

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0162-00

Planning Report Date: June 12, 2017

PROPOSAL:

- **Rezoning** from CD (By-law No. 17954) to CD (based on RM-135 and C-8)
- **Development Permit**

to permit the Phase 2 development of a mixed-use project, consisting of stand-alone 2 storey restaurant, single-storey retail podium, 2 residential towers (40-storey and 29-storey) and 15-storey office building.

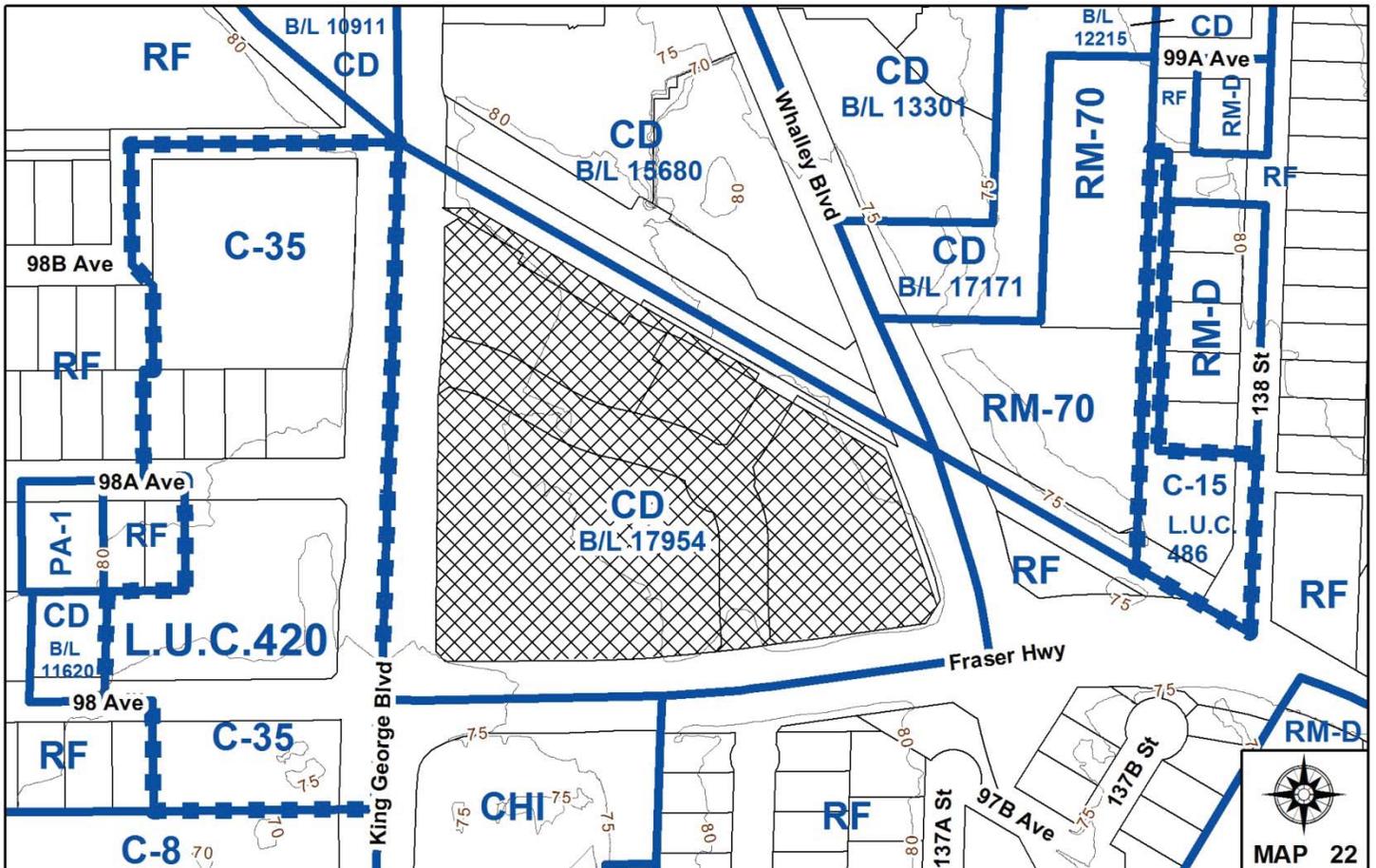
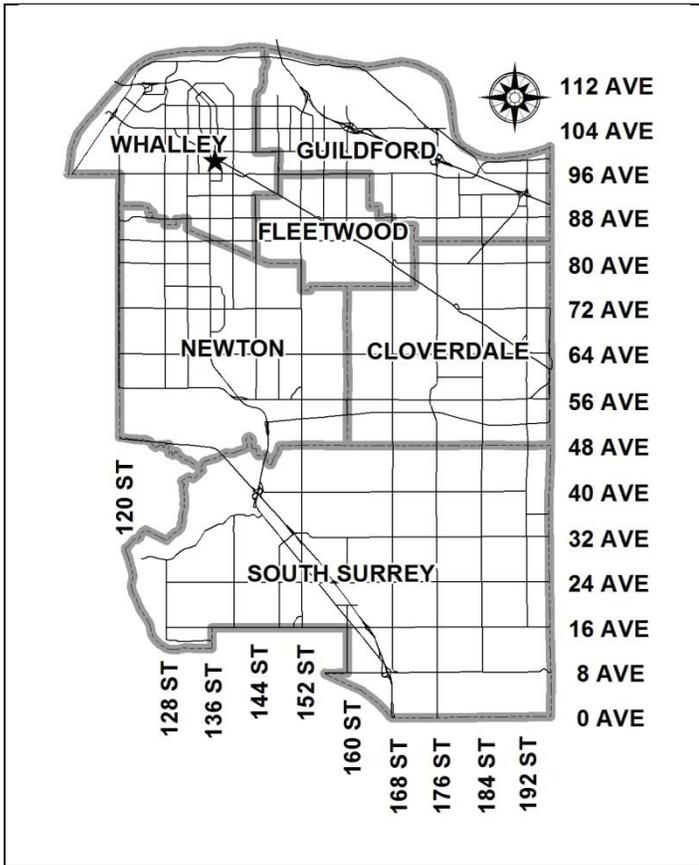
LOCATION: 9808, 9868, & 9900 - King George Boulevard, 9889 - 137 Street, 13701 - Fraser Highway and 13677 - 98B Avenue

OWNER: KGS Holdings Ltd. & City of Surrey

ZONING: CD By-law No. 17954

OCP DESIGNATION: Central Business District

CCP DESIGNATION: Mixed-Use 5,5 FAR



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Phase 2.
- Approval to reduce indoor amenity space.
- Approval to vary the Sign By-law through a comprehensive sign design package.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to vary the Sign By-law to allow for free-standing, under awning, projecting, banner and third party signs, and to increase the height, number and sign area of these various signs.

RATIONALE OF RECOMMENDATION

- Complies with the "Central Business District" designation in the OCP.
- Complies with the "Mixed-Use 5.5 FAR" designation in the City Centre Plan.
- The proposed development complies with the City's Employment Lands Strategy and Economic Development Strategy, as an employment generator for the City.
- The proposed density and building form are appropriate for this part of City Centre and consistent with the zoning approved for this site on December 16, 2013.
- The proposed rezoning is to accommodate revisions to the road network and resultant lot configurations, in anticipation of Light Rail Transit servicing the site.
- The proposed development conforms to the goal of achieving high density development nodes around SkyTrain Stations.
- The signage has been comprehensively designed to be integrated with the design of the buildings and is high quality and appropriate in scale.
- The signage is required to provide wayfinding for the commercial component of the development and to be visible from the four road frontages, as well as to guide patrons to their stores.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 17954) to " Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space for the 40-storey Tower B₃ (at the southwest corner of Block B), from 1,302 square metres (14,015 square feet) to 780 square metres (8,396 square feet).
3. Council approve the applicant's request to reduce the amount of required indoor amenity space for the 29-storey Tower B₄ (at the southeast corner of Block B), from 906 square metres (9,752 square feet) to 780 square metres (8,396 square feet).
4. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
5. Council authorize staff to draft Development Permit No. 7917-0162-00 including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix III).
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) registration of a revised Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (e) registration of a Section 219 No-Build Restrictive Covenant to ensure that the applicant provides the residential City Centre Amenity Contributions for future development within Block D, in accordance with the rates in Schedule G of Surrey Zoning By-law No. 12000, to the satisfaction of the Planning and Development Department;
 - (f) registration of a reciprocal access and parking easement for the entire subject site,
 - (g) registration of a volumetric statutory right-of-way for pedestrian rights-of-passage over the plaza;
 - (h) registration of revised statutory rights-of-way and Section 219 Restrictive Covenant to support the installation and operation of the District Energy system;

- (i) the applicant adequately address the impact of reduced indoor amenity space for Tower B3 (at the southwest corner of Block B) in accordance with City policy; and
- (j) the applicant adequately address the impact of reduced indoor amenity space for Tower B4 (at the southeast corner of Block B) in accordance with City policy.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

School District: **Projected number of students from this development:**

18 Elementary students at Simon Cunningham School
7 Secondary students at Queen Elizabeth School

(Appendix V)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by October-December 2021.

Parks, Recreation & Culture: Parks has no concerns regarding the proposal.

SITE CHARACTERISTICS

Existing Land Use: 10-storey Coast Capital building located on Lot 1, Block A (approved under Development Permit No. 7912-0332-01).

Adjacent Area:

Direction	Existing Use	CCP Designation	Existing Zone
North:	King George SkyTrain Station and Concord Pacific's Park Place high rise project.	Central Business District	CD By-law No. 15680
East (Across Whalley Blvd.):	Mid-rise apartment building. Quibble Creek and SkyTrain Guideway	Residential High Rise 5.5 FAR Creek Buffer, Plaza, and	RM-70 RF
South (Across Fraser Hwy.):	Church and single family dwellings.	Mixed-Use 3.5 FAR and Residential Mid to High-Rise 3.5 FAR	CHI and RF

Direction	Existing Use	CCP Designation	Existing Zone
West (Across King George Blvd.):	Holland Pointe proposed development, currently on hold under Application No. 7908-0207-00 and existing mid-rise apartment building. 12-storey apartment building with 3-storey commercial portion fronting King George Boulevard.	Residential High Rise 5.5 FAR Mixed-Use 5.5 FAR and Mixed-Use 3.5 FAR	Land Use Contract No. 420 (underlying C-35 Zone)

DEVELOPMENT CONSIDERATIONS

Background

- The 2.9-hectare (7.1-acre) subject site includes six properties located on the northeast corner of King George Boulevard and Fraser Highway bounded by the SkyTrain guideway to the north and Whalley Boulevard to the east. The site is designated "Central Business District" in the Official Community Plan (OCP) and "Mixed-Use 5.5 FAR" in the City Centre Plan and is zoned "Comprehensive Development Zone (CD)" (By-law No. 17954).
- The site is the location of PCI's high density mixed-use development called "King George Hub". The parent property was rezoned to accommodate this comprehensive development project on December 16, 2013 and subsequently subdivided into four (4) development parcels, under Development Application No. 7912-0332-00. General Development Permit No. 7912-0332-00 was also issued to guide the general design of the entire development site. As part of this application, separate titled lots were conveyed to the City for the internal road network (98B Avenue/137 Street), widening of Whalley Boulevard, as well as for future Light Rapid Transit (LRT) infrastructure adjacent the SkyTrain corridor.
- The internal road network (98B Avenue/137 Street) was conveyed to the City as a titled lot rather than as road dedication in order to accommodate the underground parkade for the King George Hub development, which extends underneath the road.
- Phase 1 of the project, comprised of the 10-storey Coast Capital Savings headquarters building, approved under Development Permit No. 7912-0332-01, was completed in 2015 on one of the four (4) newly created development lots (Lot 1, Block A). The internal road network (98B Avenue/137 Street) was also constructed as part of this Phase.
- On February 2, 2015, Council approved Phase 2 (Lot 4, Block B) of the project under Development Permit No. 7914-0231-01, which consisted of a mixed-use development, containing 2 residential towers (39-storey and 12-storey) and a 13-storey office building with lower level commercial uses. No construction was initiated on this approved second phase.

- It has recently been confirmed that due to the lengthening of the future LRT platform on King George Boulevard, the existing alignment of 98B Avenue has to be shifted further south. In order to facilitate the realignment of this newly constructed road, the lands need to be re-subdivided. The City of Surrey and PCI Group, the applicant, are working through the necessary subdivision process under Development Application No. 7916-0664-00, which is running concurrently with the subject application.
- The subject development application reflects the anticipated realigned 98B Avenue and resultant reconfigured lot pattern.

Current Proposal

- The applicant, PCI Group, is proposing to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 17954) to "Comprehensive Development Zone (CD)" based on the RM-135 and C-8 Zones to accommodate the revised 98B Avenue road alignment and resultant reconfigured lot pattern and a Development Permit for an updated Phase 2 of the King George Hub development.
- The updated Phase 2 proposal is for a mixed-use office, retail and multiple residential development, consisting of the following:
 - an 871-square metre (9,376-sq. ft.) stand-alone, two-storey restaurant directly south of the Coast Capital headquarters building;
 - a 10,455-square metre (112,535-sq. ft.) single-storey retail podium;
 - 434 dwelling units on levels 3 to 39 of the 40-storey, mixed-use, high rise;
 - 302 dwelling units on levels 3 to 28 of the 29-storey, mixed-use, high rise;
 - 12,736 square metres (137,084 sq. ft.) of office space in a 15-storey mid-rise office building; and
 - a temporary surface parking lot with 37 parking spaces on Block C as an interim use until a future development proposal is proposed.

Proposed CD Zone

- The CD Zone (By-law No. 17954) that currently regulates the site is broken into a series of Blocks with each Block regulating a separate lot within the King George Hub development. Each Block has unique use and density regulations that correspond with the use and density anticipated for each lot under General Development Permit No. 7912-0332-00 issued by Council on December 16, 2013. Although the densities range considerably between the various Blocks, the overall gross density of 5.5 floor area ratio (FAR) complies with the Mixed-Use 5.5 FAR designation in the City Centre Plan.
- Under the proposed CD Zone for the subject site, the Block plan has been modified in order to reflect the new alignment of 98B Avenue and the resultant lot pattern. The corresponding permitted uses and density for each Block have also been modified to accommodate proposed development within each revised Block, although the overall density remains unchanged.

- Despite the City Centre Plan being approved by Council on January 16, 2017 and NCP amenity charges being incorporated in Surrey Zoning By-law No. 12000 on February 20, 2017, to be consistent with the existing CD Zone (By-law No. 17944), and recognizing that the need to rezone the site has been triggered by the need to lengthen the LRT platform and not the applicant's request for a change of use or density, a bonus density provision has not been included in the proposed CD By-law.
- However, the applicant is required to provide a contribution of \$750 per dwelling unit for Block B to address parks pressure concerns identified as part of the original rezoning application (File No. 7912-0332-00). A covenant has already been registered on title to ensure this financial contribution is secured prior to building permit issuance within Block B.
- In addition, the applicant has agreed to pay the City Centre Amenity Charges for the residential component of any future development within Block D at the rate outlined in Schedule G of the Zoning By-law No. 12000. A covenant will be registered to ensure that these amenity contributions are collected prior to building permit issuance within Block D as a condition of final adoption of the rezoning by-law.

Proposed Revised Phase 2 Development Permit

- Along with the proposed rezoning, the applicant also proposes a revised Phase 2 Development Permit that incorporates the new road alignment and resultant lot pattern but also includes other design changes the applicant is proposing from the previous Phase 2 Development Permit No. 7914-0231-00 issued by Council in 2015.
- Under the previous Phase 2 Development Permit No. 7914-0231-00, two (2) residential towers (39 storeys and 12 storeys) and a 13-storey office building with lower level commercial uses within a 2-storey podium were proposed within Block B. The Block B proposal has been revised to include a single-storey retail podium, 2 residential towers (40 storeys and 29 storeys) and a 15-storey office building. A stand-alone two-storey restaurant has also been added south of the existing Coast Capital building in Block A in the location of the existing 98B Avenue. Although heights and building forms have been modified, they are consistent with the overall design intent under the General Development Permit No. 7912-0332-00 and the overall gross density remains 5.5 FAR, in accordance with the City Centre Plan.
- The single storey podium in Block B comprises 10,455 square metres (112,500 sq.ft.) of commercial space with two large format retailers (a grocery store and a drug store) and a number of smaller format commercial retail units (CRU's). Extending out of the podium is a 15-storey office building in the northwest corner of Block B, near the intersection of King George Boulevard and the new 98B Avenue comprising 12,736 square metres (137,084 sq. ft.) of office space, along with two high rise residential towers in the southeast and southwest corners of Block B, respectively, and described in more detail below.

Residential Tower B3

- Proposed residential Tower B-3 is a 40-storey landmark tower, located in the southwest corner of Block B near the intersection of King George Boulevard and Fraser Highway. A total of 434 dwelling units are proposed and are intended to be stratified and sold individually. The dwelling units intended to be marketed are located on the 3rd to 39th floors of the building.

- The 434 proposed dwelling units consist of the following:
 - 266 one-bedroom units, ranging in size from 40 square metres (429 sq. ft.) to 48 square metres (513 sq. ft.);
 - 15 junior two-bedroom units, ranging in size from 58 square metres (622 sq. ft.) to 71 square metres (766 sq. ft.); and
 - 153 two-bedroom units, ranging in size from 73 square metres (784 sq. ft.) to 76 square metres (820 sq. ft.).
- Based upon 434 dwelling units, 1,302 square metres (14,015 sq. ft.) of indoor amenity space and 1,302 square metres (14,015 sq. ft.) of outdoor amenity space are required.
- Tower B3 will provide 780 square metres (8,393 sq. ft.) of indoor amenity space and 1,866 square metres (20,082 sq. ft.) of outdoor amenity space. The outdoor amenity space is exceeded, but cash-in-lieu will be required for the shortfall in indoor amenity space.
- The indoor and outdoor amenity spaces will be located on the 2nd floor and the roof accessed from the second floor. The indoor amenity space will consist of a fitness centre, games room, lounge, and child play areas. The outdoor amenity area will consist of outdoor seating, a BBQ area and an outdoor child play area.
- In order to meet the 1,302 square metres (14,015 sq. ft.) of indoor amenity space, the applicant would have had to split the amenity space onto another floor creating a dis-jointed amenity space. Instead, the applicant is proposing to dedicate the entire 2nd floor for indoor amenity space allowing for the indoor amenity space to open up to the outdoor amenity space. This will allow for an opportunity for cross-use of indoor amenity with outdoor amenity functions.
- The applicant has programmed the amenity spaces in order to provide a variety of potential uses and further designed them to function together as a larger comprehensive amenity space.

Residential Tower B4

- Proposed residential Tower B-4 is a 29-storey landmark tower, located in the southeast corner of Block B near the intersection of Fraser Highway and 137 Avenue. A total of 302 dwelling units are proposed and are intended to be stratified and sold individually. The dwelling units intended to be marketed are located on the 3rd to 28th floors of the building.
- The 302 proposed dwelling units consist of the following:
 - 178 one-bedroom units, ranging in size from 40 square metres (429 sq. ft.) to 48 square metres (513 sq. ft.);
 - 15 junior two-bedroom units, ranging in size from 58 square metres (622 sq. ft.) to 71 square metres (766 sq. ft.); and
 - 109 two-bedroom units, ranging in size from 73 square metres (784 sq. ft.) to 76 square metres (820 sq. ft.).

- Based upon 302 dwelling units, 906 square metres (9,752 sq. ft.) of indoor amenity space and 906 square metres (9,752 sq. ft.) of outdoor amenity space are required.
- Tower B4 will provide 780 square metres (8,393 sq. ft.) of indoor amenity space and 1,402 square metres (15,091 sq. ft.) of outdoor amenity space. The outdoor amenity space is exceeded, but cash-in-lieu will be required for the shortfall in indoor amenity space.
- The indoor and outdoor amenity spaces will be located on the 2nd floor and the roof accessed from the second floor. The indoor amenity space will consist of a fitness centre, lounge, and child play areas. The outdoor amenity area will consist of outdoor seating, a BBQ area and an outdoor child play area.
- Similar to Tower B3, in order to meet the 1,302 square metres (14,015 sq. ft.) of indoor amenity space, the applicant would have had to split the amenity space onto another floor creating a dis-jointed amenity space. Instead, the applicant is proposing to dedicate the entire 2nd floor for indoor amenity space allowing for the indoor amenity space to open up to the outdoor amenity space. This will allow for an opportunity for cross-use of indoor amenity with outdoor amenity functions.
- The applicant has programmed the amenity spaces in order to provide a variety of potential uses and further designed them to function together as a larger comprehensive amenity space.

Vehicular and Pedestrian Circulation and Parking

- Parking for the King George Hub development is proposed to be located in a three-level underground parkade that spans Blocks A, B, C, a small portion of Block D, and under the road (Block E). Access to the underground parkade is proposed from four entrances into the inter-connected underground parking levels, one from Phase 1 (existing), one from Fraser Highway, one from the central round-about on 98B Avenue and one from Phase 3, which is proposed to be constructed as part of this phase within Block C.
- Proposed parking, loading and services for each building in Phase 2 will be completely enclosed within the underground parkade, providing an opportunity to activate the street level with small retail uses.
- A 37-space surface parking lot is proposed to be located within Block C as a temporary condition providing overflow parking until Block C is redeveloped as part of a future phase. The proposed surface parking is complemented with surface bike storage and an elevator and stairwell access to the underground parkade below. A vehicular access to the underground parkade will also be constructed in Block C.
- Truck loading and off-loading for the commercial component of the Phase 2 development within Block B will be through a one-way access ramp from Fraser Highway and exit ramp to King George Boulevard.

- An expanded plaza is proposed to be located within Block B in the heart of the project. The plaza will allow for retailers, such as the grocery store and restaurants to spill out with seasonal displays and seating to animate the space. The plaza also aligns with the Coast Capital Community Plaza to the north, allowing for pedestrian access and views directly from the development to the King George SkyTrain Station. A statutory right-of-way will be secured to permit public access in this area.
- The parking provisions in the proposed CD Zone match those of the existing CD By-law No. 17954. Based on the parking ratios a total of 1,230 parking spaces are required for existing Phase 1 and proposed Phase 2. The applicant is proposing 1,723 parking spaces, which is a surplus of 493 parking spaces.
- The development is required to provide 883 bicycle parking spaces for Phases 1 and 2 and the applicant proposes 956 bicycle parking spaces, which exceeds the number required under the Zoning By-law.

DESIGN PROPOSAL AND REVIEW

- The Phase 2 development proposal includes a stand-alone, two-storey restaurant within Block A to the south of the existing Coast Capital Savings building, and a single-storey retail podium, with 2 residential towers (40-storey and 29-storey) and a 15-storey office building within Block B.
- The proposed two-storey restaurant is located at the entrance to the development, at King George Boulevard and 98A Avenue. The 836-square metre (9,000-sq. ft.) signature restaurant is proposed with a sloping roof that evokes the angular expression of the Coast Capital Savings Headquarters. The architecturally designed building will include a west-facing patio that will further activate what is expected to be an already busy location near existing bus stops, SkyTrain and future LRT Stations.
- The single-storey retail podium is comprised of a variety of retail spaces with two, large-format retail spaces surrounded by smaller tenant CRUs at the base of the 15-storey office tower. The two large format uses are anticipated to be a grocery store and a drug store both of which face north onto 98B Avenue.
- A 15-storey office tower is proposed at the southeast corner of King George Boulevard and 98B Avenue and will target LEED Gold accreditation. Small-scale commercial retail units (CRUs) are proposed on the ground floor facing both Fraser Highway and King George Boulevard to animate the street-level and to provide active uses that offer rhythm to the pedestrian experience at a human scale.
- A prominent 40-storey residential landmark tower is proposed at the southwest corner of the site at Fraser Highway and King George Boulevard. Pedestrian access to the 434 dwelling units is proposed from a lobby located on Fraser Highway. Small-scale CRUs are proposed at grade, on the ground floor of the proposed residential tower.

- The 40-storey tower is proposed to be accentuated with a "ribbon" punctuated feature cladding on the west and east façades, with a canopy linkage that will architecturally and physically connect each tower and provide an overhead trellis wrapping over an amenity space at each tower's rooftop.
- The adjacent 29-storey residential tower is proposed at the corner of Fraser Highway and 137 Street. The proposed "complementary tower" will express the same architectural vocabulary as the taller tower at a reduced vertical scale. The tower is proposed to include 302 dwelling units accessed via a lobby from Fraser Highway. Ground floor CRUs and a pub or restaurant are proposed along both Fraser Highway and 137 Street.
- Both residential towers are defined by contrasting major elements: refined high performance curtain wall glazing and linear projected balconies providing solar shading and glare reduction to the south, while the west and east ends are distinguished from the curtain wall with the "ribbon" feature punctuated façade with recessed balconies.
- A central bank of stairs, elevators and escalators are located in the heart of the development and provide access to the centre of the parkade. The central bank of elevators pulls the bulk of the pedestrian flow to the street from the underground parkade located on three levels.
- The proposed material palette is broken up to create distinctive buildings on the site. Four (4) different coloured brick (pewter, charcoal, wheat and sea gray colour) have been chosen for the different buildings. Brick is proposed at the ground floor along King George Boulevard, 98B Avenue and 137 Street. A combination of black and clear anodized aluminum metal finishing will be situated between vision glass storefronts to further distinguish each building in the development.
- Along Fraser Highway, the ground floor retail will feature a combination of metal panel and curtain wall.
- Above the ground floor, the development will be clad in composite metal panel and will have a combination of storefront, curtain wall glazing and window wall for the residential component.
- The office tower is proposed to be curtain wall with shear four-sided silicon glazing at the chamfers as homage to the architectural vocabulary established by the Coast Capital building in Phase 1. In addition, the façade is proposed to include select vertical capped projecting mullion elements to provide texture and potential glare control for tenants.

Proposed Public Art

- The applicant is proposing to satisfy the public art requirement for the King George Hub development as part of the proposed Phase 2 development proposal. In consultation with the City's Public Art staff, two (2) locations for public art have been identified. One art installation will be located within the plaza, fronting 98B Avenue and the other art installation will be within the traffic circle of 98B Avenue / 137 Street. The art piece within the traffic circle will be facilitated by the City's Public Art staff through funding partially contributed by the PCI Group and funding from the general Public Art fund.

- The applicant has retained a Public Art consultant to develop a design for the location in the pedestrian mews and the proposed art installation will be reviewed by the Public Art Committee at an upcoming meeting.

Trees and Landscaping

- An arborist report for the larger site, prepared by Alexandre Man-Bourdan, registered arborist, for PWL Partnership Landscape was approved under the previous Application No. 7912-0332-00.
- The plaza proposed in the subject application is to connect with the public plaza established to the north in the first phase with the Coast Capital development. The plaza will be paved with a combination of concrete patterns. The geometric pattern and score lines within the concrete will represent a creek which will flow from one end of the mews to the other.
- Rain gardens will be incorporated within the green roof design of the commercial podium.
- Each rain garden will be separated into angular and triangular forms retained by concrete curbs/low walls, creating a unique roof garden visible from the surrounding towers.
- Plants selected will assist in the treatment of contaminants through microbial biodegradation.
- Any remaining water that is not absorbed as it passes through the rain gardens will discharge to the stormwater sewer.

Comprehensive Sign Package

- PCI Group has retained a signage consultant to design a comprehensive signage concept for the subject Phase 2 development. The signage concept has been designed to be integrated into the architectural design of the development and is intended to be reflective of an urban "village" style.
- The proposed signs are intended to be seen by drivers, travelers on the SkyTrain, as well as by pedestrians, in order to provide wayfinding to patrons and to identify and advertise the multiple tenants of the development.
- The signage concept proposes a number of sign types including free-standing, fascia, under awning, projecting, banner and directional signage. A hierarchy of signs is proposed. Generally each tenant will be permitted one fascia and one under awning sign for each premise frontage.
- A number of proposed signs require variances to the Sign By-law. A detailed description of the proposed variances is included in Appendix II. Staff are supportive of the variances as part of a comprehensive sign design package for the Phase 2 development. The majority of the requested variances are the same as those approved by Council as part of the previous Phase 2 Development Permit No. 7914-0231-01 for the King George Hub development.

Free-standing directory signs

- A total of three (3) free-standing double sided directory signs are proposed. These signs are required as pedestrian directory signs and will accommodate up to 5 destinations, with an optional digital map/directory. The directory specification is intended to either be:
 - A static, fixed LED display with either a changeable displayed map including directions to adjacent public transit and tenant directory that is updated from time to time as needed; or
 - A touchscreen map and tenant directory that allows the visitor/user to scroll and highlight wayfinding instructions to destinations at the development.
- The signs will be 7.0 metres (23 ft.) in height, which exceed the maximum height of 2.4 metres (8 ft.) under the Sign By-law for free-standing signs in the City Centre.

Under awning signs

- Under the Sign By-law, for multi-tenant developments, each premise is permitted one (1) under awning sign.
- The signage consultant proposes a second under awning sign for some of the larger CRUs, given the larger floor area and frontage. CRUs larger than 269.4 square metres (2,900 sq.ft.) in floor area are proposed to be permitted up to two (2) under awning signs.

Projecting signs

- Three (3) projecting signs are proposed for the development along King George Boulevard to advertise the anchor tenants.
- The signs require variances to allow them to be located where the premises do not have premises frontage and to exceed the maximum 3-square metre (32 sq.ft.) sign area.

Banner signs

- Ten (10) banner signs are proposed for the development, to be installed along the King George Boulevard and 98B Avenue road frontages.
- The signs are generally to advertise seasonal or special events.
- A variance is required as banner signs are permitted only by non-profit and community organizations for special events and are meant to be temporary in nature (maximum 30-day duration). As well, the sign area will exceed the maximum 2.3-square metre (32 sq.ft.) sign area permitted in the Sign By-law.

Third-party signs

- Two (2) third party signs are proposed to be located along the King George Boulevard and Fraser Highway frontages to advertise the two anchor tenants, the drug store and the food store, since neither have premises frontage on King George Boulevard or Fraser Highway.
- These two (2) signs require a variance to advertise on King George Boulevard and Fraser Highway, as third party advertising under the Sign By-law.

