTMENT AMENITY**
- Community Garden
  - Nature Playground
  - Central 'Green'
  - Faith connections
  - Social / Meeting nodes

**BLOCK A (APARTMENTS)**      **BLOCK B (TOWNHOMES)**



- CENTRAL AMENITY BUILDING**
- Daycare and Fitness
  - Clubhouse and Social Patio
  - Commercial/Retail

No.	By:	Description	Date
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**Project:**  
 GREENSIDE DEVELOPMENT  
 BLOCK A (APARTMENTS)

**Location:**  
 15310 Fraser Highway & 6312 - 152 Street, Surrey BC

<b>Drawn:</b> AD DV	<b>Stamp:</b>
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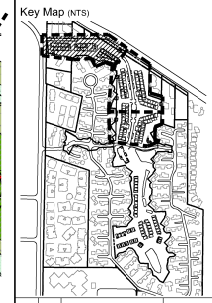
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Drawing Title: **OVERALL PLAN**  
 Drawing #: **L-02**  
 DP2019-43  
 NORTH





**HARDSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
	3.4 LD-01	CONCRETE SLAB
	1.2 LD-03	STONE PAVERS
	2 LD-01	PATTERNED CONCRETE VEHICLE CROSSING
	7 LD-01	PERMEABLE PAVERS
	5.6 LD-01	HYDRAPRESSED SLABS
	8 LD-01	GRANULAR PAVING
	2 LD-02	WOOD FIBER PLAY SURFACE
	3 LD-01	COLOURED CONCRETE

**SITE FURNISHINGS/LIGHTING**

KEY	REF.	DESCRIPTION
	6 LD-03	BIKE RACK
	1 LD-04	BENCH
	8 LD-04	BOLLARD
	4 LD-04	PLANTER/POT
		MOVABLE CHAIR
	2 LD-04	PICNIC TABLE
	3 LD-04	GARBAGE BIN
	4 LD-03	LANDSCAPE LIGHTING
	3 LD-03	COMMUNITY GARDEN BOX

**FENCING**

KEY	REF.	DESCRIPTION
	1 LD-05	1.84m WOOD FENCE PRIVACY FENCE
	2 LD-05	1.2m METAL GUARD RAIL
		ACCESS GATE RAIL FENCE
	7 LD-04	2 POST TRELLIS
	7 LD-04	4 POST TRELLIS
	5 LD-03	CURVED TRELLIS

**SOFTSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
		EXISTING TREE
		PROPOSED TREE
		SOD See Critical Landscape Notes for Specifications
		SHRUB PLANTING

**ON-SITE TREE SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer ginnem / Paperbark Maple	B&B	6cm		3
	Cercidiphyllum japonicum / Hatsuura Tree	B&B	6cm		35
	Cornus kousa x nuttallii Stargilt / Starlight Dogwood	B&B	4cm		1
	Fagus sylvatica 'Purpurea' / European Beech	B&B	6cm		27
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	B&B	6cm		2
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	6cm		58
	Liquidambar styraciflua 'Sleider Silhouette' / Columbar Sweet Gum	B&B	6cm		80
	Magnolia kobus / Kobus Magnolia	B&B	6cm		31
	Pinus contorta 'Contorta' / Shore Pine	B&B		2.0m ht	13
	Pinus oronika / Serbian spruce	B&B		2.0m ht	31
	Quercus palustris / Pin Oak	B&B	6cm		3
	Thuja plicata 'Excelsa' / Western Red Cedar	B&B		3.0m ht	33

No.	By:	Description	Date
5	AD	Issued for DP	June 19, 2020
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2	AD	Issued for Reasoning and DP	Sept 27, 2019
1	AD	Issued for Reasoning and DP	Sept 4, 2019

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Project:  
**GREENSIDE DEVELOPMENT**

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 15310 Fraser Highway & 6312 - 152 Street, Surrey BC

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Drawing Title: **BUILDINGS 1, 2, AND 3 - LANDSCAPE PLAN**  
 Drawing #: **L-03**  
 DP2019-43  
 NORTH  
 Drawing Title: **BUILDINGS 1, 2, AND 3 - LANDSCAPE PLAN**  
 Drawing #: **L-03**



### FENCING

KEY	REF.	DESCRIPTION
	1 LC-05	1.8m WOOD FENCE PRIVATE FENCE
	2 LC-05	1.2m METAL GUARD RAIL
		ACCESS GATE RAIL FENCE
	7 LC-04	2 POST TRELLIS
	7 LC-04	4 POST TRELLIS
	5 LC-03	CURVED TRELLIS

### SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		EXISTING TREE
		PROPOSED TREE
		SOD See Office Landscape Notes for Specifications
		SHRUB PLANTING

### ON-SITE TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer gresum / Paperbark Maple	8&B	6cm		3
	Cercidiphyllum japonicum / Katsura Tree	8&B	6cm		35
	Cornus kousa xnuttallii / Starlight / Sarlight Dogwood	8&B	4cm		1
	Fagus sylvatica / Purpurea / European Beech	8&B	6cm		27
	Fraxinus americana / Autumn Purple / Autumn Purple Ash	8&B	6cm		2
	Liquidambar styraciflua / Slender Silhouette / Cucumber Sweet Gum	8&B	6cm		80
	Magnolia kobus / Kobus Magnolia	8&B	6cm		31
	Pinus contorta / Contorta / Shore Pine	8&B	2.0m ft		16
	Pinus omorika / Serbian spruce	8&B	2.0m ft		31
	Quercus palustris / Pin Oak	8&B	6cm		3
	Thuja plicata / Ecoesta / Western Red Cedar	8&B	3.0m ft		33
	Gleditsia triacanthos inermis / Shadmaster™ / Shadmaster Locust	8&B	6cm		56

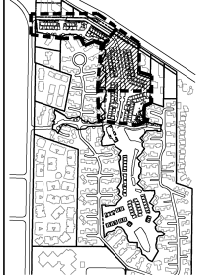
### HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	3.4 LD-01	CONCRETE SLAB
	1.2 LD-03	STONE PAVERS
	2 LD-01	PATTERNED CONCRETE VEHICLE CROSSING
	7 LD-01	PERMEABLE PAVERS
	5.6 LD-01	HYDRAPRESSED SLABS
	8 LD-01	GRANULAR PAVING
	2 LD-02	WOOD FIBER PLAY SURFACE
	3 LD-01	COLOURED CONCRETE

### SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	6 LD-03	BIKE RACK
	1 LD-04	BENCH
	8 LD-04	BOLLARD
	4 LD-04	PLANTER/POT
		MOVABLE CHAIR
	2 LD-04	PICNIC TABLE
	3 LD-04	GARBAGE BIN
	4 LD-03	LANDSCAPE LIGHTING
	3 LD-03	COMMUNITY GARDEN BOX

### Key Map (NTS)



No.	By:	Description	Date
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Project:  
**GREENSIDE DEVELOPMENT  
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Location:  
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 ARCHITECTURE INTERIORS LANDSCAPE  
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 100-9181 Church St | 481-355 Kingsway  
 Fort Langley BC | Vancouver BC  
 V4M 2R8 | V5T 3J7  
 www.vdz.ca 604-882-0024

Drawing Title: **BUILDINGS 4 AND 6 - LANDSCAPE PLAN**  
 Drawing #: **DP2019-43**  
**L-04**

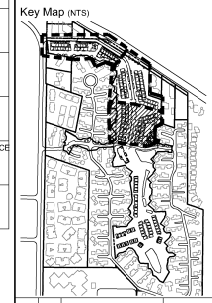
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**HARDSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
	3,4 LD-01	CONCRETE SLAB
	1,2 LD-03	STONE PAVERS
	2 LD-01	PATTERNED CONCRETE VEHICLE CROSSING
	7 LD-01	PERMEABLE PAVERS
	5,6 LD-01	HYDRAPRESSED SLABS
	8 LD-01	GRANULAR PAVING
	2 LD-02	WOOD FIBER PLAY SURFACE
	3 LD-01	COLOURED CONCRETE



**FENCING**

KEY	REF.	DESCRIPTION
	1 LD-05	1.84m WOOD FENCE PRIVACY FENCE
	2 LD-05	1.2m METAL GUARD RAIL
		ACCESS GATE RAIL FENCE
	7 LD-04	2 POST TRELLIS
	7 LD-04	4 POST TRELLIS
	5 LD-03	CURVED TRELLIS

**SITE FURNISHINGS/LIGHTING**

KEY	REF.	DESCRIPTION
	6 LD-03	BIKE RACK
	1 LD-04	BENCH
	8 LD-04	BOLLARD
	4 LD-04	PLANTER/POT
		MOV/BLE CHAIR
	2 LD-04	PICNIC TABLE
	3 LD-04	GARBAGE BIN
	4 LD-03	LANDSCAPE LIGHTING
	3 LD-03	COMMUNITY GARDEN BOX

**SOFTSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
		EXISTING TREE
		PROPOSED TREE
		SOD See Critical Landscape Notes for Specifications
		SHRUB PLANTING

**ON-SITE TREE SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY				
	Liquidambar styraciflua / Siende Silhouette / Columar Sweet Gum	B&B	6cm		80				
	Acer griseum / Paperbark Maple	B&B	6cm		3				
	Cercidiphyllum japonicum / Jatsura Tree	B&B	6cm		35				
	Cornus kousa x nuttallii Starlight / Starlight Dogwood	B&B	4cm		1				
	Fagus sylvatica / Purpurea / European Beech	B&B	6cm		27				
	Fraxinus americana / Autumn Purple / Autumn Purple Ash	B&B	6cm		2				
	Gleditsia triacanthos inermis / Shademaster™ / Shademaster Locust	B&B	6cm		55				
	Magnolia koos / Kobus Magnolia	B&B	6cm		31				
	Pinus contorta / Contorta / Shore Pine	B&B		2.0m Ht	16				
	Pinus omoria / Serbian spruce	B&B		2.0m Ht	31				
	Quercus palustris / Pin Oak	B&B	6cm		3				
	Thuja plicata / Excelsa / Western Red Cedar	B&B		3.0m Ht	33				

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Project:  
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Location:  
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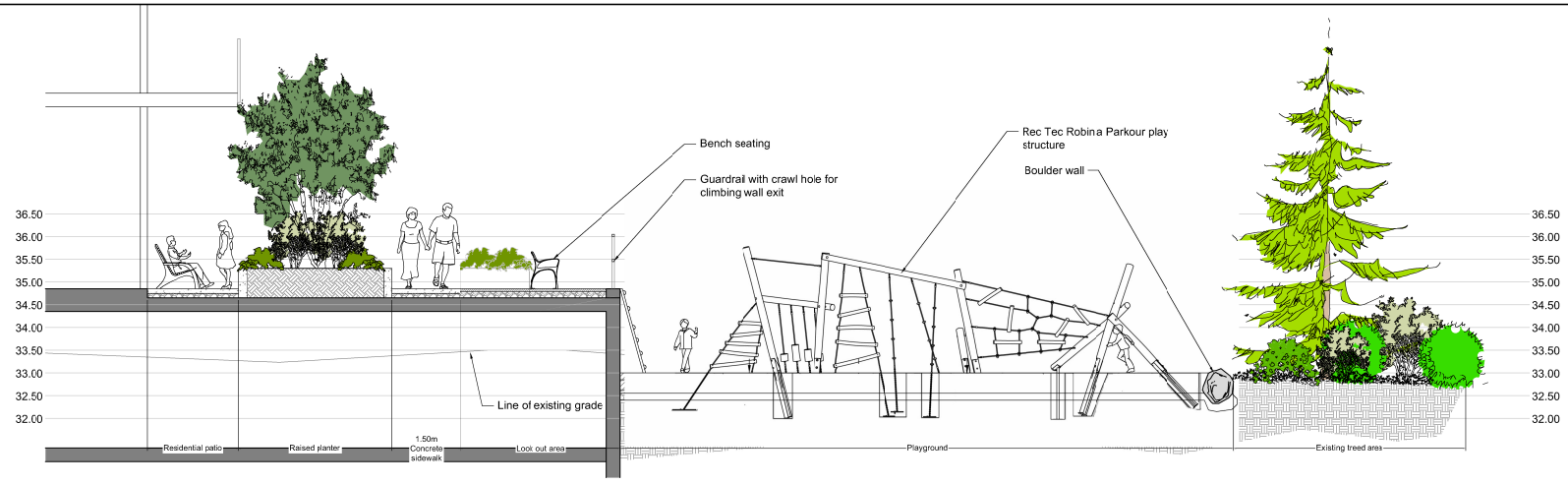
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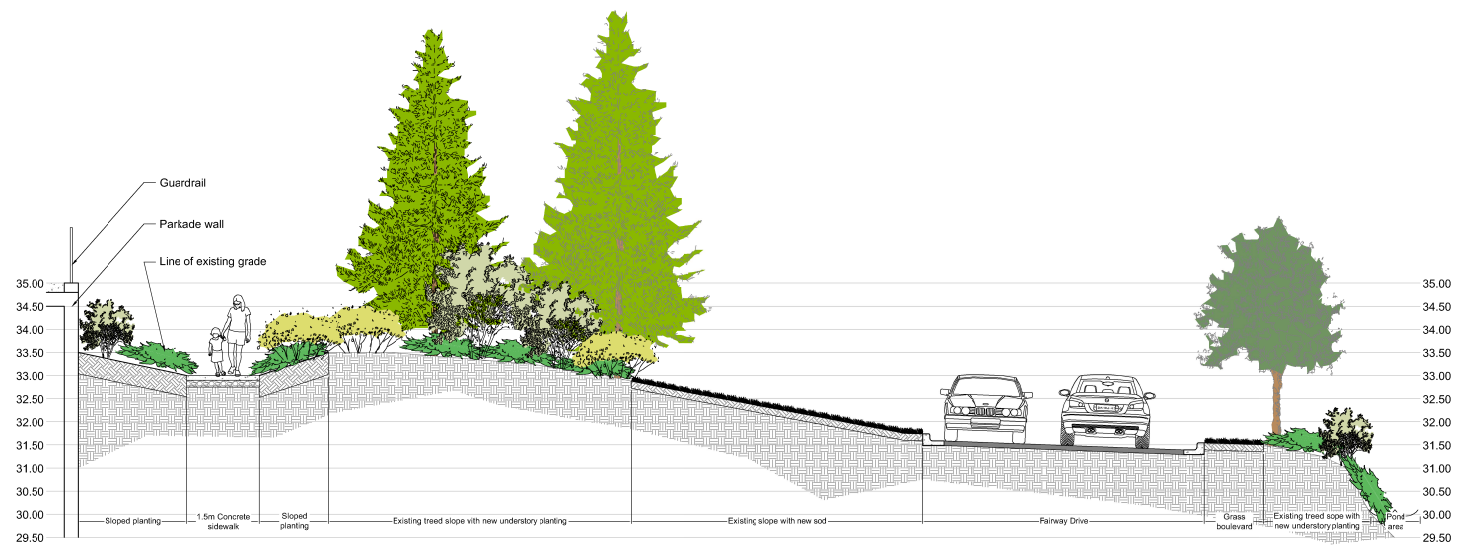
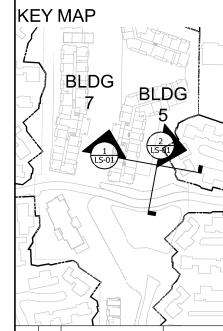
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**1 BUILDING 5 PLAYGROUND**  
 Scale 1:50



**2 FAIRWAY DRIVE AT SOUTH SIDE OF BUILDING 5**  
 Scale 1:50

No.	By:	Description	Date
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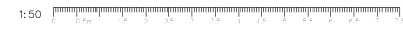
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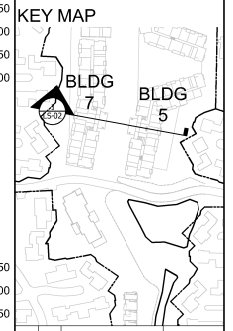
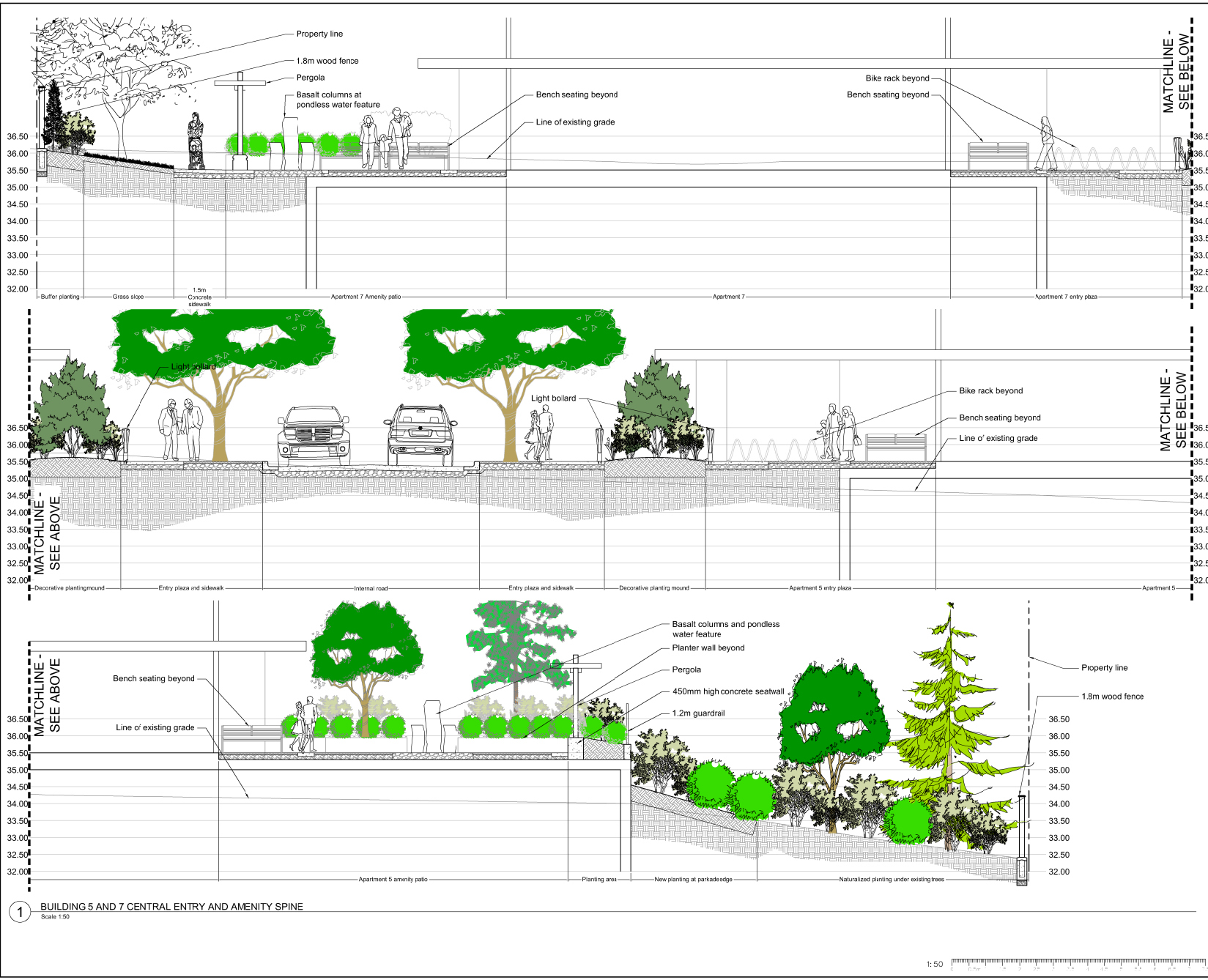
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Drawing Title: SECTIONS  
 Drawing #: LS-01  
 DP2019-43





No.	By:	Description	Date
6	ET	Issued for general DP	July 2, 2020
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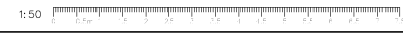
No.	By:	Description	Date

Project:  
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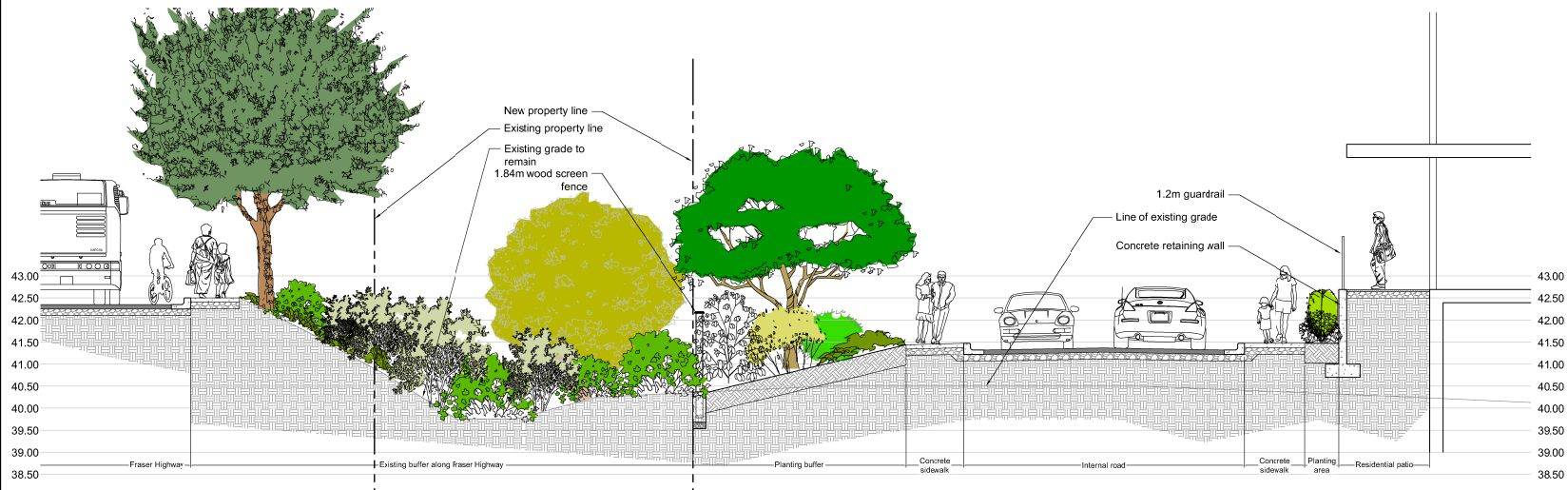
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Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

**1 BUILDING 5 AND 7 CENTRAL ENTRY AND AMENITY SPINE**  
 Scale 1:50

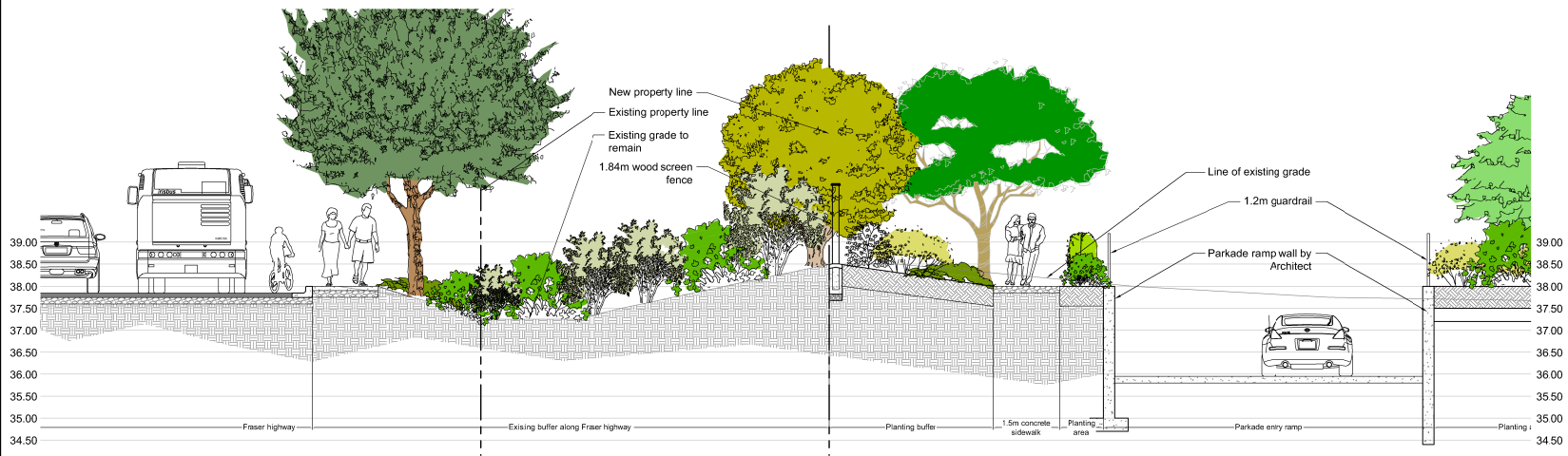


Drawing Title: **SECTIONS**  
 Drawing #: **DP2019-43**  
**LS-02**

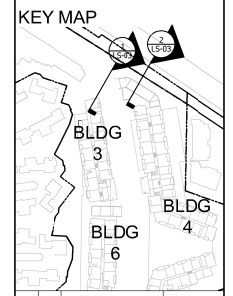
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**1** FRASER HIGHWAY AT BUILDING 3  
 Scale 1:50



**2** FRASER HIGHWAY AT BUILDING 4  
 Scale 1:50



No.	By:	Description	Date
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3	AD	Issued for Reasoning and DP	March 2, 2020
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1	AD	Issued for Reasoning and DP	Sept 4, 2019

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
**GREENSIDE DEVELOPMENT  
 BLOCK A (APARTMENTS)**

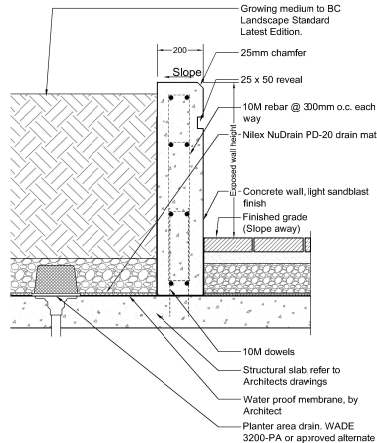
Location:  
 15310 Fraser Highway & 6312 -  
 152 Street, Surrey BC

Drawn: AD DV	Stamp:
Checked: SH	
Approved: MVDZ	Original Sheet Size: 24"x36"
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Drawing Title: SECTIONS  
 DP2019-43  
 Drawing #: LS-03

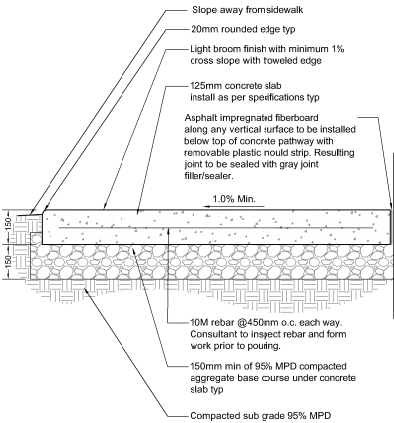
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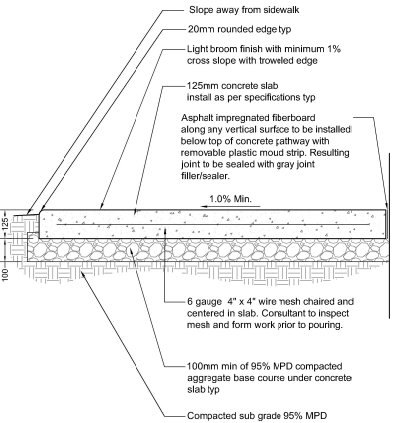
- NOTES:
1. Coordinate wall tie in to slab with Architect and Structural Engineer.
  2. All walls over 1.2m in height will need to be Structurally Engineered.
  3. All planters to be connected to Slab drainage system.

**1 CONCRETE PLANTER WALL**  
Scale 1:10



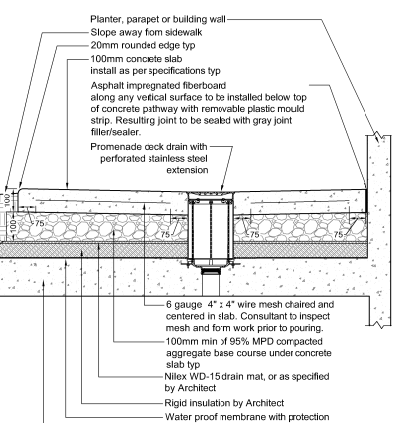
- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures.
  2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
  3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
  4. All components as specified or approved alternate.
  5. Concrete to slope to drain.
  6. Expansion joint every 3000mm o.c. both ways.
  7. Contractor to contact Landscape Architect for scoreline approval prior to cutting.

