

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0304-00

Planning Report Date: November 7, 2016

**PROPOSAL:**

- **Development Permit**

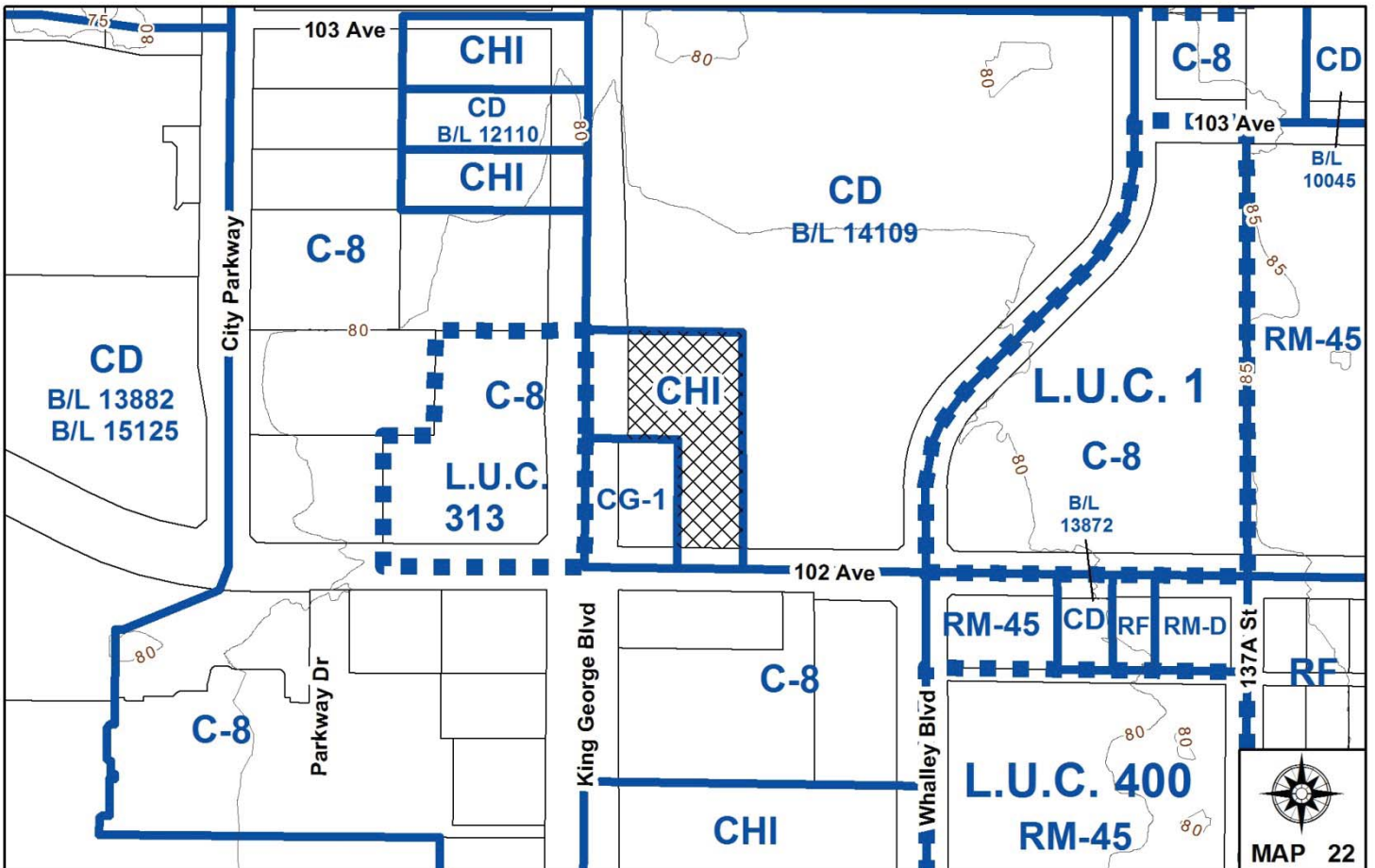
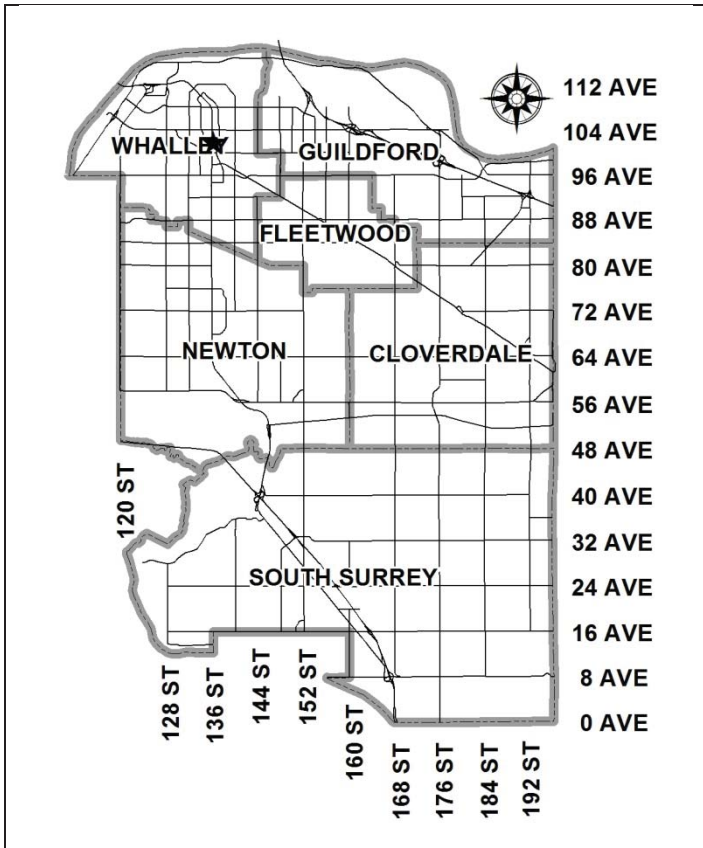
to permit renovations to an existing drive-through restaurant (McDonald's) in City Centre.

**LOCATION:** 10240 - King George Boulevard

**OWNER:** Heleneco Holdings Ltd., 295237  
 c/o Jayberg Enterprises Ltd.

**ZONING:** CHI

**OCP DESIGNATION:** Central Business District



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the Sign By-law to increase the maximum number of fascia signs from two (2) to seven (7), and to permit more than one (1) fascia sign to be located on the same façade, through a comprehensive design package.

### RATIONALE OF RECOMMENDATION

- The proposed exterior renovations to the existing building represent a new modern design character while maintaining desirable elements of the existing building.
- The proposed renovations will improve the overall aesthetics of the site on an interim basis, as it is anticipated that the subject site and adjacent properties will redevelop in the future at a density more consistent with the ultimate vision for this area within City Centre.
- The applicant proposes five (5) additional fascia signs beyond the two (2) signs permitted under the Sign By-law for a total of seven (7) fascia signs, for the existing McDonald's restaurant. The proposed fascia signs are well under the maximum sign area permitted under the Sign By-law, and are of an appropriate size and scale in relation to the building.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council authorize staff to draft Development Permit No. 7916-0304-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).
3. Council instruct staff to resolve the following issues prior to final approval:
  - (a) submission of a finalized landscaping plan, landscaping cost estimate and tree replacement plan to the specifications and satisfaction of the Planning and Development Department;
  - (b) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: McDonald's drive-through restaurant.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single-storey retail building (Save-On-Foods and Canadian Tire)	Central Business District	CD (By-law No. 14109)

Direction	Existing Use	OCP Designation	Existing Zone
East:	Retail parking lot and drive-through restaurant (A&W)	Central Business District	CD (By-law No. 14109)
South:	Gas station (Chevron)	Central Business District	CG-1
South (Across 102 Avenue):	Restaurant and single-storey retail building (CIBC)	Central Business District	C-8
West (Across King George Boulevard):	Single-storey multi-tenant retail building.	Central Business District	L.U.C. 313 (underlying C-8)

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject site is located at 10240 - King George Boulevard in City Centre and is approximately 4,181 square metres (1 acre) in size. The site is designated Central Business District in the Official Community Plan (OCP) and is zoned "Highway Commercial Industrial Zone (CHI)". The site is designated "Mixed Use 3.5 FAR" in the Stage 1 City Centre Plan Update.
- The site is currently occupied by a single-storey McDonald's drive-through restaurant. The design of the 359-square metre (3,864-sq. ft.) restaurant was approved under Development Permit No. 7997-0219-00 in January, 1998. At that time Development Variance Permit No. 7997-10219-00 was also approved to reduce the minimum north side yard setback from 7.5 metres (25 ft.) to 3 metres (10 ft.).
- As part of a rebranding strategy, McDonald's Restaurants Ltd. is in the process of updating the exterior and interior of a number of McDonald's restaurants in the Metro Vancouver area, including the City of Surrey. The intent is to update all McDonald's restaurants over the coming years to achieve consistent branding and to increase visibility of the restaurants with a similar modern form and character of the exterior façade and interior dining area.
- Since November 1, 2004, drive-throughs are not permitted in the CHI Zone for sites within City Centre. However, as the subject drive-through was already in existence at that time, its use may continue.

### Current Proposal

- The applicant is proposing a Development Permit in order to allow exterior renovations and a small addition to the existing single-storey drive-through restaurant, including new fascia signage and landscaping.
- The applicant is also proposing to vary the Sign By-law through a Comprehensive Sign Design package in order to allow five (5) additional fascia signs, for a total of seven (7) fascia signs.

- The applicant is also proposing to renovate the interior of the restaurant, including a small, 9-square metre (98-sq. ft.) addition through a Tenant Improvement Building Permit.
- The proposed floor area of the building is 368 square metres (3,961 sq. ft.), resulting in a floor area ratio (FAR) of 0.09, which complies with the maximum FAR of 1.0 permitted in the CHI Zone.
- The Stage 1 Land Use and Density Concept of the City Centre Plan Update indicates that the subject site is appropriate for mixed-use developments with densities up to 3.5 FAR. The current building and land use is considered an interim use and it is anticipated that the subject site and adjacent properties will redevelop in the future at a density more consistent with the ultimate vision for this area of Surrey City Centre.
- The adjoining 10-acre site to the north and east is recently under application (No. 7916-0448-00) to rezone to permit 6 mixed-use high-rise buildings and to subdivide into 6 lots. This application is in the initial stages of review and has not been presented to Council.

## DESIGN PROPOSAL AND REVIEW

### Building Design

- The applicant is proposing exterior modifications and improvements to the existing building, which will provide a more contemporary look to the building.
- The proposed changes to the exterior of the building are intended to implement McDonald's new contemporary restaurant design while maintaining elements and materials of the existing building. The proposed design retains portions of the stucco and metal panel finishing, manufactured stone skirt and aluminum frame glazing. Many of the existing exterior elements and finishes will be retained and painted charcoal grey, red and chestnut brown to implement McDonald's new colour scheme.
- New vertical red metal panels with white metal ribbon will be installed onto the west and south elevations as a new key design element to identify the restaurant entrances and location of the new signage. Similarly, red and white metal paneling will be installed on the north elevation to identify the location of the two drive-through order pick-up windows.
- The existing canopy on the south façade will be removed.
- The majority of the existing vertical and horizontal metal trellis system on concrete columns to the west and south of the building will be removed, however portions within the landscaped area to the west of the building will be retained and updated with charcoal grey paint.
- The existing chain link garbage enclosure to the east of the building will be updated with a new concrete slab and will be clad with hardie panel to match the building.

### Drive-Through and Parking

- The existing parking lot and dual lane drive-through configuration will remain unchanged.

- The site accommodates 56 parking stalls, which exceeds the 30 stalls required by the Zoning By-law.

### Landscaping

- The existing trees on the subject site will remain, with the exception of five (5) trees within the interior parking lot area, which are in poor condition and will be removed.
- Two (2) deciduous shade trees are proposed to be planted at the drive-through entrance along the east property line.
- The applicant proposes to retain the existing shrub hedge along King George Boulevard and is proposing to enhance the area with shrubs, perennials and ornamental grasses.
- The existing landscape islands around the grille order stalls will be enhanced with updated shrubs and perennials.
- The existing stamped concrete at the site entrances and the pavers at the entrances will be updated with new paint.

### Proposed Signage

- The existing free-standing pylon signs located at the King George Boulevard and 102 Avenue site entrances will remain in place and the sign trellis' will be painted charcoal grey to match the building.
- The on-site directional and drive-through signage will remain unchanged.
- The applicant proposes to remove the five (5) existing fascia signs and install seven (7) new illuminated fascia signs on the building.
- Four (4) fascia signs are proposed on the south elevation, including a white "McDonald's" fascia sign consisting of illuminated individual channel letters, a yellow "Arches" fascia sign, as well as two (2) "sub-brand" fascia signs including a brown and white "McCafe" sign a blue "Open 24 Hours" sign.
- Three (3) fascia signs are proposed on the west elevation, including two (2) yellow "Arches" fascia signs and a blue "Open 24 Hours" fascia sign.
- The Sign By-law allows a maximum of two (2) fascia signs for each premises provided that both of the fascia signs are not located on the on the same façade of the premises.
- The applicant proposes a total of seven (7) fascia signs, and as a result, a relaxation is required to allow five (5) additional fascia signs and permit multiple signs of the same façade.
- The proposed signage design has been reviewed by staff and found to be acceptable. The location and scale of the proposed signage is modest and complementary to the building design.

- Staff support the proposed variances as part of a comprehensive sign design package.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Table
Appendix III.	Site Plan, Building Elevations and Landscape Plans

*Original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

LM/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                      Andrea Scott  
   Lovick Scott Architects Ltd.  
   Address:                      3707 - First Avenue  
   Burnaby, BC V5C 3V6
  
2.                      Properties involved in the Application
  - (a)                      Civic Address:                      10240 - King George Boulevard
  
  - (b)                      Civic Address:                      10240 - King George Boulevard  
   Owner:                                      Heleneco Holdings Ltd., 295237  
   c/o Jayberg Enterprises Ltd.  
   PID:    001-659-502  
   Lot 57 Section 26 Block 5 North Range 2 West New Westminster District Plan 32067



## DEVELOPMENT DATA SHEET

Existing Zoning: CHI

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		1 acre
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	50%	9%
Paved & Hard Surfaced Areas		81%
Total Site Coverage		90%
SETBACKS ( in metres)		
Front (West)	7.5 metres	10.3 metres
Rear (East)	7.5 metres	14 metres
Side #1 (North)	7.5 metres or 0.0 metres	4.5 metres*
Side #2 (South)	7.5 metres or 0.0 metres	33 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	9.0 metres	7.7 metres
Accessory	9.0 metres	N/A
NUMBER OF RESIDENTIAL UNITS		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		N/A
FLOOR AREA: Commercial		
Retail		368 sq.m.
Office		
Total		368 sq.m.
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA	4,181 sq.m.	368 sq.m.

\* Variance approved under Development Variance Permit No. 7997-0219-00

**Development Data Sheet cont'd**

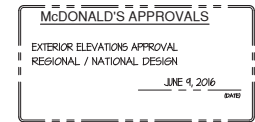
<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.09
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		56
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	30	56
Number of disabled stalls		2
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To permit a total of seven (7) fascia signs for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building
2	To allow three (3) fascia signs to be installed on the same (west) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the west façade includes two golden 'Arches' signs and an 'Open 24 Hours' sign, which is consistent with other McDonald's restaurants in the City.
3	To allow four (4) fascia signs to be installed on the same (south) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the south façade includes a golden 'Arches' sign, a 'McCafe' sign and an 'Open 24 Hours' sign, which is consistent with other McDonald's restaurants in the City.

# McDonald's®



LOT 57, SECTION 26, RANGE 2, PLAN 32067, NWD  
10240 KING GEORGE HIGHWAY, SURREY, B.C.