District Energy

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VI for location). The District Energy System consists of three primary components:
 - Community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - Distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 5, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Located within the City Centre Plan area. • The site is in an urban infill area and within a frequent transit area. • The proposed development is consistent with the "Central Business District" designation of the new OCP and the "Mixed-use 5.5 FAR" designation of the City Centre Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • Complies with the "Mixed-use 5.5 FAR" designation of the City Centre Plan. FAR of 5.34 is proposed. • The proposed development includes a mix of land uses, including multiple residential, retail and office. • The proposed development will include a range of unit sizes to suit a variety of household types.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development will incorporate Low Impact Development Standards (LIDS) in its design. • The proposed development will contain provisions for recycling and space will be available for future strata if they would like to deal with organic waste. • Green roof and selection of adapted plants can improve habitat for birds/butterfly migration.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposed development will include provisions to reduce private vehicle use reduction and emission reduction measures, such as shared parking, electric vehicle plug-ins and secured all weather bicycle parking. • The development will include pedestrian and cycling oriented infrastructure/direct external network linkages, including: connection to off-site pedestrian and multi-use paths, pedestrian specific lighting, direct pedestrian linkages to transit stops, showers and change facilities, bike racks and lockers and preferential carpool parking.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The design of the development will incorporate Crime Prevention Through Environmental Design (CPTED) principles. • The proposed development will provide for adaptable and/or accessible units as the market demands.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The applicant is seeking LEED gold certification for the office component of the proposal.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The typical notifications to area residents has occurred (i.e. development proposal sign and Pre-notification letter).

ADVISORY DESIGN PANEL

ADP Date: April 27, 2017

All of the ADP recommendations have been satisfactorily resolved, except for some minor coordination of the architectural, landscape and signage drawings and the landscape drawings require some further revisions. These revisions shall be resolved prior to consideration of Final Approval of the rezoning (see Appendix VII).

PRE-NOTIFICATION

Pre-notification letters were sent on May 17, 2017 and two development proposal signs were installed on May 24, 2017. Staff did not receive any comments.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Table
Appendix III.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	School District Comments
Appendix VI.	District Energy Service Area Map
Appendix VII.	ADP Comments
Appendix VIII.	Proposed CD By-law

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JLM/da

- (g) Civic Address: 9889 - 137 Street
Owner: City of Surrey
PID: 029-337-097
Lot 6 Section 35 Block 5 North Range 2 West New Westminster District Plan
EPP32216 Except Plan EPP48554

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the site.
- (b) Remove notation from title of Development Permit No. 7914-0231-01.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-135 and C-8)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total (entire site - Blocks A to F)		36,372.6 m ²
Road Widening area		
Undevelopable area		
Net Total		36,372.6 m ²
LOT COVERAGE (in % of net lot area) (Block B only)		
Buildings & Structures		95%
Paved & Hard Surfaced Areas		5%
Total Site Coverage	100%	100%
SETBACKS (in metres) (Block B only)		
All setbacks	0 m	0 m
BUILDING HEIGHT (in metres/storeys) (Blocks A & B only)		
Principal Building	n/a	B1: 12.2 m (40 ft) B3: 123 m (400 ft) B4: 92.2 m (300 ft) B5: 63.1 m (200 ft) C1: 5.33 m (18 ft)
NUMBER OF RESIDENTIAL UNITS (Block B only)		
One Bed		444
Junior Two Bedroom		20
Two Bedroom		272
Total		736
FLOOR AREA: Residential (Block B only)		47,493 m ²
FLOOR AREA: Commercial (Block B only)		
Retail		11,326 m ²
Office		12,736 m ²
Total		24,062 m ²
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		71,555 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY (Entire site - Blocks A to F)		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	5.5	5.5
FAR (net)	7.1	7.3
AMENITY SPACE (area in square metres) (Block B only)		
Indoor	1,302 m ²	B3: 780 m ² B4: 780 m ²
Outdoor	1,302 m ²	B3: 1,866 m ² B4: 1,402 m ²
PARKING (number of stalls) (Entire site - Blocks A to F)		
Commercial		326
Office		217
Residential Bachelor + 1 Bedroom		559
2-Bed		368
3-Bed		
Residential Visitors		18
Institutional		
Park and Ride Stalls		235
Total Number of Parking Spaces		1,723
Number of accessible stalls	14	28
Number of small cars	603	320
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow for three (3) free-standing directory signs at 7.04 m (23 ft.) in height.	The maximum height of free-standing signs in the City Centre, Special Sign Area, is 2.4 m (8 ft.) Schedule 1.A.	Given the mixed-use development and proximity to multi-modal public transit options, prominent illuminated pedestrian maps and other easily seen wayfinding is proposed on these signs.
2	To allow for one (1) additional under awning sign, up to a maximum of two (2) signs, for commercial retail units which exceed 269.4 square metres (2,900 sq. ft.) in floor area.	Only one (1) under awning sign permitted for each premises. (Part 5, Section 27, (3) (a)).	The additional under awning signs are required to correspond with tenant signage and longer premise frontage areas.
3	To allow for two (2) projecting signs which are not attached to their premises.	A projecting sign shall be attached to the premises to which it pertains. (Part 5, Section 27, (4) (a)ii.a.).	There are two inward facing anchor retail tenants.
4	To allow for three (3) projecting signs to exceed the maximum sign area of 3 square metres (32 sq. ft.).	A maximum sign area of 3 square metres (32 sq. ft.) is permitted. (Part 5, Section 27, (4) (a)ii.b.).	The signs are needed to be large to be viewable by drivers along the road frontages.
5	To allow for ten (10) banner signs, which exceed a sign area of 2.3 square metres (32 sq. ft.) and exceed the 30 day limitation.	Banner signs can only be installed by a non-profit of community organization for a special event, cannot exceed 2.3 square metres (32 sq. ft.) in sign area and must be removed in 30 days. (Part 1, section 7. (13)(a)(b) and (c)).	The banner signs will market special or seasonal events. The banners are to be of high quality materials, designed to be durable, permanent and add to the character of the development and animate the surrounding roads.

#	Proposed Variances	Sign By-law Requirement	Rationale
6	To allow for two (2) third party signs along King George Boulevard.	Third Party advertising shall be limited to the 30% of the copy area of a sign. (Part 1, Section 6(11)).	The intent of the signage is to utilize the exposure of King George Boulevard and Fraser Highway to advertise major tenants, which do not have premise frontage on King George Boulevard or Fraser Highway. The intent of these signs is to provide drive-by identity and visual presence for larger inward facing anchor tenants.

BUILDING AREA SUMMARY

NOTE: UNFINISHED FLOOR AREA IS NOT INCLUDED IN THIS DATA

LEVEL	LWS PARADE LOT 2 (PH B)			REST. B1 LOT 4 (PH A)			FOODS B2, B3 LOT 4 (PH A)			RES. TOWER B3 - LOT 4			RES. TOWER B4 - LOT 4			OFFICE TOWER B5 - LOT 4		
	USE	AREA	FIN. AREA	USE	AREA	FIN. AREA	USE	AREA	FIN. AREA	USE	AREA	FIN. AREA	USE	AREA	FIN. AREA	USE	AREA	FIN. AREA
B1	RESTAURANT	17,000	17,000															
B2	PODIUM	17,000	17,000															
P1	BELOW GRADE PARKING	17,000	17,000															
RESIDENTIAL TOWER B3 - LOT 4																		
MEZ A/B																		
L1	RESIDENTIAL	1,000	1,000															
L2	RESIDENTIAL	1,000	1,000															
L3	RESIDENTIAL	1,000	1,000															
L4	RESIDENTIAL	1,000	1,000															
L5	RESIDENTIAL	1,000	1,000															
L6	RESIDENTIAL	1,000	1,000															
L7	RESIDENTIAL	1,000	1,000															
L8	RESIDENTIAL	1,000	1,000															
L9	RESIDENTIAL	1,000	1,000															
L10	RESIDENTIAL	1,000	1,000															
L11	RESIDENTIAL	1,000	1,000															
L12	RESIDENTIAL	1,000	1,000															
L13	RESIDENTIAL	1,000	1,000															
L14	RESIDENTIAL	1,000	1,000															
L15	RESIDENTIAL	1,000	1,000															
L16	RESIDENTIAL	1,000	1,000															
L17	RESIDENTIAL	1,000	1,000															
L18	RESIDENTIAL	1,000	1,000															
L19	RESIDENTIAL	1,000	1,000															
L20	RESIDENTIAL	1,000	1,000															
L21	RESIDENTIAL	1,000	1,000															
L22	RESIDENTIAL	1,000	1,000															
L23	RESIDENTIAL	1,000	1,000															
L24	RESIDENTIAL	1,000	1,000															
L25	RESIDENTIAL	1,000	1,000															
L26	RESIDENTIAL	1,000	1,000															
L27	RESIDENTIAL	1,000	1,000															
L28	RESIDENTIAL	1,000	1,000															
L29	RESIDENTIAL	1,000	1,000															
L30	RESIDENTIAL	1,000	1,000															
L31	RESIDENTIAL	1,000	1,000															
L32	RESIDENTIAL	1,000	1,000															
L33	RESIDENTIAL	1,000	1,000															
L34	RESIDENTIAL	1,000	1,000															
L35	RESIDENTIAL	1,000	1,000															
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L46	RESIDENTIAL	1,000	1,000															
L47	RESIDENTIAL	1,000	1,000															
L48	RESIDENTIAL	1,000	1,000															
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9608 King George Boulevard
27-Mar-17
Detailed Parking Analysis
Site Plan Dated: March 24, 2017

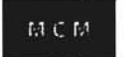
Land Use	Unit #	GFA (sqft)	GFA (sqm)	Dwelling Units	Surrey Parking Bylaw Rate	Bylaw Stalls Required	CD Bylaw No. 17954 Rate	CD Stalls Required	PCI Suggested Rate (per current Arch Information)	Stalls Required	Bunt Recommended Minimum Parking Supply Rate	Bunt Proposed Minimum Stalls
Retail		127914	11884			443		326		326		326
CRU (KGB)	M1.1	4412	410		3*0.8 per 100 sqm	10	2.0 per 100 sqm	8	2.0 per 100 sqm	8	Same as CD bylaw	8
CRU (KGB & Fraser)	B3 - L1.2	4910	456		3*0.8 per 100 sqm	11	2.0 per 100 sqm	9	2.0 per 100 sqm	9	Same as CD bylaw	9
CRU (Fraser Highway)	B3 - L1.1	4548	423		3*0.8 per 100 sqm	10	2.0 per 100 sqm	8	2.0 per 100 sqm	8	Same as CD bylaw	8
CRU (Fraser Highway)	B4 - L1.1	4017	373		3*0.8 per 100 sqm	9	2.0 per 100 sqm	7	2.0 per 100 sqm	7	Same as CD bylaw	7
Restaurant + Patio	B1 - L1	14379	1336		14*0.8 per 100 sqm	150	5 per 100 sqm	67	5 per 100 sqm	67	Same as CD bylaw	67
CRU (KGB & 98B)	B2 - L1.1a	773	72		2.75*0.8 per 100 sqm	2	2.0 per 100 sqm	1	2.0 per 100 sqm	1	Same as CD bylaw	1
CRU (KGB & 98B)	B2 - L1.1b	1397	130		2.75*0.8 per 100 sqm	3	2.0 per 100 sqm	2	2.0 per 100 sqm	2	Same as CD bylaw	2
CRUs (High Street)	B2 - L1.2	4630	430		3*0.8 per 100 sqm	10	2.0 per 100 sqm	9	2.0 per 100 sqm	9	Same as CD bylaw	9
Drug Store	B2 Box 1-L1	37600	3493		3*0.8 per 100 sqm	84	3*0.8 per 100 sqm	84	3*0.8 per 100 sqm	84	Same as Surrey bylaw	84
Market	B2 Box 2-L1	38290	3557		3*0.8 per 100 sqm	85	3*0.8 per 100 sqm	85	3*0.8 per 100 sqm	85	Same as Surrey bylaw	85
Pub + Patio	B2-L1.3b	7852	729		10*0.8 per 100 sqm	58	6 per 100 sqm	36	5 per 100 sqm	36	Same as CD bylaw	36
Liquor Store	B2-L1.3a	5106	474		3*0.8 per 100 sqm	11	2 per 100 sqm	9	2 per 100 sqm	9	Same as CD bylaw	9
Office						178		217		217		217
Office Space (within City Centre)		137084	12736		1.4 per 100 sqm	178	1.7 per 100 sqm	217	1.7 per 100 sqm	217	Same as CD bylaw	217
Residential						1162		687		945		687
Dwelling Units - 1 bed or less				444	1.3 per dwelling unit	577	0.85 per dwelling unit	377	1.26 per dwelling unit	559	Same as CD bylaw	377
Dwelling Units - 2 beds or more				292	1.5 per dwelling unit	438	1.0 per dwelling unit	292	1.26 per dwelling unit	368	Same as CD bylaw	292
Residential Visitors				736	0.2 per dwelling unit	147	0.025 per dwelling unit	18	0.025 per dwelling unit	18	Same as CD bylaw	18
Sub Total						1783		1230		1488		1230

Location	Stalls Available
Lot B	1371
Lot C	352
Total	1723

Land Use	PCI Suggested (a)	Bunt Recommended (b)	Difference (+/-) (a)-(b)	To Satisfy Recommended Max of (a) or (b)
Commercial	326	326	0	326
Office	217	217	0	217
Residential	927	687	240	927
Residential - Visitor	18	18	0	18
Sub Total	1488	1230	258	1488
Total Provided (c)				1723
Total Required (d)				1488
Park & Ride Stalls (e) - (d)				236

9608 King George Boulevard
27-Mar-17
Detailed Bike Analysis
Site Plan Dated: March 24, 2017

Land Use	Unit #	GFA (sqft)	GFA (sqm)	Units (Employees)	Dwelling Units	Surrey Bicycle Parking Bylaw Rate (Visitor Spaces)	Bylaw Stalls Required	Surrey Bicycle Parking Bylaw Rate (Secure Spaces)	Bylaw Stalls Required
Retail		127914	11884				12		1
Total CRU		105883	9818			0.1 visitor bicycle spaces per 100 sqm	10		
Total Restaurant		22231	2065			0.12 visitor bicycle spaces per 100 sqm	2	0.06 secure bicycle spaces per 100 sqm	1
CRU (KGB)	M1.1	4412	410						
CRU (KGB & Fraser)	B3 - L1.2	4910	456						
CRU (Fraser Highway)	B3 - L1.1	4548	423						
CRU (Fraser Highway)	B4 - L1.1	4017	373						
Restaurant with Mezzanine	B1 - L1	14379	1336						
CRU (KGB & 98B)	B2 - L1.1a	773	72						
CRU (KGB & 98B)	B2 - L1.1b	1397	130						
CRUs (High Street)	B2 - L1.2	4630	430						
Drug Store	B2 Box 1-L1	37600	3493						
Market	B2 Box 2-L1	38290	3557						
Pub	B2-L1.3b	7852	729						
Liquor Store	B2-L1.3a	5106	474						
Office									
Office Space (within City Centre)		137084	12736						
Residential							12		883
Dwelling Units - 1 bed or less				444				1.2 secure bicycle spaces per unit	533
Dwelling Units - 2 beds or more				292				1.2 secure bicycle spaces per unit	350
Residential Visitors				736	6 visitor spaces per building		12		
Total							24		884



**Mission
Cattle
Machinery
Partnership**

Address: Redburn House
1000 - 10th Street/1000th
100 Street Street, Redburn
Redburn, British Columbia
Canada V7R 1S8
T: 250.462.2000
F: 250.462.1771
MCMPartnership.com



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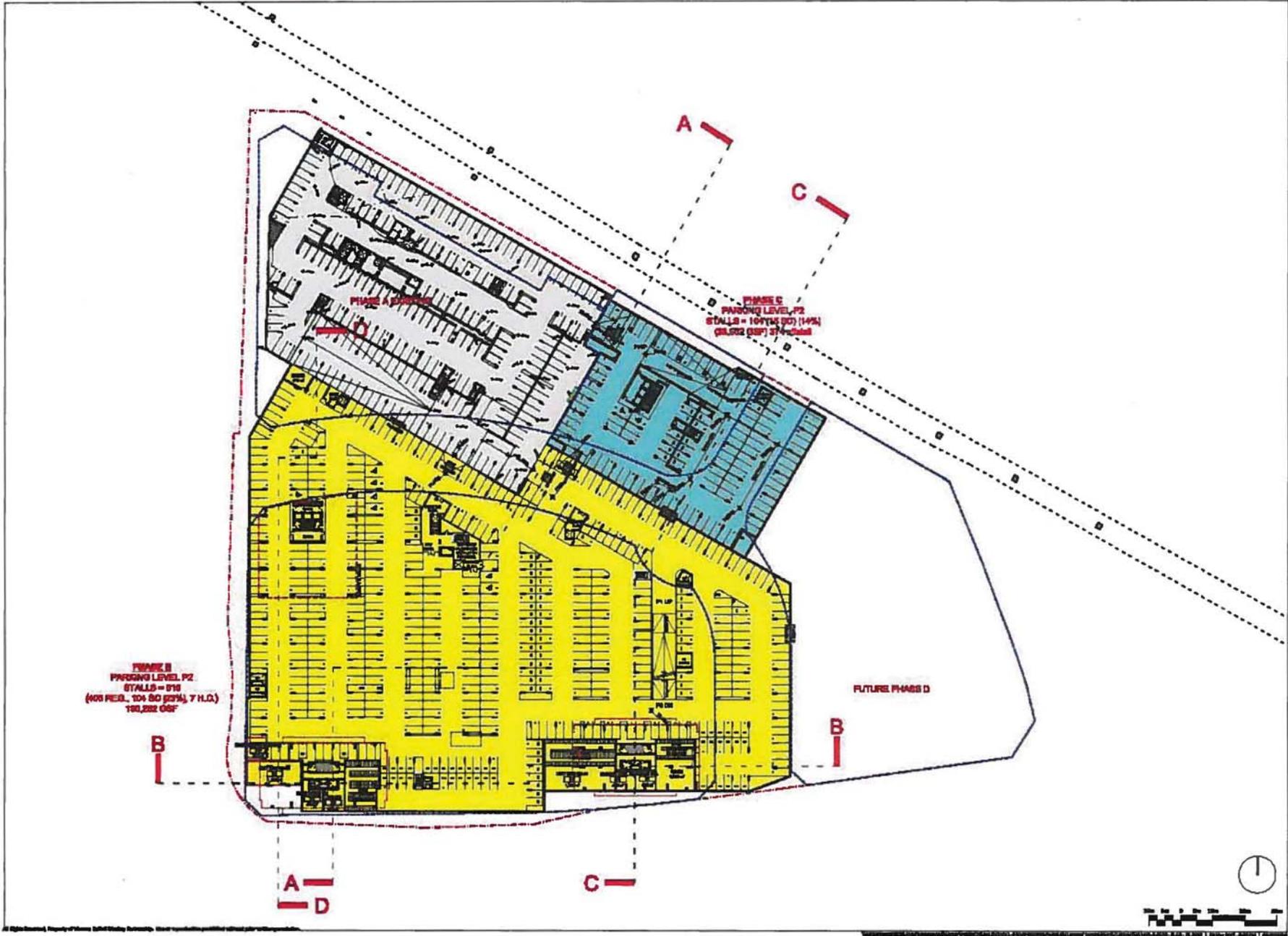
9608 KING GEORGE BLVD
PHASE B

ENGINEER: ERIC
SILVER, INC.

**DATA SHEET
PROJECT INFO
PHASE B**

Scale: _____
Date: _____
Page: 28 of 38
Revision: _____

A001b

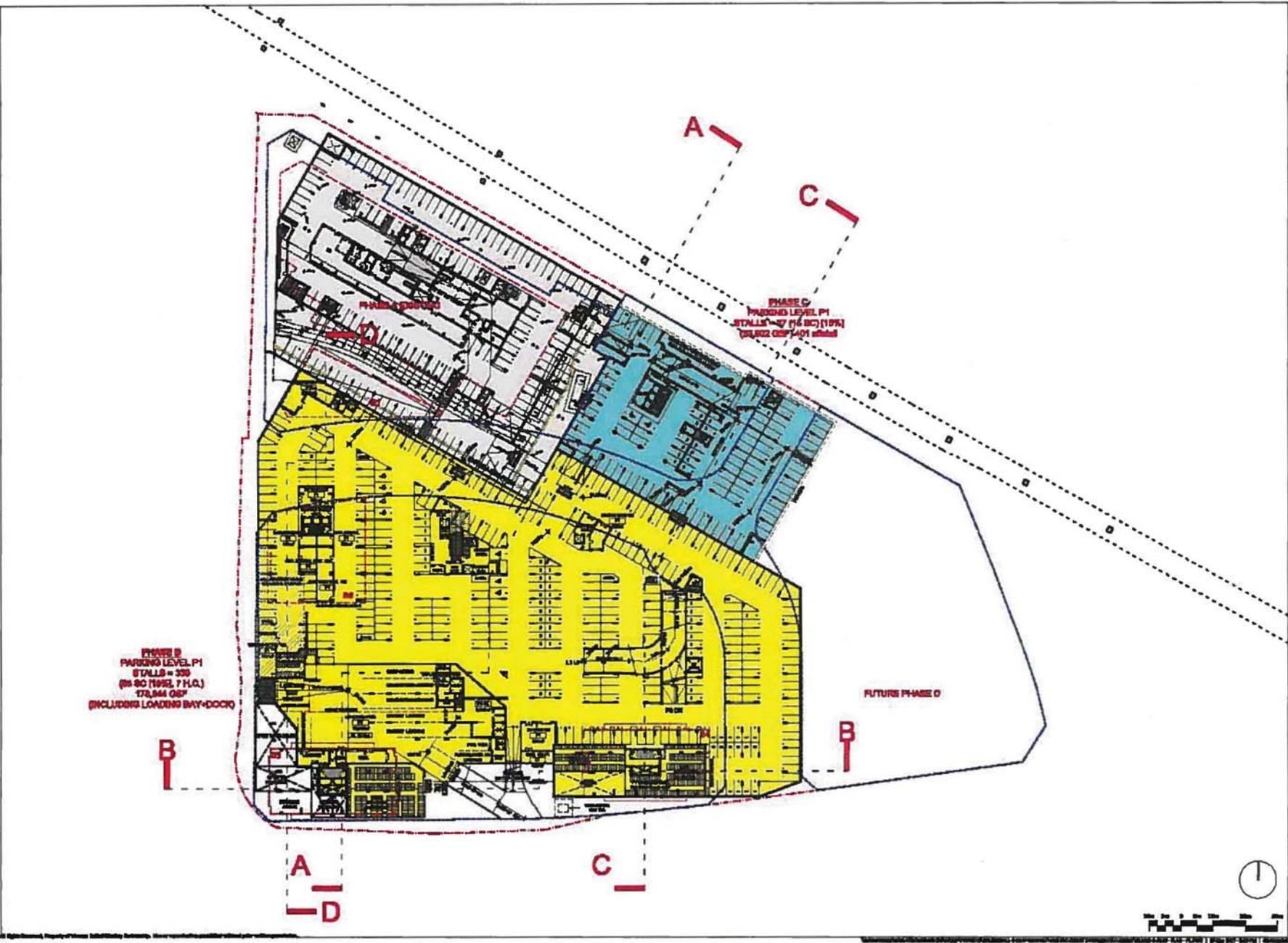


DATE: 10/15/10
BY: [Signature]

NO. 1010
NO. 1010
NO. 1010

Project:
PARKING LEVEL P2



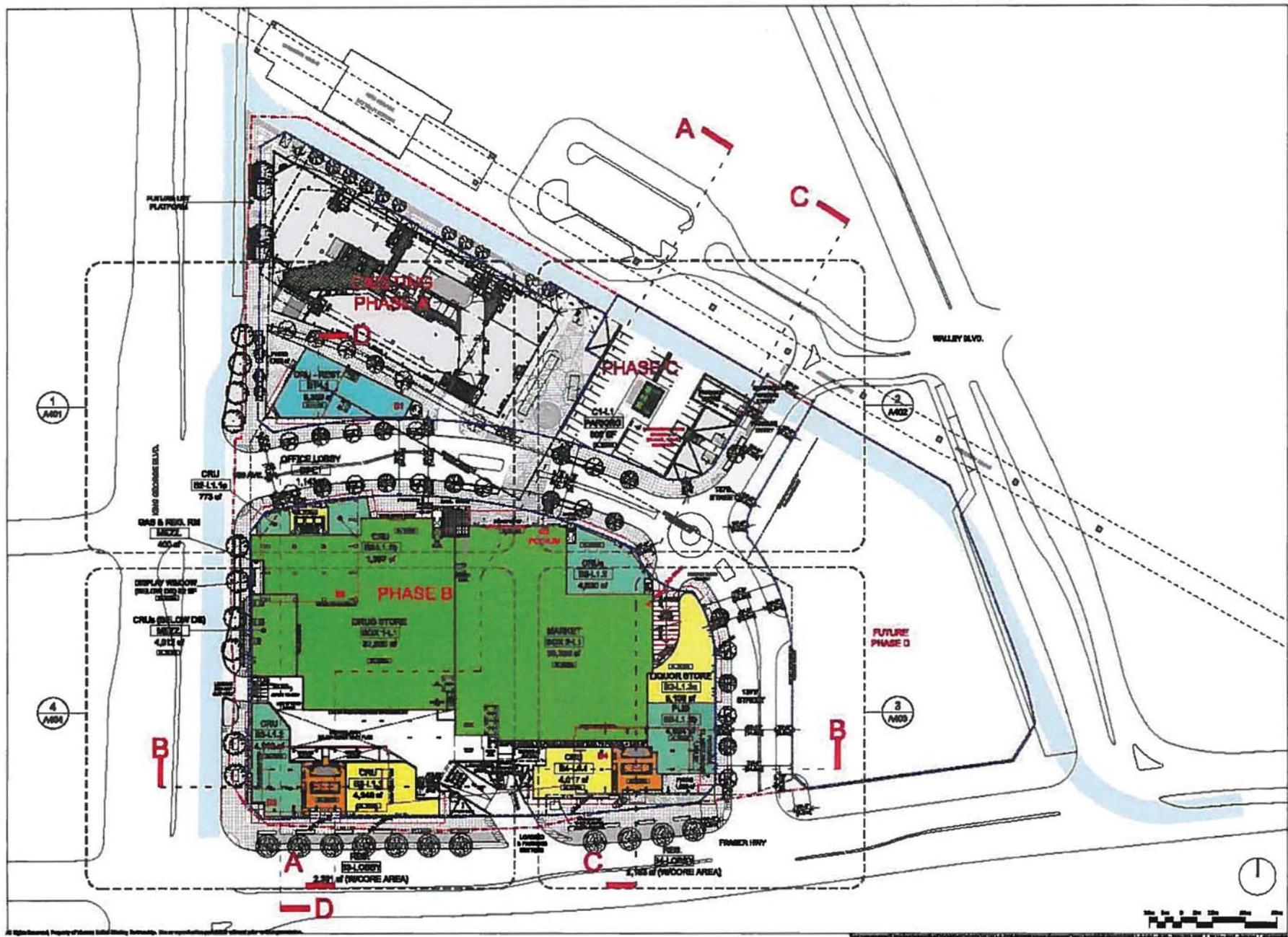


REVISION	DATE

NO. 1000 BECOME HUB
PHASE B

Project
**PARKING LEVEL
P1 & LOADING**

Sheet	11.000
Date	2008.04.08
Scale	A103

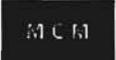
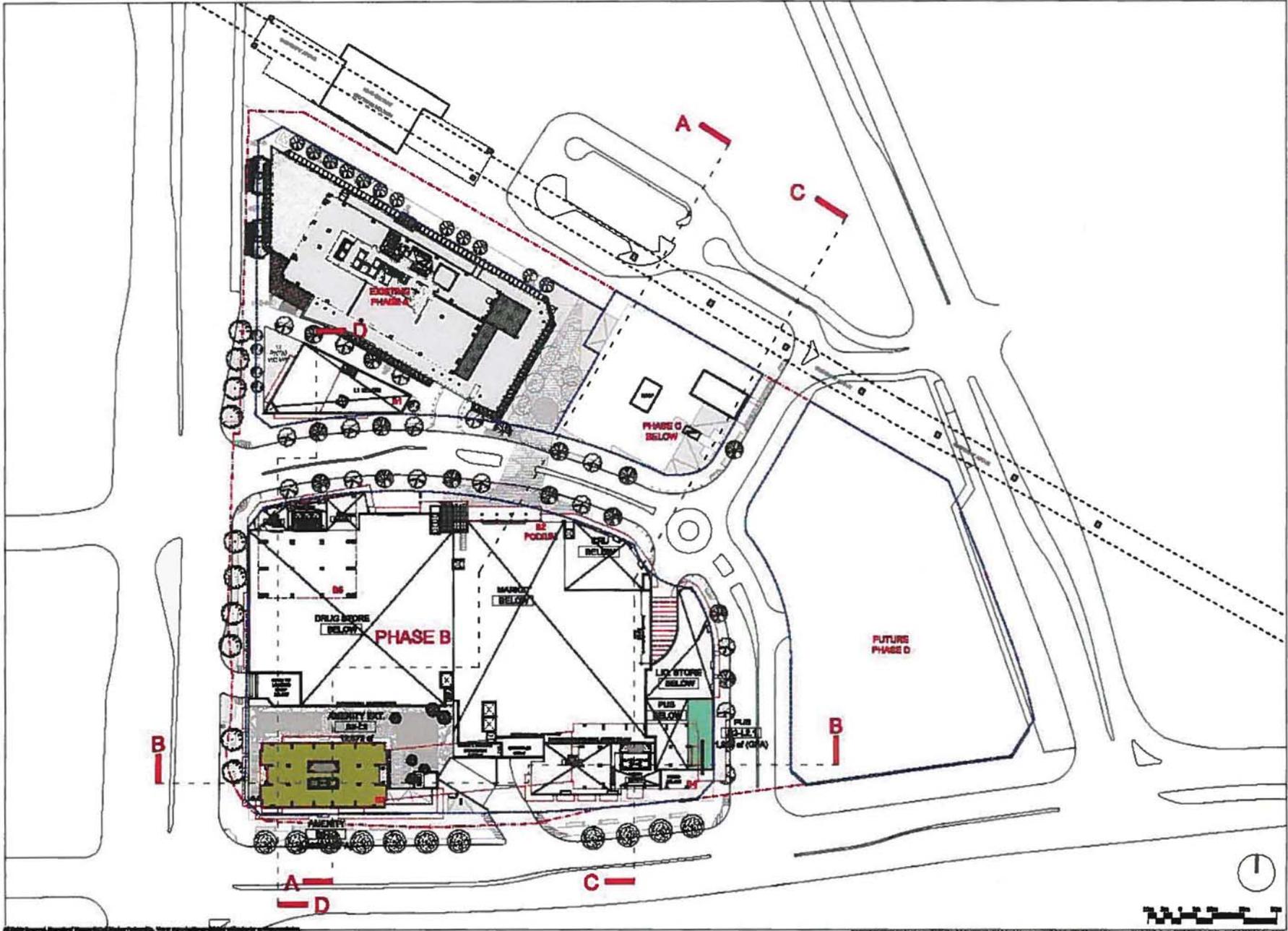


