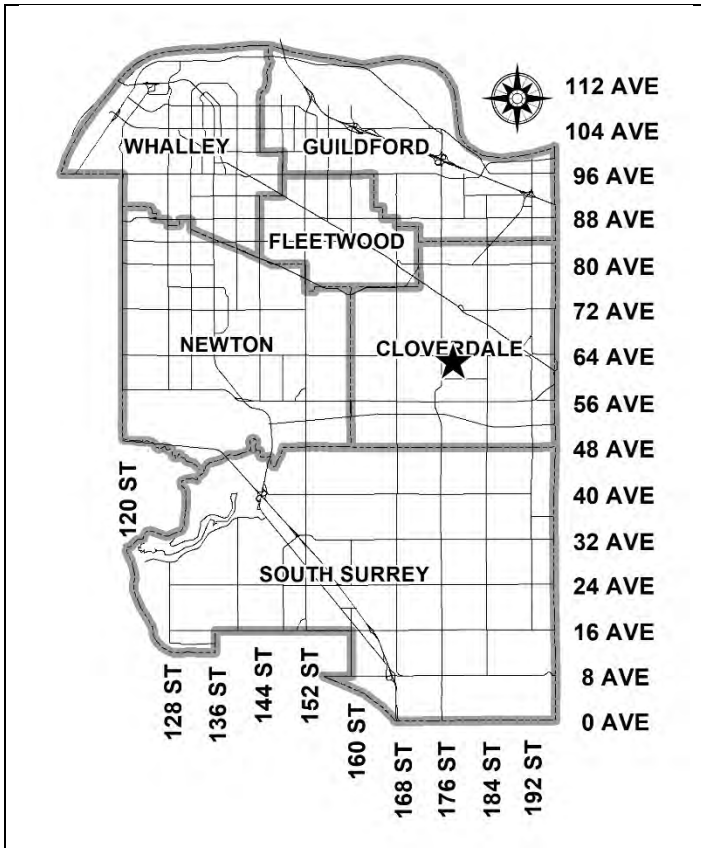


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7917-0169-00
7917-0169-02

Planning Report Date: February 13, 2023



PROPOSAL:

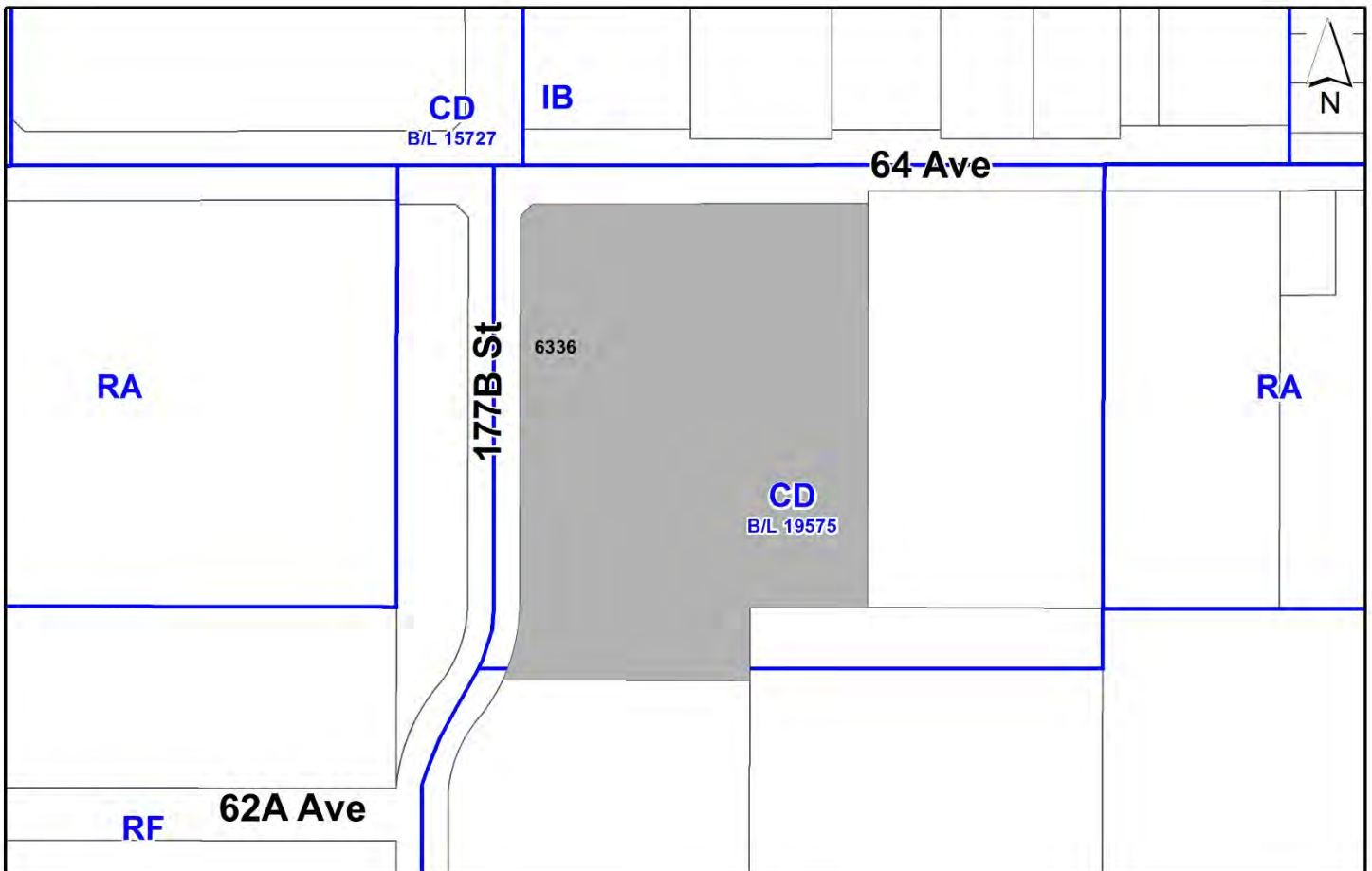
- Development Permit
- Development Variance Permit

to permit the development of the Cloverdale Sport & Ice Complex.

LOCATION: 6336 - 177B Street

ZONING: CD Bylaw No. 19575

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a variance to CD Bylaw No. 19575 to allow a reduction to the west side yard flanking street setback from 7.5 metres to 6.0 metres.

RATIONALE OF RECOMMENDATION

- Council originally granted final adoption and final approval of the respective Rezoning and Development Permit (No. 7917-0169-00) for the Cloverdale Sport & Ice Complex on October 1, 2018.
- However, substantial construction of the project did not begin within two years after the Development Permit was issued in 2018, and therefore, the original Development Permit expired. A new Development Permit was forwarded and approved by Council on September 13, 2021 under Development Permit No. 7917-0169-01, which replaced expired Development Permit No. 7917-0169-00. The new drawings were consistent with the previously approved drawings.
- In order to improve site efficiencies, while optimizing and managing the overall land use of the Cloverdale Fairgrounds, a redesign to the Cloverdale Sport & Ice Complex was necessary. Due to these changes to the site plan and building design, new drawings are being forwarded to Council for consideration under the current Development Permit No. 7917-0169-02.
- The proposed reduction to the west side yard setback is supported and still provides an appropriate street interface along 177B Street.
- The proposed land use and building form are appropriate for this part of Cloverdale and will complement the existing recreational uses at the Cloverdale Fairgrounds.
- The proposed Cloverdale Sport & Ice Complex will provide a valuable public amenity to the residents of Cloverdale, and to Surrey as a whole.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0169-02 generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7917-0169-00 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum west side yard flanking street setback of Comprehensive Development Bylaw No. 19575 from 7.5 metres to 6.0 metres to the principal building face.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant City-owned lot.	Urban	CD Bylaw No. 19575
North (Across 64 Avenue):	Business Park and proposed 2-storey multi-tenant warehouse buildings under Development Application No. 7921-0338-00 (pre-Council).	Mixed Employment	IB
East:	City-owned lot for television and movie filming activities.	Urban	RA
South:	Cloverdale Fairgrounds Agriplex and Showbarn.	Urban	CD By-law No. 5035
West (Across 177B Street):	Bill Reid Millennium Amphitheatre.	Urban	RA

Context & Background

- The subject site is a City-owned property located at 6636 – 177B Street and is approximately 2.3 hectares in size and designated Urban in the Official Community Plan (OCP). The site is located on the south side of 64 Avenue, directly east across 177B Street from the Bill Reid Millennium Amphitheatre.
- The subject site was rezoned under Development Application No. 7917-0169-00, which was approved by Council on October 1, 2018, and Comprehensive Development (CD) Bylaw No. 19575 currently regulates the site. Development Permit No 7917-0169-00 (for Form and Character, including signage) was also approved by Council on October 1, 2018. The Rezoning and Development Permit were to permit the construction of the Cloverdale Sport & Ice Complex.
- However, the original Development Permit No. 7917-0169-00 expired on October 1, 2020. In accordance with Section D.2. of the Development Permit, the "development permit shall lapse if the Owner does not substantially start any construction with respect to which this

development permit is issued within two (2) years after the date this development permit is issued". Therefore, the project was forwarded to Council on September 13, 2021 to renew the drawings for the Cloverdale Sport & Ice Complex under a new Development Permit No. 7917-0169-01.