DRAWING / CONSULTANT LIST:

ARCHITECTURAL

LOVICK SCOTT ARCHITECTS LTD.  
3707 1st AVENUE  
BURNABY, B.C., V5C 3V6  
(tel) 604.298.3700  
(fax) 604.298.6081  
(e-mail) peter@lovickscott.com  
rreyes@lovickscott.com

- A0.C COVER SHEET
- A0.1 GENERAL NOTES, CODE ANALYSIS & SPECIFICATIONS
- A0.2 WALL & SIGNAGE SCHEDULE
- AS0.0 CONTEXT PHOTOS
- AS1.0 SITE PLAN (EXISTING)
- AS1.1 PROPOSED GARBAGE ENCLOSURE PLAN, ELEVATIONS & SECTION
- A1.0 EXISTING / DEMO FLOOR PLAN
- A1.1 PROPOSED FLOOR PLAN

- A1.4 EXISTING / DEMO ROOF PLAN
- A1.5 PROPOSED ROOF PLAN
- A2.0 EXISTING & PROPOSED WEST ELEVATIONS
- A2.1 EXISTING & PROPOSED SOUTH ELEVATIONS
- A2.2 EXISTING & PROPOSED EAST ELEVATIONS
- A2.3 EXISTING & PROPOSED NORTH ELEVATIONS
- A2.4 COLOURED ELEVATIONS
- A2.5 PERSPECTIVES
- A3.0 BUILDING SECTIONS (A&B)
- A3.1 BUILDING SECTIONS (C)


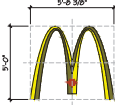














LANDSCAPE

IBI GROUP  
308 - 30 Eglinton Ave. West  
Mississauga, On, L5R 3E7  
(tel) 905.890.3550  
(fax) 905.890.7081

- LP1 LANDSCAPE PLAN
- LP2 LANDSCAPE PLAN

Re-Issued for D.P. - October 11, 2016



ANNOTATION SYMBOLS		SIGNAGE SCHEDULE																									
	ROOM NAMES & GRID	 5'-0" GOLDEN ARCH SIGN ON BLADE PROPOSED: 3 SIGNS																									
	DETAILS BUBBLE	 'OPEN 24 HOURS' SIGNS PROPOSED: 2 SIGNS																									
	HALL TAG	 McCAFE SIGN ON BLADE PROPOSED: 1 SIGN																									
	HENDON TAG	 CHANNEL LETTERS ON PARAPET WALL PROPOSED: 1 SIGN																									
	DOOR TAG	<p><b>ABBREVIATION LEGEND:</b></p> <table border="0"> <tr> <td>CL</td> <td>CENTER LINE</td> <td>COL</td> <td>COLUMN</td> </tr> <tr> <td>EX</td> <td>EXISTING</td> <td>NI</td> <td>NEW</td> </tr> <tr> <td>DI</td> <td>DEMO</td> <td>TYP</td> <td>TYPICAL</td> </tr> <tr> <td>N/A</td> <td>NOT APPLICABLE</td> <td>W - CM</td> <td>WITH - COMES WITH</td> </tr> <tr> <td>UNC.</td> <td>UNLESS NOTED OTHERWISE</td> <td>SON</td> <td>SCOPE OF WORK</td> </tr> <tr> <td>PT</td> <td>PRESSURE TREATED</td> <td></td> <td></td> </tr> </table>		CL	CENTER LINE	COL	COLUMN	EX	EXISTING	NI	NEW	DI	DEMO	TYP	TYPICAL	N/A	NOT APPLICABLE	W - CM	WITH - COMES WITH	UNC.	UNLESS NOTED OTHERWISE	SON	SCOPE OF WORK	PT	PRESSURE TREATED		
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UNC.	UNLESS NOTED OTHERWISE	SON	SCOPE OF WORK																								
PT	PRESSURE TREATED																										
	EXTERIOR ELEVATION MARKER	<p><b>NOTE:</b></p> <ul style="list-style-type: none"> <li>- ALL SIGNS TO BE INDIVIDUAL CHANNEL LETTERS ON RACEWAY OR FASTENED DIRECTLY TO BUILDING. SEE SIGN MANUFACTURER CUT SHEETS INDICATING FINISHES, MOUNTING DETAILS, ILLUMINATION SYSTEM, ETC.</li> <li>- ALL SIGNS TO BE LOCATED IN LOCATIONS AS SHOWN ON ELEVATION DRAWINGS ONLY.</li> <li>- ALL SIGNS TO MEET ALL LOCAL SIGNAGE BY-LAW.</li> </ul>																									
	SECTION BUBBLE	<p>CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.</p>																									
	KEYNOTE TAG	<p>ARCHITECT</p>																									
	PLAN / ELEVATION / SECTION / DETAIL TITLE	<p>ARCHITECT SEAL</p>																									
	PROJECT NORTH	<p>CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.</p>																									
	ELEVATIONS	<p>ARCHITECT</p>																									
	CEILING HEIGHTS	<p>CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.</p>																									

DATE	BY	DESCRIPTION

CONSULTANT


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CONSULTANT SEAL

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT



3707 1ST AVENUE  
BURNABY, B.C. V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
P: 604 298 3700 F: 604 298 6081  
MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC ARCHITECTURAL SEAL

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DRAWN BY: **AD**      CHECKED BY: **LSA**

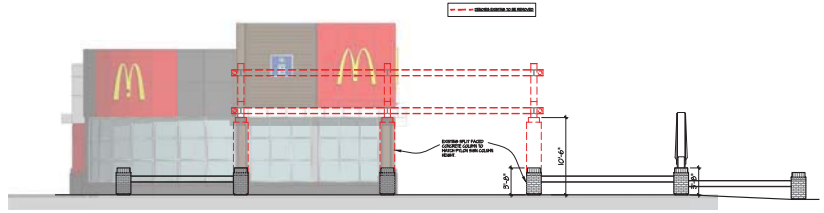
PROJECT: **McDonald's Restaurant**

10240 - King George Hwy  
SURREY, BC

DRAWING: **WALL & SIGNAGE SCHEDULES**

PROJECT NUMBER: <b>16-021</b>	DRAWING NUMBER: <b>AO.2</b>
SCALE: <b>1/4" = 1'-0"</b>	NATS NATIONAL NUMBER: <b>196</b>
DATE: <b>APRIL 2016</b>	REVISION: <b></b>





## King George Hwy

1 EXISTING TRELLIS ELEVATION  
ASLO SCALE: 1/8" = 1'-0"

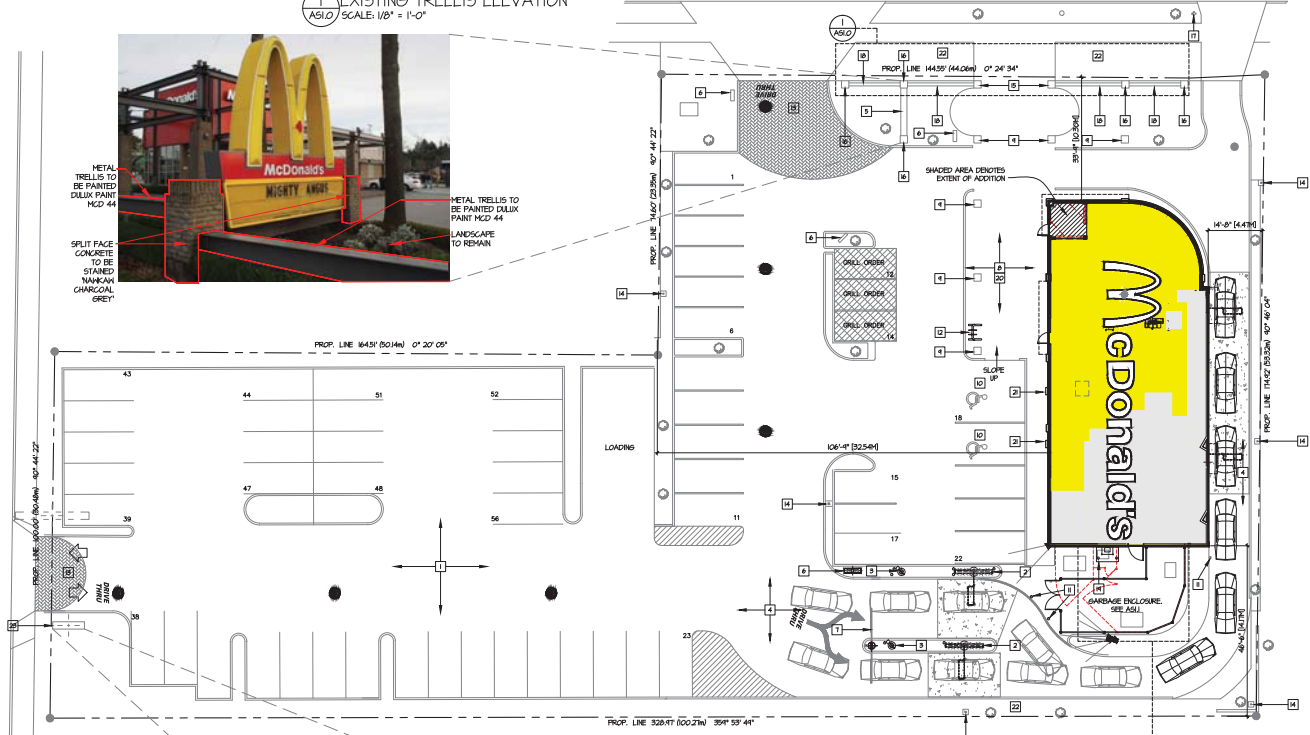


METAL TRELLIS TO BE PAINTED DULUX PAINT MCD 44

METAL TRELLIS TO BE PAINTED DULUX PAINT MCD 44

SPLIT FACE CONCRETE TO BE STAINED NANUKAN CHARCOAL GREY

LANDSCAPE TO REMAIN



102 Avenue



SIGNAGE TO REMAIN

METAL TRELLIS TO BE PAINTED DULUX PAINT MCD 44

SPLIT FACE CONCRETE TO BE STAINED NANUKAN CHARCOAL GREY

### PROJECT STATISTICS

**AUTHORITY HAVING JURISDICTION:**  
CITY OF SURREY

**LEGAL ADDRESS:**  
LOT 51, SECTION 26, RANGE 2, PLAN S20071, N/O

**CIVIL ADDRESS:**  
1400 KING GEORGE HIGHWAY,  
SURREY, B.C.

**ZONING:**  
HIGHWAY COMMERCIAL INDUSTRIAL ZONE (C4)

**LOT SIZE:**  
44891 SQFT. (4161 M<sup>2</sup>)

**USE EXISTING & NO CHANGE:**  
RESTAURANT

**LOT COVERAGE:**  
ALLOWABLE: 50%  
LOT AREA: 44891 SQFT.  
PROPOSED BUILDING AREA: 39510 SQFT.  
39510 / 44891 = 87.8%

**RETRACES EXISTING & NO CHANGE:**

ELEVATION	ALLOWED	PROPOSED
NORTH (LEFT)	15 m (246') 14.41 m (474') 91	15 m (246') 14.41 m (474') 91
EAST (REAR)	15 m (246') 14.71 m (482') 91	15 m (246') 14.71 m (482') 91
SOUTH (ON 32ND AVE)	15 m (246') 132.24 m (437') 87	15 m (246') 132.24 m (437') 87
WEST (FRONT)	15 m (246') 130.30 m (429') 87	15 m (246') 130.30 m (429') 87

**BUILDING ABETS AN INDUSTRIAL LOT**

**BUILDING HEIGHT:**  
ALLOWABLE = 20'-0" (6.10 M)  
EXISTING = 20'-4" (7.84 M)  
PROPOSED = 20'-4" (7.84 M)  
BUILDING FLOOR AREA EXISTING & NO CHANGE:  
ALLOWABLE = 10 MAX (44891 SQFT.)

**FLOOR AREA:**  
EXISTING = 38603 SQFT. (358.64 M<sup>2</sup>)  
ADDITION = 9640 SQFT.  
TOTAL = 39510 SQFT. (367.62 M<sup>2</sup>)  
PROPOSED = 0.01

**LANDSCAPING:**  
EXISTING & NO CHANGE

**PARKING:**  
REQUIRED: 10 STALLS PER 100 SQM OF G.F.A.  
(361 / 102) = 361  
- 30M RESTAURANT (SURREY CITY CENTER)  
= 30 STALLS  
56 STALLS

**LOADING:**  
REQUIRED: 1 OFF STREET 4.0M WIDTH 4.2M LENGTH 4.5M HIGH  
PROPOSED: 1 EXISTING & NO CHANGE  
CYCLE PARKING EXISTING & NO CHANGE

**SEATING:**  
REQUIRED: 0.06 SPACE FOR EVERY 100 SQUARE METERS  
COVERED = 0.06  
5

**SEATING:**  
EXISTING: 40 SEATS  
PROPOSED: 24 SEATS

### SITE KEY NOTES:

- 1 EXISTING ASPHALT PARKING TO REMAIN INCLUDING ALL PAINTED DRIVEWAYS AND PARKING LINES. SEE SITE PLAN NOTES.
- 2 4 PANEL MENU BOARD (E)
- 3 PRE-SELL BOARD (E)
- 4 DRIVE THRU LANE (E)
- 5 PRE-EXISTING SIGN FACING KING GEORGE RD. SEE ASLO
- 6 ILLUMINATED DRIVE THRU SIGN (E)
- 7 VEHICLE HEIGHT DETECTOR (E)
- 8 PATIO (E)
- 9 FEATURE COLUMN GAW STEEL BEAM TO BE REMOVED
- 10 HG PARKING STALL (E)
- 11 BOLLARD (E)
- 12 BICYCLE RACK (E)
- 13 PAVERS (E) TO BE REPAINTED.
- 14 LOT LIGHTS (E)
- 15 SPLIT FACE CONCRETE CONCRETE COLORING TO BE MODIFIED. SEE VASLO.
- 16 SPLIT FACE CONCRETE POSTS TO REMAIN
- 17 FIRE HYDRANT (E)
- 18 METAL TRELLIS TO REMAIN
- 19 EXISTING GAS METER
- 20 PATCH & REPAIR EXISTING PATIO PAVED AREA DIE TO DEFOLIATION
- 21 NEW HG SIGN ON EXISTING MALL
- 22 EXISTING LANDSCAPE TO REMAIN. SEE LANDSCAPE DNWS.
- 23 PRE-EXISTING ILLUMINATED SIGN FACING 102 ST (E) SEE ASLO.

### SITE PLAN NOTES:

1. ALL EXISTING ASPHALT PAVING AND CONCRETE CURBS ARE TO BE RETAINED. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE. CONTRACTOR IS TO REPAIR TO MATCH EXISTING AT NO COST TO OWNER.
2. ALL EXISTING CONCRETE SIDEWALKS ARE TO BE RETAINED. CONTRACTOR IS TO GET AS REQUIRED. CONTRACTOR IS RESPONSIBLE TO REPAIRING ALL DAMAGE TO SIDEWALKS TO THE RECONSTRUCTION CONTRACTOR.
3. ALL SITE FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
4. THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY MDS AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
5. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES OR VARIANCES TO MDS PM.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
7. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
8. MAKE GOOD ALL EXISTING THAT IS DISTURBED BY NEW WORK.
9. BE RESPONSIBLE FOR ANY REPAIRS OR RELOCATION ASSOCIATED WITH CURB/ASPHALT/CONC. BASE WORK.