DATE: 11/11/11
SCALE: AS SHOWN

NOV 11 2011
NOV 11 2011
NOV 11 2011

Project
GROUND LEVEL
B1-L1, B2-M1,
B2-L1, B3-L1,
& B4-L1

Scale
1" = 100'
Author
MCM
A104



**Musson
Cuthall
Mackay
Partnership**

Architects
1000 - The South Centre
215 Second Street, West
Vancouver, British Columbia
Canada V7Z 1G8
T: 604.681.2000
F: 604.681.1991
MCMPartnership.com

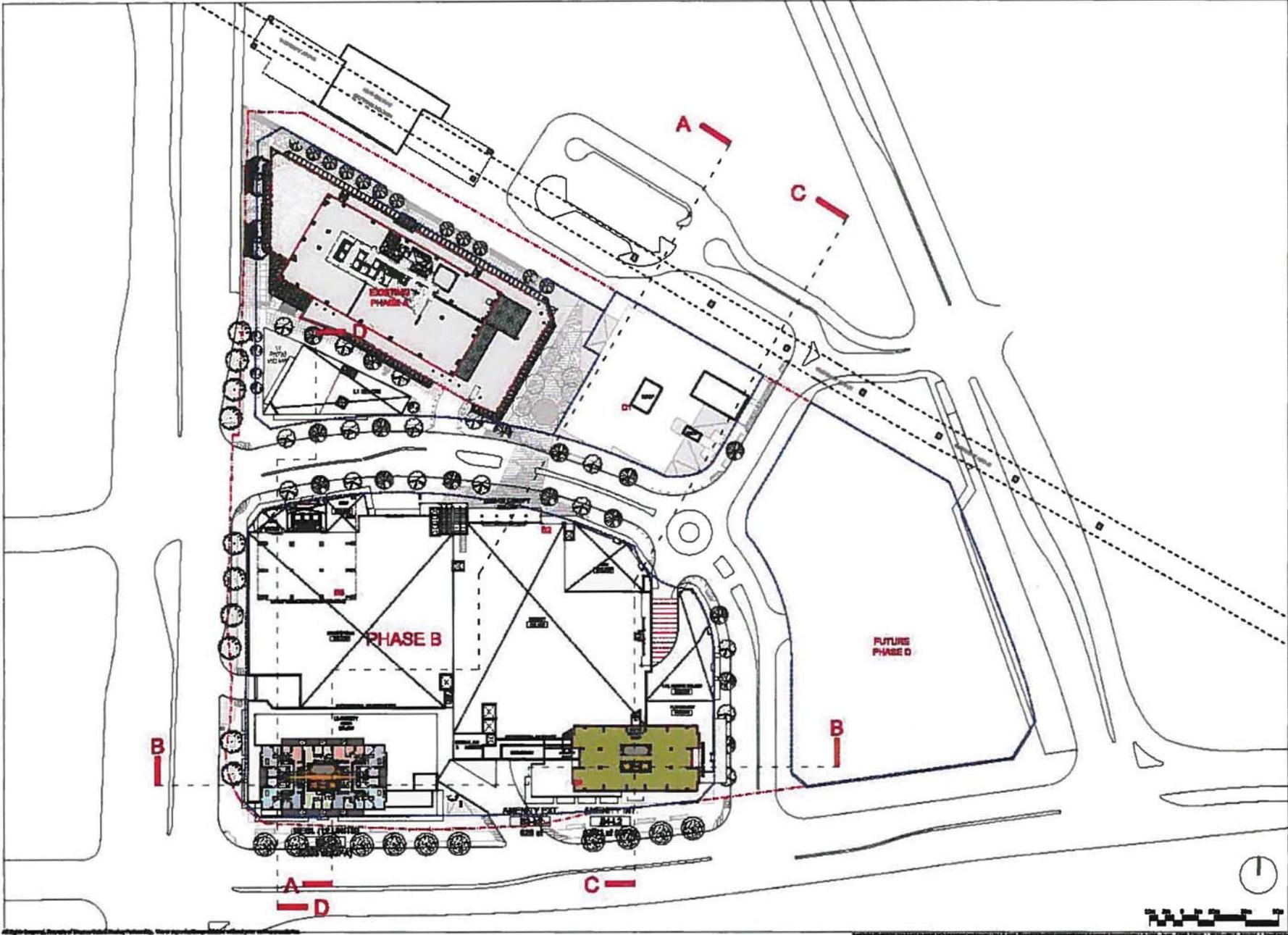
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CHECKED BY: [unintelligible]

Sheet
**KING GEORGE HUB
PHASE B**

Project
**MASTERPLAN
B3-L2, B2 to BELOW,
B3-L2,
B4 to BELOW**

Scale
Date: 1.07.10
Project: 2008100
A105



**Museum
Cottrell
Mackay
Partnership**

Architect: Outgroup Alliance
 1000 - The Grand Center
 253 Second Street, Seattle
 Washington 98104
 Seattle WA 98104
 T: 206.462.2000
 F: 206.462.1991
 MCM@outgroup.com

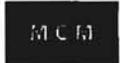
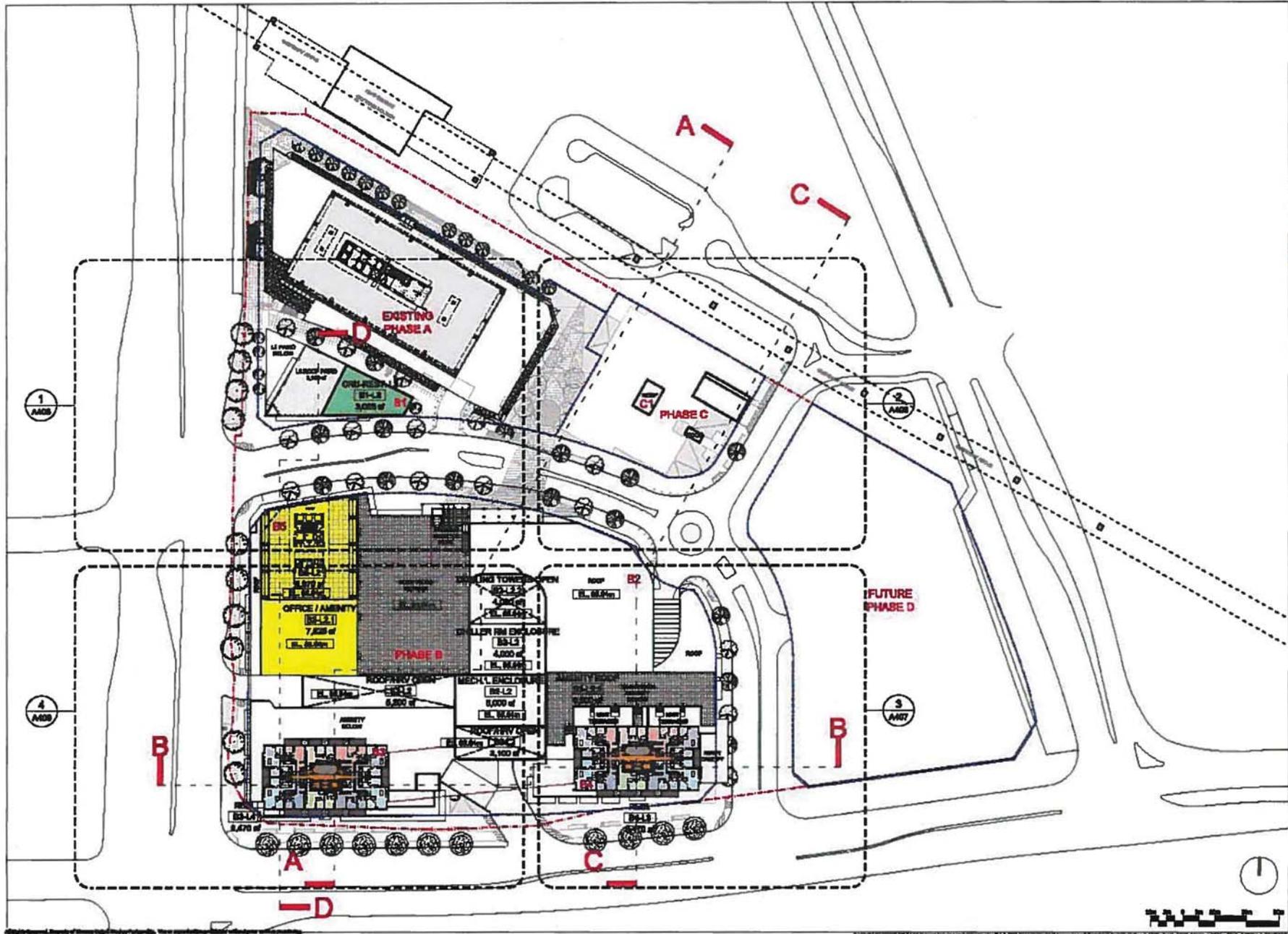
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DATE: 08/12/13
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 CHECKED BY: [unintelligible]

PROJECT:
**KING GEORGE HUR
 PHASE B**

DESCRIPTION:
**MASTERPLAN
 B1B2 TO BELOW,
 B3-13 & B4-12**

SCALE:
 1" = 1'-0"
 1/8" = 1'-0"
A106



Mission Critical Mackay Partnership

Architect: Mackay Partners
 1000 - Two World Centre
 225 Summit Street, Suite 204
 Vancouver, B.C. V6Z 1K6
 Canada V6Z 1K6
 T: 604.682.2000
 F: 604.682.1971
 MCM@macp.ca

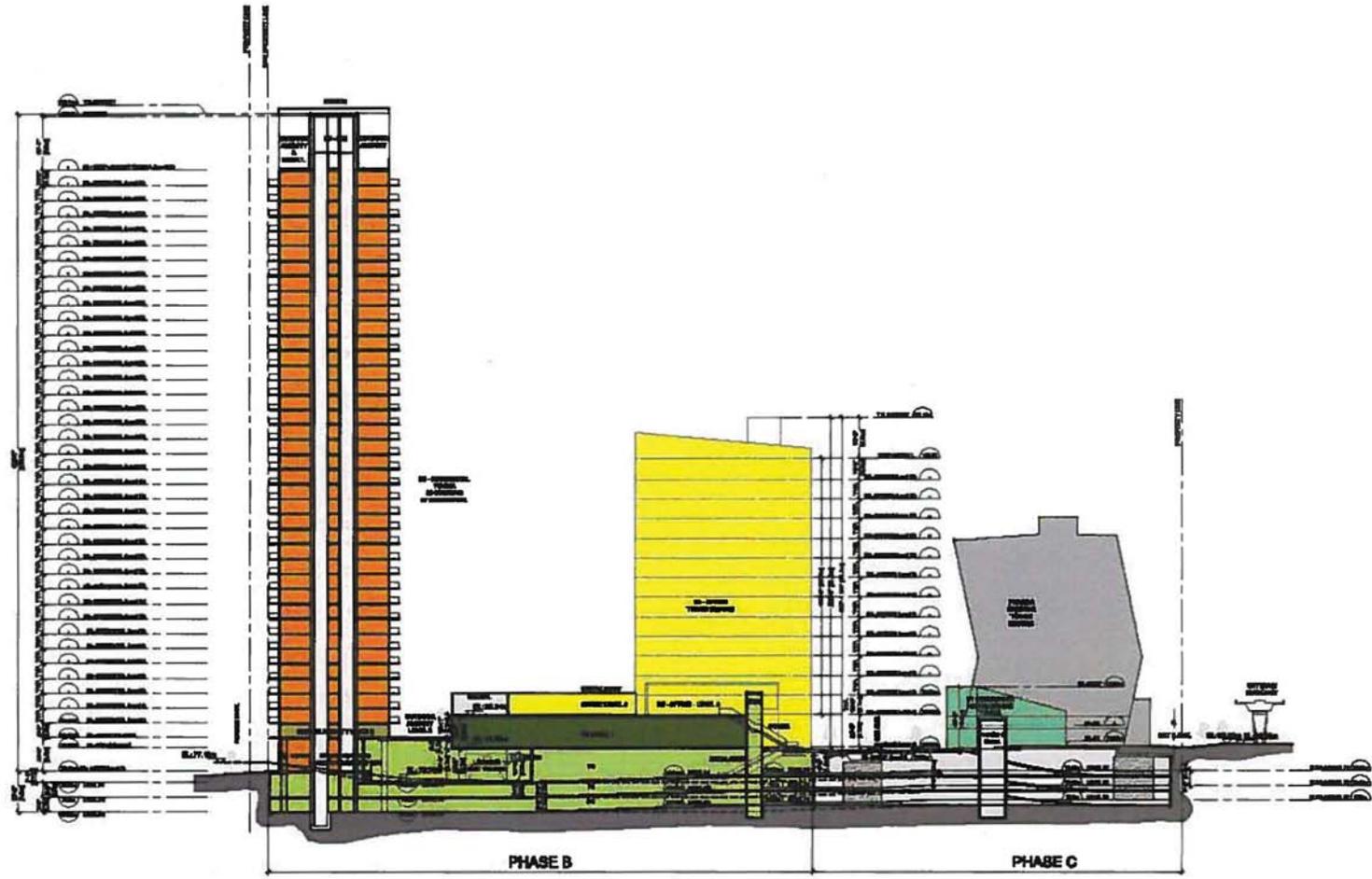
PCI

Scale:	1/8" = 1'-0"
North:	As shown

Project:
KING GEORGE HUB PHASE B

Phase:
MASTERPLAN B3-ROOF, B3-L2, B3-L4, B4-L3, & B5-L2

Date:	11/20
Rev:	2024.04
Sheet:	A107



SECTION A-A

REVISIONS

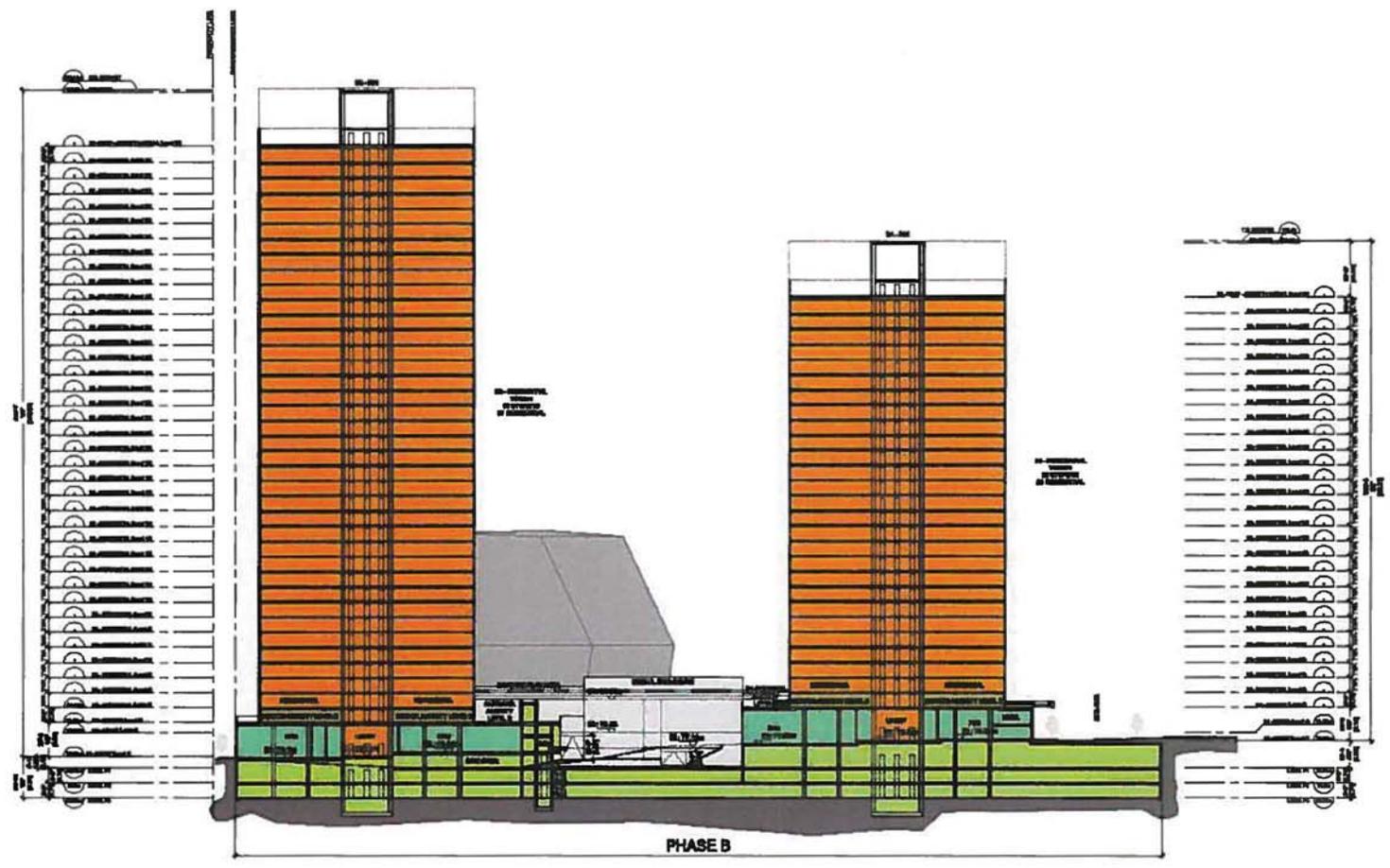
NOV 2008

SITE SECTIONS
A-A
SOUTH-NORTH

Scale: 1/8" = 1'-0"

Sheet: A301





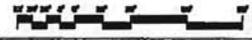
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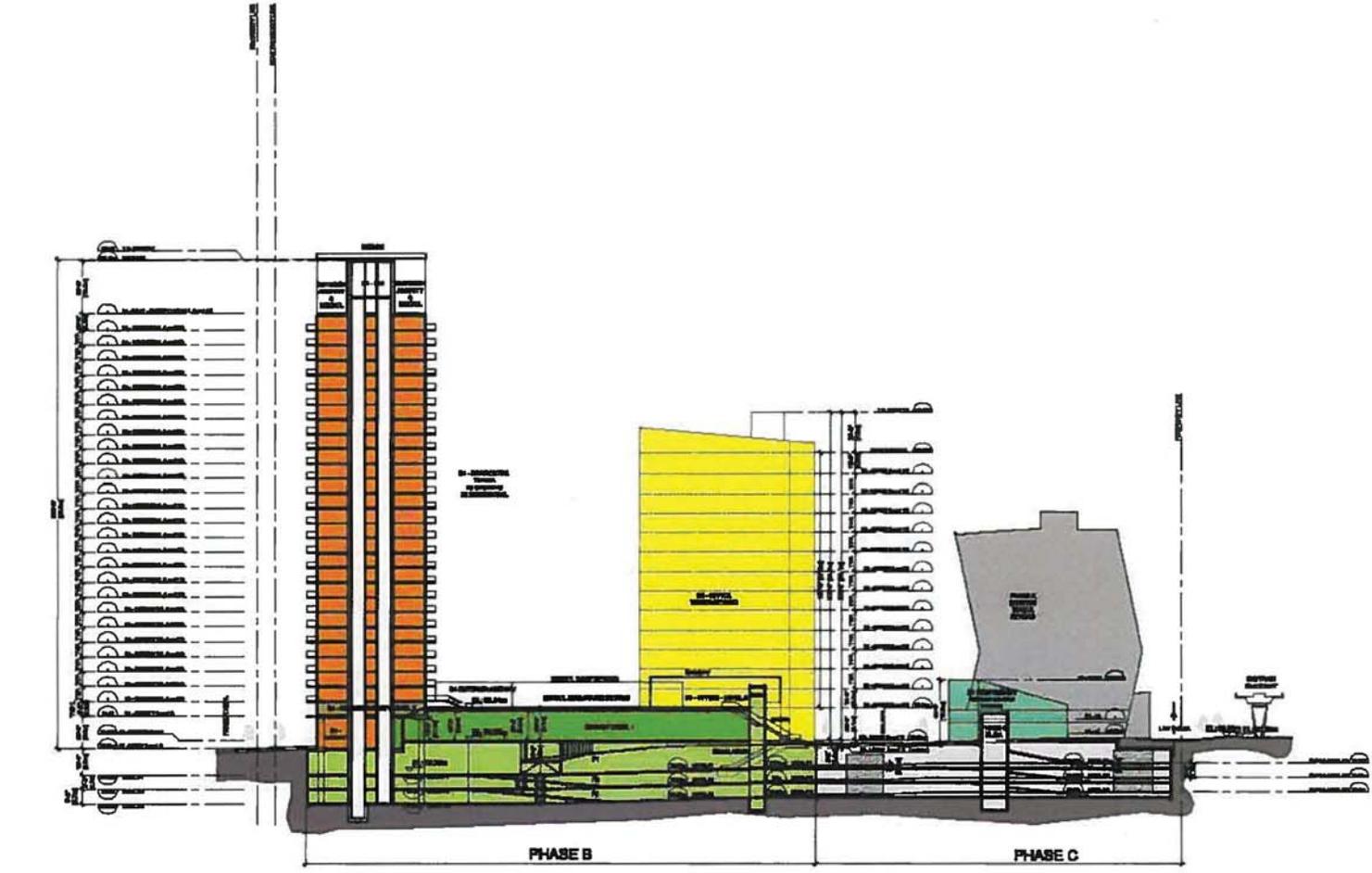
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 CHECKED BY: [Name]

1001 - TREATMENT CENTER
 PHASE B

SITE SECTIONS
 B-B
 WEST TO EAST

Scale: 1/8" = 1'-0"
 Project: 1001-010
 Date: A302





SECTION C-C

DATE: 08/20/10
BY: [Signature]

PROJECT: KING GEORGE HUB
PHASE B

SITE SECTIONS
C-C
SOUTH-NORTH

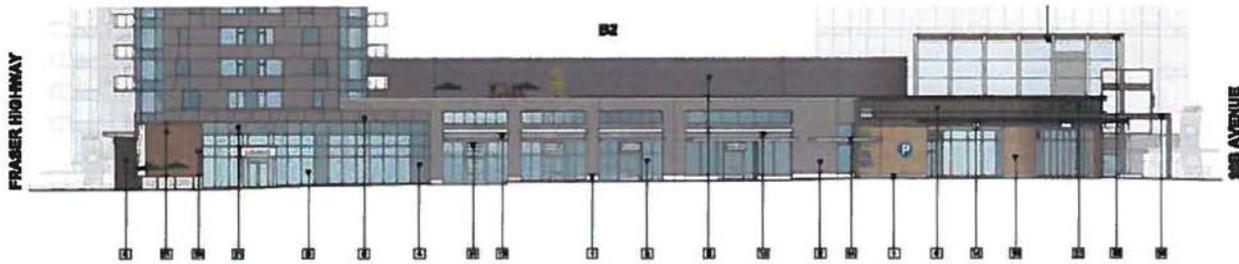
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SCALE: 1/8" = 1'-0"

DATE: 08/20/10

NO. A303





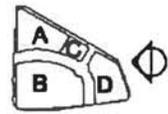
1 EAST ELEVATION

MATERIALS LEGEND

- 1. Concrete
- 2. Brick Veneer
- 3. Structural Vision Glazing
- 4. Structural Spandrel
- 5. Curtain Wall Glazing
- 6. Curtain Wall Spandrel
- 7. Curtain Wall Panel
- 8. Operable Window
- 9. Pre-Finished Metal Panel
- 10. Perforated Metal Panel
- 11. Open Grille Overhead Door
- 12. Louvers / Fins
- 13. Metal Grille
- 14. Steel Framed Glass Canopy
- 15. Posture Canopy I - Wood Panels with Metal Panel
- 16. Posture Canopy II - Steel Panels with Glazing
- 17. Guard Rail - Glass with Metal Frame
- Balcony, Plaza, Terrace
- 18. Metal Floor
- 19. Wood Panels and Brick Veneer
- 20. Marble Panels and Brick Veneer
- 21. Signage by Others
- See Signage Drawings



2 EAST ELEVATION

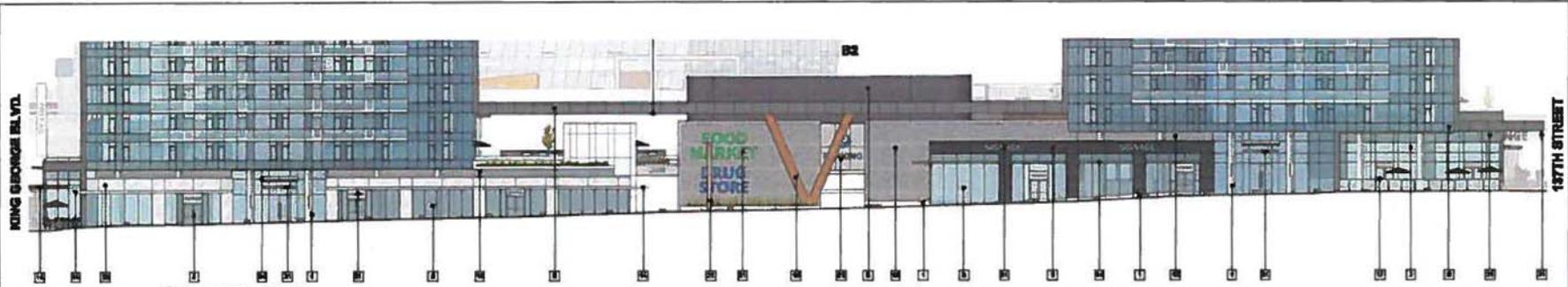


REVISIONS

DATE: 10/15/10
PROJECT: KING GEORGE BUS PHASE B

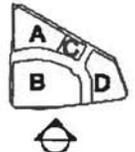
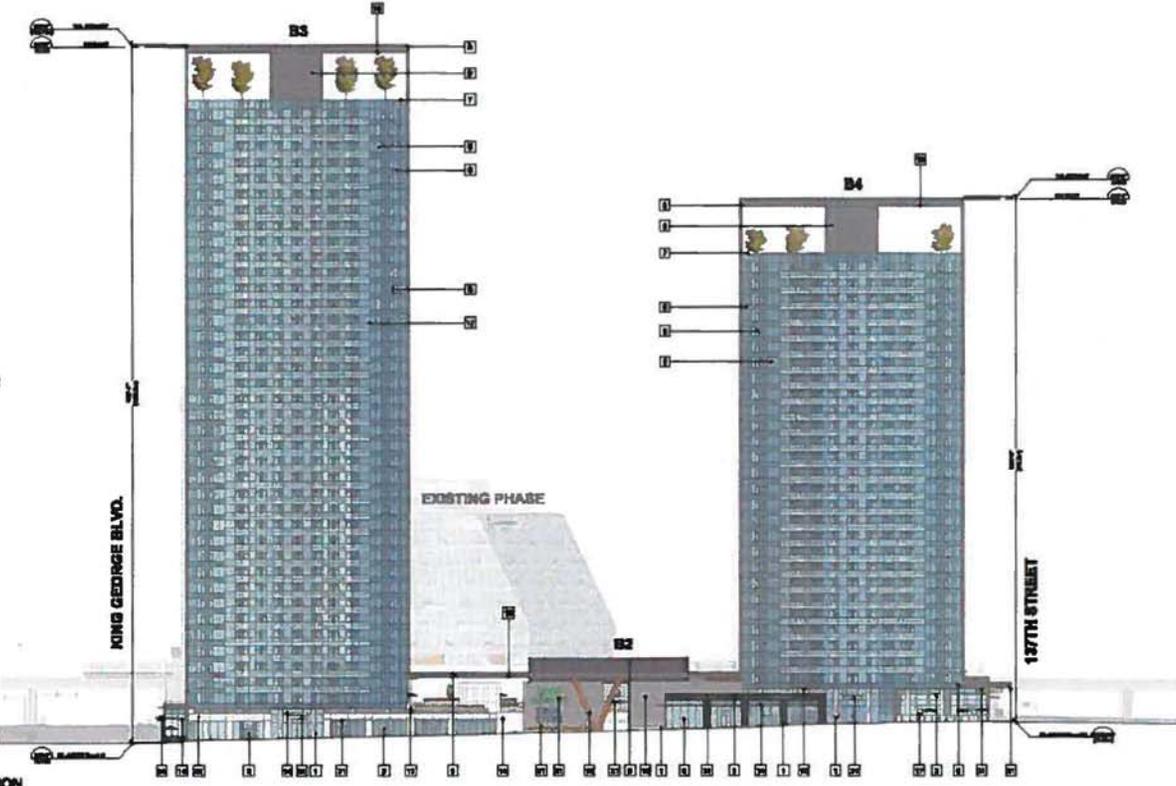
PROJECT: KING GEORGE BUS PHASE B
ELEVATION: EAST ELEVATION

