



## INTER-OFFICE MEMO

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**TO:** City Clerk, Corporate Services

**FROM:** Director, Area Planning & Development – South Surrey Division,  
Planning & Development Department

**DATE:** January 8, 2024                      **FILE:** 7916-0225-00

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**RE:** Rezoning Application No. 7916-0225-00  
16172 – 24 Avenue

The Planning Report for Development Application No. 7916-0225-00 was brought forward for consideration by Council at the October 16, 2023 Regular Council - Land Use meeting. Council subsequently referred Development Application No. 7916-0225-00 “back to staff to work with the developer to review density, impact from traffic and amenities in the area.” (RES.R23-1967)

The proposal is a mixture of three 4-5 storey apartment buildings and 74 townhouse units. The proposed overall density complies with the Official Community Plan’s Multiple Residential designation which allows 1.50 floor area ratio (FAR). The site is located along a major arterial road and transit route (24 Avenue) and is adjacent to the commercial amenities of Grandview Corners. The applicant has advised staff that they are not proposing to change the density or building form from what was proposed in the October 16, 2023 Planning Report, and are seeking Council’s reconsideration of their proposal.

In addition to the extensive commercial amenities within easy walking distance in the Grandview Corners area, there are two recently opened City parks near the subject site, at Oak Meadows Park which is 100 metres from the subject site, and at Edgewood Park, which is 600 metres from the subject site. The Grandview Heights Aquatic Centre, with a large pool and a fitness facility, is also nearby on 24 Avenue. A new elementary school, Ta’talu, which is nearby on 20 Avenue and 165A Street, is projected to open in September 2024. Grandview Heights High School near the Grandview Aquatic Centre, opened in approximately 2021.

The subject proposal is anticipated to generate approximately four to five vehicles per minute in the peak hour. As part of the Sunnyside Heights NCP, an area-wide transportation impact assessment (“TIA”) was conducted to assess cumulative traffic impacts of redevelopment of the NCP area and to inform the required transportation infrastructure improvements. As a result, a site-specific TIA was not required as part of the subject application and this remains the case.

The applicant has requested that their proposal be reconsidered by Council without any changes being proposed. Given the information noted in this memo regarding local amenities and given that the proposal is consistent with the overall maximum density permitted under the Official

Community Plan, Council may wish to reconsider this application, including the recommendation in the Planning Report dated October 16, 2023.

Conversely, should Council not be supportive of the subject proposal, Council may wish to give further direction to staff for how the subject proposal should be considered.

A handwritten signature in black ink, appearing to read 'Shawn Low', written in a cursive style.

Shawn Low  
Director, Area Planning & Development – South Surrey Division  
Planning & Development Department

c.c. - City Manager  
- General Manager, Planning & Development

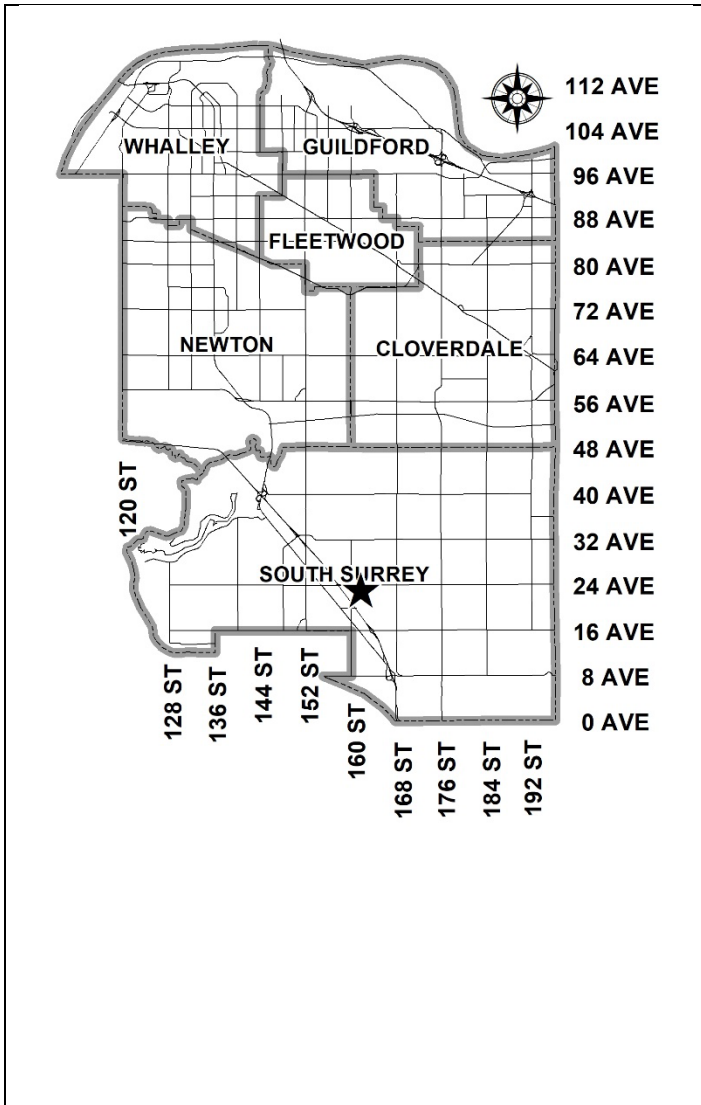
Attachment - Planning Report dated October 16, 2023



City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7916-0225-00

Planning Report Date: October 16, 2023



**PROPOSAL:**

- **OCP Amendment** to allow an FAR of 1.97 on the north parcel and 1.86 on the central parcel within the Multiple Residential land use designation.
- **NCP Amendment** to introduce two new land use designations: "Mixed Use Residential 4-6 Storeys" and "Multiple Residential 4-6 Storeys".
- **NCP Amendment** for the north portion of the site from "Multiple Residential 30-45 upa" to "Mixed Use Residential 4-6 Storeys", and for the central portion of the site from "Multiple Residential 30-45 upa" to "Multiple Residential 4-6 Storeys", and to modify the local road network.
- **Rezoning** from RA to CD
- **Development Permit**

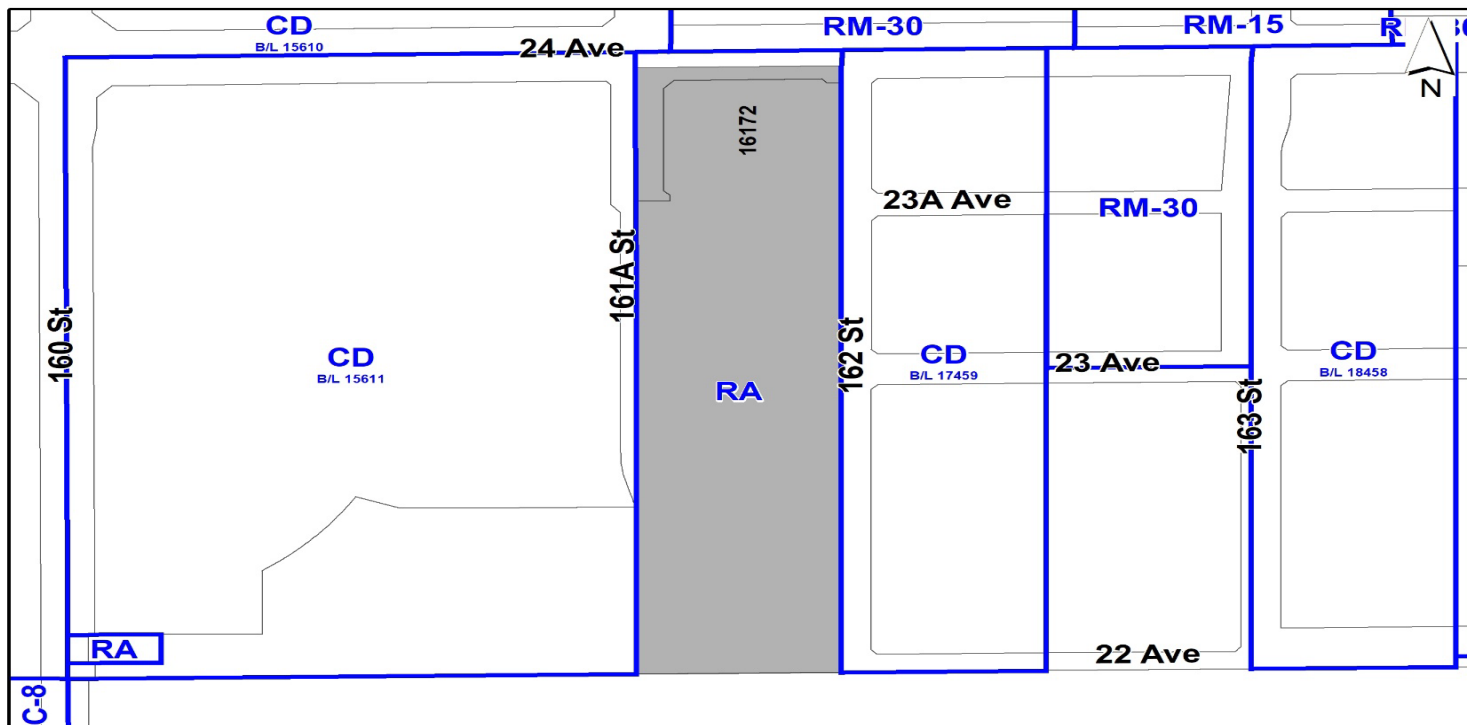
to permit the development of a mixed-use building, two apartment buildings and 74 townhouse units.

**LOCATION:** 16172 - 24 Avenue

**ZONING:** RA

**OCP DESIGNATION:** Multiple Residential

**NCP DESIGNATION:** Multiple Residential 30-45 upa



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to draft Development Permit for Form and Character and Sensitive Ecosystems.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the Official Community Plan (OCP) to allow an FAR of 1.97 for the proposed north lot and an FAR of 1.86 for the proposed central lot within the Multiple Residential land use designation.
- The applicant is proposing an Neighbourhood Concept Plan (NCP) amendment to introduce two new land use designations: “Mixed Use Residential 4-6 Storeys” and “Multiple Residential 4-6 Storeys”, and to amend the north portion of the site from “Multiple Residential 30-45 upa” to “Mixed Use Residential 4-6 Storeys”, and for the central portion of the site from “Multiple Residential 30-45 upa” to “Multiple Residential 4-6 Storeys”, and to modify the local road network.

## RATIONALE OF RECOMMENDATION

- The overall FAR for the entire site is 1.50, which is in keeping with the site’s Multiple Residential designation within the OCP. The applicant’s proposal shifts the density around on the site, with the proposal seeing a higher density on the northern two lots and a lower density on the south lot. The site’s current designation within the Sunnyside Heights Neighbourhood Concept Plan (NCP) allows both apartment and townhouse form, and the applicant’s proposal includes denser apartment forms on the northern portion of the site, and less dense townhouse forms on the southern portion of the site.
- The proposed Official Community Plan (OCP) amendment reflects the site’s location on an arterial road served by transit (24 Avenue), and the site’s adjacency to the commercial amenities available at Grandview Corners.
- Over the past 13 years since the Sunnyside Heights NCP was approved, the development trend and market affordability has moved away from a lower unit density / larger unit size apartment housing product toward a denser and smaller unit type of multi-family development. The proposed three 4-5 storey multiple residential buildings are consistent with the intent of the NCP designation, but an amendment is required to permit a higher unit density than 45 units per acre. The proposed new designations, “Mixed Use Residential 4-6 Storeys” and “Multiple Residential 4-6 Storeys” are more appropriate than increasing the permitted unit density under the current designation as it allows more flexibility in achieving the desired housing form of a low-rise apartment building.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas).
- The proposed signage has been comprehensively designed to be integrated with the design of the building and provides a comprehensive look for the development.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

**RECOMMENDATION**

The Planning & Development Department recommends that:

1. A Bylaw be introduced to amend the OCP, "Table 7a: Land Use Designation Exceptions" to allow an FAR of 1.97 for the proposed north lot and an FAR of 1.86 for the proposed central lot within the Multiple Residential land use designation and a date for Public Hearing be set.

"Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
Bylaw #	Multiple Residential	16172 - 24 Avenue 002-633-795  Lot 3 Section 13 Township 1 New Westminster District Plan 5524 Except Part in Plan EPP80031	Density permitted up to 1.97 FAR (net calculation) for the North Lot and density permitted up to 1.86 FAR (net calculation) for the Central Lot.

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone a portion of the subject site as shown as Block A on the attached Survey Plan (Appendix I) from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. A By-law be introduced to rezone a portion of the subject site as shown as Block B on the attached Survey Plan (Appendix I) from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
5. A By-law be introduced to rezone a portion of the subject site as shown as Blocks C and D on the attached Survey Plan (Appendix I) from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
6. Council authorize staff to draft Development Permit No. 7916-0225-00, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan.
7. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;



- (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) Approval from the Ministry of Transportation & Infrastructure;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (g) conveyance of riparian areas and Green Infrastructure Network areas to the City;
  - (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
  - (i) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the CD Zone for the proposed south lot, at the rate in effect at the time of Final Adoption;
  - (j) submission of an acoustical report for the units adjacent to 24 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
  - (k) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.
8. Council pass a resolution to amend the Sunnyside Heights Neighbourhood Concept Plan (NCP) to introduce two new land use designations: "Mixed Use Residential 4-6 Storeys" and "Multiple Residential 4-6 Storeys", and to amend the north portion of the site from "Multiple Residential 30-45 upa" to "Mixed Use Residential 4-6 Storeys", and for the central portion of the site from "Multiple Residential 30-45 upa" to "Multiple Residential 4-6 Storeys", and to modify the local road network, when the project is considered for final adoption.

**SITE CONTEXT & BACKGROUND**

<b>Direction</b>	<b>Existing Use</b>	<b>NCP/LAP Designation</b>	<b>Existing Zone</b>
Subject Site	Vacant	Multiple Residential 30-45 upa	RA
North (Across 24 Avenue):	Townhouse complex	20-30 upa Medium-High Density	RM-30
East (Across 162 Street):	Townhouse complex	Multiple Residential 30-45 upa and Multiple Residential 15-25 upa	CD By-law No. 17459
South:	Agricultural parcel	Multiple Residential 30-45 upa	RA
West:	Commercial retail complex and a detention pond	Buffers and Commercial	CD By-law No. 15611

**Context & Background**

- The subject site is located at 16172 – 24 Avenue and is 3.8 hectares (9.5 acres) in area. The parcel was the site of a tree nursery for many years and is now vacant. The parcel is zoned "One-Acre Residential Zone (RA)" and is designated "Multiple Residential" in the Official Community Plan (OCP) and "Multiple Residential 30-45 upa" in the Sunnyside Heights NCP.
- The site has an approximately 10 metre slope from the north (24 Avenue) sloping down to the south. There is a Class B watercourse along the southwest property line.
- The subject development site is bordered to the east by a townhouse development and to the south by an agricultural parcel. To the east is the Grandview Heights Superstore and associated commercial retail and also a City-owned detention pond.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing:
  - an OCP Amendment to allow an FAR of 1.97 and 1.86 on two parcels respectively, within the Multiple Residential land use designation;
  - an NCP Amendment to introduce two new land use designations: “Mixed Use Residential 4-6 Storeys” and “Multiple Residential 4-6 Storeys”, and to amend the north portion of the site from "Multiple Residential 30-45 upa" to "Mixed Use Residential 4-6 Storeys", and for the central portion of the site from "Multiple Residential 30-45 upa" to "Multiple Residential 4-6 Storeys", and to modify the local road network;
  - A rezoning from "One-Acre Residential Zone (RA)" to create three "Comprehensive Development Zones (CD)", one for each of the proposed three parcels;
  - A Form and Character Development Permit to allow the development of a mixed use building, two apartment buildings and 74 townhouse units; and
  - A Sensitive Ecosystem Development Permit for the riparian and Green Infrastructure Network (GIN) areas on the south portion of the site.
- The applicant is also proposing a subdivision to create the 3 development parcels and provide riparian and Green Infrastructure Network (GIN) dedication on the south portion of the site.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	38,452 square metres
Road Dedication:	7,621 square metres
Riparian and GIN dedication:	979 square metres
Net Site Area:	29,852 square metres
<b>Number of Lots:</b>	3 development lots, 1 City-owned riparian/GIN lot
<b>Building Height:</b>	18.0 metres
<b>Unit Density (net):</b>	147 units per hectare (59 units per acre)
<b>Floor Area Ratio (FAR) (net):</b>	1.50
<b>Floor Area</b>	
Residential:	42,329 square metres
Commercial:	2,518 square metres
Total:	44,847 square metres
<b>Residential Units:</b>	
Studio:	4
1-Bedroom:	189
2-Bedroom:	145
3-Bedroom:	93
Total:	431

## Referrals

**Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

**School District:** **The School District has advised that there will be approximately 80 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

37 Elementary students at Edgewood Elementary School  
29 Secondary students at Grandview Heights Secondary School

(Appendix III)

**Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.**

The applicant has advised that the first dwelling units in this project are expected to be constructed and ready for occupancy by Summer 2025.

**Parks, Recreation & Culture:** Oak Meadows Park is the closest active park with amenities including, a playground, walking trails, and natural area. The park is 225 metres walking distance from the development. Parks accepts the riparian and Green Infrastructure Network (GIN) corridor dedications in the southern portion of the site.

**Ministry of Forests, Lands, Natural Resource Operations and Rural Development (FLNRORD):** No concerns.

**Ministry of Transportation & Infrastructure (MOTI):** No concerns.

**Surrey Fire Department:** No concerns.



Advisory Design Panel: The proposal was considered at the ADP meeting on August 24, 2023 and was supported. The applicant has resolved many of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

## Transportation Considerations

### Road Network and Infrastructure

- The applicant will be providing the following road improvements to service the subject proposal:
  - Dedication and construction of 23 Avenue through the subject site to the City's local road standard;
  - Dedication and construction of 23A Avenue through the subject site to the City's flex road standard;
  - Dedication and construction of 161A Street to the City's local road standard between 23 Avenue and 24 Avenue;
  - 161A Street south of 23 Avenue is proposed to be completed to accommodate access to the neighbouring site; and
  - Dedication and construction of the west side of 162 Street to the City's local road standard.
- The applicant is proposing to eliminate the 161A Street connection between 22 Avenue and 23 Avenue as identified in the NCP, and to provide riparian protection area conveyed to the City in its place. The applicant is proposing to provide traffic circles to support the anticipated traffic patterns as a result of the proposed elimination this portion of 161A Street.

### Traffic Impacts

- The subject proposal is anticipated to generate approximately four to five vehicles per minute in the peak hour.
- As part of the Sunnyside Heights NCP, an area-wide transportation impact assessment ("TIA") was conducted to assess cumulative traffic impacts of redevelopment of the NCP area and to inform the required transportation infrastructure improvements. As a result, a site-specific TIA was not required as part of the subject application.

### Access and Parking

- The applicant is proposing to access the subject site via 23 Avenue, 23A Avenue, and 162 Street.
- The Zoning Bylaw requires a total of 679 parking spaces to be provided on site. The applicant is proposing to provide 715 parking spaces, exceeding the Zoning Bylaw requirements.

## Transit

- The nearest bus stop is located directly north of the site on 24 Avenue. This stop is served by the 531 (White Rock/Langley) bus route.

## Parkland and/or Natural Area Considerations

- The applicant is proposing to voluntarily convey the riparian area associated with the Class B watercourse in the southwest portion of the site and also a portion of the east-west Green Infrastructure Network (GIN) corridor along the south property line, at no cost to the city, for conservation purposes.

## Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## POLICY & BY-LAW CONSIDERATIONS

### Regional Growth Strategy

- The proposal complies with the General Urban designation in the Metro Vancouver *Regional Growth Strategy* (RGS).

### Official Community Plan

#### Land Use Designation

- The proposed land use complies with the subject site's Multiple Residential designation in the Official Community Plan (OCP). However, an OCP amendment for increased density within the Multiple Residential designation from 1.5 FAR to 1.97 FAR for the north lot and to 1.86 FAR for the central lot is required.

#### Amendment Rationale

- The overall FAR for the entire site is 1.50, which is in keeping with the site's Multiple Residential designation within the OCP. The applicant's proposal shifts the density around on the site, with the proposal seeing a higher density on the northern two lots and a lower density on the south lot. The site's designation within the Sunnyside Heights Neighbourhood Concept Plan (NCP) allows both apartment and townhouse form, and the applicant's proposal includes denser apartment forms on the northern portion of the site, and less dense townhouse forms on the southern portion of the site.
- The proposed Official Community Plan (OCP) amendment reflects the site's location on an arterial road served by transit (24 Avenue), and the site's adjacency to the commercial amenities available at Grandview Corners.
- The proposed use, density, and building form are appropriate for this part of the Sunnyside Heights Neighbourhood Concept Plan.

- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per square foot flat rate for floor area above the "Multiple Residential 45 Zone (RM-45)" base density (1.30 FAR) in order to satisfy the proposed amendment on the proposed northern and central lots. This contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

## Secondary Plans

### Land Use Designation

- The applicant is proposing to amend the Sunnyside Heights Neighbourhood Concept Plan (NCP) for the north portion of the site from "Multiple Residential 30-45 upa" to "Mixed Use Residential 4-6 Storeys", and for the central portion of the site from "Multiple Residential 30-45 upa" to "Multiple Residential 4-6 Storeys", and to modify the local road network.

### Amendment Rationale

#### ***Rationale for Land-Use Redesignation:***

- The Sunnyside Heights NCP was approved by Council in 2010. The "Multiple Residential 30-45 upa" designation was intended to provide for a range of housing types, from townhouses to apartment style buildings in a variety of forms. Low-rise apartment buildings were envisioned in the NCP on the western side of the plan area, adjacent to the Commercial and Business Park uses in the Highway 99 Corridor Plan.
- Land within the NCP area with the "Multiple Residential 30-45 upa" designation that have already developed were constructed as higher density townhouse sites, not low-rise apartment sites.
- Over the past 13 years since the NCP was approved, the development trend and market affordability has moved away from a lower unit density / larger unit size apartment housing product toward a smaller unit type of multi-family development. The proposed multiple residential development is consistent with the intent of the NCP designation, but an amendment is required to permit a higher unit density than 45 units per acre.
- The proposed new designations, "Mixed Use Residential 4-6 Storeys" and "Multiple Residential 4-6 Storeys", rather than a Multiple Residential designation with a permitted unit density, are more appropriate than increasing the permitted unit density under the current designation, as it allows more flexibility in achieving the desired housing form of a low-rise apartment building.

- The proposed addition of a mixed use component on the northern lot reflects the lot's location along a prominent arterial road, 24 Avenue. The proposed commercial space will be at grade and/or on the second floor along the 24 Avenue frontage and the 161A Street frontage, which interfaces with the Superstore site to the west.
- The proposed buildings on the north and central lots provide a unit mix of 1-, 2-, 3- and 4-bedroom units, in both townhome style and apartment configurations. This will assist in increasing and diversifying the housing choice in the neighbourhood.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per square foot flat rate for floor area above the "Multiple Residential 45 upa Zone (RM-45)" base density (1.30 FAR) in order to satisfy the proposed amendment on the proposed northern and central lots. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

***Rationale for Elimination of southern portion of 161A Street and 22 Avenue:***

- Through the environmental review process it was determined that there is a Class B watercourse along the southwestern property line, where the proposed southern portion of 161A Street was proposed to be located. As a result, the proposed road has been eliminated in this location in favour of a riparian protection area to be conveyed to the City. An extension of 22 Avenue westward of 162 Street is also therefore not required.
- North-south road network connectivity in the portion of the Neighborhood Concept Plan (NCP) is provided through 162 Street.
- An exercise was undertaken to determine the impact on the adjacent lot to the south. It was determined that the proposed road elimination provides more developable area for the lot to the south and the lot owner to the south was advised of this.

**Northern Lot Mixed Use CD By-law**

- The applicant is proposing three "Comprehensive Development Zones (CD)" to accommodate the proposed uses on the site.
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use development on the proposed northern lot. The proposed CD By-law identifies appropriate uses, densities, and setbacks. The CD By-law will have provisions based on the "Neighbourhood Commercial Zone (C-5)" and the "Multiple Residential 135 Zone (RM-135)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-5 Zone, RM-70 Zone and the proposed CD By-law is illustrated in the following table:



Zoning	C-5 Zone (Part 35)	RM-70 Zone (Part 24)	Proposed CD Zone
<b>Permitted Uses</b>	<p>Principle Uses</p> <ol style="list-style-type: none"> <li>1. Retail stores excluding adult entertainment store, secondhand stores and pawnshops.</li> <li>2. Personal service uses limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops.</li> <li>3. General service uses excluding funeral parlours and drive-through banks.</li> <li>4. Eating establishments excluding drive-through restaurants.</li> <li>5. Neighbourhood pubs.</li> <li>6. Office uses excluding social escort services and methadone clinics.</li> <li>7. Indoor recreational facilities.</li> <li>8. Community services.</li> <li>9. Child care centres.</li> </ol> <p>Accessory Uses:</p> <ol style="list-style-type: none"> <li>10. One caretaker unit per lot.</li> </ol>	<p>Principal Uses:</p> <ol style="list-style-type: none"> <li>1. Multi-unit residential buildings and ground-oriented multiple unit residential buildings.</li> </ol> <p>Accessory Uses:</p> <ol style="list-style-type: none"> <li>2. Child care centres.</li> </ol>	<p>Principal Uses:</p> <ol style="list-style-type: none"> <li>1. Multi-unit residential buildings.</li> </ol> <p>Accessory Uses:</p> <ol style="list-style-type: none"> <li>2. Retail stores excluding adult entertainment stores, auction houses, second-hand stores and pawnshops.</li> <li>3. Personal services uses, excluding body rub parlours.</li> <li>4. Office uses excluding social escort services, methadone clinics and marijuana dispensaries.</li> <li>5. General services uses excluding funeral parlours, drive-through banks and vehicle rentals.</li> <li>6. Indoor recreational facilities, excluding a gymnasium.</li> <li>7. Community services.</li> <li>8. Child care centres.</li> <li>9. Eating establishments excluding drive-through restaurants.</li> </ol>
<b>Floor Area Ratio:</b>	0.50	1.50	1.97
<b>Lot Coverage:</b>	50%	33%	74%
<b>Yards and Setbacks</b>	7.5 m	<p>7.5m for the principal building.</p> <p>An underground parking facility is not to be located within 2.0m of the front lot line.</p>	<p>North – 6.2 m; East/South/West – 4.5 m. Southwest corner – 3.5 m.</p> <p>Street-fronting patios are permitted to encroach within the setback area. Underground parking facility may be setback at 0.5 m from property line.</p>
<b>Principal Building Height:</b>	9 m	50 m	20.0 m

<b>Amenity Space</b>			
Indoor Amenity:	n/a	3 m <sup>2</sup> per unit; 4 m <sup>2</sup> per micro unit	The proposed 286 m <sup>2</sup> exceeds the Zoning By-law requirement.
Outdoor Amenity:	n/a	3 m <sup>2</sup> per unit; 4 m <sup>2</sup> per micro unit	The proposed 1,168 m <sup>2</sup> meets the Zoning By-law requirement.
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Commercial:		69	73
Residential:		137	166
Residential Visitor:		18	18
Total:		224	257
<b>Bicycle Spaces</b>			
Residential Secure Parking:		110	120
Residential Visitor:		6	6

- The accessory commercial uses proposed in the CD Zone largely reflect the uses of the C-5 Zone with the main difference being that the neighbourhood pub use is not proposed in the CD Zone. The accessory commercial uses are permitted on the ground and second floors, reflecting the applicant's proposal to have second floor office space.
- The CD Zone proposes a higher floor area ratio (FAR) at 1.97 relative to the 1.50 FAR permitted under the RM-70 Zone. The proposed FAR over the entire site is 1.50, which is in keeping with the site's Multiple Residential designation in the Official Community Plan (OCP). The proposed northern lot is on a significant arterial road (24 Avenue) with transit and locating density at this location has merit.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 74% lot coverage for the site reflects the proposed building, which covers most of the small block that is being created with the dedication of 23A Avenue.
- The proposed 6.2-metre north building setback and the 4.5-metre setback on the east, south and west street frontages is reflective of a current urban design approach that creates a more urban pedestrian environment and enhances surveillance of the public realm along streets.
- The CD Zone proposes a lower building height at 20.0 metres relative to the 50 metre building height of permitted by the RM-70 Zone. The proposed building height reflects the 5-storey proposal.

- The applicant is proposing to provide 166 resident parking spaces and 18 visitor parking spaces, for a total of 184 residential parking spaces, which exceeds the Zoning By-law requirements. In addition, the applicant is also providing 73 commercial parking spaces, which exceeds the Zoning By-law requirements. The parking count includes 7 accessible residential parking spaces. All parking is underground or is tucked behind the commercial units or the ground-oriented townhouse units – there is no surface parking proposed.
- The applicant is also providing bike parking spaces for each apartment unit and the required 6 visitor bike parking spaces.

**Central Lot Apartment CD By-law**

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate two proposed apartment buildings on the proposed central lot. The proposed CD By-law identifies appropriate uses, densities, and setbacks. The CD By-law is based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
<b>Floor Area Ratio:</b>	1.50	1.86
<b>Lot Coverage:</b>	33%	44%
<b>Yards and Setbacks</b>	7.5m for the principal building.  An underground parking facility is not to be located within 2.0m of the front lot line.	4.5m for principal building. Street-fronting patios are permitted to encroach within the setback area. The underground parking facility may be located up to 0.5m from the north and west property line.
<b>Principal Building Height:</b>	50.0m	18.0m
<b>Amenity Space</b>		
Indoor Amenity:	3.0 sq.m. per unit	The proposed 537 sq.m. meets the Zoning Bylaw requirement.
Outdoor Amenity:	3.0 sq.m. per unit.	The proposed 1578 sq.m. exceeds the Zoning Bylaw requirement.
<b>Parking (Part 5)</b>		<b>Required</b>
<b>Number of Stalls</b>		<b>Proposed</b>
Residential:	257	260
Residential Visitor:	35	35
Total:	292	295

<b>Bicycle Spaces</b>		
Residential Secure Parking:	203	210
Residential Visitor:	6	6

- The CD Zone proposes a higher floor area ratio (FAR) at 1.86 relative to the 1.50 FAR permitted under the RM-70 Zone. The proposed FAR over the whole site is 1.50, which is in keeping with the site's Multiple Residential designation in the Official Community Plan (OCP).
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 44% lot coverage for the site is appropriate for the proposed 4-5-storey building.
- The proposed 4.5-metre setbacks on all 4 street frontages is reflective of current urban design standards that creates a more urban pedestrian environment and enhances surveillance of the public realm along streets.
- The CD Zone proposes a lower building height at 18.0 metres relative to the building height of 50.0 metres permitted by the RM-70 Zone. The proposed building height reflects the applicant's proposal for a 4-5-storey building.
- The applicant is proposing to provide 260 resident parking spaces and 35 visitor parking spaces, for a total of 295 residential parking spaces, which exceeds the Zoning By-law requirements of 292 residential parking spaces. The parking count includes 8 accessible residential parking spaces.
- The applicant is also providing bike parking spaces for each apartment unit and the required 6 visitor bike parking spaces.

**South Lot Apartment and Townhouse CD By-law**

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed apartment building and 74 townhouse units on the proposed south lot. The proposed CD By-law identifies appropriate uses, densities, and setbacks. The CD By-law is based on the "Multiple Residential 30 Zone (RM-30)" and "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-30 Zone, RM-70 Zone and the proposed CD By-law is illustrated in the following table:



Zoning	RM-30 Zone (Part 22)	RM-70 Zone (Part 24)	Proposed CD Zone
<b>Permitted Uses:</b>	Multi-unit residential buildings and ground-oriented multiple unit residential buildings.	Multi-unit residential buildings and ground-oriented multiple unit residential buildings.	Block C: Multi-unit residential buildings and ground-oriented multiple unit residential buildings. Block D: Ground-oriented multiple unit residential buildings.
<b>Floor Area Ratio:</b>	1.00	1.50	Block C: 2.12 Block D: 0.87
<b>Lot Coverage:</b>	45%	33%	Block C: 50% Block D: 40%
<b>Yards and Setbacks</b>	4.5 m for front yard and street side yard. 6.0 m for rear and side yard.	7.5 m	Block C: North – 4.5 m; East – 4.4 m; South – 0m; West 5.8 m  Block D: North – 2.4 m; East – 4.4 m; South – 4.4 m; West – 5.8m
<b>Principal Building Height:</b>	13 m	50 m	Block C: 18.0 m Block D: 11.0 m
<b>Amenity Space</b>			
Indoor Amenity:	3 m <sup>2</sup> per unit	3 m <sup>2</sup> per unit	The proposed 406 m <sup>2</sup> + CIL meets the Zoning By-law requirement.
Outdoor Amenity:	3 m <sup>2</sup> per unit	3 m <sup>2</sup> per unit	The proposed 725 m <sup>2</sup> exceeds the Zoning By-law requirement.
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Apartment Residential:		133	144
Apartment Visitor:		19	19
<u>Total Apartment:</u>		152	163
Townhouse Residential:		148	148
Townhouse Visitor:		15	15
Total Townhouse:		163	163
<b>Bicycle Spaces</b>			
Apartment Secure Parking:		116	122
Apartment Visitor:		6	6

- The proposed uses in the CD Zone reflect the proposed apartment building on Block C and the proposed 74 townhouse units on Block D.
- For the apartment Block C, the CD Zone proposes a higher floor area ratio (FAR) at 2.12 relative to the 1.50 FAR permitted under the RM-70 Zone. For the townhouse Block D, the CD Zone proposes a lower floor area ratio (FAR) at 0.87 relative to the 1.00 FAR permitted under the RM-30 Zone. The proposed FAR over the whole site (for these two Blocks) is 1.50, which

is in keeping with the site's Multiple Residential designation in the Official Community Plan (OCP).

- For the apartment Block C, the RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 50% lot coverage for Block C is appropriate for the proposed 4-5-storey building. For the townhouse Block D, the proposed 40% lot coverage is lower than the RM-30 Zone's maximum lot coverage of 45%.
- For the apartment Block C, the proposed building setbacks along the street frontages are reflective of current a urban design approach that creates a more urban pedestrian environment and enhances surveillance of the public realm along streets. The proposed 2.4-metre north setback for the townhouse block and the 0 metre south setback for the apartment block is an internal setback between the two buildings.
- For the townhouse Block D, the proposed building setbacks are very similar to the RM-30 setbacks, and the 5.8-metre western setback reflects a servicing corridor which runs along the western property line.
- For the apartment Block C, the CD Zone proposes a lower building height at 18.0 metres relative to the building height of 50.0 metres permitted by the RM-70 Zone. The proposed building height reflects the applicant's proposal for a 4-5-storey building. For the townhouse Block D, the CD Zone proposes a lower building height at 11.0 metres relative to the building height of 13.0 metres permitted by the RM-30 Zone.
- For the apartment, the applicant is proposing to provide 144 resident parking spaces and 19 visitor parking spaces, for a total of 163 residential parking spaces, which exceeds the Zoning By-law requirements of 148 residential parking spaces. All apartment parking is located underground. The parking count includes 4 accessible residential parking spaces.
- For the townhouses, the applicant is proposing to provide 148 resident parking spaces within unit garages and 15 visitor parking spaces, for a total of 163 residential parking spaces, which meets the Zoning By-law requirement.
- The applicant is also providing bike parking spaces for each apartment unit and the required 6 visitor bike parking spaces for both the apartment and townhouse portions of the site.

### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,136 per unit.

- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP and Secondary Plan designations.
- The applicant will be required to provide the per square foot flat rate for floor area above the “Multiple Residential 45 Zone (RM-45)” base density (1.30 FAR) in order to satisfy the proposed amendment on the proposed northern and central lots. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City’s Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 (now \$1,068) per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City’s needs with respect to the City’s Affordable Housing Strategy.

### **Public Art Policy**

- The applicant has indicated their intention to develop some public art on the site, likely in the northwest or northeast corners, along 24 Avenue. The applicant will work with staff prior to final adoption to ensure suitable public art is provided on the site.
- In addition, to ensure either public art or cash-in-lieu is provided, the applicant will be required to register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.25% of construction value, to adequately address the City’s needs with respect to public art, in accordance with the City’s Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

### **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on May 9, 2022 and again on July 11, 2023. The Development Proposal Signs were originally installed on August 25, 2022 and updated on September 26, 2023. Staff received 10 responses (*staff comments in italics*). The concerns raised centred on traffic concerns, increased density in the area, school capacity, medical system capacity and lack of Parks facilities.

*(The proposal is one of the last large acreage sites in this portion of the Sunnyside Neighbourhood Concept Plan to develop. The proposal is providing increased road connectivity in the area with dedications for 23A Avenue, 23 Avenue, 161A Street and 162 Street. It is noted that the City is pursuing a 20 Avenue overpass project (over Highway No. 99) that will help alleviate some traffic congestion on 24 Avenue, once completed. There are 2 new City Parks near the site to the east, Oak Meadows Park and Edgewood Park. The School District indicates that the new Ta’talu Elementary School, on 20 Avenue and 165A Street, is anticipated to open in fall of 2024.)*

## Public Information Meeting

- The applicant held two virtual Public Information Meetings at different times of the day, both on June 15, 2022. Approximately 34 people in total attended the meetings. The applicant collected 36 comment forms and 8 emails. Thirty-one (31) comment forms and 5 emails indicated support for the proposal, and 3 comment forms and 3 emails indicated non-support for the proposal. Two (2) comment forms did not indicate support or non-support.
- Those indicating support wanted to see more housing built in the community and appreciated the different forms of housing (apartment and townhouse) being proposed. Appreciation for the commercial mixed use component was also expressed. Those indicating non-support mentioned concerns around increased traffic, school capacity, increased density and impact on Parks facilities.

## DEVELOPMENT PERMITS

### Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse which flows along the southeastern property line. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) ditch requires a minimum streamside setback of 7 metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The riparian area is proposed to be conveyed to the City as a lot for conservation purposes as a condition of rezoning approval, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Cindy Lipp, *R.P. Bio.*, of McElhanney Consulting Ltd. and dated April 2022 was peer reviewed by Mark Gollner, *R.P. Bio.*, of Marlim Ecological Consulting Ltd.. The finalized Ecosystem Development Plan will be incorporated into the Development Permit.

### Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located along the southern property line. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site, in the Redwood BCS management area, with a Low ecological value.

- The BCS further identifies the GIN area of the subject site as having a Low habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 20 meters partially on the subject site and partially on the lot to the south.
- The applicant is providing a 10-metre wide BCS Corridor on the subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS. It is anticipated that the balance of the BCS corridor will be delivered when the parcel to the south redevelops.
- An Ecosystem Development Plan, prepared by Cindy Lipp, *R.P. Bio.*, of McElhanney Consulting Ltd. and dated April 2022 was peer reviewed by Mark Gollner, *R.P. Bio.*, of Marlim Ecological Consulting Ltd. The finalized Ecosystem Development Plan will be incorporated into the Development Permit.

### **North Lot Mixed Used Building - Form and Character Development Permit Requirement**

- The applicant is proposing a Development Permit for the north lot mixed use building, and this section of the report will deal with this building.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The north lot mixed use building has a total floor area of 12,475 square metres. The ground floor is proposed to consist of commercial retail units (CRUs) along the north (24 Avenue) and west (161A Street) frontages, and with ground floor townhouse units along the south and east frontages. Second floor office is proposed above the ground floor CRUs. The residential unit mix consists of 4 studio units, 30 one-bedroom units, 44 two-bedroom units, 13 three-bedroom units, and 1 four-bedroom unit, for a total of 92 units.
- Two residential lobbies are proposed on the east and west elevations, and a commercial lobby is proposed on the north elevation. The applicant is proposing to “wrap” and enclose ground floor and second floor parking areas with CRUs (commercial units) and townhouse units. This parking will not be visible from the public realm. In addition, one level of parking is proposed underground. No at-grade surface parking is proposed.
- A large outdoor amenity space is proposed on top of the second storey podium, in a central courtyard fashion, with daylight access between the east and west wings of the building. It provides outdoor space for both the residential units and also the commercial units.
- The building has a strong interaction with the public realm, with the ground floor commercial or residential units interacting with all the street frontages. Continuous weather protection is provided for pedestrians along the commercial frontages through the provision of canopies. Two-storey townhouse units interface directly with the street along the south and east property lines, allowing for a more sensitive street interface, particularly on the east side, which interfaces with the townhouse complex across 162 Street.

- The design of the building is contemporary. This is exemplified by its rectilinear geometry delimited into multiple components, flat roofs and generous amount of retail glazing at street-level. A strong street-wall is established, which uses a refined palette of traditional and modern materials to anchor its presence with an arrangement of varied planes that modulate the rhythm of the building proportions.
- High quality materials, such as brick and metal panel are carefully detailed to achieve a coordinated building character. The proposed exterior materials include brick (brown), aluminum panelling (blue and tan), fibre cement panel (white, gray), spandrel glass panels (dark gray), woodtone panelling (brown) and extensive glazing for the commercial units. Metal and glass roof canopies help define the ground floor units. Metal guardrails with transparent glazing are proposed for the balconies.

### Indoor Amenity

- The Zoning By-law requires that 278 square metres of both indoor and outdoor amenity space be provided for the residential units in the proposed project, based on the requirement of 3 square metres per dwelling unit.
- The proposed 286 square metres of indoor amenity meets the minimum required under the Zoning By-law. The indoor amenity space is on the third floor, in the southwest corner of the building, adjacent to the outdoor amenity area. Three separate rooms are proposed, consisting of a tech room, and gym, and a lounge space with a kitchen.

### Outdoor Amenity

- The applicant is proposing a total of 1,168 square metres of residential outdoor amenity space, which exceeds the requirements in the Zoning By-Law (286 sq. m). The applicant is also proposing a 409 square metre outdoor amenity space for the commercial uses on the site. Both amenity spaces are located on the third floor podium in a central courtyard configuration.
- The residential outdoor amenity area is adjacent to the indoor amenity space. The outdoor amenity contains seating areas, community gardens, open lawn and a children's play area, along with landscaping.
- The commercial uses outdoor amenity area also contains seating areas, community gardens and open lawn. The two outdoor amenities areas are separated from each other with a wall that is screened with climbing vines.

### Signage

- Signage for the commercial units is proposed as frontlit LED fascia signage and also under-canopy signage (blade signage), in a design compatible with the architectural features of the building.
- The applicant is also proposing three signs on the second floor on the north (24 Avenue) to allow for some identification for the second floor office users.

### Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.
- Landscaping islands are proposed along the commercial frontages (24 Avenue and 161A Street). Benches and bike parking are provided next to the landscaping islands. Some plaza spaces are proposed at the southwest, northwest and northeast corners of the site.
- The applicant has indicated they would like to pursue a public art installation at either the northwest or northeast corners of the site, and staff will work with the applicant to secure this prior to final adoption.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
  - Refine the public realm interfaces on the building architecture and landscaping architecture;
  - Refine the architectural character with consistently applied principles of design;
  - Scaling down and modulating the large office volume expression on north lot;
  - Integrating the office and residential character together on north lot;
  - Add more trees and landscaping along the commercial frontages on north lot;
  - Resolve livability concerns with ground floor units along vehicle routes on central lot;
  - Increasing outdoor weather protection for amenity space; and
  - Resolution of lobby location on 24 Avenue.
- The applicant has been provided a list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

### **Central Lot Apartment Buildings - Form and Character Development Permit Requirement**

- The applicant is proposing a Development Permit for the two central lot apartment buildings, and this section of the report will deal with these buildings. The proposed development generally complies with the Form and Character Development Permit guidelines in the Official Community Plan (OCP).
- The applicant is proposing two 4-5-storey apartment buildings on a shared podium and with shared underground parking. The buildings contain 174 units, consisting of 94 one-bedroom

units and 80 two-bedroom units.