DATE	REVISION	DESCRIPTION

**McDonald's**  
McDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

DATE	REVISION	DESCRIPTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

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BURNABY, B.C. V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
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MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC  
ARCHITECTURAL FIRM

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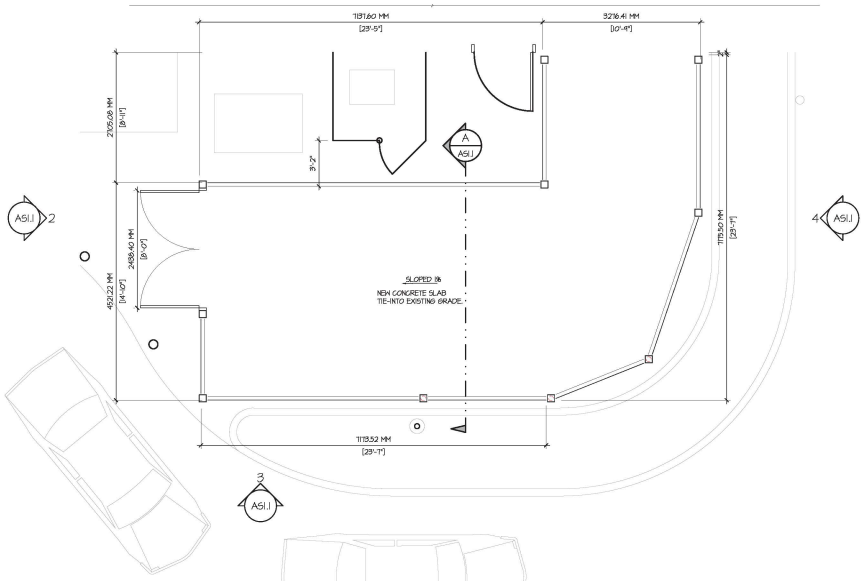
### McDonald's Restaurant

10240 - King George Hwy,  
SURREY, BC

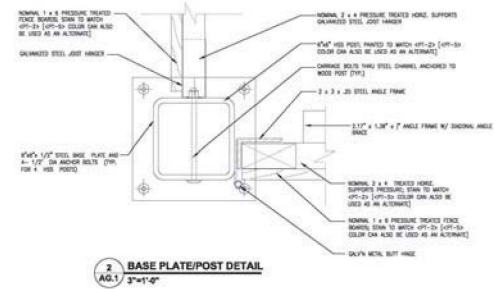
PROJECT NUMBER	DRAWING NUMBER
16-021	ASLO
SCALE: 1/8" = 1'-0"	NATS NATIONAL NUMBER: 196
DATE: APRIL 2016	REVISION: OCT 2016

Central City (Whalley) - 16-021

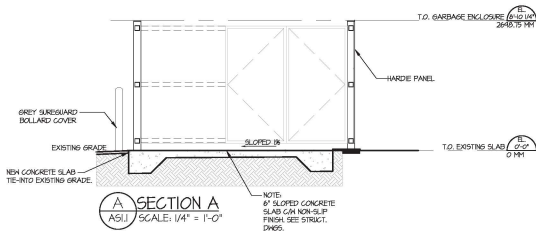




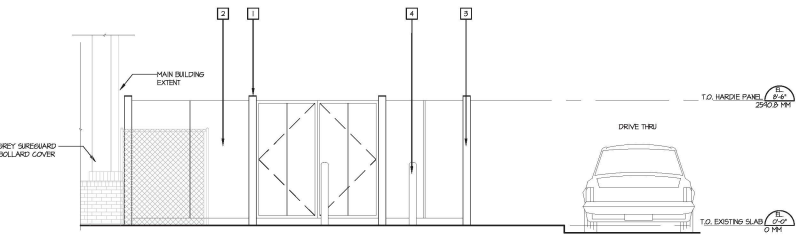
AS1.1 GARBAGE ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



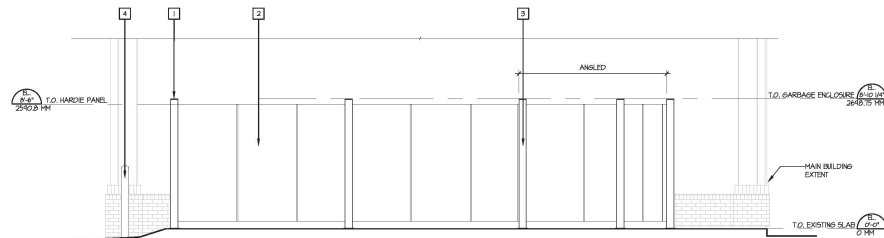
2 BASE PLATE/POST DETAIL  
SCALE: 3/4" = 1'-0"



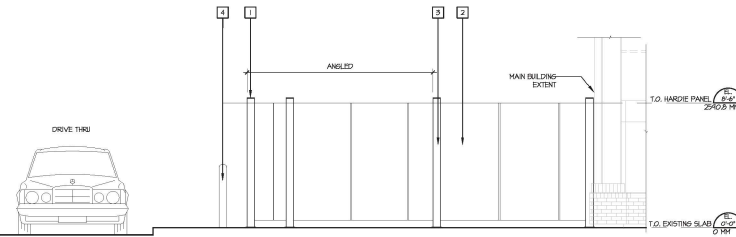
SECTION A AS1.1  
SCALE: 1/4" = 1'-0"



AS2 GARBAGE ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



AS3 GARBAGE ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



AS4 GARBAGE ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES	
MATERIAL	COLOUR
1 STEEL PLATE HOOD POST CAP	DULLUX PAINT MCD 40 "REGENT GREY"
2 HARDIE PANEL	COLOR TO MATCH BUILDING
3 ANGLE TMC HOOD POST CAP END WELDED BASE PLATE	DULLUX PAINT MCD 40 "REGENT GREY"
4 BOLLARDS (EXISTING)	DULLUX PAINT MCD 40 "REGENT GREY"

- ALL MATERIALS ARE NEW UNLESS INDICATED.  
 - REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DMS, AD.1.  
 - ALL MATERIAL FLASHING TO BE 24 GA.  
 - SEE CALCOURED ELEVATIONS FOR COLORS & COLORE.

REV	DATE	DESCRIPTION

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT  
 CONSULTANT

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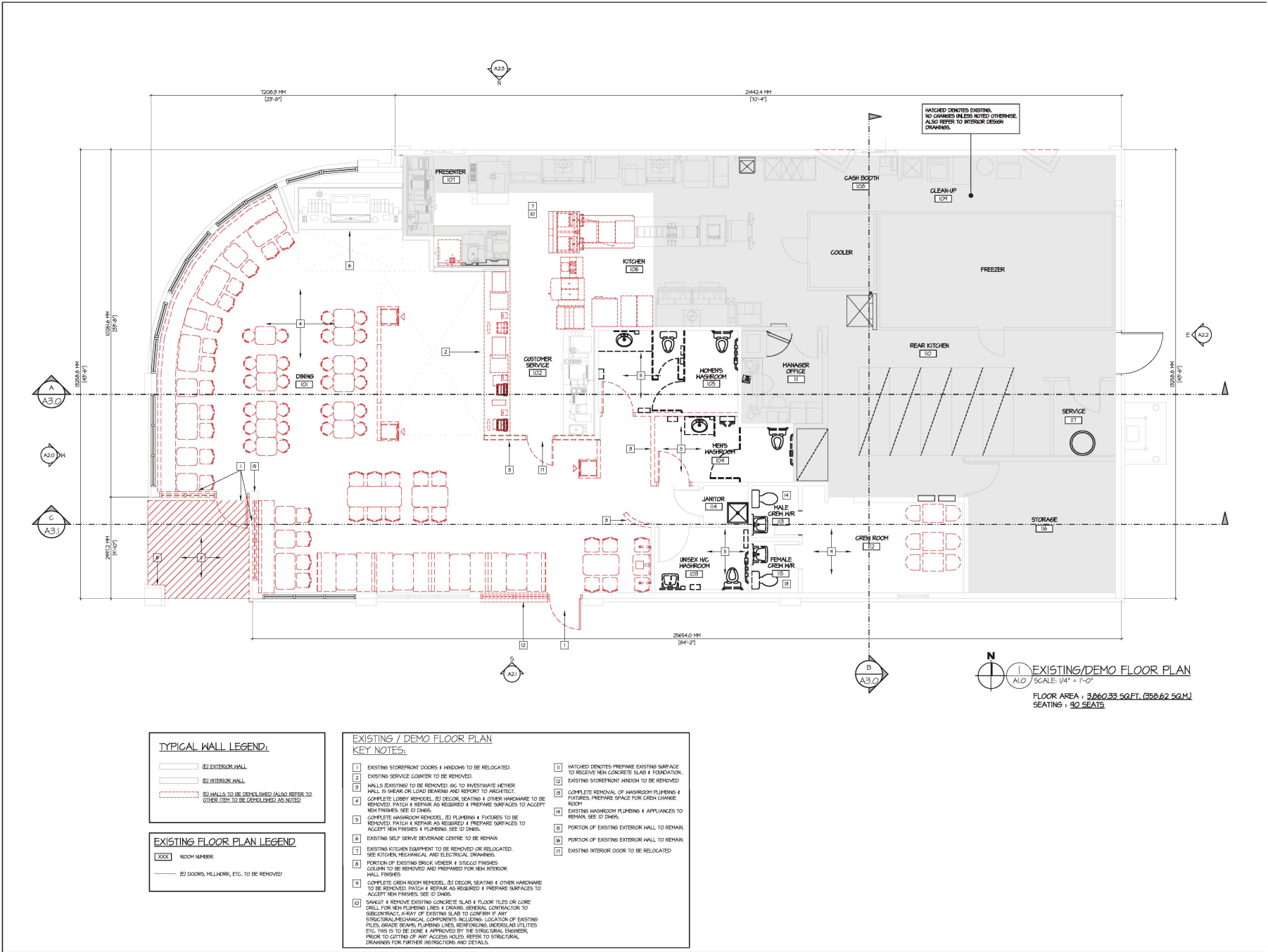
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DRAWN BY: **AD** APPROVED: **AD**  
 PROJECT: **McDonald's Restaurant**  
 10240 - King George Hwy,  
 SURREY, BC

PROPOSED GARBAGE ENCLOSURE ELEVATIONS / PLAN / SECTION

PROJECT NUMBER: 16-021  
 DRAWING NUMBER: AS1.1  
 SCALE: 1/4" = 1'-0"  
 DATE: OCTOBER 2016

DMS NATIONAL NUMBER: 1196  
 REVISION:



CONTRACTOR	DATE	REVISION	DESCRIPTION

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED.  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

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PROJECT: McDonald's Restaurant

10240 - King George Hwy,  
SURREY, BC

DATE: APRIL 2016

REVISION: OCT 2016

EXISTING/DEMO FLOOR PLAN

PROJECT NUMBER: 16-021

DRAWING NUMBER: A1.0

SCALE: 1/4" = 1'-0"

DATE: APRIL 2016

REVISION: OCT 2016

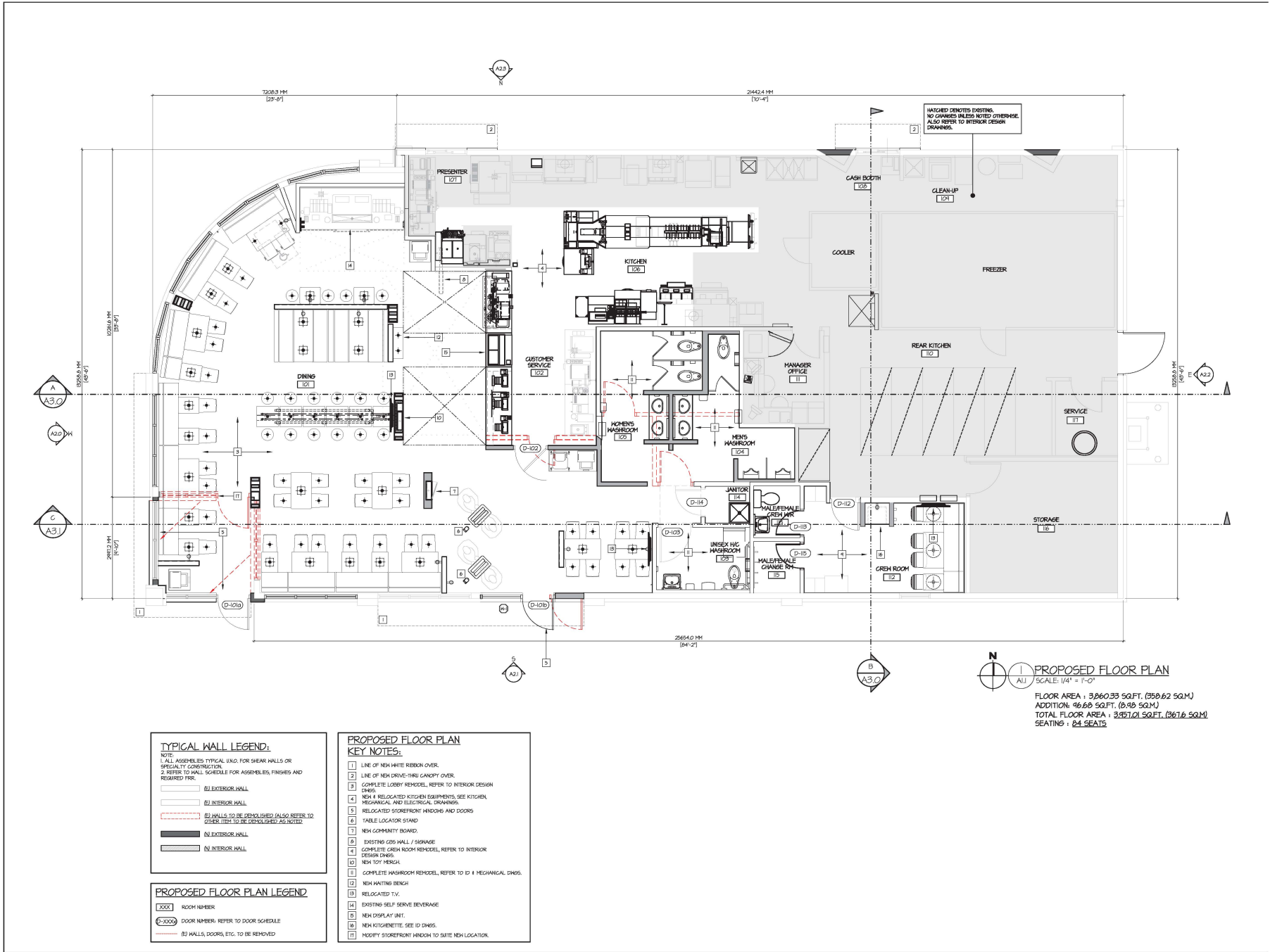
PROJECT NUMBER: 16-021

DRAWING NUMBER: 196

DATE: APRIL 2016

REVISION: OCT 2016

Central City (Walsley) - 16-021



**PROPOSED FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 FLOOR AREA : 3,260.33 SQ.FT. (300.62 SQ.M.)  
 ADDITION : 96.60 SQ.FT. (8.90 SQ.M.)  
 TOTAL FLOOR AREA : 3,357.01 SQ.FT. (311.6 SQ.M.)  
 SEATING : 84 SEATS

**TYPICAL WALL LEGEND:**  
 NOTE:  
 1. ALL ASSEMBLIES TYPICAL UNLESS SPECIFIED OTHERWISE.  
 2. REFER TO WALL SCHEDULE FOR ASSEMBLIES, FINISHES AND REQUIRED FR. (R).

(E) EXTERIOR HALL  
 (I) INTERIOR HALL  
 (D) HALLS TO BE DEMOLISHED (ALSO REFER TO OTHER ITEMS TO BE DEMOLISHED AS NOTED)  
 (N) EXTERIOR HALL  
 (NI) INTERIOR HALL

**PROPOSED FLOOR PLAN LEGEND**

XXXX ROOM NUMBER  
 ○-XXXX DOOR NUMBER, REFER TO DOOR SCHEDULE  
 (D) HALLS, DOORS, ETC. TO BE REMOVED

**PROPOSED FLOOR PLAN KEY NOTES:**

- LINE OF NEW WHITE REBOND OVER.
- LINE OF NEW DRIVE-THRU CANOPY OVER.
- COMPLETE LOBBY RENOVEL, REFER TO INTERIOR DESIGN DWS.
- NEW & RELOCATED KITCHEN EQUIPMENTS, SEE KITCHEN MECHANICAL AND ELECTRICAL DRAWINGS.
- RELOCATED STOREFRONT WINDOWS AND DOORS.
- TABLE LOCATOR STAND.
- NEW COMMUNITY BOARD.
- EXISTING CDS HALL / STORAGE.
- COMPLETE CASH ROOM RENOVEL, REFER TO INTERIOR DESIGN DWS.
- NEW 101 MESH.
- COMPLETE WASHROOM RENOVEL, REFER TO ID & MECHANICAL DWS.
- NEW HATTING BENCH.
- RELOCATED TV.
- EXISTING SELF-SERVE BEVERAGE.
- NEW DISPLAY UNIT.
- NEW KITCHENETTE, SEE ID DWS.
- MODIFY STOREFRONT WINDOW TO SUITE NEW LOCATION.