DATE: 10/15/10
PROJECT: KING GEORGE BUS PHASE B
ELEVATION: EAST ELEVATION
DRAWING: A311



MATERIALS LEGEND

1. Concrete
2. Brick Veneer
3. Storefront Vitrage Glazing
4. Storefront Spandrel
5. Curtain Wall Glazing
6. Curtain Wall Spandrel
7. Curtain Wall Panel
8. Operable Window
9. Pre-Finished Metal Panel
10. Painted Metal Panel
11. Open Ribs Overhead Door
12. Louvers / Fins
13. Metal Clute
14. Steel Framed Glass Canopy
15. Feature Canopy I - Wood Frame with Metal Panel
16. Feature Canopy II - Steel Frame with Glazing
17. Guard Rail - Glass with Metal Frame:
 - Balcony, Patio, Terrace
18. Metal Roof
19. Wood Frieze and Sill Veneer
20. Marble Frieze and Sill Veneer
21. Signage By Others
 - See Signage Drawings



DESIGNED BY
 REDGATE

KING GEORGE BUS
 PHASE B

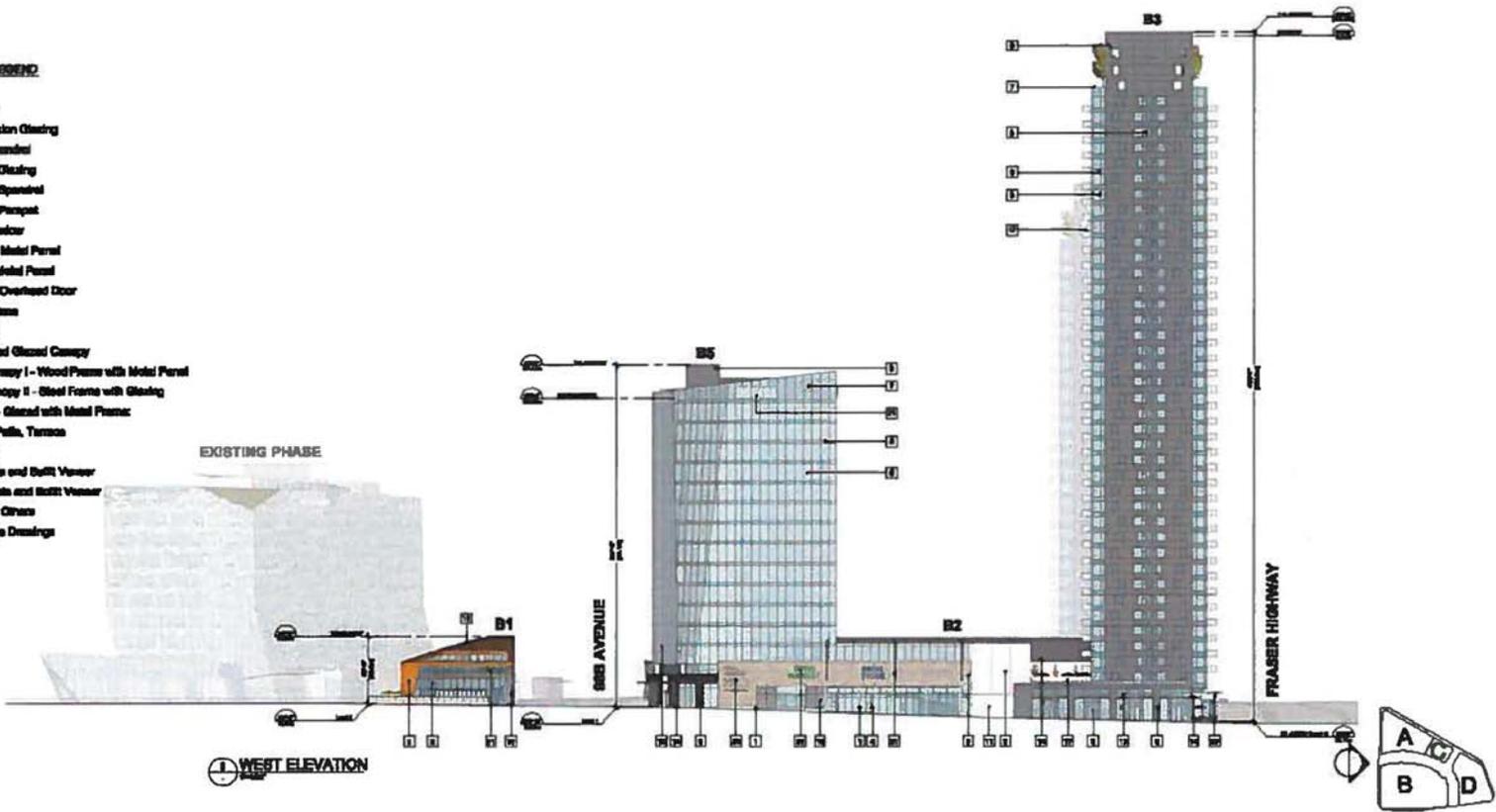
MASTERPLAN
 SOUTH ELEVATION

A312



MASTERPLAN LEGEND

1. Concrete
2. Brick Veneer
3. Stained Glass Cladding
4. Stained Glass Spanel
5. Ceramic Wall Cladding
6. Ceramic Wall Spanel
7. Ceramic Wall Panel
8. Operable Window
9. Pre-Finished Metal Panel
10. Perforated Metal Panel
11. Open Gully Overhead Door
12. Limestone / Stone
13. Metal Cladding
14. Steel Framed Glass Canopy
15. Feature Canopy I - Wood Frame with Metal Panel
16. Feature Canopy II - Steel Frame with Glass
17. Glass Rail - Glass with Metal Frame
- Balcony, Plaza, Terrace
18. Metal Floor
19. Wood Panels and Brick Veneer
20. Metal Panels and Brick Veneer
21. Signage by Glass
- See Signage Drawings



DATE: 08/20/10
DRAWN BY: [Name]
CHECKED BY: [Name]

PROJECT:
KING GEORGE HUB
PHASE B

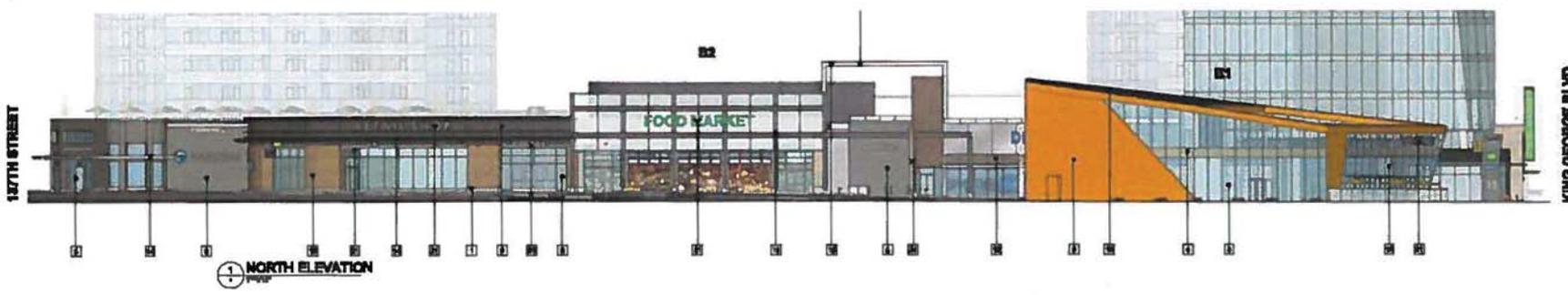
PROJECT:
MASTERPLAN
WEST ELEVATION

DATE:
08/20/10
SCALE:
AS SHOWN
PROJECT NO:
A313

**MUSSEN
Cottell
Mastery
Partnership**

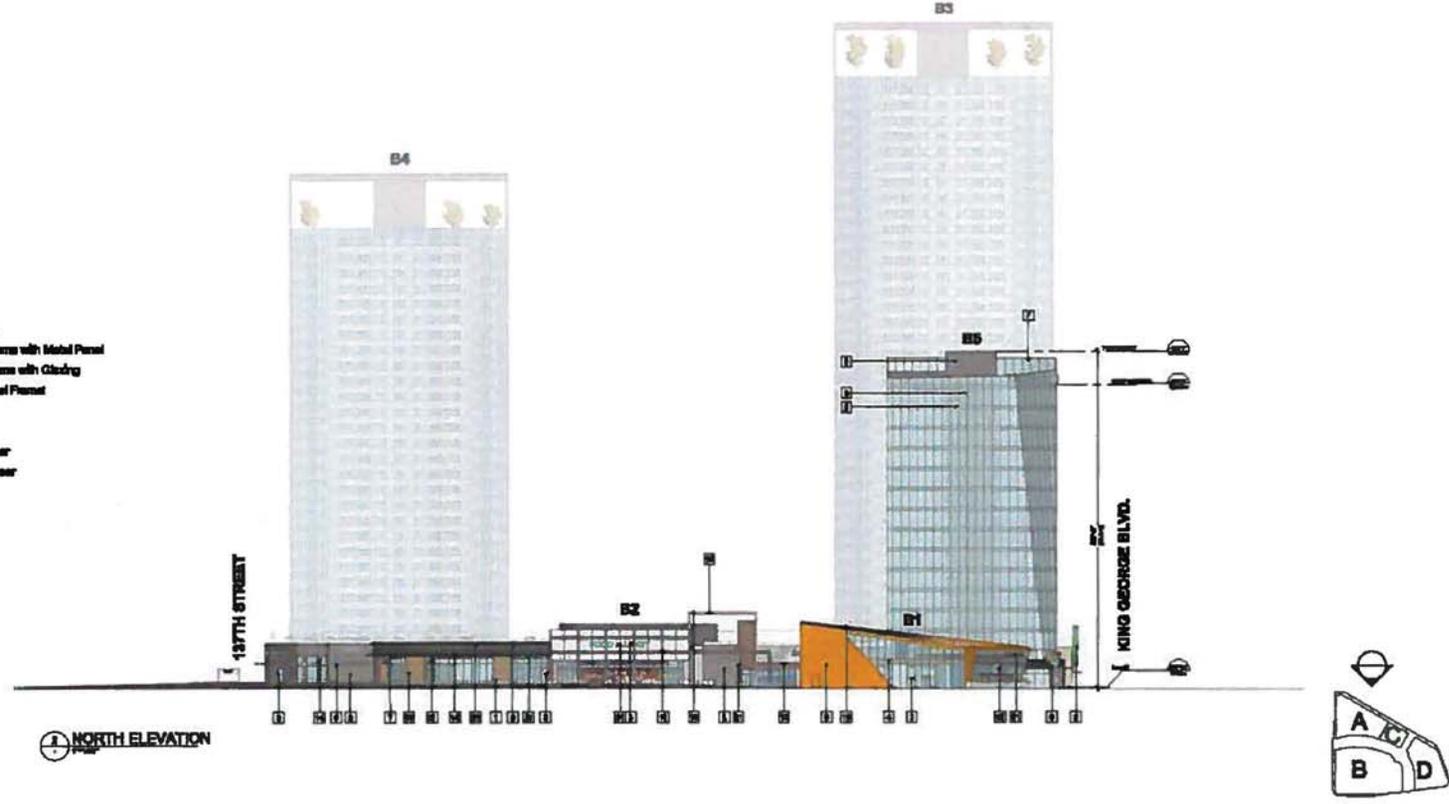
Architect: Integrated Process
 1400 - 14th Street South
 3000 West 14th Street, Suite 100
 West Valley City, Utah 84113
 Phone: 801-972-1000
 Fax: 801-972-1000
 www.integratedprocess.com

PCI



MATERIAL LEGEND

- 1. Concrete
- 2. Brick Veneer
- 3. Streetfront Vision Glazing
- 4. Streetfront Operable
- 5. Curbside Wall Glazing
- 6. Curbside Wall Operable
- 7. Curbside Wall Permeable
- 8. Operable Window
- 9. Pre-Finished Metal Panel
- 10. Pedestrian Metal Panel
- 11. Open Grille Overhead Door
- 12. Louvers / Fins
- 13. Metal Cliffs
- 14. Steel Framed Glass Canopy
- 15. Feature Canopy I - Wood Panels with Metal Panel
- 16. Feature Canopy II - Wood Panels with Glazing
- 17. Guard Rail - Glazed with Metal Panel
 - Balcony, Plaza, Terrace
- 18. Metal Floor
- 19. Wood Fencil and Grill Veneer
- 20. Marble Panels and Grill Veneer
- 21. Signage By Others
 - See Signage Drawings



10/20/2010
 10/20/2010

Site
**KING GEORGE HUB
 PHASE B**

Project
**MASTERPLAN
 NORTH ELEVATION**

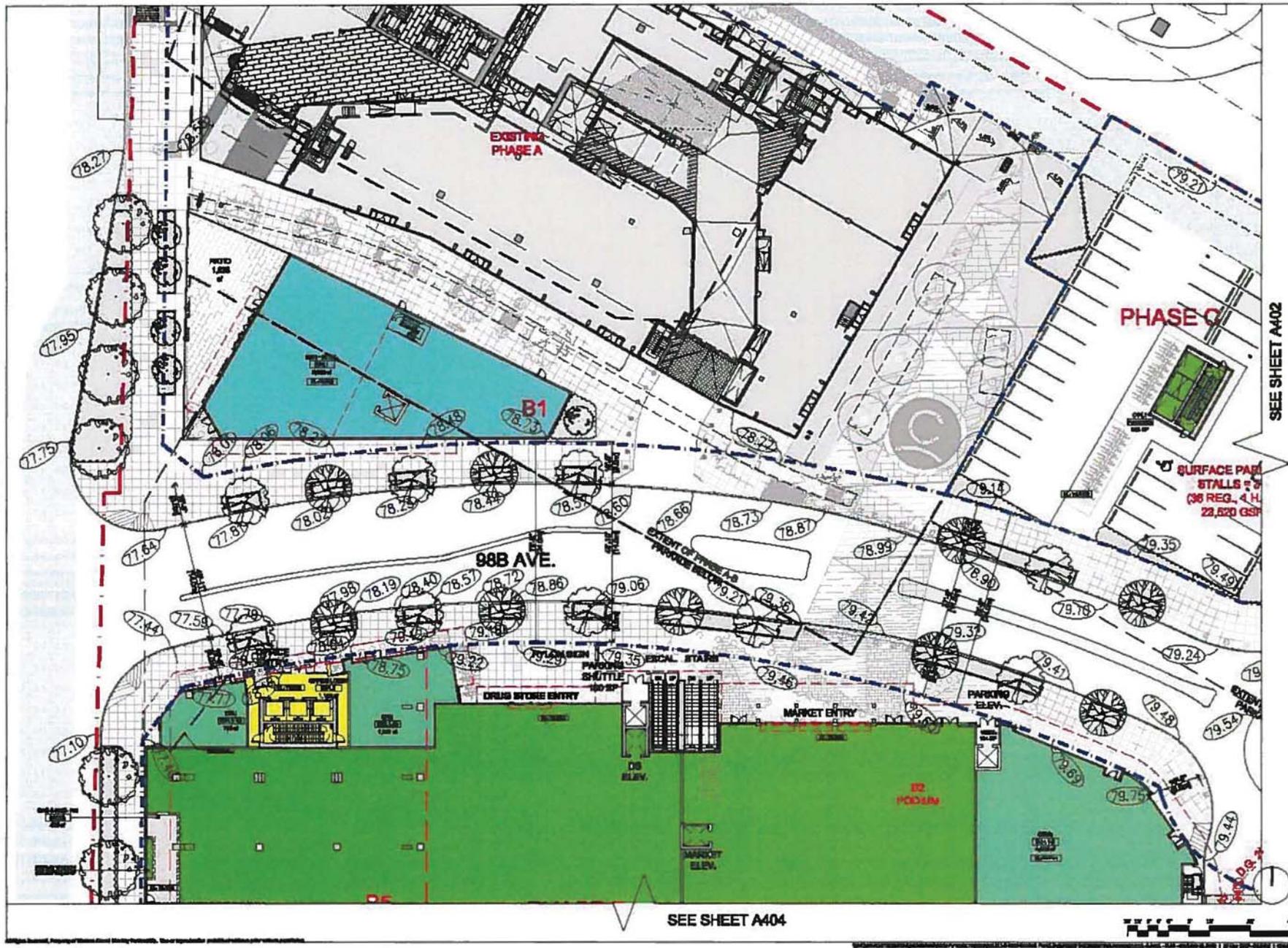
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A314

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Milken
Cattell
Marley
Partnership

Architect: Stephen Frazee
1001 - 7th Street West
1000 - 10th Street West
1000 - 11th Street West
1000 - 12th Street West
1000 - 13th Street West
1000 - 14th Street West
1000 - 15th Street West

PCI



SEE SHEET A402

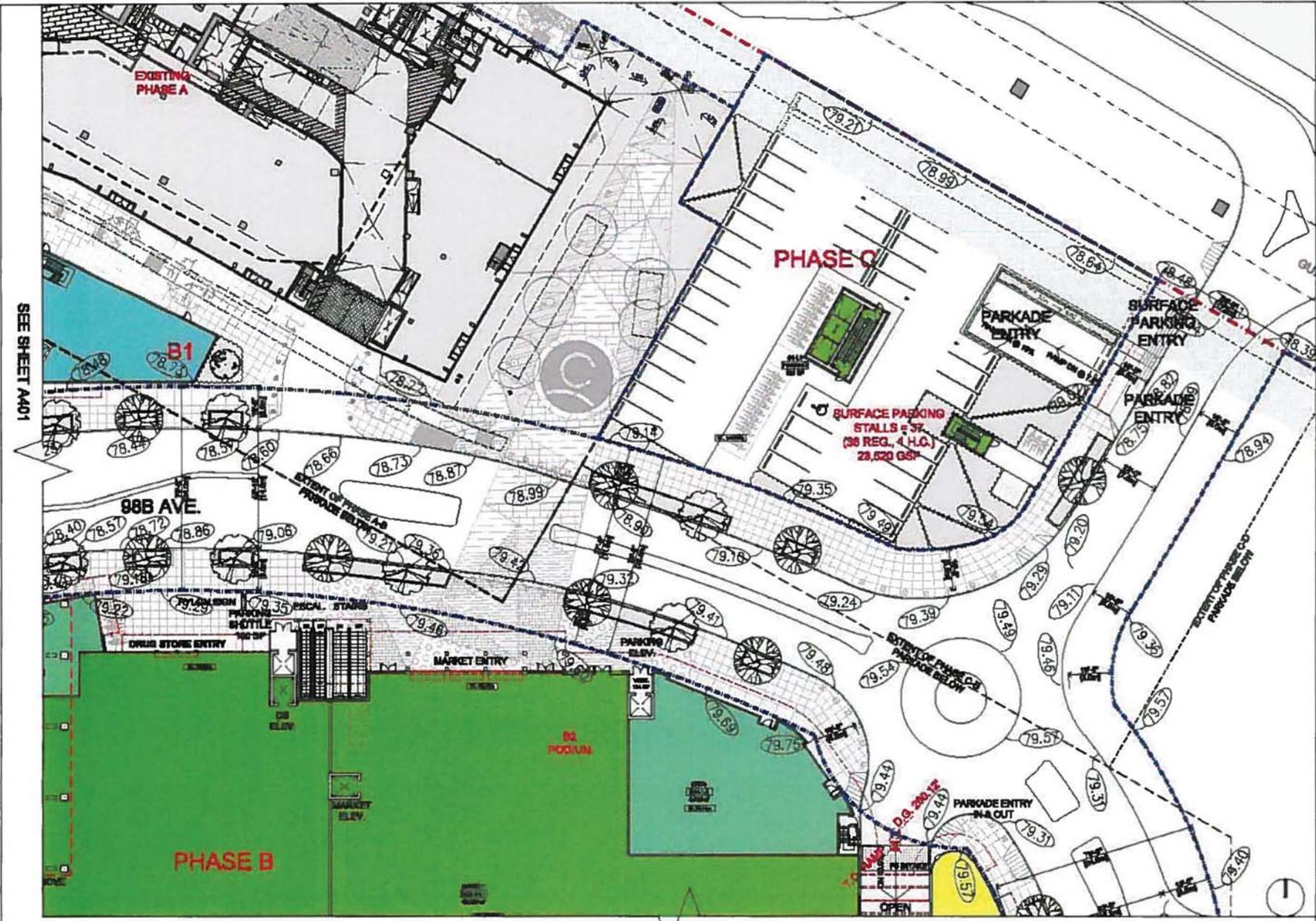
SEE SHEET A404

DATE: 11/11/2011

PROJECT: KING GEORGE HUB PHASE B

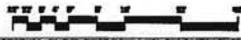
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PROJECT: KING GEORGE HUB PHASE B

DATE: 11/11/2011
PROJECT: KING GEORGE HUB PHASE B
SHEET: A401



SEE SHEET A401

SEE SHEET A403



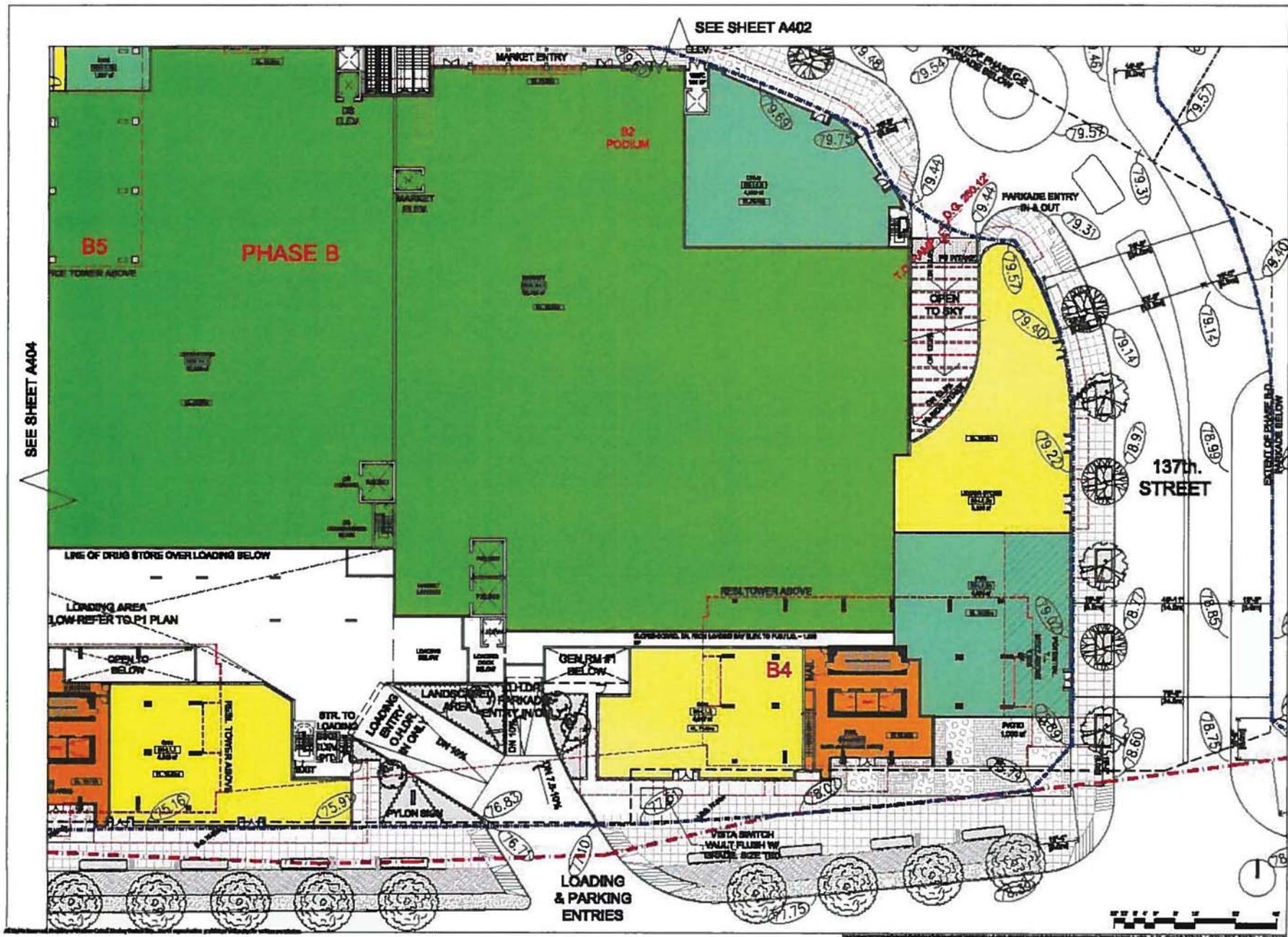
DATE	
REVISION	
NO.	
DESCRIPTION	

PROJECT
KING GEORGE HUB
PHASE B

GROUND LEVEL
B1-L1, B2-M1,
B2-L1, C1-L1

DATE
1/27/11

PROJECT NO.
A402



IN	BY
DATE	DESCRIPTION

Scale

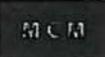
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Project

King George Hur
Phase B

Sheet

A403



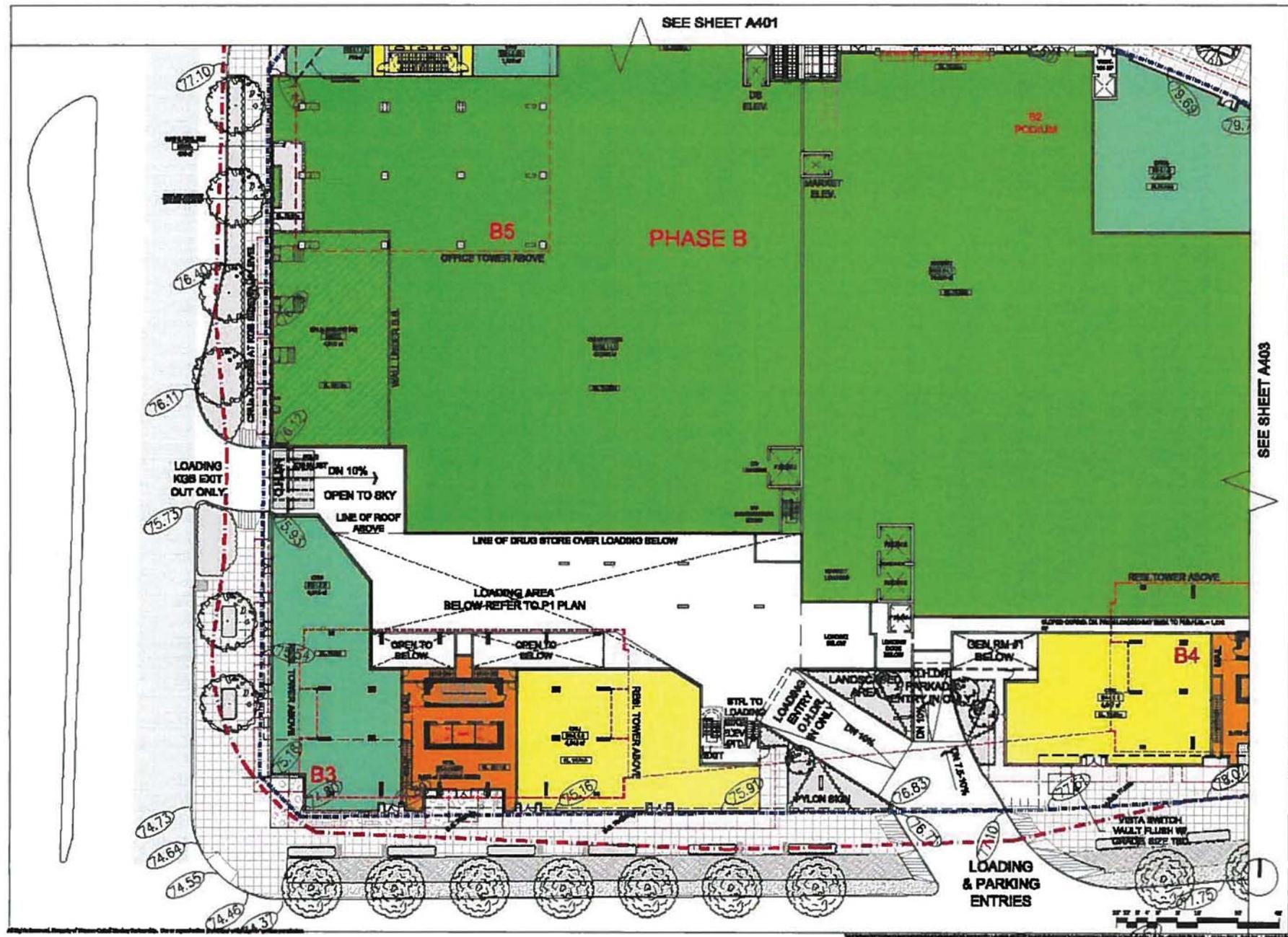
**Mason
Cottell
McDey
Partnership**

Architect-Engineer-Planner
1999 - The National Center
222 Second Street, Suite 200
Westminster, Colorado 80030
Phone: 303.440.1900
F: 303.440.2000
T: 303.440.1331
MCA@aec.com