**2 VEHICULAR CONCRETE PAVING**  
Scale 1:10



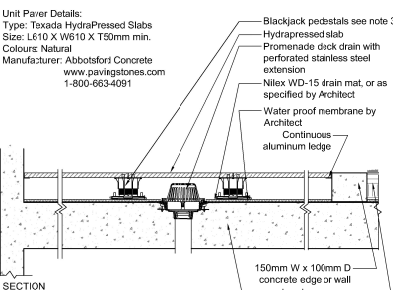
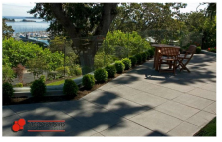
- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures.
  2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
  3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
  4. All components as specified or approved alternate.
  5. Concrete to slope to drain.
  6. Expansion joint every 3000mm o.c. both ways.
  7. Contractor to contact Landscape Architect or scoreline approval prior to cutting.

**3 PEDESTRIAN CONCRETE PAVING**  
Scale 1:10



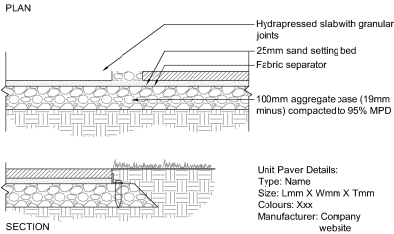
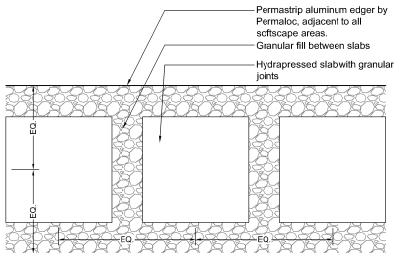
- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures.
  2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
  3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
  4. All components as specified or approved alternate.
  5. Concrete to slope to drain.
  6. Expansion joint every 3000mm o.c. both ways.

**4 CONCRETE PAVING ON SLAB**  
Scale 1:10



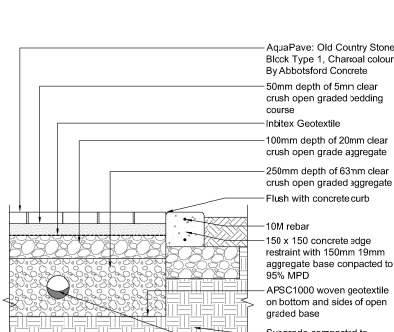
- NOTES:
1. All components as specified or approved alternate.
  2. Contractor to provide cut sheets of all components for Landscape Architect approval.
  3. Blackjack Screws or OneStep system depending on depth to slab.
  4. Aluminum ledge to be secured to wall/curb with concrete screws.

**5 HYDRAPRESSED SLABS ON SLAB**  
Scale 1:10



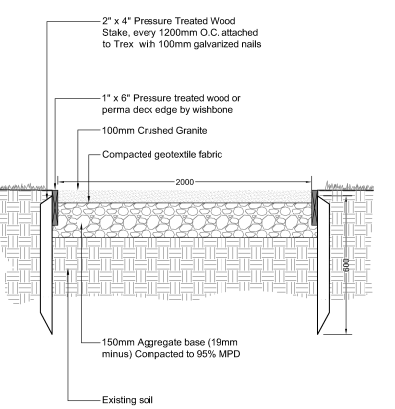
- Notes:
1. Install all components as per manufacturer's specifications.
  2. Slabs to be spaced equally between adjacent surfaces.
  3. Limit slab cuts to 2 slab.

**6 HYDRAPRESSED SLAB PATH**  
Scale 1:10



- Notes:
1. Install all components as per manufacturer's specifications.
  2. AquaPave - Part Exfiltration System
  3. Running bond pattern.
  4. Concrete curb control joint every 3m.

**7 PERMEABLE PAVING**  
Scale 1:10



- NOTES:
1. Contractor to provide 1L sample of crushed granite material for approval by landscape architect prior to installation.
  2. Ensure top of edge board meets flush with crushed granite pathways.
  3. Refer to Washbone Perma-Deck anchor detail.
  4. Minimum 2% cross slope.

**8 CRUSHED GRANITE PATH**  
Scale 1:10

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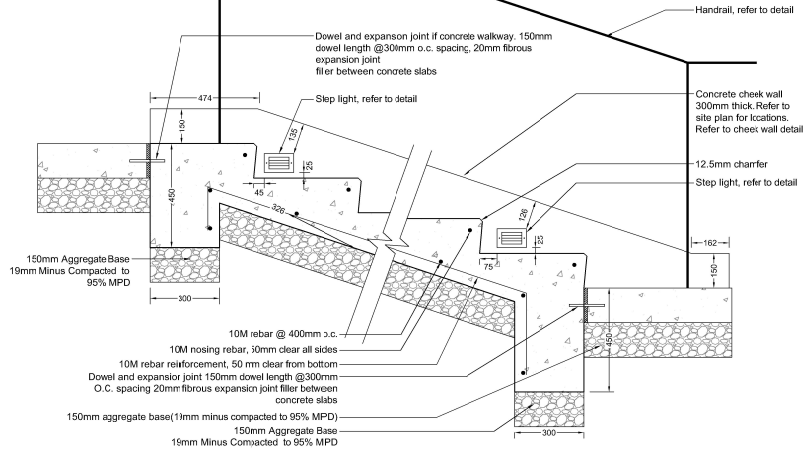
Project:  
**GREENSIDE DEVELOPMENT  
BLOCK A (APARTMENTS)**

Location:  
16310 Fraser Highway & 6312 -  
152 Street, Surrey BC

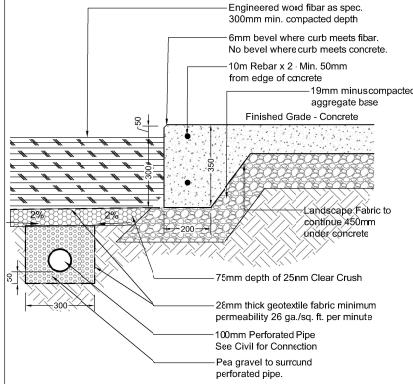
Drawn: AD DV	Stamp:
Checked: SH	Original Sheet Size: 24"x36"
Approved: MVDZ	
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND SPECIFICATIONS AND THE RESPECTIVE PROPERTY OF THE OWNER AND ENGINEER. RETAIN THE COUNTERPART OF THE WORK. ALL DIMENSIONS SHOWN ARE CONSTRUCTION UNLESS LABELLED AS PER TRADE/CONTRACTOR.



- Notes:
- Steps to have medium broom finish.
  - Expansion joints required at side of steps when constructed adjacent to cheek walls. Seal expansion joints with a compatible joint sealing compound to prevent moisture infiltration.
  - Refer to lighting plan electrical drawings for step light locations.
  - Number of treads varies per plan.
  - Height of risers to be equal along staircase.
  - Height of risers may differ between staircases, refer to grading plan for grading information.



1 CONCRETE STEPS  
Scale 1:10



2 WOOD FIBER SAFETY SURFACE  
N.T.S.

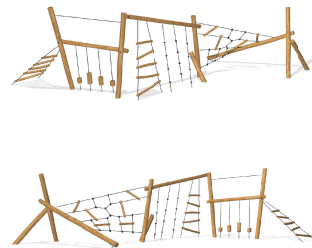
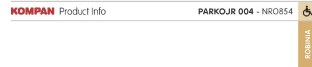


3 HANDRAIL  
N.T.S.

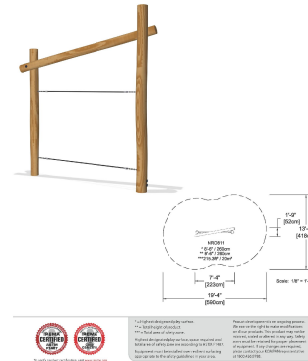
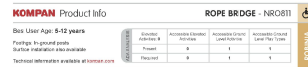


LABYRINTH PAVERS  
Type: Villa Stone  
Colors: Indian Summer, Granite  
Manufacturer: Abbotsford Concrete Products  
www.pavingstones.com

4 LABYRINTH PAVER PATTERN  
N.T.S.



5 PLAY STRUCTURE  
N.T.S.



6 ROPE BRIDGE  
N.T.S.



SLOPED CLIMBING WALL  
1. Height varies with playground grade change.  
2. Material to be determined.

7 CLIMBING WALL  
N.T.S.

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Project:  
GREENSIDE DEVELOPMENT  
BLOCK A (APARTMENTS)  
Location:  
15310 Fraser Highway & 6312 -  
152 Street, Surrey BC

Drawn: AD DV	Stamp:
Checked: SH	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"





**PAVERS 1**  
 Type: Cambrian Granite Cobblestone  
 Size: 100mm x 100mm x 50mm  
 Finish: Flamed  
 Manufacturer: Bedrock Natural Stone  
 www.bedrocknaturalstone.com

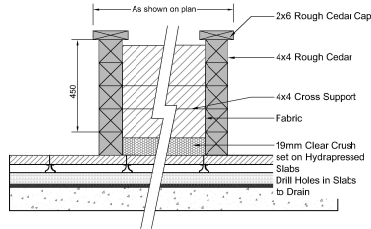
**PAVERS 2**  
 Type: Newcastle Black Flamed Basalt Paver  
 Size: 125mm x 125mm x 50mm  
 Finish: Flamed  
 Manufacturer: Northwest Landscape Supply  
 www.landscapeforms.com

① CIRCULAR PAVING PATTERN  
 N.T.S.



**PAVERS**  
 Type: Classic Series  
 Size: 3:1 standard  
 Colour: Natural, Desert Sand, Charcoal  
 Manufacturer: Abbotsford Concrete  
 www.pavingstones.com

② CONCRETE UNIT PAVER PATTERN  
 N.T.S.



**NOTES:**  
 1. Cap to be sanded smooth.  
 2. Cap and exterior of planter to be treated with Sikkens Cetol WB SRD, Colour: #077 (Cedar)  
 3. All fasteners to be hot dipped galvanized.

**ON SLAB COMMUNITY GARDEN PLOTS**  
 1. Granular around plots.  
 2. Plot size: 1m x 2m.  
 3. Cedar frame.  
 4. Top of plot: ±450mm above grade.

③ COMMUNITY GARDEN PLOTS AT APARTMENTS  
 N.T.S.



**LIGHT BOLLARD**  
 Model: FGP path light  
 Size: 381mm x 305mm x 991mm  
 Mount: Per manufacturer  
 Colour: Metallic Silver  
 Manufacturer: Landscape Forms  
 www.landscapeforms.com



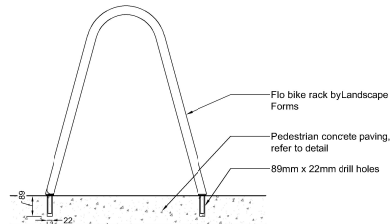
**UPLIGHT**  
 Manufacturer: Bega or approved equal  
 Product: LED floodlights with earth spike

④ LIGHTS  
 N.T.S.



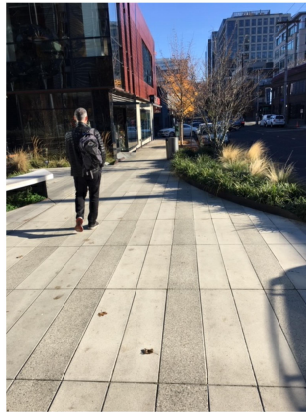
**CURVED TRELLIS**  
 1. Metal posts, beams and joists.  
 2. Wood lattice.  
 3. Footing type varies.

⑤ CURVED PERGOLA  
 N.T.S.



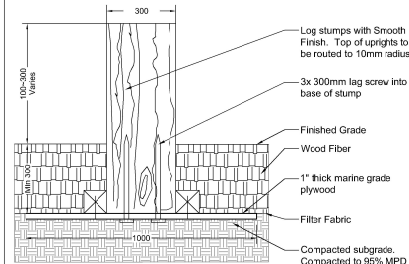
**SECTION**  
**BIKE RACK**  
 Model: Flo  
 Size: 38mm x 635mm x 686mm  
 Mount: Embedded  
 Colour: Metallic Silver  
 Manufacturer: Landscape Forms  
 www.landscapeforms.com

⑥ BIKE RACKS  
 N.T.S.



**VEHICULAR CONCRETE**  
 1. Score pattern: 300mm x 000mm grid running long axis perpendicular to the rosc curb.  
 2. Smooth finish for 2 rows.  
 3. Every third row to have sandblast finish.

⑦ VEHICULAR PAVING PATTERN  
 N.T.S.



**NOTES:**  
 1. Logs to be stained with Sikkens Cetol SRD - Colour: 077-Cedar or approved equal. Apply as per manufacturers specifications.  
 2. Use end sealer on all below grade elements of log.

**Notes:**  
 1. Logs to be stained with Sikkens Cetol SRD - Colour: 077-Cedar or approved equal. Apply as per manufacturers specifications.  
 2. Use end sealer on all below grade elements of log.

⑧ STEPPING STUMPS  
 N.T.S.

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6	ET	Issued for general DP	July 2, 2020
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

**Project:**  
 GREENSIDE DEVELOPMENT  
 BLOCK A (APARTMENTS)  
**Location:**  
 15310 Fraser Highway & 6312 -  
 152 Street, Surrey BC

<b>Drawn:</b> AD DV	<b>Stamp:</b>
<b>Checked:</b> SH	
<b>Approved:</b> MVDZ	<b>Original Sheet Size:</b> 24"x36"
<b>Scale:</b> AS SHOWN	<b>CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE OWNER AND NOT THE CONTRACTOR. ALL DIMENSIONS SHOWN ARE CONSTRUCTION UNLESS LABELLED AS SUCH FOR TRADE/CONTRACTOR.</b>



**BENCH**  
 Model: Modena  
 Size: 406mm x 860mm x 1829mm  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Wishbone  
 www.wishboneltd.com

**1 BENCH SEATING**  
 N.T.S.



**RECTANGULAR PICNIC TABLE**  
 Model: Bayview BVPT-E  
 Size: 813mm x 1676mm x 1830mm  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Wishbone  
 www.wishboneltd.com

**2 RECTANGULAR PICNIC TABLE**  
 N.T.S.



**WASTE RECEPTACLE**  
 Model: Modena MTR-23  
 Size: 136L  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Wishbone  
 www.wishboneltd.com

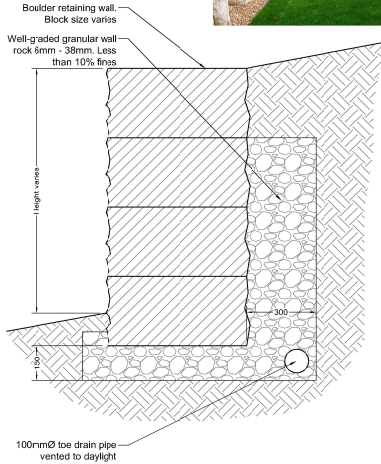
**3 WASTE RECEPTACLE**  
 N.T.S.



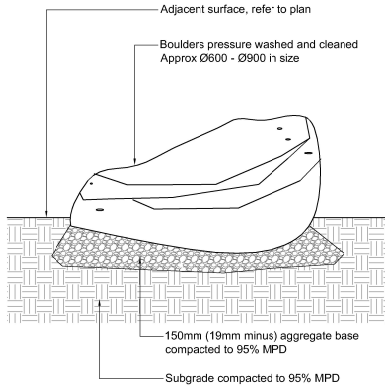
**PLANTER POTS**  
 Model: Sorella  
 Size: Varies  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Landscape Forms  
 www.landscapeforms.com

**4 PLANTER POTS**  
 N.T.S.

Notes:  
 1. In playground area  
 a. Boulders may not have sharp exposed edges.



**5 BOULDER RETAINING WALL**  
 Scale: 1:10



**6 LANDSCAPE BOULDER**  
 Scale: 1:20



**SQUARE AND RECTANGULAR PERGOLAS**  
 1. Wood members.  
 2. Embedded in concrete footings.

**7 SQUARE AND RECTANGULAR PERGOLAS**  
 N.T.S.



**8 BOLLARD**  
 N.T.S.

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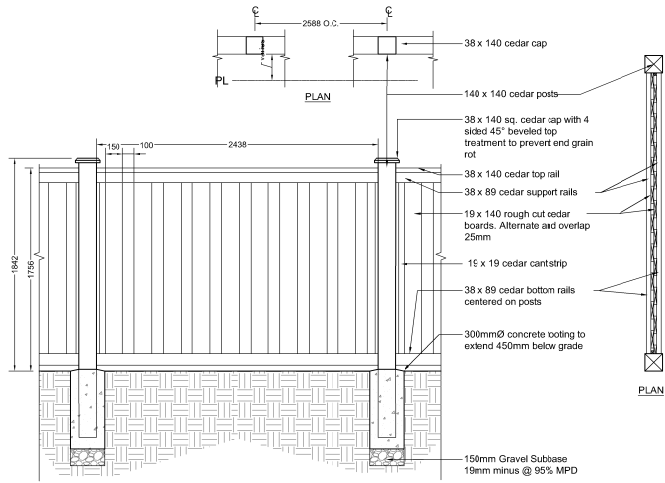
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**GREENSIDE DEVELOPMENT  
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 15310 Fraser Highway & 6312 -  
 152 Street, Surrey BC

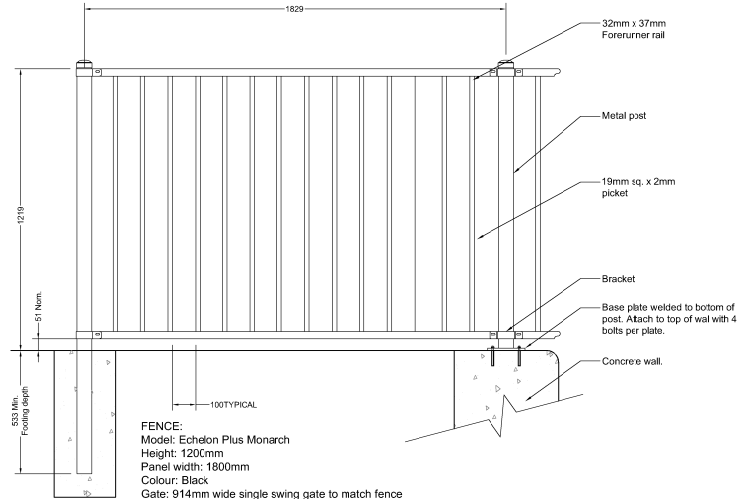
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Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

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- Note:
- Fence to be constructed in conformance with the Morgan Creek Design Guidelines part 3.12.
  - Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.

1 WOOD SCREEN FENCE  
Scale 1:20



FENCE:  
Model: Echelon Plus Monarch  
Height: 1200mm  
Panel width: 1800mm  
Colour: Black  
Gate: 914mm wide single swing gate to match fence  
Manufacturer: Ameristar  
Note: or approved alternate, Contractor to submit shop drawings for approval.

2 METAL GUARDRAIL  
Scale 1:10

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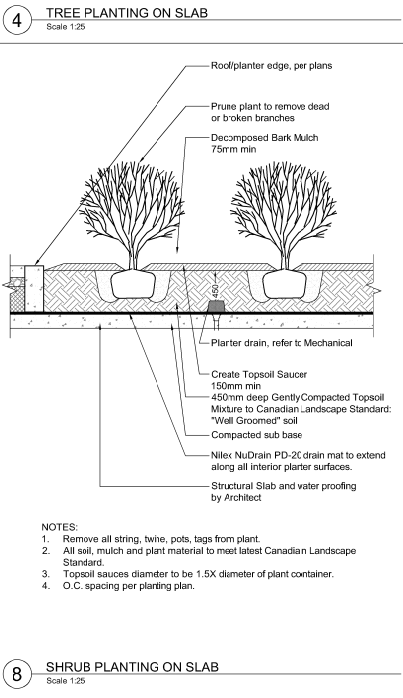
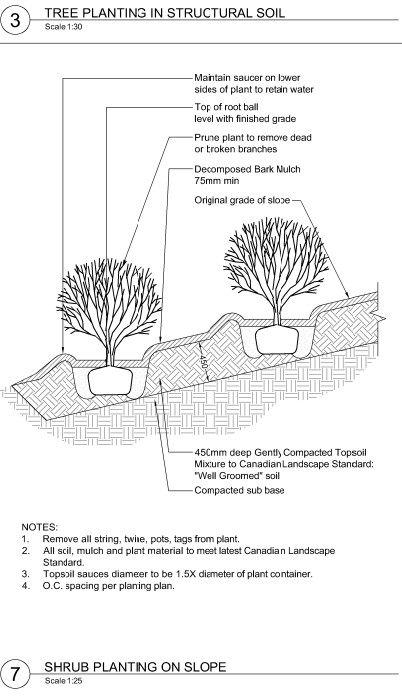
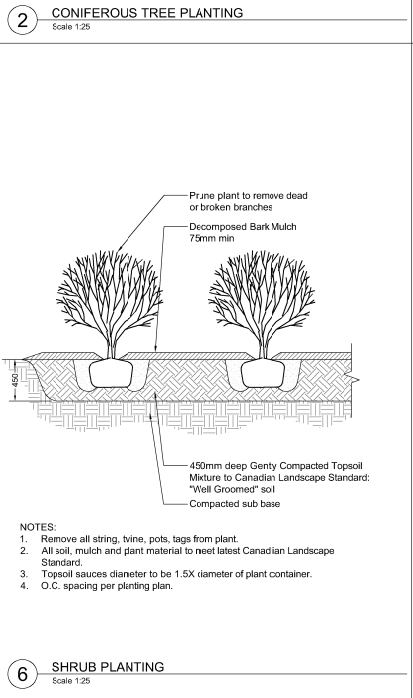
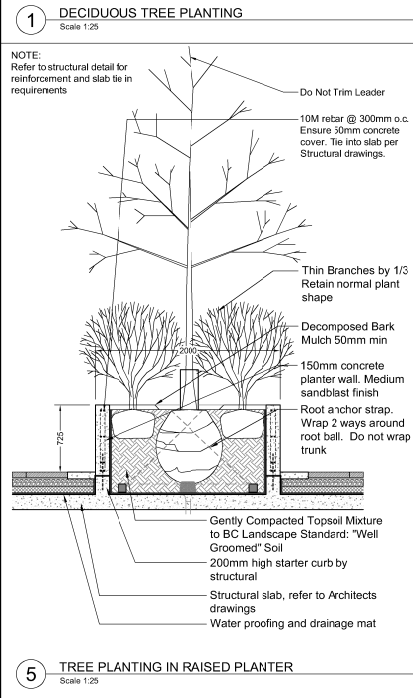
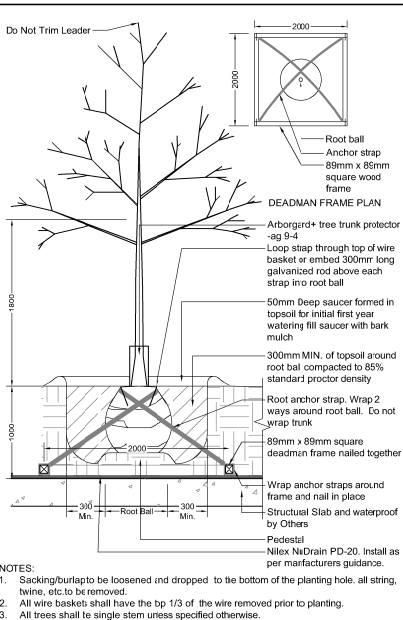
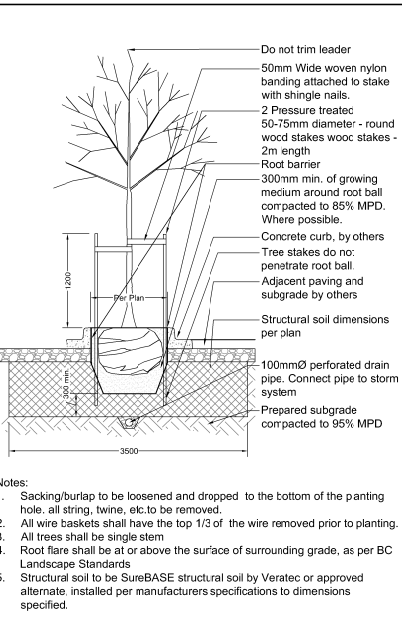
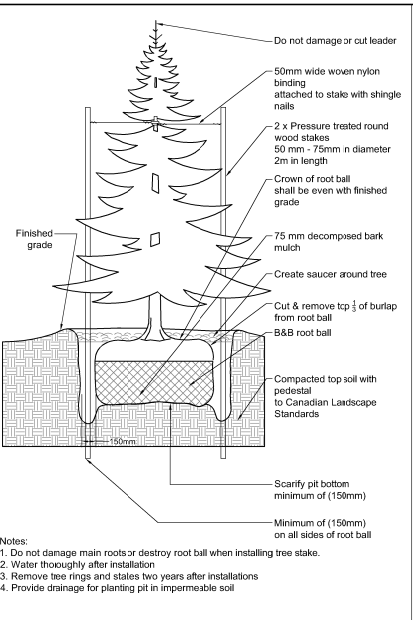
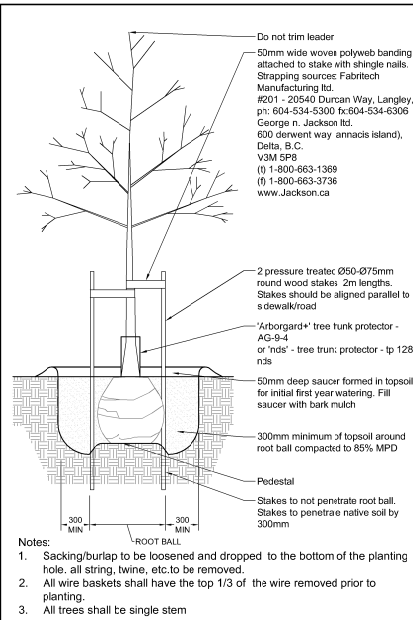
No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
GREENSIDE DEVELOPMENT  
BLOCK B (TOWNHOME)  
  
Location:  
15310 Fraser Highway & 6312 -  
152 Street, Surrey BC

Drawn: AD DV	Stamp:
Checked: SH	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

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REVISIONS TABLE FOR DRAWINGS

Project: GREENSIDE DEVELOPMENT BLOCK A (APARTMENTS)

Location: 15310 Fraser Highway & 6312 - 152 Street, Surrey BC

Drawn: MVDZ  
 Stamp: [Stamp]

Checked: SH

Approved: MVDZ  
 Original Sheet Size: 24"x36"

Scale: AS SHOWN

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# GREENSIDE DEVELOPMENT - BLOCK B (TOWNHOME)

Issued for Development permit



FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO  
 100-9181 Church St | 181-355 Kingsway  
 Fort Langley, BC | Frasnere, BC  
 V3M 2R8 | V3T 3J7  
 www.vdz.ca 604-882-0024

<b>Contact Information</b> <b>VDZ+A</b> Project Landscape Architecture Fort Langley Studio 100-9181 Church Street Fort Langley, British Columbia, V3M 2R8 Mount Pleasant Studio 112-3555 Kingsway Vancouver, British Columbia, V5T 3J7 Primary project contact: Stephen Heller StephenH@vdz.ca o. 604 546 0925 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0920	<b>Other Key Contacts:</b> <b>192 Street Development Ltd.</b> Project Owner 15055 - 54A Avenue Surrey, BC V3S 5X7 t. 604 580 0154 c. Sukhi Rai <b>JM Architecture Inc.</b> Project Building Architecture Main Floor - Building 4 15243 - 91st Avenue Surrey, BC V3R 6P6 t. 605 583 2083 c. Joe Minten
<b>Legal Address and Description:</b> LOT 205, SECTION 13, TOWNSHIP 8, NEW WESTMINSTER DISTRICT, PLAN 53056	

## Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL PLAN
L-03	LANDSCAPE PLAN A
L-04	LANDSCAPE PLAN B
L-05	LANDSCAPE PLAN C
L-06	PLANTING PLAN A
L-07	PLANTING PLAN B

L-08	PLANTING PLAN C
L-09	PLANTING PLAN D
LS-01	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS - FENCING
LD-05	DETAILS - PLANTING



1 SITE PLAN OVERVIEW  
Scale 1:2000



2 LOCATION MAP  
Scale 1:15

No.	By:	Description	Date
6	ET	Issued for general DP	July 2, 2020
5	AD	Issued for DP	June 10, 2020
4	AD	Submission to ADR	May 28, 2020
3	AD	Issued for Reasoning and DP	March 2, 2020
2	AD	Issued for Reasoning and DP	Sept 27, 2019
1	AD	Issued for Reasoning and DP	Sept 4, 2019

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No.	By:	Description	Date

**Project:**  
GREENSIDE DEVELOPMENT  
BLOCK B (TOWNHOME)

**Location:**  
15310 Fraser Highway & 6312 -  
152 Street, Surrey BC

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Drawing Title:  
COVER PAGE



VDZ Project #:  
DP2019-43

Drawing #:  
L-01

- APARTMENT AMENITY**
- Community Garden
  - Nature Playground
  - Central 'Green'
  - Faith connections
  - Social / Meeting nodes

**BLOCK A (APARTMENTS)**      **BLOCK B (TCWNHOMES)**

TO PLAYGROUND

ENTRY PLAZA  
NEAR 192nd

192nd Street

Proposed new property line  
Existing property line

- CENTRAL AMENITY BUILDING**
- Daycare and Fitness
  - Clubhouse and Social Patio
  - Commercial/Retail

North wetland.  
Refer to report and planting plan  
prepared by Keystone environmental

South wetlands.  
Refer to report and planting plan  
prepared by Keystone environmental

Existing property line  
Proposed new property line.