NO.	DATE	REVISION	BY	DATE	DESCRIPTION
1	08/11/16	ISSUED FOR D.T.	AJ		
2	08/22/16	ISSUED FOR TENDER	AJ		
3	08/22/16	ISSUED FOR D.P.	AJ		
4	08/22/16	ISSUED FOR TENDER	AJ		
5	08/22/16	ISSUED FOR TENDER	AJ		
6	08/22/16	ISSUED FOR TENDER	AJ		

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DESIGNED BY: AJI APPROVED BY: [Signature]

PROJECT: McDonald's Restaurant

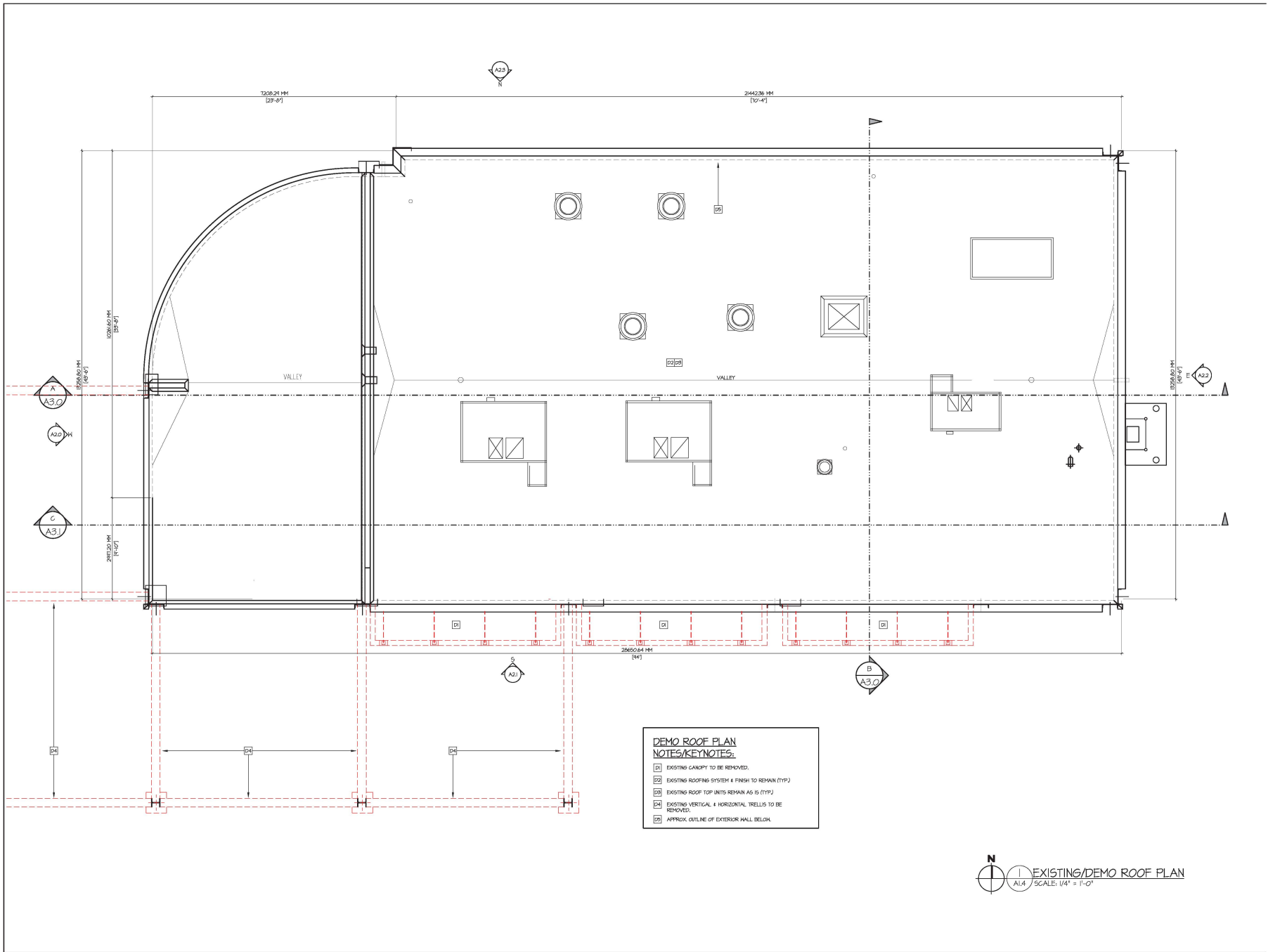
10240 - King George Hwy,  
 SURREY, BC

**PROPOSED FLOOR PLAN**

PROJECT NUMBER: 16-021 DRAWING NUMBER: AJI

SCALE: 1/4" = 1'-0" METRIC NATIONAL NUMBER: 116

DATE: APRIL 2016 REVISION: OCT 2016



**DEMO ROOF PLAN  
NOTES/KEYNOTES:**

- [D1] EXISTING CANOPY TO BE REMOVED.
- [D2] EXISTING ROOFING SYSTEM & FINISH TO REMAIN (TYP)
- [D3] EXISTING ROOF TOP UNITS REMAIN AS IS (TYP)
- [D4] EXISTING VERTICAL & HORIZONTAL TRELLIS TO BE REMOVED.
- [D5] APPROX. OUTLINE OF EXTERIOR HALL BELOW.

N  
 1  
 A1.4  
 EXISTING/DEMO ROOF PLAN  
 SCALE: 1/4" = 1'-0"

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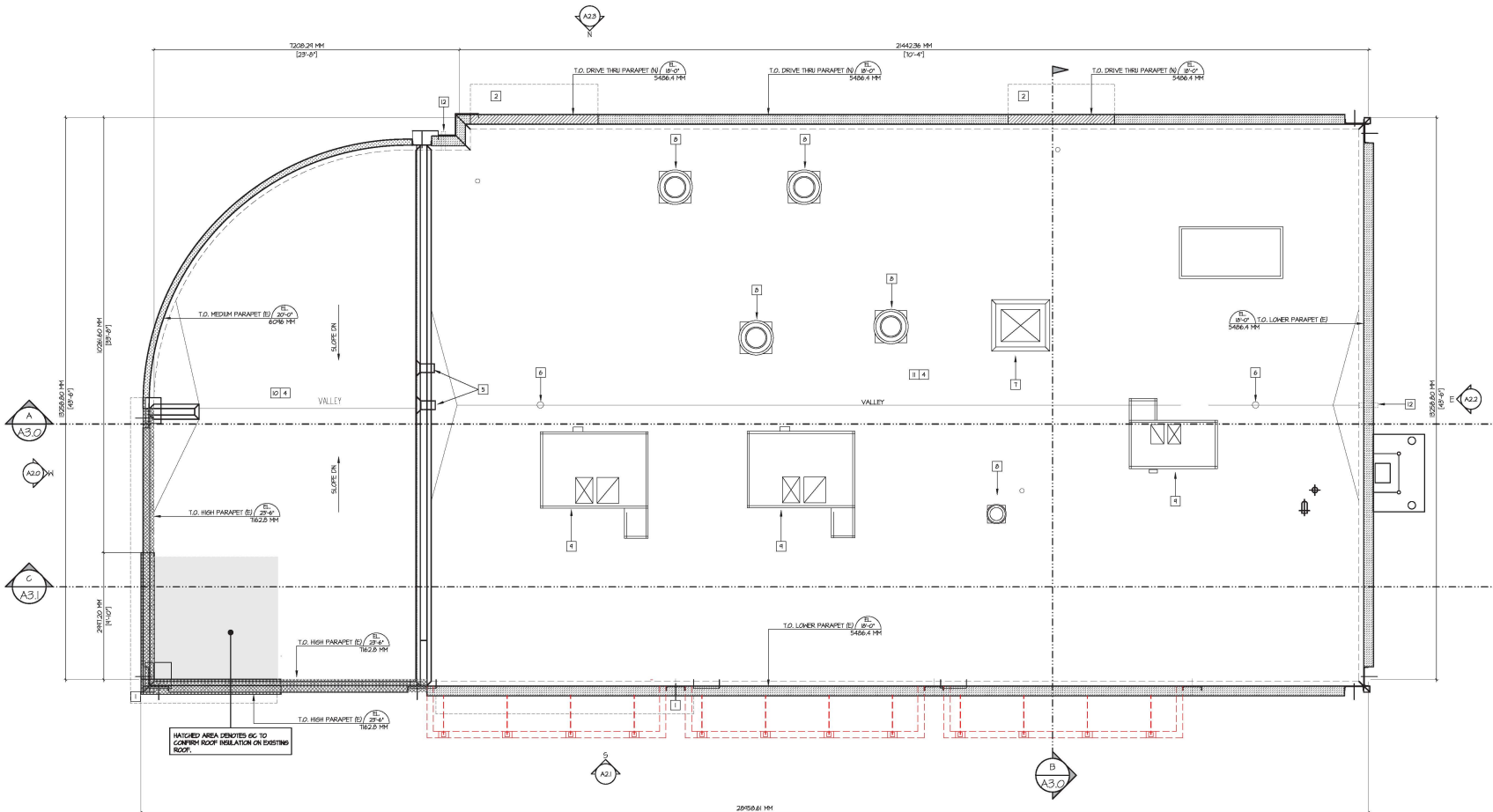
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 DRAWN BY: APPROVED:  
 PROJECT:  
**McDonald's Restaurant**  
 10240 - King George Hwy,  
 SURREY, BC

EXISTING/DEMO ROOF PLAN  
 PROJECT NUMBER: DRAWING NUMBER:  
 16-021 A1.4  
 SCALE: 1/4" = 1'-0" METRIC NATIONAL NUMBER:  
 DATE: APRIL 2016 REVISION:  
 APRIL 2016



**ROOF PLAN LEGEND**

[Hatched Pattern]	TOP OF DRIVE THRU PARAPET (NEW)
[Dotted Pattern]	TOP OF HIGH PARAPET (EXISTING)
[Horizontal Line Pattern]	TOP OF MEDIUM PARAPET (EXISTING)
[Vertical Line Pattern]	TOP OF LOW PARAPET (EXISTING)
[Dashed Line]	REFERS TO ITEM THAT ARE TO BE REMOVED OR DEMOLISHED

- ROOF PLAN NOTES:**
1. PATCH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
  2. MAINTAIN ALL EXISTING ROOF SLOPES AND DRAINAGE.
  3. GULCH, SEAL AND MAKE GOOD ALL NEW ROOF PENETRATIONS.
  4. REFER TO STRUCTURAL DRAWINGS FOR NEW ROOF FRAMING.
  5. ALL ROOF PENETRATIONS (BOODEN/BLACK) CONTRACTOR TO MAINTAIN THE INTEGRITY OF ROOF MEMBRANE AND BUILDING ENVELOPE.

- ROOF PLAN KEYNOTES:**
- SEE GENERAL NOTES ON DRAWING A01 FOR ADDITIONAL INSTRUCTIONS.
- 1 NEW WHITE RIBBON CANOPY.
  - 2 NEW DRIVE THRU CANOPY.
  - 3 APPROX. OUTLINE OF EXTERIOR WALL BELCH.
  - 4 ROOFING (EXISTING) TO REMAIN PATCH & REPAIR AS REQUIRED DAMAGED BY NEW WORK.
  - 5 EXISTING OVERFLOW SCUPPER.
  - 6 EXISTING ROOF DRAIN.
  - 7 EXISTING ROOF ACCESS HATCH.
  - 8 EXISTING KITCHEN EXHAUST.
  - 9 EXISTING RTU.
  - 10 EXISTING HIGHER ROOF PORTION OF BUILDING.
  - 11 EXISTING LOWER ROOF PORTION OF BUILDING.
  - 12 EXISTING 4" DIAMETER EMERGENCY SCUPPER DRAIN.

**PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

DATE	REVISION	DESCRIPTION
10/1/16	ISSUED FOR D.T.	
10/27/16	ISSUED FOR TENDER	
10/27/16	ISSUED FOR CP	
REV	DATE	DESCRIPTION

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT

NAME	DATE

CONSULTANT SEAL

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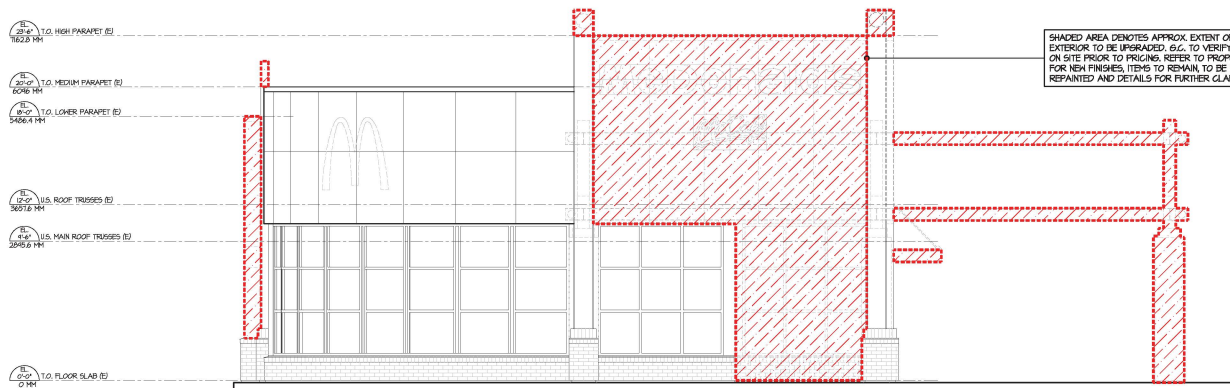
PROJECT  
**McDonald's Restaurant**

10240 - King George Hwy,  
 SURREY, BC

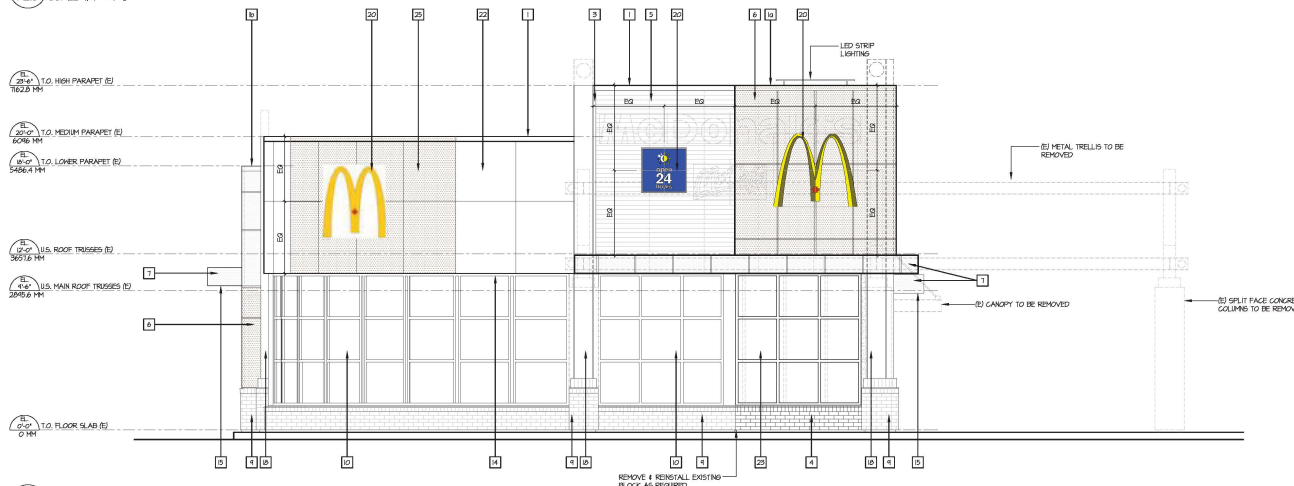
DRAWING

**PROPOSED ROOF PLAN**

PROJECT NUMBER	DRAWING NUMBER
16-021	A1.5
SCALE	MC'S NATIONAL NUMBER
1/4" = 1'-0"	116
DATE	REVISION
APRIL 2016	



1 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 1. EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY E.C. PATCH & REPAIR REFERENCE AS REQUIRED EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, WALL HEATED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEERS REQUIREMENTS. PATCH AND REPAIR AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND FINISHES.
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS & CAP FLASHING NOTED TO BE REMOVED TO BE REMOVED BY G.C. PATCH & REPAIR AS REQUIRED BY NEW WORK.
- 6. G.C. TO REPAIR ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEERS REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQUIRED AND COORDINATE SIGNAGE/SUPPORTS WITH SIGN COMPANY.

- 8. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPoxy GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE IRON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BELLEMIN MOORE HDS - 5M OIL & GREASED DILUENT PER MANUFACTURERS INSTRUCTIONS.
- 13. ALL EXISTING BOLLARDS TO REMAIN TO BE PAINTED SAFETY-YELLOW.
- 14. ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED EXTERIOR GRAVE WHITE.
- 15. REMOVE ALL EXISTING SHOWER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- 16. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.I.