- More recently, the architect in collaboration with City staff and stakeholders conducted further design and cost analysis of the proposed Cloverdale Sport & Ice Complex. This was with the intention to reduce the overall construction costs that have significantly risen due to the current market conditions and cost escalation. In addition, the design analysis included exploring potential for reducing the footprint of the proposed development while optimizing the overall Cloverdale Fairgrounds land usage.
- Due to the proposed changes to the site plan and building design of the Cloverdale Sport & Ice Complex, new drawings are being forwarded to Council for consideration under the current development application, which includes a new Development Permit (No. 7917-0169-02) and a Development Variance Permit (No. 7917-0169-00). The project includes two ice sheets, which is the same as the original proposal.

DEVELOPMENT PROPOSAL

Planning Considerations

- The project statistics for the proposed Cloverdale Sport & Ice Complex are in the following table. Variances are required for those items that do not comply with the existing zone (CD Bylaw No. 19575) that regulates the property.

Cloverdale Sport & Ice Complex Project Data	
Lot Area:	2.33 hectares
Number of Lots:	1
Building Height:	12 metres (12 metres permitted in CD Bylaw)
Floor Area Ratio (FAR):	0.40 FAR (0.40 permitted)
Lot Coverage:	30% (40% permitted)
Floor Area:	Approximately 9,500 sq.m.
Setbacks	7.5 metres along the north, east and south yard setbacks. 6.0 metres along the west side yard setback, variance required

- The proposed reduction to the west side yard setback is a minor relaxation and still provides an appropriate street interface along 177B Street.

Referrals

Engineering: The Engineering Department has no objection to the project.

Surrey Fire Department: No concerns.

Transportation Considerations

Road Dedication and 177B Street Extension

- The following road dedication and requirements formed part of the original Rezoning application, and have been constructed or will be completed and operational in the near future with the completion of the Cloverdale Sport & Ice Complex:
 - Road dedication, ranging between 1.5 metres (5 ft.) and 5.0 metres (16.5 ft.), is required along the north property line to accommodate the widening of 64 Avenue. The ultimate cross-section will be completed with the construction of the Cloverdale Sport & Ice Complex;
 - The 20-metre (66-ft.) wide dedication along the west property line to accommodate the extension of 177B Street has been constructed and connects from 64 Avenue to 62 Avenue to the south. The extension of 177B Street will significantly improve the road connectivity for this area; and
 - A new signalized intersection has been installed at 64 Avenue and 177B Street.

Parking

- A surface parking lot is proposed directly south of the proposed arena building, with driveway access to 177B Street.
- Additional off-site parking is provided on the abutting and nearby City-owned properties for overflow events. City staff typically are present to assist with traffic and parking during large events and this is planned to continue as required.
- Potential expansion of on-site parking supply may be achieved, if required, on the adjacent City-owned lot.
- Additionally, transit service runs along 64 Avenue and stops in front of the facility.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed Cloverdale Sport & Ice Complex building is still situated at the north end of the subject property, similar to the original proposal, with the parking lot located directly to the south. Vehicle access to the parking lot is from 177B Street to the west.
- The main entrance to the facility is along the south building elevation. No public access to the building is permitted along 64 Avenue.
- The original project proposed a building that was rectangular in shape. In contrast, the current building is square in shape. As a result, the orientation of the ice sheets have been revised. The ice sheets will now be oriented north/south (based on the length), while the previous version had the sheets oriented east/west.

- A large lobby and reception area will greet patrons on the main floor of the proposed building, which also includes the two (2) ice rinks, change rooms, ice-making and mechanical rooms.
- The second-floor mezzanine accommodates spectator seating for each ice rink, as well as storage space, offices and large multipurpose / meeting rooms, similar to the previous proposed facility. Further details regarding interior finishes will be confirmed in the near future.
- The window glazing on the north building elevation has been scaled down compared to the previous building, but will still include glazing on the second floor from the multi-purpose room. Significant glazing is also proposed along the south building elevation facing the parking lot, providing direct sunlight into the main lobby.

Proposed Signage Package

- Two (2) fascia signs are proposed for the new arena along the north and south building elevations. The proposed south side fascia sign is to be installed above the canopy along the south building elevation (main entrance), which faces the internal parking lot. The proposed sign will consist of stainless steel letters, and is approximately 0.6 metre high and 16 metres wide.
- The proposed fascia sign along the north building elevations will provide building identification for those travelling along 64 Avenue. The proposed sign is identical to the sign proposed on the south building elevation in terms of design (stainless steel letters) and size (0.6 metre high and 16 metres wide). The proposed sign along the north building elevation however, will be mounted directly on the building and will be back-lit illuminated.
- A free-standing sign is also proposed on the subject site along the 177B Street extension and will comply with the Sign By-law. The free-standing sign is high-quality and includes clear anodized aluminum letters and a logo pin-mounted on a charcoal anodized aluminum sign plate. The proposed free-standing sign is mounted on a solid concrete base and will be setback at least 2.0 metres from the property line, in compliance with the Sign Bylaw.
- No variances are required for the proposed signage.

Landscaping

- The proposed landscape plans will consist of similar trees and shrubs as the previously approved landscape plans under the previously approved Development Permit.
- The landscape plan includes the planting of about 100 on-site trees, as well as a significant number of shrubs and ground cover. An additional 22 off-site, street trees are proposed.
- Tree-lined pedestrian connections will provide access from 64 Avenue and 177B Street to the main entrance of the proposed facility. Well-delineated pedestrian paths within the parking lot are proposed as well.
- Bioswales are proposed within the parking lot to filter and retain surface runoff water.

- Lighting is to be installed within the parking lot for improved safety and visibility.

TREES

- As part of the original Rezoning application, an arborist report was submitted for review and was approved after staff review. The trees that were approved for removal have since been cleared. No additional tree removal is proposed as part of the current development application.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Architectural Drawings
Appendix II.	Development Variance Permit No. 7917-0169-00
Appendix III.	Previous Planning Report No. 7917-0169-00 and 7917-0169-01