- The buildings are oriented north-south, with a large courtyard space between the two buildings, producing a small opening along the avenues. The northern gap between the buildings has a pedestrian connection into the central courtyard area. The southern gap between the buildings contains the underground parking ramp entrance and also pedestrian access to the central courtyard.
- The building massings step with the site grade, as this central lot has more slope than the northern lot. The building is 4 storeys along the eastern elevation, where the site interfaces with the townhouse complex across 162 Street. The western elevation, which interfaces with the back of the Superstore site across 161A Street is predominantly 5 storeys.
- There is one double-height lobby entrance in each building: one along 161A Street and the other along 162 Street, both flush with grade. These lobby areas contain a mail and parcel pick-up area.
- The building is brought closer to the streets with a 4.5 metre setback to animate the street with street enclosure and provide visual surveillance of the public realm with an active front patio. There is a two-storey townhouse interface to the street, which promotes interaction with the public realm with its pedestrian scale elements to break up the large building volume with a series of smaller building proportions
- The applicant is proposing to provide two levels of underground parking, which will provide for the required resident and visitor parking. No at-grade parking is proposed.
- The design of the building is contemporary, comprised of rectilinear forms and portal frames that outline key volumes in its massing composition capped with flat roofs. The building facade is articulated with a palette of residential materials and muted colours, which breaks up the facades into the appearance of an assembly of smaller buildings to keep the streetscape pedestrian friendly.
- High quality materials and careful detailing are used to achieve a high quality building treatment. The proposed exterior materials include brick (dark grey), fibre cement shiplap siding (white and gray), fibre cement-panel (white, gray, dark gray) and wood tone panelling (brown). Metal and glass roof canopies help define the ground floor units. Metal guardrails with transparent glazing are proposed for the balconies.

### Signage

- The applicant is proposing to have a small fascia sign identifying the building name near the main lobby entrance.

### Indoor Amenity

- The Zoning By-law requires that 522 square metres of both indoor and outdoor amenity space be provided for the residential units in the proposed building, based on the requirement of 3 square metres per dwelling unit.



- The proposed 537 square metres of indoor amenity space meets the area required under the Zoning By-law. The proposed indoor amenity space is on the second floor of the easterly apartment building, adjacent to the outdoor courtyard amenity area. Five separate rooms are proposed, consisting of a tech room, a gym, a games lounge, and a casual lounge space with a kitchen, and a more formal lounge space with a kitchen.

### Outdoor Amenity

- The applicant is proposing a total of 1,578 square metres of outdoor amenity space, which exceeds the area required under the Zoning By-Law. The outdoor amenity space is within the courtyard area between the two buildings.
- The outdoor amenity area contains outdoor dining and seating areas seating, a children's play area, open lawn, community garden plots with a potting table and compost, and landscaped areas.

### Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.
- Landscaping is proposed along the street frontages and within the courtyard amenity space. A bench and bike racks are provided outside of the two lobbies. Small public plaza spaces will be added at the street corners to provide an informal gathering area.

### **South Lot Apartment Building and Townhouses – Form and Character Development Permit Requirement**

- The applicant is proposing a Development Permit for the south lot apartment building and townhouses, and this section of the report will deal with these buildings. The proposed development generally complies with the Form and Character Development Permit guidelines in the Official Community Plan (OCP).
- The applicant is proposing a 4-5-storey apartment building and 74 townhouse units on the south lot. The apartment building contains 97 units, consisting of 64 one-bedroom units and 33 two-bedroom units.
- The apartment is on the north portion of this site, interfacing with the central lot apartment buildings north of 23 Avenue. The townhouses are on the south portion of the site. The apartment and townhouses share a common vehicular access from 162 Street and also share the outdoor and amenity space on this site.
- The apartment has a central double-height lobby on the north elevation with a mail and parcel pick-up area. The apartment and townhouses are brought closer to the streets with a 4.5 metre setback for street enclosure and to animate the street and provide visual surveillance of the public realm with its ground floor patios. The apartment has a two-storey townhouse interface to the street, which promotes interaction with the public realm, with its pedestrian scale elements to break up the large building volume with a series of smaller building proportions.

- The apartment steps its floor levels with the grading slope of the site. The building is 4 storeys along the eastern elevation, where the site interfaces with the townhouse complex across 162 Street. The western elevation, which interfaces with the back of the Superstore site across 161A Street is 5 storeys.
- The applicant is proposing to provide two levels of underground parking, which will provide for the required resident and visitor parking for the apartment building. No at-grade parking is proposed for the apartment. The townhouse portion will have some at-grade visitor parking.
- The design of the apartment is contemporary, using rectilinear forms, laced with a flat roof that runs its soffit vertically down to define key building volumes. The building is further articulated with a palette of materials and colours, which are arranged to demarcate individual units at the base of the building, while carrying up low-textures on upper storeys to provide a backdrop for its balcony features.
- High quality materials and careful detailing are used to achieve a high quality building treatment. The proposed exterior materials include brick (dark grey), fibre cement shiplap siding (white and gray), fibre cement -panel (white, gray, dark gray) and wood tone paneling (brown). Metal and glass roof canopies help define the ground floor units. Metal guardrails with transparent glazing are proposed for the balconies.
- For the townhouse portion of the site, the applicant is proposing 14 buildings, with the number of dwelling units within each individual building ranging from 4-6 units. No tandem parking units are proposed – all units have a side-by-side double garage. The unit sizes range from 137 square metres to 153 square metres.
- The townhouse site plan reflects an effort to orient as many buildings as possible to be street-facing, to provide an attractive streetscape. In addition, all of the street-fronting units will contain active living space on the ground floor which will promote interaction with the public realm. These units have front doors facing the street, a walkway connecting each residence to the street, and windows that provide casual surveillance of the public realm.
- The townhouse units step with the grade as needed. The elevations are articulated and employ a range of cladding materials. The proposed cladding materials include hardi-siding (white, light gray), hardie board and batten (white), hardie shingles (white), hardie panel (gray), metal guardrails and glazing for the balconies.

### Signage

- The applicant is proposing to have a small fascia sign identifying the building name near the main lobby entrance for the apartment building.

### Indoor Amenity

- The Zoning By-law requires that 291 square metres of both indoor and outdoor amenity space be provided for the residential units in the proposed building, based on the requirement of 3 square metres per dwelling unit.

- The proposed 412 square metres of indoor amenity space exceeds the area required under the Zoning By-law. The proposed indoor amenity space is on the south elevation of the ground floor of the apartment building, facing the townhouse portion of the site, and adjacent to the outdoor amenity space. The indoor and outdoor amenity areas are shared between the future townhouse residents and apartment residents.
- The indoor amenity area contains three separate rooms, consisting of a tech lounge, a gym, and a casual lounge space with a kitchen and a games area.

#### Outdoor Amenity

- The applicant is proposing a total of 725 square metres of outdoor amenity space, which exceeds the area required under the Zoning By-Law. The outdoor amenity space is within the courtyard area between the two buildings.
- The outdoor amenity area contains outdoor dining and seating areas seating, a fitness area, a children's play area, community garden plots, and landscaped areas.

#### Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.
- Landscaping is proposed along the street frontages, within the outdoor amenity space, and throughout the townhouse site. A bike rack is provided outside of the apartment lobby. A small public plaza is proposed at the northeast corner of the site.
- Decorative paving is proposed at the vehicular entrances and concrete unit pavers are proposed for the visitor parking spaces. Various pedestrian pathways and connections are proposed throughout the site.

**TREES**

- Corey Plester, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

<b>Tree Species</b>	<b>Existing</b>	<b>Remove</b>	<b>Retain</b>
<b>Alder and Cottonwood Trees</b>			
Alder/Cottonwood	18	18	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Cherry sp.	5	5	0
Elm, Siberian	2	2	0
Locust, Black	1	1	0
Zelkova, Japanese	2	2	0
<b>Coniferous/Evergreen Trees</b>			
Variegated English Holly	1	1	0
Larch, Japanese	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>12</b>	<b>12</b>	<b>0</b>
<b>Additional Trees in the proposed City-owned riparian area</b>	<b>6</b>	<b>0</b>	<b>6</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>119</b>	
<b>Total Retained and Replacement Trees Proposed</b>		<b>119</b>	

- The Arborist Assessment states that there are a total of 12 mature trees on the site, excluding Alder and Cottonwood trees. Eighteen (18) existing trees, approximately 60 % of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain no trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 6 protected trees that are located within the proposed riparian area. The trees within the proposed riparian area will be retained except where removal is required due to hazardous conditions or unavoidable servicing conflicts. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees that are outside the streamside protection area, and a 2 to 1 replacement ratio for all other trees, including Alder and Cottonwood that are within a streamside protection area. This will require a proposed total of 50 replacement trees on the site. The applicant is proposing 119 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Paperbark maple, Shore pine, Japanese stewartia, Japanese maple, Kousa dogwood, magnolia and Green Pillar oak.
- In summary, a total of 119 trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund required.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Zoning Block Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	NCP Plan Amendments
Appendix VI.	ADP Comments and Response

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

KB/ar

**PROPOSED SUBDIVISION PLAN OF LOT 3 SECTION 13  
TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 5524  
EXCEPT PART IN PLAN EPP80031**

**Subdivision Plan**

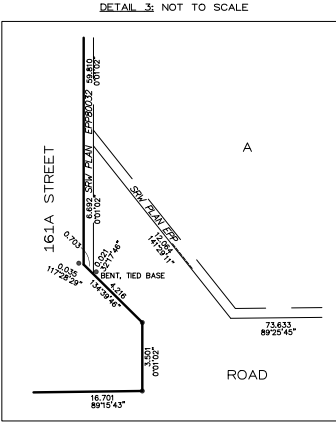
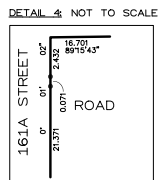
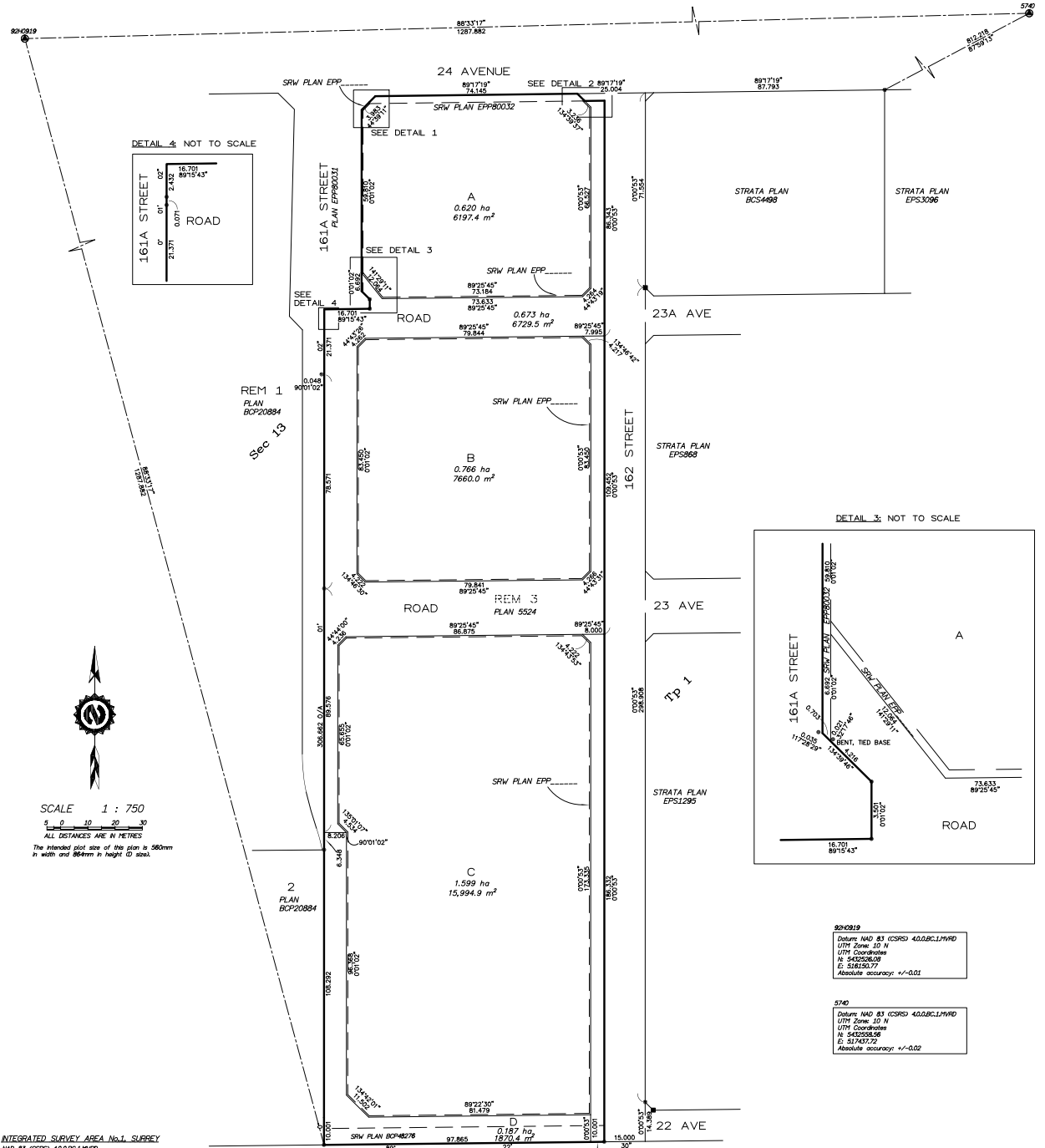
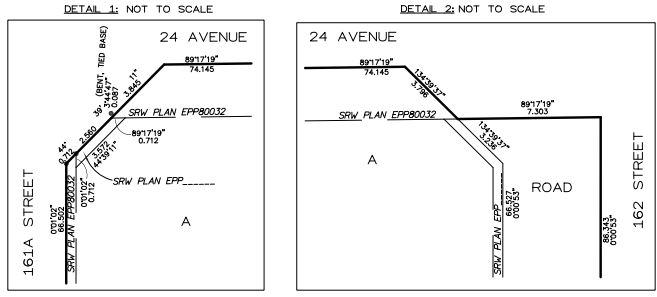
**Appendix I**

B.C.G.S. 926.007

- LEGEND**
- DENOTES CONTROL MONUMENT FOUND
  - DENOTES LEAD FLAG FOUND
  - ⊕ DENOTES STANDARD IRON POST FOUND
  - m<sup>2</sup> DENOTES SQUARE METRES
  - G/A DENOTES OVERALL DISTANCE

**BOOK OF REFERENCE**

LEGAL DESCRIPTION	AREA (m <sup>2</sup> )	AREA (ha)
LOT A PLAN EPP	6197.4m <sup>2</sup>	0.620 ha
LOT B PLAN EPP	7660.0m <sup>2</sup>	0.766 ha
LOT C PLAN EPP	15994.9m <sup>2</sup>	1.599 ha
LOT D PLAN EPP	15703.9m <sup>2</sup>	0.157 ha
ROAD DEDICATION	6728.2m <sup>2</sup>	0.673 ha
<b>TOTAL</b>	<b>39662.2m<sup>2</sup></b>	<b>3.946 ha</b>



**SCALE 1 : 750**

0 10 20 30

ALL DISTANCES ARE IN METRES

The intended plot size of this plan is 960mm in width and 864mm in height (D size).

9260919

Datum: NAD 83 (CSRS) 4GQJCLJPHWD  
UTM Zone: 10 N  
UTM Coordinates: N: 542526.09 E: 516150.77  
Absolute accuracy: +/-0.01

5740

Datum: NAD 83 (CSRS) 4GQJCLJPHWD  
UTM Zone: 10 N  
UTM Coordinates: N: 542526.09 E: 517437.72  
Absolute accuracy: +/-0.02

N1/2 OF THE N1/2 OF THE S1/2 OF THE NW1/4

**INTEGRATED SURVEY AREA No.1, SURVEY**  
NAD 83 (CSRS) 4GQJCLJPHWD

GHI bearings are derived from observations to geodetic control monuments 9260919 and 5740 and are referred to the central meridian of UTM Zone 10N.

The UTM coordinates and estimated absolute accuracy achieved are derived from the TRACDOT outlined coordinates and standard deviations for geodetic control monuments 9260919 and 5740.

This plan shows horizontal ground level distances unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.999923, which has been derived from control monument 9260919.

This plan lies within the jurisdiction of the Approving Officer for the City of Surrey.

The field survey represented by this plan was completed on the 10 day of 2013.

Bary Borne, BCL5 958

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT



# Zoning Block Plan

## SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No: \_\_\_\_\_ OF: LOT 3 SECTION 13 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 5524 EXCEPT PART IN PLAN EPP80031

FOR REZONING PURPOSES

**LEGEND**

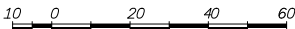
m<sup>2</sup> DENOTES SQUARE METRES  
ha DENOTES HECTARES

**BOOK OF REFERENCE**

BLOCK AREA	AREA (m <sup>2</sup> )	AREA (ha)
BLOCK A	6197.4 m <sup>2</sup>	0.620 ha
BLOCK B	7660.0 m <sup>2</sup>	0.766 ha
BLOCK C	3499.1 m <sup>2</sup>	0.350 ha
BLOCK D	12495.8 m <sup>2</sup>	1.250 ha
TOTAL BLOCK AREA	29852.3 m <sup>2</sup>	2.985 ha



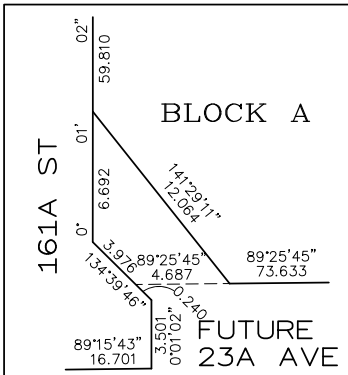
SCALE 1 : 1250



ALL DISTANCES ARE IN METRES

The intended plot size of this plan is 280mm in width and 432mm in height (B size)

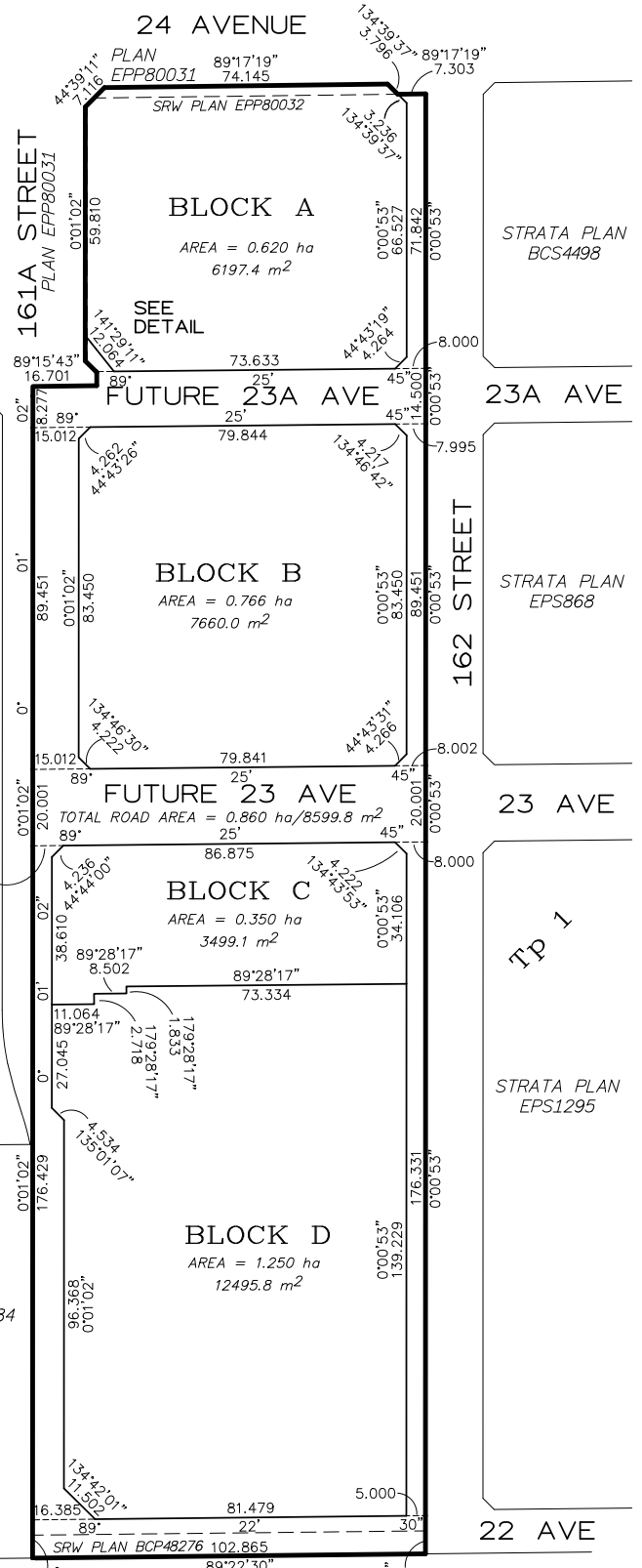
**DETAIL: NOT TO SCALE**



Property boundary dimensions shown hereon, are derived from field survey.

CERTIFIED CORRECT  
DATED THIS 13TH DAY OF SEPTEMBER, 2023.

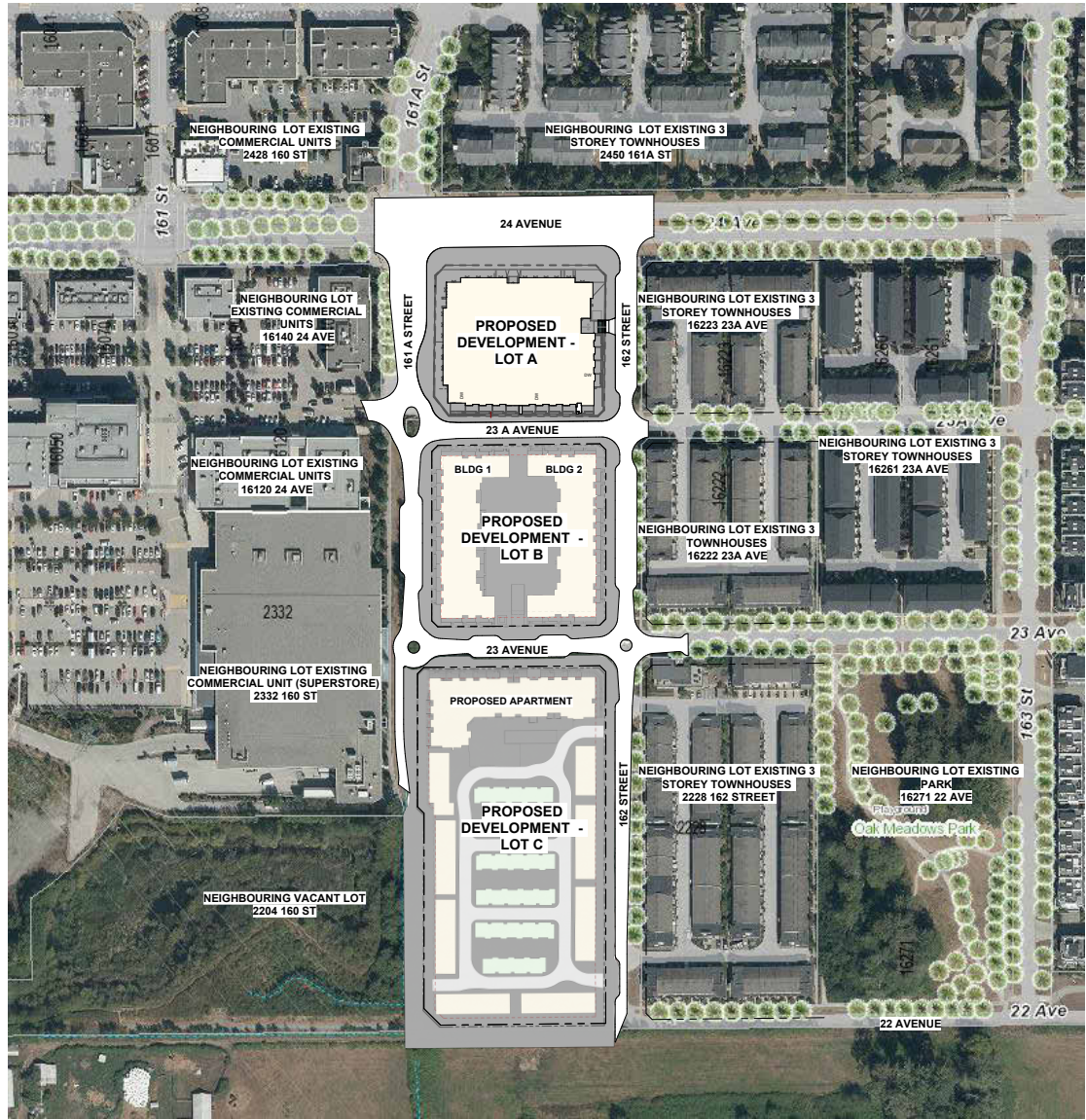
Gary Borne B.C.L.S.



N1/2 OF THE N1/2 OF THE S1/2  
OF THE NW1/4



NOTES:



1 CONTEXT PLAN - NEIGHBOURING FOOTPRINT  
A-006 1:1000

NO.	REVISION



200-1880 SHELLBERRY WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2G9  
T 604.276.8100 F 604.276.0131  
info@dfarchitecture.ca

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**

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DRAWING NO.	SO
CHECKED BY	NN
SCALE	1 : 1000
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

CONTEXT PLAN

DRAWING NO.	A-006	D
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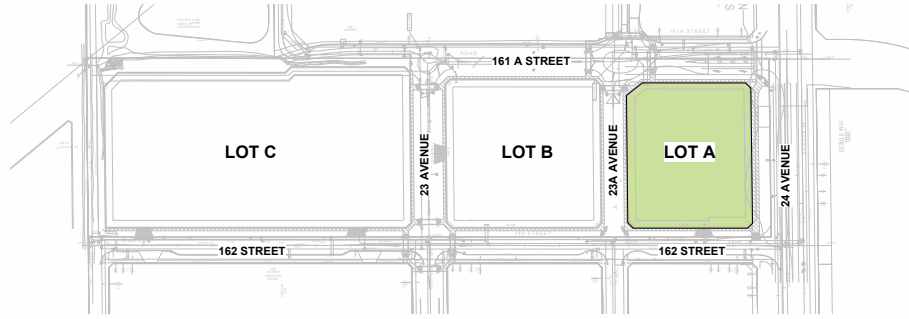


NOTES:



# LOT A

## MIXED USE DEVELOPMENT



Category	SHEET NO.	SHEET NAME	
SITE & INFO.	A-001.A	LOT A - COVER PAGE	
	A-002.A	LOT A - DEVELOPMENT DATA	
	A-003.A	LOT A - BASE PLAN	
	A-004.A	LOT A - SHADOW ANALYSIS	
	A-005.A	LOT A - SHADOW ANALYSIS CONT'D	
	A-006.A	LOT A - SITE ANALYSIS	
BUILDING & UNIT PLANS	A-100.A	LOT A - SITE PLAN	
	A-101.A	LOT A - FIRE DEPARTMENT SITE PLAN	
	A-200.A	LOT A - PARKING LEVEL	
	A-201.A	LOT A - FLOOR PLAN (LEVEL-1)	
	A-202.A	LOT A - FLOOR PLAN (LEVEL-2)	
	A-203.A	LOT A - FLOOR PLAN (LEVEL-3)	
	A-204.A	LOT A - FLOOR PLAN (LEVEL-4)	
	A-205.A	LOT A - FLOOR PLAN (LEVEL-5)	
	A-206.A	LOT A - ROOF PLAN	
	A-220.A	LOT A - UNIT PLANS	
	A-221.A	LOT A - UNIT PLANS	
	A-222.A	LOT A - UNIT PLANS	
	A-223.A	LOT A - UNIT PLANS	
	A-224.A	LOT A - UNIT PLANS	
	A-225.A	LOT A - UNIT PLANS	
	A-226.A	LOT A - UNIT PLANS	
	A-227.A	LOT A - UNIT PLANS	
	A-228.A	LOT A - UNIT PLANS	
	ELEVATIONS & 3D VIEWS	A-300.A	LOT A - ELEVATIONS
		A-301.A	LOT A - ELEVATIONS
		A-302.A	LOT A - MATERIAL BOARD
		A-303.A	LOT A - MATERIAL BOARD
		A-320.A	LOT A - BUILDING SECTIONS
		A-321.A	LOT A - SITE PLAN SECTIONS
		A-350.A	LOT A - 3D VIEWS
		A-351.A	LOT A - 3D VIEWS
		A-400.A	LOT A - RTU SCREENING & PRIVACY SCREEN DETAILS
		A-401.A	LOT A - SIGNAGE & CANOPY DETAILS






305 - 1081 QUELLENBOE WAY  
 RICHMOND, BRITISH COLUMBIA  
 CANADA V6V 2G6  
 Telephone: 604-271-8111  
 info@dfarch.com

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:  
**IOM**

ARCHITECT: **df ARCHITECTURE INC.**  
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DRAWN: <b>SO</b>	
CHECKED: <b>NN</b>	
SCALE: <b>1" = 100'-0"</b>	
JOB NO: <b>SUR - 168</b>	
DATE: <b>MARCH 2022</b>	

SHEET TITLE:  
**LOT A - COVER PAGE**

<b>A-001.A</b>	<b>D</b>

NOTES:

DEVELOPMENT DATA				
<b>LEGAL DESCRIPTION</b>				
LOT 3, PLAN NWPP524, PART NW1/4, SECTION 13, TOWNSHIP 1, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN EPPR0031				
<b>CIVIC ADDRESS</b>				
16172 24 AVENUE, SURREY, BC				
<b>ZONING INFORMATION</b>				
<b>ZONE</b>				
EXISTING	RF			
PROPOSED	CD			
<b>LOT AREA</b>				
NET SITE AREA OF LOT A	66,706.87 Sq.Ft.	6,197.22 Sq.Mt.	1.53 ac	0.62 ha
<b>BUILDING HEIGHT</b>				
PROPOSED	65.62 ft	20.00 Mt.	5 STOREYS	
<b>LOT COVERAGE</b>				
PROPOSED (ON NET SITE AREA)	48,535.33 Sq.Ft.	4,509.04 Sq.M.	73%	
<b>SETBACK</b>				
NORTH (COMM. LEVEL 1 FROM 24 AVENUE- RIGHT OF THE WAY)	13.12 ft	4.00 Mt.		
NORTH (COMM. LEVEL 1 FROM 24 AVENUE- PL)	20.34 ft	6.20 Mt.		
NORTH (COMM. LEVEL 2&3 FROM 24 AVENUE- PL)	20.34 ft	6.20 Mt.		
NORTH (RES. LEVEL 4&5 FROM 24 AVENUE- PL)	24.93 ft	7.60 Mt.		
EAST (COMM. LEVEL 1 FROM 162 STREET- PL)	20.70 ft	6.31 Mt.		
EAST (RES. LEVEL 1&2 FROM 162 STREET- PL)	14.76 ft	4.50 Mt.		
EAST (RES. LEVEL 3&4 FROM 162 STREET- PL)	16.76 ft	5.10 Mt.		
EAST (RES. LEVEL 5 FROM 162 STREET- PL)	22.22 ft	6.75 Mt.		
SOUTH (RES. LEVEL 1&2 FROM 23A AVENUE- PL)	17.06 ft	5.20 Mt.		
SOUTH (RES. LEVEL 3 FROM 23A AVENUE- PL)	14.90 ft	4.65 Mt.		
SOUTH (RES. LEVEL 4&5 FROM 23A AVENUE- PL)	19.02 ft	5.80 Mt.		
WEST (COMM. LEVEL 1-3 FROM 161A STREET- PL)	13.12 ft	4.00 Mt.		
WEST (COMM. LEVEL 4&5 FROM 161A STREET- PL)	15.25 ft	4.65 Mt.		

F.A.R			
<b>5 STOREY APARTMENT BUILDING</b>			
LEVEL 1	30,177.06 Sq.Ft.	2,803.52 Sq.Mt.	
LEVEL 2	15,046.70 Sq.Ft.	1,397.84 Sq.Mt.	
LEVEL 3	31,432.03 Sq.Ft.	2,920.04 Sq.Mt.	
LEVEL 4	29,035.89 Sq.Ft.	2,697.25 Sq.Mt.	
LEVEL 5	28,588.97 Sq.Ft.	2,655.72 Sq.Mt.	
INDOOR AMENITY	3,108.39 Sq.Ft.	288.77 Sq.Mt.	
TOTAL BUILDABLE AREA OF 5 STOREY BUILDING (INCL. INDOOR AMENITY)	134,278.65 Sq.Ft.	12,474.79 Sq.Mt.	
TOTAL BUILDABLE AREA OF 5 STOREY BUILDING (EXCL. INDOOR AMENITY)	131,170.26 Sq.Ft.	12,186.01 Sq.Mt.	
F.A.R (ON NET SITE AREA)	1.97		

UNIT SCHEDULE (RESIDENTIAL)											
FLOOR	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	AREA PER UNIT	TOTAL AREA (SELLABLE)	NO. OF UNITS			
UNIT A - 2STOREY TH	2 BED RM. + 2.5BATH RM. +DEN	7	0	0	0	1,365.99 Sq.Ft.	126.90 Sq.M.	9,561.93 Sq.Ft.	888.30 Sq.M.	7	
UNIT A1 - 2STOREY TH	2 BED RM. + 2.5BATH RM. +DEN	1	0	0	0	1,199.45 Sq.Ft.	111.43 Sq.M.	1,199.45 Sq.Ft.	111.43 Sq.M.	1	
UNIT A2 - 2STOREY TH	2 BED RM. + 2.5BATH RM. +DEN	3	0	0	0	1,224.13 Sq.Ft.	113.72 Sq.M.	3,672.39 Sq.Ft.	341.17 Sq.M.	3	
UNIT A3 - 2STOREY TH	2 BED RM. + 2.5BATH RM.	1	0	0	0	1,205.93 Sq.Ft.	112.03 Sq.M.	1,205.93 Sq.Ft.	112.03 Sq.M.	1	
UNIT B - 2STOREY TH	3 BED RM. + 2.5BATH RM. + DEN	1	0	0	0	1,492.87 Sq.Ft.	138.69 Sq.M.	1,492.87 Sq.Ft.	138.69 Sq.M.	1	
UNIT C - 2STOREY TH	4 BED RM. + 3BATH RM.	1	0	0	0	1,846.12 Sq.Ft.	171.50 Sq.M.	1,846.12 Sq.Ft.	171.50 Sq.M.	1	
UNIT D	1 BED RM. + 1BATH RM.	0	1	6	6	482.13 Sq.Ft.	44.79 Sq.M.	6,267.69 Sq.Ft.	582.27 Sq.M.	13	
UNIT D1	1 BED RM. + 1BATH RM.	0	0	1	2	644.25 Sq.Ft.	59.85 Sq.M.	3,221.25 Sq.Ft.	299.25 Sq.M.	5	
UNIT D2	1 BED RM. + 1BATH RM.	0	0	0	2	587.04 Sq.Ft.	54.54 Sq.M.	2,348.16 Sq.Ft.	218.14 Sq.M.	4	
UNIT D3	1 BED RM. + 1BATH RM.	0	0	0	1	632.39 Sq.Ft.	58.75 Sq.M.	1,264.78 Sq.Ft.	117.50 Sq.M.	2	
UNIT D4	1 BED RM. + 1BATH RM.	0	1	0	0	586.89 Sq.Ft.	54.52 Sq.M.	586.89 Sq.Ft.	54.52 Sq.M.	1	
UNIT E	1 BED RM. + 1BATH RM.	0	0	1	0	558.10 Sq.Ft.	51.85 Sq.M.	558.10 Sq.Ft.	51.85 Sq.M.	1	
UNIT F	2 BED RM. + 2BATH RM.	0	0	1	0	780.42 Sq.Ft.	72.50 Sq.M.	780.42 Sq.Ft.	72.50 Sq.M.	1	
UNIT G	STUDIO	0	0	0	1	404.28 Sq.Ft.	37.56 Sq.M.	808.56 Sq.Ft.	75.12 Sq.M.	2	
UNIT H	3 BED RM. + 2BATH RM.	0	0	0	1	945.16 Sq.Ft.	87.81 Sq.M.	1,890.32 Sq.Ft.	175.61 Sq.M.	2	
UNIT H1	3 BED RM. + 2BATH RM.	0	0	0	1	1,028.74 Sq.Ft.	95.57 Sq.M.	2,057.48 Sq.Ft.	191.14 Sq.M.	2	
UNIT I	3 BED RM. + 2BATH RM. + DEN	0	0	0	1	1,036.19 Sq.Ft.	96.26 Sq.M.	2,072.38 Sq.Ft.	192.52 Sq.M.	2	
UNIT J	2 BED RM. + 2BATH RM. + DEN	0	0	0	5	817.62 Sq.Ft.	75.96 Sq.M.	8,176.20 Sq.Ft.	759.57 Sq.M.	10	
UNIT J1	2 BED RM. + 2BATH RM.	0	0	0	1	850.47 Sq.Ft.	79.01 Sq.M.	1,700.94 Sq.Ft.	158.02 Sq.M.	2	
UNIT J2	2 BED RM. + 2BATH RM. + DEN	0	0	0	3	864.24 Sq.Ft.	80.29 Sq.M.	5,185.44 Sq.Ft.	481.73 Sq.M.	6	
UNIT J3	2 BED RM. + 2BATH RM. + DEN	0	0	2	4	941.08 Sq.Ft.	87.43 Sq.M.	9,410.80 Sq.Ft.	874.26 Sq.M.	10	
UNIT K	1 BED RM. + 1BATH RM.	0	0	0	5	531.87 Sq.Ft.	49.41 Sq.M.	2,659.35 Sq.Ft.	247.05 Sq.M.	5	
UNIT L	3BED RM. + 2BATH RM.	0	0	0	1	968.33 Sq.Ft.	89.96 Sq.M.	1,936.66 Sq.Ft.	179.92 Sq.M.	2	
UNIT L1	3BED RM. + 2BATH RM. + DEN	0	0	0	1	945.01 Sq.Ft.	87.79 Sq.M.	1,890.02 Sq.Ft.	175.58 Sq.M.	2	
UNIT M	2 BED RM. + 2BATH RM.	0	0	0	1	902.99 Sq.Ft.	83.89 Sq.M.	1,805.98 Sq.Ft.	167.78 Sq.M.	2	
UNIT N	3BED RM. + 2BATH RM.	0	0	0	1	924.27 Sq.Ft.	85.86 Sq.M.	924.27 Sq.Ft.	85.86 Sq.M.	1	
UNIT O	1 BED RM. + 1BATH RM.	0	0	0	1	843.33 Sq.Ft.	78.35 Sq.M.	843.33 Sq.Ft.	78.35 Sq.M.	1	
UNIT P	STUDIO	0	0	0	1	374.84 Sq.Ft.	34.82 Sq.M.	749.68 Sq.Ft.	69.65 Sq.M.	2	
TOTAL NO. OF UNITS		14	2	11	33	32		76,117.39 Sq.Ft.	7,071.31 Sq.M.	92	
<b>COMMERCIAL/ OFFICES</b>											
TOTAL AREA							27,002.19 Sq.Ft.	2,508.50 Sq.M.			

OFF STREET PARKING				
<b>RESIDENTIAL</b>				
UNIT TYPE	NO. OF UNITS	CARS PER	NO. OF CARS	SAY
STUDIO	4	1.3	5.2	5
1 BEDROOM	30	1.3	39	39
2 BEDROOM	32	1.5	48	48
3 BEDROOM	11	1.5	16.5	17
TOWNHOUSE	14	2	28	28
VISITOR PARKING	92	0.2	18.4	18
<b>TOTAL NO. OF RESIDENTIAL PARKING REQUIRED (INCLUDING VISITOR PARKING)</b>			155	
<b>TOTAL NO. OF RESIDENTIAL PARKING PROVIDED (INCLUDING VISITOR PARKING)</b>			184	
			155 STALLS IN U/G PARKADE	
			29 STALL LVL 1 (TWH)	
<b>COMMERCIAL/ OFFICES</b>				
TYPE	AREA	CARS PER 100	NO. OF CARS	SAY
RETAIL	1,273.93 Sq. M.	3	38.2	38
OFFICES	1,234.58 Sq. M.	2.5	30.9	31
<b>TOTAL NO. OF COMMERCIAL/ OFFICES PARKING REQUIRED</b>			69	
<b>TOTAL NO. OF COMMERCIAL/ OFFICES PARKING PROVIDED</b>			73	
			20 STALL LVL 1	
			53 STALL LVL 2	
<b>NO. OF PARKING PROVIDED (COMMERCIAL + RESIDENTIAL)</b>				
<b>TOTAL NO. OF SMALL CAR PARKING PROVIDED</b>			46	18%
<b>TOTAL NO. OF ACCESSIBLE CAR PARKING PROVIDED (INCLUDING VAN ACCESSIBLE STALLS)</b>			8	3%
<b>TOTAL NO. OF VAN ACCESSIBLE CAR PARKING PROVIDED</b>			4	
<b>BICYCLE SPACES</b>				
REQ. BICYCLE SPACES	REQUIRED	PROVIDED		
VISITOR	6	6 SPACES AT GRADE		
RESIDENTS	1,2/D.U	110	120 SPACES AT U/G PARKADE	
<b>AMENITY SPACE</b>				
<b>INDOOR AMENITY</b>				
NO OF UNITS	AREA PER UNIT	REQUIRED	PROVIDED	
MICRO UNITS	4.00 Sq. Mt.	8.00 Sq. Mt.		
RES. UNITS	3.00 Sq. Mt.	270.00 Sq. Mt.		
<b>TOTAL INDOOR AMENITY AREA</b>		278.00 Sq. Mt.	286.20 Sq. Mt.	3,080.73 Sq. Ft.
<b>OUTDOOR AMENITY</b>				
NO OF UNITS	AREA PER UNIT	REQUIRED	PROVIDED	
MICRO UNITS	4.00 Sq. Mt.	8.00 Sq. Mt.		
RES. UNITS	3.00 Sq. Mt.	270.00 Sq. Mt.		
<b>RES. OUTDOOR AMENITY</b>			1,167.75 Sq. Mt.	12,569.98 Sq. Ft.
<b>OFFICES OUTDOOR AMENITY</b>			409.48 Sq. Mt.	4,407.72 Sq. Ft.
<b>TOTAL OUTDOOR AMENITY AREA</b>		278.00 Sq. Mt.	1,577.23 Sq. Mt.	16,977.70 Sq. Ft.



PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:  
**IOM**  
IOM - 10308 ST. AVE. SURREY, BC

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DRAWING: **SO**  
CHECKED: **NN**  
SCALE:  
JOB NO: **SUR - 168**  
DATE: **MARCH 2022**  
SHEET TITLE:

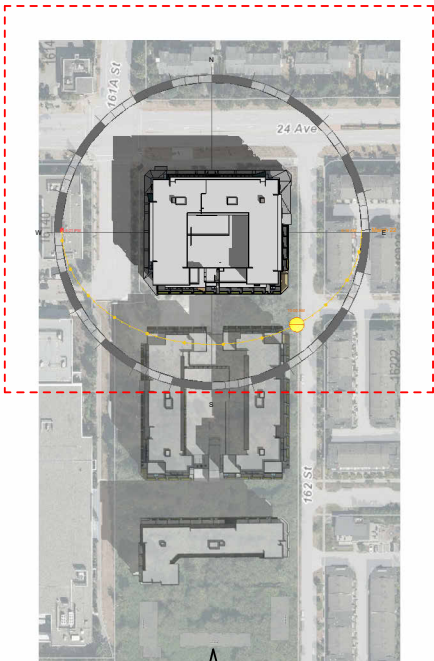
LOT A - DEVELOPMENT DATA

DRAWING:  
**A-002.A** **D**

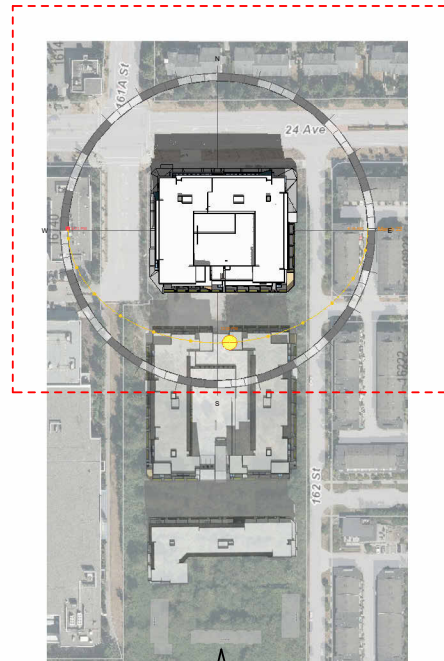
NOTES:



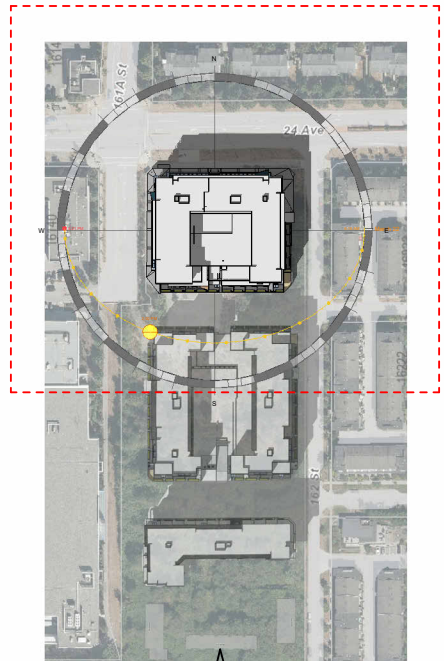
- DASHED LINE INDICATE SUBJECT STUDIED LOT



1 EQ MARCH - 10AM  
A-004.A



2 EQ MARCH - NOON  
A-004.A



3 EQ MARCH - 2PM  
A-004.A

NO.	DATE	DESCRIPTION



200-1880 SHELLBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2G9  
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info@dfarchitecture.ca

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**  
IOM  
16172 24 AVENUE, SURREY, BC

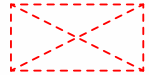
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JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE:	

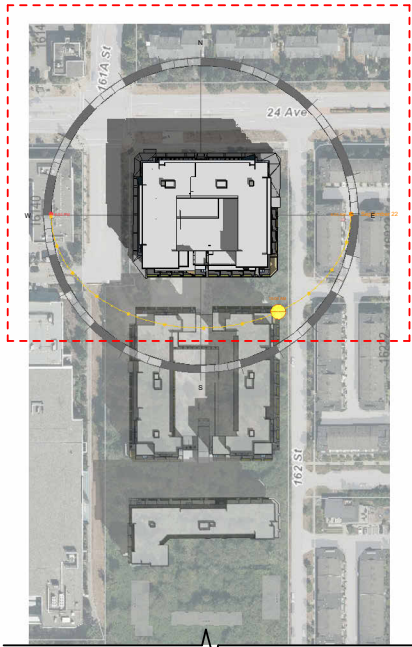
LOT A - SHADOW ANALYSIS

DRAWING NO.	<b>A-004.A</b>
SHEET NO.	<b>D</b>

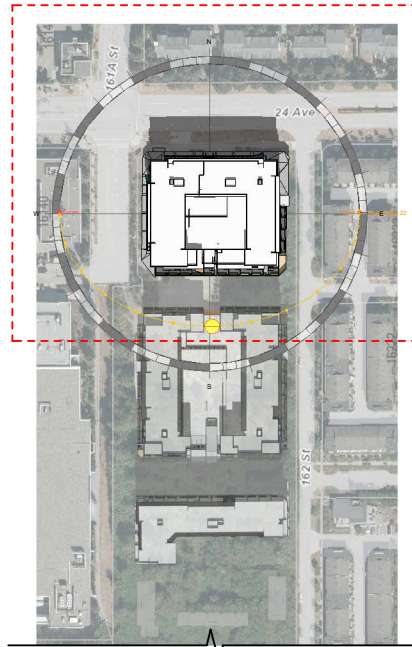
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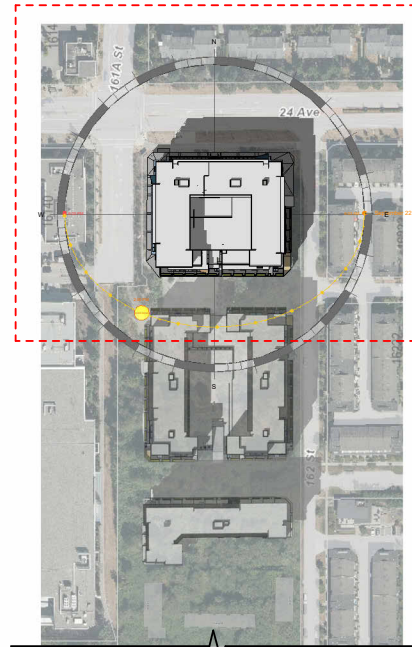
- DASHED LINE INDICATE SUBJECT STUDIED LOT



1 EQ SEPTEMBER - 10AM  
A-005.A



2 EQ SEPTEMBER - NOON  
A-005.A



3 EQ SEPTEMBER - 2PM  
A-005.A

NO. 1	DATE	DESCRIPTION



300-11801 BRILLIANTWAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 3Z8  
T: 604.273.6100 F: 604.273-0111  
info@dfarchitect.com

PROJECT:  
**MIXED USE DEVELOPMENT  
16172 24 AVENUE, SURREY,  
B.C.**

CLIENT:  
**IOM**  
IOM  
100-11808 ST AVE, SURREY, BC

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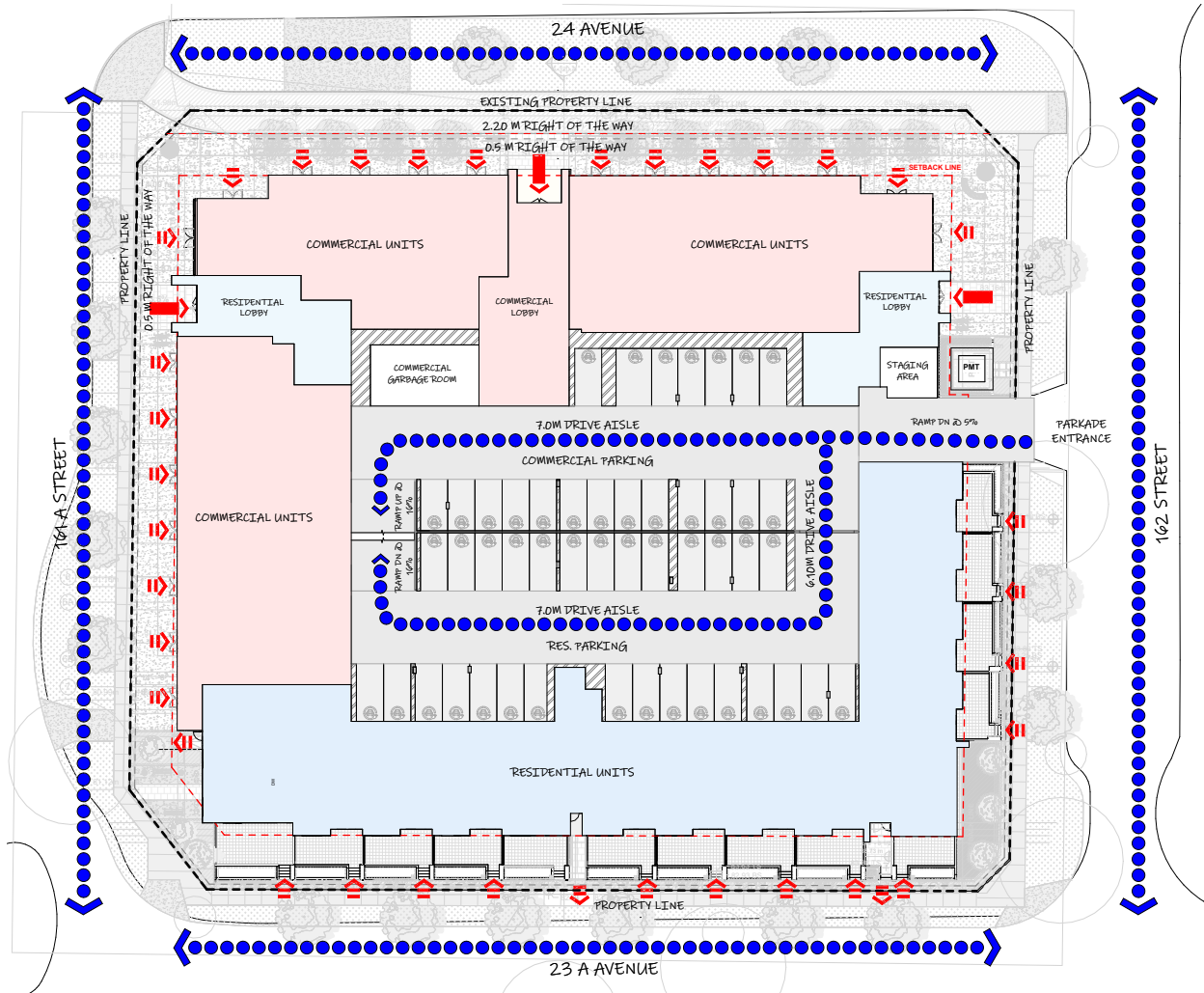
DRAWING NO:	SO
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JOB NO:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT A - SHADOW ANALYSIS CONT'D

DRAWING NO:	<b>A-005.A</b>
SHEET NO.:	<b>D</b>



NOTES:



**LEGEND**

PEDESTRIAN CIRCULATION

VEHICULAR CONNECTION TO DEVELOPMENT

1	DATE
2	REVISION
3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION
8	REVISION
9	REVISION
10	REVISION

**df**  
ARCHITECTURE inc.

305 - 11801 BELLINGHAW WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 3J9  
T: 604.276.3111 F: 604.276.0111  
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PROJECT:  
**MIXED USE DEVELOPMENT**  
16172 24 AVENUE, SURREY,  
B.C.

CLIENT:  
**IOM**

IOM  
1001-1300H ST AVE. SURREY BC  
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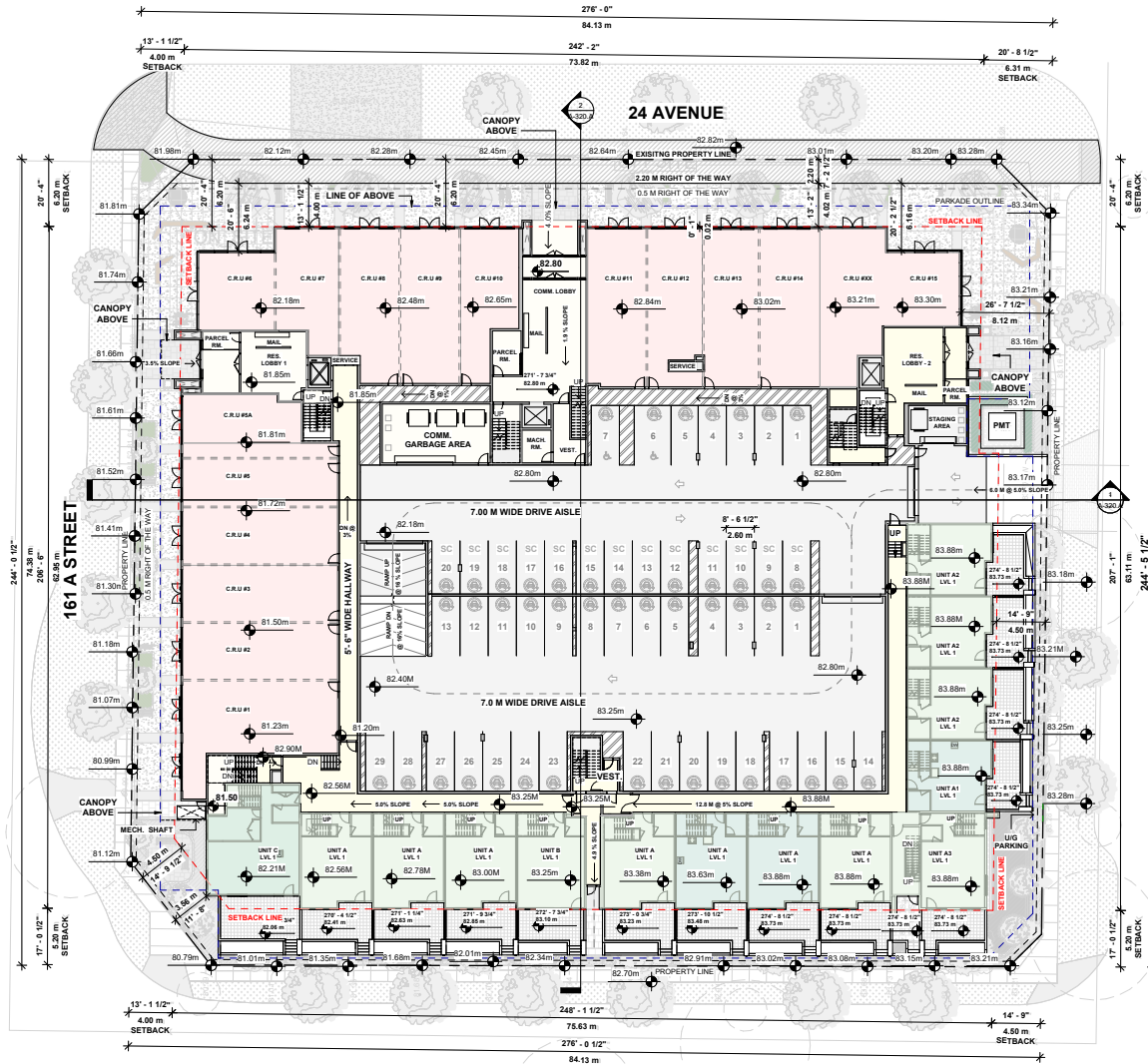
DRAWING NO:	SO
CHECKED BY:	NN
SCALE:	1/16" = 1'-0"
JOB NO:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT A - SITE ANALYSIS

1 SITE ANALYSIS  
A-006.A 1/16" = 1'-0"

DRAWING NO:  
**A-006.A**

D



NOTES:



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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**df**  
ARCHITECTURE inc.

200-1085 BELLEMEWS WAY  
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CANADA V6V 1G6  
TEL: 604-276-3411  
WWW.DFAAARCHITECTURE.COM

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,  
B.C.**

CLIENT:  
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IOM  
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SCALE:	1/8" = 1'-0"
FORM:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

**I** Site Plan  
**A-100.A** 1/16" = 1'-0"

LOT A - SITE PLAN

23 A AVENUE

DRAWING No:	<b>A-100.A</b>	<b>D</b>
-------------	----------------	----------

**CODE CONFORMANCE DRAWINGS**  
Issued for DP  
DATE: June 27, 2023

**LEGEND:**

- Principal Entrance
- Travel Distance
- Fire Department Access Route
- Fire Hydrant
- Fire Department Connection
- 2-Hour Firewall






305-1885 BELLBROOK WAY  
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**MIXED USE DEVELOPMENT**  
**16127 24 AVENUE, SURREY, B.C.**

**CLIENT:**  
**IOM**

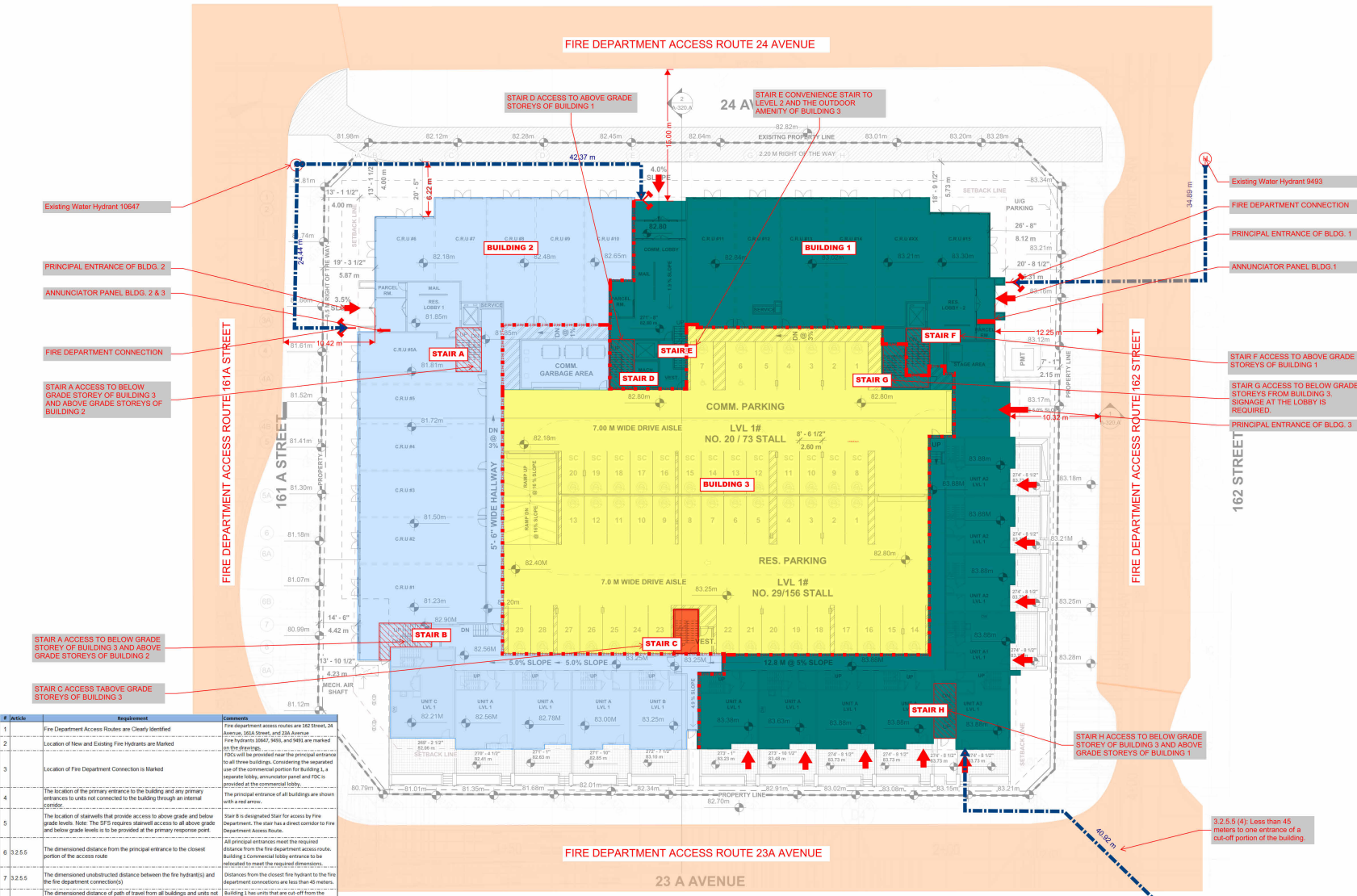
**IOM**  
100-11308 ST. JAMES STREET, VANCOUVER, BC  
V6P 4M1  
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WWW.IOMBC.COM

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CHECKED BY:	NN
SCALE:	1/16" = 1'-0"
FOR NO.:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

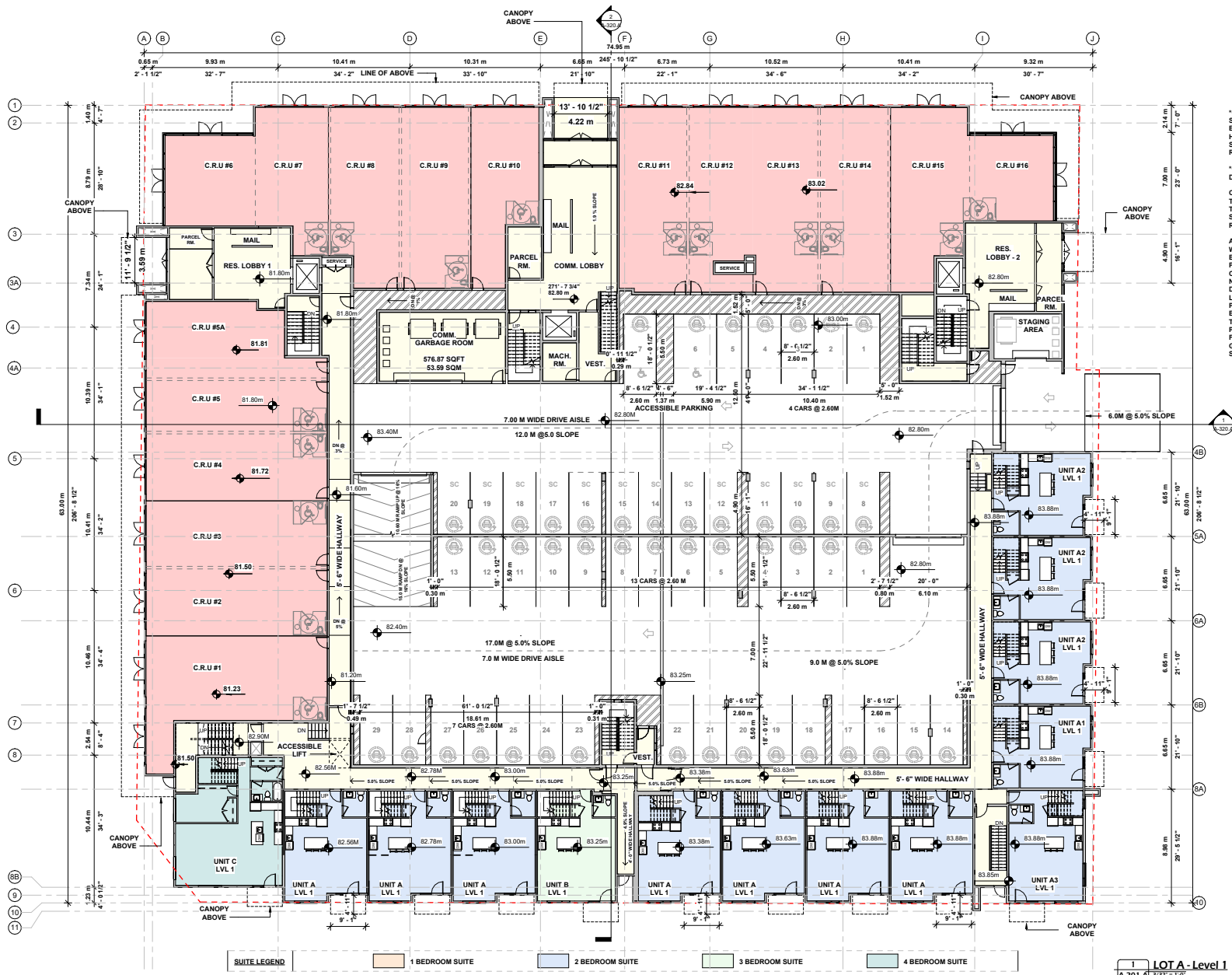
**LOT A - FIRE DEPARTMENT SITE PLAN**

DRAWING NO.:	<b>A-101.A</b>	<b>D</b>
--------------	----------------	----------



#	Article	Requirement	Comments
1	1	Fire Department Access Routes are Clearly Identified	Fire department access routes are 162 Street, 24 Avenue, 161 A Street, and 23A Avenue
2	2	Location of New and Existing Fire Hydrants are Marked	Fire hydrants (S402, S403, and S404) are marked on the drawings
3	3	Location of Fire Department Connection is Marked	FDCC will be provided near the principal entrance to all three buildings. Considering the required use of the commercial portion for Building 1, a separate lobby, annunciator panel and FDCC is provided at the commercial lobby.
4	4	The location of the primary entrance to the building and any primary entrances to units not connected to the building through an internal corridor.	The principal entrance of all buildings are shown with a red arrow
5	5	The location of stairwells that provide access to above grade and below grade levels is to be provided at the primary response point.	There is designated stair for access by the Fire Department. The stair has a direct corridor to fire department access route.
6	32.5.5	The dimensioned distance from the principal entrance to the closest portion of the access route	All principal entrances meet the required distance from the fire department access route.
7	32.5.5	The dimensioned unobstructed distance between the fire hydrant(s) and the fire department connection(s)	There is designated stair for access by the Fire Department. The stair has a direct corridor to fire department access route.
8	32.5.5	The dimensioned distance of path of travel from all buildings and units not connected by a common interior corridor between the furthest primary access point to the location of the nearest fire access route.	Building 1 has units that are run-off from the lobby. The units are within 45 meters of fire hydrant(s).
9	32.5.6	The access route that must be designed to support a minimum weight of 30,000 lbs (80,000 lbs).	Access routes are public roads.
10	32.5.6	The dimensioned width of the access route	Access routes are public roads, and meet the minimum 4 meter width requirements.
11	32.5.6	The dimensioned centre-line radius of the access route	N/A
12	32.5.6	Identify any portions of the access route that will have an overhead clearance of less than 5 m (16.4 ft)	N/A
13	32.5.6	The dimensioned distance for any dead-end portion of the access route	N/A
14	32.5.6	Identify any portions of the access route that will have a change of gradient greater than 1 in 12.5 over a minimum distance of 15 m (49.2 ft)	N/A

**1 FIRE DEPARTMENT SITE PLAN**  
**A-101.A 1/16" = 1'-0"**



NOTES:

- \*CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACES AND 50% OF VISITOR PARKING SPACES, AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2 OR A HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING, AS DEFINED BY SAE INTERNATIONAL'S 11772 STANDARD, AS AMENDED OR REPLACED FROM TIME TO TIME, FOR EACH SUCH PARKING SPACE.
- \*GARAGE CLEAR HEIGHT IS 2.3M UP TO ACCESSIBLE STALLS AND DRIVE AISLES AND 2.1M BEYOND.
- OPTED REQUIREMENTS FOR UNDERGROUND PARKING THE FOLLOWING IS A SUMMARY OF OPTED REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY THE SURREY RCMP.
  - A) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
  - B) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN U/G PARKING.
  - C) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN U/G PARKING AND STAIRWELLS.
  - D) PROVIDE VISION PANELS IN ALL DOORS IN U/G PARKING LEADING PUBLICLY ACCESSIBLE AREAS.
  - E) ELEVATOR LOBBY IN U/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
  - F) ENSURE ADEQUATE LIGHTING THROUGHOUT THE U/G PARKING.
  - G) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATERBOARDERS.

DATE	DESCRIPTION



100-1085 BELLINGHAW AVE  
 RICHMOND, BRITISH COLUMBIA  
 V6X 3E9  
 TEL: 604-273-1111  
 WWW.DFAARCHITECTURE.COM

PROJECT:

**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:

**IOM**  
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 1001-1008 BELLINGHAW AVE  
 RICHMOND, BRITISH COLUMBIA  
 V6X 3E9  
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DRAWN: SO  
 CHECKED: NN  
 SCALE: As indicated  
 JOB NO: SUR - 168  
 DATE: MARCH 2022  
 SHEET TITLE:

LOT A - FLOOR PLAN (LEVEL-1)

DRAWING NO: **A-201.A** **D**

1 LOT A - Level 1  
 A-201.A 3/32 - 1/0'



NOTES:



\*CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACES AND 50% OF VISITOR PARKING SPACES, AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2 OR A HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING, AS DEFINED BY SAE INTERNATIONAL'S 11772 STANDARD, AS AMENDED OR REPLACED FROM TIME TO TIME, FOR EACH SUCH PARKING SPACE.

\*GARAGE CLEAR HEIGHT IS 2.3M UP TO ACCESSIBLE STALLS AND DRIVE AISLES AND 2.1M BEYOND.

CPED REQUIREMENTS FOR UNDERGROUND PARKING THE FOLLOWING IS A SUMMARY OF CPED REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY THE SURREY RCMP.

- A) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
- B) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN UIG PARKING.
- C) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN UIG PARKING AND STAIRWELLS.
- D) PROVIDE VISION PANELS IN ALL DOORS IN UIG PARKING LEADING PUBLICLY ACCESSIBLE AREAS.
- E) ELEVATOR LOBBY IN UIG PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
- F) ENSURE ADEQUATE LIGHTING THROUGHOUT THE UIG PARKING.
- G) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.

DATE	DESCRIPTION
2022-03-01	ISSUED FOR PERMITTING
2022-02-15	REVISED PER COMMENTS
2022-02-01	ISSUED FOR PERMITTING
2022-01-15	REVISED PER COMMENTS
2022-01-01	ISSUED FOR PERMITTING
2021-12-15	REVISED PER COMMENTS
2021-12-01	ISSUED FOR PERMITTING
2021-11-15	REVISED PER COMMENTS
2021-11-01	ISSUED FOR PERMITTING



200-1080 BELLBROOK AVENUE  
RICHMOND, BRITISH COLUMBIA  
V6X 1S6  
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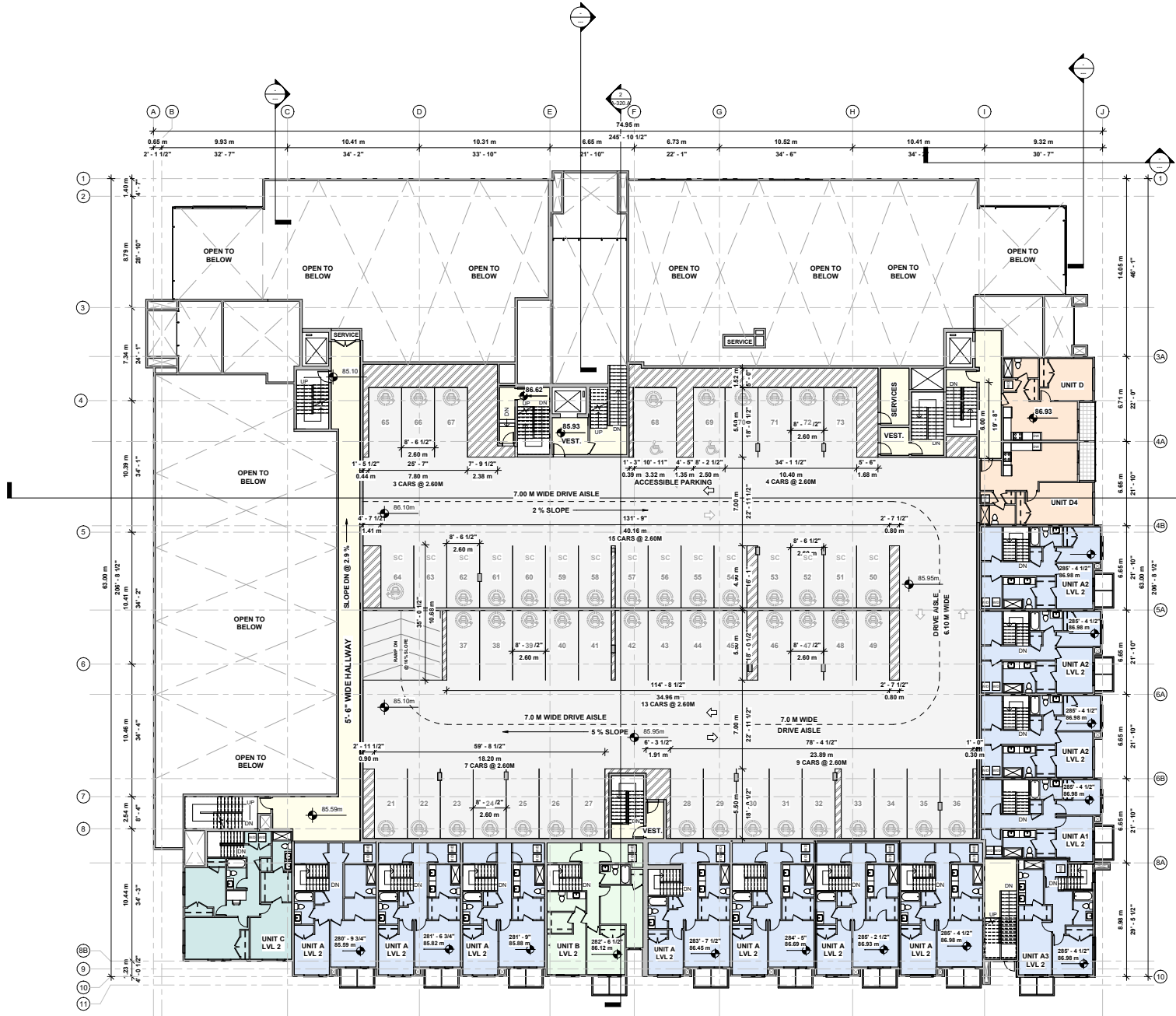
PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**  
IOM  
16172 24 AVENUE, SURREY, BC

DRAWING NO.	A-202.A
CHECKED BY	NN
SCALE	As Indicated
FORM NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

LOT A - FLOOR PLAN  
(LEVEL-2)

DRAWING NO. **A-202.A** **D**



SUITE LEGEND	1 BEDROOM SUITE	2 BEDROOM SUITE	3 BEDROOM SUITE	4 BEDROOM SUITE
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1 LOT A - Level 2  
A-202.A 3/22 - 1/0'



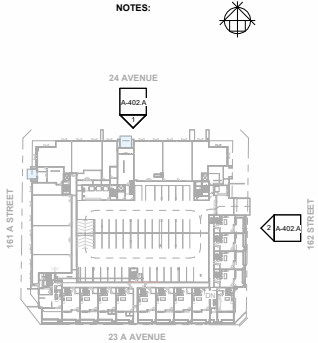
1 North Elevation (24 AVENUE)  
A-300.A 1" = 10'-0"



2 East Elevation (162 STREET)  
A-300.A 1" = 10'-0"

**SCHEDULE OF FINISHES**

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>1. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7647 CRUSHED ICE - REVEAL COLOR MATCHED</li> <li>2. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7647 CRUSHED ICE</li> <li>3. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7017 DORIAN GRAY - REVEAL COLOR MATCHED</li> <li>4. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7645 THUNDER GRAY - REVEAL COLOR MATCHED</li> <li>5. SEA GRAY 6 - HEBRON BRICK - SUPER SCOTTY 3/2-13/16"X13/8"</li> <li>6. ALUMINUM - AL 13 COLOR TO MATCH COLOR: SW 7607 MARSA BLAK</li> <li>7. ALUMINUM - AL 13 COLOR TO MATCH COLOR: SW 6129 RESTRAINED GOLD</li> </ul> | <ul style="list-style-type: none"> <li>8. WOODTONE RUSTIC - SERIES LAP COLOR: SUMMER WHEAT</li> <li>9. SOFFIT - WOODTONE RUSTIC - SERIES PROFILE COLOR: SUMMER WHEAT</li> <li>10. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK</li> <li>11. WINDOW WALL SYSTEM COLOR: (TRANSPARENT), MULLION COLOR TO MATCH STANDARD BLACK</li> <li>12. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: SW 7645 THUNDER GRAY</li> <li>13. SLIDING DOOR SYSTEM COLOR: (TRANSPARENT), COLOR: STANDARD BLACK</li> <li>14. GLASS DOORS COLOR - STANDARD BLACK</li> <li>15. GLASS AWNING C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK WITH TRANSPARENT GLASS</li> </ul> |
|---|---|



NOTES:




200 - 1888 BELLBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 3Z9  
TEL: 604-273-8111  
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PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:  
**IOM**

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DATE:	MARCH 2022
SHEET TITLE:	

LOT A - ELEVATIONS

DRAWING NO.	A-300.A	D
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1 South Elevation (23A AVENUE)  
A-301.A 1"=10'-0"

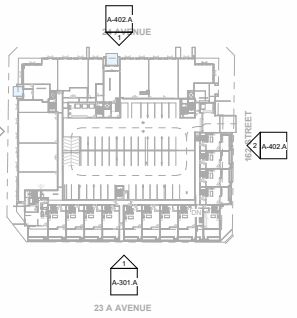
**SCHEDULE OF FINISHES**

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>1. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7647 CRUSHED ICE - REVEAL COLOR MATCHED</li> <li>2. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7647 CRUSHED ICE</li> <li>3. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7017 DORIAN GRAY - REVEAL COLOR MATCHED</li> <li>4. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7645 THUNDER GRAY - REVEAL COLOR MATCHED</li> <li>5. SEA GRAY 6 - HEBRON BRICK - SUPER SCOTTY 3" x 13" 16" 11/5/8</li> <li>6. ALUMINUM - AL 13 COLOR TO MATCH COLOR: SW 7607 MAREA BAJA</li> <li>7. ALUMINUM - AL 13 COLOR TO MATCH COLOR: SW 6129 RESTRAINED GOLD</li> </ul> | <ul style="list-style-type: none"> <li>8. WOODTONE RUSTIC - SERIES LAP COLOR: SUMMER WHEAT</li> <li>9. SOFFIT - WOODTONE RUSTIC SERIES PROFILE COLOR: SUMMER WHEAT</li> <li>10. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK</li> <li>11. WINDOW WALL SYSTEM COLOR: (TRANSPARENT), MULLION COLOR TO MATCH STANDARD BLACK</li> <li>12. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: SW 7645 THUNDER GRAY</li> <li>13. SLIDING DOOR SYSTEM COLOR: (TRANSPARENT), COLOR: STANDARD BLACK</li> <li>14. GLASS DOORS COLOR: STANDARD BLACK</li> <li>15. GLASS AWNING C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK WITH TRANSPARENT GLASS</li> <li>16. FLASHINGS COLOR TO MATCH: SW 7647 CRUSHED ICE</li> <li>17. FLASHINGS COLOR TO MATCH: SW 7017 DORIAN GRAY</li> <li>18. FLASHINGS COLOR TO MATCH: SW 7645 THUNDER GRAY</li> <li>19. CONCRETE CAPPING</li> <li>20. SPANDREL PANEL COLOR TO MATCH: SW 7645 THUNDER GRAY</li> <li>21. PRIVACY SCREEN - TINTED GLASS AND STANDARD BLACK ALUMINUM MULLION</li> <li>22. POWDER COATED ALUMINUM RAILING COLOR: STANDARD BLACK GLASS (TRANSPARENT) COLOR</li> <li>23. C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK</li> <li>24. FLASHINGS COLOR TO MATCH: SW 6129 RESTRAINED GOLD</li> <li>25. TRELLIS OVER DRIVEWAY ENTRANCE - LONGBOARD - LIGHT NATIONAL WALNUT</li> <li>26. GREEN WALL</li> </ul> |
|--|---|



2 West Elevation (161A STREET)  
A-301.A 1"=10'-0"

NOTES:



DATE	DESCRIPTION
2022-03-01	ISSUED FOR PERMIT
2022-02-15	REVISED PER COMMENTS
2022-02-01	ISSUED FOR APPLICATION



200-1080 BELLBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 3Z9  
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PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:  
**IOM**  
IOM  
16172 24 AVE, SURREY BC

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CHECKED BY	NN
SCALE	As Indicated
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	LOT A - ELEVATIONS

LOT A - ELEVATIONS

DRAWING NO.	A-301.A
SHEET TITLE	D

NOTES:



1. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7647 CRUSHED ICE - REVEAL COLOR MATCHED



2. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7645 THUNDER GRAY - REVEAL COLOR MATCHED



3. ALUMINIUM - AL 13 COLOR: SD347 COBALT



4. WINDOW WALL SLABYPASS SYSTEM COLOR: STANDARD BLACK



5. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7647 CRUSHED ICE



6. SEA GRAY 6 - HEBRON BRICK - SUPER SCOTTY



7. SPANDREL PANEL COLOR TO MATCH : SW 7645 THUNDER GRAY



8. STORE FRONT GLAZING COLOR: STANDARD BLACK



NO.	DESCRIPTION
1	DATE
2	BY
3	APP. BY
4	DATE
5	BY
6	APP. BY
7	DATE
8	BY
9	APP. BY
10	DATE



200-11801 BELLBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
V6X 2C6 CANADA  
T: 604.276.8111  
E: info@dfarch.com

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

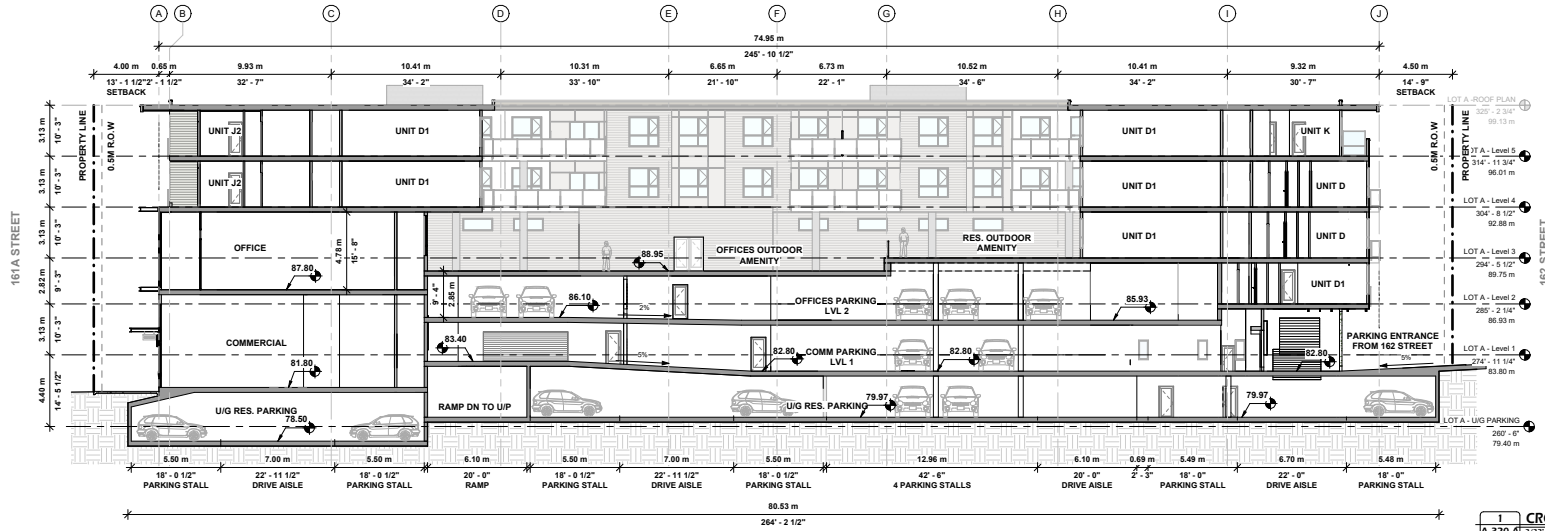
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**IOM**