**EXTERIOR FINISHES**

MATERIAL	COLOUR	MATERIAL	COLOUR
1 * PREFINISHED METAL CAP FLASHING	CHARCOAL G2-B072 OR TO MATCH ADJACENT FINISHES & NON RED B. TINT WHITE	12 * PREFINISHED METAL BASE / THRU HALL FLASHING	CHARCOAL G2-B072
2 HORIZONTAL METAL SIDING AD300	CHARCOAL GREY (S216072)	13 * PREFINISHED METAL DASH / THRU HALL FLASHING (EXISTING)	PAINTED DALLIX PAINT MCD 44
3 44 FIBER CEMENT TRIM - SHROTH - 3'5" WIDTH	DALLIX PAINT CHESTNUT/CALFEE BROWN MCD 31	14 PERFORATED METAL PANEL SOFFIT - AD300	TINT WHITE
4 MANUFACTURED STONE G4 SILL	STAINED - NANUKA CHARCOAL GREY	15 METAL PANEL SOFFIT - AD300	TINT WHITE
5 FIBER CEMENT LAP SIDING	DALLIX PAINT CHESTNUT/CALFEE BROWN MCD 31	16 METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PAINTED DALLIX PAINT MCD 48
6 METAL PANEL - RED	NON RED*	17 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES	CLEAR ANODIZED
7 METAL PANEL / RIBBON - WHITE	TINT WHITE	18 STEEL COLUMN CHANNEL (EXISTING)	PAINTED TO MATCH DALLIX PAINT CHESTNUT/CALFEE BROWN MCD 31
8 STUCCO (EXISTING) - MEDIUM GREY	PAINTED DALLIX PAINT REGENT GREY* MCD 44	19 METAL STUCCO REVEALS (EXISTING)	PAINTED TO MATCH ADJACENT SURFACES
9 MANUFACTURED STONE G4 SILL (EXISTING) - DARK GREY	STAINED - NANUKA CHARCOAL GREY*	20 SIGNAGE	SEE RESPONSIBILITY CHART
10 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (EXISTING)	CLEAR ANODIZED	21 STUCCO - DENOTES DOTTED HATCH, TEXTURE TO MATCH EXISTING	PAINTED DALLIX PAINT REGENT GREY* MCD 44
11 WINDOW HEAD (E) & WINDOW SILL (E)	PAINTED DALLIX PAINT MCD 44	22 METAL PANEL (EXISTING) - DARK GREY	PAINTED DALLIX PAINT MCD 44
* ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE. REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.O.I. * ALL MATERIAL FLASHING TO BE 24 GA. - SEE COLOURED ILLUSTRATIONS FOR CORRECT COLOUR.			
23 ALUMINUM STOREFRONT DOOR/ WINDOW FRAME (E)	RELOCATED (CLEAR ANODIZED)	24 GLASS BLOCKS (E)	REMAIN AS IS.
25 METAL PANEL (EXISTING) - DARK GREY	TO BE PAINTED NON RED* TO MATCH EXISTING.	26 METAL PANEL (EXISTING) - DARK GREY	TO BE PAINTED NON RED* TO MATCH EXISTING.

**PROPOSED ELEV. LEGEND:**

- [ ] MATERIAL NUMBER
- [ ] EXISTING GLAZINGS, DOORS, WINDOWS, ETC. TO BE REMOVED

DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
01/11/16	ISSUED FOR D.T.			
02/02/16	ISSUED FOR TENDER			
03/22/16	ISSUED FOR O.P.			
04/01/16	ISSUED FOR PERMIT			
04/01/16	ISSUED FOR PERMIT			
04/01/16	ISSUED FOR PERMIT			

**McDonald's**  
McDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURBURY, B.C. V5C 6C6

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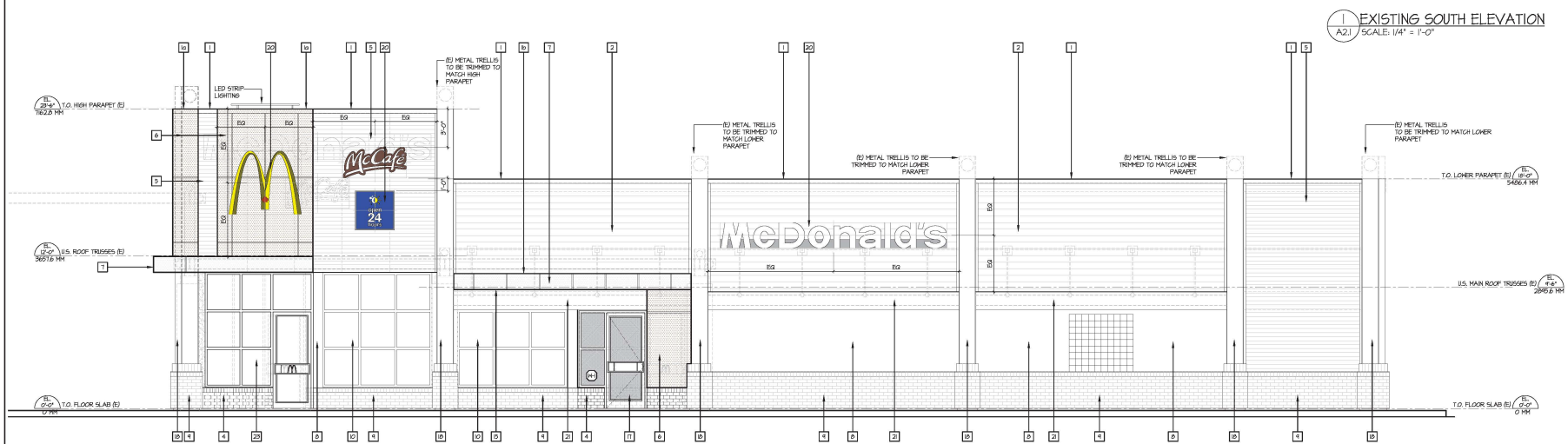
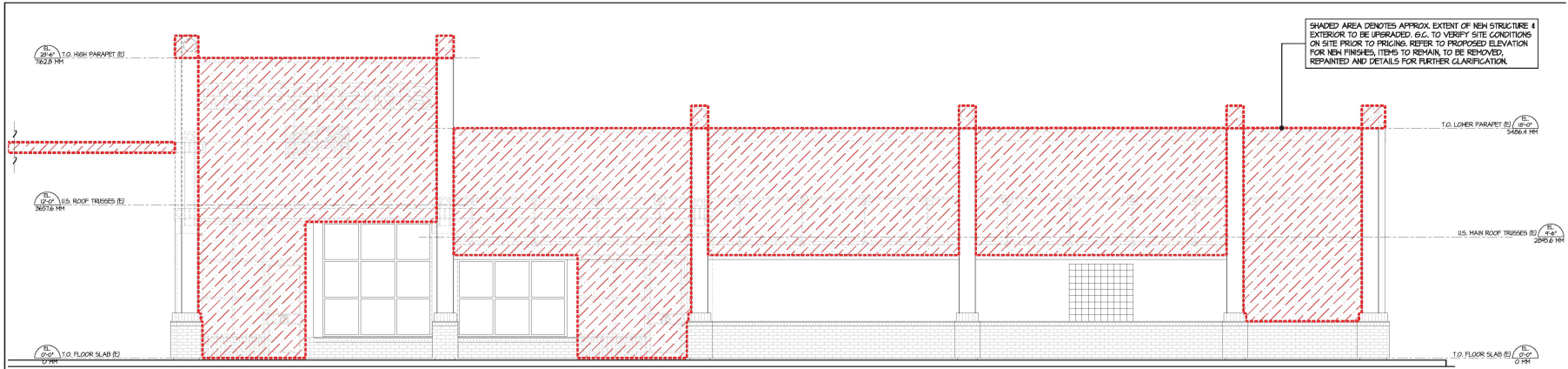
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McDonald's Restaurant

10240 - King George Hwy,  
SURREY, BC

EXISTING & PROPOSED WEST ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
16-021	A2.0
SCALE	INTERNATIONAL NUMBER
1/4" = 1'-0"	116
SITE	REVISION
APRIL, 2016	SEPT/21/16



**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW

- EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR EXISTING DAMAGED BY NEW WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, WALL HEATED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND HIRING.
- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS & CAP FLASHING NOTED TO BE REMOVED TO BE REMOVED BY G.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
- G.C. TO INSPECT ALL EXISTING VAPOR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLE IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKING/SUPPORTS WITH SIGN COMPANY.

- HIGH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPoxy GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED SAFETY-YELLOW.
- REMOVE ALL EXISTING SHOWER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.I.

**EXTERIOR FINISHES**

MATERIAL	COLOUR	MATERIAL	COLOUR
1 * PREFINISHED METAL CAP FLASHING	CHARCOAL GC-16072 OR TO MATCH ADJACENT FINISHES, & NON RED	12 * PREFINISHED METAL BASE / THRU WALL FLASHING	CHARCOAL GC-16072
2 HORIZONTAL METAL SIDING ADSO	CHARCOAL GREY (SICANTO2)	13 * PREFINISHED METAL BASE / THRU WALL FLASHING (EXISTING)	PAINTED DULUX PAINT MCD 44
3 4x4 FIBER CEMENT TRIM - SHROTH - 3.5" WIDTH	DULUX PAINT CHESTNUT/MCFLAKE BROWN MCD 31	14 PERFORATED METAL PANEL SOFFIT - ADSO	TINT WHITE
4 MANUFACTURED STONE GAN SILL	STAINED - NANKAM CHARCOAL GREY	15 METAL PANEL SOFFIT - ADSO	TINT WHITE
5 FIBER CEMENT LAP SIDING	DULUX PAINT CHESTNUT/MCFLAKE BROWN MCD 31	16 METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PAINTED DULUX PAINT MCD 48
6 METAL PANEL - RED	NON RED	17 ALUMINUM STOREFRONT DOOR/HINDON FRAMES	CLEAR ANODIZED
7 METAL PANEL / REBORN - WHITE	TINT WHITE	18 STEEL COLUMN CHANNEL (EXISTING)	PAINTED TO MATCH DULUX PAINT CHESTNUT/MCFLAKE BROWN MCD 31
8 STUCCO (EXISTING) - MEDIUM GREY	PAINTED DULUX PAINT REGENT GREY MCD 44	19 METAL STEGGO REVEALS (EXISTING)	PAINTED TO MATCH ADJACENT SURFACES
9 MANUFACTURED STONE GAN SILL (EXISTING) - DARK GREY	STAINED - NANKAM CHARCOAL GREY	20 SIGNAGE	SEE RESPONSIBILITY CHART
10 ALUMINUM STOREFRONT DOOR/HINDON FRAMES (EXISTING)	CLEAR ANODIZED	21 STUCCO - DENOTES DOTTED HATCH, TEXTURE TO MATCH EXISTING	PAINTED DULUX PAINT REGENT GREY MCD 41
11 WINDOW HEAD (E) & WINDOW SILL (E)	PAINTED DULUX PAINT MCD 44	22 METAL PANEL (EXISTING) - DARK GREY	PAINTED DULUX PAINT MCD 44
ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE. REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.O.I.		23 ALUMINUM STOREFRONT DOOR/ HINDON FRAME (E)	RELOCATED (CLEAR ANODIZED)
* ALL METAL FLASHING TO BE 24 GA.		24 GLASS BLOCKS (E)	REMAIN AS IS
- SEE COLOURED ELEVATIONS FOR CORRECT COLOUR.		25 METAL PANEL (EXISTING) - DARK GREY	TO BE PAINTED 'NON RED' TO MATCH EXISTING.

**PROPOSED ELEV. LEGEND:**

- EXISTING GLAZINGS, DOORS, WINDOWS, ETC. TO BE REMOVED

NO.	DATE	REVISION	DESCRIPTION
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CONSULTANT

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

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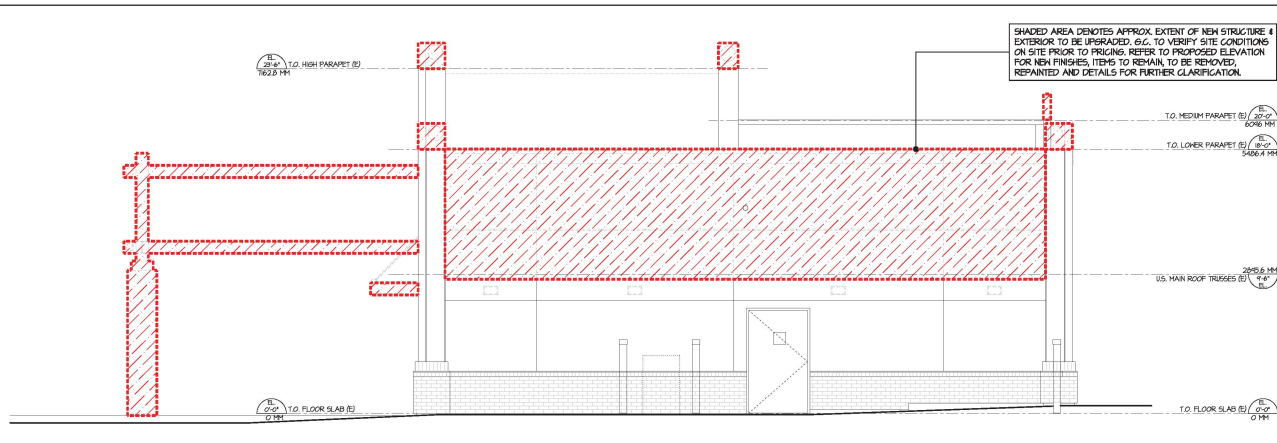
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PROJECT: McDonald's Restaurant

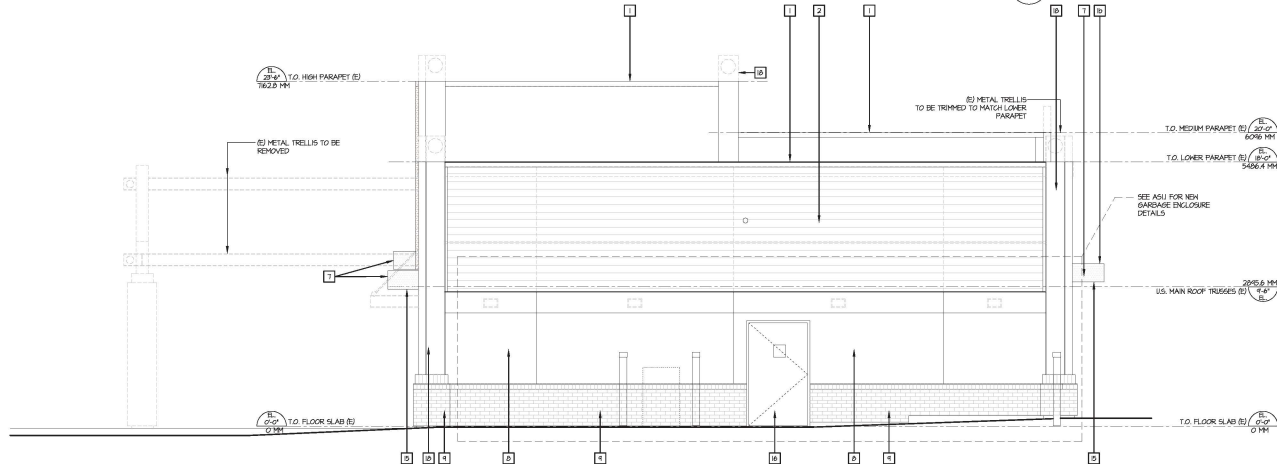
10240 - King George Hwy, SURREY, BC

EXISTING & PROPOSED SOUTH ELEVATIONS

PROJECT NUMBER: 16-021  
DRAWING NUMBER: A2.1  
SCALE: 1/4" = 1'-0"  
DATE: APRIL 2016  
REVISION: SEPT/21/16



1 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW

- 1. EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.G. PATCH & REPAIR EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.G. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL. PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND FIXINGS.
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS & CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.G. PATCH & REPAIR AS REQUIRED BY NEW WORK.
- 6. G.G. TO VERIFY ALL EXISTING VAPOR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLE IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.G. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE SIGNAGE/SUPPORTS WITH SIGN COMPANY.

- 8. HANG ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL Voids AND CRACKS TO BE EPoxy GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BELMANN MOORE HD-8 OIL & GREASED ENVELOPER FOR MANUFACTURER'S INSTRUCTIONS.
- 13. ALL EXISTING BOLTERS TO REMAIN TO BE PAINTED SAFETY-YELLOW.
- 14. ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED EXTERIOR GRAVE WHITE.
- 15. REMOVE ALL EXISTING SHAKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- 16. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.I.