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

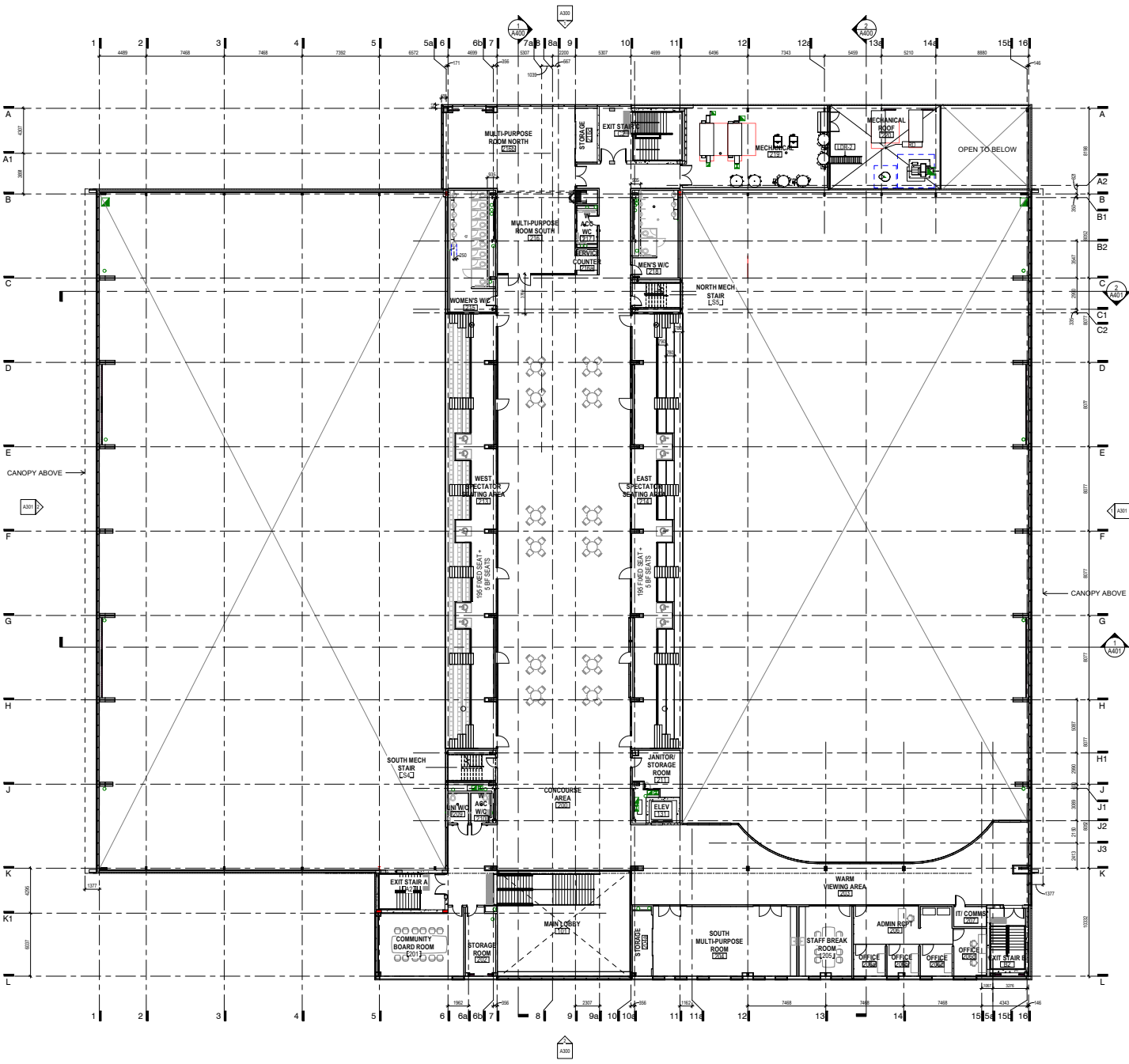
DN/ar



KEYPLAN:

KEYNOTE LEGEND
TAG DESCRIPTION
LDR-2 LADDER - TYPE 2
RD ROOF DRAIN

Level 200 - Room Schedule	
NO.	Name
200	CONCOURSE AREA
201	COMMUNITY BOARD ROOM
202	STORAGE ROOM
203	WARM VIEWING AREA
204	SOUTH MULTI-PURPOSE ROOM
204a	STORAGE
205	STAFF BREAK ROOM
206	ADMIN RCPT
206a	OFFICE
206b	OFFICE
206c	OFFICE
206d	OFFICE
207	IT COMMS
209	UNI WIC
210	WOMENS WIC
211	JANITOR/ STORAGE ROOM
213	WEST SPECTATOR SEATING AREA
214	EAST SPECTATOR SEATING AREA
215	WOMENS WIC
216	MULTI-PURPOSE ROOM SOUTH
216a	SERVICE COUNTER
216b	MULTI-PURPOSE ROOM NORTH
216c	STORAGE
217	W AGC WIC
218	MENS WIC
219	MECHANICAL
220	MECHANICAL ROOF
A2	EXIT STAIR A
B2	EXIT STAIR B
C2	EXIT STAIR C
S4	SOUTH MECH STAIR
S5	NORTH MECH STAIR



5	23.02.23	DP Comments
2	22.08.24	Building Permit Submission
1	22.08.22	Based On Design Development
REV	DATE	DESCRIPTION
SCALE	1:100	DATE: November 2023
PROJECT NUMBER	2023	
FILE	2023-11-01	

TKA+D ARCHITECTURE + DESIGN INC.
Cloverdale Sport and Ice Complex
6336 - 177B Street, Surrey, BC
200 Level Plan Overall
PLOT DATE: 23/2023 6:27:22 PM
A112





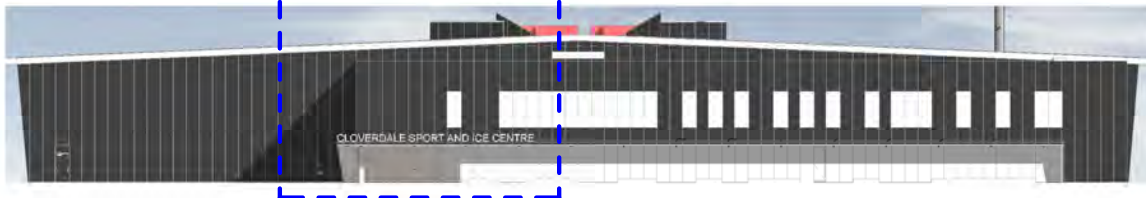
SUSPENDED SIGNAGE

2'-0"
CLOVERDALE SPORT AND ICE CENTRE
.52'-6"