Fairney Drive

L-03

L-04

L-05

Apartment Building 1 (5 Storey)

Apartment Building 6 (4 Storey)

Apartment Building 7 (4 Storey)

Apartment Building 8 (4 Storey)

Apartment Building 9 (4 Storey)

Apartment Building 10 (4 Storey)

Apartment Building 11 (4 Storey)

Apartment Building 12 (4 Storey)

Apartment Building 13 (4 Storey)

Apartment Building 14 (4 Storey)

Apartment Building 15 (4 Storey)

Apartment Building 16 (4 Storey)

Apartment Building 17 (4 Storey)

Apartment Building 18 (4 Storey)

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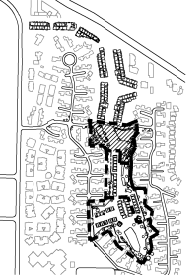
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 Drawing #: **L-02**  
 DP2019-43  
 NORTH



## PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Cercidiphyllum japonicum / Katsura Tree	B&B	6cm		21
	Fagus sylvatica 'Purpurea' / European Beech	B&B	6cm		15
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	B&B	6cm		1
	Gleditsia triacanthos inermis 'Shadernaster' TM / Shadernaster Locust	B&B	6cm		22
	Liquidambar styraciflua 'Slender Silhouette' / Columnar Sweet Gum	B&B	6cm		27
	Magnolia kobus / Kobus Magnolia	B&B	6cm		3
	Pinus contorta 'Contorta' / Shore Pine	B&B		2.3m ht	1
	Pinus omorika / Serbian spruce	B&B		2.3m ht	2
	Quercus palustris / Pir Oak	B&B	6cm		11
	Thuja plicata 'Excelsa' / Western Red Cedar	B&B		3.3m ht	6

### Key Map (NTS)



### SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		EXISTING TREE
		PROPOSED TREE
		SOD See Critical Landscape Notes for Specifications
		SHRUB PLANTING REFER TO PLANTING PLAN SHEET'S L-06 TO L-09

### FENCING

KEY	REF.	DESCRIPTION
	1 LD-04	1.84m WOOD FENCE PRIVACY FENCE.
	2 LD-04	1.84m/1.2m STEPPED UNIT FENCE
	1 LD-02	1.2m SPLIT RAIL FENCE
	3 LD-04	ACCESS GATE RAIL FENCE
	6 LD-03	2 PCST TRELLIS
	6 LD-03	4 PCST TRELLIS

### SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	8 LD-02	BIKE RACK
	7 LD-03	BENCH
	7 LD-02	BOLLARD
	4 LD-03	PLANTER/POT
		MOVABLE CHAIR
	1,2 LD-03	PICNIC TABLE
	3 LD-03	GARBAGE BIN
	5 LD-02	LANDSCAPE LIGHTING
	4 LD-02	COMMUNITY GARDEN BOX

### HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1,2 LD-01	CONCRETE SLAB
	3 LD-02	STONE PAVERS
	1 LD-01	PATTERNED CONCRETE
	4 LD-01	PERMEABLE PAVERS
	7 LD-01	HYDRAPRESSED SLABS
	5 LD-01	GRANULAR PAVING
	6 LD-01	FIBERGLASS SURFACE
	1,2 LD-01	COLOURFUL CONCRETE

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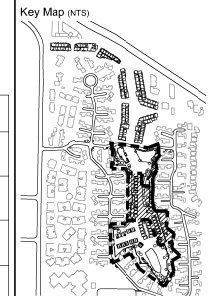
Drawing Title:  
**LANDSCAPE PLAN A**



VDZ Project #:  
**DP2019-43**

Drawing #:  
**L-03**





**SOFTSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
		EXISTING TREE
		PROPOSED TREE
		SCD See Critical Landscape Notes for Specifications
		SHRUB PLANTING REFER TO PLANTING PLAN SHEETS L-06 TO L-09

**SITE FURNISHINGS/LIGHTING**

KEY	REF.	DESCRIPTION
	8 (LD-02)	BIKE RACK
	7 (LD-03)	BENCH
	7 (LD-02)	BOLLARD
	4 (LD-03)	PLANTER/POT
		MOVABLE CHAIR
	1,2 (LD-03)	PICNIC TABLE
	3 (LD-03)	GARBAGE BIN
	5 (LD-02)	LANDSCAPE LIGHTING
	4 (LD-02)	COMMUNITY GARDEN BOX

**HARDSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
	1,2 (LD-01)	CONCRETE SLAB
	3 (LD-02)	STONE PAVERS
	1 (LD-01)	PATTERNED CONCRETE
	4 (LD-01)	PERMEABLE PAVERS
	7 (LD-01)	HYDRAPRESSED SLABS
	5 (LD-01)	GRANULAR PAVING
	6 (LD-01)	FIBER PLAY SURFACE
	1,2 (LD-01)	COLOURED CONCRETE

**FENCING**

KEY	REF.	DESCRIPTION
	1 (LD-04)	1.84m WOOD FENCE PRIVACY FENCE
	2 (LD-04)	1.84m 1.2m STEPPED UNIT FENCE
	1 (LD-02)	2.0m SPLIT RAIL FENCE
	3 (LD-04)	ACCESS GATE RAIL FENCE
	6 (LD-03)	2 POST TRELLIS
	6 (LD-03)	4 POST TRELLIS

**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Ceroidiphylum japonicum / Kasura Tree	B&B	6cm		21
	Fagus sylvatica 'Purpurea' / European Beech	B&B	6cm		15
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	B&B	6cm		1
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	6cm		22
	Liquidambar styraciflua 'Stenders Silhouette' / Columnar Sweet Gum	B&B	6cm		27
	Magnolia kobus / Kobus Magnolia	B&B	6cm		3
	Pinus contorta 'Contorta' / Shore Pine	B&B		2.0m ht	1
	Pinus omorika / Serbian spruce	B&B		2.0m ht	2
	Quercus palustris / Pin Oak	B&B	6cm		11
	Thuja plicata 'Excelsa' / Western Red Cedar	B&B		3.0m ht	6



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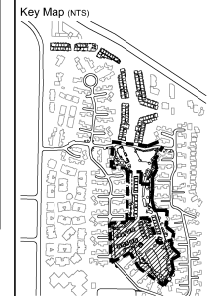
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**HARDSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
[Pattern]	(1, 2 LD-01)	CONCRETE SLAB
[Pattern]	(3 LD-02)	STONE PAVERS
[Pattern]	(1 LD-01)	PATTERNED CONCRETE
[Pattern]	(4 LD-01)	PERMEABLE PAVERS
[Pattern]	(7 LD-01)	HYDRAPRESSED SLABS
[Pattern]	(5 LD-01)	GRANULAR PAVING
[Pattern]	(6 LD-01)	FIBRPLAY SURFACE
[Pattern]	(1, 2 LD-01)	COLORLED CONCRETE



**FENCING**

KEY	REF.	DESCRIPTION
[Symbol]	(1 LD-04)	1.84m WOOD FENCE PRIVACY FENCE
[Symbol]	(2 LD-04)	1.84m 1.2m STEPPED UNIT FENCE
[Symbol]	(1 LD-02)	1.2m SPLIT RAIL FENCE
[Symbol]	(3 LD-04)	ACCESS GATE RAIL FENCE
[Symbol]	(6 LD-03)	2 POST TRELLIS
[Symbol]	(6 LD-03)	4 POST TRELLIS

**SITE FURNISHINGS/LIGHTING**

KEY	REF.	DESCRIPTION
[Symbol]	(8 LD-02)	BIKE RACK
[Symbol]	(7 LD-03)	BENCH
[Symbol]	(7 LD-02)	BOLLARD
[Symbol]	(4 LD-03)	PLANTER POT
[Symbol]		MOVABLE CHAIR
[Symbol]	(1, 2 LD-03)	PICNIC TABLE
[Symbol]	(3 LD-03)	GARBAGE BIN
[Symbol]	(5 LD-02)	LANDSCAPE LIGHTING
[Symbol]	(4 LD-02)	COMMUNITY GARDEN BOX

**SOFTSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
[Symbol]		EXISTING TREE
[Symbol]		PROPOSED TREE
[Symbol]		SOD See Critical Landscape Notes for Specifications
[Symbol]		SHRUB PLANTING REFER TO PLANTING PLAN SHEETS L-06 TO L-09

No.	By:	Description	Date
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Project:  
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Location:  
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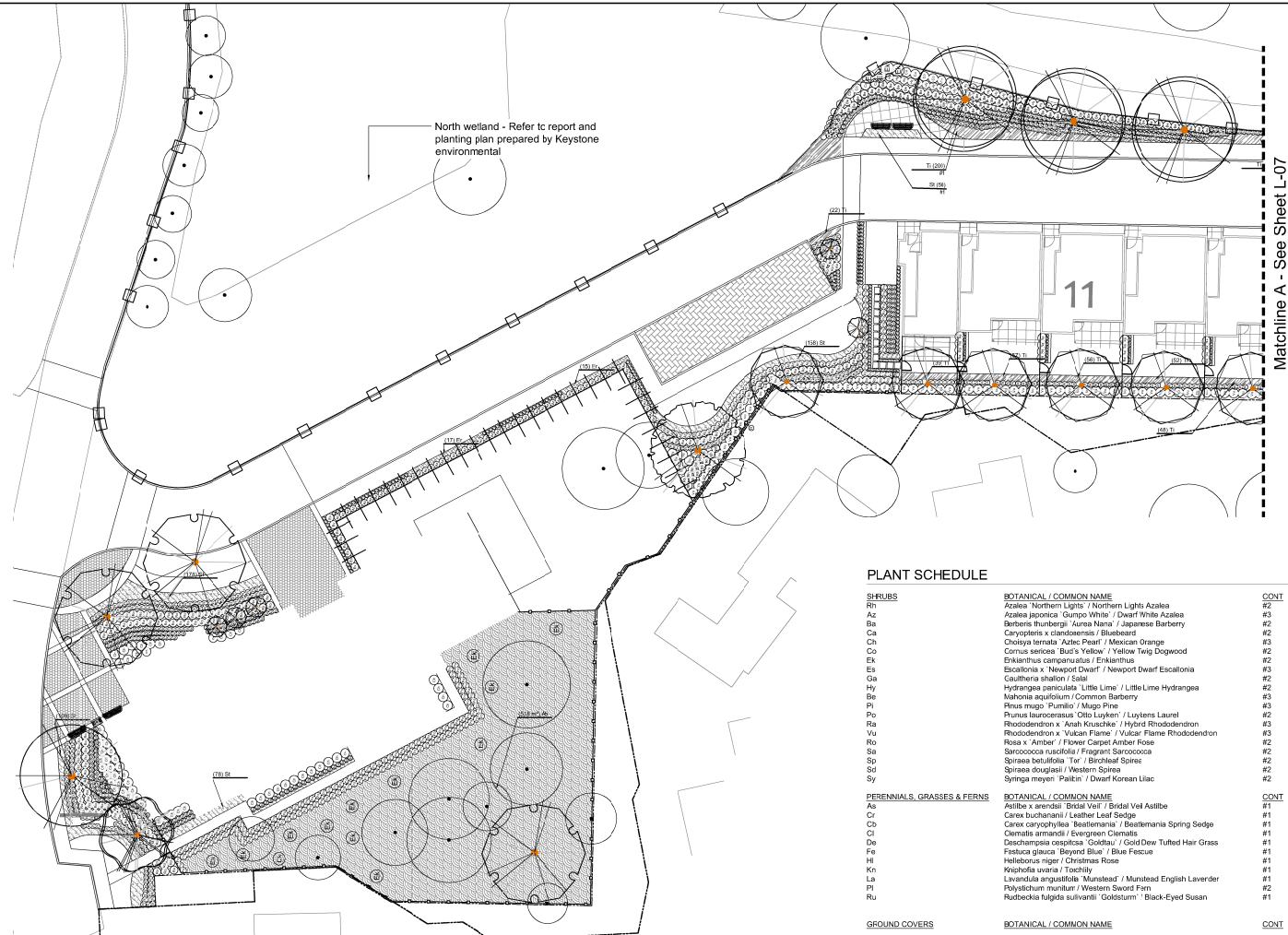
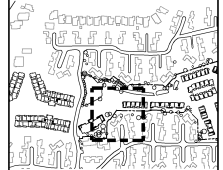
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1 Planting plan  
 Scale 1:300

PLANTING NOTES:

- PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 10, CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNA OR BCCLA GUIDELINES PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.

- AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.

- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:  
 A. SHRUBS- 450MM  
 B. SOO- 150MM  
 C. TREE FITS- 1000MM WITH 300MM (BELOW ROOT BALL)

- 2" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- ALL AREAS TO BE IRRIGATED. IRRIGATION SYSTEM TO MEET OR EXCEED IURC STANDARDS. LANDSCAPE ARCHITECT TO REVIEW IRRIGATION PLANS.

W.I.D. FLOWER MIX NOTES:

- NO SEED MIX, ONLY 3" MULCH UNDER CONIFEROUS TREES
- REFER TO SPECIFICATION, "MECHANICAL SEEDING" FOR DIRECTIONS ON APPLICATION OF WILD FLOWER MIXES.

BIOWSALE NOTE:

- MIX OF 20% SPIRAEA JAPONICA 40% JUNCUS EFFUSUS 20% LIGULARIA DENATA 10% CORNUS SERICEA

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Rh	Azalea 'Northern Lights' / Northern Light Azalea	#2	0.75m	102
Az	Azalea japonica 'Gumpo White' / Dwarf White Azalea	#3	0.60m	147
Ba	Berberis thunbergii 'Aurea Nana' / Japanese Barberry	#2	0.45m	332
Ca	Caryopteris x clandonensis / Bluebeard	#2	0.75m	298
Ch	Choisya ternata 'Ades Pearl' / Mexican Orange	#3	0.50m	188
Co	Cornus sericea 'Bud's Yellow' / Yellow Twig Dogwood	#2	0.90m	74
En	Enkianthus campanulatus / Enkianthus	#2	1.20m	62
Es	Escallonia x 'Newport Dwarf' / Newport Dwarf Escallonia	#3	0.75m	295
Ga	Gaultheria shallon / Sallie	#2	0.45m	272
Hy	Hydrangae paniculata 'Little Lime' / Little Lime Hydrangae	#2	0.75m	47
Be	Mahonia aquifolium / Common Barberry	#3	0.75m	83
Pr	Prunus mago 'Pumila' / Mugo Pine	#3	0.50m	630
Ph	Prunus laurocerasus 'Olio Luoyan' / Luoyans Laurel	#2	0.60m	553
Ra	Rhododendron x 'Anah Kruschke' / Hybrid Rhododendron	#3	0.90m	189
Rh	Rhododendron x 'Valour Flame' / Valour Flame Rhododendron	#3	0.90m	307
Ro	Rosa x 'Amber' / Flower Carpet Amber Rose	#2	0.75m	333
Sa	Sarcococca ruscifolia / Fragrant Sarcococca	#2	0.45m	519
Sp	Spiraea betulifolia 'Tid' / Bicolored Spirea	#2	0.75m	19
Sp	Spiraea douglasii / Western Spirea	#2	0.65m	28
Sy	Syringa meyeri 'Patibon' / Dwarf Korean Lilac	#2	0.90m	11

PERENNIALS, GRASSES & FERNS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
As	Asiella x amaris 'Scrial Veil' / Scrial Veil Asiella	#1	0.45m	304
Cb	Carex buchananii / Leather Leaf Sedge	#1	0.35m	591
Cd	Carex caryophylla 'Beattiemana' / Beattiemana Spring Sedge	#1	0.30m	255
Cl	Clematis armandi / Evergreen Clematis	#1	0.75m	3
Co	Deschampsia cespitosa 'Goldau' / Gold Dew Tufted Hair Grass	#1	0.30m	60
Fe	Festuca glauca 'Beyard Blue' / Blue Fescue	#1	0.30m	722
He	Heliosorus niger / Christmas Rose	#1	0.30m	478
Kr	Kniphofia uvaria / Torch Lily	#1	0.45m	283
La	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0.45m	197
Pl	Polygonum multiflorum / Western Sword Fern	#2	0.50m	663
Ri	Rubricella fulgida sulvaranti 'Goltsumi' / Black-Eyed Susan	#1	0.45m	44

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
BS	Bi Swale Planting - See Notes for Plant Mix	-	-	54.5 m <sup>2</sup>
EC	Erica carnea 'Springwood Pink' / Pink Spring Heath	#1	450mm	610
PA	Pachysandra terminalis 'Green Sheen' / Green Sheen Japanese Spurge	#1	380mm	2 576
AB	Premier Pacific Seeds - Low Grow Wild Flower Mix	-	-	890.6 m <sup>2</sup>
ST	Stachys byzantina 'Lamb's Ear	#1	300mm	1 820
TI	Tiarella cordifolia / Foamflower	#1	300mm	1 389

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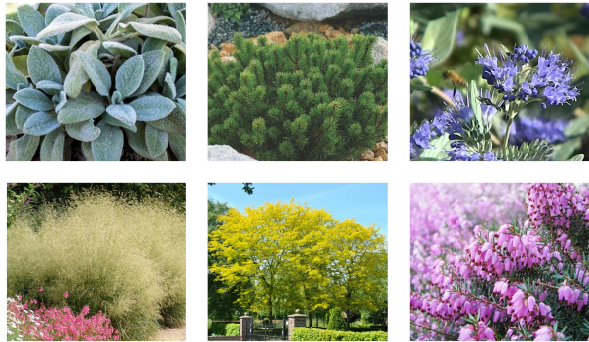
Project:  
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1:300	



Key plant palette



Matchline A - See Sheet L-06

North welland - Refer to report and planting plan prepared by Keystone environmental

Matchline B - See Sheet L-08

Matchline C - See Sheet L-09

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Az	Azalea 'Northern Lights' / Northern Lights Azalea	#2	0.75m	102
Az	Azalea japonica 'Gumpo White' / Dwarf White Azalea	#3	0.60m	147
Ba	Berberis thunbergii 'Aurea Nana' / Japanese Barberry	#2	0.45m	332
Ca	Caryopteris x clandonensis / Bluebeard	#2	0.75m	258
Ch	Chrysa ternata 'Alicia Yee' / Mexican Orange	#3	0.50m	188
Cx	Cornus sericea 'Rud's Yellow' / Yellow Twig Dogwood	#2	0.90m	74
Co	Erkianthus campanulatus / Erkanthus	#2	1.20m	82
Es	Escallonia x Newport Dwarf / Newport Dwarf Escallonia	#3	0.75m	295
Ga	Gaulltheria shallon / Salal	#2	0.45m	272
Hy	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	#2	0.75m	47
Ma	Mahonia aquifolium / Common Barberry	#3	0.75m	63
Pl	Pinus mugo 'Pumilio' / Mugo Pine	#3	0.50m	637
Pr	Prunus laurocerasus 'Olla Lycklin' / Luydens Laurel	#2	0.60m	553
Rh	Rhododendron x Anah Kruschke / Hybrid Rhododendron	#3	0.90m	189
Vu	Rhododendron x Vulcan Flame / Vulcan Flame Rhododendron	#3	0.90m	307
Ri	Rosa x Amber / Flower Carpet Amber Rose	#2	0.75m	333
Sa	Sarcococca ussifolia / Fragrant Sarcococca	#2	0.45m	519
Sp	Spiraea betulifolia 'Tor' / Birchleaf Spiraea	#2	0.75m	13
Sd	Sorbus douglasii / Western Spirea	#2	0.65m	69
Sy	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	#2	0.90m	11

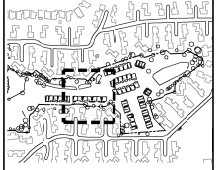
PERENNIALS, GRASSES & FERNS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
As	Astilbe x arends 'Bird's Veil' / Bird's Veil Astilbe	#1	0.45m	304
Cr	Carex suthanensis / Leather Leaf Sedge	#1	0.30m	691
Cb	Carex caryophylla 'Beaitemania' / Beaitemania Spring Sedge	#1	0.30m	255
Ci	Clematis amandii / Evergreen Clematis	#1	0.75m	3
De	Deschampsia cespitosa 'Solista' / Gold Dew Tufted Hair Grass	#1	0.30m	60
Fe	Festuca glauca 'Beyond Blue' / Blue Fescue	#1	0.30m	722
He	Helleborus niger / Christmas Rose	#1	0.30m	478
Kn	Koniphofa uvaria / Torch Lily	#1	0.45m	283
La	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0.45m	197
Pi	Polypodium 'Wumbum' / Western Sweet Fern	#2	0.50m	693
Ru	Rubusocka fulgida sullivanti 'Goldstam' / Black-Eyed Susan	#1	0.45m	44

GROUND COVERS

	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
BS	Bio Swale Planting - See Notes for Plant Mix	-	-	54.5 m <sup>2</sup>
EC	Erica carnea 'Springwood Pink' / Pink Spring Heath	#1	450mm	610
PA	Pachysandra terminalis 'Green Sheen' / Green Sheen Japanese Spurge	#1	380mm	2 576
AB	Premier Pacific Seeds - Low Grow Wild Flower Mix	-	-	890.6 m <sup>2</sup>
ST	Stachys byzantina / Lamb's Ear	#1	300mm	1 820
TI	Taraxacum officinale / Dandelion	#1	300mm	1 389

- PLANTING NOTES:**
1. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
  2. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY ICMA OR BCCLA GUIDELINES. PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
  3. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
  4. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
  5. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
    - A. SHRUBS: 450MM
    - B. SOIL: 150MM
- C. TREE PITS 1000MM WITH 300MM (BELOW ROOT EALL)**
6. 2" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- IRRIGATION NOTE:**
- 1. ALL AREAS TO BE IRRIGATED. IRRIGATION SYSTEM TO MEET OR EXCEED IAAC STANDARDS. LANDSCAPE ARCHITECT TO REVIEW IRRIGATION PLANS.
- WILD FLOWER MIX NOTES:**
- 1. NO SEED MIX, ONLY 3" MULCH UNDER CONIFEROUS TREES
  - 2. REFER TO SPECIFICATION, "MECHANICAL SEEDING" FOR DIRECTIONS ON APPLICATION OF WILD FLOWER MIXES.
- EOSWALE NOTE:**
- 1. MIX OF 20% SPIRAEA JAPONICA 40% JUNCUS EFFUSUS 20% LIGULARIA DENATA 10% CORNUS SERICEA

1 Planting plan Scale 1:200



No.	By:	Description	Date
6	ET	Issued for general DP	July 2, 2020
5	AD	Issued for DP	June 10, 2020
4	AD	Submission to ADR	May 28, 2020
3	AD	Issued for Reasoning and DP	March 2, 2020
2	AD	Issued for Reasoning and DP	Sept 27, 2019
1	AD	Issued for Reasoning and DP	Sept 4, 2019

**REVISIONS TABLE FOR DRAWINGS**

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No.	By:	Description	Date

**REVISIONS TABLE FOR SHEET**

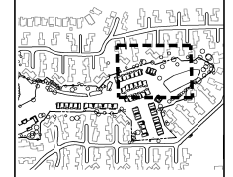
No.	By:	Description	Date

**Project:**  
GREENSIDE DEVELOPMENT  
BLOCK B (TOWNHOME)

**Location:**  
16310 Fraser Highway & 6312 - 152 Street, Surrey BC

<b>Drawn:</b> AD DV	<b>Stamp:</b>
<b>Checked:</b> SH	
<b>Approved:</b> MVDZ	Original Sheet Size: 24"x36"
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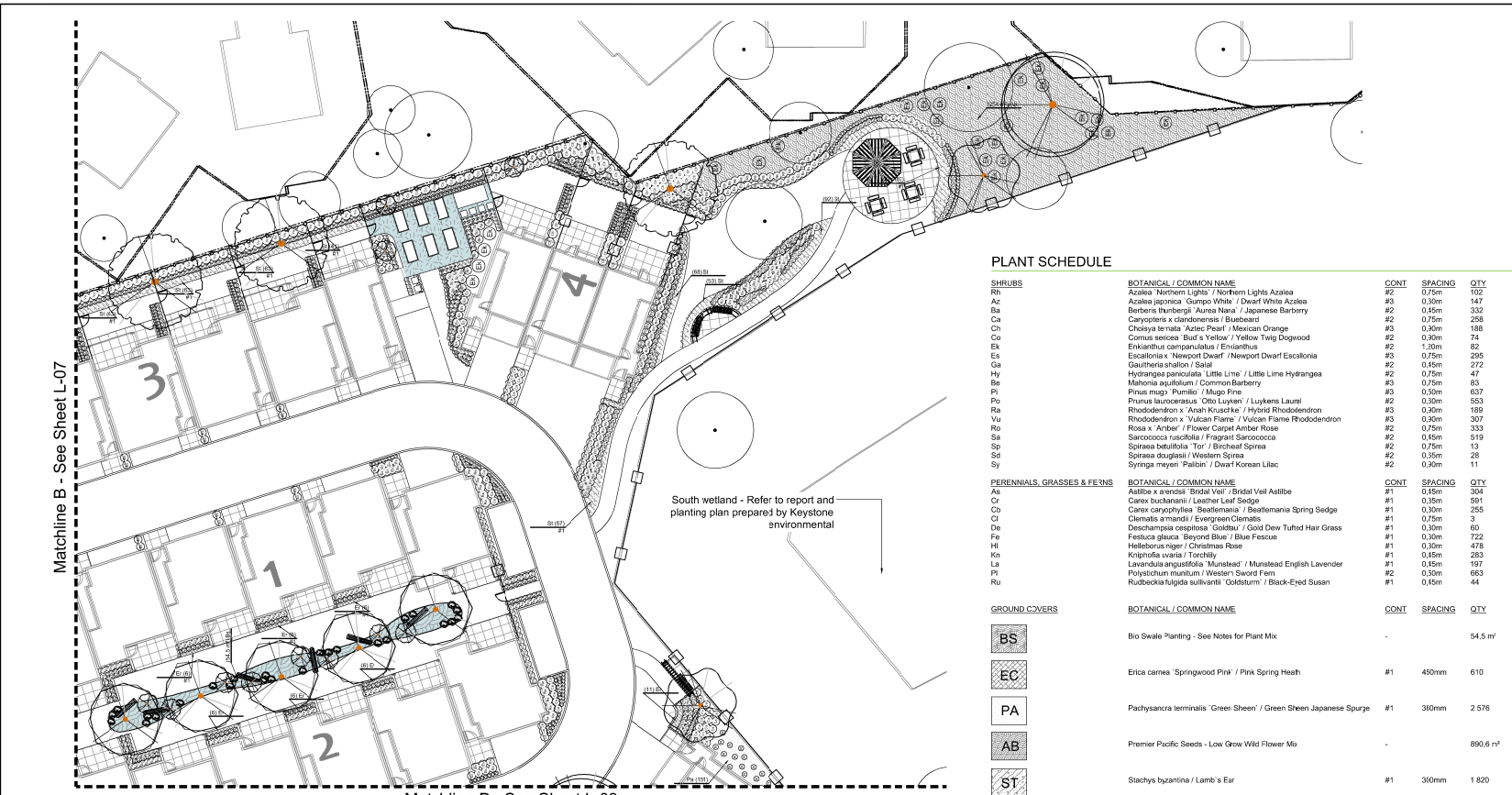
No.	By:	Description	Date
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1	AD	Issued for Reasoning and DP	Sept 4, 2019