EXTERIOR FINISHES

MATERIAL	COLOUR	MATERIAL	COLOUR
1 * PREFINISHED METAL CAP FLASHING	CHARCOAL GC-16072 OR TO MATCH ADJACENT FINISHES, & NON RED	12 * PREFINISHED METAL BASE / THRU HALL FLASHING	CHARCOAL GC-16072
2 HORIZONTAL METAL SIDING ADSIO	CHARCOAL GREY (SICANTO2)	13 * PREFINISHED METAL BASE / THRU HALL FLASHING (EXISTING)	PANDED DULUX PAINT MCD 44
3 4x4 FIBER CEMENT TRIM - SHROTH - 3.5" WIDTH	DULUX PAINT CHESTNUT/CANE BROWN MCD 31	14 PERFORATED METAL BASE / THRU HALL FLASHING (EXISTING)	TINT WHITE
4 MANUFACTURED STONE GUN SILL	STAINED - NANKAM CHARCOAL GREY	15 METAL PANEL SOFFIT - ADSIO	TINT WHITE
5 FIBER CEMENT LAP SIDING	DULUX PAINT CHESTNUT/CANE BROWN MCD 31	16 METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PANDED DULUX PAINT MCD 45
6 METAL PANEL - RED	NON RED	17 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES	CLEAR ANODIZED
7 METAL PANEL / REBORN - WHITE	TINT WHITE	18 STEEL COLUMN CHANNEL (EXISTING)	PAINTED TO MATCH DULUX PAINT CHESTNUT/CANE BROWN MCD 31
8 STUCCO (EXISTING) - MEDIUM GREY	PANDED DULUX PAINT REGENT GREY MCD 48	19 METAL STUCCO REVEALS (EXISTING)	PAINTED TO MATCH ADJACENT SURFACES
9 MANUFACTURED STONE GUN SILL (EXISTING) - DARK GREY	STAINED - NANKAM CHARCOAL GREY	20 SIGNAGE	SEE RESPONSIBILITY CHART
10 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (EXISTING)	CLEAR ANODIZED	21 STUCCO - DENOTES DOTTED HATCH, TEXTURE TO MATCH EXISTING	PANDED DULUX PAINT REGENT GREY MCD 41
11 WINDOW HEAD (E) & WINDOW SILL (E)	PANDED DULUX PAINT MCD 44	22 METAL PANEL (EXISTING) - DARK GREY	PANDED DULUX PAINT MCD 44
ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE		23 ALUMINUM STOREFRONT DOOR/WINDOW FRAME (E)	RELOCATED (CLEAR ANODIZED)
- REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.O.I.		24 GLASS BLOCKS (E)	REMAIN AS IS
* ALL MATERIAL FLASHING TO BE 24 GA.		25 METAL PANEL (EXISTING) - DARK GREY	TO BE PAINTED NON RED TO MATCH EXISTING.
- SEE COLOURED ELEVATIONS FOR CORRECT COLOUR.			

PROPOSED ELEV. LEGEND:

- EXISTING MATERIAL NUMBER
- EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

CONSULTANT

DATE	BY	DESCRIPTION

REVISIONS FOR DT  
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**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURBARY, B.C. V5C 6C6

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

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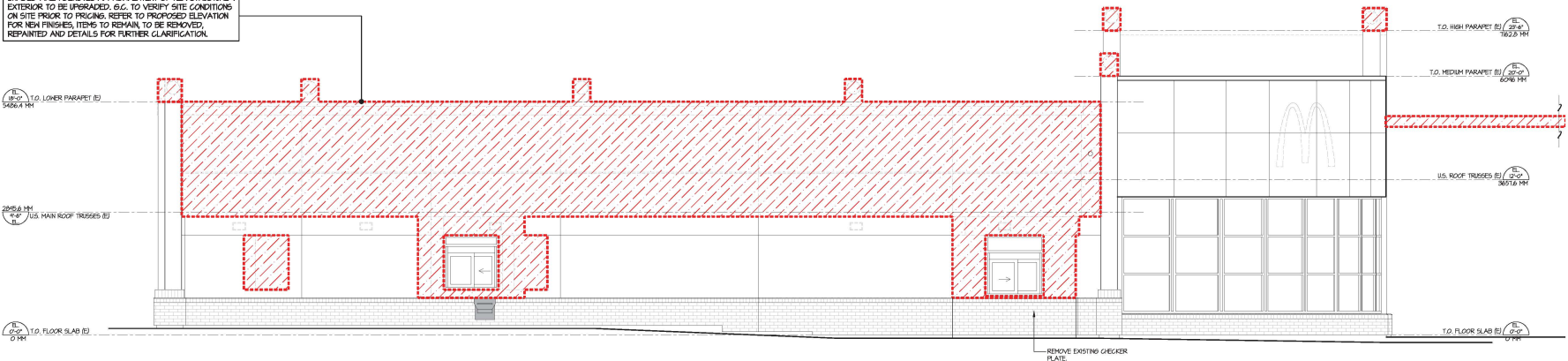
McDonald's Restaurant  
10240 - King George Hwy.  
SURREY, BC

EXISTING & PROPOSED EAST ELEVATIONS

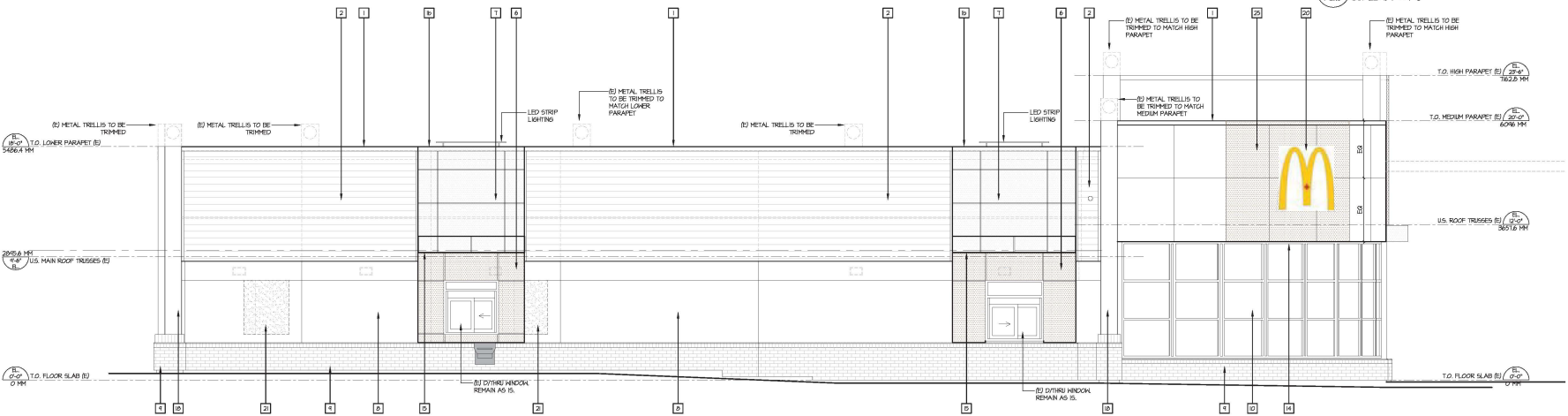
PROJECT NUMBER	DRAWING NUMBER
16-021	A2.2
SCALE	NOT NATIONAL NUMBER
1/4" = 1'-0"	116
DATE	REVISION
APRIL, 2016	SEPT/21/16



SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. G.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS FOR FURTHER CLARIFICATION.



1 EXISTING NORTH ELEVATION  
A2.3 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
A2.3 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.

1. EXTERIOR WALL CLADDING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
3. REMOVE ALL EXISTING ELECTRICAL, OUTLETS, JUNCTION BOXES, DOORBELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL. PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND MOUNTING.
5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS & CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED BY NEW WORK.
6. G.C. TO VERIFY ALL EXISTING VAPOR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE SIGNAGE/SUPPORTS WITH SIGN COMPANY.

8. HIGH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPoxy GROUTED PRIOR TO PAINTING.
10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE AFTER COMPLETION.
12. PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BELMANN MOORE HED - 5H OIL & GRADED INHIBITER PER MANUFACTURER'S INSTRUCTIONS.
13. ALL EXISTING BOLTS/LAGS TO REMAIN TO BE PAINTED SAFETY-YELLOW.
14. ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED EXTERIOR GRAVE WHITE.
15. REMOVE ALL EXISTING SHAKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
16. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.I.

EXTERIOR FINISHES

MATERIAL	COLOUR	MATERIAL	COLOUR
1 * PREFINISHED METAL CAP FLASHING	CHARCOAL GC-1072 OR TO MATCH ADJACENT FINISHES, & NON REP B. TINT WHITE	12 * PREFINISHED METAL BASE / THRU WALL FLASHING	CHARCOAL GC-1072
2 HORIZONTAL METAL SIDING A2300	CHARCOAL GREY (SICANTO2)	13 * PREFINISHED METAL BASE / THRU WALL FLASHING (EXISTING)	PAINTED DULUX PAINT MCD 44
3 44 FIBER CEMENT TRM - SMOOTH - 35" WIDTH	DULUX PAINT CHESTNUT/LAGGATE BRONZE MCD 31	14 FERROBRATED METAL PANEL SOFFIT - A2300	TINT WHITE
4 MANUFACTURED STONE GDN SILL	STAINED - NANKAM CHARCOAL GREY	15 METAL PANEL SOFFIT - A2300	TINT WHITE
5 FIBER CEMENT LAP SIDING	DULUX PAINT CHESTNUT/LAGGATE BRONZE MCD 31	16 METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PAINTED DULUX PAINT MCD 48
6 METAL PANEL - RED	NON REP	17 ALUMINUM STOREFRONT DOOR/HINDON FRAMES	CLEAR ANODIZED
7 METAL PANEL / REBOND - WHITE	TINT WHITE	18 STEEL COLUMN CHANNEL (EXISTING)	PAINTED TO MATCH DULUX PAINT CHESTNUT/LAGGATE BRONZE MCD 31
8 STUCCO (EXISTING) - MEDIUM GREY	PAINTED DULUX PAINT REGENT GREY MCD 44	19 METAL STUCCO REVEALS (EXISTING)	PAINTED TO MATCH ADJACENT SURFACES
9 MANUFACTURED STONE GDN SILL (EXISTING) - DARK GREY	STAINED - NANKAM CHARCOAL GREY	20 SIGNAGE	SEE RESPONSIBILITY CHART
10 ALUMINUM STOREFRONT DOOR/HINDON FRAMES (EXISTING)	CLEAR ANODIZED	21 STUCCO - DENOTES DOTTED HATCH, TEXTURE TO MATCH EXISTING	PAINTED DULUX PAINT REGENT GREY MCD 41
11 HINDON HEAD (E) & HINDON SILL (E)	PAINTED DULUX PAINT MCD 44	22 METAL PANEL (EXISTING) - DARK GREY	PAINTED DULUX PAINT MCD 44
ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE. REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.O.I. * ALL MATERIAL FLASHING TO BE 24 GA. - SEE COLOURED ELEVATIONS FOR CORRECT COLOUR.		23 ALUMINUM STOREFRONT DOOR/HINDON FRAME (E)	RELOCATED (CLEAR ANODIZED)
		24 GLASS INLGUS (E)	REPAIR AS IS.
		25 METAL PANEL (EXISTING) - DARK GREY	TO BE PAINTED 'NON REP' TO MATCH EXISTING.

PROPOSED ELEV. LEGEND:

- MATERIAL NUMBER
- EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

NO.	DATE	REVISION	DESCRIPTION

CONSULTANT  
ARCHITECT

# McDonald's

MCDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURWABY, B.C. V5C 6C6

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL BE TO SCALE.

ARCHITECT

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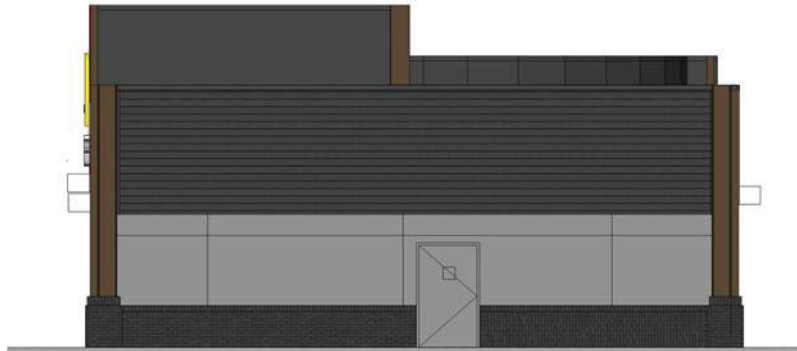
McDonald's Restaurant  
10240 - King George Hwy,  
SURREY, BC

EXISTING & PROPOSED NORTH ELEVATIONS	
PROJECT NUMBER	DRAWING NUMBER
16-021	A2.3
SCALE	NATS NATIONAL NUMBER
1/4" = 1'-0"	1196
DATE	REVISION
APRIL 2016	SEPT/21/16

Central City (Wheatley) - 16-021



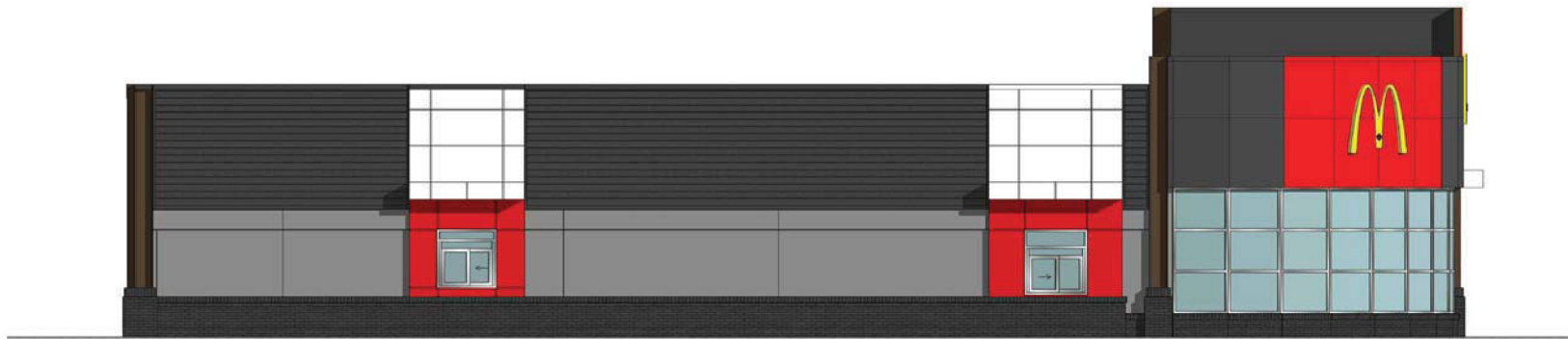
1 PROPOSED SOUTH ELEVATION  
A2.4 SCALE: NTS



2 PROPOSED EAST ELEVATION  
A2.4 SCALE: NTS



3 PROPOSED WEST ELEVATION  
A2.4 SCALE: NTS



4 PROPOSED NORTH ELEVATION  
A2.4 SCALE: NTS

REV	DATE	DESCRIPTION
001/1/16		ISSUED FOR D.P.
002/07/16		ISSUED FOR TENDER
003/22/16		ISSUED FOR CP
004/07/16		ISSUED FOR PERMIT
005/07/16		ISSUED FOR PERMIT
006/07/16		ISSUED FOR PERMIT
007/07/16		ISSUED FOR PERMIT
008/07/16		ISSUED FOR PERMIT
009/07/16		ISSUED FOR PERMIT
010/07/16		ISSUED FOR PERMIT
011/07/16		ISSUED FOR PERMIT
012/07/16		ISSUED FOR PERMIT
013/07/16		ISSUED FOR PERMIT
014/07/16		ISSUED FOR PERMIT
015/07/16		ISSUED FOR PERMIT
016/07/16		ISSUED FOR PERMIT
017/07/16		ISSUED FOR PERMIT
018/07/16		ISSUED FOR PERMIT
019/07/16		ISSUED FOR PERMIT
020/07/16		ISSUED FOR PERMIT

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT  
 CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.  
 ARCHITECT



3707 1ST AVENUE  
 BURNABY, B.C. V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
 P: 604.298.3700 F: 604.298.6081  
 MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC  
 ARCHITECTURAL SEAL

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DESIGNED BY: APPROVED:  
 PROJECT: McDonald's Restaurant  
 10240 - King George Hwy,  
 SURREY, BC

DRAWING: COLOURED ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
16-021	A2.4
SCALE	MCD'S NATIONAL NUMBER
NOT TO SCALE	116
DATE	REVISION
APRIL, 2016	OCT/11/16