PCI

SEE SHEET A401

SEE SHEET A403



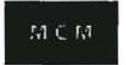
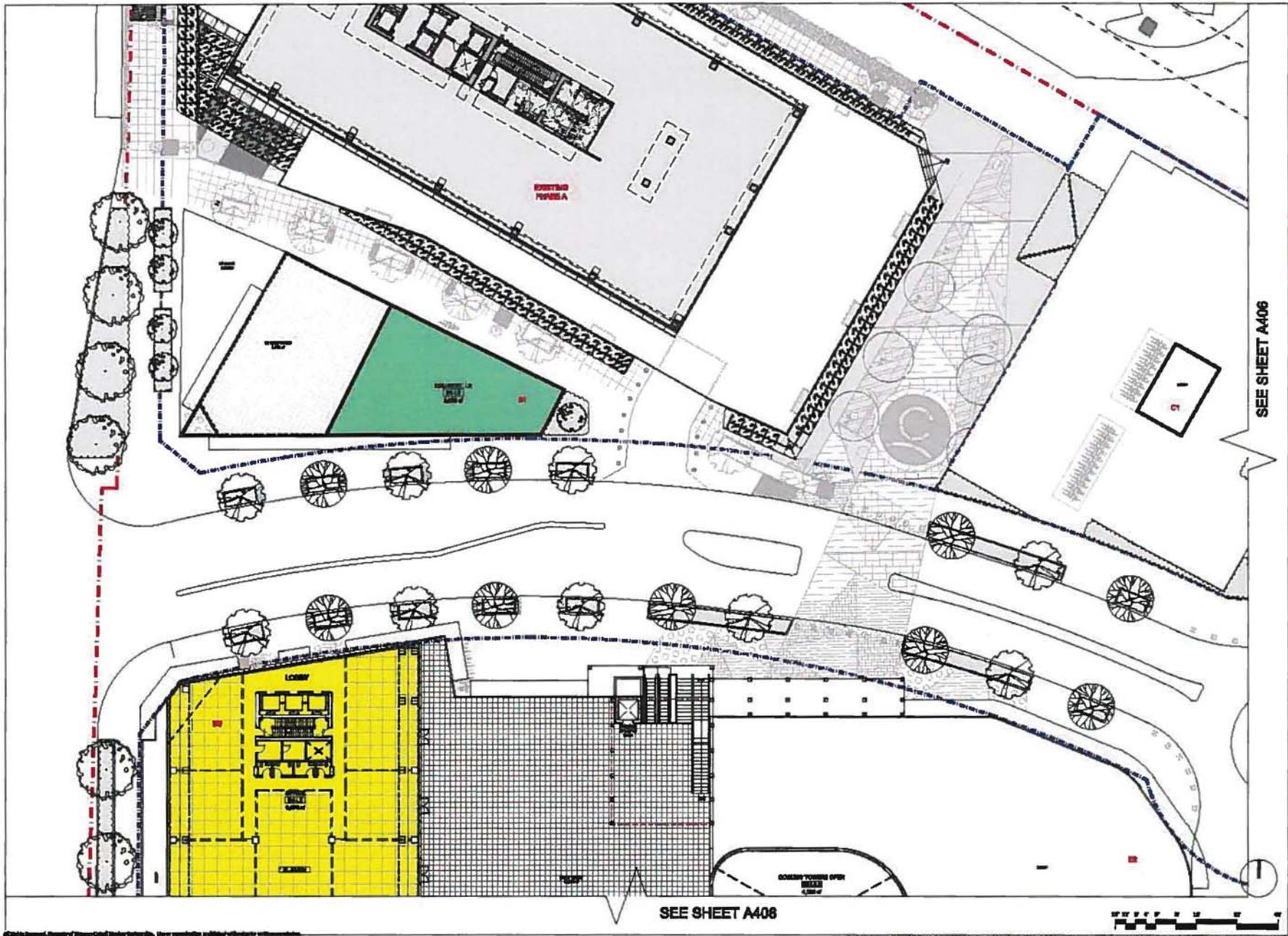
NO ARCHITECTURAL
REVISIONS TO BE MADE
DATE: 08/20/08

Project
**KING GEORGE HUB
PHASE B**

Level
**GROUND LEVEL
B2-101, B2-11,
B3-11 & B4-11**

Scale
Date: 10/11/08
Drawn by: MCD/AM

Sheet
A404



**Hanson
Cottrell
Medley
Partnership**

Architects/Engineers/Planners
1000 - Two Southside Center
433 Summit Street, Box 2041
Huntington, West Virginia
Phone: 773 1800
E-Mail: hcm@hcm.com
www.hcm.com

PCI

DATE: 08/11/11
DRAWN BY: [signature]

DATE: 08/11/11
PROJECT: KING GEORGE HUB
PHASE B

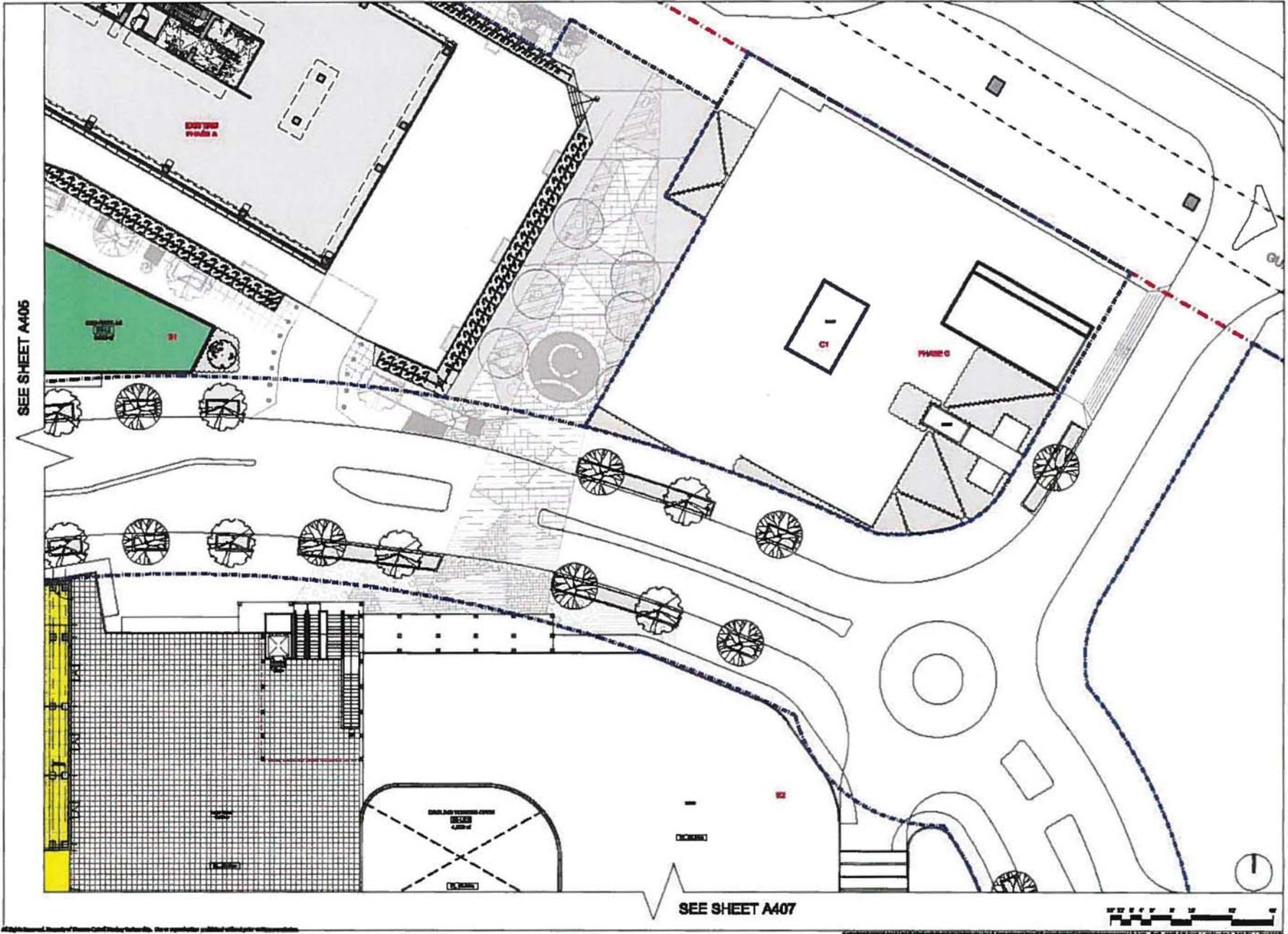
PROJECT: MASTERPLAN
EX-ROOF, B3-L2
& B5-L2

DATE: 08/11/11
SCALE: 1/8" = 1'-0"
SHEET: A405

SEE SHEET A406

SEE SHEET A408





**Museum
Cottrell
Machinery
Partnership**

Architect: **Perkins+Will**
 1000 - Two World Center
 233 Grand Street, Suite 2000
 New York, New York 10038
 Phone: 212 512 2000
 F: 212 512 1991
 MCMPerkins.com

PCI

DATE: 10/20/11
 DRAWN BY: [unintelligible]
 CHECKED BY: [unintelligible]

Sheet
**KING GEORGE HUB
 PHASE 5**

Project
**MASTERPLAN
 BS-ROOF, BS-L2
 CI-ROOF & BS-L2**

Scale
 1/8" = 1'-0"
 1/4" = 3'-0"
 1/2" = 6'-0"
 1" = 12'-0"
A406



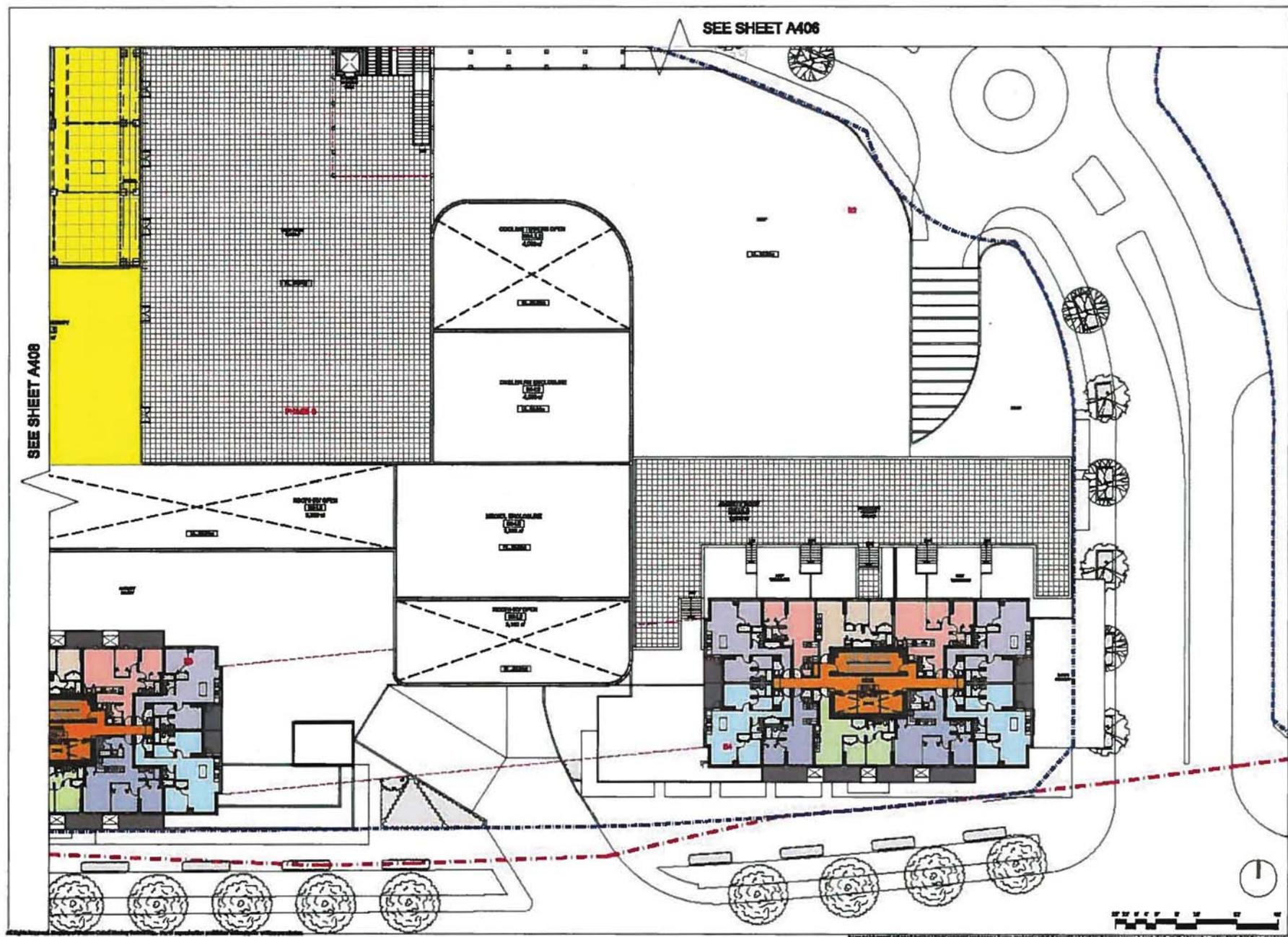
**Mason
Cottell
Mackey
Partnership**

Architect Registration Number
1890 - The Central Office
333 Howard Street, Suite 300
Newport, Rhode Island
02840
Phone: 401.863.2000
Fax: 401.863.1771
MCMPartnership.com

PCI

SEE SHEET A406

SEE SHEET A408



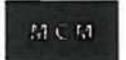
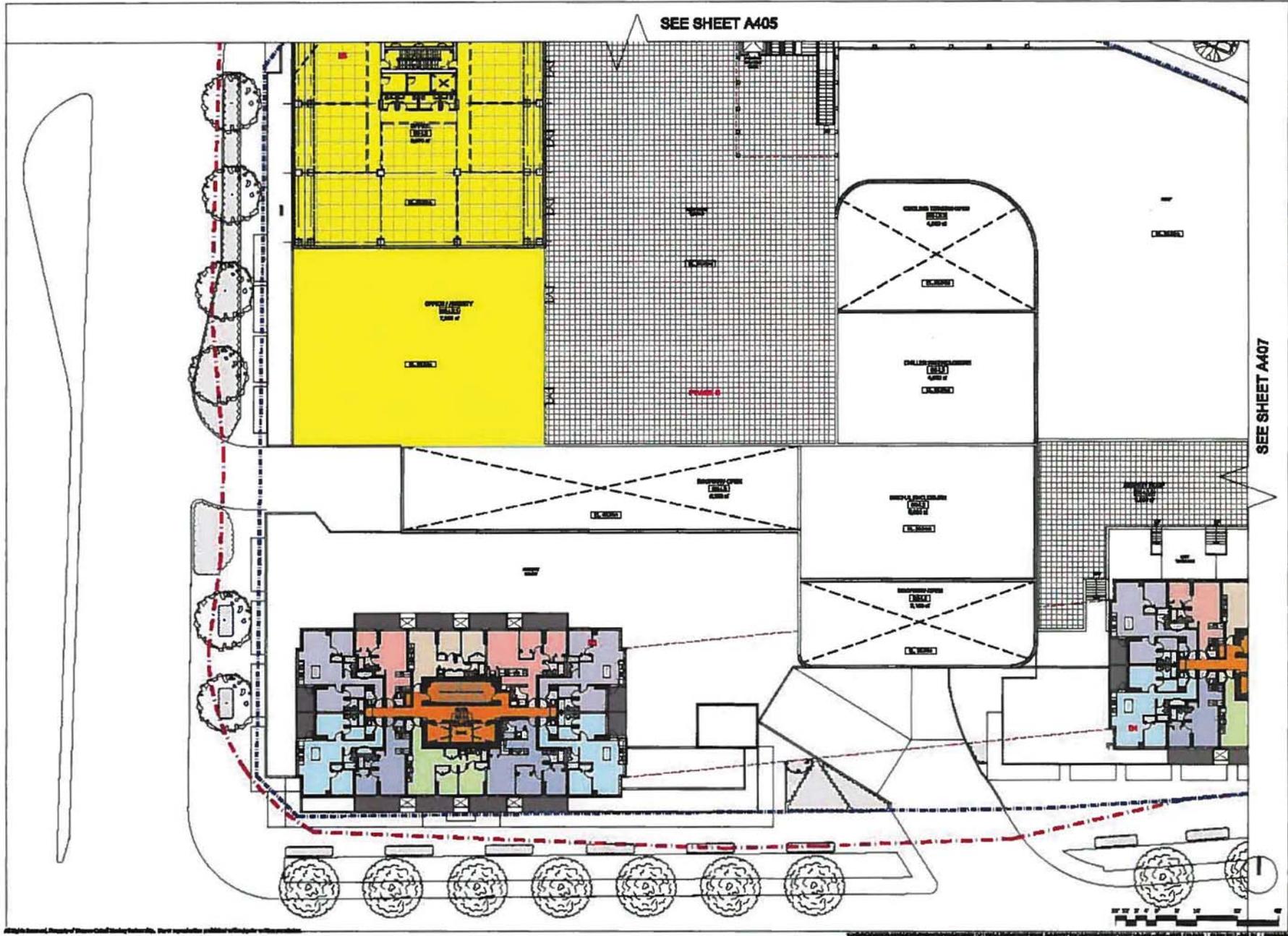
NO ARCHITECTURAL
DETAILS TO BE SHOWN

NO
KING GEORGE HUB
PHASE B

MASTERPLAN
B3-12, B3-14,
B4-13 & B5-12

Scale
Date: 1/27/10
Scale: 1/8" = 1'-0"

Sheet
A407



**Mission
Cattle
Machinery
Partnership**

Architect: **PCI**
 1880 - The South Centre
 455 Second Street, Suite 200
 Vancouver, British Columbia
 Canada V7Y 1R8
 T: 604-682-2000
 F: 604-682-1771
 PCI@pcifirm.com

PCI

Scale: 1/8" = 1'-0"

Client: **MRG GEORGE HUB
PHASE B**

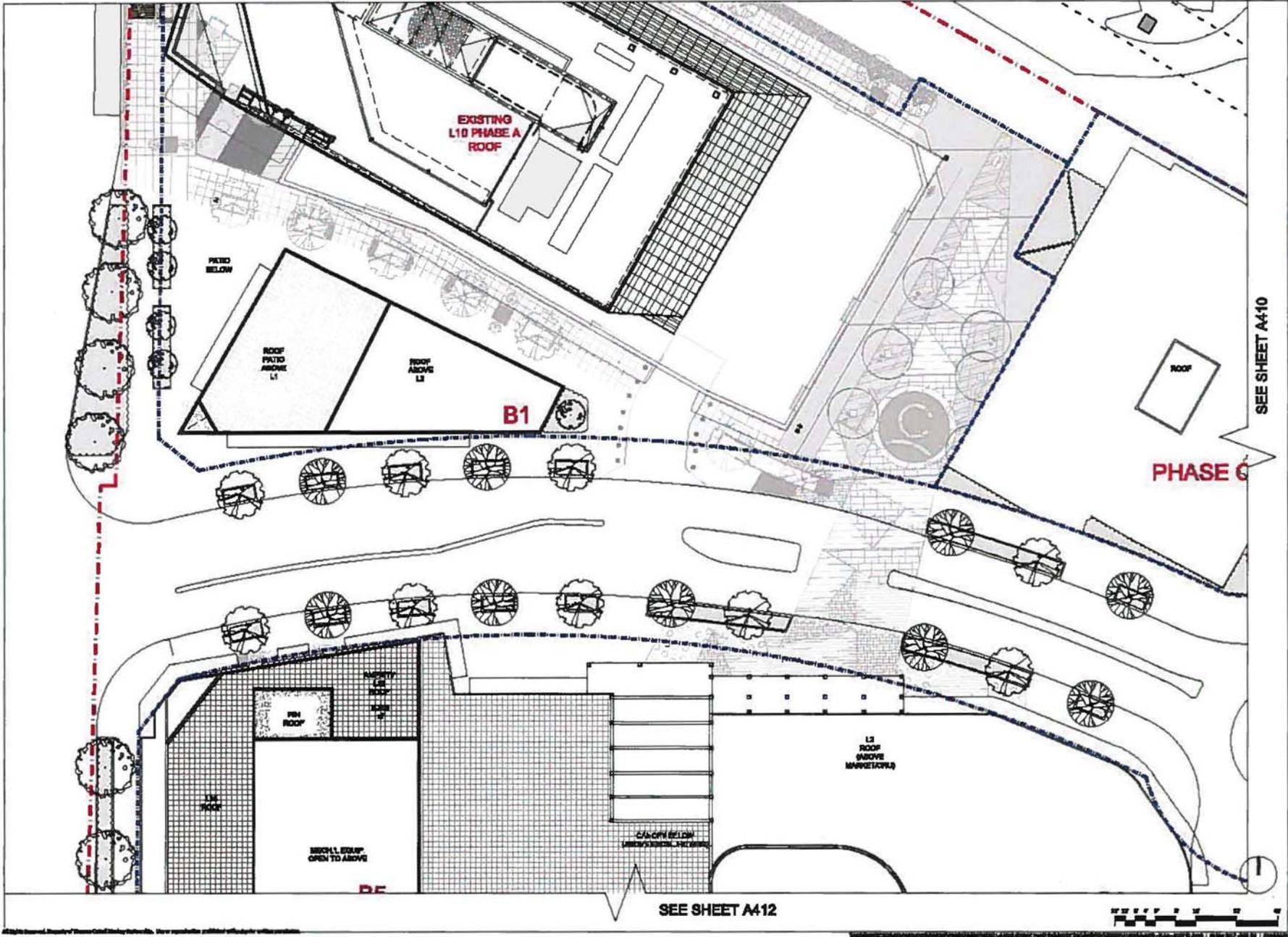
Project: **MASTERPLAN
B2-L2, B5-L4,
B4-L3 & B5-L2**

Drawn: **LMP-PJP**
 Check: **DM/SLP**

Sheet: **A408**

SEE SHEET A407

SEE SHEET A405



SEE SHEET A410

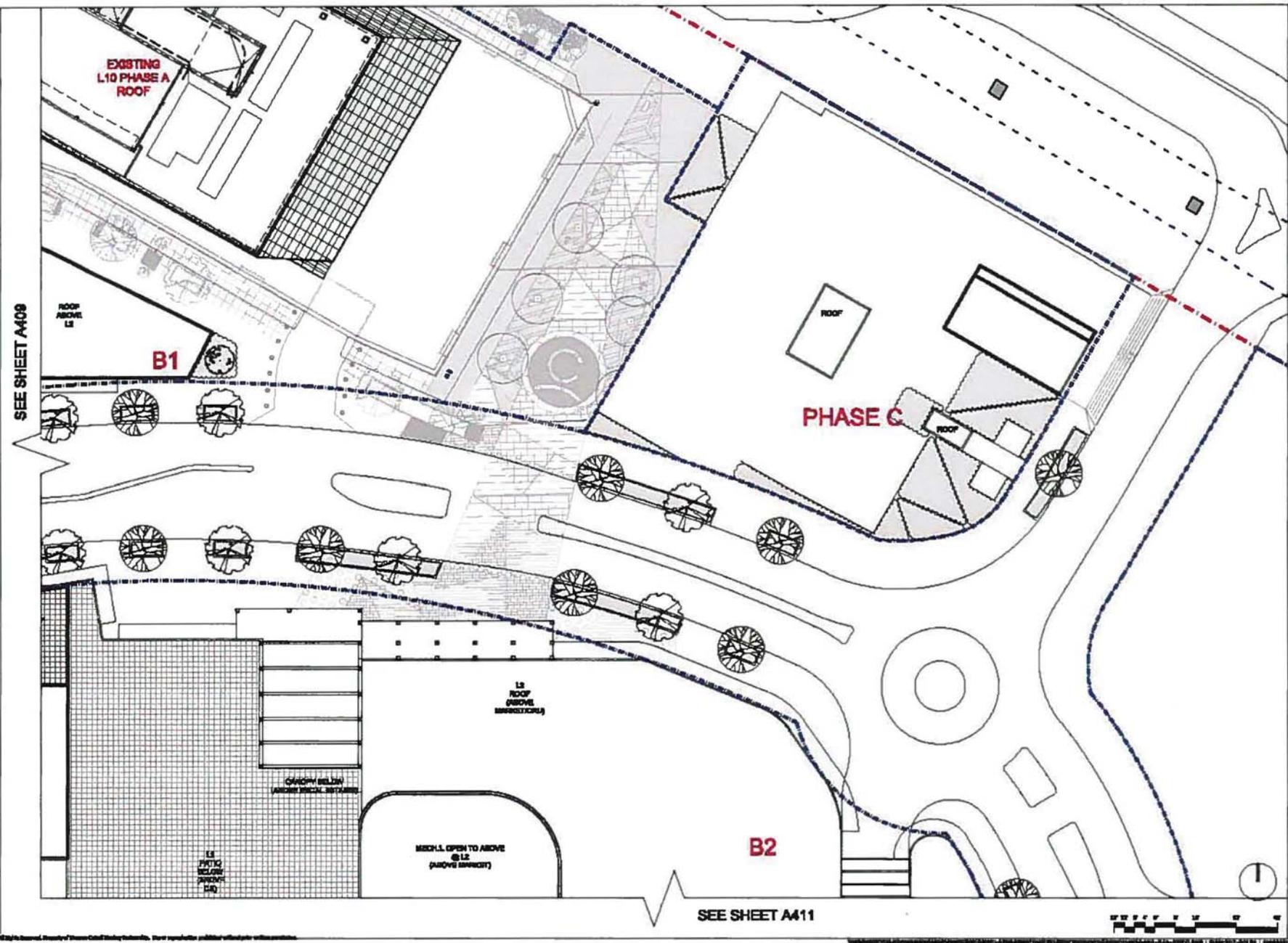
SEE SHEET A412

1:100 SCALE
DATE: 10/10/2011
DRAWN BY: MCM

Site
**KING GEORGE HUB
PHASE B**

Level
ROOF LEVEL

Scale
Date: 10/10/2011
Project: 2008120
Sheet: **A409**



DATE: 10/20/2017
BY: [signature]
CHECKED BY: [signature]