PEDESTAL MOUNTED SIGNAGE AT SOUTH ELEVATION

2' - 0" TALL STAINLESS STEEL LETTERS SUPPORTED ABOVE CANOPY

FONT: UNIVERSE



South Elevation

BUILDING MOUNTED SIGNAGE



BUILDING MOUNTED SIGNAGE,
BACK-LIT

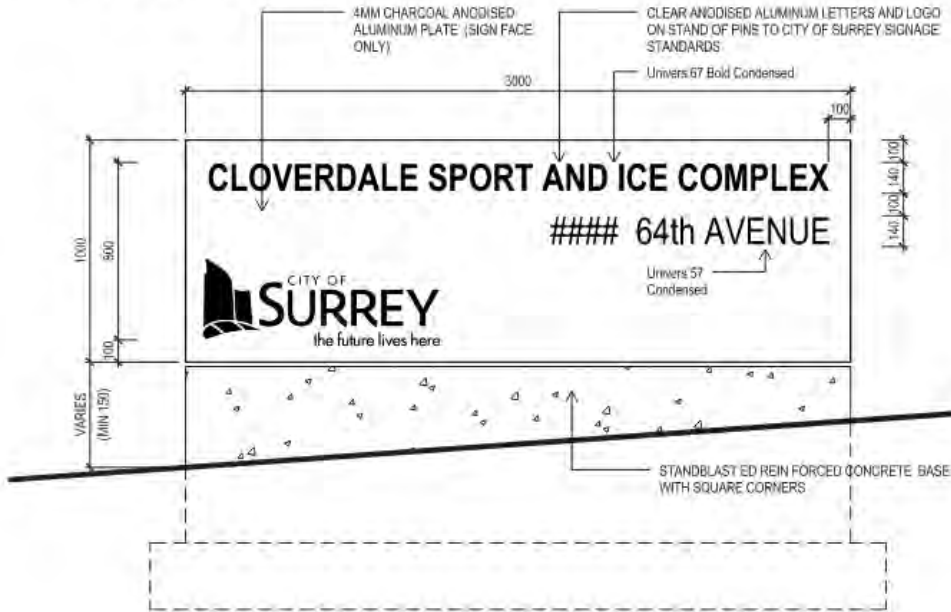
2' - 0" TALL STAINLESS STEEL
LETTERS

FONT: UNIVERSE

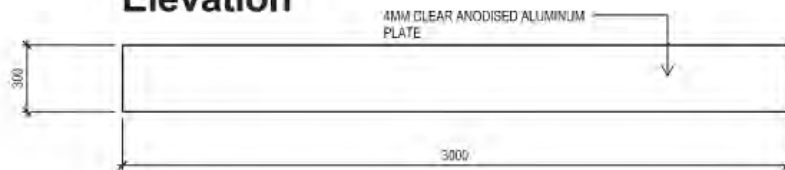


North Elevation

ADDRESS MONUMENT SIGNAGE

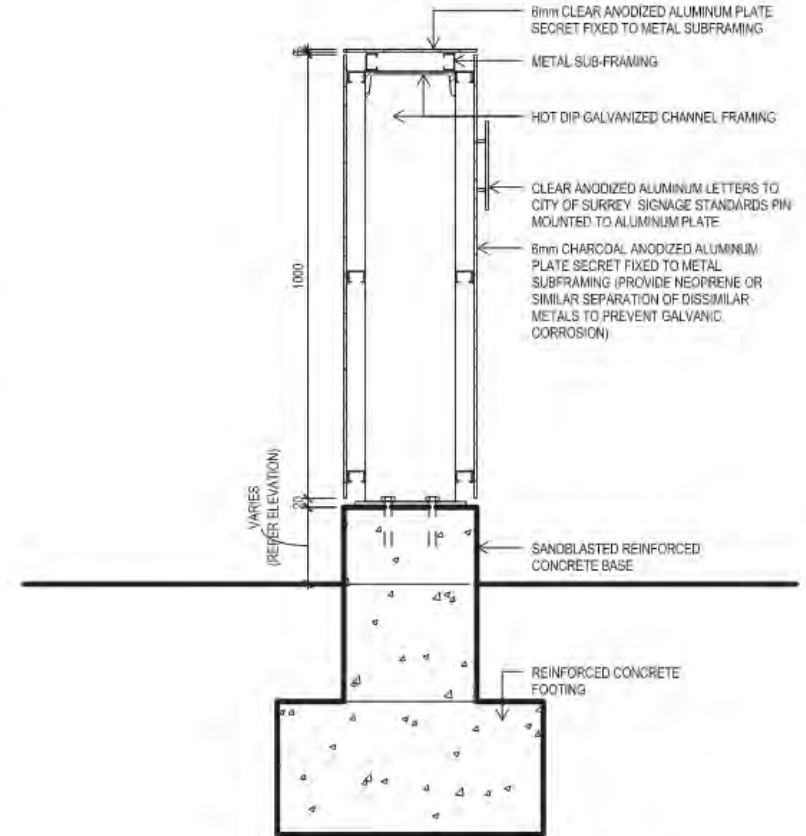


Elevation



Plan

① **Signage Details - Main Sign**
1 : 20

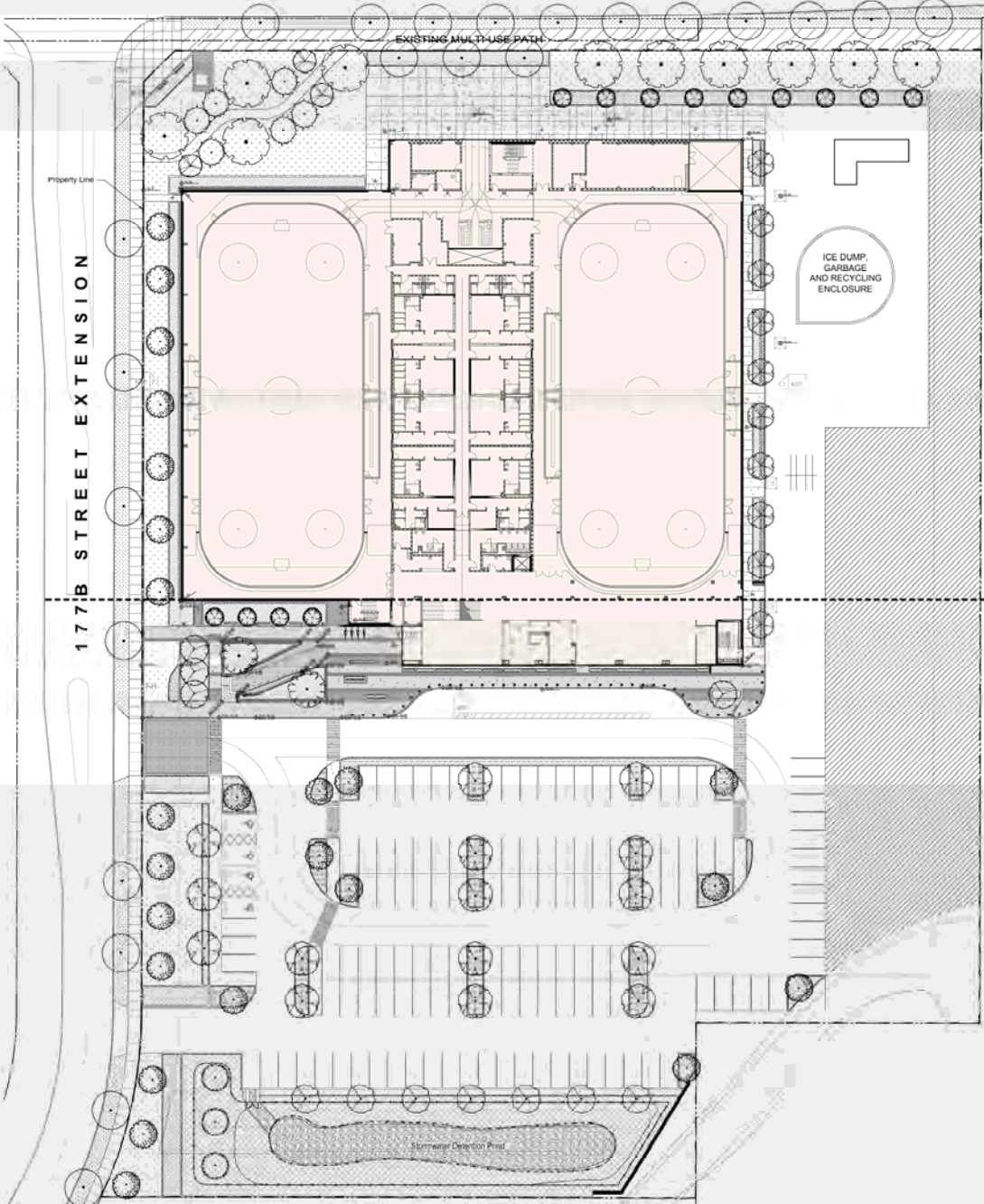


② **Typ Bld Sign - Detail Section**
1 : 10

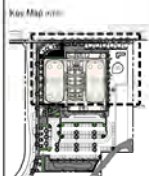
64 AVENUE

LANDSCAPE LEGEND

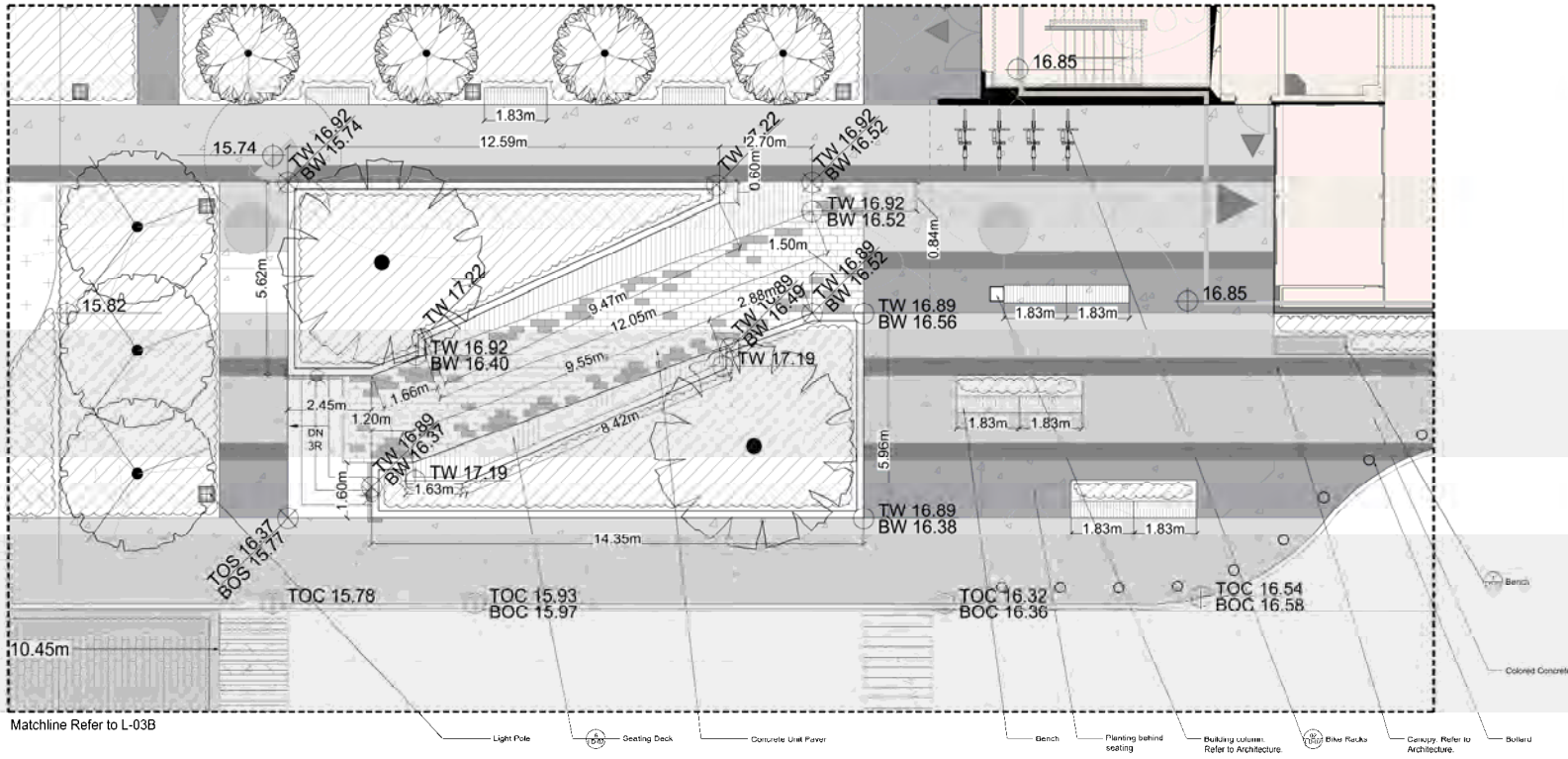
REF.	DESCRIPTION
1 (LD-01)	GRASS/STRAW
2 (LD-01)	COLORS CONCRETE Clear, Natural, Charcoal, Light Charcoal
3 (LD-01)	PERVIOUS PAVEMENT TRIP (SLOTTED) BLOCKS WITH LIGHT POLYURETHANE SAND MULTI-PURPOSE SURFACE
4 (LD-01)	WET GRASS
5 (LD-01)	LAWN
6 (LD-01)	UPPERS GRASS
7 (LD-01)	SHRUB PLANTING
8 (LD-01)	BOSWALE
9 (LD-01)	RAIL FENCE Made of WOODS Manufacturer: Resource Family
10 (LD-01)	BOLLARD Made of BRASS Manufacturer: Resource Family
11 (LD-01)	SEATRILL
12 (LD-01)	SPLIT RAIL FENCING
13 (LD-01)	LOW FLOW FENCING
14 (LD-01)	LEAFY FENCE
15 (LD-01)	RAIL LIGHT



MATCHLINE SEE L-03A
 MATCHLINE SEE L-03B



Project Name	Overall Site Plan
Client	603-177 Street, Surrey B.C.
Scale	1:200
Author	JR/AC
Check	JR/AC
Date	2021-07-07



Matchline Refer to L-03B

- Light Pole
- Seating Deck
- Concrete Unit Paver
- Bench
- Planting behind seating
- Building columns Refer to Architecture
- Bike Racks
- Canopy Refer to Architecture
- Boiler
- Colored Concrete

LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
	7 (LD-01)	CONCRETE PAVING
	7 (LD-01)	COLORLED CONCRETE Color: Natural, Charcoal, Light Charcoal
	7 (LD-01)	CONCRETE UNIT PAVING Type: Classic Standard Stone Color: Natural & Charcoal Manufacturer: Associated Concrete
	8 (LD-02)	SEAT DECK
	9 (LD-01)	LAWN
	9 (LD-01)	GRASS GRID
	12 (LD-01)	SHRUB PLANTING
	6 (LD-01)	BIOSWALE
	7 (LD-02)	SEED BANK Model # R-2028-05 Manufacturer: Resource Fertility
	7 (LD-02)	SOD BLOCK Model # R-2028-05 Manufacturer: Resource Fertility
	1 (LD-02)	SEAWALL
	13 (LD-01)	SPLIT RAIL FENCING
	14 (LD-01)	LOW FLOW FENCING
	4 (LD-02)	LIGHT POLE
	7 (LD-02)	WALL LIGHT



No.	Rev.	Description	Date
1	01	Issued for Review	2021-11-19
2	01	Revised for Building Permit	2022-04-26
3	01	Revised for Review	2022-05-07
4	01	Revised for Review	2022-05-07

REVISIONS TABLE FOR DRAWINGS:
 All drawings include the drawing per sheet as described in this table and are the responsibility of your Project Manager.

No.	Rev.	Description	Date
REVISIONS TABLE FOR SHEET			

Project: Cloverleaf Arena
 Location: 6336-177B Street, Surrey B.C.

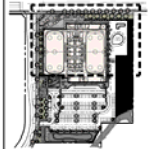
Drawn	Checked	Approved	Scale
GP	PC	BU	1:100

EXISTING MULTI-USE PATH

1778 Street Extension

Matchline Refer to L-02

Key Map att.



No.	Description	Date
1	Issue for Review	2023-11-14
2	Issue for Building Permit	2023-04-26
3	Issue for Review	2023-03-27
4	Issue for Review	2023-03-27

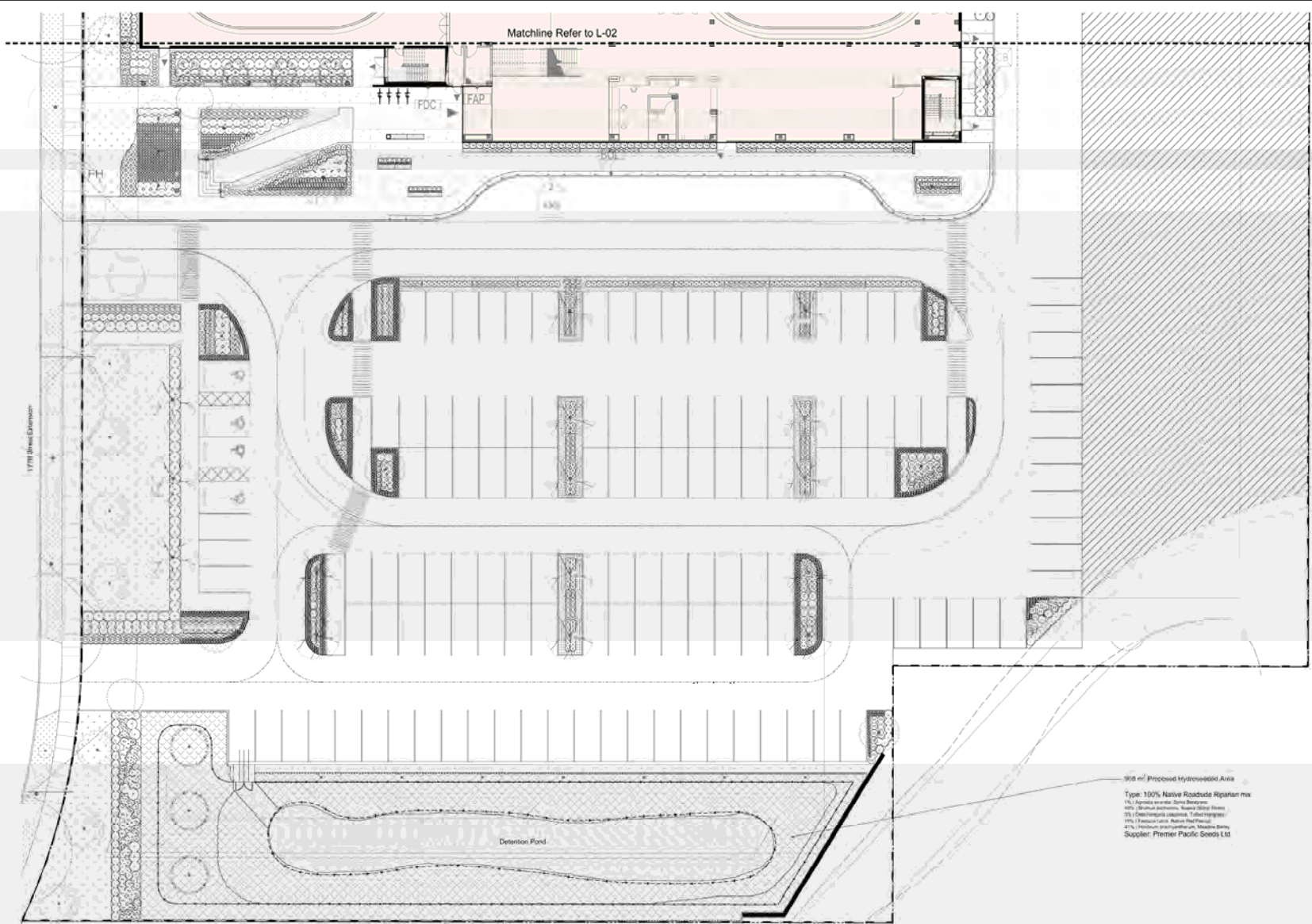
REVISIONS TABLE FOR DRAWINGS
If a drawing is revised, the drawing will be re-issued with a new revision number and date. The drawing will be re-issued with a new revision number and date.