No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

**Project:**  
 GREENSIDE DEVELOPMENT  
 BLOCK B (TOWNHOME)

**Location:**  
 15310 Fraser Highway & 6312 -  
 152 Street, Surrey BC

<b>Drawn:</b> AD DV	<b>Stamp:</b>
<b>Checked:</b> SH	
<b>Approved:</b> MVDZ	<b>Original Sheet Size:</b> 24"x36"
<b>Scale:</b> 1:300	<b>CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RETURNED TO THE CONSULTANT OF THE WORK. ALL DIMENSIONS SHOWN ON THIS CONSTRUCTION LABEL SHALL BE USED FOR TRADE CONSTRUCTION.</b>



**PLANT SCHEDULE**

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Rh	Azalea 'Northern Lights' / Northern Lights Azalea	#2	0.75m	102
Az	Azalea japonica 'Gumpo White' / Dwarf White Azalea	#3	0.90m	147
Ba	Berberis thunbergii 'Aurea Nana' / Japanese Barberry	#2	0.45m	332
Ca	Caryopteris x clandonensis / Bluebeard	#2	0.75m	258
Ch	Chrysaena 'Aztec Pear' / Mexican Orange	#3	0.90m	188
Cu	Cornus sericea 'Bud's Yellow' / Yellow Twig Dogwood	#2	0.90m	74
Ek	Ericaria paniculata / Eriocaulis	#2	1.00m	82
Es	Escallonia x 'Newport Dwarf' / Newport Dwarf Escallonia	#3	0.75m	295
Ga	Galearia analost / Galia	#2	0.15m	272
Hy	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	#2	0.75m	47
Ma	Mahonia aquifolium / Common Barberry	#3	0.75m	83
Pr	Prunus mup 'Pumkin' / Mugo Pine	#3	0.90m	637
Pe	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	#2	0.90m	553
Ra	Rhododendron x 'Anah Kruachke' / Hybrid Rhododendron	#3	0.90m	189
Yu	Rhododendron x 'Vulcan Flame' / Vulcan Flame Rhododendron	#3	0.90m	307
Ro	Rosa x 'Amber' / Flower Carpet Amber Rose	#2	0.75m	333
Sc	Sarcococca hookeriana / Fragrant Sarcococca	#2	0.45m	519
Sp	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	0.75m	13
Sd	Spiraea douglasii / Western Spirea	#2	0.90m	28
Sy	Syringa meyeri 'Palino' / Dwarf Korean Lilac	#2	0.90m	11

PERENNIALS, GRASSES & FERNS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
As	Astilbe x arenoid 'Bridal Veil' / Bridal Veil Astilbe	#1	0.15m	304
Cr	Carex buchananii / Leather Leaf Sedge	#1	0.35m	591
Co	Carex caroliniana 'Beathemania' / Beathemania Spring Sedge	#1	0.35m	255
Ci	Clematis amandii / Evergreen Clematis	#1	0.75m	3
De	Deschampsia cespitosa 'Goldtop' / Gold Top Tufted Hair Grass	#1	0.30m	60
Fe	Fedelia glauca 'Beyond Blue' / Blue Fescue	#1	0.30m	722
He	Hebeborus niger / Christmas Rose	#1	0.30m	478
Kn	Kingfisher ovari / Torch Lily	#1	0.15m	283
La	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0.15m	197
Pl	Polysichum munium / Western Sword Fern	#2	0.50m	663
Ru	Rutbeckia fulgida subvar. 'Coloantum' / Black-Eyed Susan	#1	0.15m	44

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
BS	Bio Swale Planting - See Notes for Plant Mix	-	-	54.5 m <sup>2</sup>
EC	Erica carnea 'Springwood Pink' / Pink Spring Heath	#1	450mm	610
PA	Pachysandra terminalis 'Green Sheen' / Green Sheen Japanese Spurge	#1	300mm	2 576
AB	Premier Pacific Seeds - Low Grow Wild Flower Mix	-	-	890.6 m <sup>2</sup>
ST	Stachys byzantina / Lamb's Ear	#1	300mm	1 820
T	Tianella cordifolia / Foamflower	#1	300mm	1 389

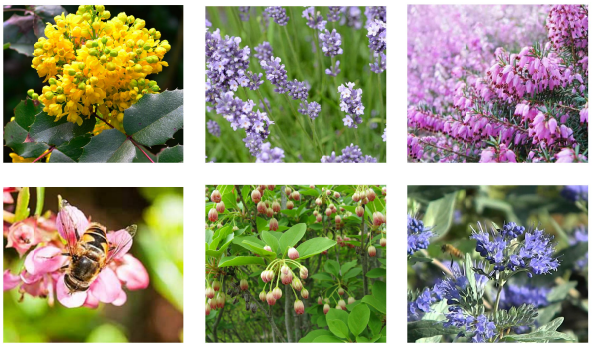
South wetland - Refer to report and planting plan prepared by Keystone environmental

Matchline B - See Sheet L-07

Matchline D - See Sheet L-09

1 Planting plan  
 Scale 1:200

**Pollinator plants**



**PLANTING NOTES:**

- PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERIES LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12. CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY ICMA OR OBCSA. GUIDELINES PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:  
 A. SHRUBS: 450MM  
 B. SOIL: 150MM  
 C. TREE PITS: 1000MM W/ 300MM (BELOW ROOT BALL)
- 2" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.

**IRRIGATION NOTE:**

1. ALL AREAS TO BE IRRIGATED. IRRIGATION SYSTEM TO MEET OR EXCEED IASBC STANDARDS. LANDSCAPE ARCHITECT TO REVIEW IRRIGATION PLANS.

**WILD FLOWER MIX NOTES:**

1. NO SEED MIX, ONLY 3" MULCH UNDER CONIFEROUS TREES  
 2. REFER TO SPECIFICATION, MECHANICAL, SEEDING FOR DIRECTIONS ON APPLICATION OF WILD FLOWER MIXES.

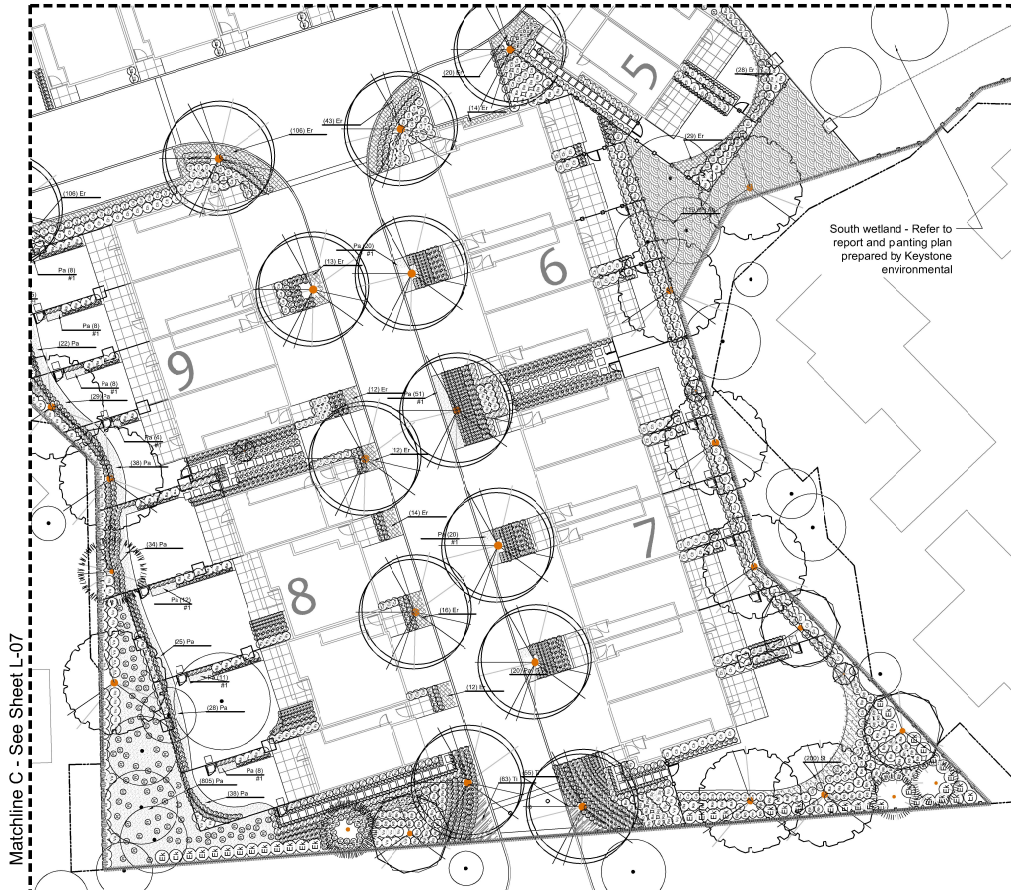
**BIOSWALE NOTE:**

1. MIX OF 20% SPIRAEA, JAPONICA 40% JUNCUS EFFUSUS 20% LIGULARIA EMATA 10% CORNUS SERICEA





Matchline D - See Sheet L-08



South wetland - Refer to report and planting plan prepared by Keystone environmental

Matchline C - See Sheet L-07

1 Planting plan  
Scale 1:200

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Rh	Azalea Northern Lights / Northern Lights Azalea	#2	0.75m	102
Az	Azalea japonica 'Crimson White' / Dwarf White Azalea	#3	0.60m	147
Ba	Berberis thunbergii 'Aurea Nana' / Japanese Barberry	#2	0.45m	332
Ca	Caryopteris x clarinervis / Bluebeard	#2	0.75m	258
Ch	Choysya ternata 'Adeco Pearl' / Mexican Orange	#3	0.90m	198
Co	Cornus sericea 'Bud's Yellow' / Yellow Twig Dogwood	#2	0.90m	74
En	Enkianthus cingulatus / Enkianthus	#2	1.20m	82
Es	Escallonia x 'Newport Dwarf' / Newport Dwarf Escallonia	#3	0.75m	295
Gal	Gaultheria shallon 'Salem'	#2	0.45m	272
Hy	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	#2	0.75m	47
Ma	Mahonia aquifolium / Common Barberry	#3	0.75m	83
Pl	Pinus mugo 'Pumilo' / Mugo Pine	#3	0.50m	637
Pr	Prunus laurocerasus 'Obo Layker' / Laykers Laurel	#2	0.90m	553
Rh	Rhododendron x 'Anah Kruskie' / Hybrid Rhododendron	#3	0.90m	189
Rh	Rhododendron 'Yulan Flame' / Yulan Flame Rhododendron	#3	0.90m	307
Ra	Rosa x 'Amber' / Flower Carpet Amber Rose	#2	0.75m	333
Sa	Sarcococca ruscifolia / Fragrant Sarcococca	#2	0.45m	519
Sp	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	0.75m	13
Sp	Spiraea douglasii / Western Spirea	#2	0.65m	28
Sy	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	#2	0.90m	11

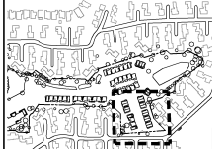
PERENNIALS, GRASSES & FERNS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
As	Asclepias arandifolia 'Stript Heart' / Bird's Veil Asclepi	#1	0.45m	304
Cr	Carex buchananii / Leather Leaf Sedge	#1	0.35m	591
Cb	Carex caryophylla 'Beatiemania' / Beatiemania Spring Sedge	#1	0.30m	255
Ct	Clematis armandi / Evergreen Clematis	#1	0.75m	3
De	Deschampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass	#1	0.30m	60
Fa	Festuca glauca 'Beyond Blue' / Blue Fescue	#1	0.30m	722
He	Hebebebus niger / Christmas Rose	#1	0.30m	478
Ki	Kniphofia uraria / Torch Lily	#1	0.45m	283
La	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0.45m	197
Pol	Polystichum montanum / Western Sword Fern	#2	0.50m	663
Ru	Rubusbeckia fulgida sullivanii 'Goldsturm' / Black-Eyed Susan	#1	0.45m	44

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
BS	Bio Swale Planting - See Notes for Plant Mix	-	-	54.5 m <sup>2</sup>
EC	Erica carnea 'SpringDew Pink' / Pink Spring Heath	#1	450mm	610
PA	Pachyandra terminalis 'Green Sheen' / Green Sheen Japanese Spurge	#1	380mm	2 576
AB	Premier Pacific Seeds - Low Grow Wild Flower Mix	-	-	890.6 m <sup>2</sup>
ST	Stachys byzantina / Lamb's Ear	#1	300mm	1 820
TI	Tiarela cordifolia / Foamflower	#1	300mm	1 389

- PLANTING NOTES:**
- PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
  - ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BILNA OR BCSLA GUIDELINES PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
  - TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
  - AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
  - TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:  
A. SHRUBS: 400MM  
B. SOIL: 150MM  
C. TREE PITS 1000MM WITH 300MM (BELOW ROOT BALL)
- IRRIGATION NOTE:**
- ALL AREAS TO BE IRRIGATED. IRRIGATION SYSTEM TO MEET OR EXCEED IABC STANDARDS. LANDSCAPE ARCHITECT TO REVIEW IRRIGATION PLANS.
- WILD FLOWER MIX NOTES:**
- 1/NO SEED MIX, ONLY 3" MULCH UNDER CONIFEROUS TREES
- BIOSWALE NOTE:**
1. MIX OF 20% SPIRAEA JAPONICA 40% JUNCEUS EFFRUSES 20% LIGULARIA DENATI 10% CORNUS SERICEA
- REVISIONS TABLE FOR DRAWINGS**
- | No. | By: | Description                 | Date          |
|-----|-----|-----------------------------|---------------|
| 6   | ET  | Issued for general DP       | July 2, 2020  |
| 5   | AD  | Issued for DP               | June 19, 2020 |
| 4   | AD  | Submission to ADR           | May 28, 2020  |
| 3   | AD  | Issued for Reasoning and DP | March 2, 2020 |
| 2   | AD  | Issued for Reasoning and DP | Sept 27, 2019 |
| 1   | AD  | Issued for Reasoning and DP | Sept 4, 2019  |
- REVISIONS TABLE FOR SHEET**
- | No. | By: | Description | Date |
|-----|-----|-------------|------|
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 TEL 281-5737 | FAX 281-5737  
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Drawing Title: PLANTING PLAN D



VDZ Project #: DP2019-43

Drawing #: L-09

Key plant palette



Matchline - See L-10A



### LEGEND

KEY	REF.	DESCRIPTION
	1 LD-05	1.84m WOOD FENCE PRIVACY FENCE
	2 LD-05	1.84m/1.2m STEPPED UNIT FENCE
	1 LD-02	SPLIT RAIL FENCE
	3 LD-05	METAL PICKET FENCE
	2 LD-05	GATE

No.	By:	Description	Date
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### REVISIONS TABLE FOR DRAWINGS

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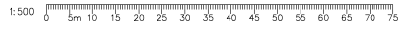
No.	By:	Description	Date

### REVISIONS TABLE FOR SHEET

**Project:**  
 GREENSIDE DEVELOPMENT  
 BLOCK B (TOWNHOME)

**Location:**  
 15310 Fraser Highway & 6312 -  
 152 Street, Surrey BC

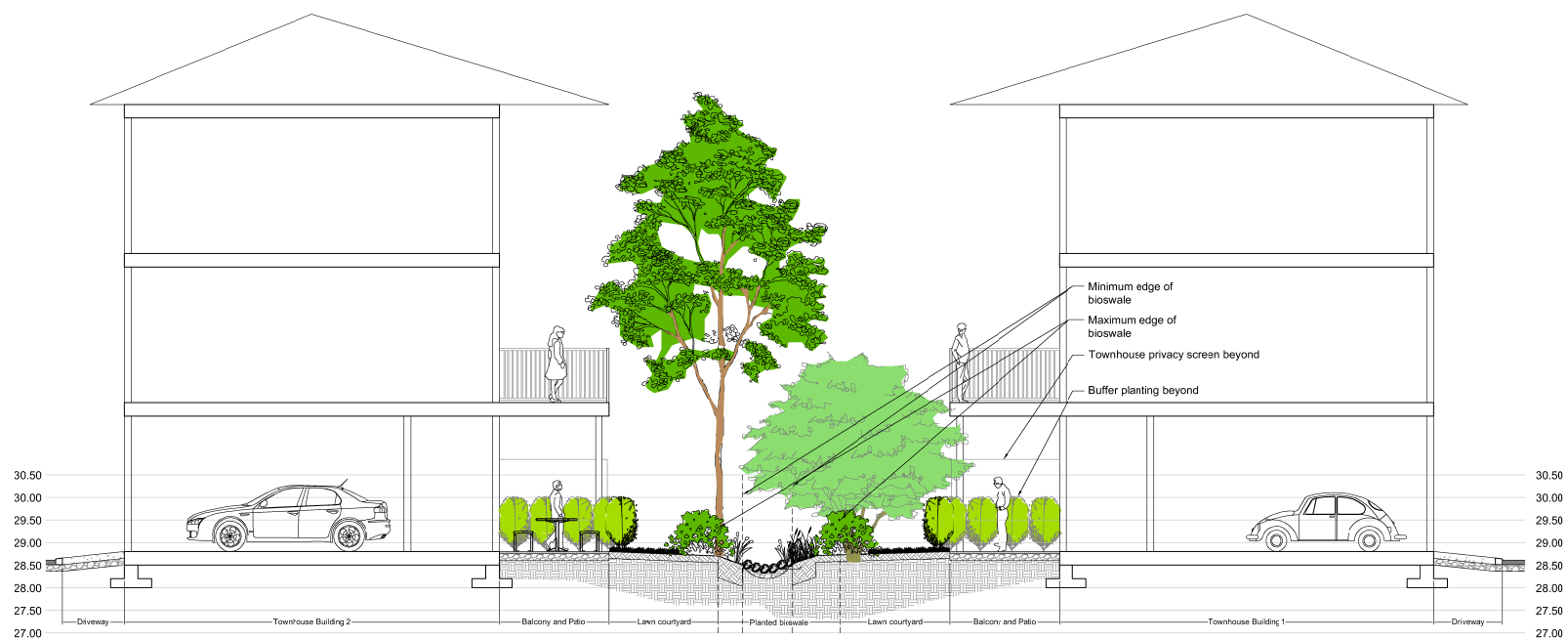
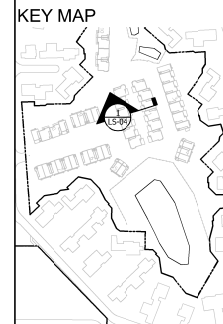
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Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:500	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE OWNER AND USER. RETURNED THE COMPLETION OF THE WORK, ALL DIMENSIONS AND SPECIFICATIONS SHALL BE THE PROPERTY OF THE OWNER AND USER. CONSTRUCTION LABELS ISSUED FOR TRADES/CONTRACTOR.



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Drawing Title: **FENCE AND WALL PLAN**  
 Drawing #: **L-10**  
 VDZ Project #: **DP2019-43**





**1** BIOSWALE COURTYARD AT TOWNHOUSE BUILDING 1 AND 2  
 Scale 1:50

No.	By:	Description	Date
6	ET	Issued for general DP	July 2, 2020
5	AD	Issued for DP	June 19, 2020
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
**GREENSIDE DEVELOPMENT  
 BLOCK B (TOWNHOME)**

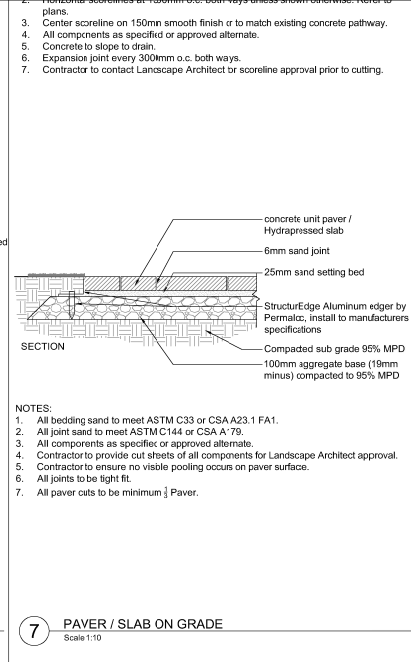
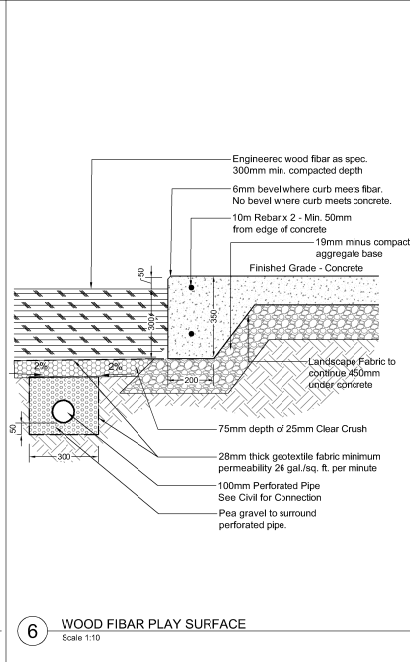
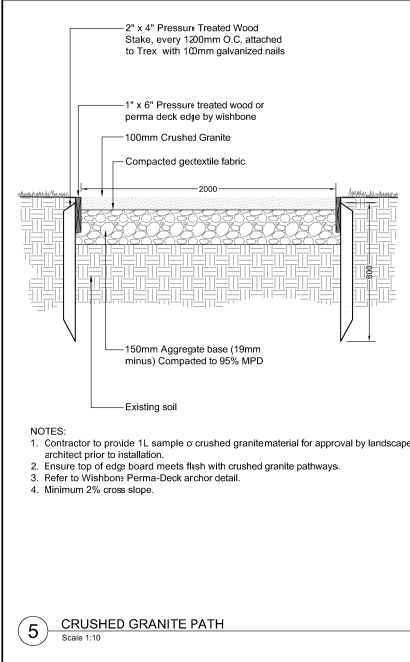
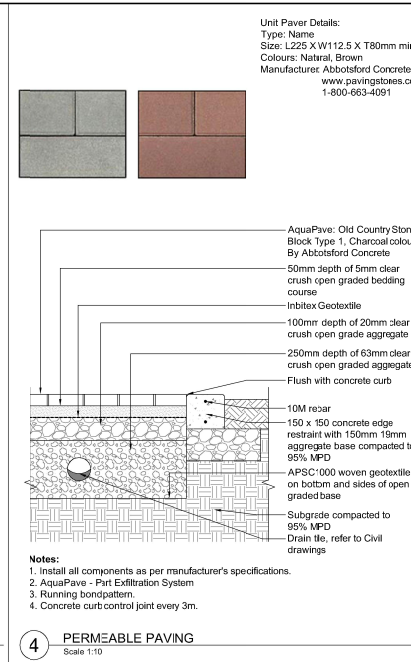
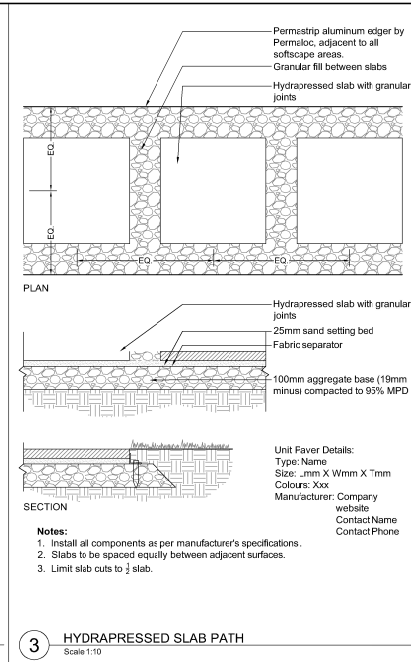
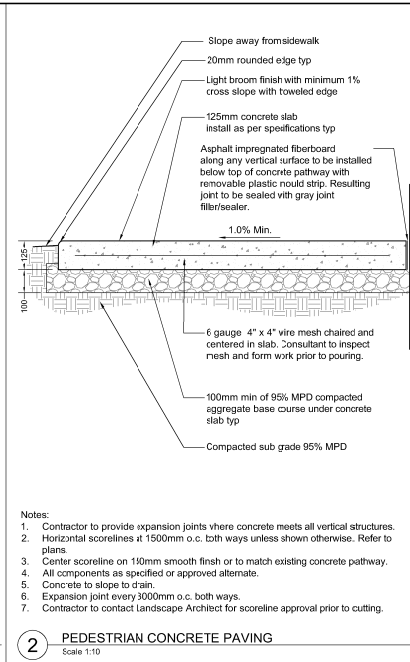
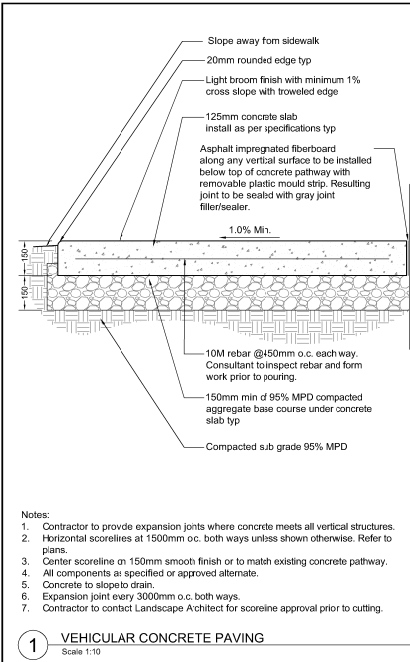
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 15310 Fraser Highway & 6312 -  
 152 Street, Surrey BC

Drawn: AD DV	Stamp:
Checked: SH	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"



Z:\PROJECTS\DEVELOPMENT\PERMIT\ACTIVITY\2019\14-1 GREENSIDE DEVELOPMENT\TOWNSHIPSHEETS\SET - TOWNHOME\LS-01 SECTIONS.DWG

Drawing Title: **SECTIONS**  
 Drawing #: **LS-01**  
 DP2019-43



REVISIONS TABLE FOR DRAWINGS

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1	AD	Issued for Reasoning and DP	Sept 4, 2019

REVISIONS TABLE FOR SHEET

Project:  
GREENSIDE DEVELOPMENT  
BLOCK B (TOWNHOME)

Location:  
15310 Fraser Highway & 6312 -  
152 Street, Surrey BC

Drawing #:  
LD-01

Scale:  
AS SHOWN

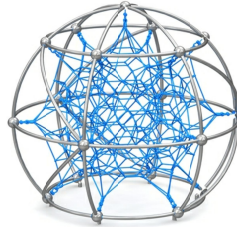
Stamp:  
Original Sheet Size:  
24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND SPECIFICATIONS AND THE RESPECTIVE PROPERTY OF THE OWNER AND ENGINEER. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SPECIFICATIONS AND THE RESPECTIVE PROPERTY OF THE OWNER AND ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SPECIFICATIONS AND THE RESPECTIVE PROPERTY OF THE OWNER AND ENGINEER.





1 SPLIT RAIL FENCE  
N.T.S.



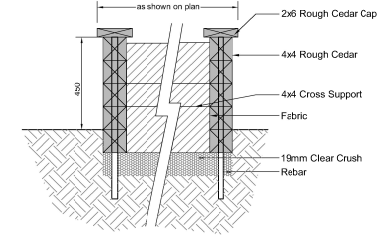
Notes:  
1. Jambette cable structure.  
Model: Merapi (GX-16001)  
2. Instal per manufacturers specifications.  
3. Footing to be coordinated with structural.