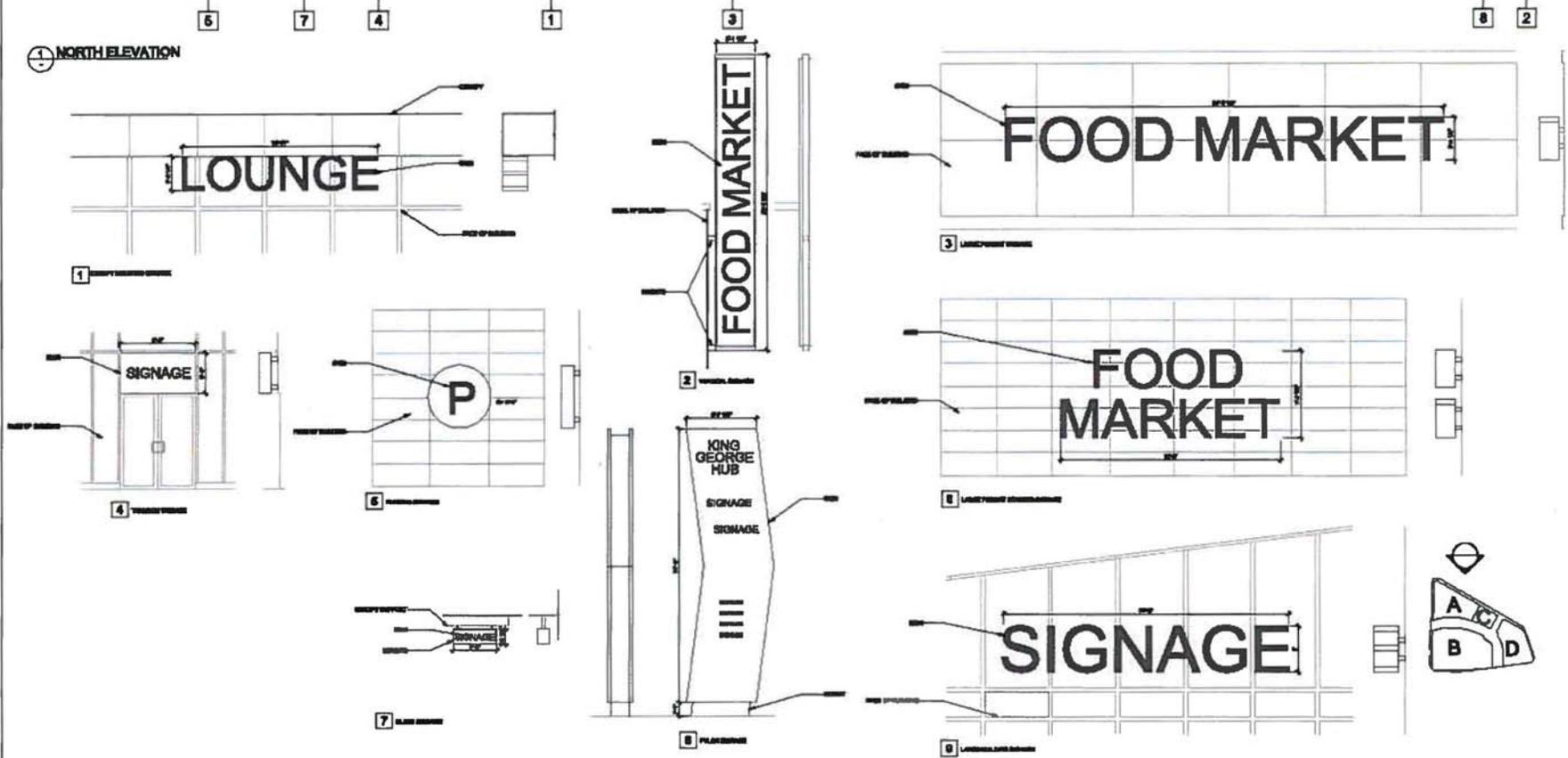
PROJECT: KING GEORGE HUB PHASE B

SCALE: ROOF LEVEL

SHEET: A410
TOTAL SHEETS: 120P + P/P
DATE: 10/20/2017

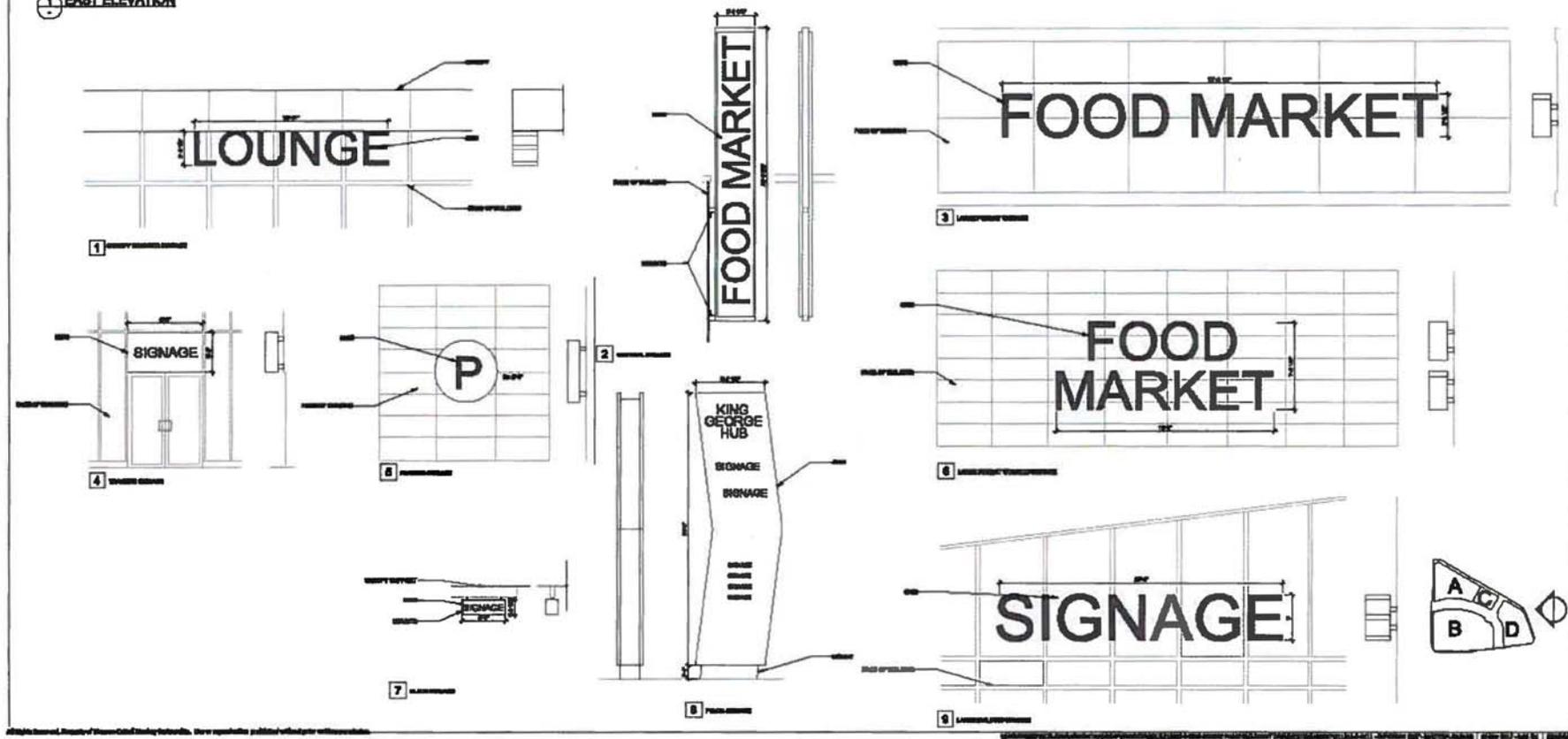


1 NORTH ELEVATION





1 EAST ELEVATION

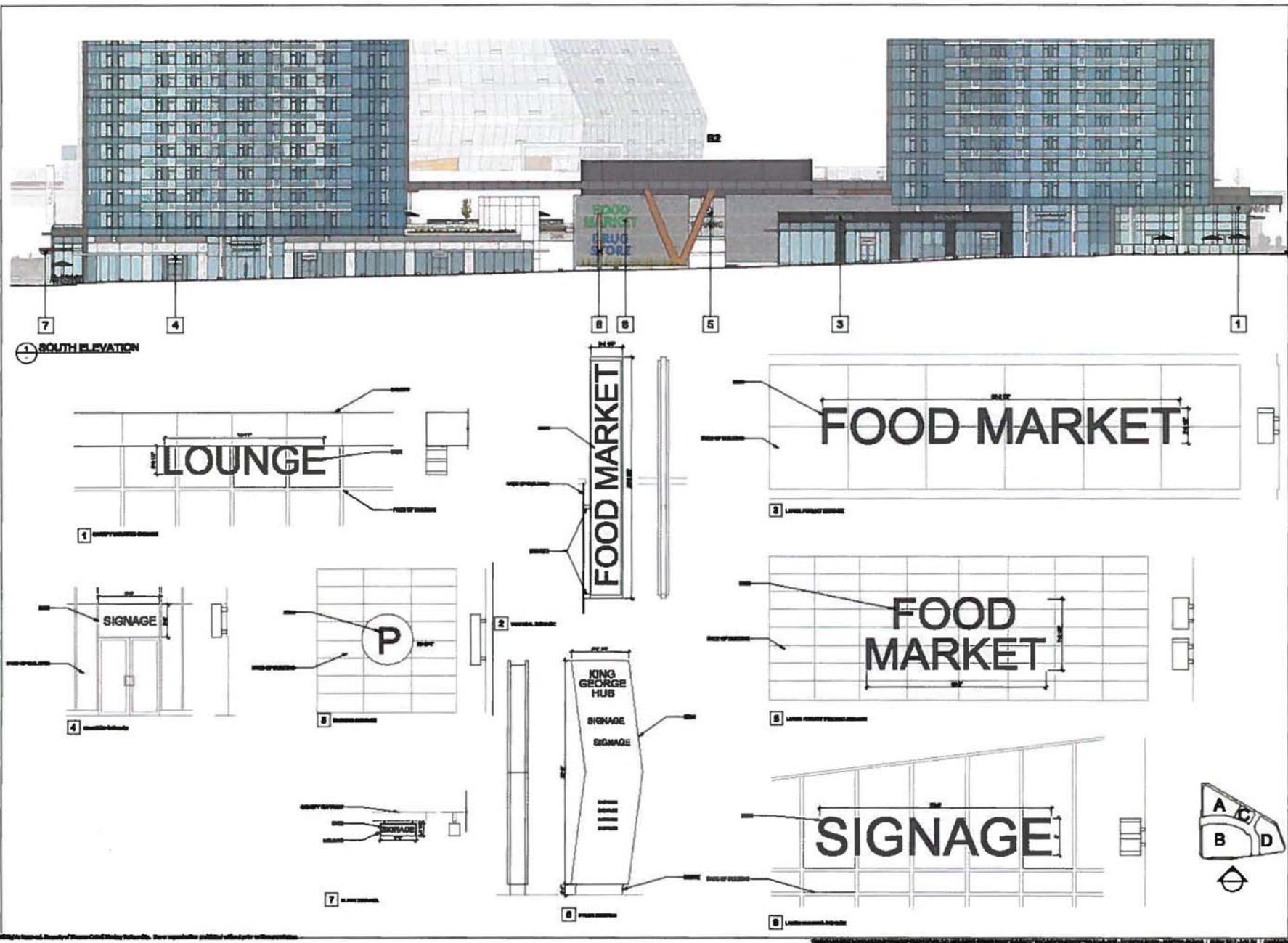


DATE: 01/20/2014
DRAWN BY: M. MADSEN
CHECKED BY: M. MADSEN

PROJECT:
KING GEORGE HUB
PHASE B

PROJECT:
MASTERPLAN
EAST ELEVATION
SIGNAGE

DATE: 01/20/14
BY: M. MADSEN
CHECKED BY: M. MADSEN
NO: A502



DATE: 10/15/14
 SCALE: AS SHOWN

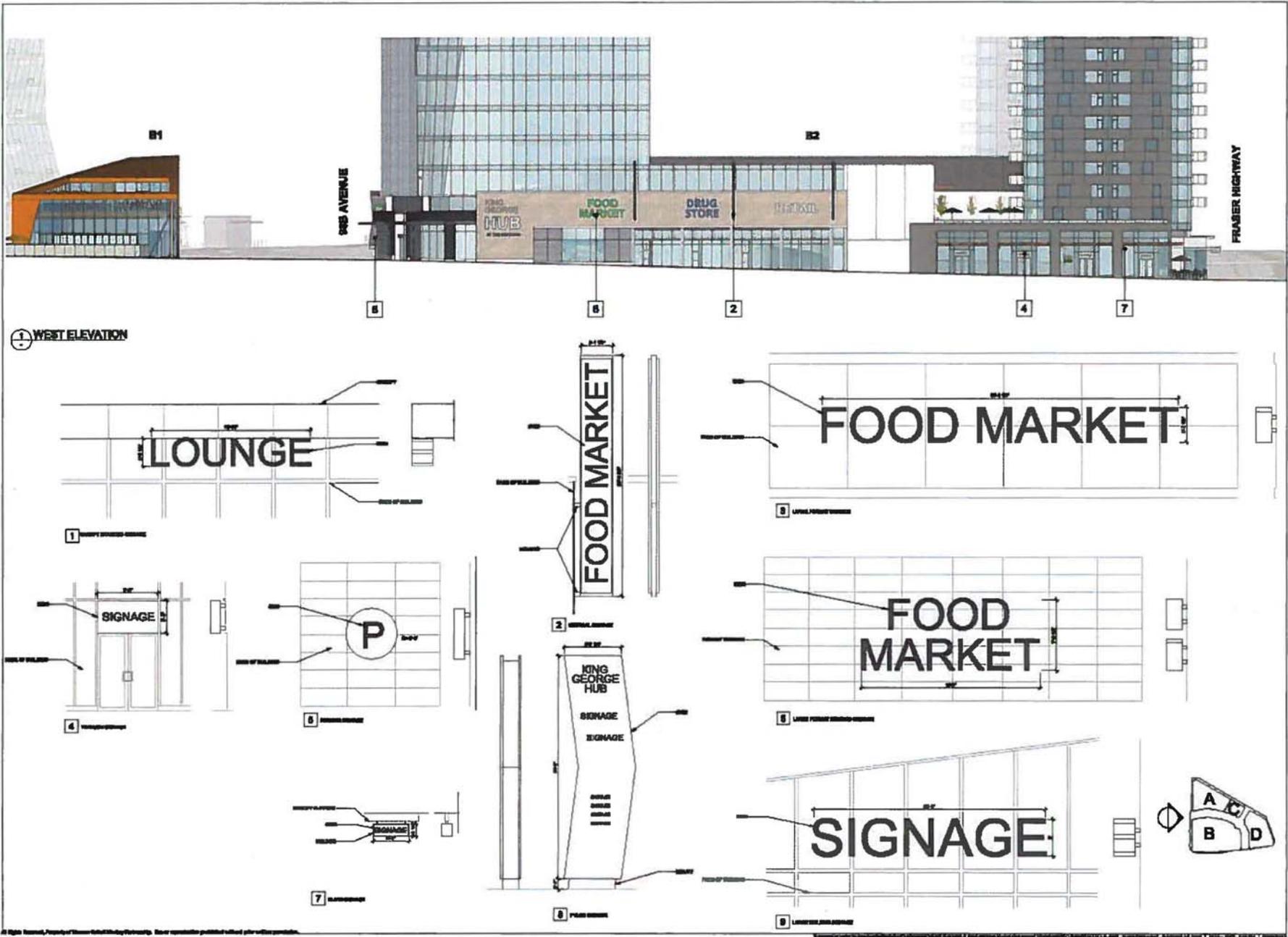
PROJECT: KING GEORGE HUB PHASE B

PROJECT: MASTERPLAN SOUTH ELEVATION SIGNAGE

DATE: 10/15/14
 SCALE: AS SHOWN
 SHEET: A503

**Mission
Castell
McClary
Partnership**
Architectural Design Firm
1000 - 10th Street East
1000 - 10th Street East, Box 100
Watsonville, CA 95086-0100
Phone: 831.847.1000
Fax: 831.847.1001
www.missioncastell.com

PCI



REVISIONS

NO.	DESCRIPTION	DATE

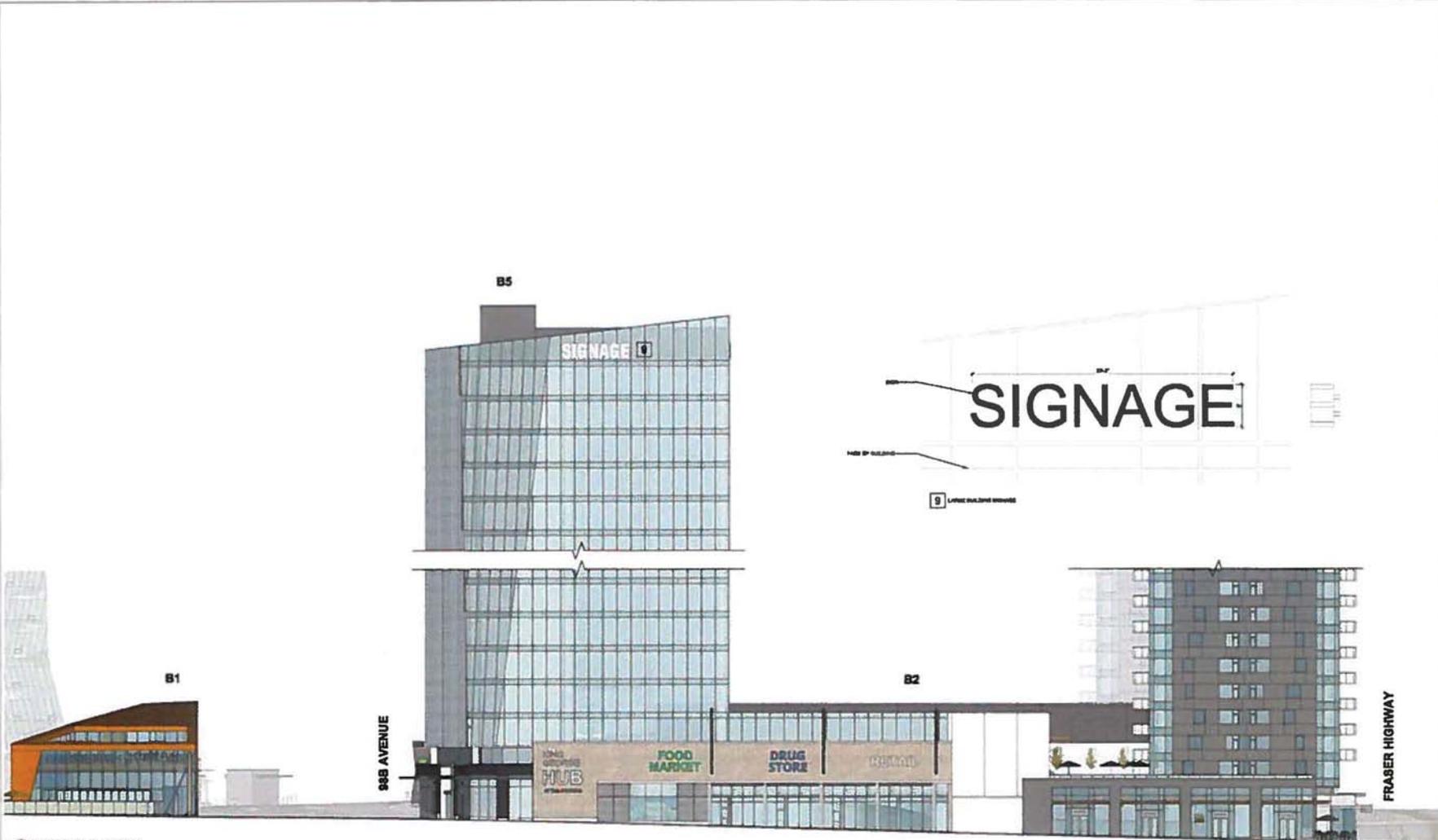
PROJECT
KING GEORGE HUB
PHASE B

**MASTERPLAN
WEST ELEVATION
SIGNAGE**

SCALE
1:500

DATE
2024.08.01

PROJECT NO.
A504



WEST ELEVATION

20 MARCH 2017
Client: PCI

King George Hub
Phase B

Project
MASTERPLAN
WEST ELEVATION
TOWER SIGNAGE

Scale
Date: 1/18/17
Project: 23308.L04
Sheet: A505

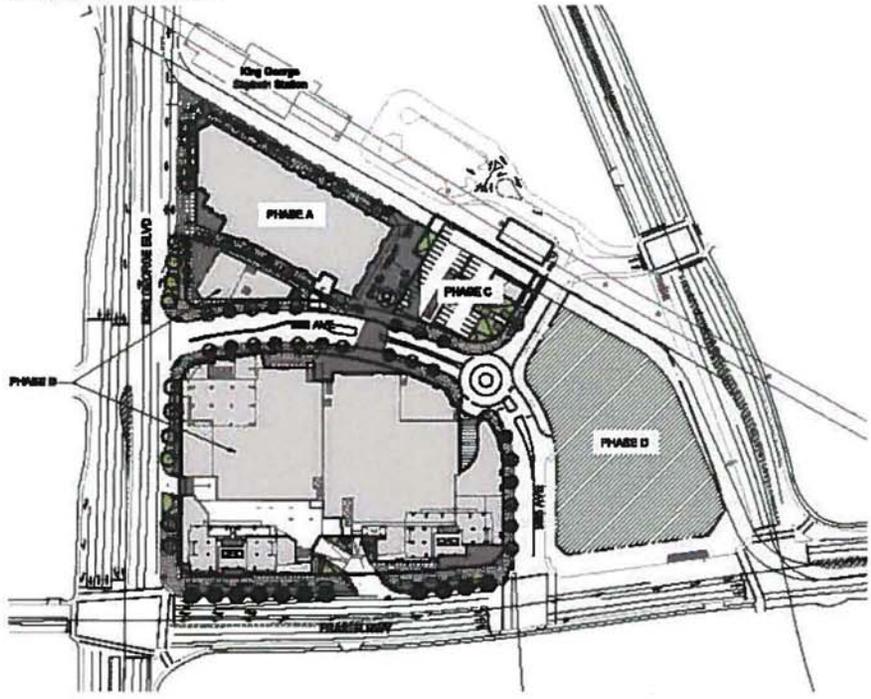
King George Hub - Phase B

Landscape Drawing - DP Submission

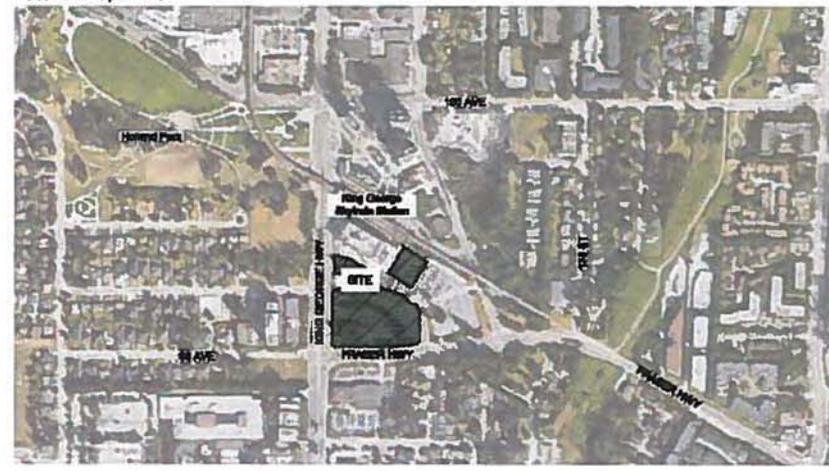
Contact Information van der Zande + associates inc. Commercial Landscape Architects Suite 1 - 2077 55th Avenue Langley British Columbia, V L 604 588 2024 F 604 588 2048 Primary contact: Mark Brown mark@vzai.com a 604 588 2024 ext	Other Key Contacts: PCI Development Corp. Owner 5700 - 1300 West George West Vancouver, BC V6S 2T3 L 604 694 1100 F 604 694 6660	Muzoon Cattan Mackay Partnership Project: Building Architecture 1600 - Two Market Centre 200 Burrard Street, Box 200 Vancouver, BC V7X 1A8 L 604 697 2000	Hub Engineering Civil Engineering Suite 101 - 7400 150 St Surrey BC V3W 1G9
Legal Address and Description: Lot 1, Section 28, Block 8 West, Stage 17 West New Westminster District Plan: DPV-2017-0001			

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	NOTES
L-03	TREE PROTECTION & REMOVAL PLAN
L-04	LANDSCAPE MASTER PLAN
L-05A	GROUND FLOOR LANDSCAPE & PLANTING PLAN - NORTH
L-05B	GROUND FLOOR LANDSCAPE & PLANTING PLAN - SOUTH
L-06	B3-L2 LANDSCAPE & PLANTING PLAN
L-07A	B3-L2, B3-L4, B4-L3, B5-L2 LANDSCAPE & PLANTING PLAN EAST
L-07B	B2-L2, B3-L4, B4-L3, B5-L2 LANDSCAPE & PLANTING PLAN WEST
L-08	ROOF LANDSCAPE & PLANTING PLAN
L-09	PHASE C LANDSCAPE & PLANTING PLAN
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS

Site Plan Overview - 1:1000



Location Map - NTS



van der Zande + associates inc.
Muzoon Cattan Mackay Partnership

Address: 2077 55th Avenue
 604 588 2024
 Vancouver, British Columbia
 Canada V3W 1A8
 F 604 588 2048
 E mark@vzai.com
 www.vzai.com

PCI

the HUB

van der Zande + associates inc.
 Commercial Landscape Architects
 Suite 1 - 2077 55th Avenue
 Langley British Columbia, V
 L 604 588 2024 F 604 588 2048

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Sheet
KING GEORGE HUB - PHASE B

COVER PAGE

Scale: 1:1000
 Date: 08/20/2017
 Project: 100000-01
 Sheet: **L-01**

CRITICAL LANDSCAPE NOTES:

PROJECT CONTACT:

1.1 Details regarding landscape drawings should be addressed to:

PRINICIPAL CONTACT:

Michelle W. Landscape Architect (mhw@wcl.ca)
P. 604 682 0234 x. 221 F. 604 682 0942

ALTERNATE CONTACT (ON BEHALF OF AGENCY):

Mark Van Zelm, Principal Landscape Architect and Landscape Architect of Record (mvan@wcl.ca)
P. 604 682 0234 x. 221 F. 604 682 0942 C. 604 682 2199

PROJECT COORDINATION:

1.1 The contractor is responsible for completing the landscape scope of work in accordance with the relevant standards, schedule of work, construction standards, specifications, and notes as defined under the "Minimum 1 Content Requirements" of the master specification (schedule).

DESIGNER AND SUPERVISOR:

1.1 The contractor, sub-contractor, and supervising subcontractors responsible for completing the landscape scope of work in accordance with the master specification package for the project in cooperation with all consultant drawings, including all notes.

1.2 Should any drawing or detail conflict with the master specification the contractor shall immediately notify the design team for clarification prior to order, preparation or installation of said conflicting work (app).

1.3 Examples of key specifications that relate to landscape are inclusive of:

- Division 1, General Requirements
- Division 2, Existing Conditions
- Division 3, Concrete
- Division 4, Masonry
- Division 6, Metals
- Division 8, Wood and Glazing
- Division 7, Thermal and Moisture Protection
- Division 11, Finishing and Coating
- Division 21, Earthwork
- Division 22, Exterior Improvements

1.4 The contractor is responsible for completing hard and soft landscape work as responsible for providing the landscape contractor with a complete "hard copy" of all notes or changes to work defined in the Landscape Drawings. This is in addition to any hard copy documents defined under Division 1. The project record copy package should be maintained with all hard copy if identified as a hard copy or in red coloured notes if identified as a PDF.

LANDSCAPE CONCRETE WORK:

1.4.1 All concrete shall conform to all standards identified under Division 3 of the master specification and specifications by the Civil Engineer (note to detail drawings, with references to SBCCO approved) (company).

1.4.2 Concrete reinforcing for vertical landscape walls in place walls shall comply with details and specifications defined in structural drawings.

1.4.3 All finished exterior concrete surfaces shall have a light brown finish or approved color unless specified otherwise.

1.4.4 All vertical concrete surfaces including of used in place walls shall have a light sand blast finish or approved color unless specified otherwise.

1.4.5 The contractor shall confirm the location of control joint following and expansion joints with the landscape architect prior to installation for concrete paving surfaces and walls.

UNIT FINISHES:

1.1 Present concrete wall finishes or natural stone and present must be provided in a 2m x 2m "tag" on site a minimum 2 weeks prior to order of materials for approval by the landscape architect. This work-up should be included on per manufacturer's specifications and include any finishing methods, products, grade or surface specified in project drawings or specifications. Gravel, sand, mortar, or products that require drying time must have been installed a minimum 48 hours prior to the time of review by the landscape architect.

1.2 All approved wall paving and bedding or joining materials should be installed on per manufacturer's specifications.

1.3 Professionals should be detailed and experienced (minimum 5 years) in installing paving products specified in landscape drawings.

METALS:

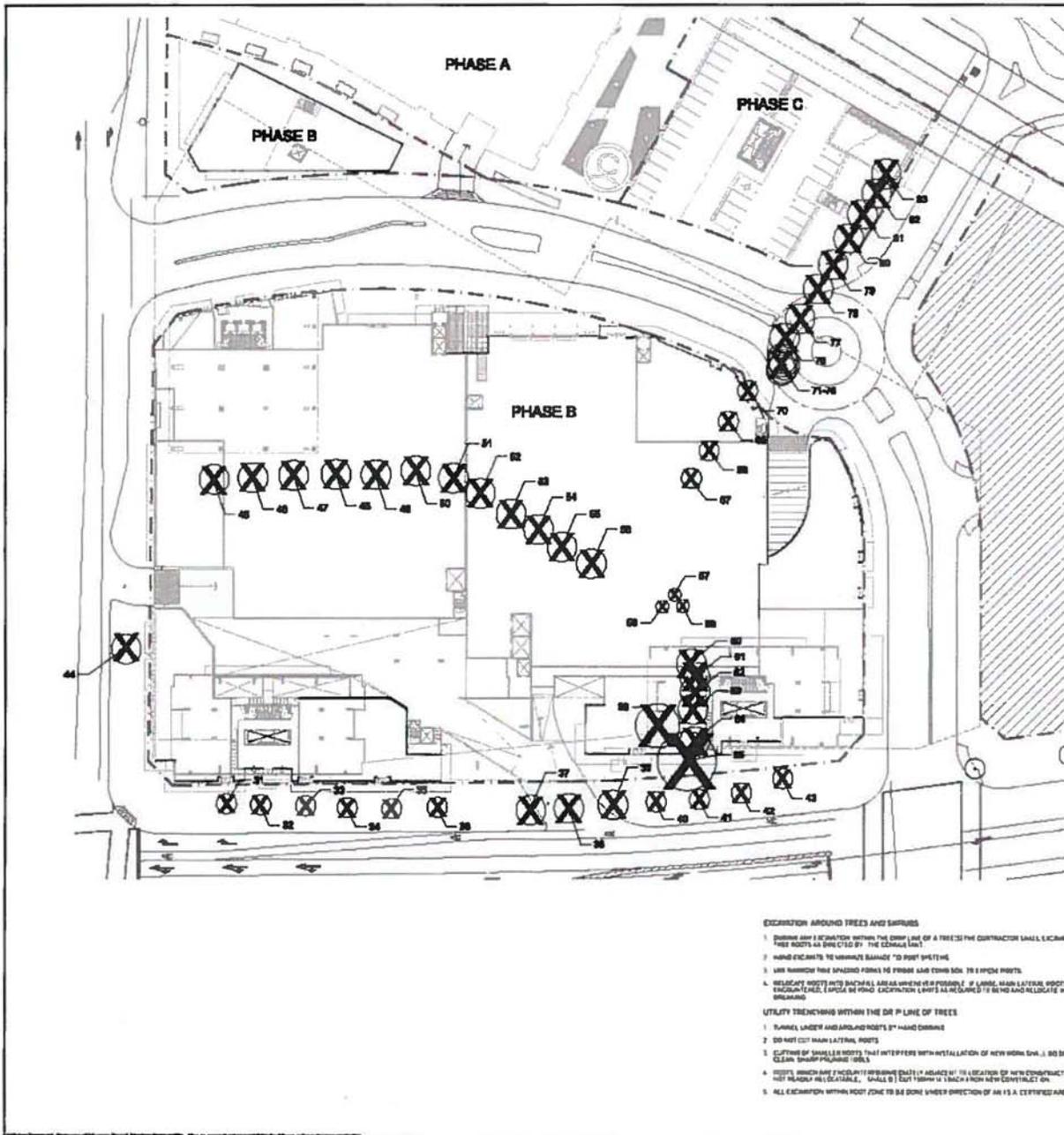
1.1 All metal work shall conform to Division 6 of the master specification for the project (schedule).

1.2 Additional references that apply to metal work (may not necessarily be

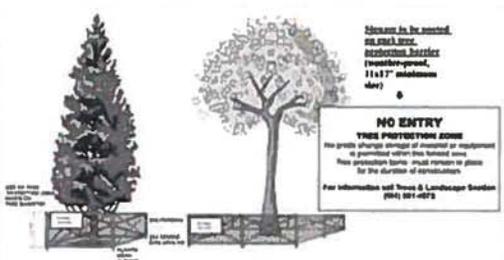
included under Division 6)

SPCO NOTE:

- 1 ACQUA SYSTEMS for Testing and Materials International, (ASTM).
- 1 ASTM A888M, 1.28, 1.30, 1.31, 1.32, 1.33, 1.34, 1.35, 1.36, 1.37, 1.38, 1.39, 1.40, 1.41, 1.42, 1.43, 1.44, 1.45, 1.46, 1.47, 1.48, 1.49, 1.50, 1.51, 1.52, 1.53, 1.54, 1.55, 1.56, 1.57, 1.58, 1.59, 1.60, 1.61, 1.62, 1.63, 1.64, 1.65, 1.66, 1.67, 1.68, 1.69, 1.70, 1.71, 1.72, 1.73, 1.74, 1.75, 1.76, 1.77, 1.78, 1.79, 1.80, 1.81, 1.82, 1.83, 1.84, 1.85, 1.86, 1.87, 1.88, 1.89, 1.90, 1.91, 1.92, 1.93, 1.94, 1.95, 1.96, 1.97, 1.98, 1.99, 2.00, 2.01, 2.02, 2.03, 2.04, 2.05, 2.06, 2.07, 2.08, 2.09, 2.10, 2.11, 2.12, 2.13, 2.14, 2.15, 2.16, 2.17, 2.18, 2.19, 2.20, 2.21, 2.22, 2.23, 2.24, 2.25, 2.26, 2.27, 2.28, 2.29, 2.30, 2.31, 2.32, 2.33, 2.34, 2.35, 2.36, 2.37, 2.38, 2.39, 2.40, 2.41, 2.42, 2.43, 2.44, 2.45, 2.46, 2.47, 2.48, 2.49, 2.50, 2.51, 2.52, 2.53, 2.54, 2.55, 2.56, 2.57, 2.58, 2.59, 2.60, 2.61, 2.62, 2.63, 2.64, 2.65, 2.66, 2.67, 2.68, 2.69, 2.70, 2.71, 2.72, 2.73, 2.74, 2.75, 2.76, 2.77, 2.78, 2.79, 2.80, 2.81, 2.82, 2.83, 2.84, 2.85, 2.86, 2.87, 2.88, 2.89, 2.90, 2.91, 2.92, 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TREE CUTTING PERMIT:
 (CONTRACTOR TO OBTAIN TREE PROTECTION PERMIT FROM CITY ENGINEER AND THE PUBLIC'S ACQUISITION BY THE CITY OF KINGS GEORGE. THIS PERMIT MUST BE OBTAINED PRIOR TO THE START OF ANY TREE REMOVAL WORK.)