**IOM**  
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SCALE:	
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DATE:	MARCH 2022
SHEET TITLE:	

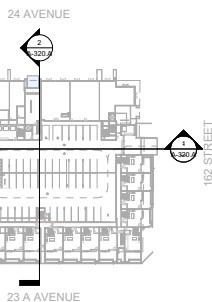
LOT A - MATERIAL BOARD

DRAWING NO:	<b>A-302.A</b>
SHEET TITLE:	<b>D</b>



**1 CROSS SECTION - 1**  
A-320.A 3/32-170'

NOTES:



PROJECT	16121 24 AVENUE, SURREY, B.C.
CLIENT	ION
DATE	MARCH 2022
SHEET TITLE	LOT A - BUILDING SECTIONS

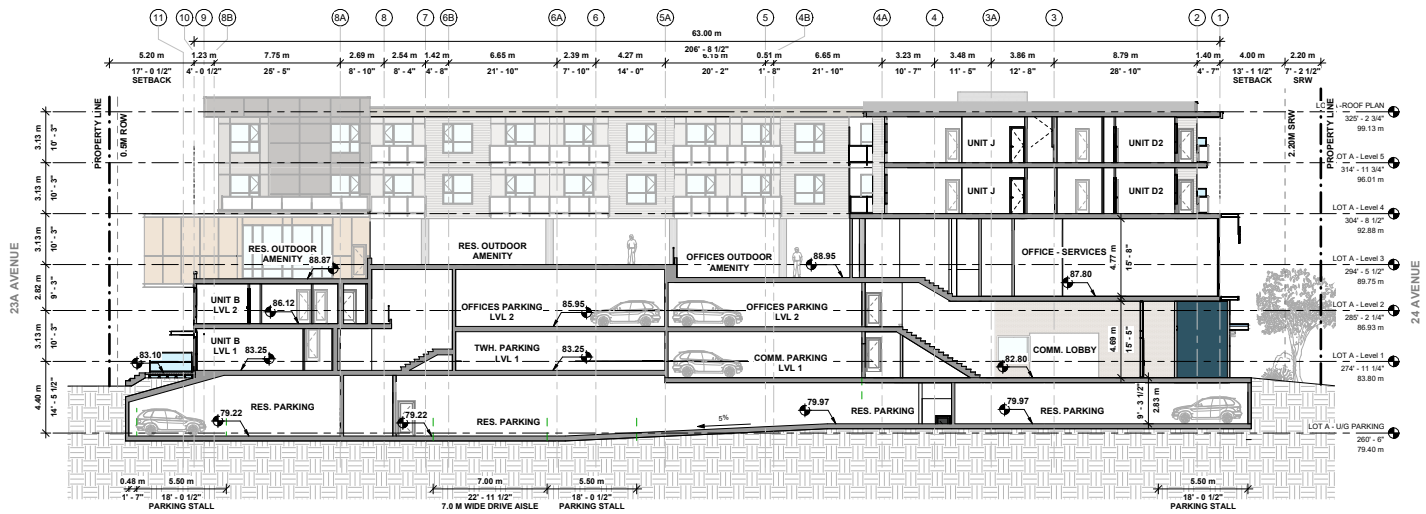


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PROJECT	16121 24 AVENUE, SURREY, B.C.
CLIENT	ION
DATE	MARCH 2022
SHEET TITLE	LOT A - BUILDING SECTIONS

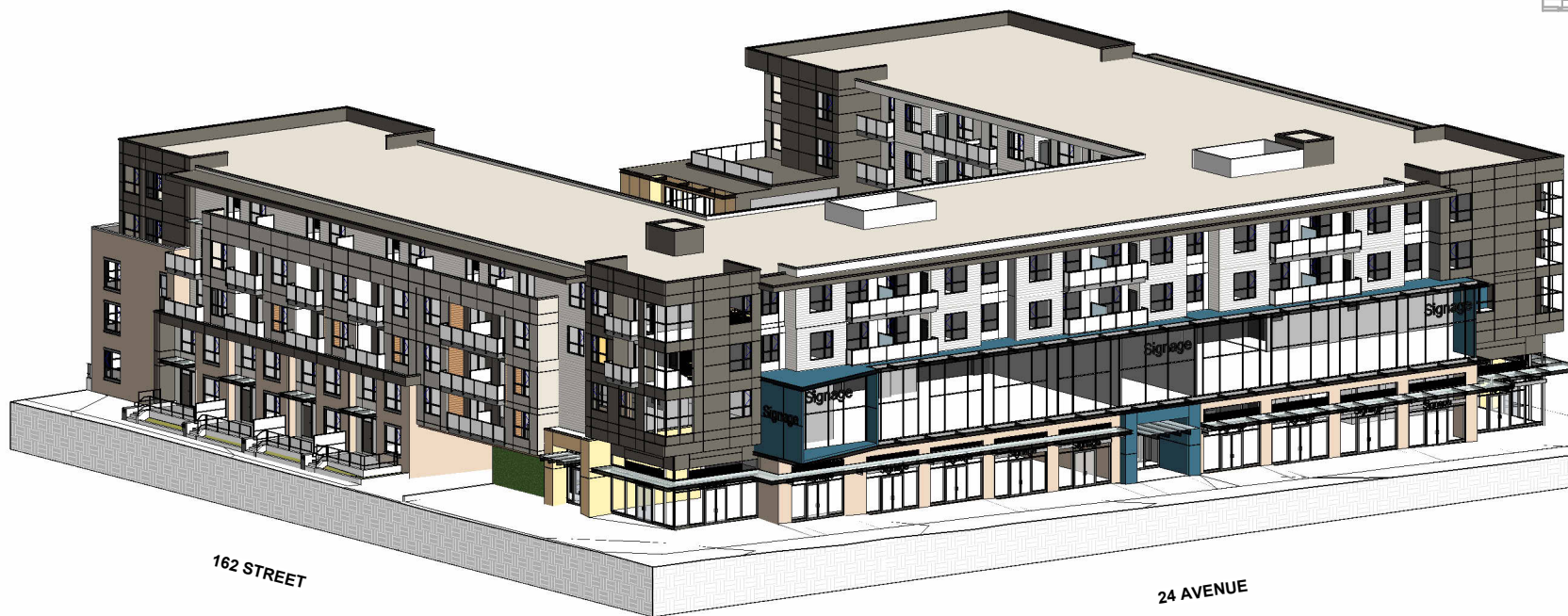
LOT A - BUILDING SECTIONS

DRAWING NO.	A-320.A	D
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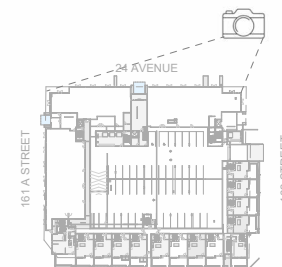


**2 CROSS SECTION - 2**  
A-320.A 3/32-170'





NOTES:



23 A AVENUE

162 STREET

24 AVENUE

NO.	DESCRIPTION
1	REVISIONS
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS
6	REVISIONS
7	REVISIONS
8	REVISIONS
9	REVISIONS
10	REVISIONS

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PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**

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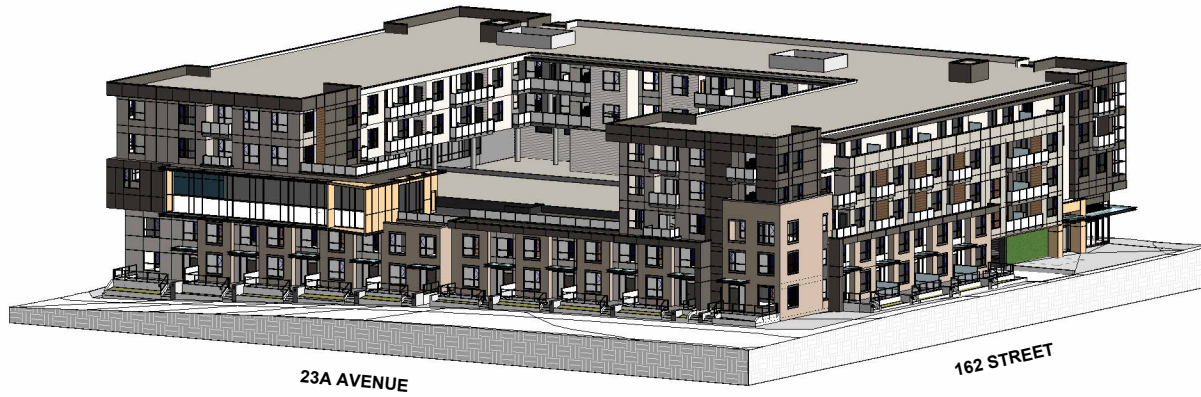
DRAWING NO.	SO
CHECKED BY	NN
SCALE	1/8" = 1'-0"
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE:	

1  
A-350.A 3D-VIEW.1

LOT A - 3D VIEWS

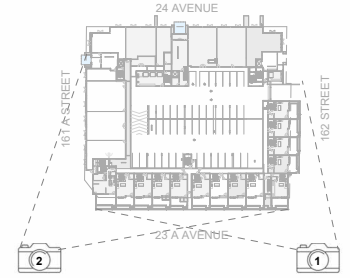
DRAWING NO.	<b>A-350.A</b>	<b>D</b>
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NOTES:



23A AVENUE

162 STREET



1 3D-VIEW-1  
A-351.A

NO.	DESCRIPTION
1	3D-VIEW-1
2	3D-VIEW-2



305-11801 BRILLIANTWAY AVENUE  
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PROJECT:  
**MIXED USE DEVELOPMENT  
16172 24 AVENUE, SURREY,  
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DRAWING NO.	SO
CHECKED BY	NN
SCALE	1/8" = 1'-0"
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

LOT A - 3D VIEWS



161A STREET

23A AVENUE

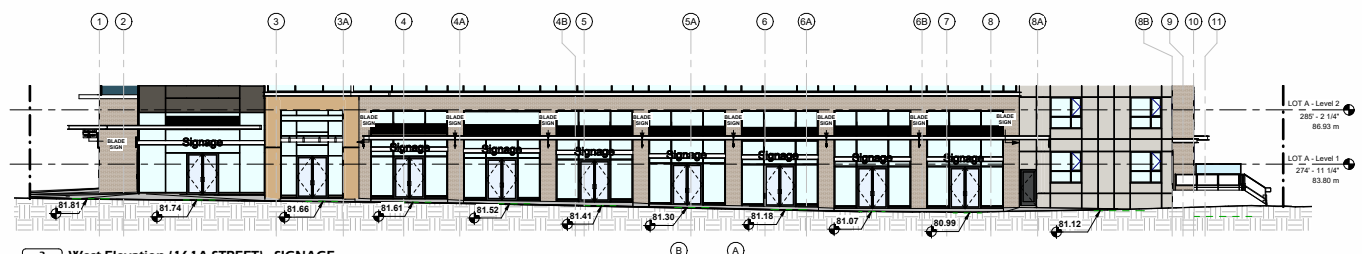
2 3D-VIEW-2  
A-351.A

DRAWING NO.	A-351.A	D
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NOTES:



1 North Elevation (24 AVENUE) - SIGNAGE  
A-401.A 1/4" = 10'-0"



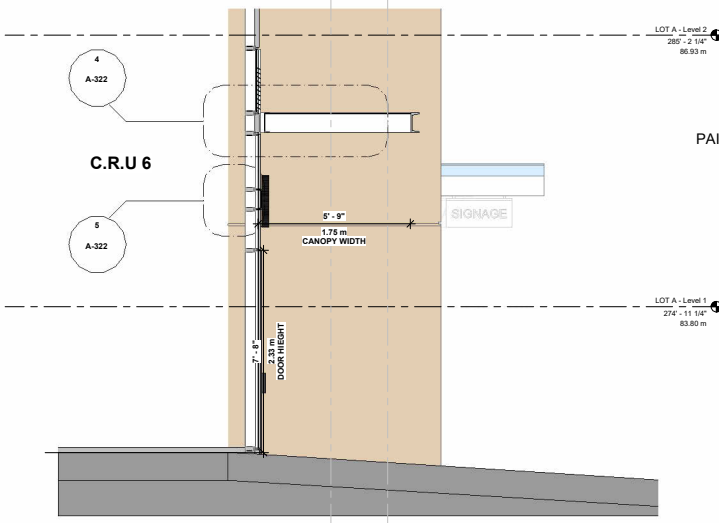
2 West Elevation (161A STREET) - SIGNAGE  
A-401.A 1/4" = 10'-0"



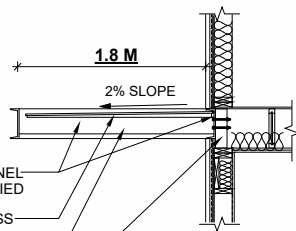
SAMPLE SIGNAGE 1:  
FRONTLIT LED SIGNAGE (2'-0" X 3" MAX)



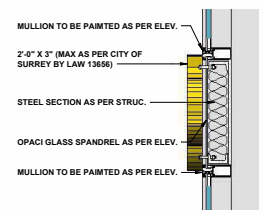
SAMPLE SIGNAGE 2:  
BACKLIT LED SIGNAGE (2'-0" X 3" MAX)



3 SIGNAGE DETAIL SECTION  
A-401.A 1/2" = 1'-0"



4 CANOPY DETAIL  
A-401.A 3/4" = 1'-0"



5 SIGNAGE DETAIL  
A-401.A 3/4" = 1'-0"

NO.	REVISION
1	ISSUED FOR PERMIT APPLICATION
2	ISSUED FOR PERMIT APPLICATION
3	ISSUED FOR PERMIT APPLICATION
4	ISSUED FOR PERMIT APPLICATION
5	ISSUED FOR PERMIT APPLICATION



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PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
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CHECKED BY	NN
SCALE	As Indicated
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

LOT A - SIGNAGE & CANOPY DETAILS

DRAWING NO.	A-401.A	D
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NOTES:

\*PROPOSED LOCATION OF THE OFFICE SIGNAGES TO BE DETERMINED BASED ON THE FUTURE TENANTS, (UP TO MAXIMUM 3 SIGNAGE)



1 North Elevation (24 AVENUE) SIGNAGE (LEVEL 2)  
A-402.A 1" = 10'-0"



2 East Elevation (162 STREET) SIGNAGE (LEVEL 2)  
A-402.A 1" = 10'-0"

1	DATE	DESCRIPTION



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PROJECT:	
MIXED USE DEVELOPMENT	
16172 24 AVENUE, SURREY, B.C.	
CLIENT:	
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DRAWING NO:	SO
CHECKED BY:	NN
SCALE:	1" = 10'-0"
JOB NO:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT A - SIGNAGE (LEVEL 2)

DRAWING NO:	<b>A-402.A</b>
SHEET NO.:	<b>D</b>

Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVITY\DP2022-02\_11722\_24TH AVENUE - DWG-SITE\FINAL\LOT3\BLOCK A\LA-01 BLOCK A - PLAN.DWG



**1 OVERALL SITE PLAN**  
Scale 1:200

**HARDSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
	1 LD-03 LD-03	CONCRETE / STAMPED CONCRETE
	2 LD-04B	CONCRETE UNIT PAVERS
		CONCRETE SIDEWALK
	4.3 LD-04B	HYDRAPRESSED GLASS Product: Travert Manufacturer: Belgard Colour: Desert Sand, Natural
	7.6 LD-04B	DRIP STRIP
	2 LD-03	BENCH
	6 LD-03	BIKE RACKS
		PUBLIC ART
	1 LD-01	FEATURE BENCH
	2 LD-01	PLANTER

**FENCING**

KEY	REF.	DESCRIPTION
	3 LD-05	1.8M PRIVACY FENCE
		PATIO - GLASS RAILING REFER TO ARCHITECTURE
	1 LD-06	GATE
	1.2 LD-05	CONCRETE WALL

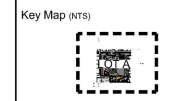
**SOFTSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
		EXISTING TREE
	2.4.5 LD-01	PROPOSED TREE
		SOD See Critical Landscape Notes for Specifications
	1.3 LD-01	SHRUB PLANTING/ HEDGE PLANTING
		LOW SHRUB PLANTING

**LIGHTING**

KEY	REF.	DESCRIPTION
		PATH LIGHT
		WALL LIGHT

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Fort Langley, BC | Vancouver, BC  
V1M 2R8 | V1T 3J7  
www.vdz.ca 604-882-0024



No.	By:	Description	Date
5	TM	Revised DP as per ADP comments	2023-09-25
4	TM	Issued for ADP	2023-08-16
3	TM	Issued for ADP	2023-06-23
2	DV	Issued for Review	2022-08-08
1	DV	Issued for Initial Review	2022-06-06

REVISIONS TABLE FOR DRAWINGS

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Project:  
Mixed-use Development - Lot A  
City of Surrey File #7916-0225-00

Location:  
16172 24th Avenue,  
Surrey, BC

Drawn: LD  
Checked: DV  
Approved: TM  
Scale: 1:200

Stamp:  
Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.



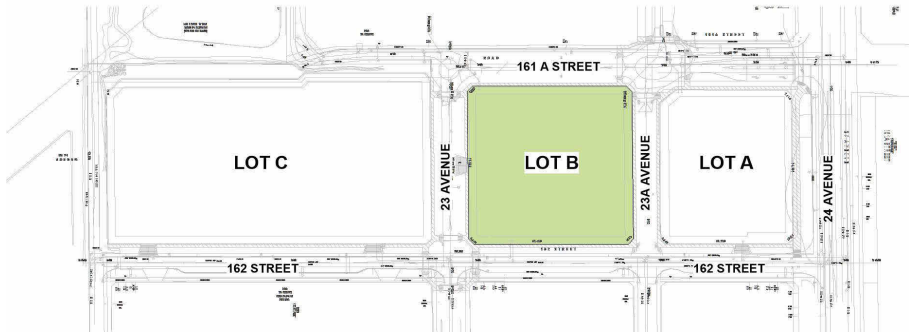
Drawing Title: **BLOCK A - SITE PLAN**  
 Drawing #: **LA-01**  
 Project #: **DP2022-02**  
 Drawing Title: **BLOCK A - SITE PLAN**

NOTES:



# LOT B

## MIXED USE DEVELOPMENT



Category	SHEET NO.	SHEET NAME	
SITE & INFO.	A-001.B	LOT B - COVER PAGE	
	A-002.B	LOT B - DEVELOPMENT DATA	
	A-003.B	LOT B - BASE PLAN	
	A-004.B	LOT B - SHADOW ANALYSIS	
	A-005.B	LOT B - SHADOW ANALYSIS CONTD	
	A-006.B	LOT B - SITE ANALYSIS	
	A-100.B	LOT B - SITE PLAN	
	A-101.B	FIRE DEPARTMENT SITE PLAN	
	A-200.B	LOT B - PARKING LEVEL 1	
	A-201.B	LOT B - U/G PARKING	
BUILDING & UNIT PLANS	A-202.B	LOT B - FLOOR PLAN (BUILDING 1 LEVEL-1)	
	A-203.B	LOT B - FLOOR PLAN (BUILDING 1 LEVEL-2)	
	A-204.B	LOT B - FLOOR PLAN (BUILDING 1 LEVEL-3)	
	A-205.B	LOT B - FLOOR PLAN (BUILDING 1 LEVEL-4)	
	A-206.B	LOT B - FLOOR PLAN (BUILDING 1 LEVEL-5)	
	A-207.B	LOT B - ROOF PLAN (BUILDING 1 LEVEL-ROOF)	
	A-208.B	LOT B - FLOOR PLAN (BUILDING 2 LEVEL-1)	
	A-209.B	LOT B - FLOOR PLAN (BUILDING 2 LEVEL-2)	
	A-210.B	LOT B - FLOOR PLAN (BUILDING 2 LEVEL-3)	
	A-211.B	LOT B - FLOOR PLAN (BUILDING 2 LEVEL-4)	
	A-212.B	LOT B - FLOOR PLAN (BUILDING 2 LEVEL-5)	
	A-213.B	LOT B - ROOF PLAN (BUILDING 2 LEVEL-ROOF)	
	A-220.B	LOT B - UNIT PLANS	
	A-221.B	LOT B - UNIT PLANS	
	A-222.B	LOT B - UNIT PLANS	
	A-223.B	LOT B - UNIT PLANS	
	ELEVATIONS & 3D VIEWS	A-300.B	LOT B - EAST ELEVATION
		A-301.B	LOT B - NORTH ELEVATION
A-302.B		LOT B - SOUTH ELEVATION	
A-303.B		LOT B - WEST ELEVATION	
A-304.B		LOT B - MATERIAL BOARD	
A-320.B		LOT B - BUILDING SECTIONS	
A-321.B		LOT B - BUILDING SECTIONS	
A-322.B		LOT B - SITE PLAN SECTIONS	
A-323.B		LOT B - PART SECTION 3 BLDG2	
A-350.B		LOT B - 3D VIEWS	
A-351.B		LOT B - 3D VIEWS	
A-400.B		RTU SCREENING & PRIVACY SCREEN DETAILS	






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PROJECT:	MIXED USE DEVELOPMENT 16172 24 AVENUE, SURREY, B.C.
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CHECKED BY:	NN
SCALE:	
JOB NO.:	SUR - 158
DATE:	MARCH 2022
SHEET TITLE:	

LOT B - COVER PAGE

DRAWING NO.	<b>A-001.B</b>	<b>C</b>
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NOTES:

DEVELOPMENT DATA				
LEGAL DESCRIPTION				
LOT 3, PLAN NWPS524, PART NW1/4, SECTION 13, TOWNSHIP 1, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN EPP80031				
CIVIC ADDRESS				
16172 24 AVENUE, SURREY, BC				
ZONING INFORMATION				
ZONE				
EXISTING	RF			
PROPOSED	CD			
LOT AREA				
NET SITE AREA	82,452.24 Sq.Ft.	7,660.00 Sq.Mt.	1.89 ac	0.77 ha
BUILDING HEIGHT				
PROPOSED	59.06 ft	18.00 Mt.	5 STOREYS	
LOT COVERAGE				
PROPOSED ON NET SITE AREA	35,633.29 Sq.Ft.	3,310.41 Sq.M.	43%	
SETBACK				
NORTH (BLDG1&2- LVL 1-4 FROM 23A AVE)	14.76 ft	4.50 Mt.		
NORTH (BLDG1- LVL 5 FROM 23A AVE)	18.14 ft	5.53 Mt.		
NORTH (BLDG2- LVL 5 FROM 23A AVE)	17.62 ft	5.37 Mt.		
EAST (BLDG2- LVL 1-4 FROM 162 STREET)	14.76 ft	4.50 Mt.		
EAST (BLDG2- LVL 5 FROM 162 STREET)	14.76 ft	4.57 Mt.		
SOUTH (LEVEL 1-4 FROM NEIGHBORING LOT)	14.76 ft	4.50 Mt.		
SOUTH (BLDG 1- LEVEL 5 FROM NEIGHBORING LOT)	17.62 ft	5.37 Mt.		
SOUTH (BLDG 2- LEVEL 5 FROM NEIGHBORING LOT)	18.14 ft	5.53 Mt.		
WEST (BLDG 1- LVL 1-4 FROM 160 STREET)	14.76 ft	4.50 Mt.		
WEST (BLDG 1- LVL 5 FROM 160 STREET)	14.76 ft	4.47 Mt.		

LOT B - FAR			
LEVEL 1	21,893.25 Sq.Ft.	2,033.93 Sq.Mt.	
LEVEL 2	36,585.61 Sq.Ft.	3,398.80 Sq.Mt.	
LEVEL 3	35,633.29 Sq.Ft.	3,310.33 Sq.Mt.	
LEVEL 4	35,062.80 Sq.Ft.	3,257.33 Sq.Mt.	
LEVEL 5	29,518.57 Sq.Ft.	2,739.44 Sq.Mt.	
INDOOR AMENITY	5,765.45 Sq.Ft.	535.03 Sq.Mt.	
TOTAL BUILDABLE AREA (INCL. INDOOR AMENITY)	159,093.52 Sq.Ft.	14,780.15 Sq.Mt.	
TOTAL BUILDABLE AREA (EXCL. INDOOR AMENITY)	153,328.07 Sq.Ft.	14,244.53 Sq.Mt.	
NET SITE AREA	82,452.24 Sq.Ft.	7,660.00 Sq.Mt.	
F.A.R. (ON NET SITE AREA)	1.86		

UNIT SCHEDULE - BLDG 1										
FLOOR	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	TOTAL AREA	TOTAL AREA	NO. OF UNITS		
UNIT A - 2 STOREY TH	2 BED RM. + 2 SBATH RM. + FLEX	7	5	0	0	1,386.44 Sq.Ft.	110.22 Sq.M.	12		
UNIT A1 - 2 STOREY TH	2 BED RM. + 2 SBATH RM. + FLEX	1	0	0	0	1,271.16 Sq.Ft.	118.09 Sq.M.	1		
UNIT B - 2 STOREY TH	4 BED RM. + 2.5 BATH RM.	1	1	0	0	1,571.14 Sq.Ft.	145.96 Sq.M.	2		
UNIT C	1 BED RM. + 1BATH RM. + DEN	2	3	3	3	571.08 Sq.Ft.	53.05 Sq.M.	14		
UNIT C1	1 BED RM. + 1BATH RM. + DEN	0	0	2	2	493.10 Sq.Ft.	45.81 Sq.M.	4		
UNIT D	1 BED RM. + 1BATH RM.	0	0	7	12	545.67 Sq.Ft.	50.69 Sq.M.	31		
UNIT D1	1 BED RM. + 1BATH RM.	0	0	0	2	524.17 Sq.Ft.	48.70 Sq.M.	2		
UNIT E	1 BED RM. + 1BATH RM.	1	0	0	0	572.01 Sq.Ft.	53.14 Sq.M.	1		
UNIT F	2 BED RM. + 2BATH RM.	1	1	1	1	814.15 Sq.Ft.	75.63 Sq.M.	5		
UNIT F1	2 BED RM. + 2BATH RM. + DEN	0	1	1	1	883.63 Sq.Ft.	82.09 Sq.M.	4		
UNIT G	2 BED RM. + 2BATH RM.	1	1	1	1	786.17 Sq.Ft.	73.04 Sq.M.	5		
UNIT H	2 BED RM. + 2BATH RM.	0	1	1	1	704.98 Sq.Ft.	65.49 Sq.M.	4		
UNIT I	2 BED RM. (JUNIOR BDRM.) + 1BATH RM.	0	0	1	2	684.24 Sq.Ft.	63.57 Sq.M.	3		
UNIT J	2 BED RM. + 2BATH RM.	0	1	0	0	823.25 Sq.Ft.	76.48 Sq.M.	1		
UNIT K	3 BED RM. + 2BATH RM.	0	0	0	1	877.44 Sq.Ft.	81.51 Sq.M.	1		
UNIT K1	3 BED RM. + 2BATH RM.	0	0	1	0	880.19 Sq.Ft.	81.77 Sq.M.	1		
TOTAL NO. OF UNITS BLDG1	14	14	18	24	21	13,188.82 Sq.Ft.	1,225.24 Sq.M.	91		

UNIT SCHEDULE - BLDG 2											
FLOOR	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	TOTAL AREA	TOTAL AREA	NO. OF UNITS			
UNIT A - 2 STOREY TH	2 BED RM. + 2 SBATH RM. + FLEX	2	10	0	0	1,386.44 Sq.Ft.	110.22 Sq.M.	12			
UNIT A1 - 2 STOREY TH	2 BED RM. + 2 SBATH RM. + FLEX	0	1	0	0	1,271.16 Sq.Ft.	118.09 Sq.M.	1			
UNIT B - 2 STOREY TH	4 BED RM. + 2.5 BATH RM.	1	1	0	0	1,571.14 Sq.Ft.	145.96 Sq.M.	2			
UNIT C	1 BED RM. + 1BATH RM. + DEN	0	3	3	3	571.08 Sq.Ft.	53.05 Sq.M.	12			
UNIT C1	1 BED RM. + 1BATH RM. + DEN	0	0	0	2	493.10 Sq.Ft.	45.81 Sq.M.	2			
UNIT D	1 BED RM. + 1BATH RM.	0	0	2	12	545.67 Sq.Ft.	50.69 Sq.M.	26			
UNIT D1	1 BED RM. + 1BATH RM.	0	0	0	2	524.17 Sq.Ft.	48.70 Sq.M.	2			
UNIT E	1 BED RM. + 1BATH RM.	0	0	0	0	572.01 Sq.Ft.	53.14 Sq.M.	0			
UNIT F	2 BED RM. + 2BATH RM.	0	1	1	1	814.15 Sq.Ft.	75.63 Sq.M.	4			
UNIT F1	2 BED RM. + 2BATH RM. + DEN	0	1	1	1	883.63 Sq.Ft.	82.09 Sq.M.	4			
UNIT G	2 BED RM. + 2BATH RM.	0	1	1	1	786.17 Sq.Ft.	73.04 Sq.M.	4			
UNIT H	2 BED RM. + 2BATH RM.	0	1	1	1	704.98 Sq.Ft.	65.49 Sq.M.	4			
UNIT I	2 BED RM. (JUNIOR BDRM.) + 1BATH RM.	0	0	1	2	684.24 Sq.Ft.	63.57 Sq.M.	3			
UNIT J	2 BED RM. + 1BATH RM.	1	1	0	0	823.25 Sq.Ft.	76.48 Sq.M.	2			
UNIT K	3 BED RM. + 2BATH RM.	0	0	1	2	877.44 Sq.Ft.	81.51 Sq.M.	3			
UNIT K1	3 BED RM. + 2BATH RM.	0	1	1	0	880.19 Sq.Ft.	81.77 Sq.M.	2			
TOTAL NO. OF UNITS BLDG 2	4	21	12	25	21	13,188.82 Sq.Ft.	1,225.24 Sq.M.	83			
TOTAL NO. OF UNITS									174		

OFF STREET PARKING				
UNIT TYPE	NO. OF UNITS	CARS PER DWELLING	NO. OF CARS	SAY
1 OR NO BEDROOMS	94	1.3	122.2	122
2 OR MORE BEDROOMS (APT BLDG)	50	1.5	75	75
2 OR MORE BEDROOMS (TOWN HOUSES)	30	2	60	60
VISITOR PARKING	174	0.2	34.8	35
TOTAL NO. OF PARKING REQUIRED (INCLUDING VISITOR PARKING)				292
TOTAL NO. OF PARKING PROVIDED (INCLUDING VISITOR PARKING)				295
TOTAL NO. OF SMALL CAR PARKING PROVIDED				77
NO. OF VAN ACCESSIBLE CAR PARKING PROVIDED				2
TOTAL NO. OF ACCESSIBLE CAR PARKING PROVIDED				7
BICYCLE SPACES				
REQ. BICYCLE SPACES	REQUIRED	PROVIDED		
VISITOR	6	6 SPACES AT GRADE		
RESIDENTS	1.2/D.U.	209	210 SPACES AT BLDG 2 LEVEL 1	

AMENITY SPACE				
NO OF UNITS	AREA PER UNIT	INDOOR AMENITY		
		REQUIRED	PROVIDED	
174	3.00 Sq.Mt.	522.00 Sq.Mt.	537.15 Sq.Mt.	5,782.07 Sq.Ft.
NO OF UNITS	AREA PER UNIT	OUTDOOR AMENITY		
		REQUIRED	PROVIDED	
174	3.00 Sq.Mt.	522.00 Sq.Mt.	1,578.14 Sq.Mt.	16,986.95 Sq.Ft.

16172 24 AVENUE	16172 24 AVENUE
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16172 24 AVENUE	16172 24 AVENUE
16172 24 AVENUE	16172 24 AVENUE
16172 24 AVENUE	16172 24 AVENUE



PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:  
**IOM**

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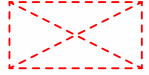
DESIGNER: <b>AA</b>	
CHECKED: <b>NN</b>	
SCALE:	
JOB NO.: <b>SUR - 168</b>	
DATE: <b>APR 2022</b>	
SHEET TITLE:	

**LOT B - DEVELOPMENT DATA**

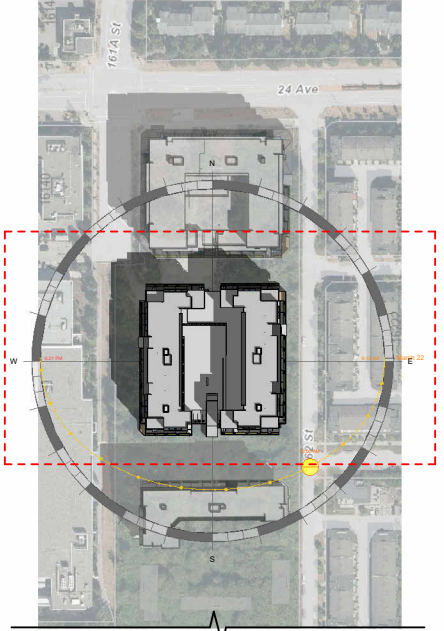
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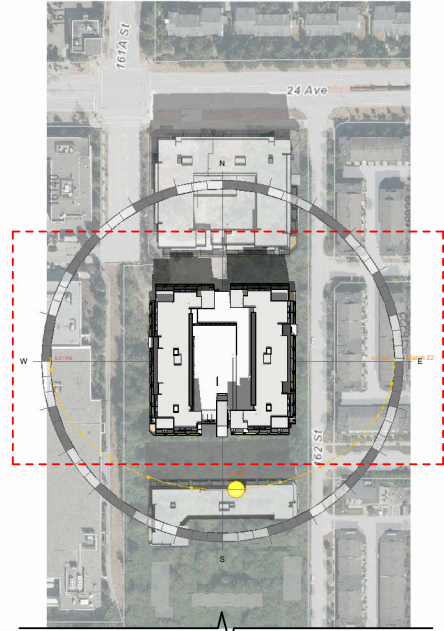
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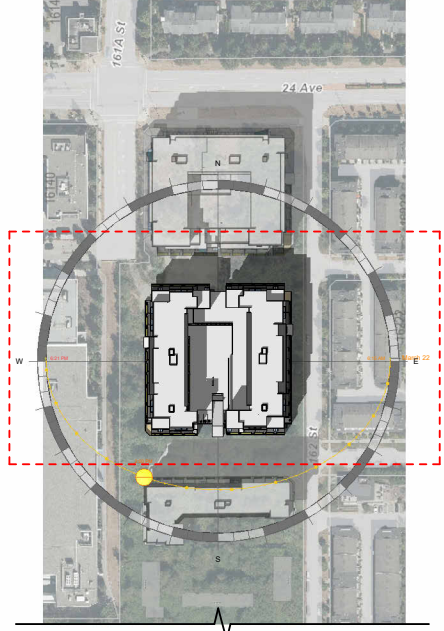
- DASHED LINE INDICATE SUBJECT STUDIED LOT



1 EQ MARCH - 10AM  
A-004.B



2 EQ MARCH - NOON  
A-004.B



3 EQ MARCH - 2PM  
A-004.B




300-11801 SHELLBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
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info@dfarchitecture.ca

PROJECT:  
**MIXED USE DEVELOPMENT  
16172 24 AVENUE, SURREY,  
B.C.**

CLIENT:  
**IOM**

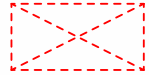
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DRAWING: <b>SO</b>	
CHECKED: <b>NN</b>	
SCALE:	
JOB NO: <b>SUR - 168</b>	
DATE: <b>MARCH 2022</b>	
SHEET TITLE:	

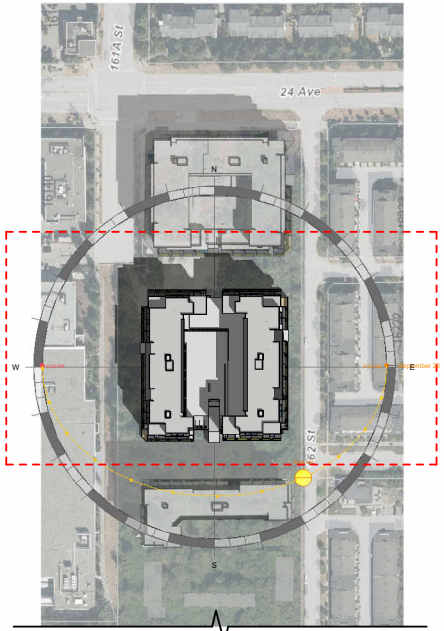
**LOT B - SHADOW  
ANALYSIS**

DRAWING No: <b>A-004.B</b>	<b>D</b>
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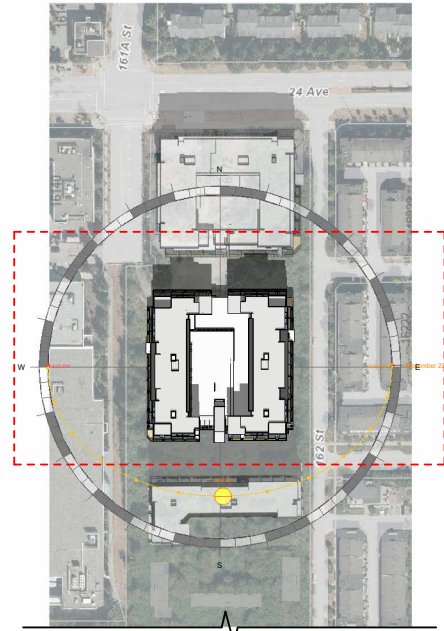
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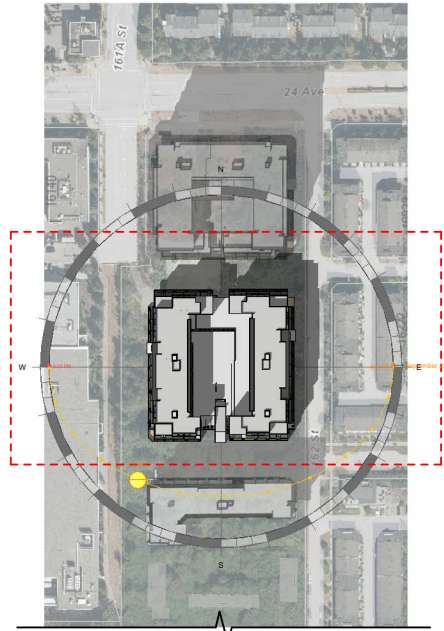
- DASHED LINE INDICATE SUBJECT STUDIED LOT



1 EQ SEPTEMBER - 10AM  
A-005.B



2 EQ SEPTEMBER - NOON  
A-005.B



3 EQ SEPTEMBER - 2PM  
A-005.B

NO. 1	DATE	DESCRIPTION



300-11801 SHELLBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
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PROJECT:  
**MIXED USE DEVELOPMENT  
16172 24 AVENUE, SURREY,  
B.C.**

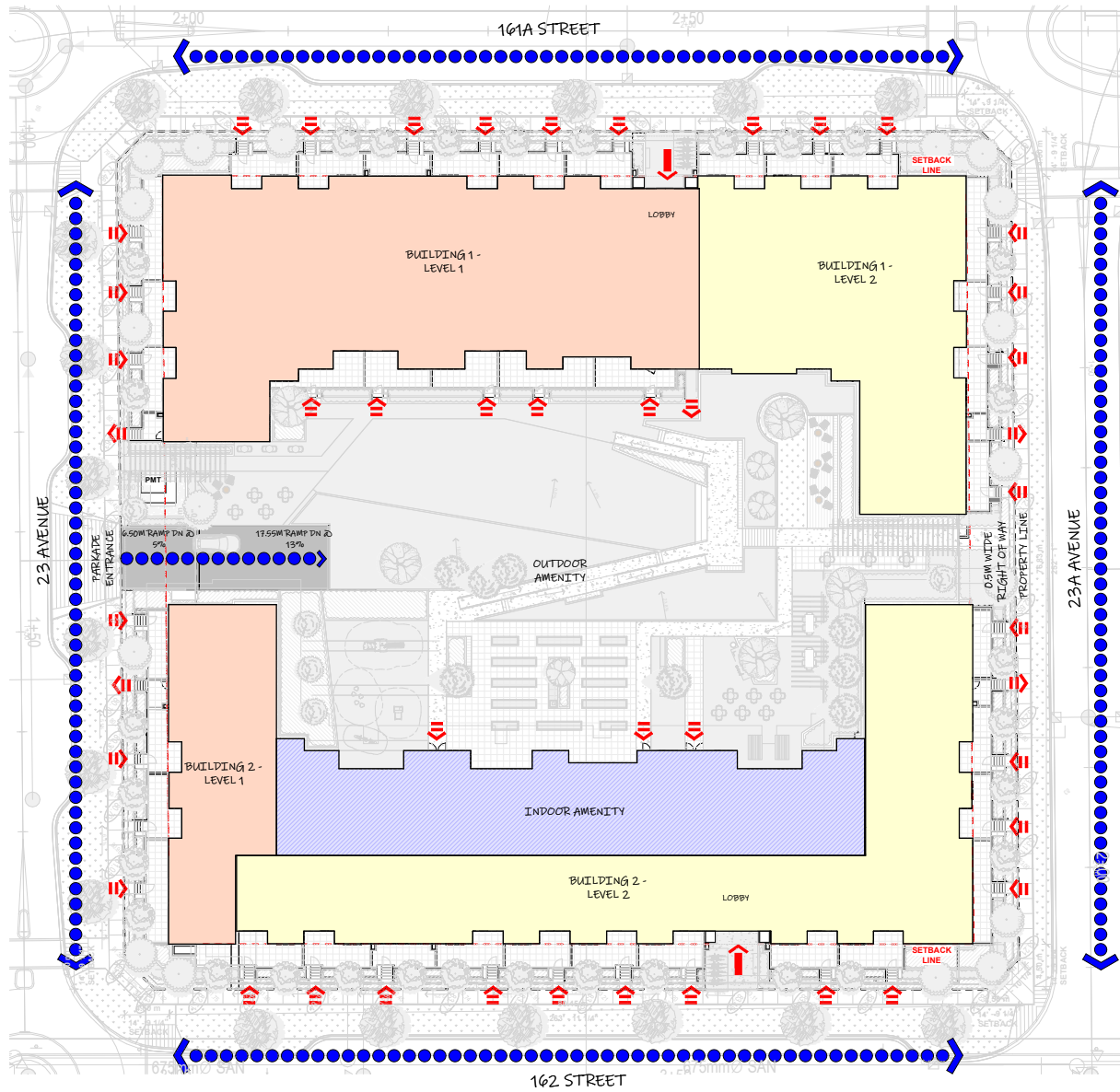
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**IOM**  
IOM  
1101-11030 51 AVE, SURREY, BC

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DATE	MARCH 2022
SHEET TITLE	

LOT B - SHADOW ANALYSIS CONT'D

DRAWING NO.	<b>A-005.B</b>
SHEET NO.	<b>D</b>



NOTES:

**LEGEND**

PEDESTRIAN CIRCULATION  
 VEHICULAR CONNECTION TO DEVELOPMENT

1	161A STREET
2	162 STREET
3	23 AVENUE
4	23A AVENUE

**df**  
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205 - 1885 BELLBROOK WAY  
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info@dfarchitect.com

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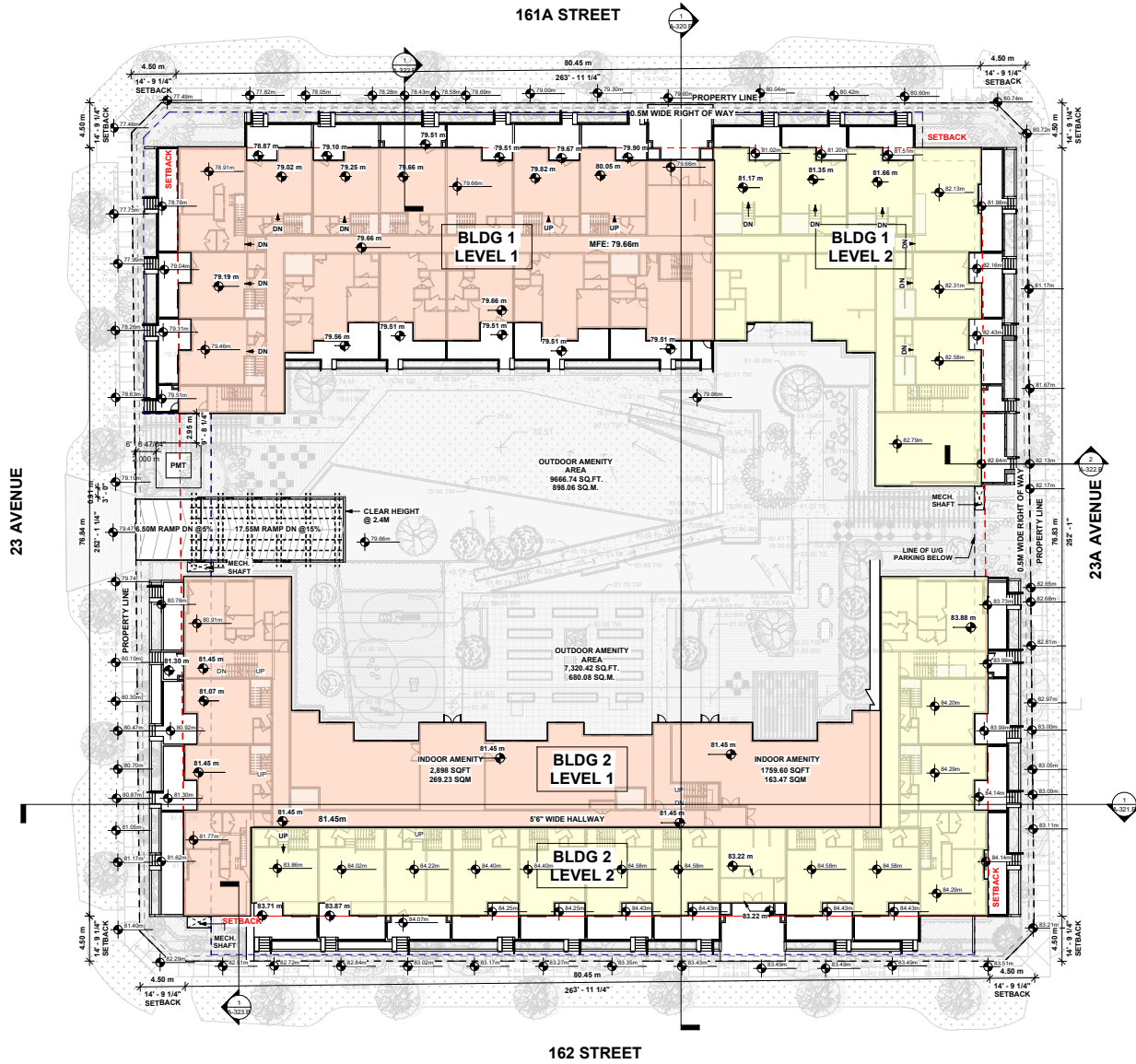
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**IOM**  
IOM  
1881-1885 BELLBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
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T: 604.273.8111 F: 604.273.8111  
info@dfarchitect.com

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SCALE	As indicated
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

LOT B - SITE ANALYSIS

1 SITE ANALYSIS  
A-006.B 1/16" = 1" @

DRAWING NO. **A-006.B** D



NOTES: 




300-1880 SHELLEBURNE WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2S9  
780-868-8188 | P: 604-274-0131  
info@dfarchitect.com

PROJECT:  
**MIXED USE DEVELOPMENT**  
16172 24 AVENUE, SURREY,  
B.C.