2 ROPE CLIMBER  
N.T.S.



PAVERS  
Type: Classic Series  
Size: 3:1 standard  
Colour: Natural, Desert Sand, Charcoal  
Manufacturer: Abbotsford Concrete  
www.pavingstones.com

3 CONCRETE UNIT PAVER PATTERN  
N.T.S.

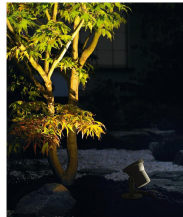


NOTES:  
1. Cap to be sanded smooth.  
2. Cap and exterior of planter to be treated with Sikkens Cetol WB SRD, Colour: #077 (Cedar)  
3. All fasteners to be hot dipped galvanized.  
AT GRADE COMMUNITY GARDEN PLOTS  
1. Granular or wood chip around plots.  
2. Plot size 1m x 2m.  
3. Cedar frame.  
4. Top of plot ±300mm above grade.

4 COMMUNITY GARDEN PLOTS AT SOUTHAMENITY AREA  
N.T.S.

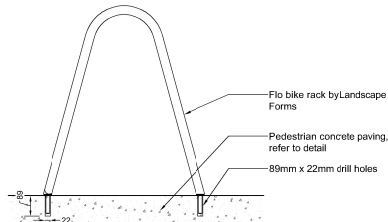


LIGHT BOLLARD  
Model: FGP path light  
Size: 381mm x 305mm x 991mm  
Mount: Pair manufacturer  
Colour: Metallic Silver  
Manufacturer: Landscape Forms  
www.landscapeforms.com



UPLIGHT  
Manufacturer: Bega or approved equal  
Product: LED floodlights with earth spike

5 LIGHTS  
N.T.S.



SECTION  
BIKE RACK  
Model: Flo  
Size: 38mm x 635mm x 686mm  
Mount: Embedded  
Colour: Metallic Silver  
Manufacturer: Landscape Forms  
www.landscapeforms.com

6 BIKE RACKS  
N.T.S.



7 BOLLARD  
N.T.S.

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Project:  
GREENSIDE DEVELOPMENT  
BLOCK B (TOWNHOME)  
Location:  
15310 Fraser Highway & 6312 -  
152 Street, Surrey BC

Drawn: AD DV	Stamp:
Checked: SH	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND USER. THE CONSULTANT'S OBLIGATION IS LIMITED TO THE COMPLETION OF THE WORK. ALL DIMENSIONS SHOWN IN THIS DRAWING SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONSULTATION LABEL LABELLED ISSUED FOR TRADE CONSTRUCTION.



**PICNIC TABLE**  
 Model: SPPTGP-40  
 Size: 762mm x 1803mm x 1803mm  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Wishbone  
 www.wishboneltd.com

**1 SQUARE PICNIC TABLE**  
 N.T.S.



**RECTANGULAR PICNIC TABLE**  
 Model: Bayview BVPT-E  
 Size: 813mm x 1976mm x 1830mm  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Wishbone  
 www.wishboneltd.com

**2 RECTANGULAR PICNIC TABLE**  
 N.T.S.



**WASTE RECEPTACLE**  
 Model: Modena MTR-23  
 Size: 1361  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Wishbone  
 www.wishboneltd.com

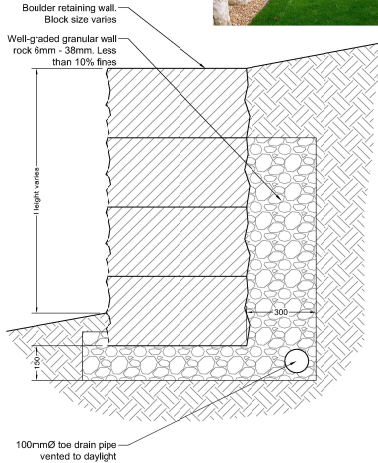
**3 WASTE RECEPTACLE**  
 N.T.S.



**PLANTER POTS**  
 Model: Sorella  
 Size: Varies  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Landscape Forms  
 www.landscapeforms.com

**4 PLANTER POTS**  
 N.T.S.

- Notes:  
 1. In playground area  
 a. Boulders may no have sharp exposed edges.



**5 BOULDER RETAINING WALL**  
 Scale: 1:10



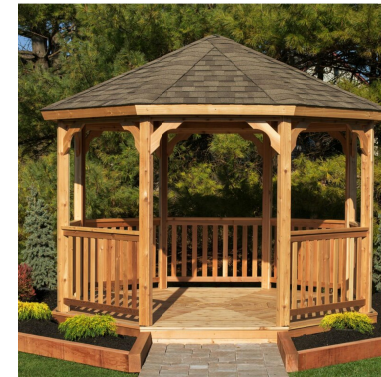
**SQUARE AND RECTANGULAR TRELLIS**  
 1. Wood members.  
 2. Embedded in concrete footings.

**6 TRELLIS**  
 Scale: 1:25



**BENCH**  
 Model: Modena  
 Size: 406mm x 860mm x 1829mm  
 Mount: Surface  
 Colour: Metallic Silver, Light Grey  
 Manufacturer: Wishbone  
 www.wishboneltd.com

**7 BENCH**  
 N.T.S.



**8 GAZEBO**  
 N.T.S.

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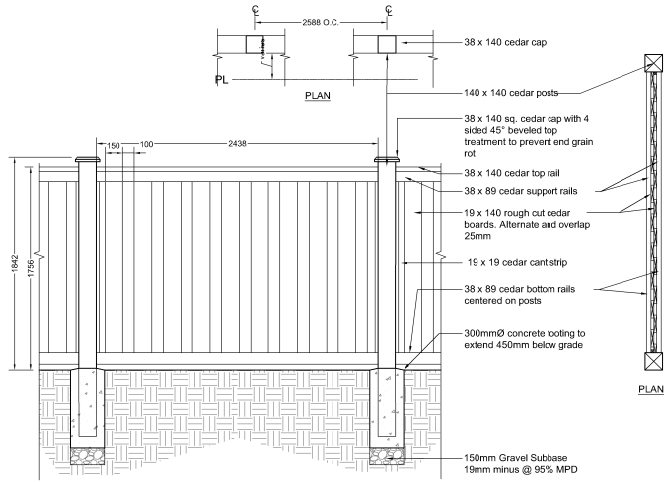
No.	By:	Description	Date

**Project:**  
 GREENSIDE DEVELOPMENT  
 BLOCK B (TOWNHOME)

**Location:**  
 15310 Fraser Highway & 6312 -  
 152 Street, Surrey BC

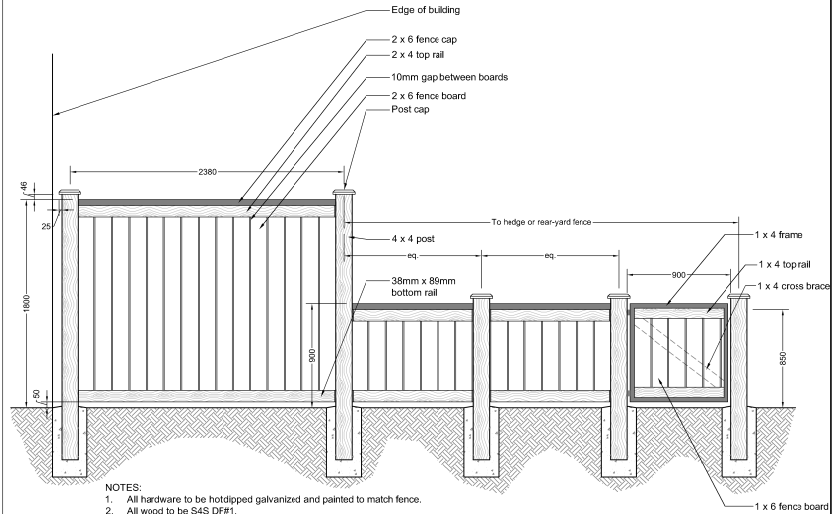
Drawn: AD DV	Stamp: 
Checked: SH	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE CONFORMANCE AND SPECIFICATIONS AND THE RESPECTIVE RESPONSIBILITIES OF THE OWNER AND DESIGNER. RETURNED THE CONSULTANT OF THE DRAWING ALL DIMENSIONS AND SPECIFICATIONS SHALL BE THE SAME AS SHOWN ON THE DRAWING. THE CONSTRUCTION LABEL LABELED ISSUED FOR TRADE CONSTRUCTION.

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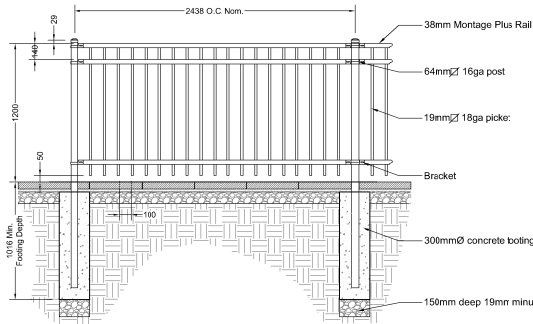
- Notes:
1. Fence to be constructed in conformance with the Morgan Creek Design Guidelines part 3.12.
  2. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.

1 WOOD SCREEN FENCE  
Scale 1:20



- NOTES:
1. All hardware to be hotdipped galvanized and painted to match fence.
  2. All wood to be S4S D1#1.
  3. Use exterior charcoal colour stain on all Wood elements.

2 TOWNHOUSE PRIVACY FENCE  
Scale 1:20



FENCE:  
Model: Montage Plus Ornamental Steel Fence  
Style: Majestic  
Colour: Black  
Height: 1200mm  
Manufacturer: Ameristar  
838-333-3422  
www.ameristarfence.com  
or approved substitute

- NOTES:
- Values shown are nominal and not to be used for installation purposes.  
See product specification for installation requirements.  
Contractor to provide shop drawings for approval.

3 METAL PICKET FENCE  
Scale 1:20

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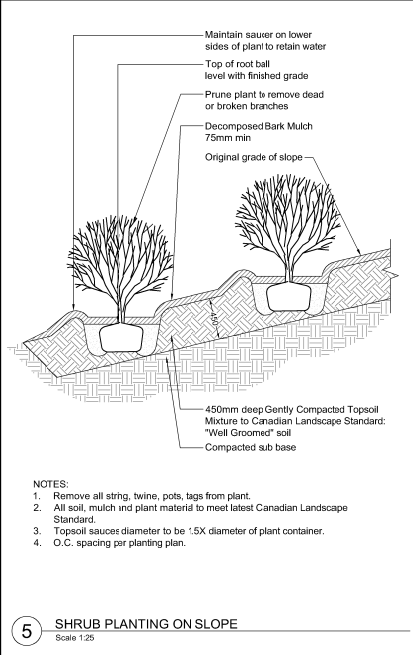
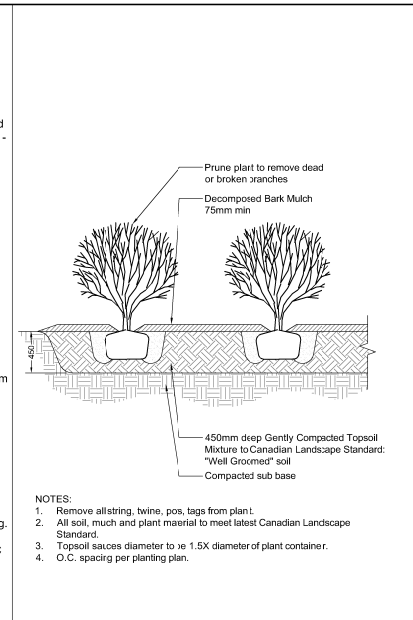
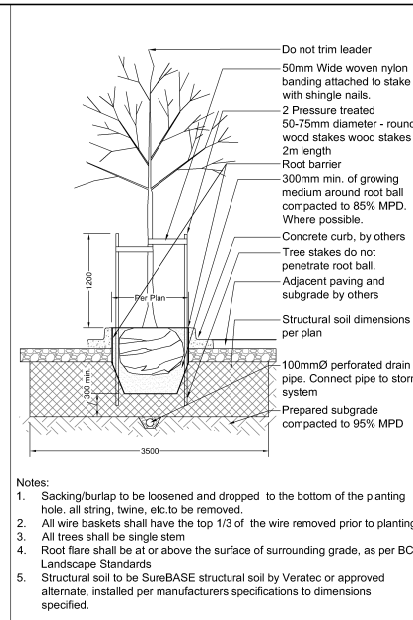
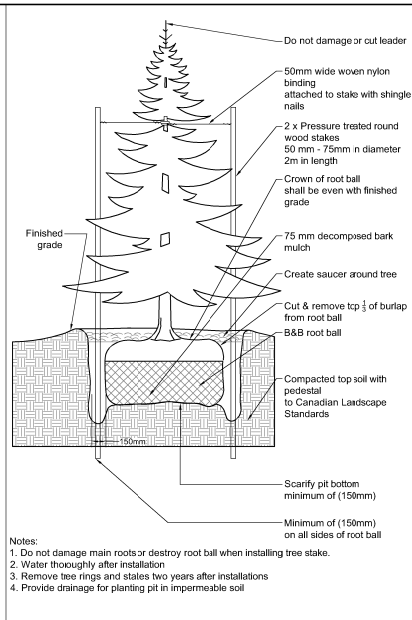
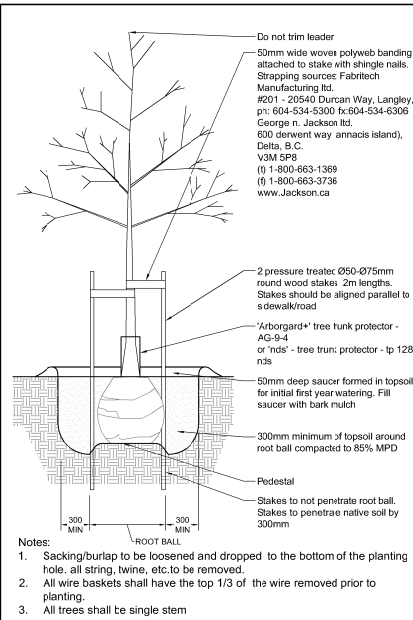
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Location:  
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---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **June 18, 2020** PROJECT FILE: **7815-0393-00**

---

RE: **Engineering Requirements  
Location: 6312 - 192 Street & 19310 Fraser Highway**

#### OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment beyond those noted below.

#### REZONE/SUBDIVISION

##### *Property and Right-of-Way Requirements*

- Dedicate varying widths along Fraser Highway.
- Dedicate varying widths along 192 Street.
- Dedicate 6.0m east-west lane.
- Provide required statutory rights-of-way.

##### *Works and Services*

- Construct 192 Street road works, as required.
- Construct east-west lane, including road drainage, per City standards.
- Implement the recommendations of the Traffic Impact Study and geotechnical report.
- Construct 300mm water main on the south side of Fraser Highway fronting the site.
- Construct 250mm sanitary main on the south side of Fraser Highway fronting the site.
- Complete sanitary and drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Provide City's metered water, sanitary and storm service connections.
- Register applicable legal documents, working easements and tree cutting permits, as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

#### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Tommy Buchmann, P.Eng.  
Development Services Manager

HB4

NOTE: Detailed Land Development Engineering Review available on file

April 27, 2020  
**Planning**

**THE IMPACT ON SCHOOLS**

**APPLICATION #:** 15-0393-00 (phase 1 only)

**SUMMARY**

The proposed 55 townhouse units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	14
Secondary Students:	7

**September 2019 Enrolment/School Capacity**

<b>Latimer Road Elementary</b>	
Enrolment (K/1-7):	72 K + 453
Operating Capacity (K/1-7)	38 K + 442
<b>Clayton Heights Secondary</b>	
Enrolment (8-12):	1104
Capacity (8-12):	1000

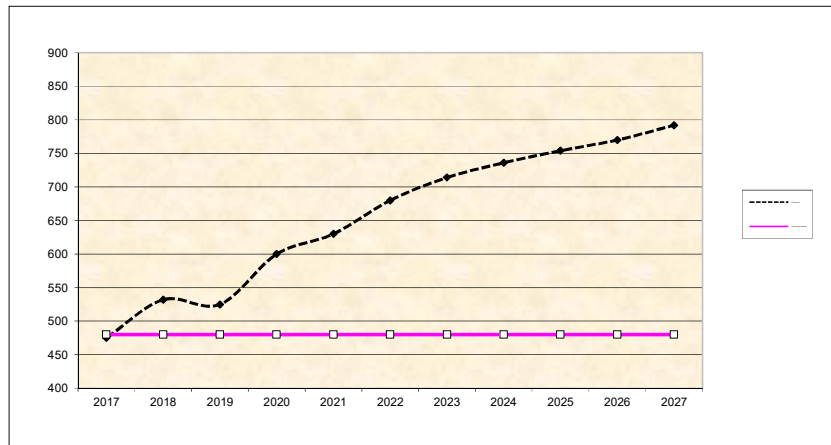
**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

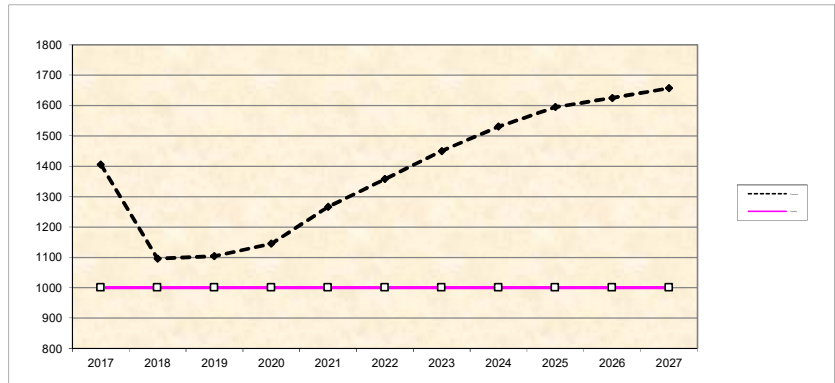
Latimer Road enrolment has been significantly growing over the last 3 years because of a boundary change in 2015 which started to move enrolment growth north of Fraser Highway to Latimer Road. Moreover, in 2013, a Montessori program was offered at the school which has increased the pressure on available space in the school. Future growth in the area will need to be accommodated with portables. As of September 2019, there are 7 portables on site used for enrolling space.

E'cole Salish Secondary opened in September 2018. This school has been built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. A 500 capacity addition for Clayton Heights Secondary is on the District's current 5 year Capital Plan.

**Latimer Road Elementary**



**Clayton Heights Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

April 27, 2020  
**Planning**

**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Latimer Road enrolment has been significantly growing over the last 3 years because of a boundary change in 2015 which started to move enrolment growth north of Fraser Highway to Latimer Road. Moreover, in 2013, a Montessori program was offered at the school which has increased the pressure on available space in the school. Future growth in the area will need to be accommodated with portables. As of September 2019, there are 7 portables on site used for enrolling space.

E'cole Salish Secondary opened in September 2018. This school has been built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. A 500 capacity addition for Clayton Heights Secondary is on the District's current 5 year Capital Plan.

**THE IMPACT ON SCHOOLS**

**APPLICATION #:** 15-0393-00 (phase 2 only)

**SUMMARY**

The proposed 595 lowrise units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	60
Secondary Students:	36

**September 2019 Enrolment/School Capacity**

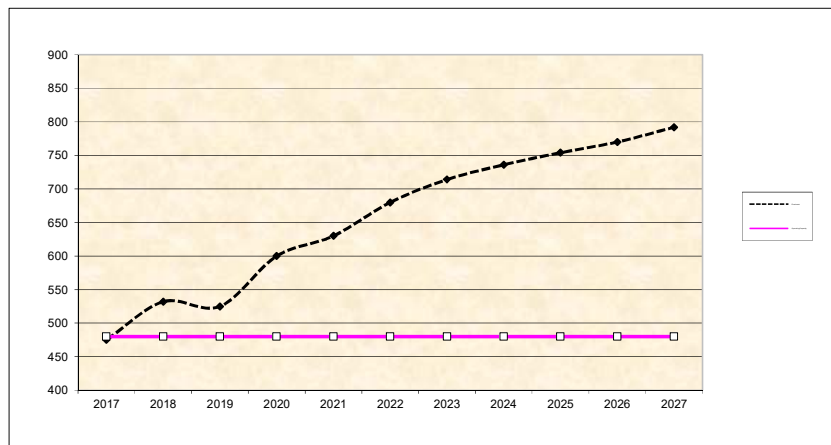
**Latimer Road Elementary**

Enrolment (K/1-7): 72 K + 453  
 Operating Capacity (K/1-7) 38 K + 442

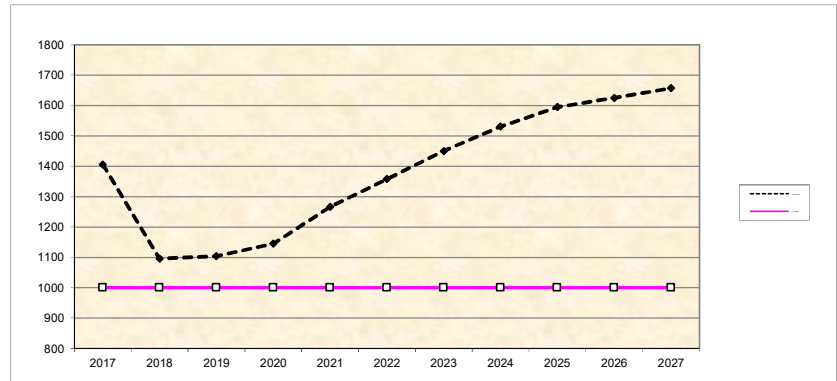
**Clayton Heights Secondary**

Enrolment (8-12): 1104  
 Capacity (8-12): 1000

**Latimer Road Elementary**



**Clayton Heights Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

## Tree Preservation Summary

**Surrey Project No:** 15-0393  
**Address:** Greenside Development , 19310 Fraser Hwy and 6312 192nd St Surrey BC  
**Registered Arborist:** Glenn Murray

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>320</b>
<b>Protected Trees to be Removed</b>	<b>148</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>172</b>
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{\quad 6 \quad} \times \text{one (1)} = 6</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{\quad 142 \quad} \times \text{two (2)} = 284</math></li> </ul>	<b>290</b>
<b>Replacement Trees Proposed</b>	
<b>Replacement Trees in Deficit</b>	<b>290</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>4</b>
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{\hspace{2cm}} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{\quad 4 \quad} \times \text{two (2)} = 8</math></li> </ul>	<b>8</b>
<b>Replacement Trees Proposed</b>	
<b>Replacement Trees in Deficit</b>	<b>8</b>

Summary, report and plan prepared and submitted by:



\_\_\_\_\_  
 (Signature of Arborist)

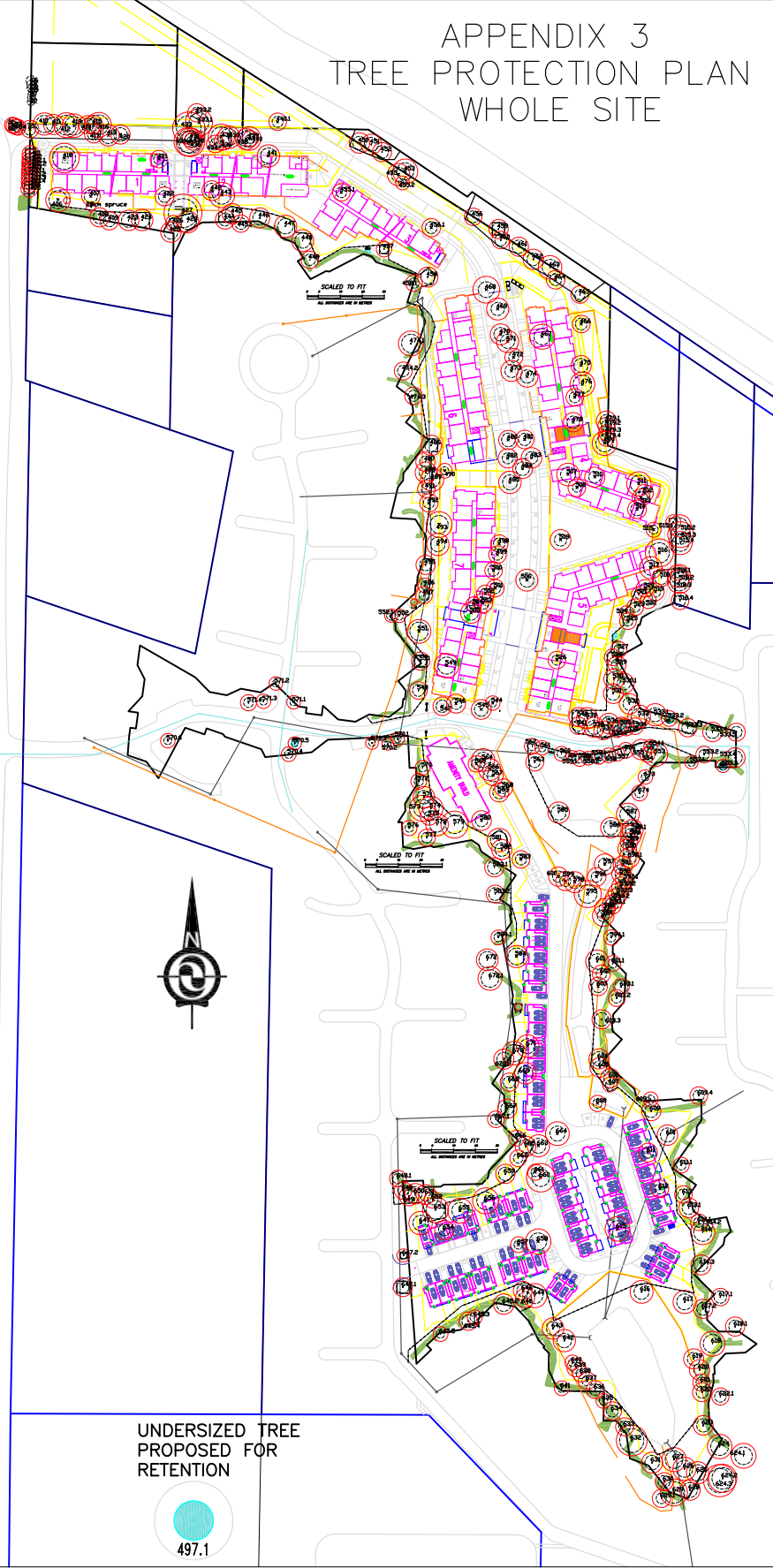
4-Mar-20

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 Date



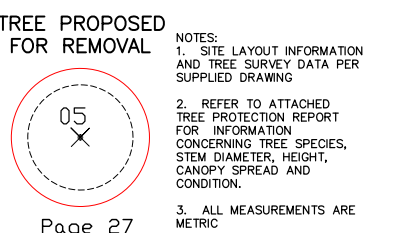
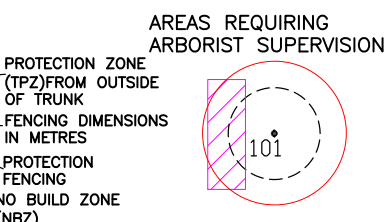
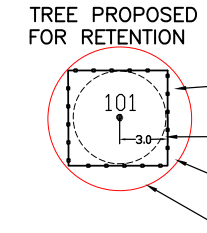
# APPENDIX 3 TREE PROTECTION PLAN WHOLE SITE