No.	Description	Date
1	Issue for Review	2023-11-14
2	Issue for Building Permit	2023-04-26
3	Issue for Review	2023-03-27
4	Issue for Review	2023-03-27

Location:
6336-1778 Street, Surrey B.C.

PLANT SCHEDULE NORTH

SHRUBS	BOTANICAL / COMMON NAME	CONT.	SPACING	QTY
Bc	Berberis thunbergii 'Aurea Nana' / Japanese Barberry	#2	0.45m	200
B	Buxus x 'Green Velvet' / Boxwood	#2	0.6m	54
L	Lonicera plicata / Box leaf Honeysuckle	#2	0.5m	157
P	Prunus laurocerasus 'Cito Jaykon' / Luynes Laurel	#3	1.2m	111
Pr	Prunus laurocerasus 'Gerokii' / Fastigate Cherry Laurel	#3	0.8m	121
Sh	Samolus nigricans / Dwarf Forsythia	#2	0.75m	28
V	Viburnum chinensis / Evergreen Huckleberry	#2	0.75m	28
DETENTION POND PLANTING	BOTANICAL / COMMON NAME	CONT.	SPACING	QTY
K	Cornus sericea 'Robbery' / Rubbery Dogwood	#2	0.6m	81
GROUND COVERS	BOTANICAL / COMMON NAME	CONT.	SPACING	QTY
	Erica carnea 'Springwood White' / Winter Heath	#1	300mm	215



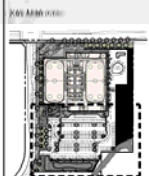
308 m² Precast Hydroseeded Area
Type: 100% Native Roadside Riparian mix
1% Agrostis exaristata / Snow Bedstraw
20% Bromus horridulus / Rough Stalked Broom
25% Carex lasiocarpa / Tufted Hairgrass
10% Festuca ovina / Sheep Fescue
21% Hieracium aurantiacum / Orange Stem
Supplier: Premier Pacific Soddy Ltd.

PLANT SCHEDULE SOUTH

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
aj	Rubus japonicus / Higo White / Higo White Japanese Anemone	#1	0.6m	35
aj	Wisteria x Green Cascade / Bluewood	#2	0.3m	11
K	Cornus sericea / Kelsey / Kelsey Dogwood	#2	0.6m	127
ES	Escallonia x Newport Dwarf / Newport Dwarf Escallonia	#3	0.75m	101
L3	Lavandula angustifolia / Hidcole / Hidcole Lavender	#1	0.6m	14
L	Leucosia pleata / Bookleaf Honeycreeper	#2	0.3m	205
P	Prunus laurocerasus / Otto Luyster / Luyster Laurel	#3	1.2m	73
Py	Prunus laurocerasus / Genots / Fastguts Cherry Laurel	#3	0.75m	85
TM	Taxus media / SIB / Yew	1.2m H	0.75m	63
Y	Yucca filamentosa / Evergreen Huckleberry	#2	0.75m	19
ANNUALS/PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
aj	Agrostis exaristata / Lily of the Nile	#1	0.3m	122
aj	Scilla maritima / Magnolia / Magnolia Purple Cornflower	#1	0.3m	72
aj	Scilla maritima / White Swan / Purple Cornflower	#1	0.3m	105
M	Scilla maritima / Tiny Tim / Tiny Tim Cornflower	#1	0.3m	1,224
aj	Lilium tigrinum / Big Blue / Creeping Lily Turf	#1	0.3m	174
aj	Polygonum abrotanoides / Hamelin / Hamelin Dwarf Fountain Grass	#1	0.6m	213
S	Sedum spectabile / New Wave Sedum	#2	0.6m	25
S	Sedum 'Autumn Joy' / Autumn Joy Sedum	#1	0.3m	103

PLANT SCHEDULE SOUTH

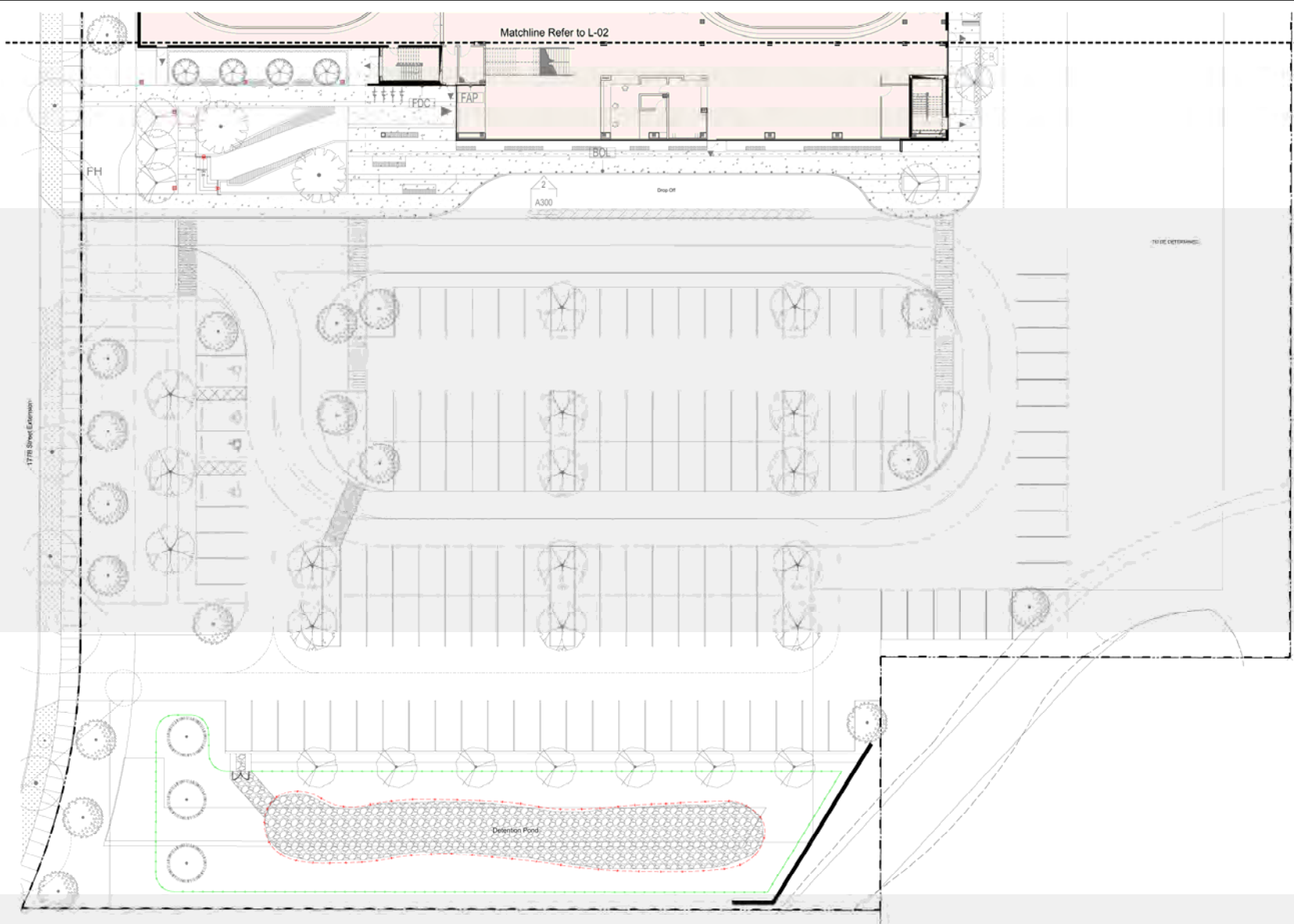
SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
R2	Rosa 'Blaze Carpet' / Crowndome Rose, Pink	#1	0.6m	149
Rn	Rosa multiflora / Nootka Rose	#2	0.9m	23
Sj	Spiraea japonica / Little Princess / Little Princess Japanese Spirea	#2	0.6m	143
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Arctostaphylos uva-ursi / Arctostaphylos	#1	300mm	774
	Erica cinerea / Springwood White / White Heather	#1	300mm	472



Location: 6336-1778 Street, Surrey B.C.