CLIENT:  
**IOM**

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DRAWING NO:	SO
CHECKED BY:	NN
SCALE:	1/16" = 1'-0"
FOR:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

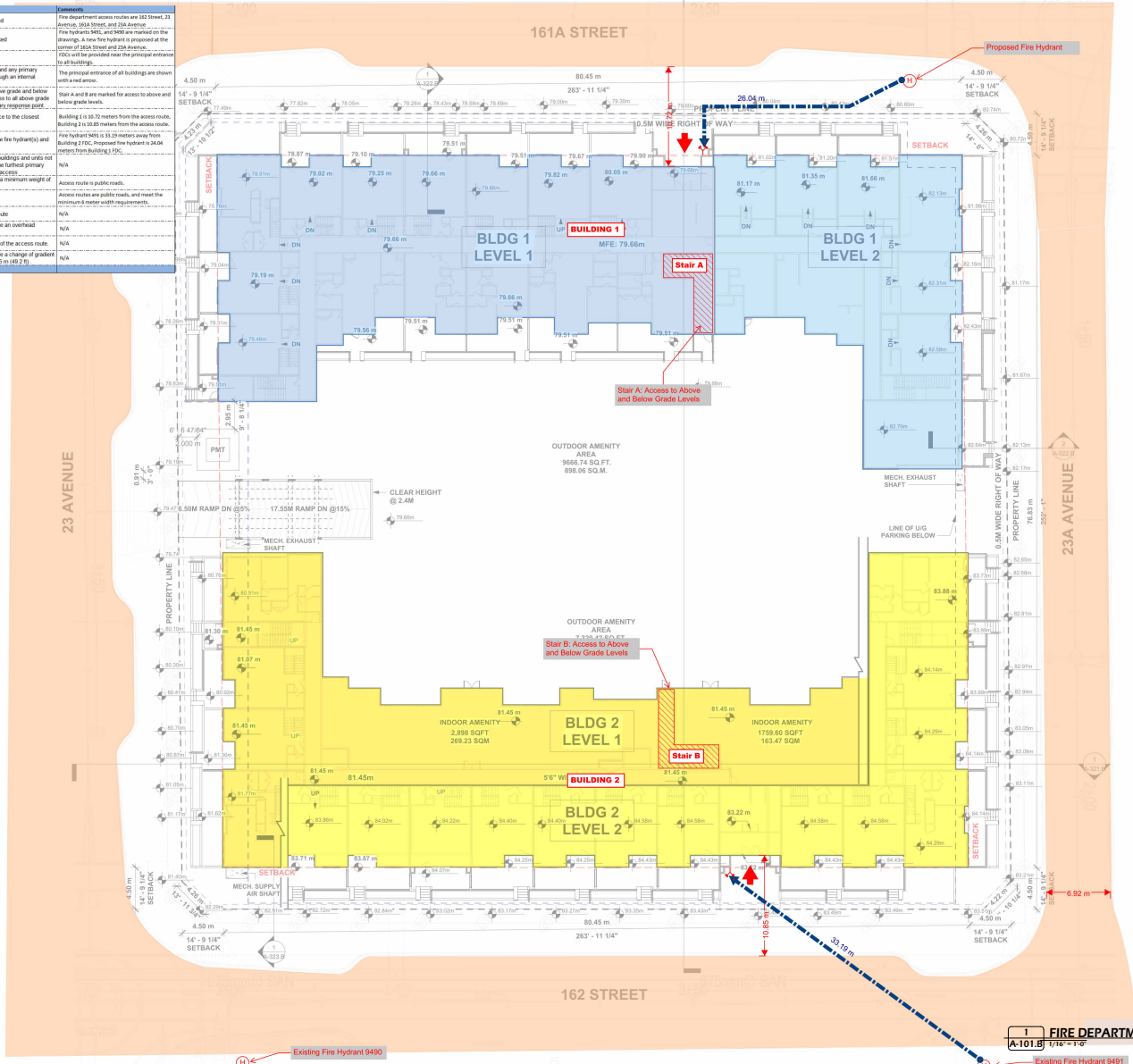
LOT B - SITE PLAN

**1 SITE PLAN (NEW)**  
**A-100.B** 1/18" = 1'-0"

DRAWING NO:	<b>A-100.B</b>	<b>D</b>
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Article	Requirement	Comments
1	Fire Department Access Routes are Clearly Identified	Fire department access routes are 332 Street, 23 Avenue, 161A Street, and 23A Avenue.
2	Location of New and Existing Fire Hydrants are Marked	Fire Hydrant 9492 and 9493 are marked on the drawings. A new Fire Hydrant is proposed at the corner of 332 Street and 23A Avenue.
3	Location of Fire Department Connectors to be Marked	Fire Hydrant 9492 and 9493 are marked on the drawings. A new Fire Hydrant is proposed at the corner of 332 Street and 23A Avenue. FDC will be provided near the principal entrance of buildings.
4	The location of the primary entrance to the building and any primary entrances to units not connected to the building through an internal corridor.	The principal entrance of all buildings are shown with a red arrow.
5	The location of staircases that provide access to above grade and below grade levels. Note: The SFSD requires direct access to all above grade and below grade levels to be provided at the primary response point.	Stair A and B are marked for access to above and below grade levels.
6	3.2.5.6 The dimensioned distance from the principal entrance to the closest portion of the access route	Building 1 is 30.72 meters from the access route. Building 2 is 30.82 meters from the access route.
7	3.2.5.6 The dimensioned unobstructed distance between the fire hydrant(s) and the fire department connector(s)	Fire Hydrant 9492 is 33.23 meters away from Building 1 FDC. Proposed fire hydrant is 30.82 meters from Building 1 FDC.
8	3.2.5.6 The dimensioned distance of path of travel from all buildings and units not connected by a common interior corridor between the furthest primary access point to the location of the proposed fireback access.	N/A
9	3.2.5.6 The access route that must be designed to support a minimum weight of 30,000 kg (66,000 lbs).	Access route is public roads.
10	3.2.5.6 The dimensioned width of the access route	Access route is public roads, and meet the minimum roadway width requirements.
11	3.2.5.6 The dimensioned centre-line radius of the access route	N/A
12	3.2.5.6 Identify any portions of the access route that will have an overhead clearance of less than 5m (16.4ft).	N/A
13	3.2.5.6 The dimensioned distance for any dead-end portion of the access route.	N/A
14	3.2.5.6 Identify any portions of the access route that will have a change of gradient greater than 1 in 12.5 over a maximum distance of 10 m (32.2 ft)	N/A



**1 FIRE DEPARTMENT SITE PLAN**  
A-101.B 1/16" = 1'-0"

NOTES:

**PSQUARE**  
ENGINEERING & CONSTRUCTION LTD

CODE CONFORMANCE DRAWINGS  
Issued for DP  
DATE: June 27, 2023

- LEGEND:
- Principal Entrance
  - Travel Distance
  - Fire Department Access Route
  - Fire Hydrant
  - Fire Department Connection



NO.	REVISION	DATE	BY	CHKD.



200 - 1880 SHELLBERRY WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2G9  
TEL: 604-273-8111  
WWW.DFAARCHITECTURE.COM

PROJECT:  
**MIXED USE DEVELOPMENT**  
16172 24 AVENUE, SURREY,  
B.C.

CLIENT:  
**IOM**

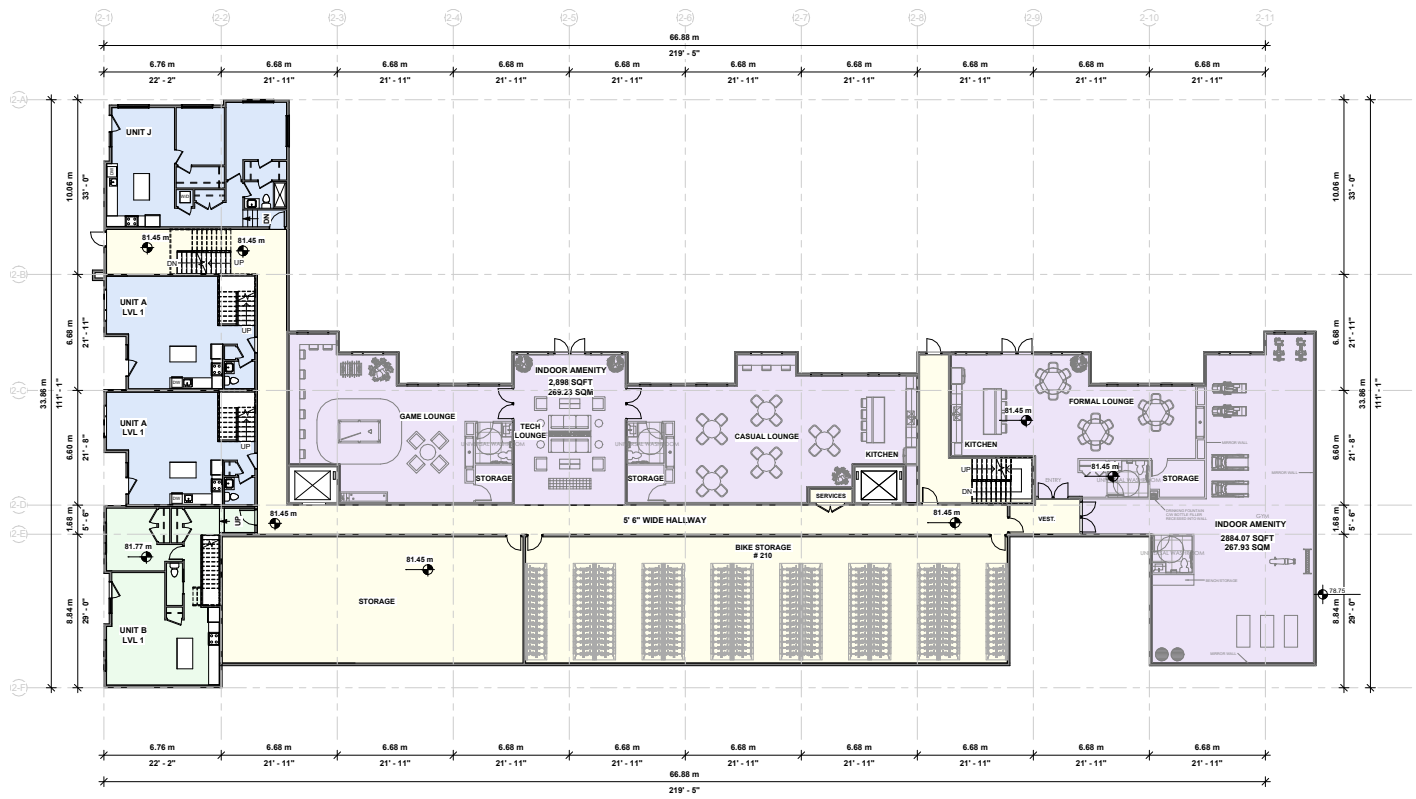
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CHECKED BY	NN
SCALE	1/16" = 1'-0"
JOB NO.	SUR - 168
DATE	APR 2022
SHEET TITLE	

FIRE DEPARTMENT SITE PLAN

DRAWING NO.	A-101.B	D
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NOTES:



SUITE LEGEND	
<span style="display: inline-block; width: 15px; height: 10px; background-color: #e0f0ff; border: 1px solid black;"></span> STUDIO	<span style="display: inline-block; width: 15px; height: 10px; background-color: #e0ffe0; border: 1px solid black;"></span> 3 OR MORE BEDROOM SUITE
<span style="display: inline-block; width: 15px; height: 10px; background-color: #fff0e0; border: 1px solid black;"></span> 1 BEDROOM SUITE	<span style="display: inline-block; width: 15px; height: 10px; background-color: #e0e0ff; border: 1px solid black;"></span> 2 BEDROOM SUITE

**1** BUILDING 2 LEVEL 1  
A.208.B 1"=10'

20220301	REVISED FOR APPROVAL
20220222	REVISED FOR PERMITTING
20220222	REVISED FOR APPLICATION



200-1880 SHELLBROOK WAY  
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info@dfarch.com

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**  
IOM  
16172 24 AVE, SURREY BC

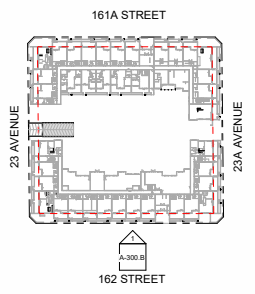
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JOB NO.:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT B - FLOOR PLAN  
(BUILDING 2 LEVEL-1)

DRAWING NO:	<b>A-208.B</b>
SHEET NO.:	<b>D</b>

NOTES:

1	2	3	4	5	6	7	8
161A STREET	162 STREET	23 AVENUE	23A AVENUE	161A STREET	162 STREET	23 AVENUE	23A AVENUE

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888-1881 SHELLBROOK WAY  
RICHTON, BRITISH COLUMBIA  
CANADA V9C 3G5  
T 604-283-5100 F 604-283-5131  
info@dfarchitecture.ca

**1** BLDG 2 - EAST ELEVATION (162 STREET)  
A-300.B 1" = 10' 0"

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,  
B.C.**

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IOM  
16172 24 AVE, SURREY BC  
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DATE:	MARCH 2022
SHEET TITLE:	

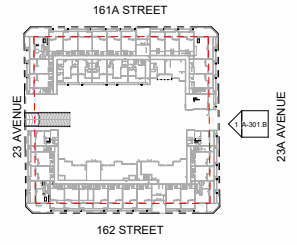
**LOT B - EAST ELEVATION**

DRAWING NO:	<b>A-300.B</b>	<b>D</b>
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**SCHEDULE OF FINISHES**

- |   |   |   |
|---|---|---|
| <ul style="list-style-type: none"> <li>1. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE - REVEAL COLOR MATCHED</li> <li>2. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> <li>3. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7660 EARL GREY - REVEAL COLOR MATCHED</li> <li>4. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7660 EARL GREY</li> <li>5. WOODTONE RUSTIC SERIES LAP COLOR: SUMMER WHEAT</li> <li>6. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7674 PEPPERCORN - REVEAL COLOR MATCHED</li> <li>7. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: BM 1603 GRAPHITE - REVEAL COLOR MATCHED</li> <li>8. COAL CREEK - MUTUAL MATERIALS</li> </ul> | <ul style="list-style-type: none"> <li>9. SOFFIT - WOODTONE RUSTIC SERIES PROFILE COLOR: SUMMER WHEAT</li> <li>10. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK</li> <li>11. WINDOW WALL SYSTEM COLOR: (TRANSPARENT), MULLION COLOR TO MATCH STANDARD BLACK</li> <li>12. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: SW 7645 THUNDER GRAY</li> <li>13. SLIDING DOOR SYSTEM COLOR:(TRANSPARENT), COLOR: STANDARD BLACK</li> <li>14. GLASS AWNING C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK WITH TRANSPARENT GLASS</li> <li>15. C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK</li> <li>16. FLASHINGS COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> </ul> | <ul style="list-style-type: none"> <li>17. FLASHINGS COLOR TO MATCH: SW 7660 EARL GREY</li> <li>18. FLASHINGS COLOR TO MATCH: SW 7674 PEPPERCORN</li> <li>19. FLASHINGS COLOR TO MATCH: SUMMER WHEAT</li> <li>20. SPANDREL PANEL COLOR TO MATCH: BM 1603 GRAPHITE</li> <li>21. PRIVACY SCREEN - TINTED GLASS AND STANDARD BLACK ALUMINUM MULLION</li> <li>22. POWDER COATED ALUMINUM RAILING COLOR: STANDARD BLACK GLASS (TRANSPARENT) COLOR</li> <li>23. CONCRET CAPPING</li> <li>24. ARCHITECTURAL FINISH CONCRETE</li> </ul> |
|---|---|---|

NOTES:



BLDG - 2

BLDG - 1

1 NORTH ELEVATION (23A AVENUE)  
A-301.B 1" = 10'-0"

SCHEDULE OF FINISHES

- |   |  |  |
|---|--|--|
| <ul style="list-style-type: none"> <li>1. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE - REVEAL COLOR MATCHED</li> <li>2. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> <li>3. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7660 EARL GREY - REVEAL COLOR MATCHED</li> <li>4. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7660 EARL GREY</li> <li>5. WOODTONE RUSTIC SERIES LAP COLOR: SUMMER WHEAT</li> <li>6. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7674 PEPPERCORN - REVEAL COLOR MATCHED</li> <li>7. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: BM 1603 GRAPHITE - REVEAL COLOR MATCHED</li> <li>8. COAL CREEK - MUTUAL MATERIALS</li> </ul> | <ul style="list-style-type: none"> <li>9. SOFFIT - WOODTONE RUSTIC SERIES PROFILE COLOR: SUMMER WHEAT</li> <li>10. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK</li> <li>11. WINDOW WALL SYSTEM COLOR: (TRANSPARENT), MULLION COLOR TO MATCH STANDARD BLACK</li> <li>12. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: SW 7445 THUNDER GRAY</li> <li>13. SLIDING DOOR SYSTEM COLOR: (TRANSPARENT), COLOR: STANDARD BLACK</li> <li>14. GLASS AWNING C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK WITH TRANSPARENT GLASS</li> <li>15. C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK</li> <li>16. FLASHINGS COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> </ul> | <ul style="list-style-type: none"> <li>17. FLASHINGS COLOR TO MATCH: SW 7660 EARL GREY</li> <li>18. FLASHINGS COLOR TO MATCH: SW 7674 PEPPERCORN</li> <li>19. FLASHINGS COLOR TO MATCH: SUMMER WHEAT</li> <li>20. SPANDREL PANEL COLOR TO MATCH: BM 1603 GRAPHITE</li> <li>21. PRIVACY SCREEN - TINTED GLASS AND STANDARD BLACK ALUMINUM MULLION</li> <li>22. POWDER COATED ALUMINUM RAILING COLOR: STANDARD BLACK GLASS (TRANSPARENT) COLOR</li> <li>23. CONCRETE CAPPING</li> <li>24. ARCHITECTURAL FINISH CONCRETE</li> </ul> |
|---|--|--|

DATE	DESCRIPTION



205 - 11801 BRILLBERG RD  
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CANADA V6V 2G9  
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PROJECT:

**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:

**IOM**  
IOM  
16172 24 AVE. SURREY BC

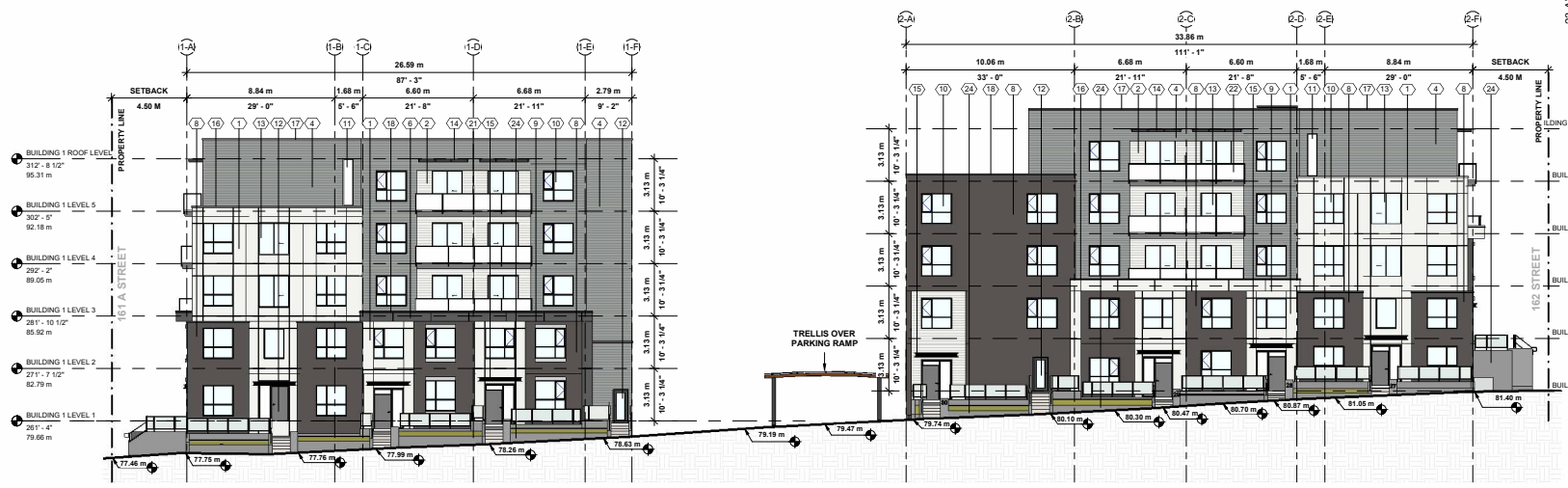
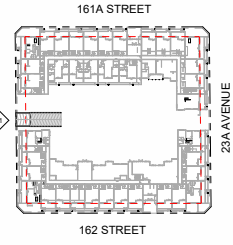
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CHECKED BY:	NN
SCALE:	As Indicated
JOB NO.:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT B - NORTH ELEVATION

DRAWING NO:	<b>A-301.B</b>	<b>D</b>
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NOTES:

BLDG - 1

BLDG - 2

SCHEDULE OF FINISHES

- |   |   |   |
|---|---|---|
| <ul style="list-style-type: none"> <li>1. SMOOTH FINISH HARDBE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH SW 7007 CEILING BRIGHT WHITE - REVEAL COLOR MATCHED</li> <li>2. SMOOTH FINISH HARDBE SHAP LAP SIDING COLOR TO MATCH SW 7007 CEILING BRIGHT WHITE</li> <li>3. SMOOTH FINISH HARDBE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH SW 7600 EARL GREY - REVEAL COLOR MATCHED</li> <li>4. SMOOTH FINISH HARDBE SHAP LAP SIDING COLOR TO MATCH SW 7600 EARL GREY</li> <li>5. WOODTONE RUSTIC SERIES LAP COLOR: SUMMER WHEAT</li> <li>6. SMOOTH FINISH HARDBE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH SW 7674 PEPPERCORN - REVEAL COLOR MATCHED</li> <li>7. SMOOTH FINISH HARDBE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH BM 1603 GRAPHITE - REVEAL COLOR MATCHED</li> <li>8. COAL CREEK - MUTUAL MATERIALS</li> </ul> | <ul style="list-style-type: none"> <li>9. SOFFIT - WOODTONE RUSTIC SERIES PROFILE COLOR: SUMMER WHEAT</li> <li>10. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK</li> <li>11. WINDOW WALL SYSTEM COLOR: (TRANSPARENT), MULLION COLOR TO MATCH STANDARD BLACK</li> <li>12. SOLID CORE WOOD DOORS PAINTED TO MATCH SW 7645 THUNDER GRAY</li> <li>13. SLIDING DOOR SYSTEM COLOR: (TRANSPARENT), COLOR: STANDARD BLACK</li> <li>14. GLASS AWNING C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK WITH TRANSPARENT GLASS</li> <li>15. C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK</li> <li>16. FLASHINGS COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> </ul> | <ul style="list-style-type: none"> <li>17. FLASHINGS COLOR TO MATCH: SW 7600 EARL GREY</li> <li>18. FLASHINGS COLOR TO MATCH: SW 7674 PEPPERCORN</li> <li>19. FLASHINGS COLOR TO MATCH: SUMMER WHEAT</li> <li>20. SPANDREL PANEL COLOR TO MATCH: BM 1603 GRAPHITE</li> <li>21. PRIVACY SCREEN - TINTED GLASS AND STANDARD BLACK ALUMINUM MULLION</li> <li>22. POWDER COATED ALUMINUM RAILING COLOR - STANDARD BLACK GLASS (TRANSPARENT) COLOR</li> <li>23. CONCRETE CAPPING</li> <li>24. ARCHITECTURAL FINISH CONCRETE</li> </ul> |
|---|---|---|

1 SOUTH ELEVATION (23 AVENUE)  
A-302.B F=10'-0"

DATE	DESCRIPTION



200-1880 BIRCHMEAD AVE  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 2S6  
T: 604.276.8100 F: 604.276-9131  
info@dfarchitect.com

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,  
B.C.**

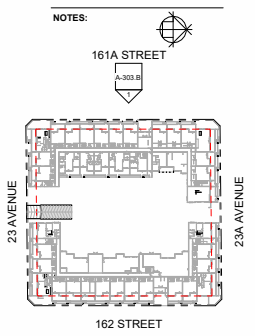


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CHECKED BY	NN
SCALE	As Indicated
JOB NO.	SR - 168
DATE	MARCH 2022
SHEET TITLE	

LOT B - SOUTH ELEVATION

DRAWING NO.	A-302.B	D
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LEVEL	FINISH	DESCRIPTION
BUILDING 1 ROOF LEVEL	312' - 8 1/2"	95.31 m
BUILDING 1 LEVEL 5	302' - 11"	92.18 m
BUILDING 1 LEVEL 4	292' - 2"	89.05 m
BUILDING 1 LEVEL 3	281' - 10 1/2"	85.92 m
BUILDING 1 LEVEL 2	271' - 7 1/2"	82.79 m
BUILDING 1 LEVEL 1	261' - 4"	79.66 m



100-10801 SHELLBROOK AVE  
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**BLDG 1 - WEST ELEVATION (161A STREET)**  
 A-303.B 1" = 10'-0"

**SCHEDULE OF FINISHES**

- |   |  |   |
|---|--|---|
| 1. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH SW 7007 CEILING BRIGHT WHITE - REVEAL COLOR MATCHED | 9. SOFFIT - WOODTONE RUSTIC SERIES PROFILE COLOR: SUMMER WHEAT                               | 17. FLASHINGS COLOR TO MATCH: SW 7660 EARL GREY                                     |
| 2. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH SW 7007 CEILING BRIGHT WHITE  | 10. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK  | 18. FLASHINGS COLOR TO MATCH: SW 7674 PEPPERCORN                                    |
| 3. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7660 EARL GREY - REVEAL COLOR MATCHED           | 11. WINDOW WALL SYSTEM COLOR: (TRANSPARENT), MULLION COLOR TO MATCH STANDARD BLACK           | 19. FLASHINGS COLOR TO MATCH: SUMMER WHEAT  |
| 4. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7660 EARL GREY  | 12. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: SW 7645 THUNDER GRAY                       | 20. SPANDEL PANEL COLOR TO MATCH: - BM 1603 GRAPHITE                                |
| 5. WOODTONE RUSTIC SERIES LAP COLOR: SUMMER WHEAT   | 13. SLIDING DOOR SYSTEM COLOR: (TRANSPARENT), COLOR: STANDARD BLACK                          | 21. PRIVACY SCREEN - TINTED GLASS AND STANDARD BLACK ALUMINUM MULLION               |
| 6. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7674 PEPPERCORN - REVEAL COLOR MATCHED          | 14. GLASS AWNING C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK WITH TRANSPARENT GLASS | 22. POWDER COATED ALUMINUM RAILING COLOR - STANDARD BLACK GLASS (TRANSPARENT) COLOR |
| 7. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: BM 1603 GRAPHITE - REVEAL COLOR MATCHED            | 15. C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK                                     | 23. CONCRETE CAPPING  |
| 8. COAL CREEK - MUTUAL MATERIALS  | 16. FLASHINGS COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE                                   | 24. ARCHITECTURAL FINISH CONCRETE   |

PROJECT:

**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:

**IOM**  
 IOM  
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DATE: MARCH 2022

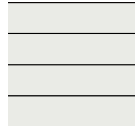
SHEET TITLE:

LOT B - WEST ELEVATION

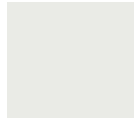
DRAWING No. **A-303.B** **D**



NOTES:



1. SMOOTH FINISH HARDIE SHIPLAP SIDING  
COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE



2. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM  
COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE  
REVEAL COLOR MATCHED



3. WOODTONE RUSTIC SERIES LAP  
COLOR: SUMMER WHEAT



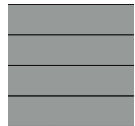
4. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM  
MATCH: SW 7660 EARL GREY - REVEAL COLOR MATCHED



5. COAL CREEK - MUTUAL MATERIALS



6. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM  
COLOR TO MATCH: SW 7674 PEPPERCORN  
REVEAL COLOR MATCHED



7. SMOOTH FINISH HARDIE SHIPLAP SIDING  
COLOR TO MATCH: SW 7660 EARL GREY



8. SOLID CORE WOOD DOORS PAINTED  
COLOR: SW 7645 THUNDER GRAY




305-11801 SWELL BROSSE WAY  
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PROJECT:

MIXED USE DEVELOPMENT  
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CHECKED: NN

SCALE:

JOB NO: SUR - 168

DATE: MARCH 2022

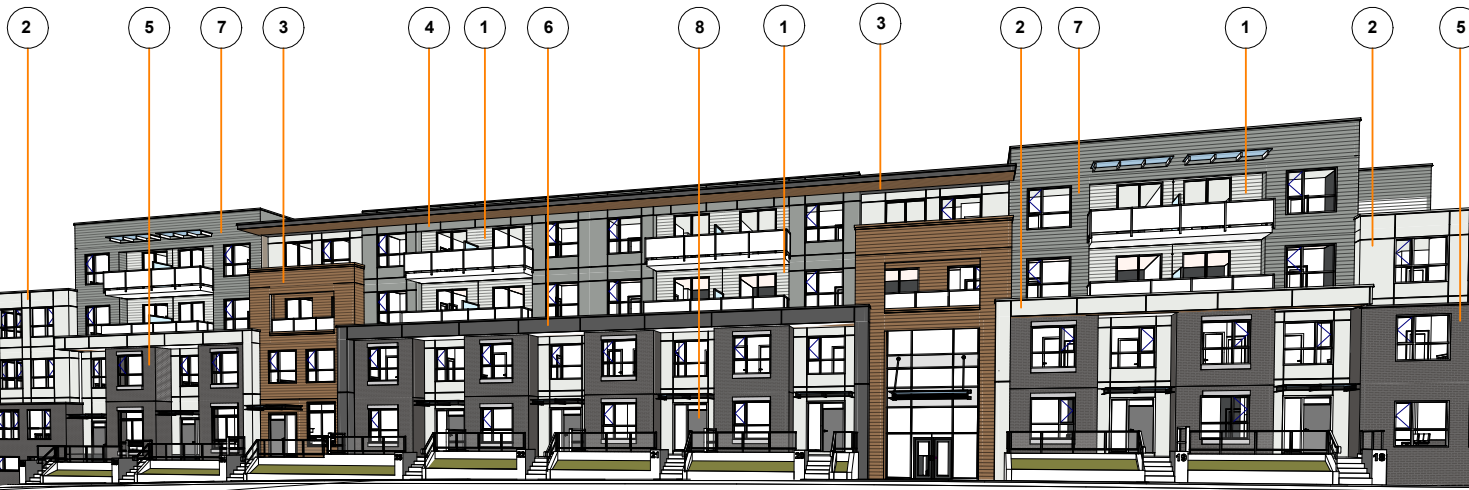
SHEET TITLE:

LOT B - MATERIAL BOARD

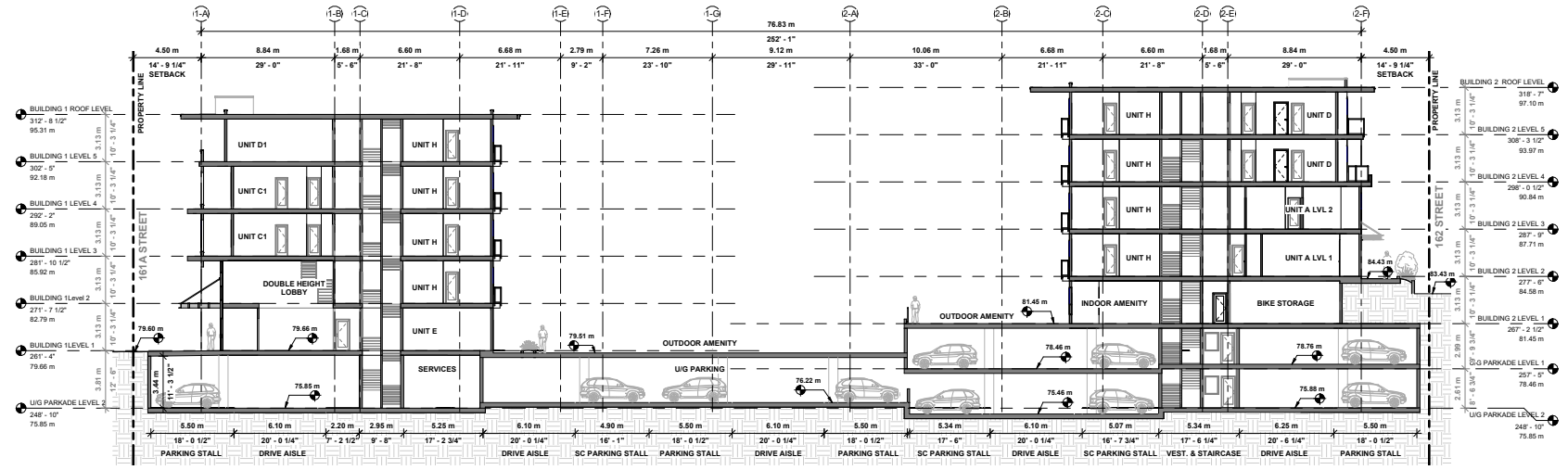
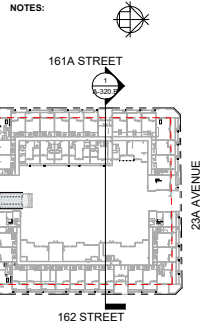
DRAWING

NO. A-304.B

D



VIEW OF BLDG 2 FROM 162 ST.



DATE	16/03/2022
PROJECT	16172 24 AVENUE, SURREY, B.C.
DRAWING NO.	A-320.B
SCALE	3/32" = 1'-0"



PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:  
**IOM**  
IOM  
16172 24 AVENUE, SURREY, B.C.

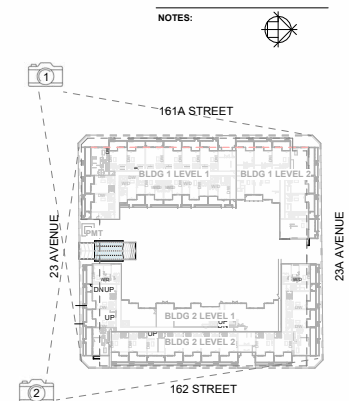
DRAWING NO.	A-320.B
CHECKED BY	NN
SCALE	As indicated
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

LOT B - BUILDING SECTIONS

**CROSS-SECTION 1**  
A-320.B 3/32" = 1'-0"

DRAWING NO. **A-320.B** **D**





2 3D\_VIEW 1  
A-351.B




100-1001 BIRCHMOUNT ROAD  
RICHMOND, BRITISH COLUMBIA  
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PROJECT:

**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,  
B.C.**

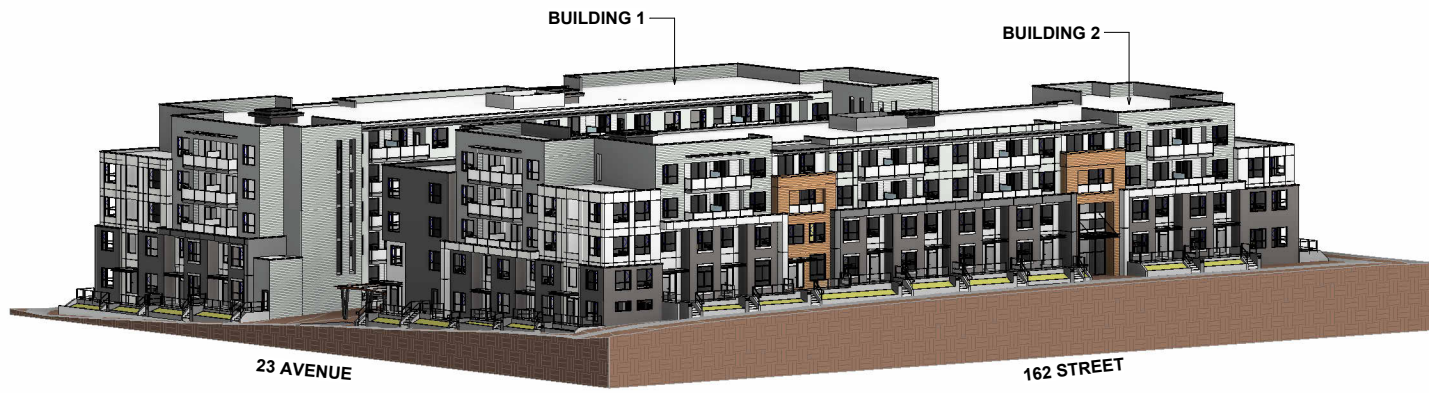
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IOM  
1801-1808 81 AVE. SURREY BC

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CHECKED BY:	NN
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT B - 3D VIEWS



1 3D\_VIEW 2  
A-351.B

DRAWING NO:	<b>A-351.B</b>	<b>D</b>
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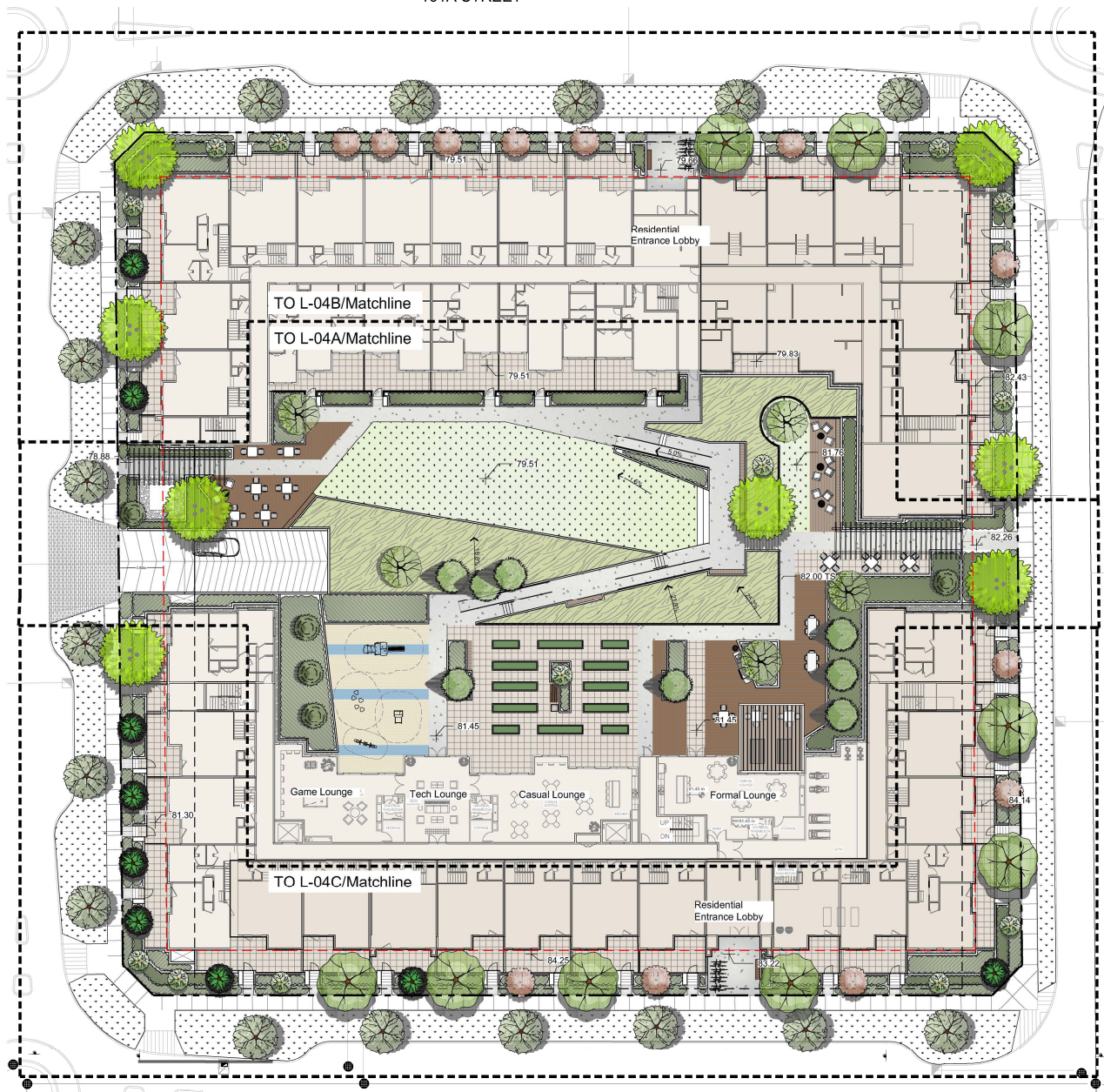
161A STREET

23 AVENUE

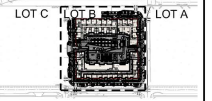
23A AVENUE

162 STREET

1:200 0 2m 4m 6m 8m 10m 12m 14m 16m 18m 20m 22m 24m 26m 28m 30m



**VDZ+A**  
 LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | PLANNING SERVICES  
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 160-9581 Church St | 160-355 Kingsway  
 Fort Langley BC | Vancouver, BC  
 V4M 2R8 | V5T 3J7  
 www.vdz.ca 604-882-0024



No.	By:	Description	Date
5	TM	Re-DP as per ADP Comments	2023-09-25
4	TM	Issued for ADP	2023-08-16
3	TM	Issued for ADP	2023-06-23
2	DV	Issued for Review	2022-08-08
1	DV	Issued for Initial Review	2022-06-06

REVISIONS TABLE FOR DRAWINGS  
 \* Landscape revisions, including any changes to the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

**Project:**  
Mixed-use Development  
- Lot B & Lot C

**City of Surrey File #** 7916-0225-00

**Location:**  
16172 24th Avenue,  
Surrey, BC

Drawn: DV AH	Stamp:
Checked: DV	
Approved: IM	Original Sheet Size: 24"x36"
Scale: 1:200	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS MUST BE RETURNED TO THE CONSULTANT IMMEDIATELY FOR CONSTRUCTION UNLESS LABELLED USED FOR TRADE CONSTRUCTION.