- TREE BARRIER INSTALLATION**
1. 1.2 m (4') height
 2. 2" x 4" to be used for vertical posts, top and bottom rails and cross-bracing (in an "X") to resist compression vertical posts may be used with a minimum diameter of 4 cm
 3. Spacing between vertical posts to be no further apart than 3.1 m (10') in center
 4. Structure must be sturdy with vertical posts driven firmly into the ground
 5. Continuous plastic mesh screening (e.g. orange mesh fencing)
 6. Painted with visible signage advising that encroachment inside the protected area is forbidden
 7. Located at distances based on tree diameter, see table below.

Trunk Diameter (DBH) measured at 1.4 m from the ground	Critical Root Zone minimum fence distance from the tree
20 cm (7 7/8")	1.2 m (3' 9")
25 cm (9 7/8")	1.5 m (4' 9")
30 cm (11 3/4")	1.8 m (5' 9")
35 cm (13 3/4")	2.1 m (6' 9")
40 cm (15 3/4")	2.4 m (7' 9")
45 cm (17 3/4")	2.7 m (8' 9")
50 cm (19 3/4")	3.0 m (9' 9")
55 cm (21 3/4")	3.3 m (10' 9")
60 cm (23 3/4")	3.6 m (11' 9")
75 cm (29 3/4")	4.5 m (14' 9")
90 cm (35 3/4")	5.4 m (17' 9")
100 cm (39 3/4")	6.0 m (19' 9")

• For distances not on this table divide the DBH (in cm) by 10A.
 • Example: 80 cm ÷ 10A = 8.0 m

TREE RETENTION CARE DURING CONSTRUCTION
 TREES WITHIN THE TREE PROTECTION BARRIER MUST BE MAINTAINED FOR PROTECTION OF THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE TREE PROTECTION BARRIER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE TREE PROTECTION BARRIER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE TREE PROTECTION BARRIER THROUGHOUT THE CONSTRUCTION PERIOD.

- TREE PROTECTION NOTES**
- NOTE:
1. DO NOT REMOVE OR DAMAGE A RETAINED TREE OR REPLACEMENT TREE EXCEPT IN COMPLIANCE WITH THIS PLAN.
 2. DO NOT REMOVE A TREE WITHOUT FIRST OBTAINING A TREE PERMIT.
 3. DO NOT CUT A TREE WITHIN THE DRAINAGE OF A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
 4. DO NOT REMOVE BARK FROM A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
 5. DO NOT SCALE ANY OTHER DAMAGE TO A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
 6. NO PERSON SHALL ALTER THE EXISTING GRADE AROUND A RETAINED TREE EXCEPT THAT A PERSON MAY ALTER THE GRADE OF THE WORKING ZONE OF A TREE TO A MAXIMUM OF 150 mm (6") ABOVE THE FINISHED GRADE OF THE TREE FROM THE POINT OF THE DRAINAGE OF THE TREE.

- TREE PROTECTION:**
1. ALL RETAINED TREES AND ALL REPLACEMENT TREES MUST BE PROTECTED BY A TREE PROTECTION BARRIER CONSTRUCTED, LOCATED AND MAINTAINED IN ACCORDANCE WITH SCHEDULE A.
 2. NO PERSON SHALL COMMENCE CONSTRUCTION LAUNCH AND LAUNCH THE TREE PROTECTION BARRIER SHALL BE IN PLACE IN COMPLIANCE WITH SCHEDULE A.
 3. ANY TREE WHICH IS LOCATED WITHIN THE TREE PROTECTION BARRIER SHALL BE MAINTAINED AND ADAPTED TO A NEW LOCATION SHALL BE PROTECTED BY A TREE PROTECTION BARRIER ON THE SITE IN ACCORDANCE WITH SCHEDULE A. EXCEPT THAT THE TREE PROTECTION BARRIER SHALL NOT BE LOCATED WITHIN THE BOUNDARY OF THE SITE OR THE EXISTING OR NEW CONSTRUCTION DISTANCE BETWEEN THE BOUNDARY OF THE SITE AND THE PROTECTED TREE, OR 150 mm (6").
 4. DO NOT STORE ANY MATERIALS OR EQUIPMENT WITHIN OR ADJACENT TO THE TREE PROTECTION BARRIER.

- NOTE:**
1. TREE PROTECTION BARRIERS MUST BE AT LEAST 1.2 M HIGH AND CONSTRUCTED OF 2" X 4" OR 4" X 4" DIMENSIONAL LUMBER OR EQUIVALENT. THE BARRIERS SHALL BE MAINTAINED TO PROTECT TREES, EXCEPT WHERE THE BARRIERS ARE PARTIALLY LOCATED ON A STREET OR LAWN. A SIGNPOST OR SIGN SHALL BE PLACED AT ALL CORNERS OF THE BARRIER.
 2. AFTER THE PROTECTION BARRIER HAS BEEN INSTALLED THEY MUST BE REVIEWED BY PROJECT ARCHITECT.
 3. BARRIERS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BARRIERS THROUGHOUT THE CONSTRUCTION PERIOD.

KING GEORGE HUB

Historic Cultural Mainway Partnership

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PCI

the HUB

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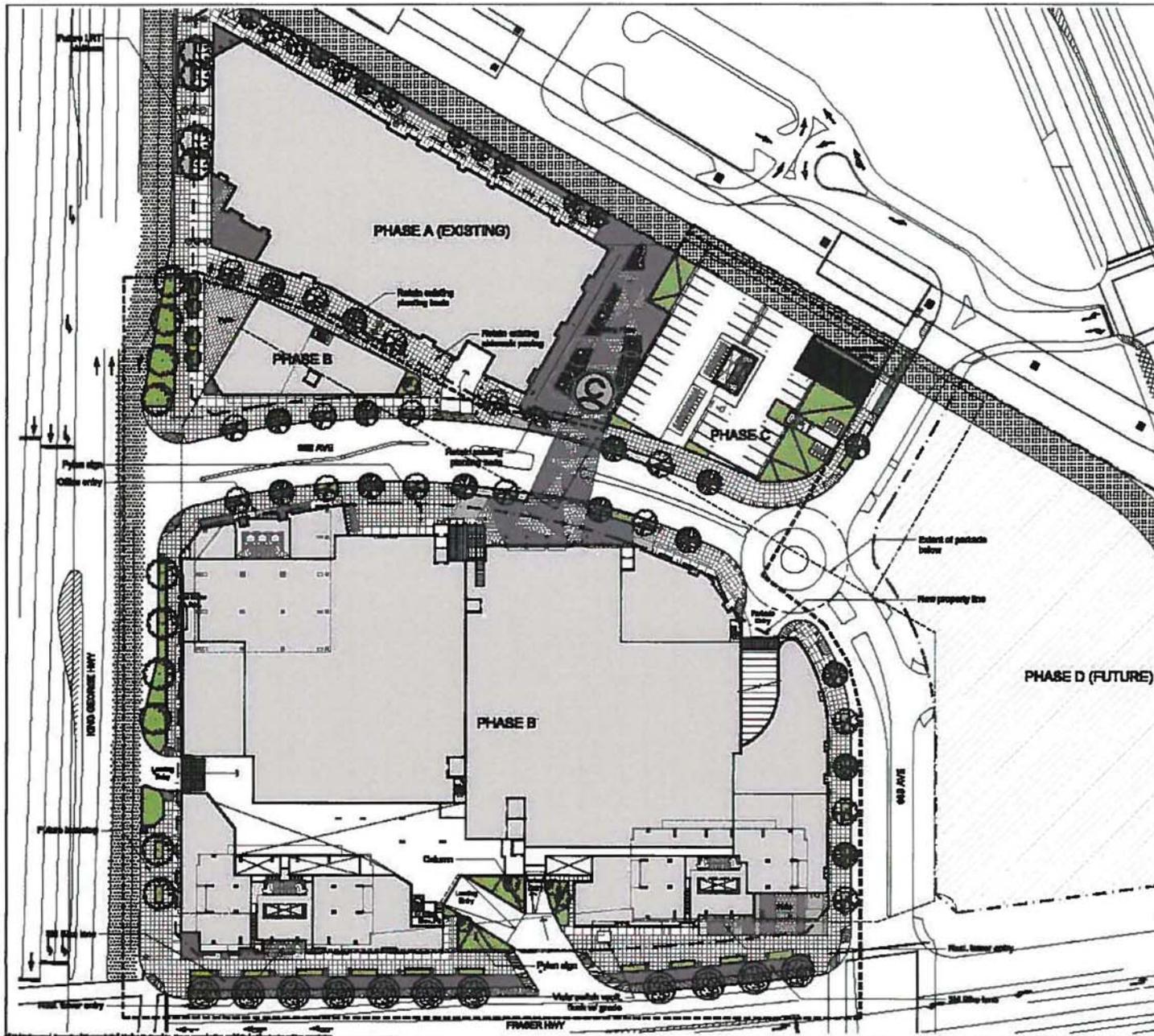
KING GEORGE HUB - PHASE B

Tree Protection and Removal Plan

Scale: 1:500

Date: 2023-08-10

Sheet: L-03



GROUND LEVEL LANDSCAPE LEGEND		
QTY	KEY	DESCRIPTION
- 11"	[Pattern]	PERFORATED CONCRETE 1/2" DIA. (1/2") See Detail 18.0-04
- 11"	[Pattern]	PERFORATED CONCRETE 3/4" DIA. (3/4") See Detail 18.0-04
- 11"	[Pattern]	PUBLIC UTILITIES 1/2" DIA. (1/2") See Detail 18.0-04
See plan schedule	[Pattern]	PLANT BEDDING See Detail 18.0-04
- 11"	[Pattern]	WALL Refer to specification notes for description.
See plan schedule	[Symbol]	TREE PLANTING See Detail 18.0-04
- 1 each	[Symbol]	SEE SIGN Refer to Landmark/Signage Schedule (See Attachment) See Detail 18.0-04
- 1 each	[Symbol]	CITY PLANTING Refer to Landmark/Signage Schedule (See Attachment) See Detail 18.0-04
- 1 each	[Symbol]	PERFORATED CONCRETE 1/2" DIA. (1/2") See Detail 18.0-04
- 1 each	[Symbol]	WALL See Detail 18.0-04
- 1 each	[Symbol]	WALL See Detail 18.0-04

NOTES:
 1. ALL NEW PERFORATIONS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF DENVER.
 2. ALL LANDSCAPING AND LANDSCAPE MATERIALS MUST CONFORM TO THE LATEST EDITION OF THE DENVER COMMONS LANDSCAPE SCHEDULE.
 3. PLANTS AND MATERIALS MUST BE SUBJECT TO AN APPROVAL WITH APPROVALS, DEN, DENVER, DENVER, DENVER, DENVER, DENVER.
 4. ALL QUANTITIES TO BE USED TO CHECK AND ONLY TO CORRECT TO VERIFY ALL QUANTITIES.



**Missouri
Cultural
Museum
Partnership**

Architect: Holmquist Thomas
 3000 - 17th Street, Suite 1000
 Denver, CO 80202
 T: 303.441.2000
 F: 303.441.1777
 www.holmquist.com

PCI

theHUB
 www.thehubdenver.com
 1700 - 17th Street, Suite 1000
 Denver, CO 80202
 T: 303.441.2000
 F: 303.441.1777
 www.thehubdenver.com

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King GEORGE HUB
 - PHASE B

LANDSCAPE MASTER
 PLAN

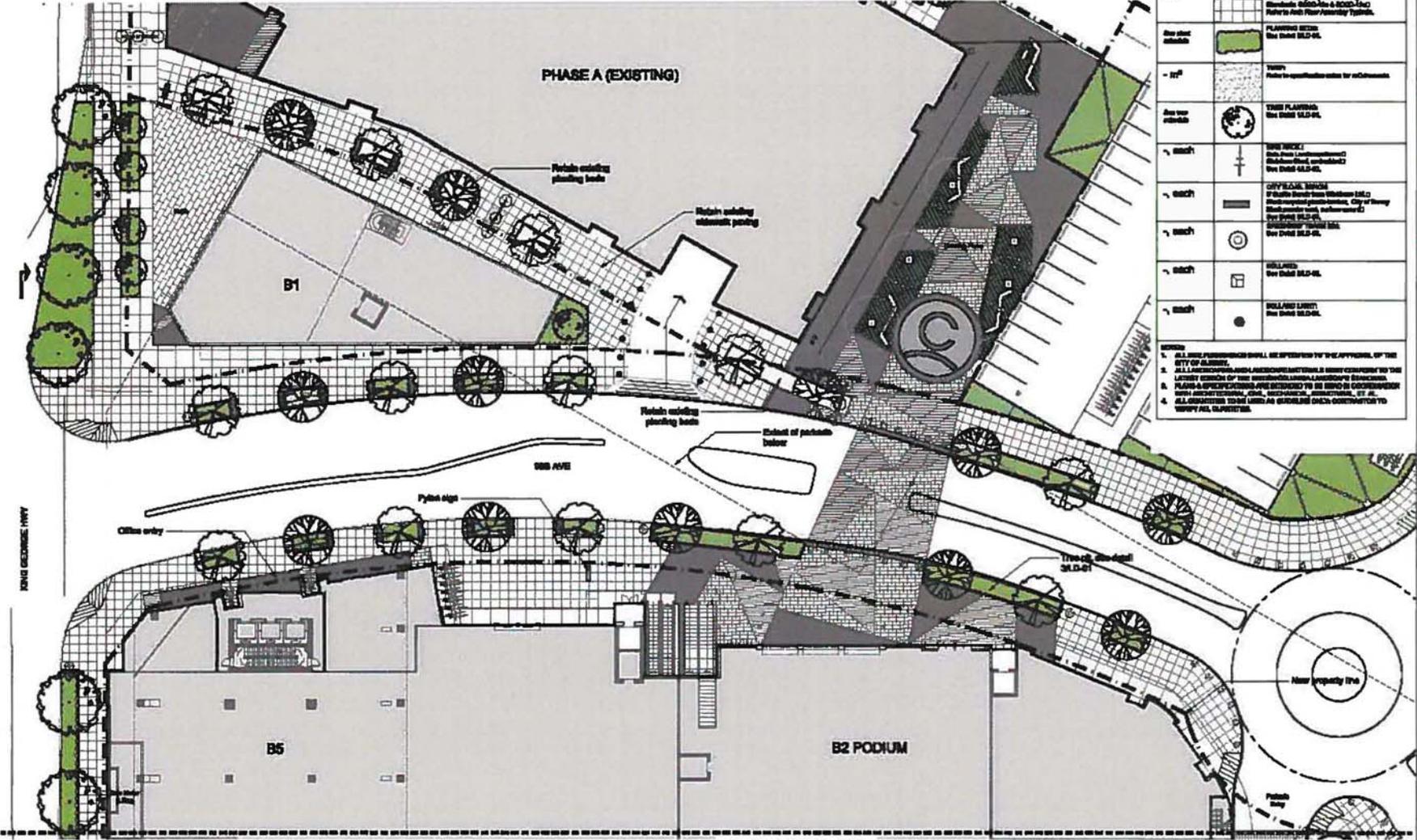
Scale: 1" = 10'-0"
 Date: 08/20/10
 Author: [Name]
 Title: [Title]
 Sheet: L-04

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GROUND LEVEL LANDSCAPE LEGEND

QTY	KEY	DESCRIPTION
- 00'	[Pattern]	EXISTING CONCRETE RECONSTRUCTION See Detail 302-01. Refer to Arch Floor Assembly Typical.
- 00'	[Pattern]	EXISTING CONCRETE RECONSTRUCTION See Detail 302-01. Refer to Arch Floor Assembly Typical.
- 00'	[Pattern]	FIELD (FIELD FINISH) Refer to Heavy City Concrete Slab Schedule Section 504-100-100 Refer to Arch Floor Assembly Typical.
See note 00000	[Pattern]	PLANTING BEDS See Detail 302-01.
- 00'	[Pattern]	TERRAZZO Refer to specification notes for materials.
See note 00000	[Pattern]	TERRAZZO FINISH See Detail 302-01.
1 each	[Symbol]	TREE TRUCK See Note 100-00000-01 Refer to Schedule Section 504-100-100 See Detail 302-01.
1 each	[Symbol]	OFFICIAL SIGN City of St. Louis Sign Schedule 504-100-100 Refer to Schedule Section 504-100-100 See Detail 302-01.
1 each	[Symbol]	BOLLARD See Detail 302-01.
1 each	[Symbol]	BOLLARD LIGHT See Detail 302-01.

- NOTES:
1. ALL SITE PERFORMANCE SHALL BE APPROVED BY THE APPROVAL OF THE CITY OF ST. LOUIS.
 2. ALL LANDSCAPING AND LANDSCAPE MATERIALS MUST COMPLY TO THE LATEST EDITION OF THE MISSOURI LANDSCAPE ARCHITECTURE ASSOCIATION (MLA) PLANT SPECIFICATIONS AND BE DESIGNED TO BE BOUND TOGETHER WITH ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, ET AL. AS APPLICABLE TO THE AREA AS SHOWN ON EACH DRAWING TO VERIFY ALL CONDITIONS.

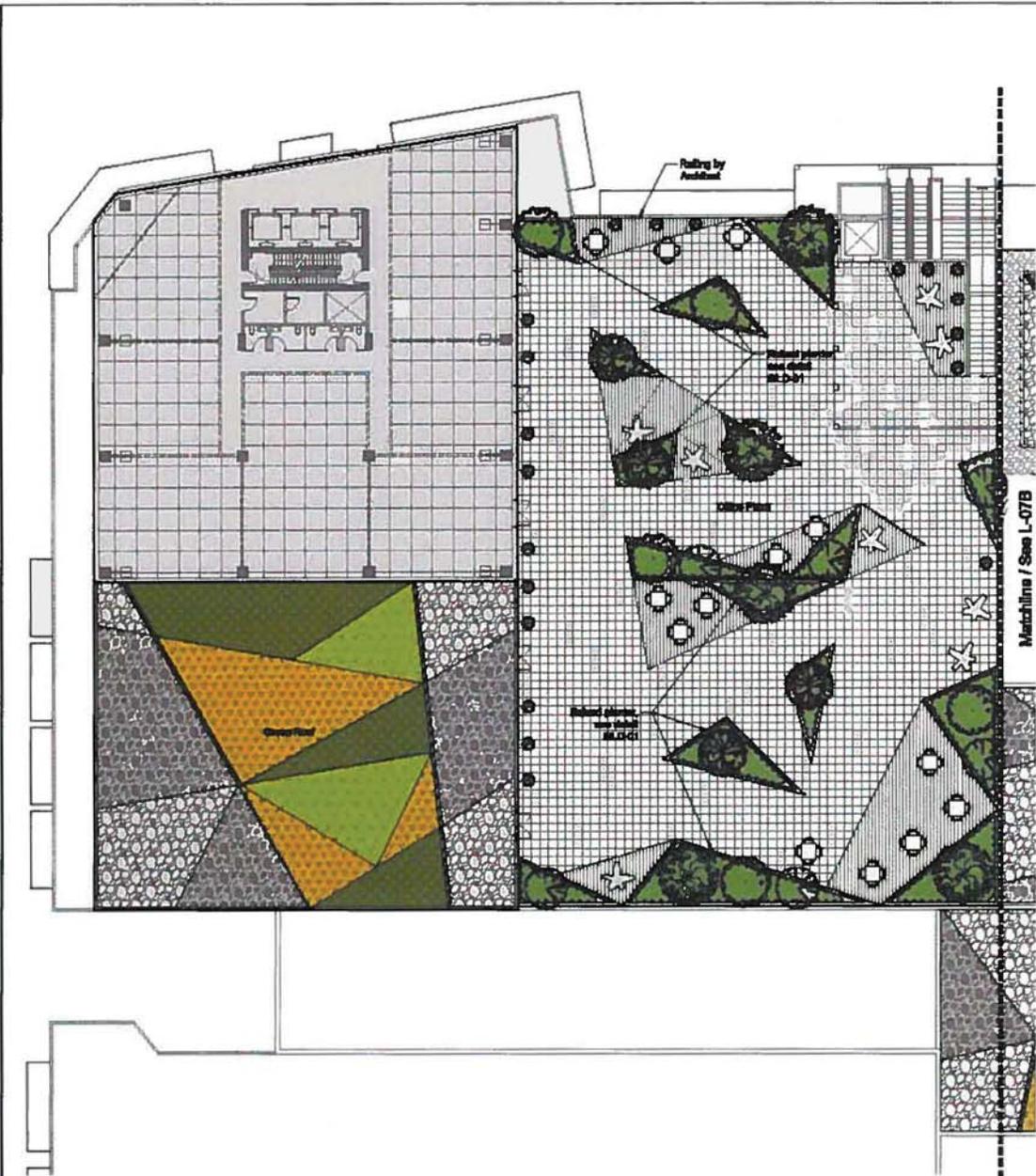


Project:
**KING GEORGE HUB
 - PHASE B**

ENCLOSED FLOOR
 LANDSCAPE &
 PLANTING PLAN -
 NORTH

Author:	MMSP
Date:	1/2017
Project:	00000-01
Sheet:	L-05A

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TREES SCHEDULE

SYMBOL	SYMBOLICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	Amelanchier alnifolia	Red Dogwood	-	10-12" DBH	Plant as shown
B	Prunella virginiana	Common Black Cherry	-	10-12" DBH	Plant as shown
C	Prunella virginiana 'Flamingo'	Flamingo Black Cherry	-	10-12" DBH	Plant as shown

SHRUBS SCHEDULE

SYMBOL	SYMBOLICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	Amelanchier alnifolia	Red Dogwood	-	10-12" DBH	Plant as shown
B	Prunella virginiana	Common Black Cherry	-	10-12" DBH	Plant as shown
C	Prunella virginiana 'Flamingo'	Flamingo Black Cherry	-	10-12" DBH	Plant as shown

GROUNDCOVER SCHEDULE

SYMBOL	SYMBOLICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	Thymus serpyllifolius	Creeping Thyme	-	10-12" DBH	Plant as shown
B	Thymus serpyllifolius	Creeping Thyme	-	10-12" DBH	Plant as shown

PERENNIAL SCHEDULE

SYMBOL	SYMBOLICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	Thymus serpyllifolius	Creeping Thyme	-	10-12" DBH	Plant as shown
B	Thymus serpyllifolius	Creeping Thyme	-	10-12" DBH	Plant as shown

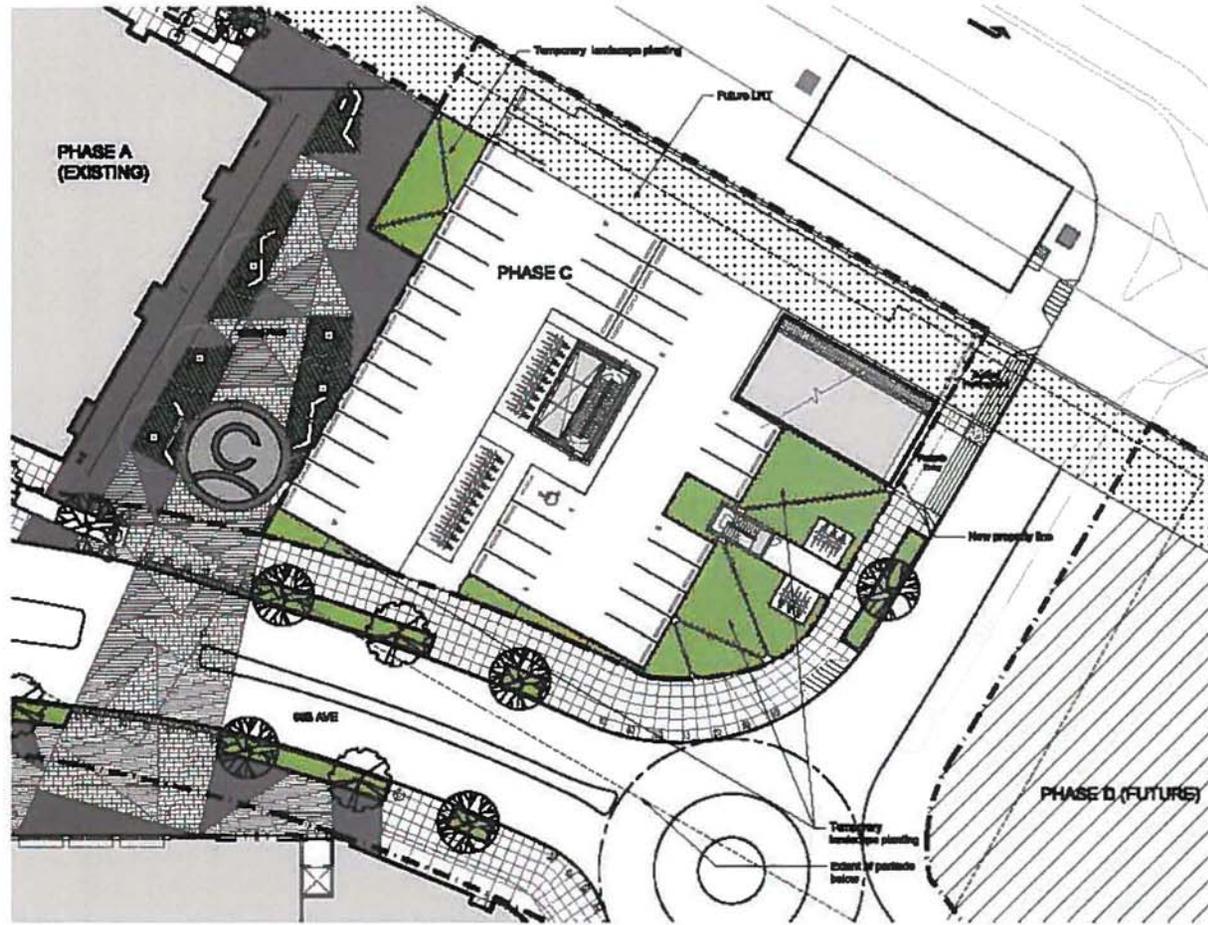
GRASSES SCHEDULE

SYMBOL	SYMBOLICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	Thymus serpyllifolius	Creeping Thyme	-	10-12" DBH	Plant as shown
B	Thymus serpyllifolius	Creeping Thyme	-	10-12" DBH	Plant as shown

POT SCHEDULE

SYMBOL	SYMBOLICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	Thymus serpyllifolius	Creeping Thyme	-	10-12" DBH	Plant as shown
B	Thymus serpyllifolius	Creeping Thyme	-	10-12" DBH	Plant as shown

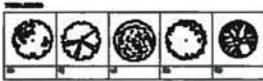
- ALL PLANT MATERIAL SHALL BE CHECKED BY THE ARCHITECT PRIOR TO DELIVERY TO THE SITE.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBJECT TO LANDSCAPE CONSULTANT APPROVAL.
- EXISTING TOPSOIL FOR SOIL ANALYSIS NOT TO BE USED FOR ANY OTHER PURPOSES.
- TOPSOIL DEPTH TO BE MAINTAINED AS FOLLOWS:
 - GROUNDCOVER: 300MM
 - SHRUBS: 450MM
 - TREE PITS: 1000MM WITH 300MM BELOW ROOT BALL
- YIELDER COMPARTMENT TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.



GROUND LEVEL LANDSCAPE LEGEND

QTY	KEY	DESCRIPTION
- 10'	[Pattern]	CONCRETE-ONCRETE (CONCRETE) FOR DRIVE & LANE. Refer to Ash Floor Assembly Typical.
- 10'	[Pattern]	CONCRETE-ONCRETE (CONCRETE) FOR DRIVE & LANE. Refer to Ash Floor Assembly Typical.
- 10'	[Pattern]	PERMEABLE PAVED: Refer to Storm Water Design Details (SDD-100-1000-100) Refer to Ash Floor Assembly Typical.
See also schedule	[Pattern]	PLANTING BEDS: See Detail SLD-01.
- 10'	[Pattern]	SOFT: Refer to schedule notes for re-Gravel.
See also schedule	[Symbol]	TREE PLANTING: See Detail SLD-01.
~ 1000'	[Symbol]	SOFT: Refer to schedule notes for re-Gravel.
~ 1000'	[Symbol]	SOFT: Refer to schedule notes for re-Gravel.
~ 1000'	[Symbol]	SOFT: Refer to schedule notes for re-Gravel.
~ 1000'	[Symbol]	SOFT: Refer to schedule notes for re-Gravel.
~ 1000'	[Symbol]	SOFT: Refer to schedule notes for re-Gravel.

- NOTES:
1. ALL TREE PLANTINGS SHALL BE SPECIFIED TO THE APPROVAL OF THE CITY OF LOS ANGELES.
 2. ALL LANDSCAPING AND PLANTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SUSTAINABLE LANDSCAPE DESIGN PLAN & SPECIFICATIONS AND APPROVED BY AN ENGINEER REGISTERED WITH THE STATE OF CALIFORNIA.
 3. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS, AND APPROVED BY AN ENGINEER REGISTERED WITH THE STATE OF CALIFORNIA.
 4. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS, AND APPROVED BY AN ENGINEER REGISTERED WITH THE STATE OF CALIFORNIA.