#	Type	Action	DBH	TPZ
1	Lixalis Cedar	Remove	30cm	1.8m
2	Lixalis Cedar	Remove	30cm	1.8m
3	Lixalis Cedar	Remove	30cm	1.8m
4	Lixalis Cedar	Remove	30cm	1.8m
5	Lixalis Cedar	Remove	30cm	1.8m
6	Lixalis Cedar	Remove	30cm	1.8m
7	Lixalis Cedar	Remove	30cm	1.8m
8	Lixalis Cedar	Remove	30cm	1.8m
9	Lixalis Cedar	Remove	30cm	1.8m
10	Lixalis Cedar	Remove	30cm	1.8m
11	Lixalis Cedar	Remove	30cm	1.8m
12	Lixalis Cedar	Remove	30cm	1.8m
13	Lixalis Cedar	Remove	30cm	1.8m
14	Lixalis Cedar	Remove	30cm	1.8m
15	Lixalis Cedar	Remove	30cm	1.8m
16	Lixalis Cedar	Remove	30cm	1.8m
17	Lixalis Cedar	Remove	30cm	1.8m
18	Lixalis Cedar	Remove	30cm	1.8m
19	Lixalis Cedar	Remove	30cm	1.8m
20	Lixalis Cedar	Remove	30cm	1.8m
21	Lixalis Cedar	Remove	30cm	1.8m
22	Lixalis Cedar	Remove	30cm	1.8m
23	Lixalis Cedar	Remove	30cm	1.8m
24	Lixalis Cedar	Remove	30cm	1.8m
25	Lixalis Cedar	Remove	30cm	1.8m
26	Lixalis Cedar	Remove	30cm	1.8m
27	Lixalis Cedar	Remove	30cm	1.8m
28	Lixalis Cedar	Remove	30cm	1.8m
29	Lixalis Cedar	Remove	30cm	1.8m
30	Lixalis Cedar	Remove	30cm	1.8m
31	Lixalis Cedar	Remove	30cm	1.8m
32	Lixalis Cedar	Remove	30cm	1.8m
33	Lixalis Cedar	Remove	30cm	1.8m
34	Lixalis Cedar	Remove	30cm	1.8m
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47	Lixalis Cedar	Remove	30cm	1.8m
48	Lixalis Cedar	Remove	30cm	1.8m
49	Lixalis Cedar	Remove	30cm	1.8m
50	Lixalis Cedar	Remove	30cm	1.8m
51	Lixalis Cedar	Remove	30cm	1.8m
52	Lixalis Cedar	Remove	30cm	1.8m
53	Lixalis Cedar	Remove	30cm	1.8m
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61	Lixalis Cedar	Remove	30cm	1.8m
62	Lixalis Cedar	Remove	30cm	1.8m
63	Lixalis Cedar	Remove	30cm	1.8m
64	Lixalis Cedar	Remove	30cm	1.8m
65	Lixalis Cedar	Remove	30cm	1.8m
66	Lixalis Cedar	Remove	30cm	1.8m
67	Lixalis Cedar	Remove	30cm	1.8m
68	Lixalis Cedar	Remove	30cm	1.8m
69	Lixalis Cedar	Remove	30cm	1.8m
70	Lixalis Cedar	Remove	30cm	1.8m
71	Lixalis Cedar	Remove	30cm	1.8m
72	Lixalis Cedar	Remove	30cm	1.8m
73	Lixalis Cedar	Remove	30cm	1.8m
74	Lixalis Cedar	Remove	30cm	1.8m
75	Lixalis Cedar	Remove	30cm	1.8m
76	Lixalis Cedar	Remove	30cm	1.8m
77	Lixalis Cedar	Remove	30cm	1.8m
78	Lixalis Cedar	Remove	30cm	1.8m
79	Lixalis Cedar	Remove	30cm	1.8m
80	Lixalis Cedar	Remove	30cm	1.8m
81	Lixalis Cedar	Remove	30cm	1.8m
82	Lixalis Cedar	Remove	30cm	1.8m
83	Lixalis Cedar	Remove	30cm	1.8m
84	Lixalis Cedar	Remove	30cm	1.8m
85	Lixalis Cedar	Remove	30cm	1.8m
86	Lixalis Cedar	Remove	30cm	1.8m
87	Lixalis Cedar	Remove	30cm	1.8m
88	Lixalis Cedar	Remove	30cm	1.8m
89	Lixalis Cedar	Remove	30cm	1.8m
90	Lixalis Cedar	Remove	30cm	1.8m
91	Lixalis Cedar	Remove	30cm	1.8m
92	Lixalis Cedar	Remove	30cm	1.8m
93	Lixalis Cedar	Remove	30cm	1.8m
94	Lixalis Cedar	Remove	30cm	1.8m
95	Lixalis Cedar	Remove	30cm	1.8m
96	Lixalis Cedar	Remove	30cm	1.8m
97	Lixalis Cedar	Remove	30cm	1.8m
98	Lixalis Cedar	Remove	30cm	1.8m
99	Lixalis Cedar	Remove	30cm	1.8m
100	Lixalis Cedar	Remove	30cm	1.8m



#	Type	Action	DBH	TPZ
101	Lixalis Cedar	Remove	30cm	1.8m
102	Lixalis Cedar	Remove	30cm	1.8m
103	Lixalis Cedar	Remove	30cm	1.8m
104	Lixalis Cedar	Remove	30cm	1.8m
105	Lixalis Cedar	Remove	30cm	1.8m
106	Lixalis Cedar	Remove	30cm	1.8m
107	Lixalis Cedar	Remove	30cm	1.8m
108	Lixalis Cedar	Remove	30cm	1.8m
109	Lixalis Cedar	Remove	30cm	1.8m
110	Lixalis Cedar	Remove	30cm	1.8m
111	Lixalis Cedar	Remove	30cm	1.8m
112	Lixalis Cedar	Remove	30cm	1.8m
113	Lixalis Cedar	Remove	30cm	1.8m
114	Lixalis Cedar	Remove	30cm	1.8m
115	Lixalis Cedar	Remove	30cm	1.8m
116	Lixalis Cedar	Remove	30cm	1.8m
117	Lixalis Cedar	Remove	30cm	1.8m
118	Lixalis Cedar	Remove	30cm	1.8m
119	Lixalis Cedar	Remove	30cm	1.8m
120	Lixalis Cedar	Remove	30cm	1.8m
121	Lixalis Cedar	Remove	30cm	1.8m
122	Lixalis Cedar	Remove	30cm	1.8m
123	Lixalis Cedar	Remove	30cm	1.8m
124	Lixalis Cedar	Remove	30cm	1.8m
125	Lixalis Cedar	Remove	30cm	1.8m
126	Lixalis Cedar	Remove	30cm	1.8m
127	Lixalis Cedar	Remove	30cm	1.8m
128	Lixalis Cedar	Remove	30cm	1.8m
129	Lixalis Cedar	Remove	30cm	1.8m
130	Lixalis Cedar	Remove	30cm	1.8m
131	Lixalis Cedar	Remove	30cm	1.8m
132	Lixalis Cedar	Remove	30cm	1.8m
133	Lixalis Cedar	Remove	30cm	1.8m
134	Lixalis Cedar	Remove	30cm	1.8m
135	Lixalis Cedar	Remove	30cm	1.8m
136	Lixalis Cedar	Remove	30cm	1.8m
137	Lixalis Cedar	Remove	30cm	1.8m
138	Lixalis Cedar	Remove	30cm	1.8m
139	Lixalis Cedar	Remove	30cm	1.8m
140	Lixalis Cedar	Remove	30cm	1.8m
141	Lixalis Cedar	Remove	30cm	1.8m
142	Lixalis Cedar	Remove	30cm	1.8m
143	Lixalis Cedar	Remove	30cm	1.8m
144	Lixalis Cedar	Remove	30cm	1.8m
145	Lixalis Cedar	Remove	30cm	1.8m
146	Lixalis Cedar	Remove	30cm	1.8m
147	Lixalis Cedar	Remove	30cm	1.8m
148	Lixalis Cedar	Remove	30cm	1.8m
149	Lixalis Cedar	Remove	30cm	1.8m
150	Lixalis Cedar	Remove	30cm	1.8m
151	Lixalis Cedar	Remove	30cm	1.8m
152	Lixalis Cedar	Remove	30cm	1.8m
153	Lixalis Cedar	Remove	30cm	1.8m
154	Lixalis Cedar	Remove	30cm	1.8m
155	Lixalis Cedar	Remove	30cm	1.8m
156	Lixalis Cedar	Remove	30cm	1.8m
157	Lixalis Cedar	Remove	30cm	1.8m
158	Lixalis Cedar	Remove	30cm	1.8m
159	Lixalis Cedar	Remove	30cm	1.8m
160	Lixalis Cedar	Remove	30cm	1.8m
161	Lixalis Cedar	Remove	30cm	1.8m
162	Lixalis Cedar	Remove	30cm	1.8m
163	Lixalis Cedar	Remove	30cm	1.8m
164	Lixalis Cedar	Remove	30cm	1.8m
165	Lixalis Cedar	Remove	30cm	1.8m
166	Lixalis Cedar	Remove	30cm	1.8m
167	Lixalis Cedar	Remove	30cm	1.8m
168	Lixalis Cedar	Remove	30cm	1.8m
169	Lixalis Cedar	Remove	30cm	1.8m
170	Lixalis Cedar	Remove	30cm	1.8m
171	Lixalis Cedar	Remove	30cm	1.8m
172	Lixalis Cedar	Remove	30cm	1.8m
173	Lixalis Cedar	Remove	30cm	1.8m
174	Lixalis Cedar	Remove	30cm	1.8m
175	Lixalis Cedar	Remove	30cm	1.8m
176	Lixalis Cedar	Remove	30cm	1.8m
177	Lixalis Cedar	Remove	30cm	1.8m
178	Lixalis Cedar	Remove	30cm	1.8m
179	Lixalis Cedar	Remove	30cm	1.8m
180	Lixalis Cedar	Remove	30cm	1.8m
181	Lixalis Cedar	Remove	30cm	1.8m
182	Lixalis Cedar	Remove	30cm	1.8m
183	Lixalis Cedar	Remove	30cm	1.8m
184	Lixalis Cedar	Remove	30cm	1.8m
185	Lixalis Cedar	Remove	30cm	1.8m
186	Lixalis Cedar	Remove	30cm	1.8m
187	Lixalis Cedar	Remove	30cm	1.8m
188	Lixalis Cedar	Remove	30cm	1.8m
189	Lixalis Cedar	Remove	30cm	1.8m
190	Lixalis Cedar	Remove	30cm	1.8m
191	Lixalis Cedar	Remove	30cm	1.8m
192	Lixalis Cedar	Remove	30cm	1.8m
193	Lixalis Cedar	Remove	30cm	1.8m
194	Lixalis Cedar	Remove	30cm	1.8m
195	Lixalis Cedar	Remove	30cm	1.8m
196	Lixalis Cedar	Remove	30cm	1.8m
197	Lixalis Cedar	Remove	30cm	1.8m
198	Lixalis Cedar	Remove	30cm	1.8m
199	Lixalis Cedar	Remove	30cm	1.8m
200	Lixalis Cedar	Remove	30cm	1.8m

## LEGEND



NOTES:

- SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
- REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
- ALL MEASUREMENTS ARE METRIC

Froggers Creek  
Tree Consultants Ltd

7763 McGregor Avenue Burnaby BC V5J 4H4  
Telephone: 604-721-6002 Fax: 604-437-0970

Greenside Development SURVEY, BC

TREE REMOVAL AND RETENTION PLAN  
THE DRAWING PLOTS ALL TREES, PROPOSED FOR RETENTION, REMOVAL, THEIR PROTECTION ZONES AND PROTECTION FENCING IN RELATION TO PROPOSED LAYOUT

March 4, 2020

# APPENDIX 3 TREE REMOVAL AND RETENTION PLAN NORTH

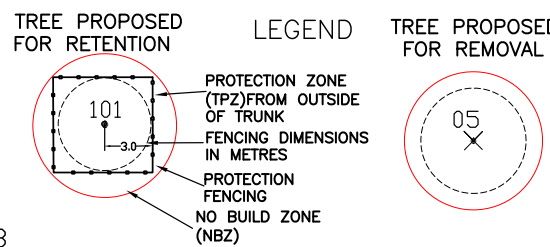
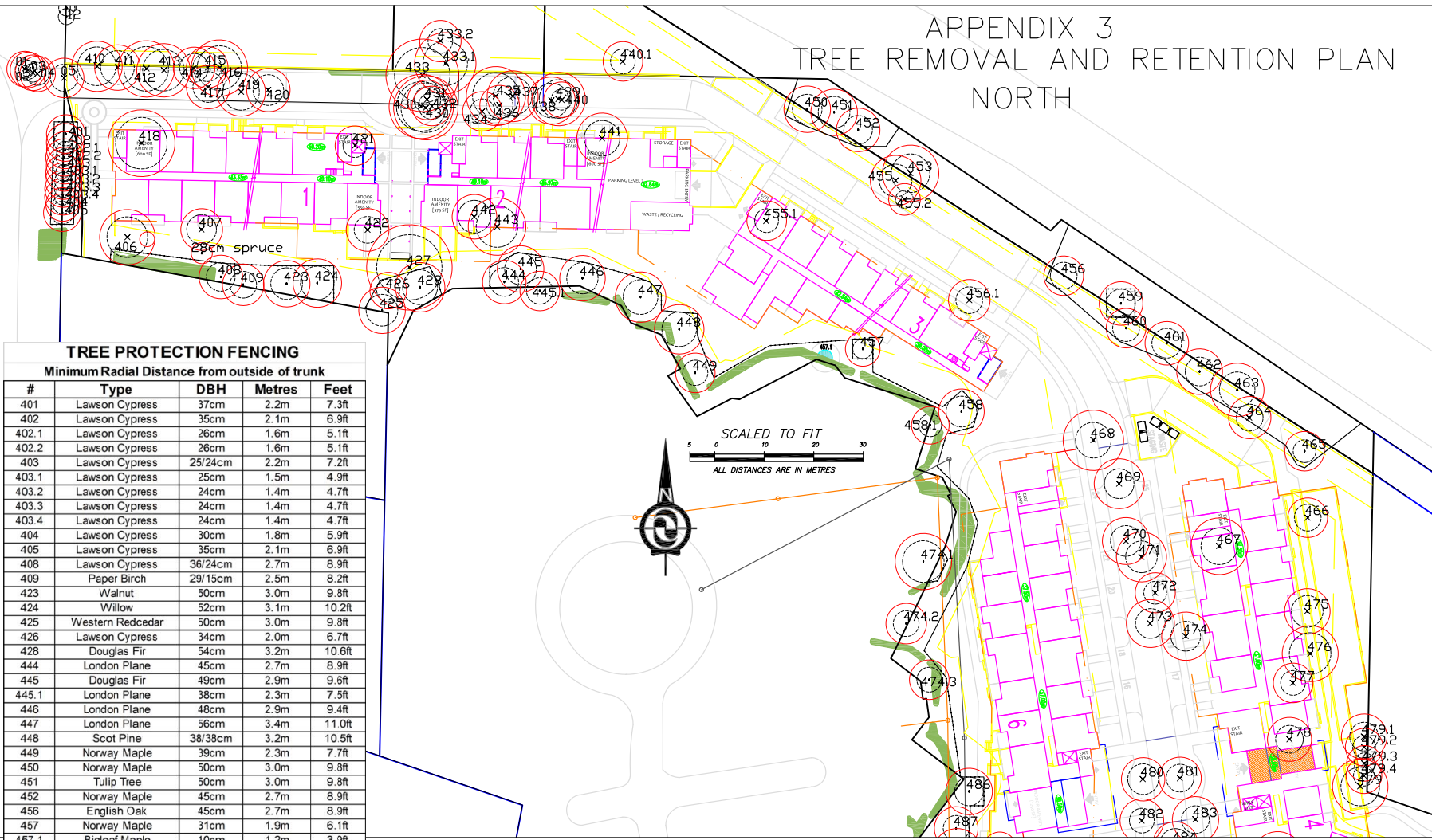
### TREE INVENTORY

#	Type	Action	DBH	TPZ
1	Excelsia Cedar	Remove	30cm	1.8m
2	Excelsia Cedar	Remove	30cm	1.8m
3	Excelsia Cedar	Remove	32cm	1.9m
4	Excelsia Cedar	Remove	35cm	2.1m
5	Lawson Cypress	Remove	30/30cm	2.5m
401	Lawson Cypress	Retain	37cm	2.2m
402	Lawson Cypress	Retain	35cm	2.1m
402	Lawson Cypress	Retain	26cm	1.6m
402	Lawson Cypress	Retain	26cm	1.6m
403	Lawson Cypress	Retain	25/24cm	2.2m
403	Lawson Cypress	Retain	25cm	1.5m
403	Lawson Cypress	Retain	24cm	1.4m
403	Lawson Cypress	Retain	24cm	1.4m
404	Lawson Cypress	Retain	30cm	1.8m
405	Lawson Cypress	Retain	35cm	2.1m
406	Doody Cedar	Remove	84cm	3.8m
407	Yarwood Cedar	Retain	37/36cm	2.4m
408	Lawson Cypress	Retain	36/24cm	2.7m
409	Paper Birch	Retain	29/15cm	2.5m
410	Douglas Fir	Remove	80cm	3.5m
411	Douglas Fir	Remove	52cm	3.1m
412	Douglas Fir	Remove	70cm	4.2m
413	Douglas Fir	Remove	65cm	3.9m
414	Douglas Fir	Remove	45cm	2.7m
415	Douglas Fir	Remove	45cm	2.7m
416	Douglas Fir	Remove	70cm	4.2m
417	Lawson Cypress	Remove	48cm	3.2m
418	Hicki Cypress	Remove	80cm	4.8m
419	Lawson Cypress	Remove	57cm	3.4m
420	Lawson Cypress	Remove	39/36cm	2.4m
421	Lawson Cypress	Remove	28/27cm	2.4m
422	Willow	Remove	45cm	2.7m
423	Walnut	Retain	50cm	3.0m
424	Willow	Retain	52cm	3.1m
425	Western Redcedar	Retain	50cm	3.0m
426	Lawson Cypress	Retain	34cm	2.0m
427	Douglas Fir	Remove	116cm	6.6m
428	Douglas Fir	Remove	84cm	3.2m
429	Red Alder	Remove	62cm	3.7m
430	Western Redcedar	Remove	60/60/50	5.0m
431	Bigleaf Alder	Remove	35/35cm	2.7m
432	Western Redcedar	Remove	45cm	2.7m
433	Western Redcedar	Remove	93cm	5.6m
433	Western Redcedar	Remove	75cm	4.5m
433	Western Redcedar	Remove	38cm	2.3m
434	Red Alder	Remove	42cm	2.5m
435	Western Redcedar	Remove	79cm	4.7m
436	Red Alder	Remove	45cm	2.7m
437	Western Redcedar	Remove	65cm	3.9m
438	Red Alder	Remove	59cm	3.5m
439	Red Alder	Remove	63cm	3.5m
440	Western Redcedar	Remove	35cm	2.1m
440	Western Redcedar	Remove	35/30cm	2.6m
441	Douglas Fir	Remove	65cm	3.9m
442	Red Alder	Remove	49cm	3.3m
443	Douglas Fir	Remove	72cm	4.3m
444	London Plane	Retain	45cm	2.7m
445	Douglas Fir	Retain	49cm	2.9m
445	London Plane	Retain	38cm	2.3m
446	London Plane	Retain	48cm	2.9m
447	London Plane	Retain	56cm	3.4m
448	Scot Pine	Retain	38/36cm	3.2m
449	Norway Maple	Retain	39cm	2.3m
450	Norway Maple	Retain	50cm	3.0m
451	Tulip Tree	Retain	50cm	3.0m
452	Norway Maple	Retain	45cm	2.7m
453	Pine Oak	Remove	65cm	3.9m
453	Threadleaf Cypress	Remove	56cm	3.2m
455	Excelsia Cedar	Remove	38/28/28	2.4m
455	Threadleaf Cypress	Remove	30cm	1.8m
456	English Oak	Retain	45cm	2.7m
456	Excelsia Cedar	Remove	45cm	2.7m
457	Norway Maple	Retain	31cm	1.9m
458	Scot Pine	Remove	48cm	2.9m
458	Cherry	Remove	35cm	2.1m
459	English Oak	Remove	44cm	2.6m
460	Pine Oak	Retain	45cm	2.7m
461	Pine Oak	Retain	50cm	3.0m
462	Pine Oak	Retain	48cm	2.9m
463	Pine Oak	Retain	60cm	3.6m
464	Scot Pine	Remove	45cm	2.7m
465	Threadleaf Cypress	Remove	39cm	2.7m
466	Norway Maple	Remove	50cm	3.0m
467	Pine Oak	Remove	61cm	3.7m
468	Douglas Fir	Remove	84cm	3.8m
469	Douglas Fir	Remove	63cm	3.5m
470	Scot Pine	Remove	52cm	3.1m
471	Scot Pine	Remove	53cm	3.2m
472	Norway Spauce	Remove	38cm	2.3m
473	Norway Spauce	Remove	40/40cm	3.0m
474	Scot Pine	Remove	50cm	3.0m
174	Red Maple	Retain	65cm	3.9m
174	Red Maple	Retain	40cm	2.4m
174	Scot Pine	Remove	38cm	2.3m
475	Red Oak	Remove	54cm	3.2m
476	White Poplar	Remove	70cm	4.2m
477	Scot Pine	Remove	41cm	2.5m
478	Scot Pine	Remove	46cm	2.8m
478	Red Oak	Remove	84cm	3.8m
479	Norway Spauce	Remove	48cm	2.9m
179	Norway Spauce	Remove	38cm	2.3m
179	Norway Spauce	Remove	35cm	2.1m
179	Norway Spauce	Remove	35cm	2.1m
480	Scot Pine	Remove	51cm	3.1m
481	Scot Pine	Remove	47cm	2.8m
482	Western Redcedar	Remove	42cm	2.5m
483	Excelsia Cedar	Remove	54cm	3.2m
484	Norway Maple	Remove	54cm	3.2m
485	Excelsia Cedar	Remove	56cm	3.4m
486	Norway Maple	Retain	49cm	2.9m

### TREE PROTECTION FENCING

Minimum Radial Distance from outside of trunk

#	Type	DBH	Metres	Feet
401	Lawson Cypress	37cm	2.2m	7.3ft
402	Lawson Cypress	35cm	2.1m	6.9ft
402.1	Lawson Cypress	26cm	1.6m	5.1ft
402.2	Lawson Cypress	26cm	1.6m	5.1ft
403	Lawson Cypress	25/24cm	2.2m	7.2ft
403.1	Lawson Cypress	25cm	1.5m	4.9ft
403.2	Lawson Cypress	24cm	1.4m	4.7ft
403.3	Lawson Cypress	24cm	1.4m	4.7ft
403.4	Lawson Cypress	24cm	1.4m	4.7ft
404	Lawson Cypress	30cm	1.8m	5.9ft
405	Lawson Cypress	35cm	2.1m	6.9ft
408	Lawson Cypress	36/24cm	2.7m	8.9ft
409	Paper Birch	29/15cm	2.5m	8.2ft
423	Walnut	50cm	3.0m	9.8ft
424	Willow	52cm	3.1m	10.2ft
425	Western Redcedar	50cm	3.0m	9.8ft
426	Lawson Cypress	34cm	2.0m	6.7ft
428	Douglas Fir	54cm	3.2m	10.6ft
444	London Plane	45cm	2.7m	8.9ft
445	Douglas Fir	49cm	2.9m	9.6ft
445.1	London Plane	38cm	2.3m	7.5ft
446	London Plane	48cm	2.9m	9.4ft
447	London Plane	56cm	3.4m	11.0ft
448	Scot Pine	38/36cm	3.2m	10.5ft
449	Norway Maple	39cm	2.3m	7.7ft
450	Norway Maple	50cm	3.0m	9.8ft
451	Tulip Tree	50cm	3.0m	9.8ft
452	Norway Maple	45cm	2.7m	8.9ft
456	English Oak	45cm	2.7m	8.9ft
457	Norway Maple	31cm	1.9m	6.1ft
457.1	Bigleaf Maple	10cm	1.2m	3.9ft
458	Scot Pine	48cm	2.9m	9.4ft
458.1	Cherry	35cm	2.1m	6.9ft
459	English Oak	44cm	2.6m	8.7ft
460	Pine Oak	45cm	2.7m	8.9ft
461	Pine Oak	50cm	3.0m	9.8ft
462	Pine Oak	48cm	2.9m	9.4ft
463	Pine Oak	60cm	3.6m	11.8ft
465	Threadleaf Cypress	39cm	2.3m	7.7ft
474.1	Red Maple	65cm	3.9m	12.8ft
474.2	Red Maple	40cm	2.4m	7.9ft
474.3	Norway Maple	38cm	2.3m	7.5ft
486	Norway Maple	49cm	2.9m	9.6ft

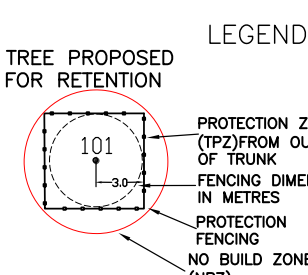
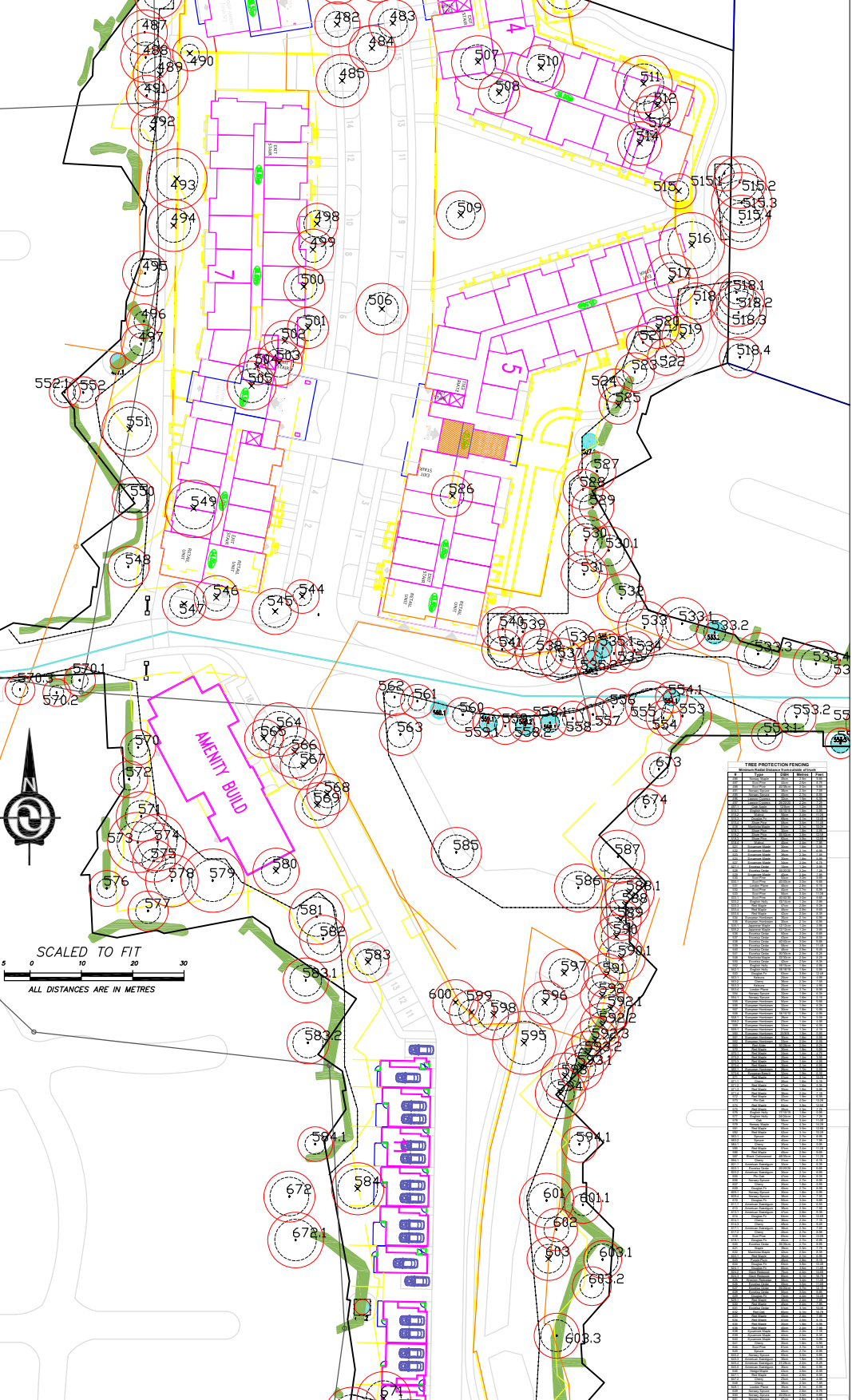


NOTES:  
1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING  
2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.  
3. ALL MEASUREMENTS ARE METRIC

Froggers Creek  
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TREE REMOVAL AND RETENTION PLAN  
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March 4, 2020