Drawing Title:  
**BLOCK B - SITE PLAN**



VDZ Project #:  
**DP2022-02**

Drawing #:  
**LB-01**

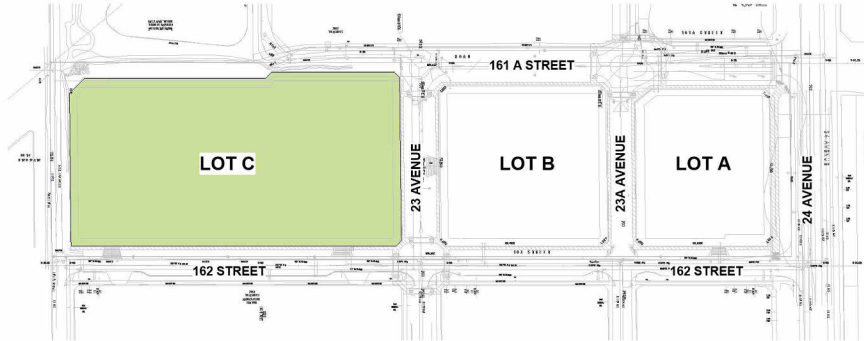
Z:\PROJECTS\DEVELOPMENT PERMIT\ACT\16172 24TH AVENUE\DWG-SHEETS\PLAN\LOTB\BLOCK B\BLOCK B - SITE PLAN.DWG

NOTES:



# LOT C

## MIXED USE DEVELOPMENT



Category SHEET NO. SHEET NAME

Category	SHEET NO.	SHEET NAME
SITE & INFO.	A-001.C	LOT C - COVER PAGE
	A-002.C1	LOT C - DEVELOPMENT DATA
	A-002.C2	LOT C - DEVELOPMENT DATA
	A-003.C	LOT C - BASE PLAN
	A-004.C	LOT C - SHADOW ANALYSIS
BUILDING & UNIT PLANS	A-005.C	LOT C - SHADOW ANALYSIS CONT'D
	A-006.C	SITE ANALYSIS
	A-100.C	LOT C - SITE PLAN
	A-101.C	FIRE DEPARTMENT SITE PLAN
	A-200.C	LOT C - PARKING (LEVEL -1)
	A-201.C	LOT C - PARKING (LEVEL -2)
	A-202.C	LOT C - FLOOR PLAN (LEVEL-1)
	A-203.C	LOT C - FLOOR PLAN (LEVEL-2)
	A-204.C	LOT C - FLOOR PLAN (LEVEL-3)
	A-205.C	LOT C - FLOOR PLAN (LEVEL-4)
A-206.C	LOT C - FLOOR PLAN (LEVEL-5)	
ELEVATIONS & 3D VIEWS	A-207.C	LOT C - ROOF PLAN
	A-220.C	LOT C - UNIT PLANS
	A-221.C	LOT C - UNIT PLANS
	A-222.C	LOT C - UNIT PLANS
	A-223.C	LOT C - UNIT PLANS
	A-224.C	LOT C - UNIT PLANS
	A-225.C	LOT C - UNIT PLANS
	A-226.C	LOT C - UNIT PLANS
	A-227.C	LOT C - UNIT PLANS
	A-228.C	LOT C - UNIT PLANS
	A-300.C	LOT C - ELEVATIONS
	A-301.C	LOT C - ELEVATIONS
	A-302.C	LOT C - PARTIAL ELEVATION W/ TOWNHOUSES
	A-303.C	LOT C - MATERIAL BOARD - APARTMENT BUILDING
	A-320.C	LOT C - BUILDING SECTIONS
	A-321.C	LOT C - BUILDING SECTIONS
A-322.C	LOT C - SITE PLAN SECTIONS	
A-323.C	LOT C - SECTION W/ TOWNHOUSES	
A-350.C	LOT C - 3D VIEWS	
A-400.C	RTU SCREENING & PRIVACY SCREEN DETAILS	






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PROJECT:

**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:

**IOM**  
IOM  
100-13008 ST AVE, SURREY BC

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SCALE:	
JOB NO:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT C - COVER PAGE

DRAWING No.	<b>A-001.C</b>	D
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NOTES:

DEVELOPMENT DATA				
<b>LEGAL DESCRIPTION</b>				
LOT 3, PLAN NWP5524, PART NW1/4, SECTION 13, TOWNSHIP 1, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN EPP80031				
<b>CIVIC ADDRESS</b>				
16172 24 AVENUE, SURREY, BC				
<b>ZONING INFORMATION</b>				
<b>ZONE</b>				
EXISTING	RF			
PROPOSED	CD			
<b>LOT AREA</b>				
<b>BLOCK C - NET SITE AREA</b>	37,664.31 Sq.Ft.	3,499.10 Sq.Mt.	0.86 ac	0.35 ha
<b>BLOCK D - NET SITE AREA</b>	134,504.79 Sq.Ft.	12,495.80 Sq.Mt.	3.09 ac	1.25 ha
<b>TOTAL NET SITE AREA</b>	172,169.10 Sq.Ft.	15,994.90 Sq.Mt.	3.95 ac	1.60 ha
<b>BUILDING HEIGHT</b>				
<b>BLOCK C - PROPOSED</b>	5 STOREY APARTMENT BUILDING	59.04 ft	18.00 Mt.	
<b>BLOCK D - PROPOSED</b>	74 ON GRADE TOWNHOUSES - 3 STOREYS	34.96 ft	10.66 Mt.	
<b>LOT COVERAGE</b>				
<b>BLOCK C - PROPOSED</b>	18,696.62 Sq.Ft.	1,736.96 Sq.Mt.	<b>49.6%</b>	
<b>BLOCK D - PROPOSED</b>	53,644.39 Sq.Ft.	4,983.69 Sq.Mt.	<b>39.9%</b>	
<b>PROPOSED(ON TOTAL NET SITE AREA)</b>	72,341.01 Sq.Ft.	6,720.64 Sq.Mt.	<b>42.02%</b>	
<b>SETBACKS - BLOCK C &amp; D</b>				
<b>NORTH (FROM 23 AVENUE, NEIGHBORING LOT)</b>	14.76 ft	4.50 Mt.		
<b>EAST(FROM 162 STREET)</b>	14.66 ft	4.47 Mt.		
<b>WEST (FROM 161A STREET - PL.)</b>	19.19 ft	5.85 Mt.		
<b>SOUTH (FROM 22 AVENUE)</b>	14.66 ft	4.47 Mt.		

FAR. - BLOCK C		
<b>5 STOREY APARTMENT BUILDING</b>		
LEVEL 1	14,263.36 Sq.Ft.	1,325.10 Sq.Mt.
LEVEL 2	18,696.62 Sq.Ft.	1,736.92 Sq.Mt.
LEVEL 3	17,511.60 Sq.Ft.	1,626.83 Sq.Mt.
LEVEL 4	17,340.35 Sq.Ft.	1,610.92 Sq.Mt.
LEVEL 5	16,654.38 Sq.Ft.	1,547.19 Sq.Mt.
<b>INDOOR AMENITY</b>	4,439.02 Sq.Ft.	412.38 Sq.Mt.
<b>TOTAL BUILDABLE AREA OF 5 STOREY BUILDING (INCL. INDOOR AMENITY)</b>	84,466.31 Sq.Ft.	7,847.11 Sq.Mt.
<b>TOTAL BUILDABLE AREA OF 5 STOREY BUILDING (EXCL. INDOOR AMENITY)</b>	80,027.29 Sq.Ft.	7,434.72 Sq.Mt.
<b>F.A.R (ON NET SITE AREA)</b>	2.12	

FAR. - BLOCK D		
<b>ON GRADE TOWNHOUSES</b>		
TYPE A	26,338.08 Sq.Ft.	2,446.87 Sq.Mt.
TYPE A1	21,896.28 Sq.Ft.	2,034.21 Sq.Mt.
TYPE A2	24,019.05 Sq.Ft.	2,231.42 Sq.Mt.
TYPE B	19,143.60 Sq.Ft.	1,778.48 Sq.Mt.
TYPE B1	18,610.68 Sq.Ft.	1,728.97 Sq.Mt.
TYPE B2	7,370.70 Sq.Ft.	684.75 Sq.Mt.
<b>TOTAL BUILDABLE AREA OF TOWN HOUSES (EXCL. GARAGE )</b>	117,378.39 Sq.Ft.	10,904.72 Sq.Mt.
<b>TOTAL BUILDABLE AREA OF TOWN HOUSES (INCL. GARAGE )</b>	48,431.34 Sq.Ft.	4,499.38 Sq.Mt.
<b>BLOCK D F.A.R (ON NET SITE AREA)</b>	0.87	
<b>TOTAL BUILDABLE AREA OF BLOCK C &amp; D (INCL. INDOOR AMENITY &amp; GARAGE)</b>	132,897.65 Sq.Ft.	12,346.49 Sq.Mt.

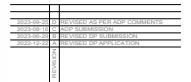
OFF STREET PARKING _ BLOCK C				
<b>UNIT TYPE</b>	<b>NO. OF UNITS</b>	<b>CARS PER DWELLING</b>	<b>NO. OF CARS</b>	<b>SAY</b>
1 OR NO BEDROOMS	64	1.3	83.2	83
2 OR MORE BEDROOMS	33	1.5	49.5	50
VISITOR PARKING	97	0.2	19.4	19
<b>TOTAL NO. OF PARKING REQUIRED (INCLUDING VISITOR PARKING)</b>			152	
<b>TOTAL NO. OF PARKING PROVIDED(INCLUDING VISITOR PARKING)</b>			163	
<b>TOTAL NO. OF SMALL CAR PARKING PROVIDED</b>			0	0%
<b>TOTAL NO. OF ACCESSIBLE CAR PARKING PROVIDED</b>			4	2%
<b>TOTAL NO. OF VAN ACCESSIBLE CAR PARKING PROVIDED</b>			2	1%

BICYCLE SPACES _BLOCK C				
<b>REQ. BICYCLE SPACES</b>	<b>REQUIRED</b>	<b>PROVIDED</b>		
VISITOR	6	6 SPACES AT GRADE		
RESIDENTS	1.2/D.U	116	122 SPACES AT UPPER PARKING	

OFF STREET PARKING _ BLOCK D				
<b>UNIT TYPE</b>	<b>NO. OF UNITS</b>	<b>CARS PER DWELLING</b>	<b>NO. OF CARS</b>	<b>SAY</b>
TYPE A	16	2	32	32
TYPE A1	14	2	28	28
TYPE A2	15	2	30	30
TYPE B	12	2	24	24
TYPE B1	12	2	24	24
TYPE B2	5	2	10	10
VISITOR PARKING	21	0.2	14.8	15
<b>TOTAL NO. OF PARKING REQUIRED (INCLUDING VISITOR PARKING)</b>			163	
<b>TOTAL NO. OF PARKING PROVIDED(INCLUDING VISITOR PARKING)</b>			163	

BICYCLE SPACES _BLOCK D				
<b>REQ. BICYCLE SPACES</b>	<b>REQUIRED</b>	<b>PROVIDED</b>		
VISITOR	6	6 SPACES		

AMENITY SPACE _ BLOCK C & BLOCK D				
<b>INDOOR AMENITY</b>				
<b>NO OF UNITS</b>	<b>AREA PER UNIT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
<b>BLOCK C - APT. UNITS</b>	97	3.00 Sq.Mt.	291.00 Sq.Mt.	
<b>BLOCK D - TOWNHOUSE</b>	74	3.00 Sq.Mt.	222.00 Sq.Mt.	
<b>TOTAL INDOOR AMENITY AREA</b>			513.00 Sq.Mt.	412.38 Sq.Mt., 4,439.02 Sq.Ft.
<b>OUTDOOR AMENITY</b>				
<b>NO OF UNITS</b>	<b>AREA PER UNIT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
<b>BLOCK C -APT. UNITS</b>	97	3.00 Sq.Mt.	291.00 Sq.Mt.	
<b>BLOCK D - TOWNHOUSE</b>	74	3.00 Sq.Mt.	222.00 Sq.Mt.	
<b>TOTAL OUTDOOR AMENITY AREA</b>			513.00 Sq.Mt.	724.99 Sq.Mt., 7,803.71 Sq.Ft.



PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:  
**IOM**  
MANAGED BY ANGLISURVEY INC.

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DRAWN: SD  
 CHECKED: NN  
 SCALE:  
 JOB NO: SUR - 168  
 DATE: MARCH 2022

SHEET TITLE:  
**LOT C - DEVELOPMENT DATA**

DRAWING No.  
**A-002.C1**

**D**

NOTES:



UNIT SCHEDULE _ BLOCK C											
FLOOR		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	AREA PER DU			TOTAL AREA	
UNIT A - 2 STOREY TH	2 BED RM.+ 2.5BATH RM.	5	4	0	0	0	1,196.11 Sq.Ft.	111.12 Sq.M.	9	10,764.99 Sq.Ft.	1,000.07 Sq.M.
UNIT A1 - 2 STOREY TH	2 BED RM.+ 2.5BATH RM.	0	2	0	0	0	1,112.91 Sq.Ft.	103.39 Sq.M.	2	2,225.82 Sq.Ft.	206.78 Sq.M.
UNIT B - 2 STOREY TH	2 BED RM.+ 2.5BATH RM.	1	1	0	0	0	1,220.47 Sq.Ft.	113.38 Sq.M.	2	2,440.94 Sq.Ft.	226.76 Sq.M.
UNIT C - 2 STOREY TH	4 BED RM.+ 2.5BATH RM.	0	1	0	0	0	1,551.61 Sq.Ft.	144.14 Sq.M.	1	1,551.61 Sq.Ft.	144.14 Sq.M.
UNIT D	2 BED RM.+ 1BATH RM.	1	0	0	0	0	648.96 Sq.Ft.	60.29 Sq.M.	1	648.96 Sq.Ft.	60.29 Sq.M.
UNIT D1	2 BED RM.+ 2BATH RM.	1	0	0	0	0	789.34 Sq.Ft.	73.33 Sq.M.	1	789.34 Sq.Ft.	73.33 Sq.M.
UNIT D2	2 BED RM.+ 1BATH RM.	0	1	0	0	0	598.96 Sq.Ft.	55.64 Sq.M.	1	598.96 Sq.Ft.	55.64 Sq.M.
UNIT D3	2 BED RM.+ 2BATH RM.	0	1	0	0	0	718.75 Sq.Ft.	66.77 Sq.M.	1	718.75 Sq.Ft.	66.77 Sq.M.
UNIT D4	2 BED RM.+ 2BATH RM.	0	1	0	0	0	787.41 Sq.Ft.	73.15 Sq.M.	1	787.41 Sq.Ft.	73.15 Sq.M.
UNIT D5	2 BED RM.+ 2BATH RM.	0	0	1	1	1	665.28 Sq.Ft.	61.80 Sq.M.	3	1,995.84 Sq.Ft.	185.41 Sq.M.
UNIT D6	2 BED RM.+ 2BATH RM.	0	0	1	1	1	665.28 Sq.Ft.	61.80 Sq.M.	3	1,995.84 Sq.Ft.	185.41 Sq.M.
UNIT E	1BED RM. + 2BATH RM.	0	1	1	1	0	855.53 Sq.Ft.	79.48 Sq.M.	3	2,566.59 Sq.Ft.	238.44 Sq.M.
UNIT E1	1 BED RM.+ 1BATH RM.	0	0	0	0	1	605.09 Sq.Ft.	56.21 Sq.M.	1	605.09 Sq.Ft.	56.21 Sq.M.
UNIT F	1 BED RM.+ 1BATH RM.+DEN	1	3	3	3	0	571.08 Sq.Ft.	53.05 Sq.M.	10	5,710.80 Sq.Ft.	530.53 Sq.M.
UNIT F1	1 BED RM.+ 1BATH RM.	0	0	4	8	5	595.99 Sq.Ft.	55.37 Sq.M.	17	10,131.83 Sq.Ft.	941.25 Sq.M.
UNIT F2	1 BED RM.+ 1BATH RM.	0	0	0	2	2	483.83 Sq.Ft.	44.95 Sq.M.	4	1,935.32 Sq.Ft.	179.79 Sq.M.
UNIT F3	1 BED RM.+ 1BATH RM.	0	0	0	0	3	505.99 Sq.Ft.	47.01 Sq.M.	3	1,517.97 Sq.Ft.	141.02 Sq.M.
UNIT G	1 BED RM.+ 1BATH RM.	1	0	0	0	0	576.80 Sq.Ft.	53.58 Sq.M.	1	576.80 Sq.Ft.	53.58 Sq.M.
UNIT H	2 BED RM.+ 2BATH RM.+DEN	1	1	1	1	0	877.84 Sq.Ft.	81.55 Sq.M.	4	3,511.36 Sq.Ft.	326.21 Sq.M.
UNIT H1	2 BED RM.+ 2BATH RM.	0	0	0	0	1	719.06 Sq.Ft.	66.80 Sq.M.	1	719.06 Sq.Ft.	66.80 Sq.M.
UNIT I	1 BED RM.+ 1BATH RM.	0	1	1	1	1	628.99 Sq.Ft.	58.43 Sq.M.	4	2,515.96 Sq.Ft.	233.73 Sq.M.
UNIT I1	1 BED RM.+ 1BATH RM.+DEN	0	1	1	1	1	652.69 Sq.Ft.	60.63 Sq.M.	4	2,610.76 Sq.Ft.	242.54 Sq.M.
UNIT J	2 BED RM.+ 1BATH RM.	0	1	1	1	0	641.28 Sq.Ft.	59.57 Sq.M.	3	1,923.84 Sq.Ft.	178.72 Sq.M.
UNIT J1	1 BED RM.+ 1BATH RM.	0	0	0	0	1	494.58 Sq.Ft.	45.95 Sq.M.	1	494.58 Sq.Ft.	45.95 Sq.M.
UNIT K	1 BED RM.+ 1BATH RM.+DEN	0	0	0	1	1	620.00 Sq.Ft.	57.60 Sq.M.	2	1,240.00 Sq.Ft.	115.20 Sq.M.
UNIT L	1 BED RM.+ 1BATH RM.	0	0	0	2	0	474.96 Sq.Ft.	44.12 Sq.M.	2	949.92 Sq.Ft.	88.25 Sq.M.
UNIT M	1 BED RM.+ 1BATH RM.	0	0	1	1	0	511.13 Sq.Ft.	47.48 Sq.M.	2	1,022.26 Sq.Ft.	94.97 Sq.M.
UNIT M1	1 BED RM.+ 1BATH RM.	0	0	0	0	1	485.56 Sq.Ft.	45.11 Sq.M.	1	485.56 Sq.Ft.	45.11 Sq.M.
UNIT N	1 BED RM.+ 1BATH RM.	0	0	0	0	2	480.34 Sq.Ft.	44.62 Sq.M.	2	960.68 Sq.Ft.	89.25 Sq.M.
UNIT N1	1 BED RM.+ 1BATH RM.	0	0	0	0	3	506.00 Sq.Ft.	47.01 Sq.M.	3	1,518.00 Sq.Ft.	141.02 Sq.M.
UNIT O	1 BED RM.+ 1BATH RM.	0	1	1	1	1	1,036.97 Sq.Ft.	96.33 Sq.M.	4	4,147.88 Sq.Ft.	385.34 Sq.M.
TOTAL NO. OF UNITS		11	20	16	25	25			97	69,662.72 Sq.Ft.	6,471.67 Sq.M.

UNIT AREA _BLOCK D	
UNIT TYPE A	AREA
LEVEL 1 (GARAGE EXCLUDED)	227.06 Sq.Ft.
GARAGE AREA	445.00 Sq.Ft.
LEVEL 2 (BALCONY EXCLUDED)	684.87 Sq.Ft.
BALCONY AREA	49.33 Sq.Ft.
LEVEL 3	734.20 Sq.Ft.
TOTAL AREA (EXCLUDING GARAGE/BALCONY)	1,646.13 Sq.Ft.
UNIT TYPE A1	AREA
LEVEL 1 (GARAGE EXCLUDED)	213.19 Sq.Ft.
GARAGE AREA	441.38 Sq.Ft.
LEVEL 2 (BALCONY EXCLUDED)	650.75 Sq.Ft.
BALCONY AREA	49.33 Sq.Ft.
LEVEL 3	700.08 Sq.Ft.
TOTAL AREA (EXCLUDING GARAGE/BALCONY)	1,564.02 Sq.Ft.
UNIT TYPE A2	AREA
LEVEL 1 (GARAGE EXCLUDED)	225.44 Sq.Ft.
GARAGE AREA	441.38 Sq.Ft.
LEVEL 2 (BALCONY EXCLUDED)	663.25 Sq.Ft.
BALCONY AREA	50.36 Sq.Ft.
LEVEL 3	712.58 Sq.Ft.
TOTAL AREA (EXCLUDING GARAGE/BALCONY)	1,601.27 Sq.Ft.

UNIT AREA _BLOCK D	
UNIT TYPE B	AREA
LEVEL 1 (GARAGE EXCLUDED)	79.56 Sq.Ft.
GARAGE AREA	561.18 Sq.Ft.
LEVEL 2 (BALCONY EXCLUDED)	757.87 Sq.Ft.
BALCONY AREA	71.62 Sq.Ft.
LEVEL 3	757.87 Sq.Ft.
TOTAL AREA (EXCLUDING GARAGE/BALCONY)	1,595.30 Sq.Ft.
UNIT TYPE B1	AREA
LEVEL 1 (GARAGE EXCLUDED)	79.56 Sq.Ft.
GARAGE AREA	557.10 Sq.Ft.
LEVEL 2 (BALCONY EXCLUDED)	735.79 Sq.Ft.
BALCONY AREA	71.62 Sq.Ft.
LEVEL 3	735.54 Sq.Ft.
TOTAL AREA (EXCLUDING GARAGE/BALCONY)	1,550.89 Sq.Ft.
UNIT TYPE B2	AREA
LEVEL 1 (GARAGE EXCLUDED)	79.56 Sq.Ft.
GARAGE AREA	557.10 Sq.Ft.
LEVEL 2 (BALCONY EXCLUDED)	697.29 Sq.Ft.
BALCONY AREA	89.12 Sq.Ft.
LEVEL 3	697.29 Sq.Ft.
TOTAL AREA (EXCLUDING GARAGE/BALCONY)	1,474.14 Sq.Ft.

1	REVISIONS
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS



100-10801 SHELLBERRY WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2G9  
TEL: 604-273-1111  
WWW.DFAARCHITECTURE.COM

PROJECT:

**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:



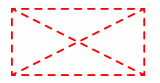
100-10801 SHELLBERRY WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2G9  
TEL: 604-273-1111  
WWW.DFAARCHITECTURE.COM

DRAWING NO:	SO
CHECKED BY:	NN
SCALE:	
JOB NO:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

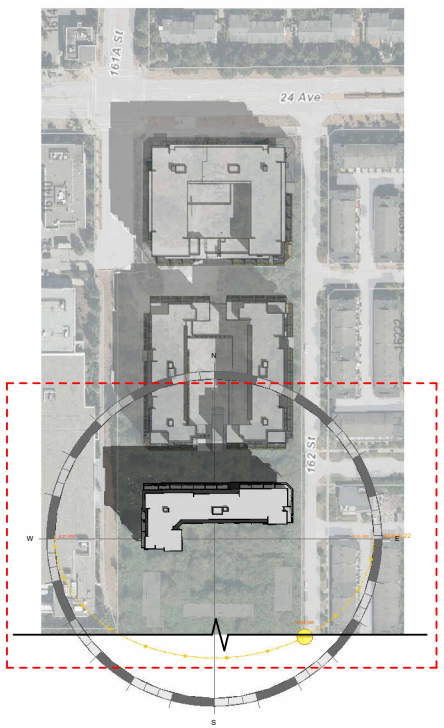
LOT C - DEVELOPMENT DATA

DRAWING NO: **A-002.C2**      **D**

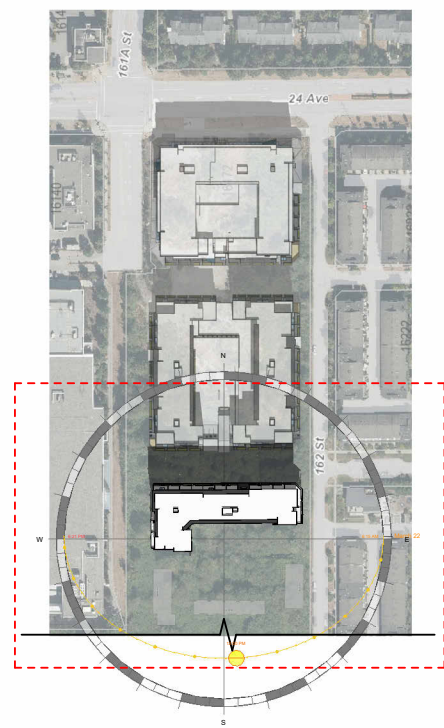
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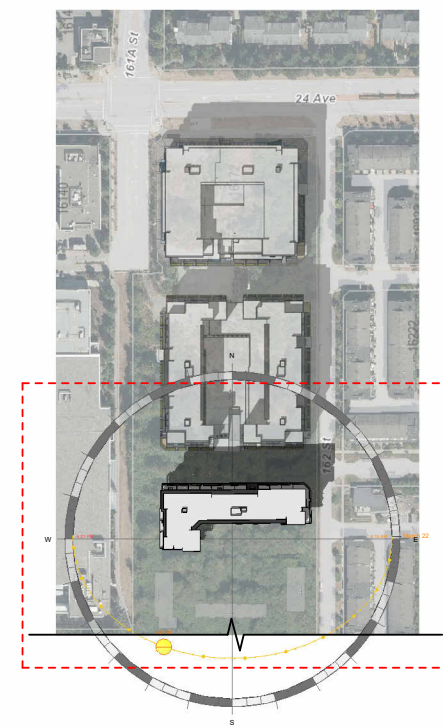
- DASHED LINE INDICATE SUBJECT STUDIED LOT



1 EQ MARCH - 10AM  
A-004.C



2 EQ MARCH - NOON  
A-004.C



3 EQ MARCH - 2PM  
A-004.C

NO. 1	DATE	DESCRIPTION
1	2022.03.01	ISSUED FOR PERMIT
2	2022.03.01	ISSUED FOR PERMIT
3	2022.03.01	ISSUED FOR PERMIT
4	2022.03.01	ISSUED FOR PERMIT

**df**  
ARCHITECTURE  
inc.

800-1180 SHELLBROOK WAY  
RICHMOND BRITISH COLUMBIA  
CANADA V6V 2G5  
T 604.276.8131 F 604.276.9131  
info@dfarchitecture.ca

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**  
IOM  
490-1180B ST AVE, SUITE 101  
VANCOUVER, BC V6N 3K2

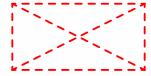
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DRAWN: SO	
CHECKED: NN	
SCALE:	
JOB NO: SUR - 168	
DATE: MARCH 2022	
SHEET TITLE:	

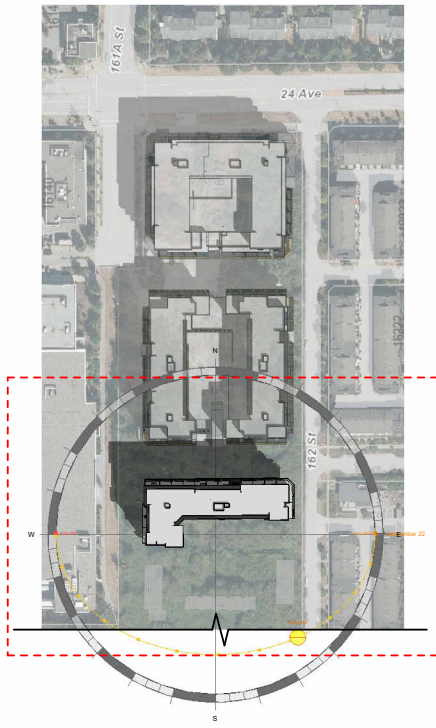
LOT C - SHADOW  
ANALYSIS

DRAWING NO. <b>A-004.C</b>	<b>D</b>
-------------------------------	----------

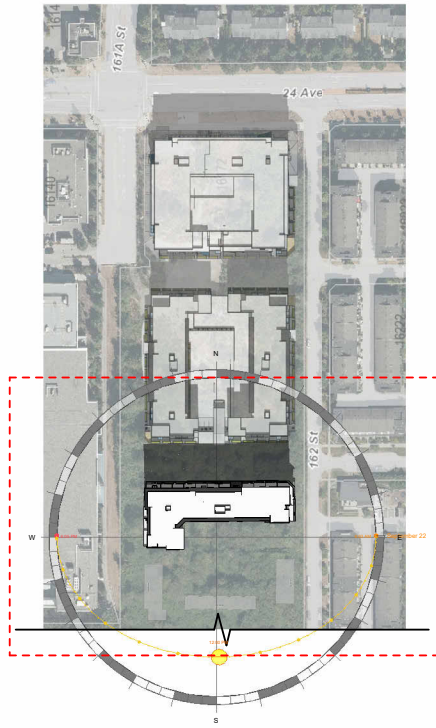
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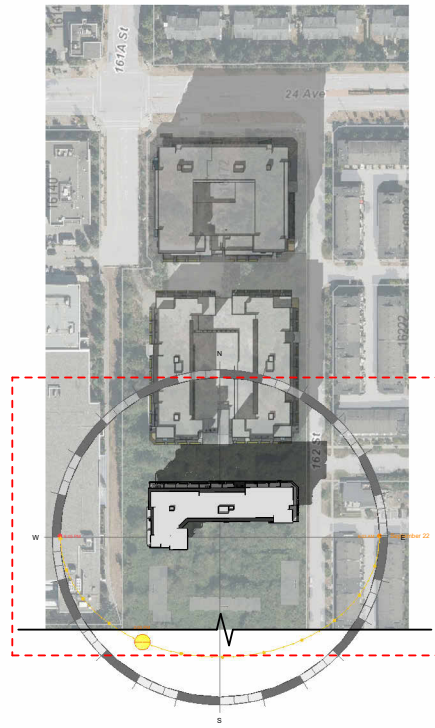
- DASHED LINE INDICATE SUBJECT STUDIED LOT



1 EQ SEPTEMBER - 10AM  
A-005.C



2 EQ SEPTEMBER - NOON  
A-005.C



3 EQ SEPTEMBER - 2PM  
A-005.C

NO. 1	DATE	DESCRIPTION

**df**  
ARCHITECTURE  
inc.

300-11801 SHELLEBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2G9  
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info@dfarchitecture.ca

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**  
IOM  
100-11808 ST AVE, SURREY, BC

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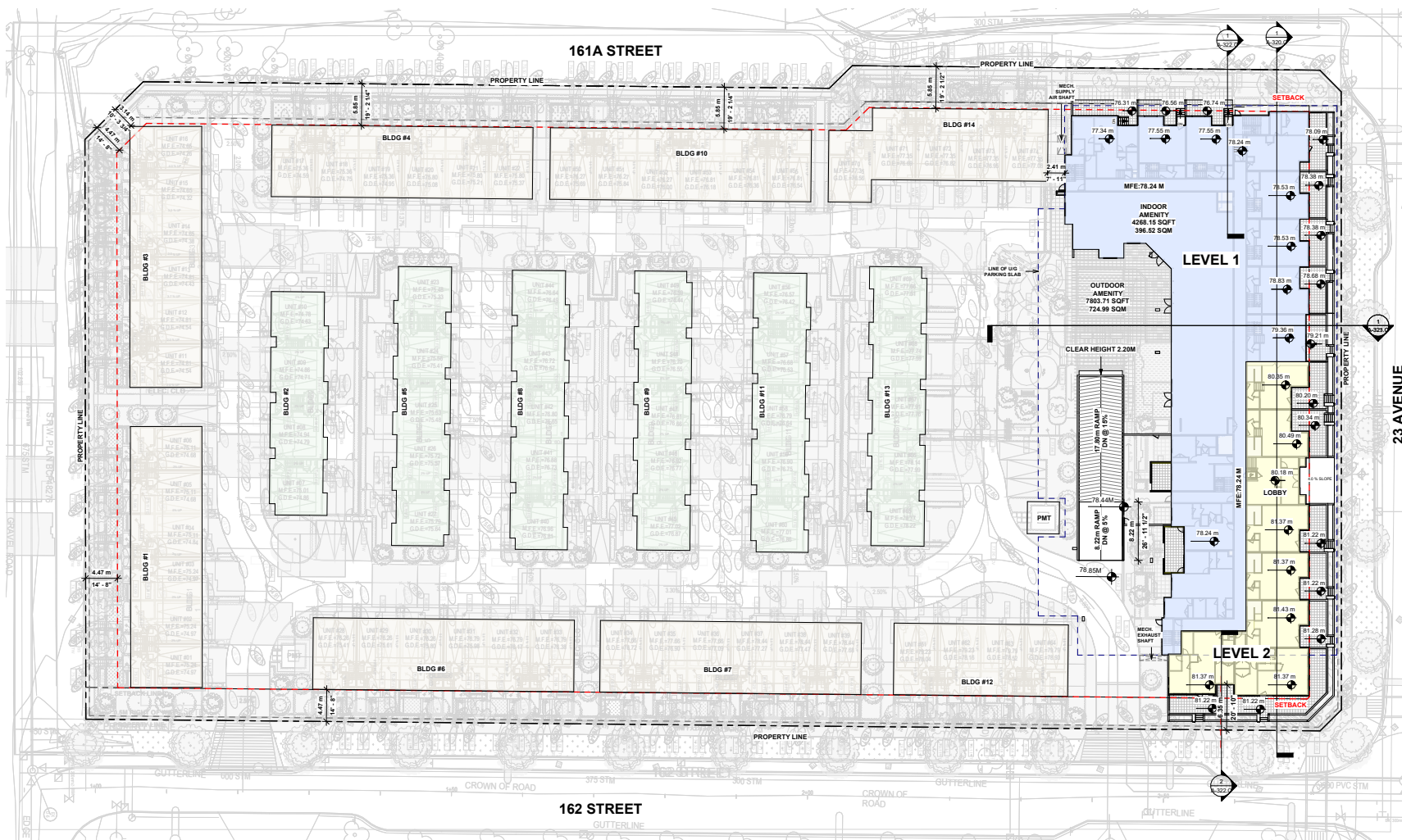
DRAWING No:	AA
CHECKED BY:	NN
SCALE:	
JOB NO:	SUR - 168
DATE:	APR 2022
SHEET TITLE:	

LOT C - SHADOW ANALYSIS CONT'D

DRAWING No:	<b>A-005.C</b>
SHEET No.:	<b>D</b>



NOTES:



23 AVENUE

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100	1:3200



100-1000 BELLINGHAM AVE  
 INTERSECTION BETWEEN COLUMBIA  
 COLLEGE WALKWAY  
 100-1000 BELLINGHAM AVE  
 #2000-1000-1011  
 VANCOUVER BC V6J 1A8

PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**  
 IOM  
 #101-1000 BELLINGHAM AVE, VANCOUVER BC

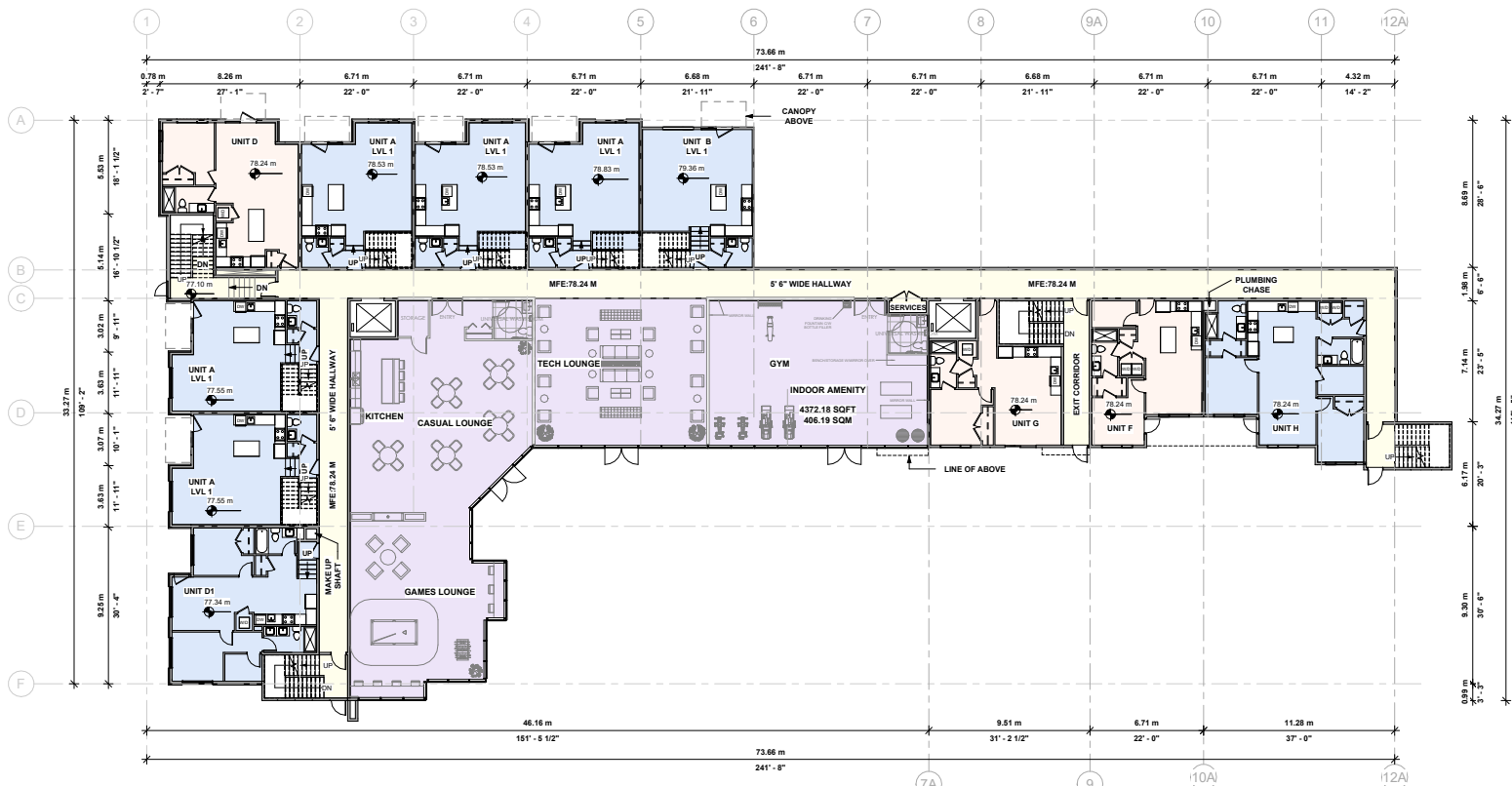
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DRAWING NO:	SO
CHECKED BY:	NN
SCALE:	1" = 20'-0"
JOB NO:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT C - SITE PLAN

DRAWING NO:	A-100.C
DATE:	D

NOTES:



SUITE LEGEND	
[Light Blue Box]	STUDIO
[Light Orange Box]	1 BEDROOM SUITE
[Light Blue Box]	2 BEDROOM SUITE
[Light Green Box]	3 BEDROOM SUITE

**1** LOT C - Level 1  
A-202.C 1"=10'-0"

DATE	PROJECT
ISSUED FOR PERMIT	MIXED USE DEVELOPMENT
REVISED FOR PERMIT	16172 24 AVENUE, SURREY, B.C.
REVISED FOR PERMIT	CLIENT:
REVISED FOR PERMIT	<b>IOM</b>
REVISED FOR PERMIT	404-11504 ST AVE, SURREY BC

**df**  
ARCHITECTURE  
inc.

404-11504 SHELLEBROOK WAY  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2G6  
TEL: 604.273.3333 # 204204-0111  
www.dfaarchitecture.ca

PROJECT:

**MIXED USE DEVELOPMENT  
16172 24 AVENUE, SURREY,  
B.C.**

CLIENT:

**IOM**  
404-11504 ST AVE, SURREY BC

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DRAWING NO.	SO
CHECKED BY	NN
SCALE	As Indicated
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE:	

**LOT C - FLOOR PLAN  
(LEVEL-1)**

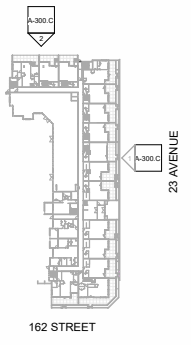
DRAWING

**A-202.C**

**D**



NOTES:



1 NORTH ELEVATION (23 AVENUE)  
A-300.C T=10'0"

SCHEDULE OF FINISHES

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>1. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE - REVEAL COLOR MATCHED</li> <li>2. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> <li>3. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7017 DORIAN GRAY - REVEAL COLOR MATCHED</li> <li>4. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7017 DORIAN GRAY</li> <li>5. WOODTONE RUSTIC SERIES LAP COLOR: SUMMER WHEAT</li> <li>6. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: BM 1603 GRAPHITE - REVEAL COLOR MATCHED</li> </ul> | <ul style="list-style-type: none"> <li>7. ONYX SMOOTH - HEBRON BRICK - SUPER SCOTTY 3'2-13'16"1'5'8</li> <li>8. SOFFIT - WOODTONE RUSTIC SERIES PROFILE COLOR : SUMMER WHEAT</li> <li>9. PAINTED VINYL WINDOWS COLOR : STANDARD BLACK</li> <li>10. WINDOW WALL SYSTEM COLOR; (TRANSPARENT), MULLION COLOR TO MATCH STANDARD BLACK</li> <li>11. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: SW 7045 THUNDER GRAY</li> <li>12. SLIDING DOOR SYSTEM COLOR;(TRANSPARENT), COLOR : STANDARD BLACK</li> <li>13. GLASS AWNING C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK WITH TRANSPARENT GLASS</li> <li>14. C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK</li> <li>15. FLASHINGS COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> <li>16. FLASHINGS COLOR TO MATCH: SW 7017 DORIAN GRAY</li> <li>17. FLASHINGS COLOR TO MATCH: BM 1603 GRAPHITE</li> <li>18. FLASHINGS COLOR TO MATCH: SUMMER WHEAT</li> <li>19. SPANDREL PANEL COLOR TO MATCH : BM 1603 GRAPHITE</li> <li>20. PRIVACY SCREEN - TINTED GLASS AND STANDARD BLACK ALUMINUM MULLION</li> <li>21. POWDER COATED ALUMINUM RAILING COLOR : STANDARD BLACK GLASS (TRANSPARENT) COLOR</li> <li>22. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: BM 1603 GRAPHITE</li> </ul> |
|---|--|



2 WEST ELEVATION (161A STREET)  
A-300.C T=10'0"

DATE	DESCRIPTION
2022-03-01	ISSUED FOR PERMIT APPLICATION
2022-02-15	REVISED PER COMMENTS
2022-02-01	ISSUED FOR PERMIT APPLICATION



200-1880 BELLBROOK AVE  
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PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**

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DRAWN	SO
CHECKED	NN
SCALE	As Indicated
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

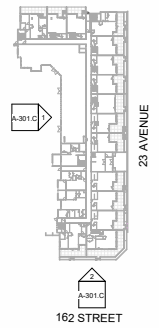
LOT C - ELEVATIONS

DRAWING No.	<b>A-300.C</b>
SHEET TITLE	<b>D</b>

NOTES:



**1 SOUTH ELEVATION**  
A-301.C 1" = 10'-0"



DATE	DESCRIPTION
2022-03-01	ISSUED FOR PERMIT APPLICATION
2022-02-15	ISSUED FOR PERMIT APPLICATION
2022-02-01	ISSUED FOR PERMIT APPLICATION
2022-01-15	ISSUED FOR PERMIT APPLICATION
2022-01-01	ISSUED FOR PERMIT APPLICATION



**2 EAST ELEVATION (162 STREET)**  
A-301.C 1" = 10'-0"

**SCHEDULE OF FINISHES**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>1. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE - REVEAL COLOR MATCHED</li> <li>2. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> <li>3. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: SW 7017 DORIAN GRAY - REVEAL COLOR MATCHED</li> <li>4. SMOOTH FINISH HARDIE SHIPLAP SIDING COLOR TO MATCH: SW 7017 DORIAN GRAY</li> <li>5. WOODTONE RUSTIC SERIES LAP COLOR: SUMMER WHEAT</li> <li>6. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: BM 1603 GRAPHITE - REVEAL COLOR MATCHED</li> </ul> | <ul style="list-style-type: none"> <li>7. ONYX SMOOTH - HEBRON BRICK - SUPER SCOTTY 30-1316*1158</li> <li>8. SOFFIT - WOODTONE RUSTIC SERIES PROFILE COLOR: SUMMER WHEAT</li> <li>9. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK</li> <li>10. WINDOW WALL SYSTEM COLOR: (TRANSPARENT), MULLION COLOR TO MATCH STANDARD BLACK</li> <li>11. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: SW 7645 THUNDER GRAY</li> <li>12. SLIDING DOOR SYSTEM COLOR: (TRANSPARENT), COLOR: STANDARD BLACK</li> <li>13. GLASS AWNING C-CHANNEL CANOPY FRAME COLOR TO MATCH: STANDARD BLACK WITH TRANSPARENT GLASS</li> <li>14. C-CHANNEL CANOPY FRAME COLOR TO MATCH STANDARD BLACK</li> <li>15. FLASHINGS COLOR TO MATCH: SW 7007 CEILING BRIGHT WHITE</li> <li>16. FLASHINGS COLOR TO MATCH: SW 7017 DORIAN GRAY</li> <li>17. FLASHINGS COLOR TO MATCH: BM 1603 GRAPHITE</li> <li>18. FLASHINGS COLOR TO MATCH: SUMMER WHEAT</li> <li>19. SPANDREL PANEL COLOR TO MATCH: BM 1603 GRAPHITE</li> <li>20. PRIVACY SCREEN - TINTED GLASS AND STANDARD BLACK ALUMINIUM MULLION</li> <li>21. POWDER COATED ALUMINIUM RAILING COLOR: STANDARD BLACK GLASS (TRANSPARENT) COLOR</li> <li>22. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: BM 1603 GRAPHITE</li> </ul> |
|---|--|



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PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**

CLIENT:  
**IOM**

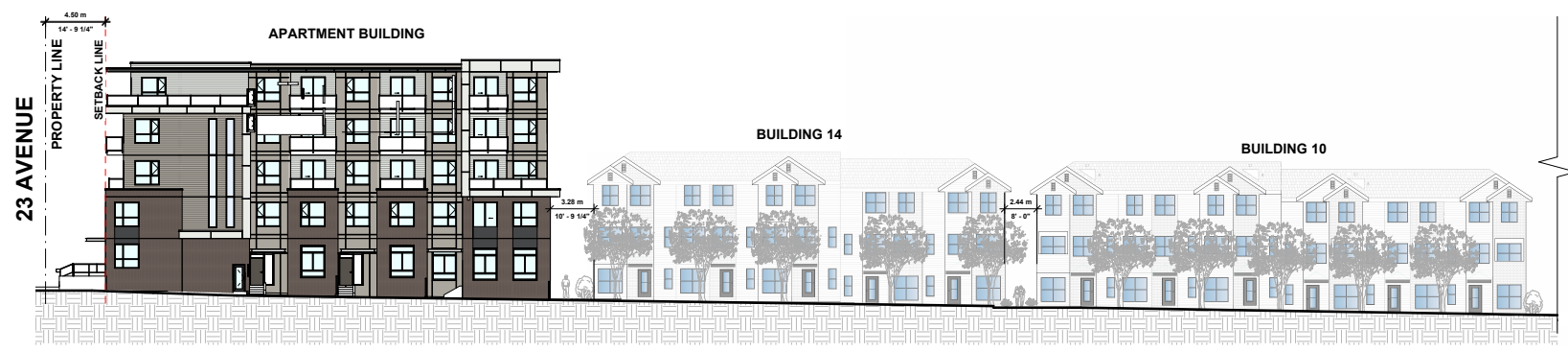
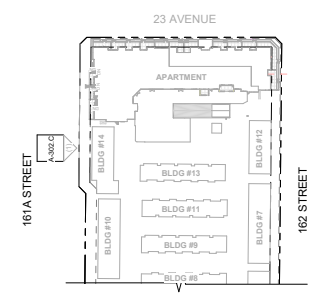
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DRAWING NO.	SO
CHECKED BY	NN
SCALE	As indicated
FOR NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

LOT C - ELEVATIONS

DRAWING NO.	<b>A-301.C</b>
SHEET NO.	<b>D</b>

NOTES:



1 WEST ELEVATION (161A STREET) - W/ TOWNHOUSES  
A-302.C 1:150


**df**  
ARCHITECTURE  
inc.

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PROJECT:  
**MIXED USE DEVELOPMENT  
16172 24 AVENUE, SURREY,  
B.C.**

CLIENT:  
**IOM**  
IOM  
16172 24 AVE, SURREY, BC

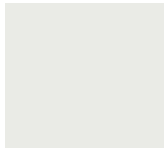
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DATE:	MARCH 2022
SHEET TITLE:	

**LOT C - PARTIAL  
ELEVATION W/  
TOWNHOUSES**

DRAWING NO:	<b>A-302.C</b>	<b>D</b>
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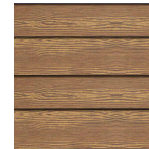




1. SMOOTH FINISH HARDIE PANEL  
FRY REGLET REVEAL SYSTEM  
COLOR TO MATCH: SW 7007 CEILING  
BRIGHT WHITE - REVEAL COLOR  
MATCHED



2. SMOOTH FINISH HARDIE SHIPLAP  
SIDING  
COLOR TO MATCH: SW 7007 CEILING  
BRIGHT WHITE



3. WOODTONE RUSTIC  
SERIES LAP  
COLOR: SUMMER WHEAT



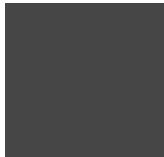
4. SOLID CORE WOOD DOORS  
COLOR: SW 7645 THUNDER GRAY



5. SMOOTH FINISH HARDIE PANEL  
FRY REGLET REVEAL SYSTEM  
COLOR TO MATCH: SW 7017  
DORIAN GRAY - REVEAL COLOR  
MATCHED



6. SMOOTH FINISH HARDIE  
PANEL FRY REGLET REVEAL  
SYSTEM  
COLOR TO MATCH: BM 1603  
GRAPHITE - REVEAL COLOR  
MATCHED



7. SOLID CORE WOOD DOORS  
COLOR: BM 1603 GRAPHITE



8. SMOOTH FINISH HARDIE  
SHIPLAP SIDING  
COLOR TO MATCH: SW 7017  
DORIAN GRAY



9. ONYX SMOOTH -  
HEBRON BRICK - SUPER  
SCOTTY 3\*2-13/16\*11/5/8

NOTES:

NO.	DESCRIPTION	DATE



200-11801 BELLBRIDGE WAY  
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SCALE:	1:148
JOB NO.:	SUR-168
DATE:	MARCH 2022
SHEET TITLE:	

LOT C - MATERIAL  
BOARD - APARTMENT  
BUILDING

DRAWING NO:  
**A-303.C**

**D**

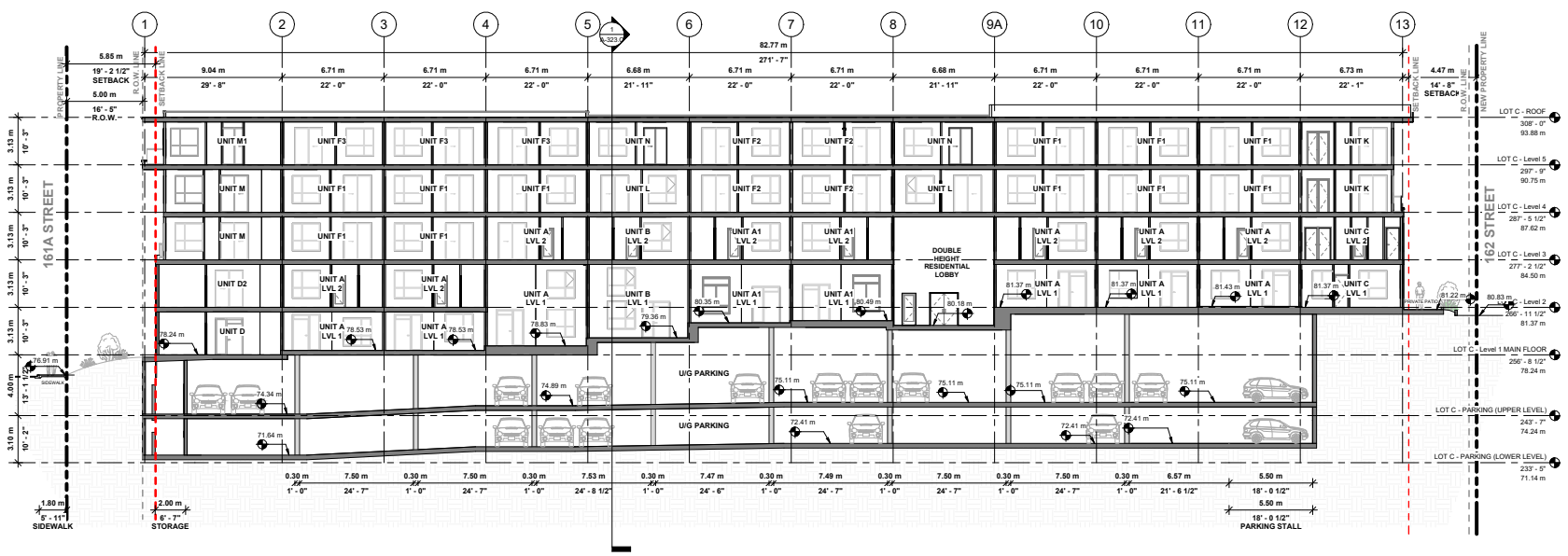


VIEW OF APARTMENT BUILDING FROM 23 AVENUE

NOTES:



23 AVENUE



- LOT C - ROOF: 308'-0" / 93.88 m
- LOT C - Level 5: 237'-9" / 90.75 m
- LOT C - Level 4: 287'-5 1/2" / 87.62 m
- LOT C - Level 3: 277'-2 1/2" / 84.50 m
- LOT C - Level 2: 260'-11 1/2" / 81.37 m
- LOT C - Level 1 MAIN FLOOR: 256'-8 1/2" / 78.24 m
- LOT C - PARKING (UPPER LEVEL): 243'-7" / 74.24 m
- LOT C - PARKING (LOWER LEVEL): 233'-5" / 71.14 m



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PROJECT:  
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**16172 24 AVENUE, SURREY,**  
**B.C.**

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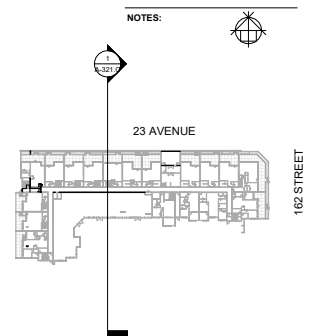
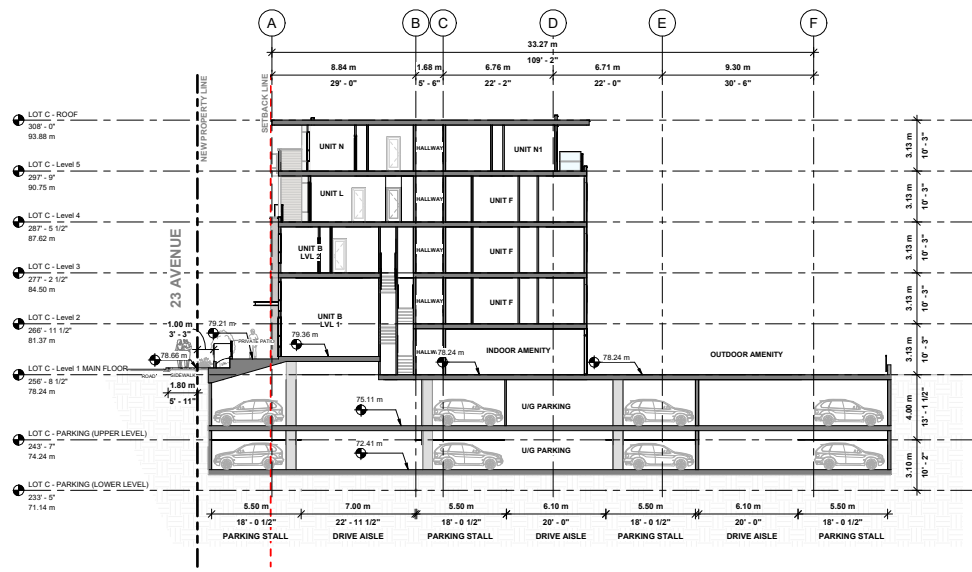
DRAWING NO:	SO
CHECKED BY:	NN
SCALE:	As indicated
JOB NO.:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

LOT C - BUILDING SECTIONS

**1** CROSS SECTION 1 (LOT C)  
A-320.C 3/32" = 1' 0"

DRAWING NO.:	<b>A-320.C</b>
SHEET NO.:	<b>D</b>





2022-03-15	REVISED FOR PLAN CORRECTIONS
2022-03-15	REVISED FOR PLAN CORRECTIONS
2022-03-15	REVISED FOR PLAN CORRECTIONS
2022-03-15	REVISED FOR PLAN CORRECTIONS



300-1880 SHELLBROOK AVE  
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info@dfarchitect.com

**PROJECT:**  
MIXED USE DEVELOPMENT  
16172 24 AVENUE, SURREY,  
B.C.

**CLIENT:**  
**IOM**  
IOM  
1801-1838H ST AVE, SURREY BC

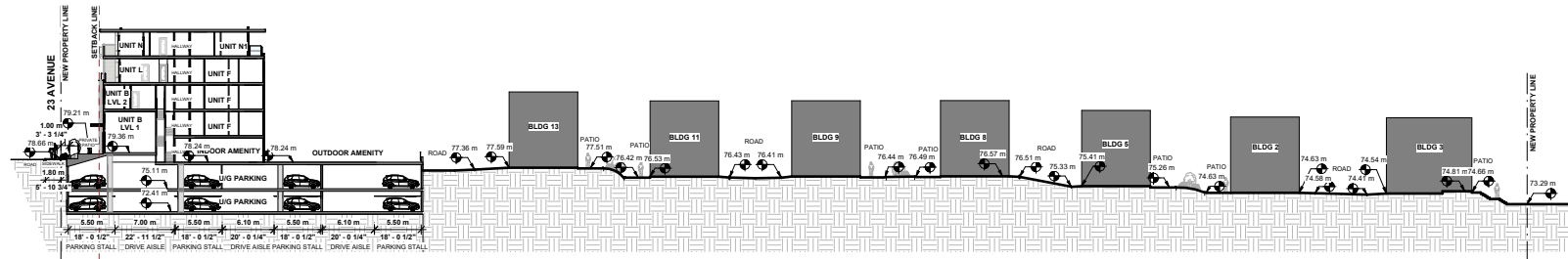
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CHECKED BY:	NN
SCALE:	As indicated
JOB NO.:	SUR - 168
DATE:	MARCH 2022
SHEET TITLE:	

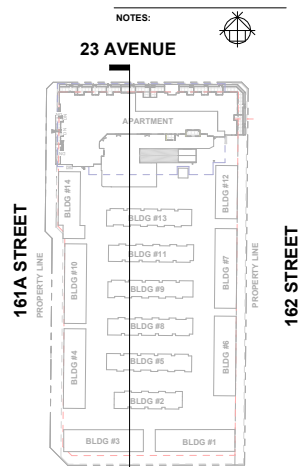
LOT C - BUILDING SECTIONS

**1** CROSS SECTION 2 (LOT C)  
**A-321.C** 3/22-110

DRAWING NO:	<b>A-321.C</b>
DATE:	<b>D</b>



1 CROSS SECTION 3 ( LOT C ) - W/ TOWNHOUSES  
A-323.C 1" = 20'-0"



NO.	REVISION
1	ISSUED FOR PERMITTING
2	ISSUED FOR PERMITTING
3	ISSUED FOR PERMITTING
4	ISSUED FOR PERMITTING
5	ISSUED FOR PERMITTING
6	ISSUED FOR PERMITTING
7	ISSUED FOR PERMITTING
8	ISSUED FOR PERMITTING
9	ISSUED FOR PERMITTING
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47	ISSUED FOR PERMITTING
48	ISSUED FOR PERMITTING
49	ISSUED FOR PERMITTING
50	ISSUED FOR PERMITTING



205 - 10801 SHELLBROOK WAY  
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PROJECT:  
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**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**  
IOM  
100-11008 51 AVE. SURREY BC

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CHECKED: <b>NN</b>	
SCALE: <b>As indicated</b>	
JOB NO: <b>SUR - 168</b>	
DATE: <b>MARCH 2022</b>	
SHEET TITLE:	

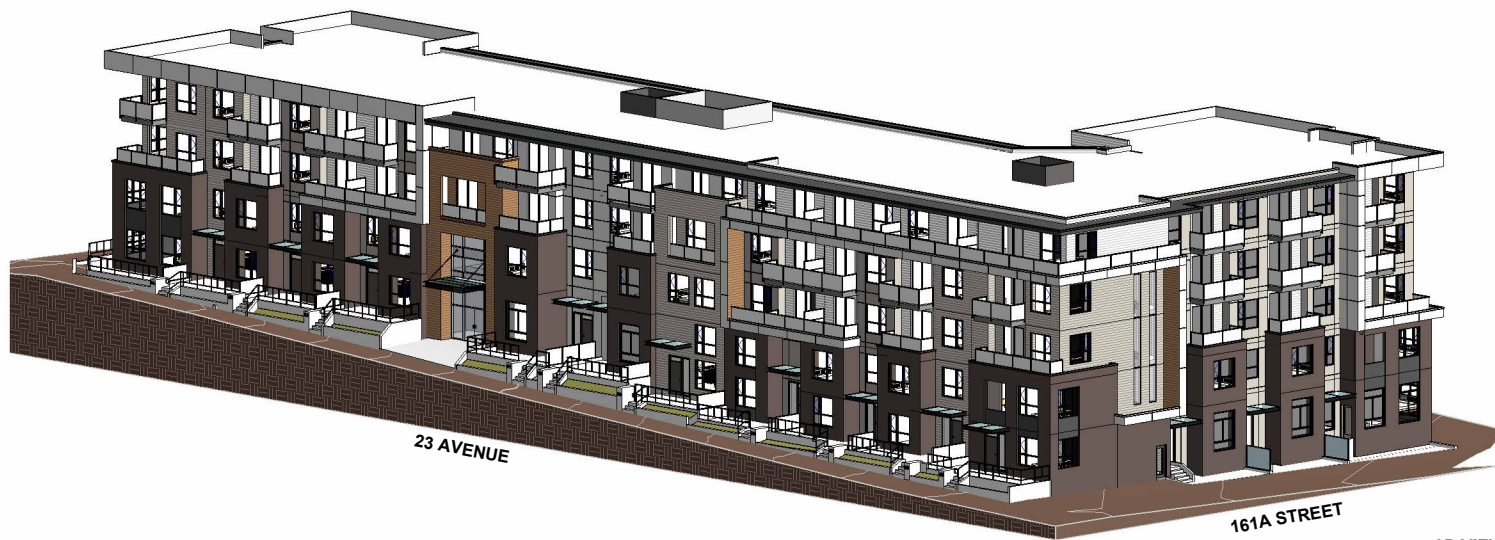
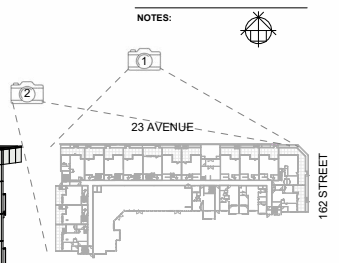
**LOT C - SECTION W/**  
**TOWNHOUSES**

DRAWING NO: <b>A-323.C</b>	<b>D</b>
-------------------------------	----------



23 AVENUE

3D VIEW 1



23 AVENUE

161A STREET

3D VIEW 2

NO.	DESCRIPTION
1	DATE
2	BY
3	BY
4	BY
5	BY



200-1880 BIRCHMOUNT AVE  
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PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY,**  
**B.C.**

CLIENT:  
**IOM**

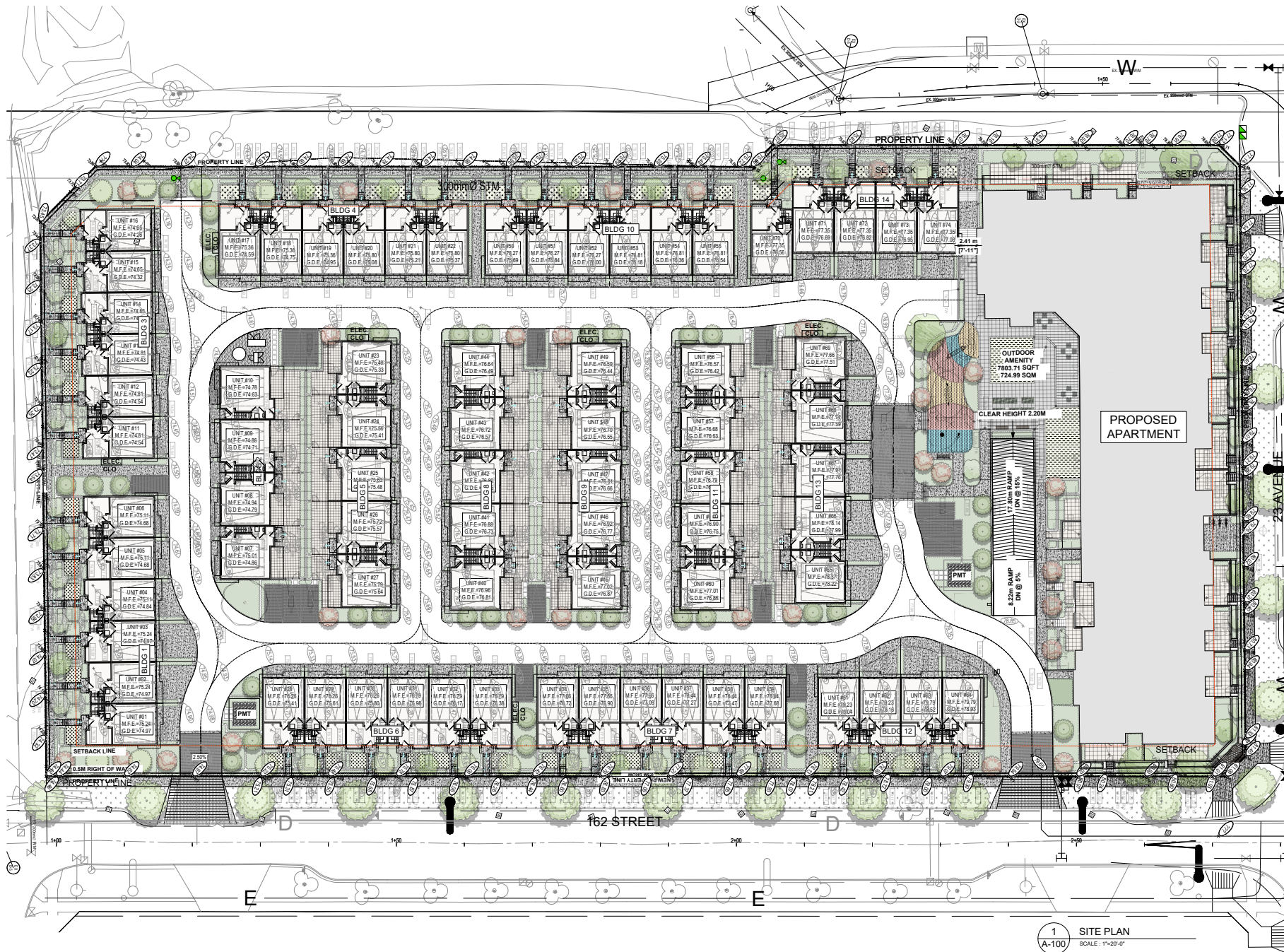
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SCALE	1" = 60'-0"
JOB NO.	SUR - 168
DATE	MARCH 2022
SHEET TITLE	

LOT C - 3D VIEWS

DRAWING NO.	<b>A-350.C</b>	<b>D</b>
-------------	----------------	----------





NOTES:

H		
G		
F		
E		
D	2023-05-25	REVISED AS PER DP COMMENTS
C	2023-08-16	ADP SUBMISSION
B	2023-06-29	REVISED DP SUBMISSION
A	2022-12-22	REVISED DP APPLICATION



#350-1081 SHELLEBRIDGEWAY  
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PROJECT:  
**MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C**

CLIENT:  
**DOM PROPERTY GROUP**  
**#401-15336 31 AVENUE, SURREY, BC**

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CHECKED BY:	MM
SCALE:	1"=20'-0"
JOB No.:	SUR-168
DATE:	MARCH 2022
SHEET No.:	
SHEET TITLE:	

**LOT C - TOWNHOUSES**  
**SITE PLAN**

**1 SITE PLAN**  
**A-100 SCALE: 1"=20'-0"**

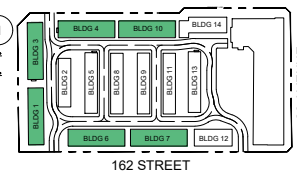
DRAWING NO.:	<b>A-100</b>	<b>D</b>
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NOTES:

- SCHEDULE OF FINISHES**
- SMOOTH FINISH HARDIE BOARD AND BATTEN COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE SIDING 7" WITH EXPOSURE, 6" CORNER TRIMS COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE SHINGLES, 6" CORNER TRIMS, COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE PANEL GARAGE DOORS, COLOUR TO MATCH SW7645 THUNDER GRAY
  - 6" TRIMS/WINDOWS, ENTRANCE DOORS AND GARAGE DOORS: FASCIA GUTTER, LOUVERS ALUMINUM RAILING AND VINYL WINDOWS, COLOUR TO MATCH SW8991 BLACK MAGIC
  - OWENS CORNING TRUE DEFINITION DURATION ROOF SHINGLES, COLOUR TO MATCH ONYX BLACK
  - FIBRE GLASS DOOR PAINTED TO MATCH COLOUR SW9330 MANAGED GOLD
  - PONDER COATED ALUMINUM RAILING COLOR: SW8991, BLACK MAGIC, GLASS (TRANSPARENT) COLOR
  - SMOOTH FINISH HARDIE SIDING WITH EXPOSURE, 6" CORNER TRIMS, COLOUR TO MATCH SW7645 WHITE SAGE
  - GLASS AWNING C-CHANNEL CANOPY FRAME

KEY PLAN



**1** BUILDING 1,3,4,6,7,10 - WEST ELEVATION  
SCALE: 3/16" = 1'-0"



**2** BUILDING 1,3,4,6,7,10 - EAST ELEVATION  
SCALE: 3/16" = 1'-0"

NO.	REVISION	DATE	BY	CHKD.
2023-09-28	REVISED AS PER ACP COMMENTS			
2022-08-10	ACP SUBMISSION			
2022-08-01	REVISED FOR SUBMISSION			
2022-12-22	REVISED DP APPLICATION			



350 - 1081 SHELLBROOKE WAY  
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PROJECT: **TOWNHOUSE APARTMENT & MIXED USE DEVELOPMENT**

**16172 24 AVENUE, SURREY, B.C.**



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CHECKED: NN  
SCALE: As Indicated  
JOB NO: SUR - 168  
DATE: MARCH 2022  
SHEET TITLE:

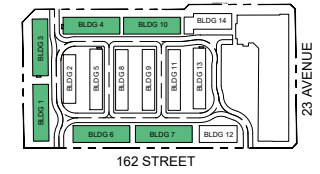
**BUILDING 1,3,4,6,7,10 ELEVATIONS**

DRAWING NO. **A-300** D

NOTES:



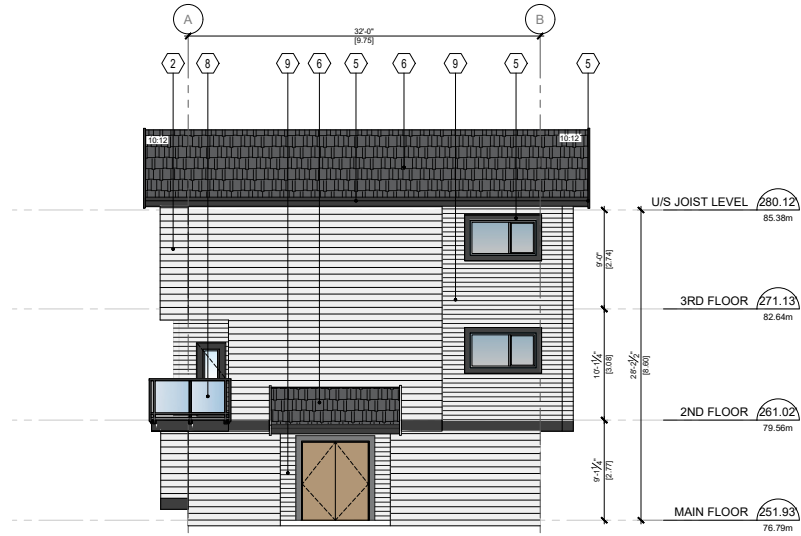
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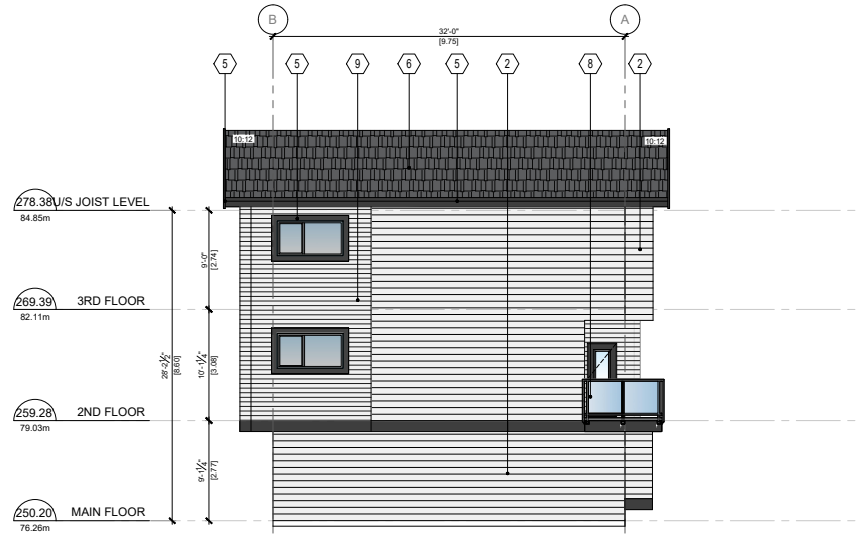
SCHEDULE OF FINISHES

1. SMOOTH FINISH HARDIE BOARD AND BATTEN COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
2. SMOOTH FINISH HARDIE SIDING 7" WIDTH EXPOSURE 6" CORNER TRIMS COLOUR TO MATCH: SW7007 CEILING BRIGHT WHITE
3. SMOOTH FINISH HARDIE SHINGLES, 6" CORNER TRIMS, COLOUR TO MATCH: SW7007 CEILING BRIGHT WHITE
4. SMOOTH FINISH HARDIE PANEL GARAGE DOORS, COLOUR TO MATCH: SW7645 THUNDER GRAY
5. 6" TRIMS/WINDOWS, ENTRANCE DOORS AND GARAGE DOORS; FASCIA GUTTER, LOUVERS ALUMINUM RAILING AND VINYL WINDOWS, COLOUR TO MATCH: SW6991 BLACK MAGIC
6. OWENS CORNING TRUE DEFINITION DURATION ROOF SHINGLES, COLOUR TO MATCH: ONYX BLACK
7. FIBRE GLASS DOOR, PAINTED TO MATCH COLOUR: SW9130 MANNERED GOLD
8. POWDER COATED ALUMINUM RAILING COLOR: SW9991, BLACK MAGIC, GLASS (TRANSPARENT) COLOR
9. SMOOTH FINISH HARDIE SIDING 7" WIDTH EXPOSURE, 6" CORNER TRIMS, COLOUR TO MATCH: SW6541 WHITE SNOW
10. GLASS AWNING C-CHANNEL CANOPY FRAME

2022-02-25	D	REVISED AS PER A301 COMMENTS
2022-02-16	C	A301 SUBMISSION
2022-02-28	B	REVISED PER SUBMISSION
2022-12-22	A	REVISED UP APPLICATION



1 BUILDING 1,3,4,6,7,10 - NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



2 BUILDING 1,3,4,6,7,10 - SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



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PROJECT:  
**TOWNHOUSE APARTMENT & MIXED USE DEVELOPMENT**

**16172 24 AVENUE, SURREY, B.C.**



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DRAWN: JP
CHECKED: NN
SCALE: As indicated
JOB NO: SUR - 168
DATE: MARCH 2022
SHEET TITLE:

**BUILDING 1,3,4,6,7,10 ELEVATIONS**

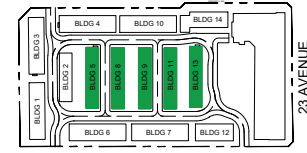
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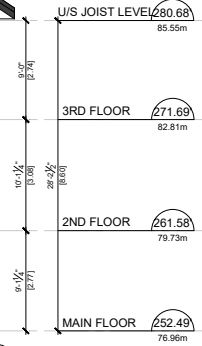
KEY PLAN



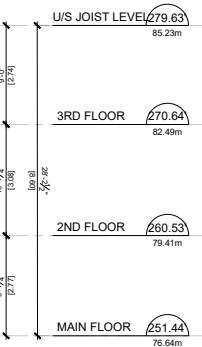
SCHEDULE OF FINISHES

1. SMOOTH FINISH HARDIE BOARD AND BATTEN COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
2. SMOOTH FINISH HARDIE SIDING-7" WIDTH EXPOSURE, 6" CORNER TRIMS COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
3. SMOOTH FINISH HARDIE SHINGLES, 6" CORNER TRIMS, COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
4. SMOOTH FINISH HARDIE PANEL GARAGE DOORS, COLOUR TO MATCH SW7645 THUNDER GRAY
5. 6" TRIMS/WINDOWS, ENTRANCE DOORS AND GARAGE DOORS), FASCIA GUTTER, LOUVERS ALUMINUM RAILING AND VINYL WINDOWS, COLOUR TO MATCH SW8991 BLACK MAGIC
6. OWENS CORNING TRUE DEFINITION DURATION ROOF SHINGLES, COLOUR TO MATCH ONYX BLACK
7. FIBRE GLASS DOORS PAINTED TO MATCH COLOUR SW8991 MANGA BAJA
8. POWDER COATED ALUMINUM RAILING COLOR: SW8991, BLACK MAGIC, GLASS (TRANSPARENT) COLOR
9. SMOOTH FINISH HARDIE SIDING-5"WIDTH EXPOSURE, 6" CORNER TRIMS, COLOUR TO MATCH SW7000 EARL GREY
10. GLASS AWNING C-CHANNEL CANOPY FRAME

2023-09-20	REVISED AS PER ACP COMMENTS
2023-08-10	ACP SUBMISSION
2023-08-01	REVISED FOR SUBMISSION
2022-12-22	REVISED FOR APPLICATION



1 BUILDING 5, 8, 9, 11, 13 - SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



2 BUILDING 5, 8, 9, 11, 13 - NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



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PROJECT:  
**TOWNHOUSE APARTMENT & MIXED USE DEVELOPMENT**

**16172 24 AVENUE, SURREY, B.C.**



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DRAWN: JP
CHECKED: NN
SCALE: As Indicated
JOB NO: SUR - 168
DATE: MARCH 2022
SHEET TITLE:

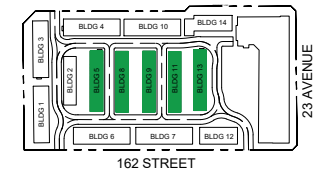
**BUILDING 5, 8, 9, 11, 13 ELEVATIONS**

DRAWING No. **A-304** D

NOTES:



KEY PLAN



SCHEDULE OF FINISHES	
	1. SMOOTH FINISH HARDIE BOARD AND BATTEN COLOUR TO MATCH: SW7007 CEILING BRIGHT WHITE
	2. SMOOTH FINISH HARDIE SIDING: 7" WIDTH EXPOSURE, 6" CORNER TRIMS COLOUR TO MATCH: SW7007 CEILING BRIGHT WHITE
	3. SMOOTH FINISH HARDIE SHINGLES, 6" CORNER TRIMS, COLOUR TO MATCH: SW7007 CEILING BRIGHT WHITE
	4. SMOOTH FINISH HARDIE PANEL, GARAGE DOORS, COLOUR TO MATCH: SW7645 THUNDER GRAY
	5. 6" TRIMS (WINDOWS, ENTRANCE DOORS AND GARAGE DOORS), FASCIA GUTTER, LOUVERS ALUMINUM RAILING AND VINYL WINDOWS, COLOUR TO MATCH: SW8991 BLACK MAGIC
	6. OWENS CORNING TRUE DEFINITION DURAVATION ROOF SHINGLES, COLOUR TO MATCH: ONYX BLACK
	7. FIBRE GLASS DOORS PAINTED TO MATCH COLOUR: SW1818 MARRA BAJA
	8. POWDER COATED ALUMINUM RAILING COLOR: SW8991, BLACK MAGIC, GLASS (TRANSPARENT) COLOR
	9. SMOOTH FINISH HARDIE SIDING: 7" WIDTH EXPOSURE, 6" CORNER TRIMS, COLOUR TO MATCH: SW7007 SAFE GREY
	10. GLASS AWNING C-CHANNEL CANOPY FRAME

NO.	DATE	DESCRIPTION

PROJECT NO. 2022-08-10  
 PROJECT NAME: TOWNHOUSE APARTMENT & MIXED USE DEVELOPMENT  
 CLIENT: IOM



350 - 10851 SHELLBROOGE WAY  
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PROJECT: **TOWNHOUSE APARTMENT & MIXED USE DEVELOPMENT**

16172 24 AVENUE, SURREY, B.C.