TREES SCHEDULE

SYMBOL/BOTANICAL NAME	COMMON NAME	QUANTITY/BOX	SPACING
TD	Acacia salicifolia 'Vista Verde'	100 per 100' x 100'	Plant as shown
CI	Conocarpus strictus	100, 5-6m 100' x 100'	Plant as shown
Pp+La	Persea formosa 'Palmetto'	100, 5-6m 100' x 100'	Plant as shown
Ch	Chamaecyparis 'Blue Ice'	100, 5-6m 100' x 100'	Plant as shown
Op	Opuntia 'Palm Springs'	100, 5-6m 100' x 100'	Plant as shown

PLANTING SCHEDULE

SYMBOL/BOTANICAL NAME	COMMON NAME	QUANTITY	BOX	SPACING
TD	Acacia salicifolia 'Vista Verde'	100	100' x 100'	100' x 100'
CI	Conocarpus strictus 'Palmetto'	100	100' x 100'	100' x 100'
Pp+La	Persea formosa 'Palmetto'	100	100' x 100'	100' x 100'
Ch	Chamaecyparis 'Blue Ice'	100	100' x 100'	100' x 100'
Op	Opuntia 'Palm Springs'	100	100' x 100'	100' x 100'

1. ALL PLANT MATERIAL SHALL BE CHECKED BY THE ARCHITECT FOR COMPLIANCE WITH THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS.
2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBJECT TO LANDSCAPE CONSULTANT FOR APPROVAL.
3. EXISTING TOPSOIL, FOR USE, ANALYSIS RECOMMENDATIONS PRIOR TO APPLICATION ON SITE. EXISTING TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
4. TOPSOIL DEPTH TO BE FULFILLED AS FOLLOWS:
- A. 6" (150mm) DEPTH
 - B. 6" (150mm) DEPTH
 - C. 6" (150mm) DEPTH WITH 100MM (4" BELOW ROOT BALL)
5. FURROW COMPOST MULCH TO BE INSTALLED SHALL BE PLANTING AREAS.



**Minimum
Curb
Masonry
Partnership**

Architect: [Faint text]
 1000 - Van Ness Blvd
 1000 - Van Ness Blvd

PCI

theHUB



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**KING GEORGE HUB
- PHASE B**

**PHASE C LANDSCAPE
& PLANTING PLAN**

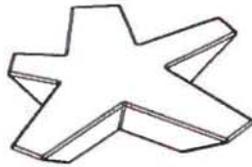
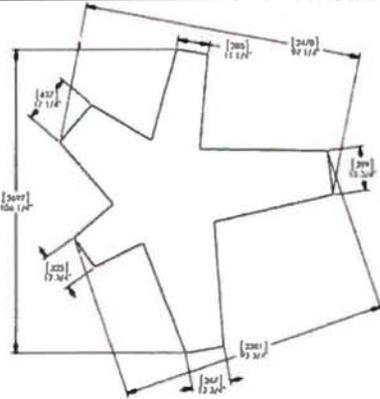
Scale: 1/8" = 1'-0"
 Date: 1/20/20
 Title: PHASE C
 L-09

Ensite Flor
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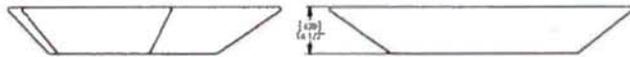
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Table: LCV2113

www.ensiteflor.com.au Tel: 1813301126/41



Note: Product from Landscapeforms or approved eCade.



Inventory: 40x3x10
1000000 24 200 17 10 000 000

Manufacturer: Landscapeforms or approved eCade
Model: Star
Colour: Silver

1 ON-SITE BENCH - FLOR
Bench: 170

FWAY
Bench: 170

Manufacturer: Landscapeforms or approved eCade



Note: Product from Landscapeforms or approved eCade.

Technical specifications for the bollard, including dimensions and material details.

170 (6 3/4)

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RESET

Inventory: 40x3x10
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Manufacturer: Landscapeforms or approved eCade
Model: Star
Colour: Silver

2 BOLLARD W/ LIGHT
Bench: 170



Manufacturer: Landscapeforms or approved eCade
Model: Planter
Colour: Grey/Black/Rose colour

3 PLANTER
Bench: 170



Manufacturer: Landscapeforms or approved eCade
Model: Laminated glass top open
Colour: Silver

4 ON-SITE TRASH RECEPTACLE
Bench: 170



Manufacturer: Landscapeforms or approved eCade
Model: Chippendale 30" dining w/ umbrellas shade
Colour: Silver

5 TABLE SET
Bench: 170



Manufacturer: Landscapeforms or approved eCade
Model: Montrose 30" tall
Colour: Silver w/ wood inserts

6 DINING TABLE SET
Bench: 170



Manufacturer: Landscapeforms or approved eCade
Model: Walnut Beach Bench Seakiss 90"
Colour: TRD

7 BENCH
Bench: 170



PCI

the HUB



Manufacturer: Catania Coast or approved eCade
 Model: Havana sofa, Balcones outdoor sofa
 Color: Balcones seat

1 LOUNGE SOFA
 Scale 1:25



Manufacturer: Catania Coast or approved eCade
 Model: Havana table, Balcones outdoor table
 Color: Balcones seat

2 LOUNGE TABLE
 Scale 1:25



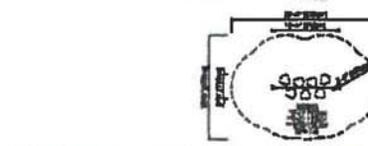
Manufacturer: Fire Maple or approved eCade
 Model: Amore AT201
 Size: 90" x 32"



3 BBQ & COUNTER
 Scale 1:25

KOOSPAI Product Info UNITED 600 BALANCE POSTS SYSTEM - NICKEL

Model	Material	Color	Weight	Dimensions
600	Aluminum	Nickel	1.5 lbs	12" x 12" x 12"

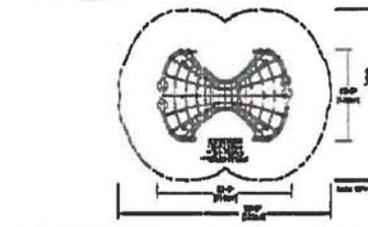


Note: Product from Koospai or approved eCade

4 PLAYGROUND TOYS
 Scale 1:25

KOOSPAI Product Info AIR TRAPPA - COBALT

Model	Material	Color	Weight	Dimensions
TRAPPA	Aluminum	Coastal	1.5 lbs	12" x 12" x 12"



Note: Product from Koospai or approved eCade

5 PLAYGROUND TOYS
 Scale 1:25

KOOSPAI Product Info KLIMA - GRYP3

Model	Material	Color	Weight	Dimensions
GRYP3	Aluminum	Black	1.5 lbs	12" x 12" x 12"

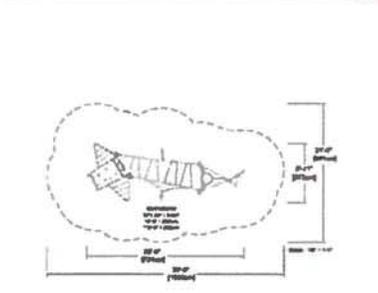


Note: Product from Koospai or approved eCade

6 PLAYGROUND TOYS
 Scale 1:25

KOOSPAI Product Info KLIMA - GRYP3

Model	Material	Color	Weight	Dimensions
GRYP3	Aluminum	Black	1.5 lbs	12" x 12" x 12"

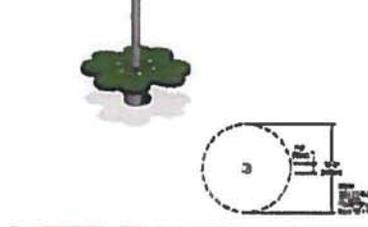


Note: Product from Koospai or approved eCade

7 PLAYGROUND TOYS
 Scale 1:25

KOOSPAI Product Info TROJER SPICA - NEPP

Model	Material	Color	Weight	Dimensions
NEPP	Aluminum	Black	1.5 lbs	12" x 12" x 12"

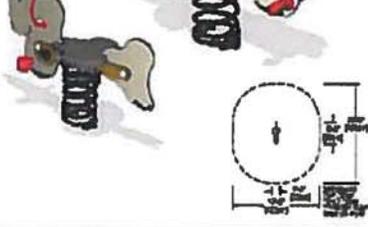


Note: Product from Koospai or approved eCade

7 PLAYGROUND TOYS
 Scale 1:25

KOOSPAI Product Info LACONIA SPINNI MODEL - DIFER

Model	Material	Color	Weight	Dimensions
DIFER	Aluminum	Black	1.5 lbs	12" x 12" x 12"



Note: Product from Koospai or approved eCade

8 PLAYGROUND TOYS
 Scale 1:25

PCI
 the HUB
 2016 Pringle Rd, 1000 Gateway, Suite 100
 Columbus, GA 31906
 Tel: 706.499.2000
 Fax: 706.499.0771
 www.pci.com

PCI
 the HUB
 2016 Pringle Rd, 1000 Gateway, Suite 100
 Columbus, GA 31906
 Tel: 706.499.2000
 Fax: 706.499.0771
 www.pci.com

Rev	Description
1	Initial Release
2	Revised
3	Revised
4	Revised
5	Revised
6	Revised
7	Revised
8	Revised
9	Revised
10	Revised

Project: KING GEORGE HUB - PHASE B
 Details: LD-05

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 8, 2017** PROJECT FILE: **7817-0162-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 9868/9889 - 137 Street, 9808/9900 King George Blvd, 13701 Fraser
Hwy, 9833 Whalley Blvd., 13677 - 98B Avenue**

REZONE

The site was originally rezoned and subdivided under project 7912-0332-00 for which a servicing agreement 7812-0332-00 has been executed. Subsequent subdivision under project 7916-0664-00 is proposed to accommodate lengthening of the future LRT platform on King George Boulevard (KGB) and realignment of 98B Avenue. This requires the following amendments to 7812-0332-00:

Property and Right-of-Way Requirements

- Dedicate 24.0m for a total of 24.0m for 137 Street and 98A Avenue (see 7916-0664-00); and
- Dedicate 3.6m for a total of 7.2m to straighten the alignment of the Fraser Hwy LRT line along the north edge of the site.

Works and Services

- Construct new signalized intersection at KGB and 98A Avenue with modification to existing median, travel lanes and letdowns;
- Construct new signalized intersection at Fraser Highway and 137 Street with new pedestrian lighting, cycle track with Silva cells, and with modification to existing median, travel lanes, curb, boulevard, and cycling infrastructure;
- Construct north-west corner, including signal arms for pedestrian and cycling letdown at Whalley Boulevard and Fraser Highway;
- Construct 137 Street and 98A Avenue to modified City Centre local road standard including modified round about, pedestrian crossing and pedestrian signal;
- Provide cash-in-lieu for signalized access off KGB for future LRT tracks;
- Underground the existing overhead electrical and telecommunication infrastructure along King George Boulevard in accordance with design drawings for 7812-0332-00;
- Install Hydro vista switch on-site, as required to service the site;
- Amend existing restrictive covenant for sustainable drainage registered under project 7812-0332-00 to account for shortfall in sustainable drainage requirements in phase 1;
- Register legal documents associated with egress only access on KGB, District Energy infrastructure and operation and for volumetric plan (as applicable); and
- Pay amenity charge for undergrounding existing overhead electrical and telecommunication infrastructure, as applicable.

A Servicing Agreement is not required prior to rezone. However, changes to the accepted design drawings are required to address the subdivision file 7916-0664-00 and due to proposed zoning.

NOTE: Detailed Land Development Engineering Review available on file

Legal encumbrances registered under 7812-0332-00 are being amended/discharged and replaced in accordance with Land Exchange Agreement (LEA) between the City and the Developer.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit for phase 2 beyond those noted above.

A handwritten signature in black ink, appearing to read 'Rémi Dubé', with a long horizontal stroke extending to the right.

Rémi Dubé, P.Eng.
Development Services Manager
HB4



Thursday, May 11, 2017
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 17-0162-00

SUMMARY

The proposed 736 highrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	18
Secondary Students:	7

September 2018 Enrolment/School Capacity

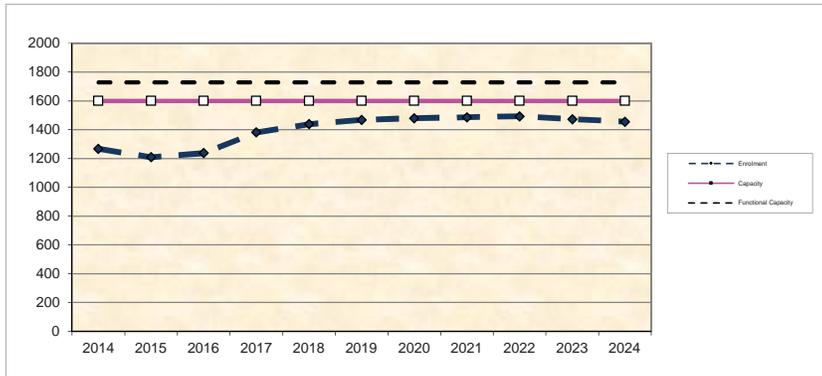
Simon Cunningham Elementary	
Enrolment (K/1-7):	83 K + 506
Capacity (K/1-7):	60 K + 575
Queen Elizabeth Secondary	
Enrolment (8-12):	1237
Nominal Capacity (8-12):	1600
Functional Capacity*(8-12):	1728

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.
 There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school.

Simon Cunningham Elementary



Queen Elizabeth Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, APRIL 27, 2017
Time: 4:43 pm

Present:

Chair – J. Leger
S. Forrest
M. Lesack
D. Tyacke

Guests:

V. Fernandez, MCMP
M. Whitehead, MCMP
P. Sukava, MCMP
Mark Van der Zalm, Van der Zalm Landscape
N. Wu, Van der Zalm Landscape
D. Vandenbrink, Van der Zalm Landscape
A. Croft, PCI
B. Howard, PCI

Staff Present:

T. Ainscough, City Architect, Planning & Development
M. Rondeau, Acting City Architect, Planning & Development
N. Chow, Urban Design Planner, Planning & Development
L. Luaifoa, Legislative Services

B. NEW SUBMISSIONS

1. 4:00 PM

File No.:	7917-0162-00
New or Resubmit:	Revised Scheme
Last Submission Date:	September 11, 2014
Description:	Rezoning and Development Permit for Phase B of King George Station development. 120,000 sq. ft of mixed-use retail at grade, a 9,000 sq. ft. restaurant, a 15-storey office tower and 736 residential units within two towers (39 and 28 storeys) development.
Address:	9808 King George Boulevard
Developer:	Brad Howard of PCI Development Corp.
Architect:	Mark Whitehead, MCMP
Landscape Architect:	Mark Van der Zalm
Planner:	Jennifer McLean
Urban Design Planner:	Mary Beth Rondeau

The Acting City Architect provided the following comments:

- This project is returning to the Panel to review the updated development plan.
- The original application was supported in general by staff and the Panel and staff support use, form and density of the revised proposal and have no specific issues.

The **Project Architect** presented an overview of the site plan, building plans, streetscapes and elevations. The following was highlighted:

- Due to revisions to the Light Rail Transit (LRT) station on King George Boulevard, the Phase B project required relocation of the intersection to the south.
- A small retail building is situated on the corner created by the street realignment. The two towers were previously intended for residential and

office use and has been changed to residential for both towers now plus and office tower.

- One distinct feature of the architectural design is the “ribbon” element between the residential towers.

The **Landscape Architect** presented an overview of the Landscape plans which included the Sustainability feature. The following was highlighted:

- The phase A Coast Capital Savings site helped to facilitate the landscape design for this Phase B.
- The idea behind the landscaping and public space was to look at the region and other geographic elements and interpret those elements through technology.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

Rezoning and Development Permit for Phase B of King George Station development. 120,000 sq. ft of mixed-use retail at grade, a 9,000 sq. ft. restaurant, a 15-storey office tower and 736 residential units within two towers (39 and 28 storeys) development.

File No: 7917-0162-00

It was

Moved by D. Tyacke

Seconded by J. Leger

That the Advisory Design Panel (ADP)

recommends A - that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

STATEMENT OF REVIEW COMMENTS

The Design Panel support the project in general and have no issues with use, form or density of the project.

Site

- Good massing and siting.

Building Form and Character

- Form and massing are simple, and interesting to look at.
- Consider making restaurant form more substantive.

(No further changes will be made to the restaurant form. Ultimate restaurant form will be tenant driven. There is no tenant, so there is no movement on the design at this time.)

- Consider the colour of the restaurant. Orange may not age well.

(Agree, though the final colour will be tenant driven. There is no tenant, so there is no movement on the colour at this time.)

- Consider introducing a stronger geometric form to the residential towers to dialogue with the restaurant and commercial building in the north quadrant.

(We studied introducing a geometric form that dialogued with the form of the Coast Capital Headquarters and we felt that a simplified geometry created a more legible design. The two residential towers are tied together by a ribbon that travels up and down each tower. Having a simple massing accentuates the ribbon feature. When we studied introducing a dramatic geometric form the ribbon became less legible and the concept was lost. We also feel that having a simplified residential tower form accentuates the Coast Capital Headquarters (CCH) form, and lets the CCH stand out. Having the residential towers evoke a similar geometry as the CCH would diminish the sculptural impact of the CCH, a building that has become a landmark in Surrey.)

- In regards to the scale of the podium for the large tower, consider giving it some additional height by incorporating the amenity rooms (feels compressed in relation to the rest of the project).

(The retail podium is pulled 1.8 metres (6 ft.) away from the residential tower, and treated materially different from the tower above in order for the retail to “stand out”. The retail is a counterpoint to the residential tower above. The retail base currently varies in height from 4.3 metres (14 ft.) to 6.7 metres (22 ft.). Our intention is that the retail base feel comfortable from the pedestrian perspective, especially along Fraser Hwy. Having a variety of heights, varying the podium materials, and varying the canopy details and heights we are attempting to disassociate the retail podium from the residential tower and add variety to the pedestrian experience.)



View along Fraser Highway walking west towards King George Boulevard.

- Ribbon expression could be emphasized in thickness.

(The thickness of the ribbon is 0.66 metre (2.2 ft.). There is potential to make the ribbon 4" deeper if the heating system changes. We will develop this further in Design Development, and explore programmatic and functional design opportunities as we move forward.)

- The residential building articulation is well done and the use of materials; contemporary in nature, will take on a timeless appearance.
- Consider public access to roof top commercial green space could be extending the escalators.

(This space is public, but we do not want to draw people to a space that currently has minimal function.)

- Consider the details and treatments of the unit entries from the amenity roof deck.

(Okay.)

- Ensure commercial signage is well programmed.

(Okay.)

Landscaping

- Commend the detail level in the landscape.
- Consider larger trees/horizontal canopy to give more shade/scale to large rooftop of office building.

(Okay.)

- Consider more decorative paving treatment/more defined pedestrian crossings on internal street to enhance the pedestrian precinct.

(Okay.)

- Recommend larger planting beds at internal street which may also aid in discouraging jaywalking.

(Okay, though we would like to be strategic, so we do not create barriers for retail traffic to stores.)

CPTED

- With drop off for residents located underground parking, residents will want to be dropped off illegally on Fraser Highway, at grade. Consider exploring other opportunities. We explored placing drop offs along Fraser with our transportation and civil engineering consultants and we were advised that no drop offs along Fraser would be feasible, due to the proximity of the intersections and parking garage access, as well as the effect it would have on the Multi-purpose trail proposed for Fraser Highway. The drop-offs will need to be in the parkade, adjacent to the residential elevators.

Accessibility

- Recommend suite entries be enhanced to be more accessible. We will further develop the plans in Design Development, and we ensure that the suites will meet code.

Sustainability

- Commend the work on the habitat and the public realm with lots of open spaces.
- District Energy forces hot water in-floor or hydronic baseboards. The latter will cause furniture placement challenges in small units. If we go with hydronic base boards the base boards will be built into the window sills.

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey, ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

(a) FROM: COMPREHENSIVE DEVELOPMENT ZONE (CD BY-LAW NO. 17954)
(Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2013, No. 17954)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 029-337-046

Lot 1 Section 35 Block 5 North Range 2 West New Westminster District Plan EPP32216

9900 - King George Boulevard

Parcel Identifier: 029-337-054

Lot 2 Section 35 Block 5 North Range 2 West New Westminster District Plan EPP32216

13677 - 98B Avenue

Parcel Identifier: 029-337-062

Lot 3 Section 35 Block 5 North Range 2 West New Westminster District Plan EPP32216

9868 - King George Boulevard

Parcel Identifier: 029-337-071

Lot 4 Section 35 Block 5 North Range 2 West New Westminster District Plan EPP32216

9808 - King George Boulevard

Parcel Identifier: 029-557-313

Parcel A of Section 35 Block 5 North Range 2 West New Westminster District Shown on Plan EPP48555

13701 - Fraser Highway

9889 – 137 Street

(hereinafter shall be referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of high *density*, high-rise office, commercial, retail, service and high-rise *multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*.

The *Lands* are divided into Blocks A, B, C, D, E and F, as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by Gary Sundvick, B.C.L.S., on the 25th day of May, 2017.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Blocks A and C

- (a) Office uses excluding *social escort services* and *methadone clinics*;
- (b) *Retail stores* excluding *adult entertainment stores*, *secondhand stores* and *pawnshops*;
- (c) *Personal service uses* excluding *body rub parlours*;
- (d) *General service uses* excluding funeral parlours and *drive-through banks*;
- (e) *Eating establishments* excluding *drive-through restaurants*;
- (f) *Neighbourhood pubs*;
- (g) *Liquor stores*;
- (h) *Indoor recreational facilities*;
- (i) *Entertainment uses* excluding *arcades* and *adult entertainment stores*;
- (j) *Parking facilities*;

(k) *Community services; and*

(l) *Child care centres.*

2. Block B

(a) All uses permitted in Section B.1 of this Zone; and

(b) *Multiple unit residential buildings and ground-oriented multiple unit residential buildings, provided this use does not constitute a singular use on the lot.*

3. Block D

(a) All uses permitted in Section B.1 of this Zone, provided that any one of these uses or a combination thereof do not constitute a singular use on the lot; and

(b) *Multiple unit residential buildings and ground-oriented multiple unit residential buildings, provided this use does not constitute a singular use on the lot.*

4. Block E

(a) *Highways; and*

(b) *Underground parking.*

5. Block F

(a) *Highways; and*

(b) *Underground parking.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of *building* construction, the maximum *floor area ratio* shall be as follows:

(a) Block A: The *floor area ratio* shall not exceed 3.1;

(b) Block B: The *floor area ratio* shall not exceed 5.4;

(c) Block C: The *floor area ratio* shall not exceed 13.9;

- (d) Block D: The *floor area ratio* shall not exceed 14; and
 - (e) Blocks E & F: Not applicable.
2. Notwithstanding an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section D.1 of this Zone.
 3. Notwithstanding the definition of *floor area ratio* in Surrey Zoning By-law, 1993, No. 12000, as amended and the maximum *floor area ratio* specified in Section D.1:
 - (a) The cumulative *floor area ratio* of all *buildings* on the *Lands* shall not exceed 7.3;
 - (b) The areas which are used for *underground parking* as a *principal use* on the *lot* are excluded from the calculation of *floor area ratio*; and
 - (c) The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The maximum *lot coverage* shall be 100%, including air space parcels.

F. Yards and Setbacks

1. The minimum *setback* of *buildings* and *structures* may be 0 metre [0 ft.].
2. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, *canopies* may extend to the *lot lines*.

G. Height of Buildings

Not applicable to this Zone.

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section H.1 of this Zone, the minimum number of *parking spaces* for the uses listed below shall be in accordance with the following rates:

Use	Required <i>Parking Spaces</i>
Offices	1.7 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>Community Services</i>	1.7 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>Retail Stores</i>	2.0 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>Personal Service Uses</i>	2.0 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>General Service Uses</i>	2.0 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>Eating Establishments</i>	5.0 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>Liquor Stores</i>	2.0 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>Neighbourhood Pubs</i>	5.0 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>Entertainment Uses</i>	1.0 <i>parking space</i> per 10 seats
<i>Child Care Centres</i>	2.0 <i>parking spaces</i> per employee
<i>Indoor Recreational Facilities</i>	3.0 <i>parking spaces</i> per 100 sq.m. [1,075 sq.ft.] of <i>gross floor area</i>
<i>Dwelling Units: 1-bedroom or less</i>	0.85 <i>parking space</i> per <i>dwelling unit</i>
<i>Dwelling Units: 2 bedrooms or more</i>	1.0 <i>parking space</i> per <i>dwelling unit</i>
<i>Residential Visitors</i>	0.025 <i>parking space</i> per <i>dwelling unit</i>

3. Notwithstanding Section H.1 of this Zone, *bicycle spaces* shall be provided at a rate of 1.0 *bicycle space* per *dwelling unit*.
4. Notwithstanding Sub-section A.3(a) and Sub-section A.3(b) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, required *parking spaces* are permitted to be located within Blocks A, B, C, D, E and F.
5. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, an *underground parking facility* may extend to all *lot lines*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be hard surfaced on the side of the *highway* abutting the *lot*.

3. Garbage containers and *passive recycling containers* shall be located within a *building* or within the *underground parking*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall have a minimum *lot* size of 0.18 hectare [0.45 acre].
2. Air space parcels created through subdivision in this Zone are not subject to Section K.1, but shall comply with the provisions in the Land Title Act R.S.B.C., 1996 chapter 250, as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RMC-150 Zone in the City Centre, as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-135 Zone in the City Centre for the residential component and the C-8 Zone in the City Centre for the commercial component.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 1996, By-law No. 12900, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, Chapter 267, as amended.

±

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. "

PASSED FIRST READING on the _____ th day of _____, 20____.

PASSED SECOND READING on the _____ th day of _____, 20____.

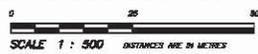
PUBLIC HEARING HELD thereon on the _____ th day of _____, 20____.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20____.

MAYOR

CLERK

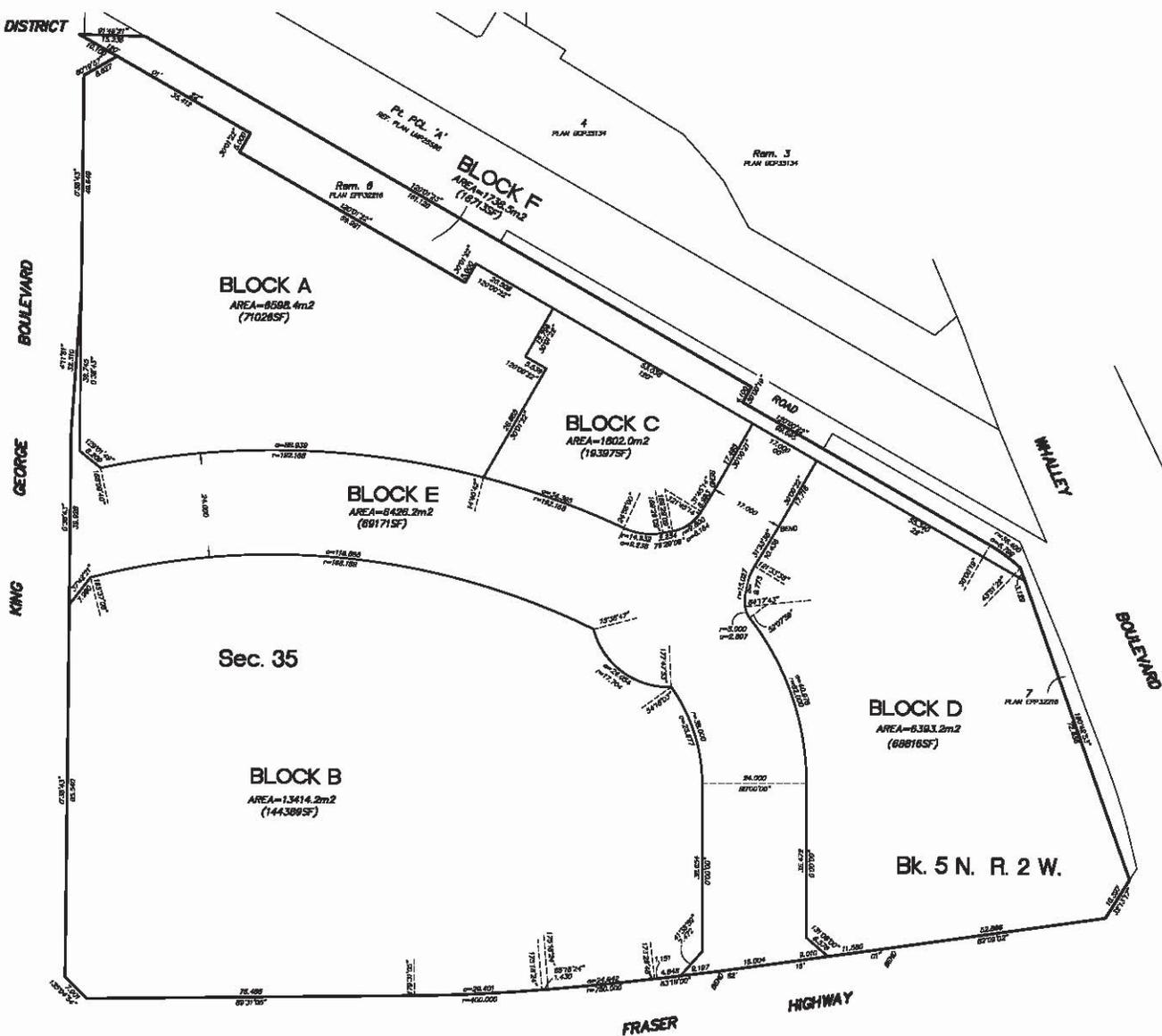
**BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF:
 PARCEL A SHOWN ON PLAN EPP48555 AND
 LOTS 1, 2, 3 AND 4 PLAN EPP32216
 ALL OF SECTION 35 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT**



THE INTENDED PLOT SCALE OF THIS PLAN IS 1:100 (OR IN WIDTH BY 85% (OR IN HEIGHT (E. 102) WHEN PLOTTED AT A SCALE OF 1:500)
 INTEGRATED SURVEY AREA No. 1, SURREY, MADS(CSRIS) 4.0.0.BC.1.DVD



TABLE OF AREAS	
BLOCK A	6598.5 m ²
BLOCK B	13414.2 m ²
BLOCK C	1802.0 m ²
BLOCK D	6393.2 m ²
BLOCK E	8426.2 m ²
BLOCK F	1736.5 m ²
TOTAL	36372.6 m ²



DRAFT - 2017-06-01

CHECKED CORRECTLY
 THIS 25th DAY OF MAY, 2017

[Signature]
 DARY SANDWICK
 S.O.L.E.

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

4101-ZN3.DWG

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