#	Type	Action	DBH	TPZ
482	Western Redcedar	Remove	42cm	2.5m
483	Excelsia Cedar	Remove	41cm	2.5m
484	Norway Maple	Remove	54cm	3.2m
485	Excelsia Cedar	Remove	56cm	3.4m
486	Norway Maple	Remove	59cm	3.5m
487	Scot Pine	Retain	44cm	2.6m
488	Scot Pine	Retain	40cm	2.5m
489	Scot Pine	Retain	30cm	1.8m
490	Norway Spruce	Remove	52cm	2.9m
491	Norway Spruce	Remove	52cm	2.9m
492	Scot Pine	Retain	66cm	4.1m
493	Scot Pine	Retain	66cm	4.1m
494	Norway Spruce	Retain	45cm	2.7m
495	Lawson Cypress	Remove	30cm	1.9m
496	Lawson Cypress	Remove	30cm	1.9m
497	European Hornbeam	Remove	44cm	2.6m
498	European Hornbeam	Remove	45cm	2.6m
499	European Hornbeam	Remove	46cm	2.6m
500	European Hornbeam	Remove	46cm	2.6m
501	Cherry	Remove	41cm	2.5m
502	Western Redcedar	Remove	45cm	2.7m
503	Western Redcedar	Remove	37cm	2.3m
504	Norway Maple	Remove	36cm	2.3m
505	Western Redcedar	Remove	43cm	2.6m
506	Excelsia Cedar	Remove	43cm	2.6m
507	Excelsia Cedar	Remove	44cm	2.6m
508	Lawson Cypress	Remove	40cm	2.5m
509	Lawson Cypress	Remove	40cm	2.5m
510	Norway Maple	Remove	46cm	2.8m
511	Excelsia Cedar	Remove	46cm	2.8m
512	Excelsia Cedar	Remove	50cm	3.0m
513	Excelsia Cedar	Remove	38cm	2.3m
514	Excelsia Cedar	Remove	49cm	2.9m
515	Mantoba Maple	Remove	34cm	2.0m
516	English Holly	Retain	19cm	1.1m
517	Walnut	Retain	66cm	3.4m
518	Douglas Fir	Retain	60cm	3.1m
519	Shore Pine	Retain	60cm	3.1m
520	Shore Pine	Remove	77cm	4.6m
521	Scot Pine	Retain	46cm	2.7m
522	Mantoba Maple	Retain	51cm	3.1m
523	Shore Pine	Retain	30cm	1.8m
524	Shore Pine	Retain	30cm	1.8m
525	Shore Pine	Retain	66cm	3.4m
526	Walnut	Remove	46cm	2.6m
527	Excelsia Cedar	Remove	46cm	2.6m
528	Excelsia Cedar	Remove	38cm	2.3m
529	Excelsia Cedar	Remove	38cm	2.3m
530	Sycamore Maple	Retain	30cm	1.9m
531	Sycamore Maple	Retain	30cm	1.9m
532	Sycamore Maple	Retain	30cm	1.9m
533	Excelsia Cedar	Remove	36cm	2.3m
534	Excelsia Cedar	Remove	36cm	2.3m
535	Excelsia Cedar	Remove	36cm	2.3m
536	Excelsia Cedar	Remove	36cm	2.3m
537	Excelsia Cedar	Remove	36cm	2.3m
538	Excelsia Cedar	Remove	36cm	2.3m
539	Excelsia Cedar	Remove	36cm	2.3m
540	Excelsia Cedar	Remove	36cm	2.3m
541	Excelsia Cedar	Remove	36cm	2.3m
542	Excelsia Cedar	Remove	36cm	2.3m
543	Excelsia Cedar	Remove	36cm	2.3m
544	Norway Maple	Remove	31cm	1.9m
545	Norway Maple	Remove	31cm	1.9m
546	Douglas Fir	Remove	45cm	2.7m
547	Douglas Fir	Remove	46cm	2.8m
548	Norway Maple	Remove	32cm	1.9m
549	Scot Pine	Retain	66cm	3.4m
550	Excelsia Cedar	Remove	42cm	2.6m
551	Norway Maple	Remove	30cm	1.9m
552	English Holly	Retain	19cm	1.1m
553	English Holly	Retain	19cm	1.1m
554	Red Alder	Remove	30cm	1.9m
555	Red Alder	Remove	30cm	1.9m
556	Red Alder	Remove	30cm	1.9m
557	Red Alder	Remove	30cm	1.9m
558	Red Alder	Remove	30cm	1.9m
559	Red Alder	Remove	30cm	1.9m
560	Red Alder	Remove	30cm	1.9m
561	Red Alder	Remove	30cm	1.9m
562	Red Alder	Remove	30cm	1.9m
563	Red Alder	Remove	30cm	1.9m
564	Red Alder	Remove	30cm	1.9m
565	Red Alder	Remove	30cm	1.9m
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695	Red Alder	Remove	30cm	1.9m
696	Red Alder	Remove	30cm	1.9m
697	Red Alder	Remove	30cm	1.9m
698	Red Alder	Remove	30cm	1.9m
699	Red Alder	Remove	30cm	1.9m
700	Red Alder	Remove	30cm	1.9m



**APPENDIX 3**  
**TREE REMOVAL AND RETENTION PLAN**  
**CENTRAL**

**NOTES:**

1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
3. ALL MEASUREMENTS ARE METRIC

Frogers Creek  
 Tree Consultants Ltd

7763 McGregor Avenue Burnaby BC V5J 4H4  
 Telephone: 604-721-6002 Fax: 604-437-0970

Greenside Development SURREY, BC

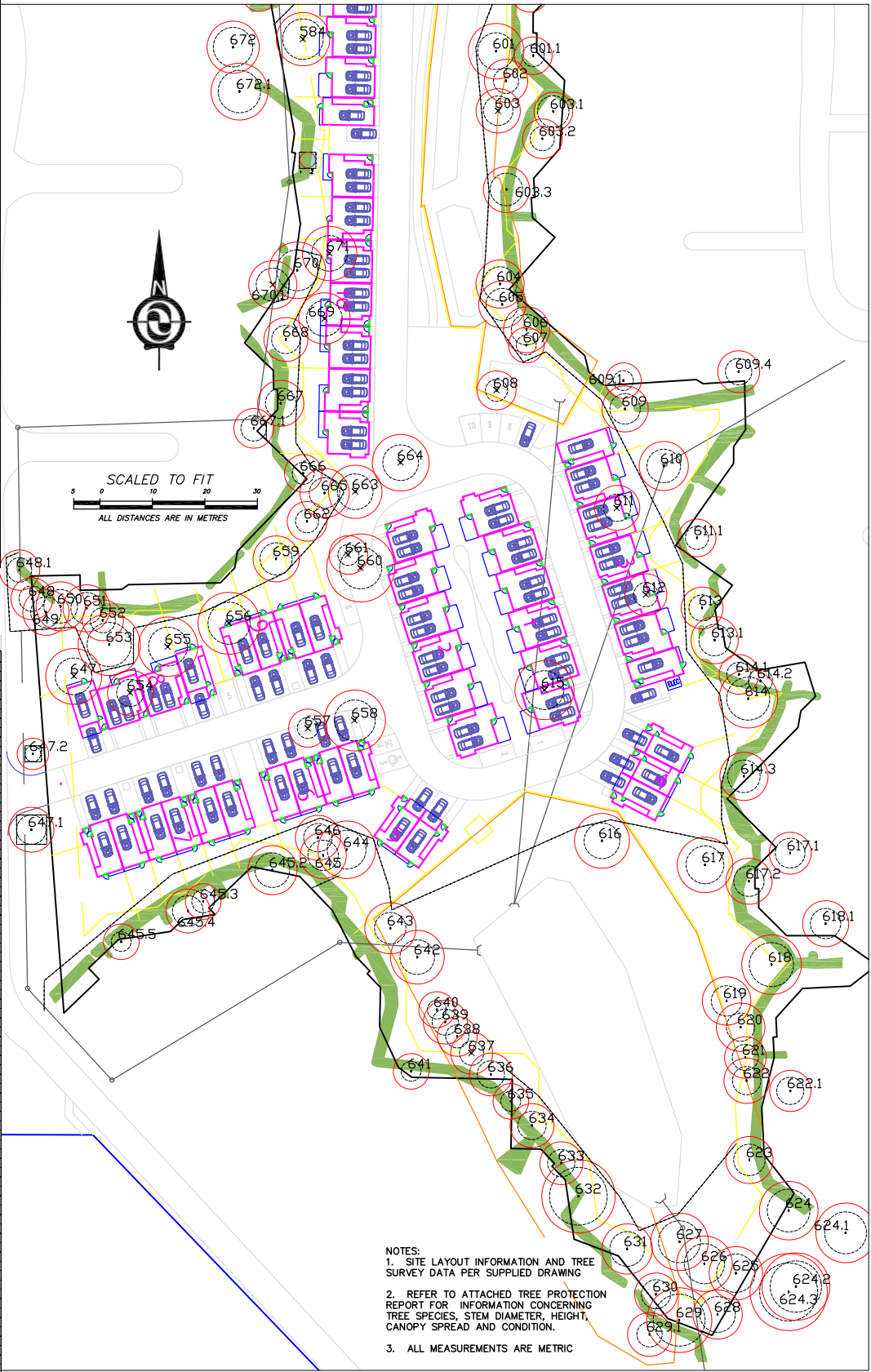
**TREE REMOVAL AND RETENTION PLAN**  
 THE DRAWING PLOTS ALL TREES, PROPOSED FOR RETENTION, REMOVAL, THEIR PROTECTION ZONES AND PROTECTION FENCING IN RELATION TO PROPOSED LAYOUT

March 4, 2020

# APPENDIX 3 TREE REMOVAL AND RETENTION PLAN SOUTH

TREE PROTECTION FENCING				
Minimum Radial Distance from outside of trunk				
#	Type	DBH	Metres	Feet
603.1	Excelsia Cedar	20/20/20	2.0m	6.6ft
603.2	American Sweetgum	30cm	3.1m	9.9ft
605	Pin Oak	47cm	2.8m	9.3ft
606	Norway Spruce	40cm	2.7m	8.9ft
607	Cherry	30cm	2.8m	9.3ft
609	Douglas Fir	35cm	2.7m	8.9ft
608	Norway Spruce	38cm	2.8m	9.3ft
609.4	Norway Spruce	38cm	2.3m	7.5ft
610	Douglas Fir	40cm	3.0m	9.8ft
611.1	American Sweetgum	30cm	3.1m	9.9ft
613	American Sweetgum	38cm	2.3m	7.5ft
613.1	American Sweetgum	40cm	2.8m	9.3ft
614	Douglas Fir	40cm	3.8m	12.6ft
614.1	Cherry	38cm	2.2m	7.1ft
617.1	American Sweetgum	38cm	2.3m	7.5ft
617.2	Cherry	25cm	2.7m	8.9ft
618	Scot Pine	40cm	3.0m	9.8ft
618.1	Douglas Fir	40cm	2.7m	8.9ft
620	Excelsia Cedar	35/35cm	2.7m	8.9ft
621	Maple	38cm	3.2m	10.5ft
622	Manitoba Maple	42cm	2.5m	8.3ft
622.1	Red Maple	30cm	2.1m	6.9ft
623	Purple Plum	40cm	3.8m	12.6ft
624	Douglas Fir	63cm	3.8m	12.6ft
624.1	Cherry	38cm	2.2m	7.1ft
624.2	Giant Redwood	75cm	4.9m	16.1ft
624.3	Giant Redwood	85cm	5.1m	16.7ft
626	Western Redcedar	49cm	3.4m	11.2ft
628	Excelsia Cedar	68cm	3.5m	11.6ft
627	Excelsia Cedar	55/20cm	3.7m	12.1ft
628	Excelsia Cedar	30cm	3.0m	9.8ft
629	Douglas Fir	73cm	4.4m	14.4ft
630	Red Maple	40cm	2.4m	7.9ft
631	Excelsia Cedar	51cm	3.1m	10.0ft
632	Red Oak	40cm	4.1m	13.6ft
633	Red Maple	40cm	2.4m	7.9ft
634	Red Maple	41cm	2.5m	8.1ft
635	Red Maple	40cm	1.8m	5.9ft
636	Red Maple	40cm	2.4m	7.9ft
638	Sycamore Maple	38cm	2.2m	7.1ft
639	Sycamore Maple	38cm	2.1m	6.9ft
640	Sycamore Maple	30cm	1.8m	5.9ft
641	Cherry	38cm	2.2m	7.1ft
644	Scot Pine	61cm	3.7m	12.0ft
645	Spruce	45cm	2.7m	8.9ft
645.2	Norway Spruce	40cm	3.0m	9.8ft
645.3	American Sweetgum	30cm	1.8m	5.9ft
645.4	American Sweetgum	31/28cm	2.3m	8.0ft
645.5	American Sweetgum	30cm	3.0m	9.8ft
646	Hedge Maple	43cm	2.6m	8.5ft
647	Red Maple	40cm	2.4m	7.9ft
647.2	Cherry	38cm	2.4m	7.9ft
648	Cherry	38cm	2.3m	7.5ft
648.1	London Plane	40cm	2.1m	6.9ft
649	Norway Spruce	44cm	2.6m	8.7ft
650	Norway Spruce	40/20cm	3.0m	9.8ft
651	Norway Spruce	51cm	4.1m	13.6ft
652	Norway Spruce	37cm	2.2m	7.3ft
653	Douglas Fir	70cm	4.2m	13.8ft
654	Red Maple	40cm	2.2m	7.1ft
656	Red Maple	38cm	2.8m	9.3ft
657	Cherry	40cm	2.7m	8.9ft
657.1	Red Maple	38cm	2.2m	7.1ft
658	Cherry	60cm	3.6m	11.8ft
670	Douglas Fir	31cm	3.1m	10.0ft
671.1	Douglas Fir	31cm	3.1m	10.0ft
671.2	Douglas Fir	31cm	3.1m	10.0ft
673	Apple	15/15cm	1.8m	5.9ft
674	Cherry	38cm	2.1m	6.9ft
676	Red Maple	38cm	2.1m	6.9ft
676.2	English Oak	7cm	1.0m	3.3ft

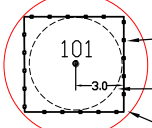
TREE INVENTORY				
#	Type	Action	DBH	TPZ
602	English Oak	Retain	40cm	2.4m
603	Pin Oak	Retain	47cm	2.8m
603.1	Excelsia Cedar	Retain	20/20/20	2.0m
603.2	American Sweetgum	Retain	35cm	2.1m
603.3	London Plane	Retain	45cm	2.7m
606	Pin Oak	Retain	47cm	2.8m
608	Norway Spruce	Retain	45cm	2.7m
608	Hedge Maple	Remove	35cm	2.1m
609	Douglas Fir	Retain	45cm	2.7m
609	Norway Spruce	Retain	30cm	1.8m
609.4	Norway Spruce	Retain	38cm	2.3m
610	Douglas Fir	Retain	50cm	3.0m
611	Douglas Fir	Remove	43cm	2.6m
611.1	American Sweetgum	Retain	30cm	2.0m
612	Douglas Fir	Remove	38cm	2.3m
613	American Sweetgum	Retain	38cm	2.3m
613.1	American Sweetgum	Retain	47cm	2.8m
614	Douglas Fir	Retain	40cm	3.8m
614.1	Cherry	Retain	38cm	2.2m
614.3	Cherry	Retain	48cm	2.9m
615	London Plane	Remove	61cm	3.7m
616	Scot Pine	Retain	57cm	3.4m
617	Excelsia Cedar	Retain	60cm	3.6m
617.1	American Sweetgum	Retain	38cm	2.3m
617.2	Cherry	Retain	40cm	2.7m
618	Scot Pine	Retain	65cm	3.9m
618.1	Douglas Fir	Retain	45cm	2.7m
619	London Plane	Remove	48cm	2.9m
620	Excelsia Cedar	Retain	35/35cm	2.7m
621	Maple	Retain	38cm	2.3m
622	Manitoba Maple	Retain	42cm	2.5m
622	Red Maple	Retain	35cm	2.1m
623	Purple Plum	Retain	46cm	2.8m
624	Douglas Fir	Retain	63cm	3.8m
624	Douglas Fir	Retain	60cm	3.9m
624.2	Giant Redwood	Retain	75cm	4.9m
624.3	Giant Redwood	Retain	85cm	5.1m
626	Western Redcedar	Retain	56cm	3.4m
628	Excelsia Cedar	Retain	68cm	3.5m
627	Excelsia Cedar	Retain	55/20cm	3.7m
628	Excelsia Cedar	Retain	50cm	3.0m
629	Douglas Fir	Retain	73cm	4.4m
629.1	Red Maple	Retain	40cm	2.4m
630	Red Maple	Retain	40cm	2.4m
631	Excelsia Cedar	Retain	51cm	3.1m
632	Red Oak	Retain	35cm	1.1m
633	Red Maple	Retain	40cm	2.4m
634	Red Maple	Retain	41cm	2.5m
635	Red Maple	Retain	30cm	1.0m
636	Red Maple	Retain	40cm	2.4m
637	Red Maple	Remove	38cm	2.3m
638	Sycamore Maple	Retain	38cm	2.2m
639	Sycamore Maple	Retain	42cm	2.5m
640	Sycamore Maple	Retain	30cm	1.8m
641	Cherry	Retain	30cm	1.8m
642	Douglas Fir	Retain	55cm	3.2m
643	Scot Pine	Retain	59cm	3.0m
644	Scot Pine	Retain	61cm	3.7m
645	Spruce	Retain	45cm	2.7m
645.2	Norway Spruce	Retain	40cm	3.0m
645.3	American Sweetgum	Retain	30cm	1.8m
645.4	American Sweetgum	Retain	31/28cm	2.5m
645.5	American Sweetgum	Retain	30cm	1.8m
646	Hedge Maple	Retain	43cm	2.6m
647	Douglas Fir	Retain	58cm	3.5m
647.1	Red Maple	Retain	43cm	2.6m
647.2	Cherry	Retain	25cm	1.4m
648	Cherry	Retain	38cm	2.3m
648.1	London Plane	Retain	35cm	2.1m
649	Norway Spruce	Retain	44cm	2.6m
650	Norway Spruce	Retain	40/20cm	2.6m
651	Norway Spruce	Retain	51cm	3.4m
652	Norway Spruce	Retain	37cm	2.2m
653	Douglas Fir	Retain	70cm	4.2m
654	Scot Pine	Remove	44cm	2.6m
656	Douglas Fir	Remove	62cm	3.7m
656	Red Oak	Remove	67cm	4.0m
657	Douglas Fir	Remove	34cm	1.1m
658	Douglas Fir	Remove	65cm	3.9m
659	Norway Spruce	Retain	45cm	2.7m
660	Red Oak	Remove	77cm	4.6m
661	Maple	Remove	34cm	2.0m
662	Norway Spruce	Remove	38cm	2.2m
663	Red Oak	Remove	56cm	3.4m
664	Scot Pine	Remove	38cm	3.4m
665	Red Maple	Retain	49cm	2.9m
666	Red Maple	Retain	32cm	1.9m
667	Cherry	Retain	45cm	2.7m
667.1	Red Maple	Retain	38cm	2.2m
668	Cherry	Retain	42cm	2.5m
669	Red Oak	Remove	57cm	3.4m
670	Douglas Fir	Remove	40cm	3.1m
670.1	Cherry	Remove	48cm	2.9m
671	Red Oak	Remove	57cm	3.4m
672	Douglas Fir	Retain	61cm	3.1m
672.1	Douglas Fir	Retain	60cm	3.6m
673	Apple	Retain	15/15cm	1.8m
674	Cherry	Retain	35cm	2.1m



- NOTES:
1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
  2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
  3. ALL MEASUREMENTS ARE METRIC

### LEGEND

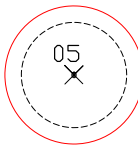
TREE PROPOSED FOR RETENTION



PROTECTION ZONE (TPZ)/FROM OUTSIDE OF TRUNK  
FENCING DIMENSIONS IN METRES

PROTECTION FENCING  
NO BUILD ZONE (NBZ)

TREE PROPOSED FOR REMOVAL



Froggers Creek  
Tree Consultants Ltd

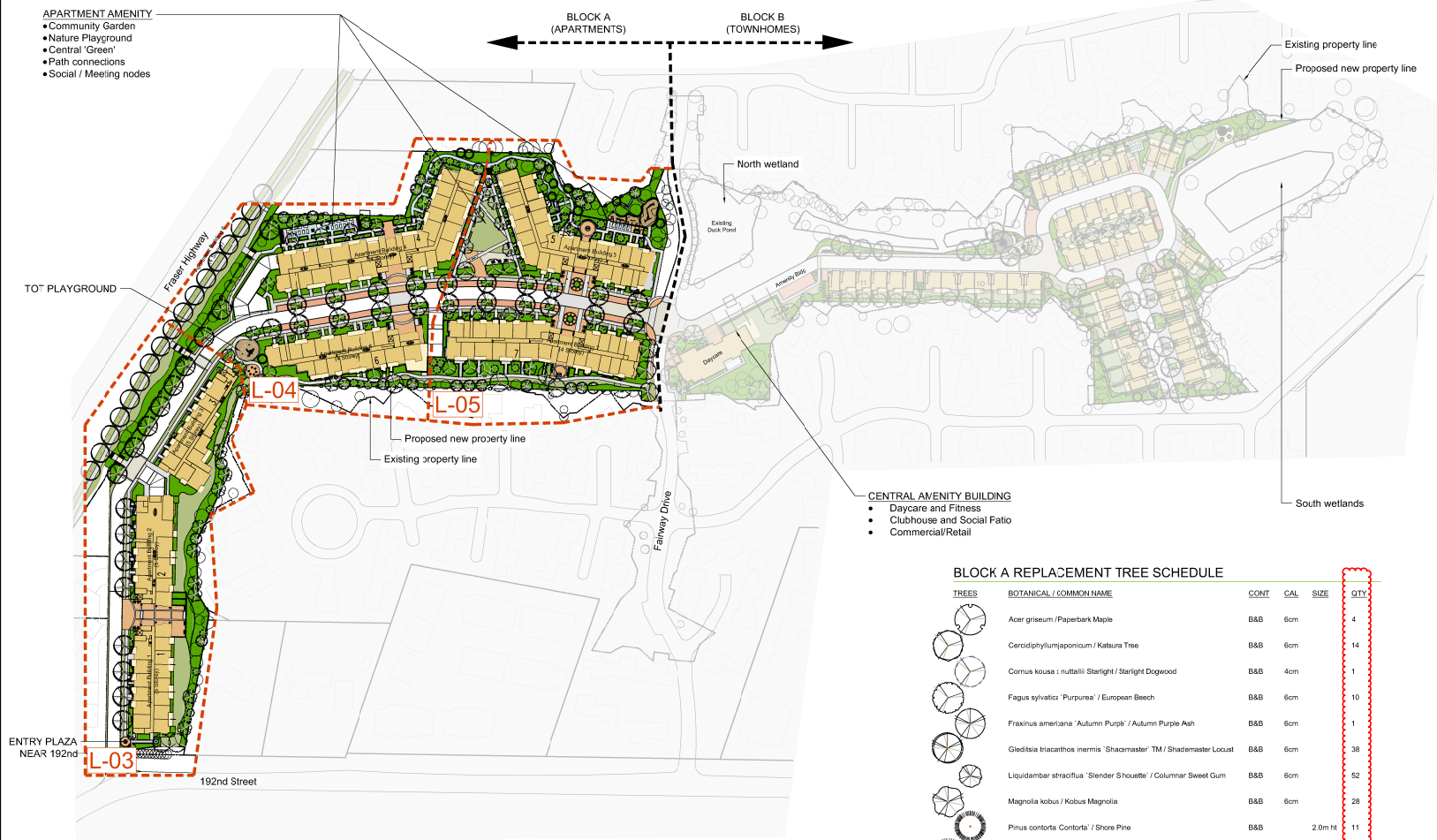
7763 McGregor Avenue Burnaby BC V5L 4H4  
Telephone: 604-721-6002 Fax: 604-437-0970

Greenside Development SURVEY, BC

TREE REMOVAL AND RETENTION PLAN  
THE DRAWING PLOTS ALL TREES, PROPOSED FOR RETENTION, REMOVAL, THEIR PROTECTION ZONES AND PROTECTION FENCING IN RELATION TO PROPOSED LAYOUT

March 4, 2020





ENTRY PLAZA  
NEAR 192nd

### BLOCK A REPLACEMENT TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	6cm		4
	Cercidiphyllum japonicum / Katsura Tree	B&B	6cm		14
	Cornus kousa : nuttallii Starlight / Starlight Dogwood	B&B	4cm		1
	Fagus sylvatica 'Purpurea' / European Beech	B&B	6cm		10
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	B&B	6cm		1
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	6cm		38
	Liquidambar styraciflua 'Slender Shouette' / Columbar Sweet Gum	B&B	6cm		52
	Magnolia kobus / Kobus Magnolia	B&B	6cm		28
	Pinus contorta Contorta / Shore Pine	B&B		2.0m ht	11
	Pinus omorika Serbian spruce	B&B		2.0m ht	28
	Quercus palustris / Pin Oak	B&B	6cm		3
	Thuja plicata 'Excelsa' / Western Red Cedar	B&B		3.0m ht	27

Total = 217

No.	By:	Description	Date
6	ET	Issued for general DP	July 2, 2020
5	AD	Issued for DP	June 19, 2020
4	AD	Submission to ADR	May 28, 2020
3	AD	Issued for Reasoning and DP	March 2, 2020
2	AD	Issued for Reasoning and DP	Sept 27, 2019
1	AD	Issued for Reasoning and DP	Sept 4, 2019

REVISIONS TABLE FOR DRAWINGS	
No.	By: Description Date
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REVISIONS TABLE FOR SHEET	
Project: GREENSIDE DEVELOPMENT BLOCK A (APARTMENTS)	
Location: 15310 Fraser Highway & 6312 - 152 Street, Surrey BC	
Drawn: AD DV	Stamp:
Checked: SH	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:1000	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND SHALL BE RETURNED BY THE CONSULTANT TO THE OWNER. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. CONSTRUCTION LINES LABELLED ISSUED FOR TRADE CONSTRUCTION.