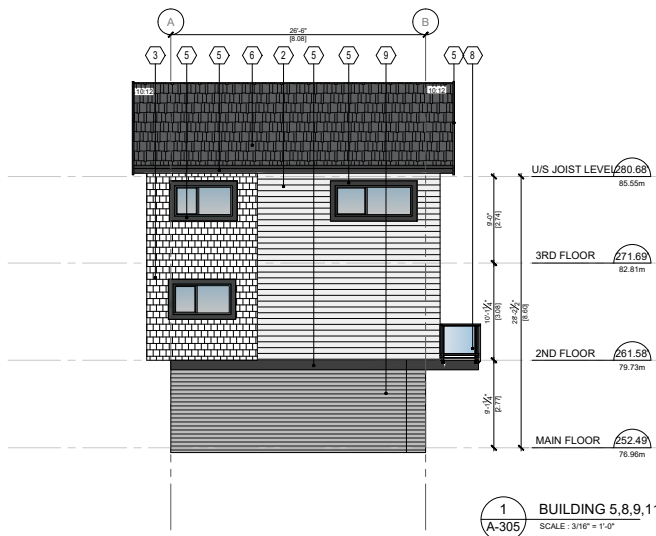


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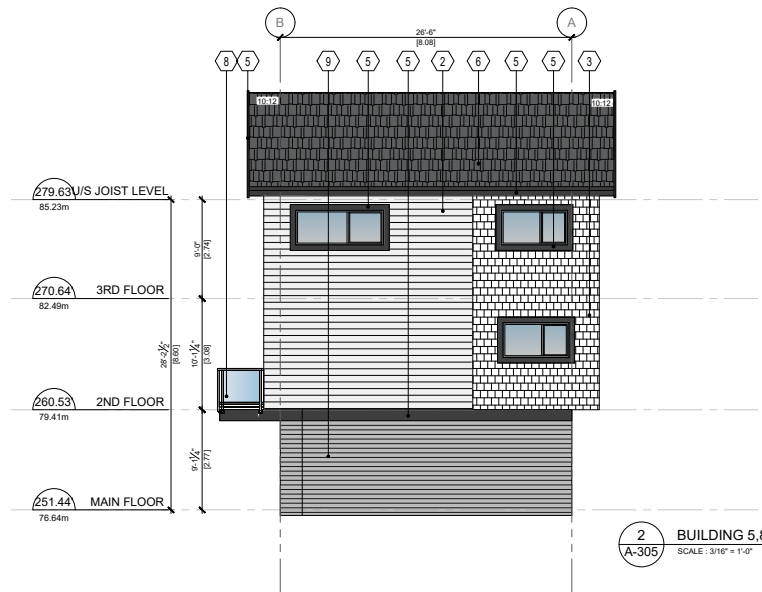
DRAWN: JP
CHECKED: NN
SCALE: As Indicated
JOB NO: SUR - 168
DATE: MARCH 2022
SHEET TITLE:

BUILDING 5,8,9,11,13 ELEVATIONS

DRAWING NO. **A-305** D



1 BUILDING 5,8,9,11,13 - EAST ELEVATION  
 SCALE: 3/16" = 1'-0"



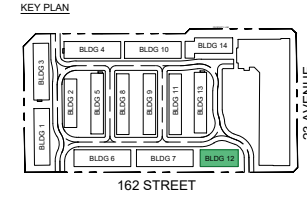
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 SCALE: 3/16" = 1'-0"



1 BUILDING 12 - EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2 BUILDING 12 - WEST ELEVATION  
SCALE: 3/16" = 1'-0"



- NOTES:**
- SCHEDULE OF FINISHES**
- SMOOTH FINISH HARDIE BOARD AND BATTEN COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE SIDING 7" WIDTH EXPOSURE 8" CORNER TRIMS COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE SHINGLES 8" CORNER TRIMS, COLOUR TO MATCH SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE PANEL GARAGE DOORS, COLOUR TO MATCH SW7645 THUNDER GRAY
  - 6" TRIMS/WINDOWS, ENTRANCE DOORS AND GARAGE DOORS, FASCIA GUTTER, LOUVERS ALUMINUM RAILING AND VINYL WINDOWS, COLOUR TO MATCH SW8991 BLACK MAGIC
  - OWENS CORNING TRUE DEFINITION DURATION ROOF SHINGLES, COLOUR TO MATCH ONYX BLACK
  - FIBRE GLASS DOORS PAINTED TO MATCH COLOUR SW1030 MANNING GOLD
  - POWDER COATED ALUMINUM RAILING COLOUR SW8991 BLACK MAGIC GLASS (TRANSPARENT) COLOR
  - SMOOTH FINISH HARDIE SIDING 7" WIDTH EXPOSURE 8" CORNER TRIMS, COLOUR TO MATCH SW9541 WHITE SNOW
  - GLASS AWNING CHANNEL CANOPY FRAME

2022-07-20	REVISED AS PER ACP COMMENTS
2022-08-10	ACP SUBMISSION
2022-08-20	REVISED PER SUBMISSION
2022-12-22	REVISED DP APPLICATION



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PROJECT: **TOWNHOUSE APARTMENT & MIXED USE DEVELOPMENT**

**16172 24 AVENUE, SURREY, B.C.**

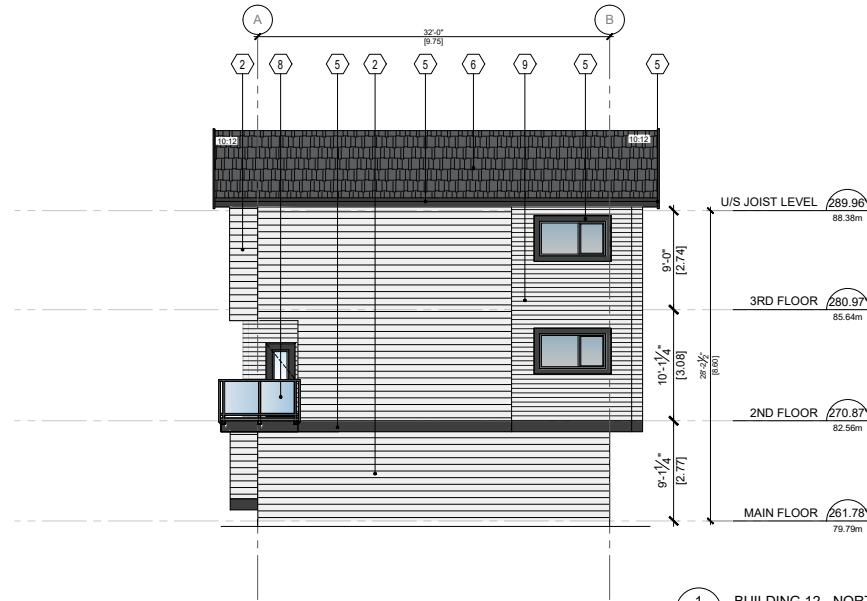


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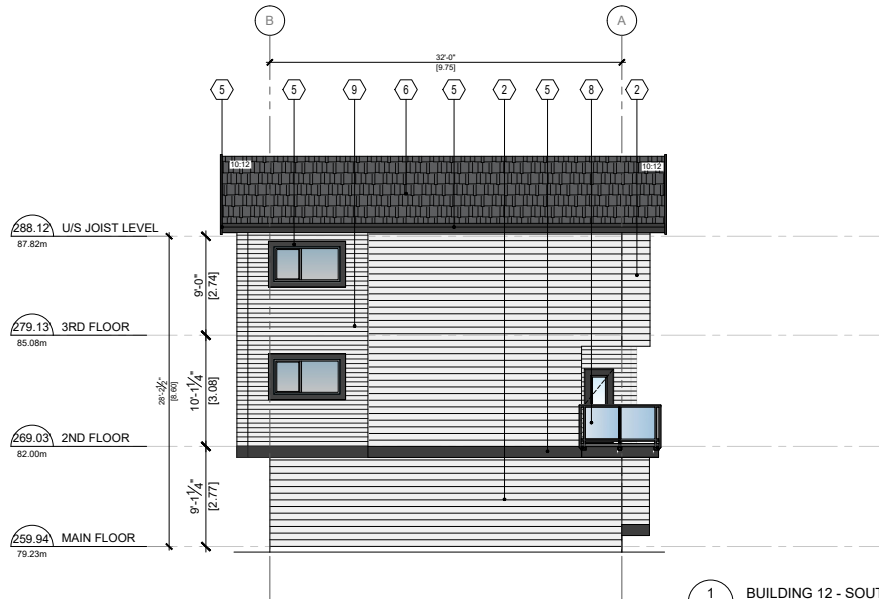
DRAWN: JP
CHECKED: NN
SCALE: As Indicated
JOB NO: SUR - 168
DATE: MARCH 2022
SHEET TITLE:

**BUILDING 12 ELEVATIONS**

DRAWING No. **A-306** D

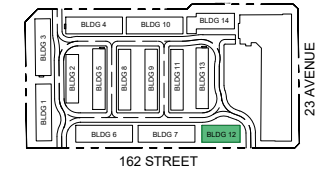


1 BUILDING 12 - NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



1 BUILDING 12 - SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

KEY PLAN



NOTES:

- SCHEDULE OF FINISHES**
- SMOOTH FINISH HARDIE BOARD AND BATTEN COLOUR TO MATCH: SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE SIDING 7" WIDTH EXPOSURE, 6" CORNER TRIMS COLOUR TO MATCH: SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE SHINGLES, 6" CORNER TRIMS, COLOUR TO MATCH: SW7007 CEILING BRIGHT WHITE
  - SMOOTH FINISH HARDIE PANEL, GARAGE DOORS, COLOUR TO MATCH: SW7645 THUNDER GRAY
  - 6" TRIM/WINDOWS, ENTRANCE DOORS AND GARAGE DOORS, FASCIA GUTTER, LOUVERS, ALUMINUM RAILING AND VINYL WINDOWS, COLOUR TO MATCH: SW6991 BLACK MAGIC
  - OWENS CORNING TRUE DEFINITION DURATION ROOF SHINGLES, COLOUR TO MATCH: ONYX BLACK
  - FIBRE GLASS DOORS PAINTED TO MATCH COLOUR: SW1133 MANNERED GOLD
  - POWDER COATED ALUMINUM RAILING COLOR: SW6991, BLACK MAGIC, GLASS (TRANSPARENT) COLOR
  - SMOOTH FINISH HARDIE SIDING 7" WIDTH EXPOSURE, 6" CORNER TRIMS, COLOUR TO MATCH: SW7541 WHITE SNOW
  - GLASS AWNING C-CHANNEL CANOPY FRAME

NO.	DATE	DESCRIPTION
2022-08-26	01	REVISED AS PER ACP COMMENTS
2022-08-10	01	ADP SUBMISSION
2022-08-03	10	REVISED FOR PERMITS
2022-12-22	10	REVISED FOR APPLICATION

**df**  
ARCHITECTURE inc.

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PROJECT:  
**TOWNHOUSE APARTMENT & MIXED USE DEVELOPMENT**  
**16172 24 AVENUE, SURREY, B.C.**



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DRAWN: JP
CHECKED: NN
SCALE: As Indicated
JOB NO: SUR - 168
DATE: MARCH 2022
SHEET TITLE:

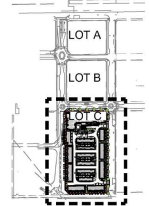
**BUILDING 12 ELEVATIONS**

DRAWING NO: <b>A-307</b>	D
-----------------------------	---

Refer to LC-01C Refer to LC-01B Refer to LC-01A



Key Map (N.T.S.)



No.	By:	Description	Date
5	TM	Re-DP as per ADP Comments	2023-09-25
4	TM	Issued for ADP	2023-08-16
3	TM	Issued for ADP	2023-06-23
2	DV	Issued for Review	2022-08-08
1	DV	Issued for Initial Review	2022-06-05
NA	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS  
 \* All changes are the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
 Mixed-use Development  
 - Lot B & Lot C  
 City of Surrey File #7916-0225-00  
 Locality:  
 16172 24th Avenue,  
 Surrey, BC

Drawn: AT TS	Stamp:
Checked: TM	
Approved: TM	Original Sheet Size: 24"x36"
Scale: 1:300	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTING ENGINEER IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE CITY OF SURREY CONSTRUCTION UNLESS OTHERWISE SPECIFIED FOR TRADE CONSTRUCTION.

**LEGEND**

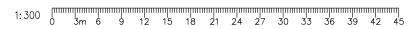
KEY	REF.	DESCRIPTION
	1 (LD-05)	CONCRETE PAVING
	2 (LD-06)	CONCRETE PAVERS
	3/4 (LD-07)	HYDRO-PRESSED SLABS
	4/8 (LD-08)	PAVING IN AREAS
		ARTIFICIAL TURF
		LAWN
	1/3 (LD-09)	SHRUB PLANTING
	6 (LD-10)	BARE ROCK
	5 (LD-11)	GRAVEL

Symbol	Description
	BENCH
	MOBILITY
	COMMUNITY PLANTER

**TREE SCHEDULE OVERALL**

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	B&B	2.5m Ht	20
	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	6cm cal.	4
	Cornus kousa / Kousa Dogwood	B&B	6cm cal.	21
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	6cm cal.	1
	Magnolia x loebneri 'Leonard Messel' / Leonard Messel Magnolia	B&B	6cm cal.	28
	Quercus palustris 'Green Pillar' / Green Pillar Oak	D&O	6cm cal.	30
	Styrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf	B&B	6cm cal.	21
	Zelkova serrata 'Green Vase' / Sawleaf Zelkova	B&B	6cm cal.	17

TOTAL REPLACEMENT TREE COUNT: 105  
 (Only trees with minimum soil volume of 10m<sup>3</sup> counted)



Z:\PROJECTS\DEVELOPMENT PERMIT\ACT\DP2022-02-16172-24TH AVENUE - DPWS-RETEL-LOTS\BLOCK C\LOT B BLOCK C - SITE PLAN.DWG



---

TO: **Director, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 03, 2023** PROJECT FILE: **7816-0225-00**

---

RE: **Engineering Requirements  
Location: 16172 24 Ave**

### NCP AMENDMENT

Provide sanitary catchment analysis to confirm downstream capacity and address any constraints.

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 13.7m along 161A Street, north of 23A Avenue.
- Dedicate 12.0m along 161A Street, south of 23A Avenue.
- Dedicate varying widths between 12.0m and 20.0m along 161A Street, south of 23 Avenue,
- Dedicate 5.0m along 162 Street.
- Dedicate 11.5m along 22A Avenue.
- Dedicate 14.5m along 23A Avenue.
- Dedicate 20.0m along 23 Avenue.
- Dedicate approximately 8.5m x 8.5m corner cut at 161A Street and 23A Avenue.
- Dedicate corner cuts at intersections as required.
- Register 0.5m SRW along all other development frontages.

#### *Works and Services*

- Construct 23 Avenue, 23A Avenue, and 161A Street.
- Construct the west half of 162 Street.
- Construct Traffic circles at 161A Street & 23A Avenue, 161A Street & 23 Avenue and, 162 Street & 23 Avenue.
- Construct storm sewer main along 161A Street, 23A Avenue and 23 Avenue.
- Construct watermain along 23A Avenue and 23 Avenue.
- Register applicable Restrictive Covenants as required.
- Provide adequately sized storm, sanitary and water service connection to each lot.

A Servicing Agreement is required as a condition of Rezone.



Jeff Pang, P.Eng.  
Development Services Manager  
RH

NOTE: Detailed Land Development Engineering Review available on file



# Appendix III

## THE IMPACT ON SCHOOLS

APPLICATION #: 16 0255 00

### SUMMARY

The proposed 73 townhouse units and 354 lowrise units are estimated to have the following impact on the following schools:

#### Projected # of students for this development:

Elementary Students:	37
Secondary Students:	29

#### September 2022 Enrolment/School Capacity

<b>Edgewood Elementary</b>	
Enrolment (K/1-7):	109 K + 675
Operating Capacity (K/1-7)	95 K + 512
<b>Grandview Heights Secondary</b>	
Enrolment (8-12):	1541
Capacity (8-12):	1500

<b>Projected population of school-age children for this development:</b>	<b>80</b>
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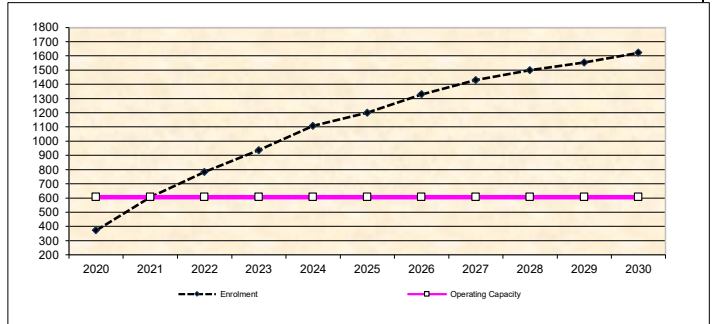
**Population** : The projected population of children aged 0-19 Impacted by the development .  
**Enrolment**: The number of students projected to attend the Surrey School District ONLY.

### School Enrolment Projections and Planning Update:

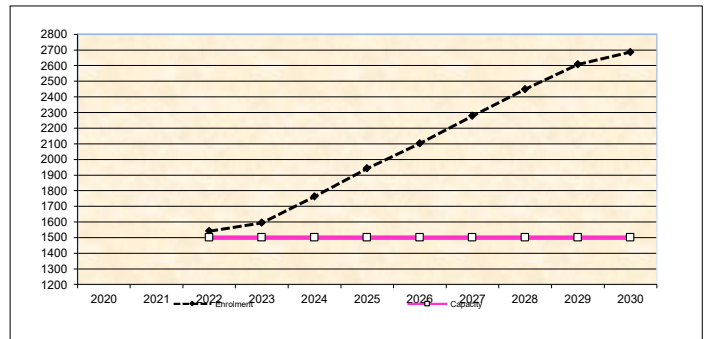
The new Edgewood Elementary opened January 2021. As of September 2022, the school has 7 portables on site. The new Ta'talu Elementary, located below 20th Avenue, is targeted to open fall of 2024. Until then, the district will rely on portables to make up the seat shortfall and possible boundary changes.

To relieve the pressure at Earl Marriot, a new 1500 capacity high school, Grandview Heights Secondary, located on 26th Ave next to the existing Pacific Heights Elementary opened September 2021. Edgewood catchment feeds two Secondary schools: Grandview Heights and Earl Marriot.

#### Edgewood Elementary



#### Grandview Heights Secondary



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

## Tree Preservation Summary

Surrey Project No: 16-0225-00

Address: 16172-24 Avenue

Registered Arborist: Corey Plester, RFT #PN-8523A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, excluding trees within boulevards and proposed streets and in proposed open space or riparian areas)	30
<b>Protected Trees to be Removed on site</b>	30
<b>Boulevard Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	38
<b>Total Replacement Trees Required:</b> <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 18 X one (1) = 18</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 12 X two (2) = 24</li> <li>- Boulevard Trees Requiring 2 to 1 Replacement Ratio 4 X two (2) = 8</li> </ul>	50
<b>Replacement Trees Proposed</b>	119
<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	6

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b> <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0</li> </ul>	0
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:



Date: October 11, 2023



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE

**TREE PRESERVATION AND PROTECTION PLAN**

16172 24 AVENUE  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	MAY29/17	MK	SITE PLAN
2	MAY29/17	MK	GRADING PLAN
3	SEPT08/21	MK	REVISIONS
4	MAR04/22	MK	SERVICING CONCEPT PLAN
5	OCT20/22	MK	SITE PLAN
6	JUL24/23	MK	CIVIL PLAN
7	AUG14/23	MK	REVISIONS
8	AUG30/23	MK	LOT A & B - SITE PLAN
9	SEPT06/23	MK	LOT C - SITE PLAN

SHEET TITLE

**T1 - TREE REMOVAL AND PRESERVATION PLAN**

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DRAWN

MK

SCALE

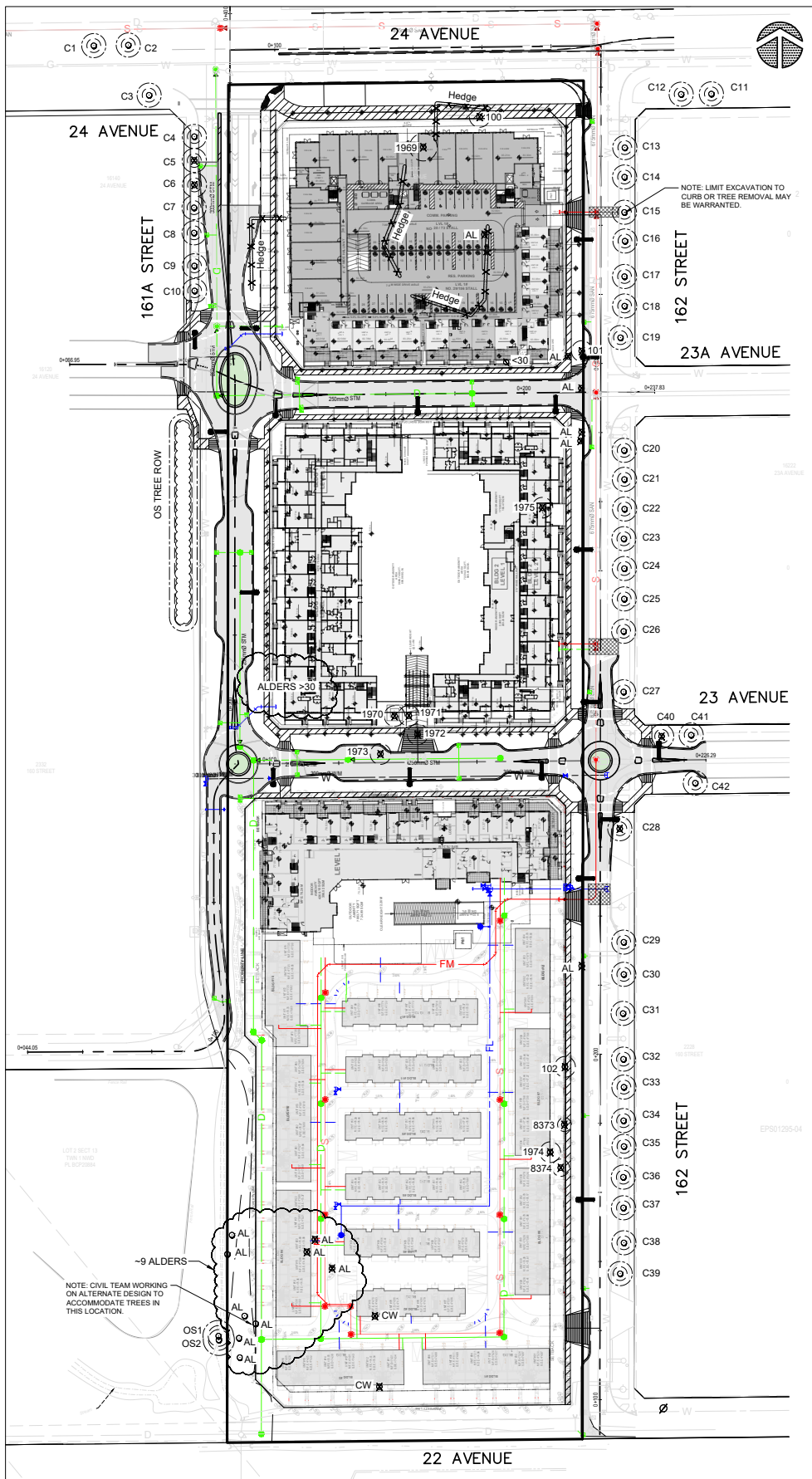
AS SHOWN

DATE

OCTOBER 12, 2016

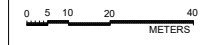
**T-1**

SHEET 1 OF 2



LEGEND

- TREE NOT ASSESSED
- ⊗ TREE TO BE REMOVED
- ⊘ TREE NOT ASSESSED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- ⊘ TREE NON BY-LAW



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

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CLIENT

FILE NO.

PROJECT TITLE

**TREE PRESERVATION AND PROTECTION PLAN**

16172 24 AVENUE  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	MAY29/17	MK	SITE PLAN
2	MAY29/17	MK	GRADING PLAN
3	SEPT08/21	MK	REVISIONS
4	MAR04/22	MK	SERVICING CONCEPT PLAN
5	OCT20/22	MK	SITE PLAN
6	JUL24/23	MK	CIVIL PLAN
7	AUG14/23	MK	REVISIONS
8	AUG30/23	MK	LOT A & B - SITE PLAN
9	SEPT06/23	MK	LOT C - SITE PLAN

GENERAL NOTES:

- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
- TREE PROTECTION FENCING TO BE MEASURED FROM EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
- REASSESS TREES WITH LOT GRADING PLANS.
- REPLACEMENT TREES SHALL CONFORM TO BC S/L BCLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

SHEET TITLE

**T2 - TREE PROTECTION AND PRESERVATION PLAN**

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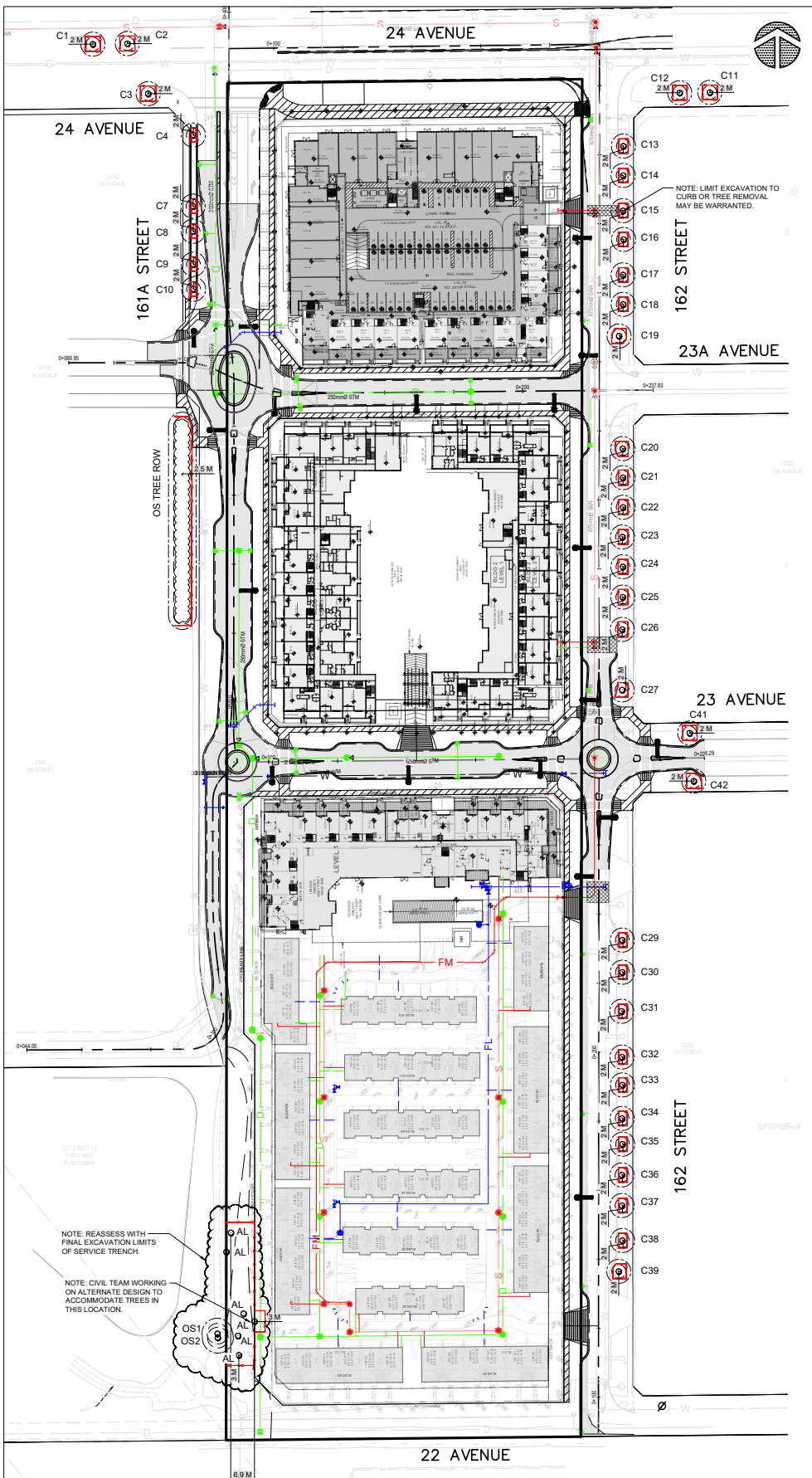
DRAWN MK

SCALE AS SHOWN

DATE OCTOBER 12, 2016

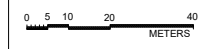
**T-2**

SHEET 2 OF 2

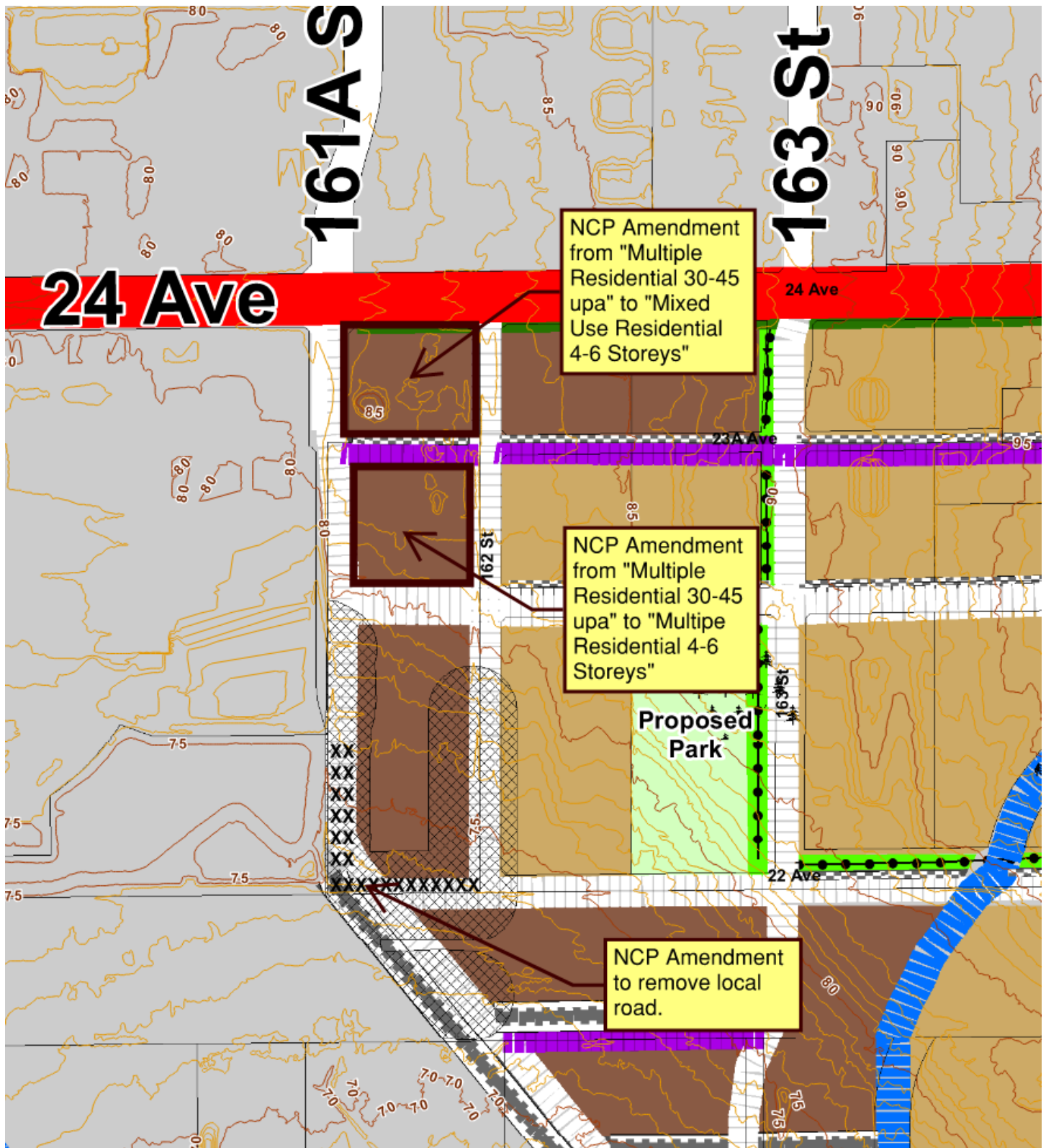


LEGEND

- TREE TO BE RETAINED
- TREE NOT ASSESSED
- TREE PROTECTION FENCING
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE







October 11<sup>th</sup>,2023

Attention: Keith Broersma- Senior Planner

**RE: Response to ADP Minutes Thursday August 24<sup>th</sup>,2023 (DP Application # 7916-0225-00/ 16172-24 Avenue)**

With reference to Advisory design Panel meeting minutes we are herewith enclosing a response to the raised points. *DF Architecture responses are presented in Red and VDZ+A responses are presented in blue.*

**Key Points**

- Form and character are generally successful. **We appreciate the positive feedback.**
- Consider opportunities for additional storm water management with rain gardens, bioswales, etc. **Storm water detention is being delt with tanks as per the Civil design.**
- Consider additional design integration between the glazing on southwest corner of the amenity space and glazing on the office spaces with the overall aesthetic of the main building. **The glazing has been further detailed out to follow patterns from the use below such as CRU or Townhouses. However as per UD comments received on October 6<sup>th</sup>, 2023, solid panels will be added to the glazing.**
- Consider celebrating the two residential lobbies from an architectural and landscape perspective. **The residential lobbies facing north and west have been further emphasized by proposing a frame matching with the AL-13 color proposed on the residential indoor amenity. The weather protection above these lobbies have been proportionally revised.**
- Consider further celebrating the office entry (located on 24<sup>th</sup> Street). **The offices lobby has been further developed by proposing entry arch in between the CRU brick façade, Cobalt Blue AL-13 is proposed as finish to compliment the proposed material used on the 3<sup>rd</sup> floor offices. The weather protection canopy has been proportionately revised.**
- Consider more programming opportunities for the entry located on 24<sup>th</sup> Avenue, in particular on the northwest end. **The landscape design along the commercial frontages on the west, north and east has been updated to match standard Surrey commercial design, This includes at grade planter along the property line that support tree and shrub planting, and additional bike parking and benches in the joining hardscape.**
- Consider providing covered spaces in all outdoor amenity spaces for year-round useability. **Lot A already has extensive covered space and will remain unchanged in this respect.**



Lot B has been updated to include a covered space connected to the main indoor lounge space. This is closely associated with the outdoor BBQ.

The Lot C apartment building has been updated to include a sheltered space off the main amenity rooms.

- Consider recessing the overhang of the protruding corner volumes of the residential and office spaces. **The protruding corner volumes have been recessed to address these comments. The projection has been kept similar on both corners.**

## Site

- Consider relocating the parking ramp, PMT, and garbage staging area of Lot A to the west side of the building so that it is adjacent to the existing commercial development, rather than across from residential. **The raised comment is appreciated from urban design perspective however after further discussion with planning and transportation, due to the proposed road network and restrictions with the existing commercial to the west, it was requested by planning to maintain the entrance to parking and subsequently the PMT and staging area at the proposed location.**
- Provide a more realistic representation of the glazed volumes, considering the floor and roof thickness, mullions, and openable glass portions. **The glazing been further detailed out to follow patterns from the use below such as CRU or Townhouses. However as per UD comments received on October 6<sup>th</sup>, 2023 solid panels will be added to the glazing. Please note that there is glasses are not proposed as openable.**
- Consider sectioning the long, glazed volume into modules, potentially above the office entrance lobby. **To address this comments and as per UD comments received on October 6<sup>th</sup>, 2023, Solid portions will be added in relation to the CRU and office entrance on the first floor.**
- Consider adding feature lighting, outdoor furniture, and seating for pedestrians and tenants on the northwest and northeast corners of Lot A. **The landscape design along the commercial frontages on the west, north and east has been updated to match standard Surrey commercial design, This includes at grade planter along the property line that support tree and shrub planting, and additional bike parking and benches in the joining hardscape.**
- Consider increasing visibility of the amenity space entry at the ramp from the townhouse side on Lot C.

The visibility of the amenity has been improved in 3 ways:

- The entry ramp widened to clarify it is the main amenity entrance.
- The entry ramp was shifted East to enlarge the amenity area, and provide a greater landscape buffer to the play amenity.
- A trellis gateway has been added at bot the ramp and play entry stair.
- Consider allocating sufficient space for PMT location in each of the lots and make it more visible on the site plan. **PMTs have been accounted for and shown clearly on plans with access paths and landscape buffers.**
- Consider generating plans for several phases of the project, each containing adequate indoor and outdoor amenity spaces that are useable throughout all phases of the project. **Noted. Lot A will be developed as one phase. Lot B will be developed in two phases however the amenity areas are developed as part of the first phase. Lot C will be developed in phases however the outdoor**

amenity will be available for the townhouse residents upon completion of the first phase.

### **Form and Character**

- Consider unifying the third-floor elevation of the building by changing the glass volume in Lot A on the southwest corner and articulating the volume in a language more similar to that of the residential spaces in the building. The southwest corner has been revised by proposing a different color for the metal cladding similar to the residential lobbies. The glazing modules are inspired by the townhouse use below.
- On Lot A, consider incorporating similar materials and elements throughout the office and residential spaces in order to develop a stronger relationship between the various areas of the elevation. The same followed. Each use has one accent color. However, the rest of the colors, materials and textures are similar.
- Consider integrating and emphasizing the office and residential entry lobbies to create a more celebrated space by using colour and material or by extending the module to the upper-level offices from the façade point of view. The residential lobbies facing north and west have been further emphasized by proposing a frame matching with the AL-13 color proposed on the residential indoor amenity. The weather protection above these lobbies have been proportionally revised.

The offices lobby has been further developed by proposing entry arch in between the CRU brick façade, Cobalt Blue AL-13 is proposed as finish to compliment the proposed material used on the 3<sup>rd</sup> floor offices. The weather protection canopy has been proportionately revised.

- Consider pulling back the overhang of the corner volumes of the residential and office levels to prevent them from dominating and protruding further than the lines of the building. The protruding corner volumes have been recessed to address these comments. The projection has been kept similar on both corners.
- Consider further developing the design of the Lot A residential lobby from an architectural and landscape perspective. The residential lobbies facing north and west have been further emphasized by proposing a frame matching with the AL-13 color proposed on the residential indoor amenity. The weather protection above these lobbies have been proportionally revised.

The offices lobby has been further developed by proposing entry arch in between the CRU brick façade, Cobalt Blue AL-13 is proposed as finish to compliment the proposed material used on the 3<sup>rd</sup> floor offices. The weather protection canopy has been proportionately revised.

Colour concrete bands, and stamped entry, along with stand-alone planters have been added to announce the entry of the residential lobbies.

- Consider adding more substantial screening for townhome patios in Lot A, specifically those facing the semi-public walkway in the courtyard, by planting trees for the purpose of privacy. To improve the privacy of patios facing the internal amenity space, the planters have been widened and gates added to coincide with hedge planting.
- Consider adding more amenity spaces for those townhouses in the small areas identified at the corners of the internal road. There are few corner spaces within the townhouse site. One available corner has been used to plant a larger shade tree. The other corner was required for

- utilities. The design does not include seating at these spaces as there is concern, that being on the corner does not provide adequate site lines for those driving in the neighborhood.
- Consider extending the use of colour with the AL-13 panels. AL-13 color been selected carefully as the accent color on lot A building to distinguish the different uses. Offices on the 3<sup>rd</sup> floor and the offices entrance lobby are proposed as same color (Cobalt Blue) and the residential lobbies along with the residential indoor amenity are proposed as the same color.
  - Consider extending the use of the soft, wood tone product found in Lot B and Lot C; alternatively, Woodtone has been already used throughout the project on all three lots mainly on the soffits and on lot B and C on the main façade as well.
  - consider using accent colours on doors and canopies to brighten the grey colour scheme. The canopies are proposed as C channel with glazing, however the door to the townhouses have been proposed as different colors as part of the different color scheme proposed on each lot.
  - Consider unifying the architectural aesthetic of the overall site by extending the details of the V columns at 161A and 23A to other points on the façade. Further to the conversation with UD, the V columns have been removed and the southwest corner is further refined. The mass on the 4<sup>th</sup> and 5<sup>th</sup> floor has been recessed to help with identifying the different uses visible on this corner.
  - The black window frames are a key element of exterior elevations. However, these are sometimes dropped later due to cost issues, and this would drastically change the look of the building. It is important that the City obtain some form of firm commitment that they will be retained. Otherwise, the applicant should provide alternative elevations to the ADP, so the actual design can be assessed. We will be making sure this won't change during BP or construction.

## Landscape

Consider including additional landscape elements, such as benches or planters, to the Lot A residential lobbies, to mark the entries more clearly and to develop an inviting space.

The commercial landscape has been improved in several ways:

### 1. Hardscape

- Colour concrete banding has been added to the sidewalk pattern to reference the architectural pillars/brick between commercial units.
- Special stamped paving has been added at the commercial and two residential entries.
- The corner spaces have been paved more simply with 1x1m grid of saw cuts to promote the plaza nature of these spaces.

### 2. Furnishings

- Square planters flank the residential lobbies to provide differentiation.
- Additional Benches and bike racks have been located along the frontage associated with the enlarged at grade planting.
- Consider the soil depth required by all trees used in the project. This has already been considered. Please see section drawings.

- Consider diversifying tree and shrub species to account for all-season wildlife habitat use. See the landscape shrub palette page LP-01. The planting supports a broad range of animals from bees to birds and butterflies. The bloom schedule demonstrates how the plantings will provide flower interest for 11 months of the year. The plans also provide a significant diversity of trees to meet Surrey's species and genus percentage requirements. There are 16 species of trees in total.
- Consider providing a greater covered space in the amenity area for multi-season use. All lots now have a covered outdoor shelter associated with the amenity spaces.
- Consider coordinating amenity programming of interior rooms to exterior spaces. The relationships between indoor and outdoor amenity spaces have been considered and located accordingly.
- Consider repurposing some of the long grass wildflower areas in Lot B as amenity space. The long grass sloped area is a key defining landscape feature of the Lot B courtyard and will remain. This amenity space is already at least 3x larger than required so it has significant greenspace, and the long grass adds to the park like experience. The long grass area is part of a smooth slope transition between two levels. The generally low height grasses help keep a visually open space between the two levels. The ramp that moves through the grasses is an interesting landscape experience beyond the more typical on podium elements. Seating along the ramped way has been provided. The wildflower long grass provides substantial pollinator habitat opportunities.
- Consider potential stormwater retention features in the long grass wildflower area in Lot B. Storm water detention is being dealt with tanks as per the Civil design. The soil volumes associated with this broad coverage of long grass also helps to increase water absorption.

### **CPTED**

- Consider providing access to the Lot A corner feature from the south side to prevent hiding spaces and to minimize CPTED concerns. This corner has been further revised on the architectural drawings as well as the landscape design to address the concern.

### **Sustainability**

- Consider opportunities for rain gardens or bioswales. The current designs for Lot A and B are fully on slab. The Amenity spaces are 3-5 times larger than required and have extensive planting. The large planted long grass and wildflower slopes will have a very positive impact on both rainwater retention through soil absorption and ecological benefits for bees and insects.
- Consider providing both indoor and outdoor parking for electric bicycles. Noted and further reviewed with the development team however decided to proceed with the proposed bicycle arrangements.
- Consider current and future energy modelling to inform design process, to test resiliency, for thermal comfort, and to ensure future liveability. Will be incorporated.
- Consider locations of HRVs and heat pumps before finalizing unit layouts to account for higher efficiency, reduced noise, better filtration, and summer bypass. Will be considered.

- Consider electrification for future proofing of space and water heating in anticipation of projected regulations of energy generation. **Will be considered.**
- Consider high quality bike amenities, including sufficient wayfinding for bicyclists, automatic door operators to ease entry and exit, ample room for cargo bikes and trailers, and electric bicycle charging. **Wide pathways are provided throughout the development frontage and amenity spaces to allow pedestrians and cyclists to navigate safely.**
- Consider including a basic bicycle maintenance area which can also serve as a casual space for social interactions. **At the later stages of the project if the space is available in the parking area the development team might consider this proposal.**
- Consider how bicyclists interact with pedestrians and drivers both on the ground plane and within buildings. **As per COS zoning by law the bicycle rooms are kept at grade or one level below grade and the access is through elevators.**
- Consider opportunities for natural ventilation in office units one through five of the third level of Lot A. **Currently the offices are not designed to offer natural ventilation.**

### **Accessibility**

- Consider providing access to all outdoor amenity areas without obstacles for residents. **All the common areas are proposed accessible.**
- Consider building adaptable units to provide opportunities to age-in-place and to be accessible to individuals of various ages and abilities. **Further to the discussion with the development team, however decided to proceed with the current proposal for the unit arrangements.**

**JESSIE ARORA**

Principal, Architect AIBC

SSA, MAA, AAA, OAA, RA