Central City (Whalley) - 16-021



1 SOUTH WEST VIEW  
A2.5 SCALE: NTS



2 NORTH WEST VIEW  
A2.5 SCALE: NTS



3 SOUTH EAST VIEW  
A2.5 SCALE: NTS

REV	DATE	DESCRIPTION
001/1/16		ISSUED FOR D.P.
002/02/16		ISSUED FOR TENDER
003/02/16		ISSUED FOR CP
004/02/16		ISSUED FOR PERMIT
005/02/16		ISSUED FOR CONSTRUCTION

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

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DRAWN BY: APPROVED:

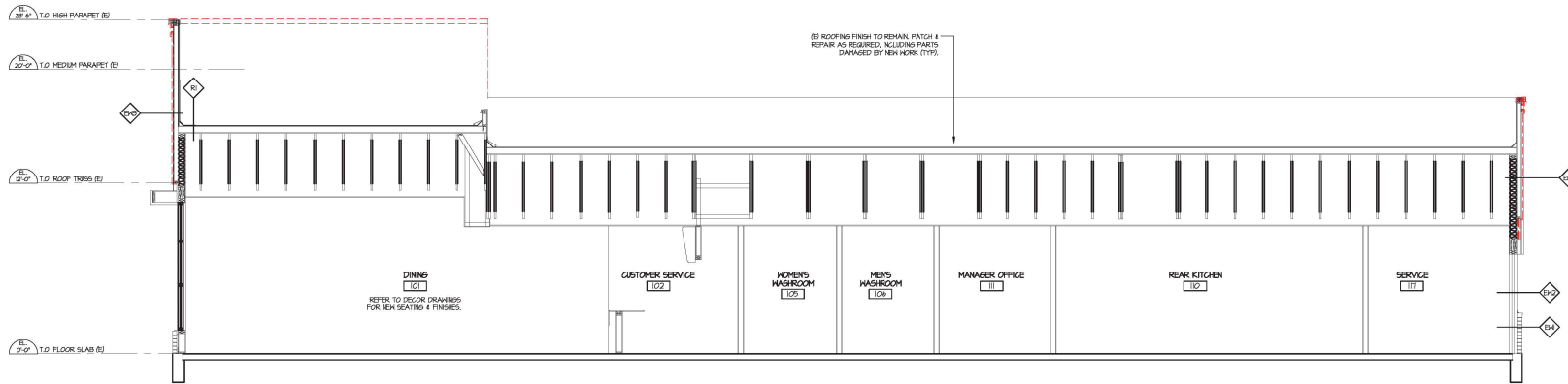
PROJECT: McDonald's Restaurant

10240 - King George Hwy, SURREY, BC

DRAWING: PERSPECTIVES

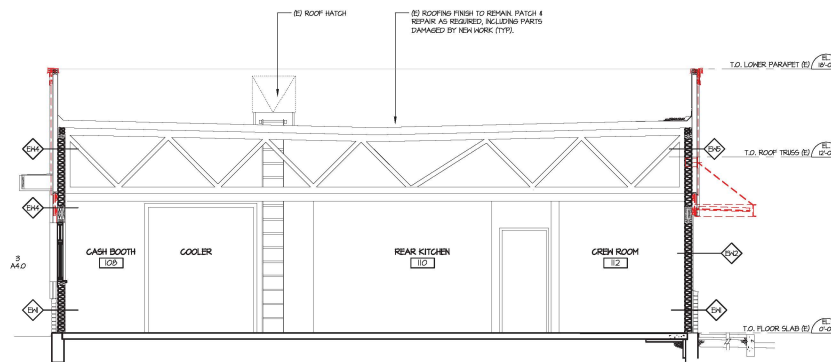
PROJECT NUMBER	DRAWING NUMBER
16-021	A2.5
SCALE: NOT TO SCALE	MCD'S NATIONAL NUMBER: 196
DATE: APRIL 2016	REVISION: OCT/11/16

Central City (Whalley) - 16-021



1 BUILDING SECTION - A  
A3.0 SCALE: 1/4" = 1'-0"

----- DENOTES EXISTING TO BE REMOVED



2 BUILDING SECTION - B  
A3.0 SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION	DESCRIPTION
1	02/11/16	RE-SHAPE FOR D.P.T.	
2	04/22/16	SHAPE FOR TENDER	
3	04/22/16	SHAPE FOR D.P.	
4	04/22/16	SHAPE FOR TENDER	
5	04/22/16	SHAPE FOR TENDER	
6	04/22/16	SHAPE FOR TENDER	
7	04/22/16	SHAPE FOR TENDER	
8	04/22/16	SHAPE FOR TENDER	
9	04/22/16	SHAPE FOR TENDER	
10	04/22/16	SHAPE FOR TENDER	
11	04/22/16	SHAPE FOR TENDER	
12	04/22/16	SHAPE FOR TENDER	
13	04/22/16	SHAPE FOR TENDER	
14	04/22/16	SHAPE FOR TENDER	
15	04/22/16	SHAPE FOR TENDER	
16	04/22/16	SHAPE FOR TENDER	
17	04/22/16	SHAPE FOR TENDER	
18	04/22/16	SHAPE FOR TENDER	
19	04/22/16	SHAPE FOR TENDER	
20	04/22/16	SHAPE FOR TENDER	

CONSULTANT SEAL

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



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DRAWN BY: AD APPROVED: [Signature]  
PROJECT: McDonald's Restaurant  
10240 - King George Hwy, SURREY, BC

DRAWING: BUILDING SECTIONS A & B

PROJECT NUMBER	DRAWING NUMBER
16-021	A3.0
SCALE: 1/4" = 1'-0"	MCS NATIONAL NUMBER: 196
DATE: JUNE 2016	REVISION:

**McDonald's Restaurant**  
 10240 - King George Hwy.  
 Surrey, BC  
 DRAWING: BUILDING SECTIONS C  
 PROJECT NUMBER: 16-021  
 A3.1  
 DATE: 11/4/17  
 SCALE: 1/4" = 1'-0"  
 SHEET: SECTION  
 MAY 2016

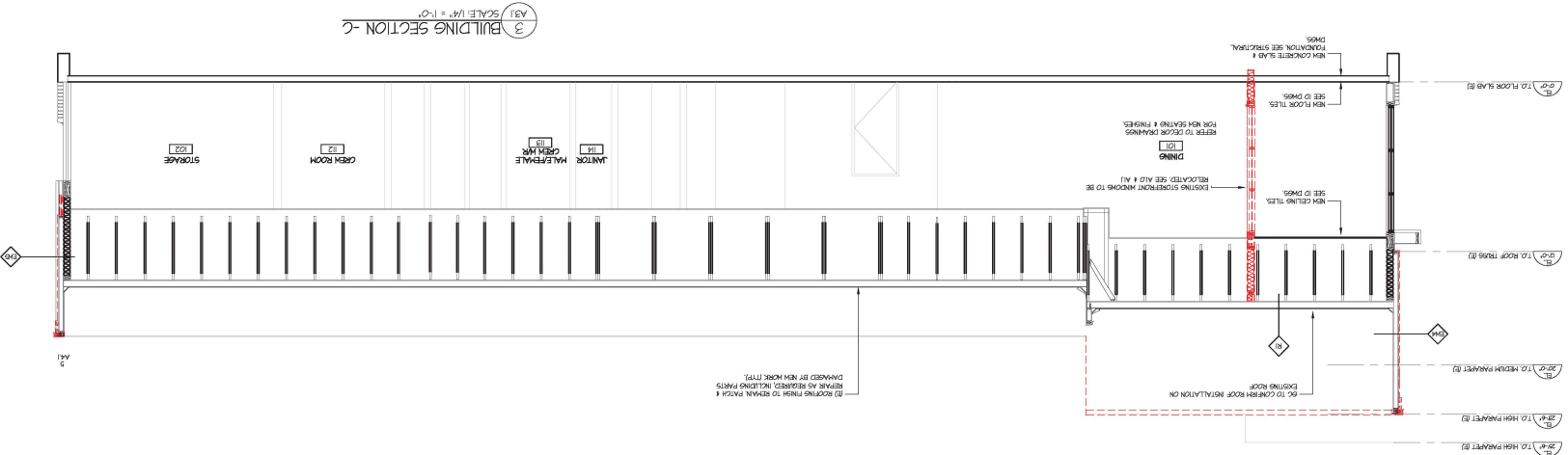
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE  
 SCALE. ARCHITECTS  
 LOVICK SCOTT ARCHITECTS  
 3707 1ST AVENUE  
 BURBARY, BC V5C 3V6  
 A M I N @ L I C I O M  
 P: 604 298 3700 F: 604 298 8081  
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 ARCHITECTURAL BIA

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE  
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 LOVICK SCOTT ARCHITECTS  
 3707 1ST AVENUE  
 BURBARY, BC V5C 3V6  
 A M I N @ L I C I O M  
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 ARCHITECTURAL BIA

REV.	DATE	DESCRIPTION
02/27/16	NS-30432 TOR DTC	
04/20/16	55323 TOR DTPAK	
	55323 TOR DTPAK	

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURBARY BC, V5C 6G6

--- DEMOS EXISTING TO BE REMOVED



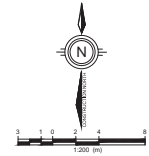
**McDonald's PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	COND.	MATURE HEIGHT (M)	MATURE SPREAD (M)	D.C. SPREAD (M)	QTY.
<b>TREES</b>									
Fa	Fernoxia acutifolia s. Bloodgood	London Plane Tree	70cm		20 gal	20	20	0.9	2
<b>SHRUBS AND PERENNIALS</b>									
Cd	Calceola Green	Grace Shrub Tree	60cm	3 gal	2.0	2.0	1.0	4	
Ba	Blechna Green Gnat	Green Gnat Shrub	20cm	3 gal	0.6	0.6	0.3	30	
Yf	Yucca floerkei Golden Beard	Golden Beard Yucca	60cm	3 gal	1.2	1.2	1.0	8	
Im	Ipomoea albatroides Bougainvillea Shrub	Bougainvillea Shrub	1 gal		0.2	0.6	0.5	17	
Am	Androsace rosea var. Vancouver Islets	Androsace			0.1	0.9	0.9	100	
Pm	Penstemon canadensis	Penstemon Smart Fern	2 gal		0.9	0.9	0.5	100	
Pf	Penstemon spicatus	Penstemon Smart Fern	2 gal		0.9	0.9	0.5	100	

NOTE: ANY SPECIES SUBSTITUTIONS MUST BE TO THE SATISFACTION OF THE MUNICIPALITY.

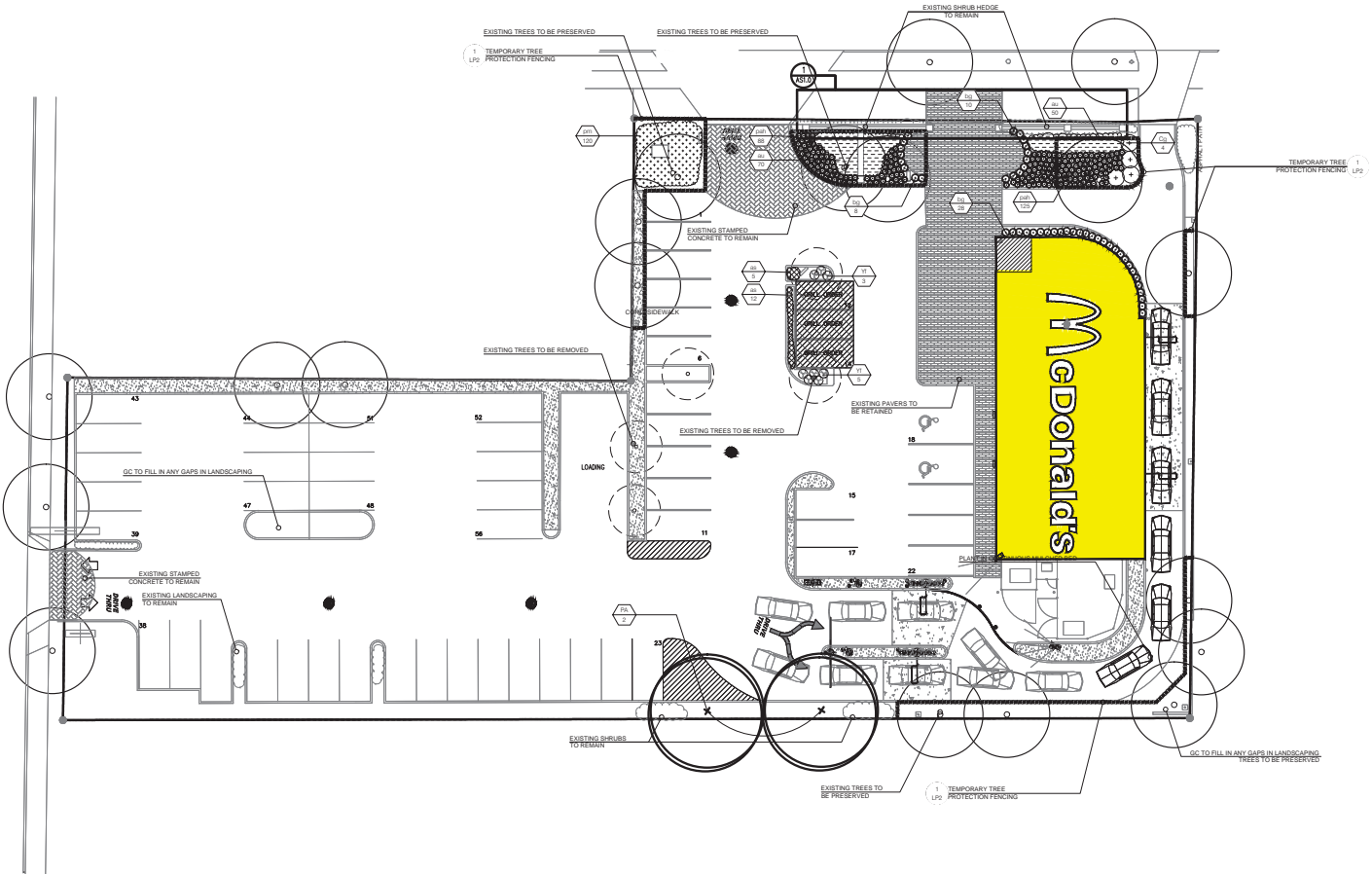
**LANDSCAPE NOTES:**

- INSTALL ALL PLANT MATERIAL TO MUNICIPAL STANDARDS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BRITISH COLUMBIA LANDSCAPE STANDARDS, LATEST EDITION. AREA OF SEARCH: BRITISH COLUMBIA, WASHINGTON AND OREGON. PROVIDE DISEASE AND PEST FREE PLANT MATERIAL FROM CERTIFIED NURSERIES. PROVIDE GUARANTEE OF CERTIFICATION. ALL PLANT MATERIAL TO BE BRIGGATED WITH AN AUTOMATIC IRRIGATION SYSTEM BY OTHERS.
- COMPLETE ALL WORK TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT FOR REVIEW. OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- REPORT ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- IF THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SERVICE LOCATIONS.
- EXACT LOCATIONS OF PLANT MATERIAL WILL BE DETERMINED BY PLACEMENT OF SITE SERVICES SUCH AS (HORIZONTAL) HALLS, METERS.
- UTILITIES ROOM RAIN WATER LEADERS, DRIVEWAYS, LIGHT STANDARDS, ETC.
- ALL PLANT MATERIAL LOCATIONS TO BE STAMPED AND MARKED OUT AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SUPPLY ALL PLANT MATERIAL IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK LATEST EDITION. INITIAL PLANT MATERIAL.
- DISTURBED SOIL AREAS AROUND TREES AND SHRUBS ARE TO BE COVERED WITH SHREDED CONIFER BARK MULCH SUCH AS CANADA RED OR GRO-MARK SPIN MULCH OR APPROVED EQUIVALENT. ALTERNATIVE MULCHES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO UTILIZE LAYOUT DIMENSIONS WHERE PROVIDED.
- PROVIDE PLANTING BED AREA AS NOTED ON THE DRAWING OR TO ACCOMMODATE MATURE SIZE OF PLANT MATERIAL.
- ALL SUPPORT SYSTEMS MUST BE REMOVED BY THE CONTRACTOR AT TIME OF FINAL ACCEPTANCE. NO EXTRAS WILL BE PAID TO COMPLETE THIS WORK.
- SUPPLY AND PLACE TOPSOIL IN ACCORDANCE WITH DBSS 2013 751 TO A MINIMUM DEPTH OF 150mm UNLESS OTHERWISE SPECIFIED.
- SUPPLY AND PLACE SOIL IN ACCORDANCE WITH DBSS 2013 751/757 UNLESS OTHERWISE SPECIFIED.
- SUPPLY AND PLACE SEED IN ACCORDANCE WITH DBSS 2013 757 UNLESS OTHERWISE SPECIFIED. ALL 1% OR GREATER SLOPES TO BE SEEDED WITH TACKER. CONTRACTOR TO PROVIDE NECESSARY EROSION CONTROL PROTECTION AS REQUIRED TO ENSURE SOIL STABILIZATION AND PROPER SEED GERMINATION.
- ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.
- IF DISCREPANCIES ARISE BETWEEN PLANT MATERIAL COUNT SHOWN ON DRAWING AND PLANT LIST, THE DRAWING SHALL BE CONSIDERED CORRECT.
- IF DISCREPANCIES ARISE BETWEEN PLANT MATERIAL COUNT SHOWN ON DRAWING AND PLANT LIST, THE DRAWING SHALL BE CONSIDERED CORRECT.
- ALL CONTRACT WORK SHALL BE COMPLETED WITHIN 90 DAYS OF DATE ACCEPTED ON ALL WORK UNLESS OTHERWISE SPECIFIED.
- ALL PLANTING OR GRADING AND SERVICES SHOWN IS FOR INFORMATION ONLY. REFER TO APPROVED DRAWINGS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED BY LANDSCAPE ARCHITECT.
- UNLESS OTHERWISE NOTED TO BE REPRODUCED WITHOUT WRITTEN CONSENT FROM LANDSCAPE ARCHITECT.
- APPROVAL OF LANDSCAPE PLAN TO BE OBTAINED FROM MUNICIPALITY.
- FOR GRADING AND SERVICING INFORMATION REFER TO THE CONSULTING ENGINEER'S DRAWINGS.
- FOR LIGHTING INFORMATION AND POWER DISTRIBUTION REFER TO THE ELECTRICAL CONSULTANT'S DRAWINGS.