Drawing Title: OVERALL PLAN  
 Drawing #: DP2019-43  
 Drawing #: L-02

Z:\PROJECTS\DEVELOPMENT\PROJECTS\DP2019-43 GREENSIDE DEVELOPMENT\TOWNSHOMES\SET - APARTMENTS\AS OVERALL PLAN.DWG

- APARTMENT AMENITY**
- Community Garden
  - Nature Playground
  - Central 'Green'
  - Faith connections
  - Social / Meeting nodes



- CENTRAL AMENITY BUILDING**
- Daycare and Fitness
  - Clubhouse and Social Patio
  - Commercial/Retail

**BLOCK B TREE REPLACEMENT SCHEDULE**

TREES	BOTANICAL /COMMON NAME	CONT	CAL	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	6cm		1
	Cercidiphyllum japonicum / Katsura Tree	B&B	6cm		21
	Fagus sylvatica 'Purpurea' / European Beech	B&B	6cm		15
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	B&B	6cm		1
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	6cm		22
	Liquidambar styraciflua 'Slender Shouette' / Columbar Sweet Gum	B&B	6cm		27
	Magnolia kobus / Kobus Magnolia	B&B	6cm		4
	Pinus contorta 'Contorta' / Shore Pine	B&B	2.0m		1
	Pinus omorika/ Serbian spruce	B&B	2.0m		3
	Quercus palustris / Pin Oak	B&B	6cm		3
	Thuja plicata 'Excelsa' / Western Red Cedar	B&B	3.0m		6

Total = 104

No.	By:	Description	Date
6	ET	Issued for general DP	July 2, 2020
5	AD	Issued for DP	June 19, 2020
4	AD	Submission to ADR	May 28, 2020
3	AD	Issued for Reasoning and DP	March 2, 2020
2	AD	Issued for Reasoning and DP	Sept 27, 2019
1	AD	Issued for Reasoning and DP	Sept 4, 2019

**REVISIONS TABLE FOR DRAWINGS**

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No.	By:	Description	Date

**Project:**  
 GREENSIDE DEVELOPMENT  
 BLOCK B (TOWNHOME)

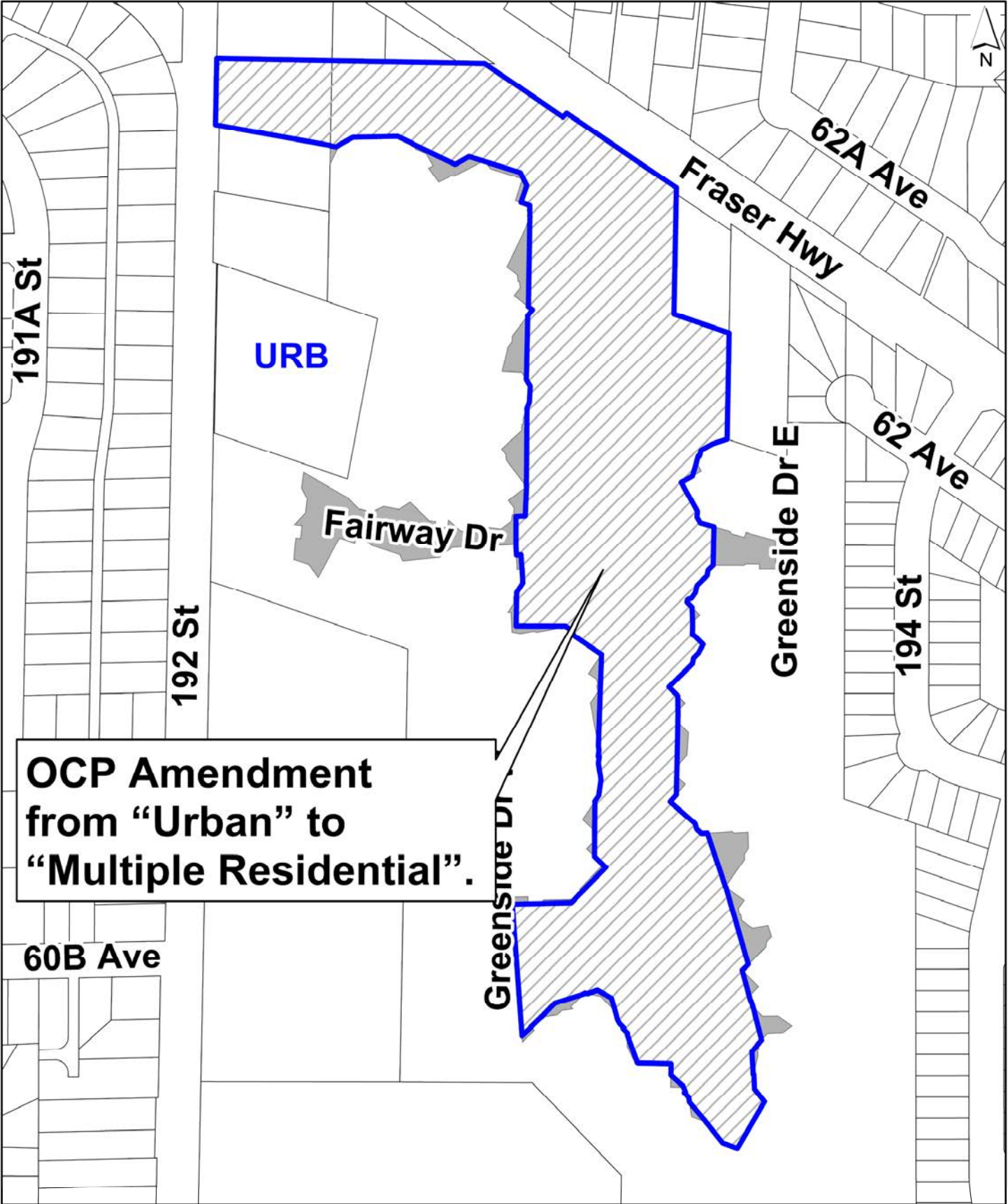
**Location:**  
 15310 Fraser Highway & 6312 - 152 Street, Surrey BC

<b>Drawn:</b> AD DV	<b>Stamp:</b> 
<b>Checked:</b> SH	
<b>Approved:</b> MVDZ	<b>Original Sheet Size:</b> 24"x36"
<b>Scale:</b> 1:1000	<small>CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR ARCHITECT. THE CONSULTANT OF THE WORK SHALL BE RESPONSIBLE FOR THE CONSTRUCTION LABELS ISSUED FOR TRADE/CONTRACTOR.</small>



Z:\PROJECTS\DEVELOPMENT\PERMIT\ACTIVITY\2019\4-1 GREENSIDE DEVELOPMENT\TOWNHOMES\BLOCK B\SET - TOWNHOMES\02-OVERALL PLAN.DWG

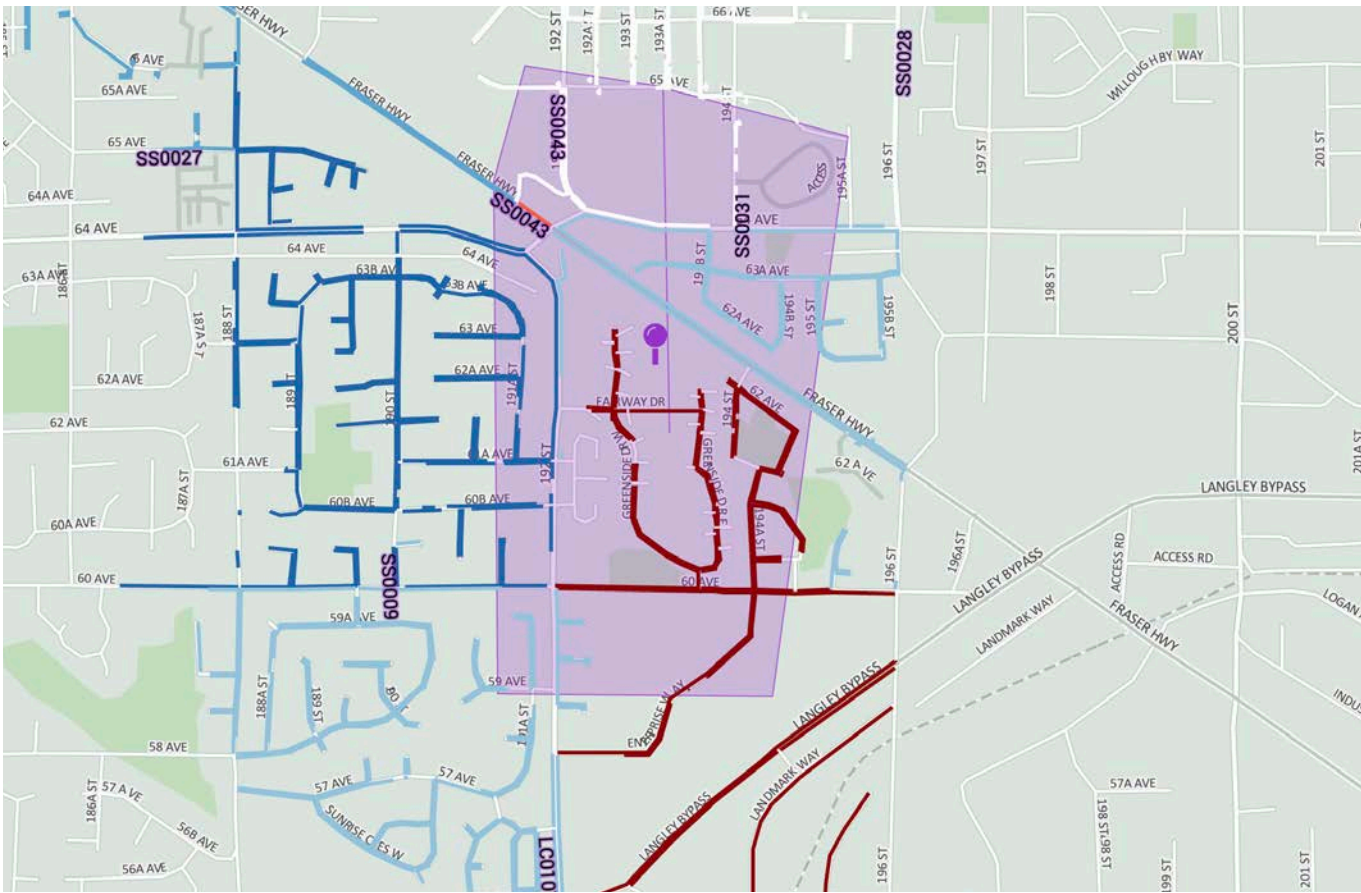
Drawing Title: **OVERALL PLAN**  
 Drawing #: **L-02**  
 Project #: **DP2019-43**  
 Orientation: **NORTH**



**OCP Amendment  
from "Urban" to  
"Multiple Residential".**



NOTIFICATION AREA





CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0393-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-054-958

Lot 205 Section 10 Township 8 New Westminster District Plan 53056  
19310 - Fraser Highway

Parcel Identifier: 002-020-904

Lot "A" Section 10 Township 8 New Westminister District Plan 13184  
6312 - 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section B(1) of Part 7A “Streamside Protection”, the minimum distance from top-of-bank to a Class B Ditch is reduced from 7.0 metres (23 ft.) to 2.0 metres (6.6 ft.).
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

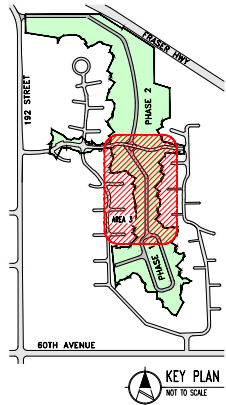
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Mayor – Doug McCallum

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City Clerk – Jennifer Ficocelli

# Schedule A



**KEY PLAN**  
NOT TO SCALE

### UNIT TYPES LEGEND

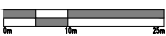
- UNIT TYPE "X" - TOTAL 30 UNITS  
2 BDRM (1408 - 1461 SF)
- UNIT TYPE "Y" - TOTAL 25 UNITS  
2 BDRM (1181 - 1214 SF)
- TOTAL = 55 UNITS (PHASE 1)

### LINE TYPE LEGEND

- PROPOSED NEW PROPERTY LINE
- EXISTING PROPERTY LINE
- GE WATER MARK
- SETBACK LINE
- WETLAND & DITCH SETBACK LINE
- GE SANITARY SEWER LINE
- GE STORM SEWER LINE
- WOOD FENCE

### HATCH LEGEND

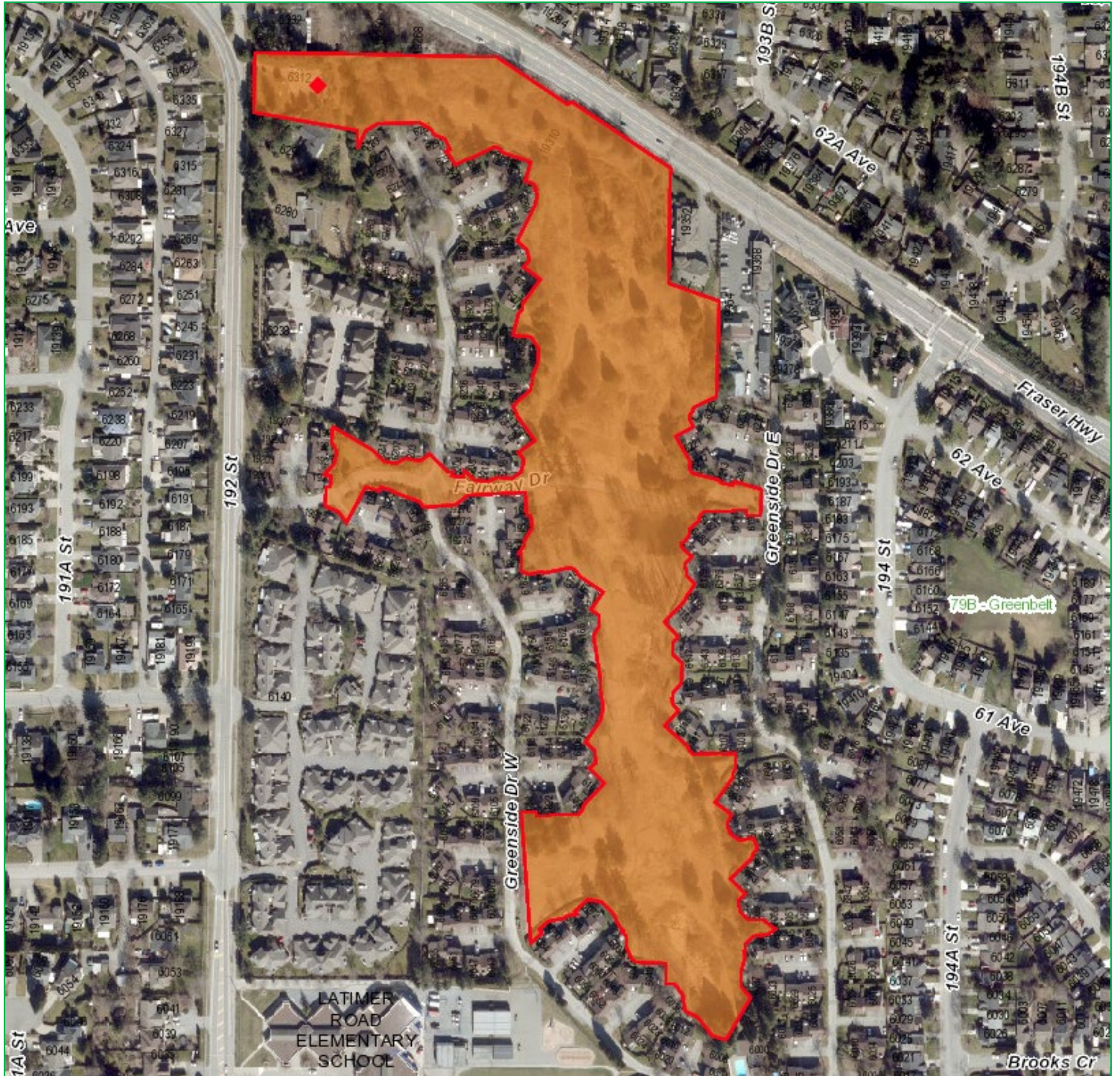
- GREENSIDE ESTATES LAND TRANSFER
- ROAD WIDENING & ACCESS LANE DEMARCATIONS
- EXISTING ROADS
- NEW ROADS
- EXISTING GREENSIDE ESTATES HEDGES
- EXISTING TREES TO REMAIN



Reduce Part 7A - Class B Setback to Ditch from 7m to 2 metres on west side of ditch.

**ENLARGED SITE PLAN - AREA 3**  
SCALE: 1" = 30'-0" (1:360)





**7915-0393-00**  
**Aerial View of Subject Site**



16 June 2020

City of Surrey  
Planning and Development Department  
Area Planning and Development – North Division  
13450 104<sup>th</sup> Ave. Surrey, B.C. Canada V3T 1V8

Attention Mr. Christopher Wilcott, MCIP, RPP, | PLANNER

Please accept this memo as our reply to the ADP comments noted below in black text; JMA reply will be written on this blue text directly below each ADP comment:

**2. Time: 4:40 p.m.**

File No.:	7915-0393-00
Address:	19310 Fraser Highway & 6312 – 192 Street
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Proposed OCP Amendment from "Urban" to "Multiple Residential", Rezoning from CPG and RF to CD (Based on RM-45), Form and Character Development Permit (Phase 1), General Development Permit (Phase 2), Development Permits for Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Streamside), and subdivision to facilitate the development of up to 650 residential units. Phase 1 (townhomes) will consist of 55 dwellings and Phase 2 (apartments) will consist of up to 595 dwellings.
Developer:	192 Street Development Ltd.
Architect:	JM Architecture Inc. (Joe Minten)
Landscape Architect:	VDZ+A (Mark van der Zalm)
Planner:	Christopher Wilcott
Urban Design Planner:	Sam Maleknia

The Urban Design Planner described the project context and policy and advised that staff have no specific issues. Staff would like to retain as many trees as possible.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was

Moved by M. Patterson  
Seconded by R. Dhall  
That the Advisory Design Panel (ADP):

1. SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department; and
2. Recommend that the landscaping submission return to staff for further development.

Carried

Key Points:

- Consider pushing the sustainability agenda including large site wide strategies.  
**JMA - a sustainability design brief will be developed during the detailed DP stage for all buildings and further site developments. Refinements to the architecture and landscape shall take into account sustainability issues such as those presented in the Surrey Sustainability Charter. Many of the eight concepts noted in the Charter are already embedded in the design; further analysis will be taken into account in the design brief to influence the overall design of the project.**
- Consider pulling the sidewalk away from the face of the building at triangle outdoor amenity for more privacy.  
**JMA - The sidewalk is pulled away from the building to permit increased landscaping between the unit and the public space thereby creating greater sense of privacy**
- Consider exploring increasing pathways around perimeter of site, particularly facing the southerly pond.  
**JMA - Additional public pathways have been provided at the south pond area in Phase one. To accomplish this the townhouse units have been moved slightly to permit public pathways to access the open areas around the conservation area.**
- Consider further developing opportunities for pedestrians to pause and enjoy the wetlands with seating.  
**JMA - The intersection of our internal roadway and Fairway Drive has been modified to bridge the road design from the north Phase 2 design into this portion of the Phase 1. The result is a larger landscape zone to the west of the road creating space for a stronger pedestrian plaza and overview of the wetlands area. Further south a larger open area has been created directly next to the wetlands area which provides space for public seating and social gathering - an immediate sense of place and connection to nature and the calming effects of wind, water, fragrances and natural habitat.**

- Outdoor spaces feel fragmented.

JMA - There is a diversity of public spaces in this community which seems fitting to the size and diversity of housing types provided; these spaces are most often connected by public paths which offer areas for social gathering, play and direct connection to the natural and man-made landscape zones which offer this neighbourhood its character, its ownership of place and its diversity

- Consider further development of amenity building and explore material use.

JMA - The amenity building is meant to be slightly more distinctive than the rest of the development and thereby creates its own unique sense of place. A public building for social gatherings, meetings, arts and wellness its location at a nodal point within the larger community affords it the right to stand independent and strong. This is a building that the community should see as a hub, a welcoming place.

The materials and colour palette are chosen to reflect inclusion, joy and a brightness to welcome its visitors. The metal accent panels at the entry are a nod to the child care center within and to mark the principal entry to the building.

The daycare is included in this building because this use and the associated other uses such as social spaces and wellness spaces combine to strengthen a focus on family and community unity.

- Consider further articulation of Buildings 1, 2 and 3 in later design development stage.

JMA - the north portion of the site is in general DP stage and further design articulation of all seven buildings will focus on achieving as much as possible the comments and intent provided to us by the ADP members

- Consider further development of the indoor/outdoor amenity relationship.

JMA - The detailed development of Phase two will consider further opportunities to create a stronger relationship for indoor/outdoor places

- Consider creating a more harmonious building expression between buildings on north and south side of the site while maintaining uniqueness.

JMA - The overall size of this development site; the natural terrain and configuration of the developable area affords the project the opportunity to seek distinction between housing types.

Phase One has a physical closeness to the neighbouring Greenside Estates and it is an important consideration to remain more traditional in the architectural language.

Phase two has both size and configuration to permit two areas of interest : the Fraser Highway link affords a more urban contemporary architectural form whereas the south portion of Phase two again has a more direct link to the neighbouring residential housing and therefore the architectural materiality is more traditional in character.

- Consider incorporating a turnaround at the amenity/daycare building.

JMA - the intersection of our internal road and Fairway Drive has been modified to create a stronger pedestrian and public zone. Less pavement in this area also acts as a calming feature to vehicular uses to the more family oriented Phase One townhomes.

Site

- Consider opportunity to create more engagement with riparian zones.

**JMA - As noted above pedestrian paths have been redesigned in areas to create stronger places of connection to the wetlands interface**

- The triangular open amenity is supported.
- Consider bicycle drop off for daycare.

**JMA - Bicycle parking spaces are provided next to the Childcare center.**

- Consider site and general landscape lighting and integrate covered and non covered spaces.

**JMA - Refer to revision in the landscape package which address this item; Lighting for wayfinding, security (CPTED issues), and natural experience are considered throughout the project.**

- Recommend further study at access points at Fairway Drive.
- Recommend extending the sidewalk character at Phase 2 into Phase 1 (townhome site to the south).

**JMA - Modification to the intersection have permitted a stronger connection from Phase Two into Phase One.**

- Consider further development of the accessibility to Fraser Hwy. Reduce ramp slopes.

**JMA - Further consideration of this area will be provided in the detailed DP stage with an attempt to lessen the sidewalk slope and to create an enhanced pedestrian link to Fraser Highway with greater emphasis on accessibility to all users.**

**VDZ: Slope of the access walkway from the development to Fraser Highway has been reduced to 5%.**

## Form and Character

- Landscape concept and the site location with environmental features are strong, consider an architecture informed by the landscape.

**JMA - Further consideration of all architectural features to Phase Two buildings will be considered in the detailed DP stage. It is understood a stronger connection between landscape and architecture is desirable.**

- Consider further articulation on facades with more detailed elevations.

**JMA - This is similar to the comment above**

- Consider two elevators per building or conducting an elevator study.

**JMA - Yes this is possible**

- Consider contemporary or modern townhome architecture.



**JMA - this item is addressed above - the townhome design shall remain as illustrated with only minor articulation changes as needed**

- Consider environmentally sustainability study into the development.

**JMA - Yes, we are considering the introduction of a sustainability program such as Green Globes and will consider**

- Consider terraced roofs, a more horizontal emphasis and material integration with other phases as part of architectural expression of apartments to be more in line with the landscape concept.

**JMA - refer to item one above**

- Recommend pick up and drop off for daycare.

**JMA - vehicle spaces for drop-off and pick-up are provided near the childcare facility just south of the principal entry.**

- Consider indoor amenity for each building.

**JMA - Further consideration of indoor/outdoor spaces shall be focused at the detailed DP stage for Phase Two. Some changes have already been introduced between buildings 3 and 6 which aim to link indoor spaces to outdoor spaces.**

## Landscape

- Consider further development of the triangle outdoor amenity.  
VDZ: The walkways have been adjusted in this amenity area. The intent of this area is to provide passive open lawn which is not found elsewhere in the site amenity spaces. Further development with program elements will be considered when this phase is ready for Form and Character application.
- Consider providing a management plan that indicates how the landscape natural areas are meant to mature and maintain such that these areas continue to be a visual as well as habitat amenity.  
VDZ: maintenance of the soft landscape has been considered while selecting plants for this project. A management plan will be explored in conjunction with the environmental consultant to provide a maintenance strategy for the future strata and residents.
- Consider additional seating nodes to provide opportunities for interaction with the natural areas and ponds, for instance on the south side of the townhouse cul-de-sac.

**JMA - The intersection of our internal roadway and Fairway Drive has been modified to bridge the road design from the north Phase 2 design into this portion of the Phase 1. The result is a larger landscape zone to the west of the road creating space for a stronger pedestrian plaza and overview**

of the wetlands area. Further south a larger open area has been created directly next to the wetlands area which provides space for public seating and social gathering - an immediate sense of place and connection to nature and the calming effects of wind, water, fragrances and natural habitat.

**VDZ:** After consulting with Keystone environmental, we understand that the pond setbacks are strictly enforced. We would welcome discussions with the City environmental planner to explore an appropriate way to define the Environmental edges with minimal walkways and/or viewpoints. The environmental areas are a valuable amenity and the project team is committed to provide a strong connection between the natural areas and livable/walkable space throughout this development.

- Study the walkways with fence relationships.

**VDZ:** A fencing plan is provided with the submission

## CPTED

- No specific issues were identified.

## Sustainability

- Recommend a sustainability agenda to take advantage of this large site opportunity.

**JMA - a sustainability design brief will be developed during the detailed DP stage for all buildings and further site developments. Refinements to the architecture and landscape shall take into account sustainability issues. Also refer to item at start of these comments.**

- Consider energy modeling.

**JMA - a mechanical consultant will be brought into the team during the detailed DP stage to ensure appropriate levels of energy uses are properly analyzed and influence the architecture of these seven buildings.**

## Accessibility

- Consider a gender-neutral washroom at amenity building.

**JMA - a gender neutral washroom has been added to the amenity building**

- Consider reducing the 8% ramp slope for easier access to/from Fraser Highway.

**JMA - Further consideration of this area will be provided in the detailed DP stage with an attempt to lessen the sidewalk slope and to create an enhanced pedestrian link to Fraser Highway with greater emphasis on accessibility to all users.**

## **JM Architecture Inc.**

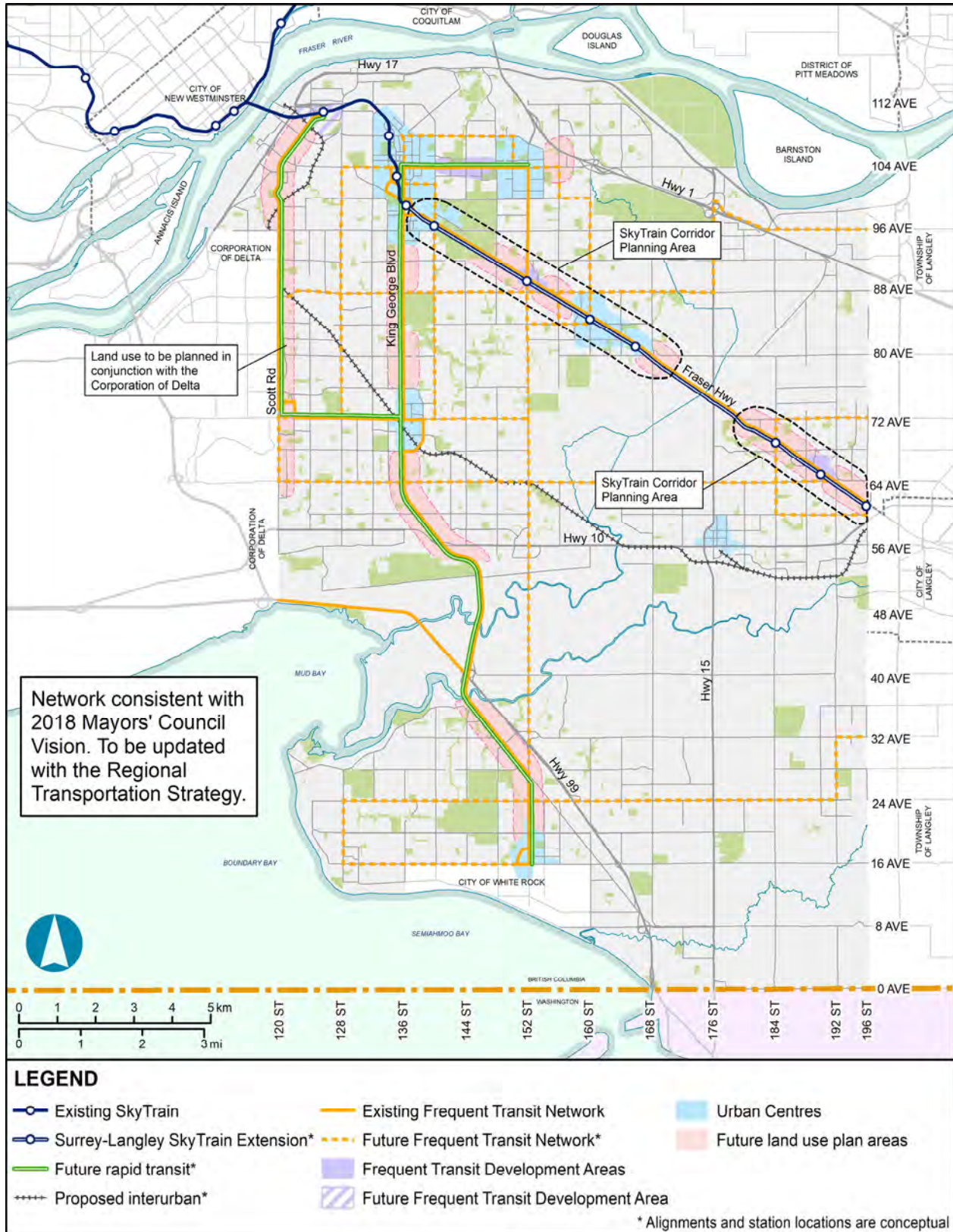
Registered in BC - AB  
Joe M. Minten - principal  
Architect AIBC | AAA | MRAIC

End of document

Joe Minten Architect AIBC | AAA | MRAIC  
principal  
JM ARCHITECTURE INC.

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Surrey, B.C. V3R 8P8  
604 583-2003 -T  
joe@jmarchitecture.ca- E  
[www.jmarchitecture.ca](http://www.jmarchitecture.ca)

## Figure 22: Frequent Transit Corridors



BL 19519  
BL 19801