NO.	DESCRIPTION	DATE
1	Issue for Review	2023.11.14
2	Issue for Building Permit	2023.12.14
3	Issue for Review	2024.01.14
4	Issue for Review	2024.02.14
5	Issue for Review	2024.03.14

REVISIONS TABLE FOR DRAWING



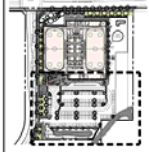
FENCING LEGEND

KEY	REF	DESCRIPTION
	2 LD-03	HIGH FLOW FENCING
	2 LD-04	LOW FLOW FENCING

LIGHTING LEGEND

KEY	REF	DESCRIPTION
	2 LD-02	WALL LIGHT
	2 LD-02	WALL LIGHT

Key Map (in)



NO.	DESCRIPTION	DATE
1	Issue for Review	2023-11-14
2	Issue for Building Permit	2023-04-26
3	Issue for Review	2023-04-20
4	Issue for Review	2023-04-20
5	Issue for Review	2023-04-20

REVISIONS TABLE FOR DRAWINGS
 All changes are noted. The drawing and design are the property of VDZ+A and may not be reproduced or used in other projects without the written consent of VDZ+A.

Project: **Commercial - Artistic**
 Location: **6336-177B Street, Surrey B.C.**

Drawn by: **LD**
 Checked by: **FC**
 Approved by: **AP**

Scale: **1:50**

VDZ+A
 302-5522 Columbia St, 102-1118 Highway
 Fort Langley, BC, Canada V5C 2S1
 TEL: 604-887-2222 FAX: 604-887-2222

TREE PLANTING - RESIDENTIAL STREET AND PARKS
 Scale: NTS

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD TREE SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

SHRUB PLANTING
 Scale: NTS

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD SHRUB SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

GROUND COVER PLANTING
 Scale: NTS

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD GROUND COVER SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

ROOT BARRIER
 Scale: NTS

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD ROOT BARRIER SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

GRASS AREA - SEED
 Scale: NTS

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD GRASS SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

1 TREE PLANTING-RESIDENTIAL STREET AND PARKS
 Scale: NTS

2 SHRUB PLANTING
 Scale: NTS

3 GROUND COVER PLANTING
 Scale: NTS

4 ROOT BARRIER
 Scale: NTS

5 GRASS AREA-SEED
 Scale: NTS

PARKING LOT BIOSWALE PLANTING - SECTION
 Scale: 1/8"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD BIOSWALE SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

6 PARKING LOT BIOSWALE PLANTING
 Scale: 1/8"

CONCRETE SURFACING
 Scale: 1/10"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD CONCRETE SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

7 CONCRETE SURFACING
 Scale: 1/10"

CONCRETE JOINTS
 Scale: 1/10"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD JOINT SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

8 CONCRETE JOINTS
 Scale: 1/10"

GRASS GRID
 Scale: 1/10"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD GRASS GRID SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

9 GRASS GRID
 Scale: 1/10"

CONCRETE UNIT PAVERS - FOR VEHICULAR USE
 Scale: 1/8"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD PAVER SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

10 CONCRETE UNIT PAVERS - FOR VEHICULAR USE
 Scale: 1/8"

ERODING
 Scale: 1/8"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD ERODING SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

11 ERODING
 Scale: 1/8"

DRIP STRIP
 Scale: 1/10"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD DRIP STRIP SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

12 DRIP STRIP
 Scale: 1/10"

SPLIT RAIL FENCE
 Scale: 1/10"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD FENCE SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

13 SPLIT RAIL FENCE
 Scale: 1/10"

LOW FLOW SILT FENCE
 Scale: 1/10"

ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED

REVISION DATE	APPROVED	SCALE	AS NOTED
1	DATE	DATE	DATE
2	DATE	DATE	DATE
3	DATE	DATE	DATE
4	DATE	DATE	DATE

REVISIONS: 1. ADD SILT FENCE SPECIES TO LIST. 2. ADD MULCH DEPTH. 3. ADD SOIL DEPTH. 4. ADD DRAINAGE DETAILS.

SURREY
 DRAWING NUMBER: SSD-PK5078

14 LOW FLOW SILT FENCE
 Scale: 1/10"

REVISIONS TABLE FOR DRAWING

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2021.10.15
2	ISSUED FOR CONSTRUCTION	2021.11.01
3	ISSUED FOR AS-BUILT	2022.01.01
4	ISSUED FOR FINAL REVIEW	2022.02.01
5	ISSUED FOR ARCHIVE	2022.03.01

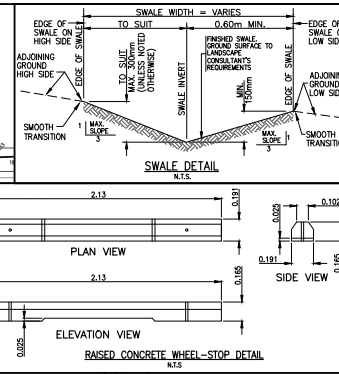
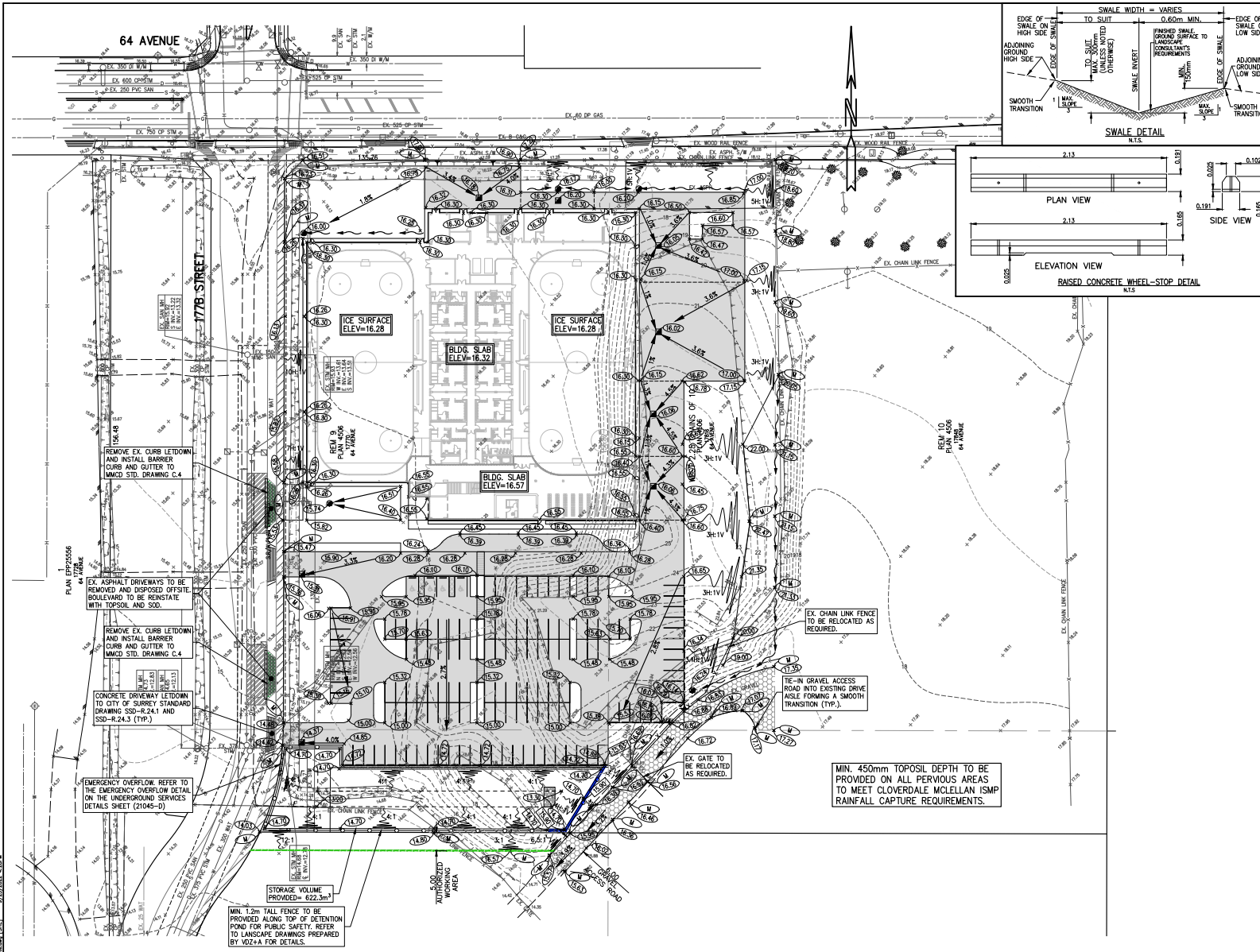
REVISIONS TABLE FOR SHEET