102 Avenue

King George Hwy



**LEGEND**

	EX. TREE TO REMAIN
	EX. TREE TO BE REMOVED
	TEMPORARY TREE PROTECTION FENCING D1 ON LP2
	CONCRETE PAVING
	PAVEMENT
	PROPOSED DECIDUOUS SHADE TREE
	PROPOSED DECIDUOUS SHRUBS
	PROPOSED CONIFEROUS SHRUBS
	PROPOSED BROAD-LEAF EVERGREEN SHRUBS
	PROPOSED PERENNIALS
	PROPOSED ORNAMENTAL GRASSES
	PLANT SPECIES
	QUANTITY
	SCALE
	SHEET NUMBER

DATE	BY	DESCRIPTION
		FIRST LANDSCAPE SUBMISSION
		REVISIONS

**APPROVALS**

--	--

APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

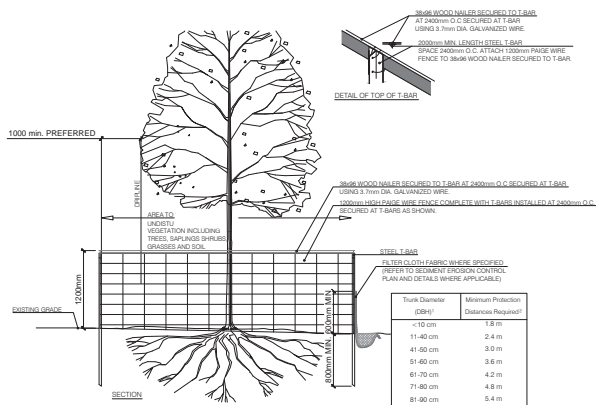


1196 - CENTRAL CITY

**McDONALD'S RESTAURANTS OF CANADA LIMITED**  
10240 KING GEORGE HWY., SURREY, BC

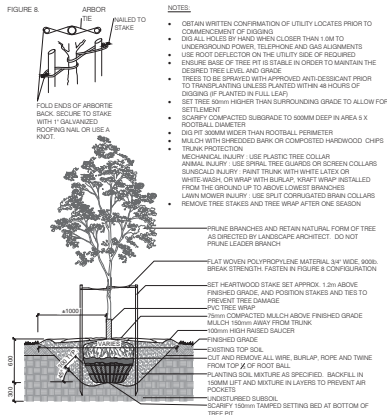
**LANDSCAPE PLAN**

DESIGNED BY	SW	SCALE	1:200
DRAWN BY	SM	DRAFT PLAN	
CHECKED BY	2016	DATE	3/25/2016
			345543
			LP2

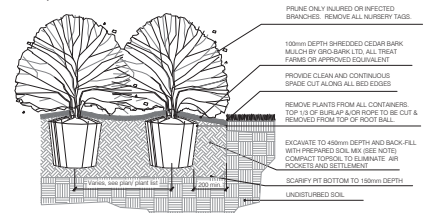


- TREE PRESERVATION NOTES:**
- ALL EXISTING TREES TO REMAIN ON SITE, OR ON ADJACENT PROPERTIES, SHALL BE TAGGED AND FULLY PROTECTED WITH FENCING BEYOND THEIR DAPL TO THE SATISFACTION OF THE CITY. TREE PROTECTION ZONES MAY BE SPANNED AS REQUIRED BASED ON THE SPREAD OF THE TREE. THESE BARRIERS ARE CREATED TO PROTECT THE ROOTS, TRUNKS AND BRANCHES DURING DEVELOPMENT AS WELL AS THE UNDERSTOREY AND GROUNDCOVERS. SMALL LOT BY LOT TREE PROTECTION REQUIRES BROWN FENCING WITH METAL POST ENCLOSURES. LONG TERM DEVELOPMENT CONSTRUCTION REQUIRES SPECIAL FENCE WITH FENCING BY 1.5 METERS TO A MINIMUM HEIGHT OF 1.2m.
  - FENCES SHALL BE LOCATED AT A MINIMUM OF 0.5 TIMES THE CROWN RADII OF THE TREE FROM THE DAPL, 360 DEGREES AROUND THE PERIMETER OF INDIVIDUAL OR CLUSTERED TREES.
  - AREAS WITHIN THE TREE PROTECTION ZONE SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS, STRUCTURES OR EQUIPMENT. THIS TREE PROTECTION ZONE SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SITE CLEARANCE, DEMOLITION, OR ANY TYPE OF CONSTRUCTION.
  - SURFILL SOIL, EQUIPMENT, VEHICLES, TOOLS, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER THE ROOT SYSTEMS OF THE TREES WITHIN THE TREE PROTECTION ZONE. NO CONTAMINANTS SHALL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
  - TREE ROOTS TYPICALLY SPREAD WELL BEYOND THE DAPL OF TREES, UP TO 3 TIMES THE DAPL RADIUS, AND ARE LOCATED PREDOMINANTLY IN THE TOP 30CM OF SOIL. AS THE AREA IS NOT PROTECTED, ACTIVITY SHOULD BE KEPT TO A MINIMUM TO PREVENT ROOT DAMAGE AND SOIL COMPACTION. WHERE ROOT SYSTEMS OF TREES ARE EXPOSED OR DAMAGED BY CONSTRUCTION WORK, THE CITY MUST BE ADVISED FIRST BEFORE THE ROOTS ARE TRIMMED NEATLY AND THE AREA BACK-FILLED WITH TOPSOIL.
  - EQUIPMENT SHALL NOT COMPACT SOIL OVER THE ROOT ZONE OF EXISTING TREES TO AVOID DAMAGE TO TREES THAT AREA TO BE PROTECTED. ACCESS ROUTES MUST BE ESTABLISHED AWAY FROM PROTECTED AREAS. ALL ACCESS ROUTES REGARDLESS OF HOW TEMPORARY, MUST BE IDENTIFIED AND APPROVED BY THE CITY.
  - WRITTEN PERMISSION MUST BE OBTAINED FROM THE CITY PRIOR TO COMMENCING WORK SUCH AS TUNNELING, TORPEDING, DIGGING OR TRENCHING WITHIN THE DAPL OF ANY TREE TO BRIBES ROOT INJURY AND AVOID SOIL COMPACTION.
  - WHENEVER POSSIBLE AVOID CUTTING SURFACE ROOTS. DEEPER EXCAVATION, IF ROOT CUTS ARE NECESSARY, IT SHOULD BE DONE QUICKLY, MAKING FLUSH CUTS WHILE SUPERVISED BY AN INSPECTING CITY FORESTRY REPRESENTATIVE. THE ROOTS SHALL BE BACKFILLED AND WATERED BEFORE THEY HAVE A CHANCE TO DRY OUT. WHERE ROOTS REQUIRE REMOVAL, THERE MAY BE A SUBSEQUENT DECLINE WITHIN THE TREE CANOPY. BRANCHES SHOULD ONLY BE REMOVED IF SEVERELY DAMAGED.
  - WHERE LIMBS OR PORTIONS OF TREES ARE DAMAGED OR MUST BE REMOVED FROM CITY OWNED TREES TO ACCOMMODATE CONSTRUCTION WORK, CITY FORESTRY PERSONNEL, IN ACCORDANCE WITH ACCEPTED ARBORICULTURE PRACTICES, WILL REMOVE THE MEASURES SHALL BE TAKEN TO PREVENT ANY FURTHER DAMAGE.
  - UNLESS AUTHORIZED, ALL INDIVIDUALS SHALL AVOID DISTURBING ORIGINAL GRADES AROUND TREES IN AREAS OF THE TREE PROTECTION ZONE. IN ADDITION, ROAD GRADES SHOULD MATCH TOPOGRAPHY AT THE CURBSIDES TO MAINTAIN TREE RETENTION IN BOWLS AND FRONT YARDS IF GRADES AROUND PROTECTED TREES ARE LIKELY TO CHANGE. THE DEVELOPER AND THEIR AGENTS SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE CITY.
  - NO CABLES, ROVERS SHALL BE WRAPPED AROUND OR INSTALLED IN OR ON ANY TREE THAT IS TO REMAIN AFTER CONSTRUCTION. NOR SHALL IT HAVE SIGNS OR FENCES NAILED TO IT, OR SURVEY MARKINGS OR PAINT APPLIED TO IT.
  - ALL VEGETATION WITHIN THE TREE PROTECTION ZONE, INCLUDING TREES, SHRUBS, GRASSES ARE TO BE WATERED, AND MAINTAINED TO AN ACCEPTABLE LEVEL AS REQUIRED.
  - THE CITY SHALL BE NOTIFIED TO INSPECT ALL TREE PROTECTION ZONES. THESE MEASURES SHALL REMAIN IN EFFECT UNTIL THE COMPLETION OF THE WORK, AT WHICH TIME AUTHORIZATION FROM THE CITY MUST BE OBTAINED BEFORE REMOVAL.
  - THE CITY MUST BE NOTIFIED IMMEDIATELY WHEN ANY MUNICIPALLY OWNED TREE IS INJURED OR DESTROYED DURING CONSTRUCTION OR DEVELOPMENT.
  - ALL CONSTRUCTION WITHIN TREE PROTECTION ZONES IS TO BE HANDWORKED AND MANUVERED IN ACCORDANCE WITH THE VEGETATION MANAGEMENT NOTATION PROVIDED WITH THE TEMPORARY FENCING DETAIL. CONSULT WITH A QUALIFIED ARBORIST PRIOR TO COMMENCEMENT OF WORKS WITHIN THE TREE PROTECTION ZONES.

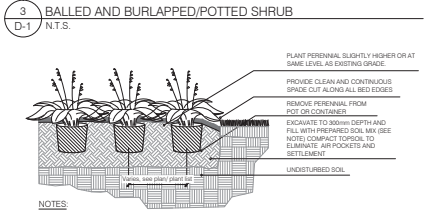
1 TREE PRESERVATION FENCING  
LP2 N.T.S.



2 BALLED & BURLAPPED/ WIRE BASKET DECIDUOUS TREE  
LP2 N.T.S.



3 BALLED AND BURLAPPED/POTTED SHRUB  
D-1 N.T.S.



4 CONTAINER GROWN PERENNIAL/GRASS  
D-1 N.T.S.

- NOTES:**
- OBTAIN WRITTEN CONFIRMATION OF UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORKS.
  - DO NOT HOLD BY HAND WHEN CLOSER THAN 1M TO UNDERGROUND POWER, TELEPHONE AND GAS ALIGNMENTS.
  - USE ROOT DEFLECTOR ON THE UTILITY SIDE OF REQUIRED.
  - ENSURE BASE OF TREE IS STABLE IN ORDER TO MAINTAIN THE DESIRED TREE LEVEL AND GRADE.
  - TREES TO BE SPRAYED WITH APPROVED ANTI-DESICCANT PRIOR TO TRANSPORT. LABELS PLANTED WITHIN 48 HOURS OF DIPPING IF PLANTED IN FULL LEAF.
  - SET THE TREE WITHIN 10% HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT.
  - SOIL: COMPACTED SUBGRADE TO 100MM DEEP IN AREA 5 X ROOTBALL DIMETER.
  - DO NOT PLANT DEEPER THAN ROOTBALL HORIZON.
  - MULCH WITH SHREDDED BARK OR COMPOSTED HARDWOOD CHIPS.
  - TRUNK PROTECTION: MECHANICAL INJURY - USE PLASTIC TREE COLLAR.
  - ANIMAL INJURY - USE SPIRAL TREE GUARD OR SCREEN COLLAR.
  - SUNSCALD INJURY - PAINT TRUNK WITH WHITE LATEX OR WHITE WASH OR WRAP WITH BURLAP. WRAP MUST BE TIED FROM THE GROUND UP TO ABOVE LOWEST BRANCHES.
  - LAWN MOWER INJURY - USE GRIT CORRUGATED BRASS COLLARS.
  - REMOVE TREE STAKES AND TREE WRAP AFTER ONE SEASON.

- PRUNE BRANCHES AND RETAIN NATURAL FORM OF TREE AS DIRECTED BY LANDSCAPE ARCHITECT. DO NOT PRUNE LEADER BRANCH.
- PLANT MONOLYPROPYLENE MATERIAL, 3/4" WIDE, 800G BREAK STRENGTH. FASTEN IN FIGURE 8 CONFIGURATION.
- SET HEARTWOOD STAKE SET APPROX. 1.2m ABOVE FINISHED GRADE AND POSITION STRIKE AND TIES TO PREVENT TREE DAMAGE.
- 100mm HIGH RAISED SAUCER.
- EXISTING TOP SOIL.
- CUT AND REMOVE ALL WIRE, BURLAP, ROPE AND TWINE FROM 1/2 OF ROOT BALL.
- PLANTING SOIL MIXTURE AS SPECIFIED. BACKFILL IN SOILSLET 1/2 AND MIXTURE IN LAYERS TO PREVENT AIR POCKETS.
- UNDISTURBED SUBSOIL.
- SCAFFY 100mm TAMPED SETTING BED AT BOTTOM OF TREE PIT.

- NOTES:**
- SOIL MIXTURE: FOUR (4) PARTS NATIVE SOIL, ONE (1) PART WELL ROTTED COMPOST.
  - SALICER SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
  - ALL DIMENSIONS ARE IN mm.
  - CUT AND REMOVE CONTAINER. SCAFFY ROOTBALL SIDES.
  - ALL PLANTS TO BE STRAIGHT AND PLANTED VERTICALLY REGARDLESS OF SLOPE.
- CONTRACTOR SHALL PROVIDE 75mm MULCH FOR ALL PERENNIALS EXCEPT GROUNDCOVERS UNLESS SPECIFIED OTHERWISE.

2016-10-11	BY	FIRST LANDSCAPE SUBMISSION
DATE	BY	DESCRIPTION
REVISIONS		
APPROVALS		
APPROVED _____ DATE _____		
<b>IBI GROUP</b> 308 - 30 Eglington Avenue West Mississauga ON L5R 3E7 Canada tel 905 890 3550 fax 905 890 7081 ibigroup.com		
1196 - CENTRAL CITY		
<b>McDONALD'S RESTAURANTS OF CANADA LIMITED</b> 10240 KING GEORGE HWY. SURREY, BC		
LANDSCAPE PLAN		
DESIGNED BY	BY	SCALE
CHECKED BY	BY	DATE
DATE	BY	FILE NUMBER
		PROJECT NUMBER