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2021.10.15
2	ISSUED FOR CONSTRUCTION	2021.11.01
3	ISSUED FOR AS-BUILT	2022.01.01
4	ISSUED FOR FINAL REVIEW	2022.02.01
5	ISSUED FOR ARCHIVE	2022.03.01

Project: **Chowhan Arty**
 Location: **6336-1778 Street, Surrey B.C.**

Scale: **AS SHOWN**
 Date: **2021.10.15**

Author: **JD**
 Checker: **FC**
 Designer: **AV**
 Approver: **LD**

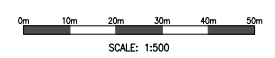


ON-SITE SITE GRADING LEGEND

- EXISTING GROUND SURFACE ELEVATION.
- EXISTING GROUND SURFACE CONTOUR ELEVATION.
- EXISTING SWALE.
- PROPOSED SWALE.
- PROPOSED BUILDING SWALE.
- DIRECTION OF PROPOSED SURFACE FLOW.
- PROPOSED SLOPE AS PER GEOTECHNICAL CONSULTANT'S REQUIREMENTS.
- NEW CATCHBASIN TO MMCO STANDARD S11 WITH DEBRIS SCREEN FRAME & GRATE & ALUMINUM TRAPPING HOOD ON THE OUTLET PIPE.
- PROPOSED LAWN DRAIN TO MMCO STANDARD S12 (TYPE 2) 2.0m ALUMINUM TRAPPING HOOD ON THE OUTLET PIPE.
- EXISTING GROUND SURFACE ELEVATION.
- PROPOSED FINISHED PAVEMENT/SURFACE ELEVATION.
- MEET EXISTING PAVEMENT/GROUND SURFACE ELEVATION.
- PROPOSED FINISHED TOP OF RETAINING WALL ELEVATION.
- PROPOSED PAVED AREA AS PER GEOTECHNICAL CONSULTANT'S REQUIREMENTS.
- PAVEMENT RESTORATION TO CITY OF SURREY STD. DRAWINGS SSD-G-2 TO G-5 (TYP.).
- PROPOSED DECORATIVE PAVERS TO LANDSCAPE, ARCHITECTURAL AND GEOTECHNICAL CONSULTANT'S REQUIREMENTS.
- GRAVEL ACCESS ROAD AS PER GEOTECHNICAL CONSULTANT'S RECOMMENDATIONS.
- REINSTATE BOULEVARD WITH MIN. 450mm TOPSOIL AND SOD TO CITY OF SURREY STD.
- MILL & INLAY AS PER GEOTECHNICAL CONSULTANT'S RECOMMENDATION.
- INTERIM RETAINING WALL, DESIGN AND INSPECTION BY OTHERS.
- FENCE, DESIGN AND INSPECTION BY OTHERS.

- ### ON-SITE SITE GRADING NOTES:
1. ALL DIMENSIONS ARE METRIC UNLESS NOTED OTHERWISE.
 2. CONTRACTOR SHALL COMPLY WITH ALL NOTES AND SPECIFICATIONS ON THE "ON-SITE NOTES" SHEET.
 3. CONTRACTOR SHALL RESTORE ANY AND ALL DISTURBED WORKS TO PRECONSTRUCTION CONDITION OR BETTER, AND TO THE SATISFACTION OF THE PROPERTY OWNER(S) AND MUNICIPALITY.
 4. CONTRACTOR SHALL TIE-IN ALL NEW SURFACE WORKS TO EXISTING SURFACE WORKS FORMING A SMOOTH TRANSITION.
 5. CONTRACTOR SHALL RESTORE EXISTING PAVEMENT CUT AND PATCHES TO MMCO STANDARDS. WHERE NEW ASPHALT PAVEMENT MEETS EXISTING ASPHALT PAVEMENT, CONTRACTOR SHALL PROVIDE A MINIMUM 200mm WIDE x 40mm THICK ASPHALT MILL AND LAP JOINT.
 6. REFER TO ARCHITECTURAL DRAWINGS FOR SITE LAYOUT, BUILDING LAYOUT, LINE PAINTING, WHEELCHAIR CROPS, RAMPS AND CURB DETAILS.
 7. REFER TO STRUCTURAL AND/OR GEOTECHNICAL DRAWINGS FOR RETAINING WALL DETAILS AND SPECIFICATIONS. CONSTRUCTION, INSPECTIONS AND CERTIFICATION OF RETAINING WALLS BY OTHERS.
 8. UPON CONSTRUCTION SUBSTANTIAL COMPLETION, THE CONTRACTOR'S SURVEYORS TO PROVIDE HUB ENGINEERING INC. WITH COMPLETE CERTIFIED (B.C.L.S. OR P. ENG. SEAL) AS-BUILT INFORMATION FOR THE NEW WORKS AND SERVICES SHOWN ON THIS DRAWING. SURVEYOR TO COORDINATE WITH HUB ENGINEERING INC. PRIOR TO COMMENCEMENT OF THE AS-BUILT FIELD SURVEY.

THESE DRAWINGS ARE FOR EXCAVATION AND SHORING APPLICATION PACKAGE. UPDATED DRAWINGS TO BE PROVIDED IF REQUIRED.



NO.	REVISIONS	DATE	SCALE
1	BUILDING PERMIT SUBMISSION	SEPT. 26/22	1:500
2	UPDATE GRAVEL ACCESS ROAD ALIGNMENT AS REQUESTED	AUG. 26/22	REVISION: DA
3	RE-ALIGN EXISTING GRAVEL ACCESS ROAD	AUG. 04/22	ISSUED: RH
4	UPDATE DETENTION POND	JUL. 08/22	DESIGNED: RFG
5	REVISE SLAB AND GRADING	JUL. 07/22	APPROVED: RFG
6	UPDATE GRADING EAST SIDE	JUN. 14/22	DATE: MAY 2022

Hub Engineering Inc.
Engineering and Development Consultants

102-1183 COLLIER DRIVE
VANCOUVER, B.C. V6B 1T5
604-562-3499

LOT: 9, 10, 15, & 16 BLOCK 1 SECTION 8 TOWNSHIP 8 NORTH WESTMINSTER DISTRICT PLAN 4506

CLIENT:	CITY OF SURREY	c/o TAYLOR KURTZ ARCHITECTURE + DESIGN	102-1183 COLLIER DRIVE VANCOUVER, B.C. V6B 1T5 604-562-3499
PROJECT:	CLOVERDALE ARENAS 6336 - 177B STREET SURREY, B.C.		
DATE:	SEP 23, 2022		

PROJECT:	CLOVERDALE ARENAS
DATE:	SEP 23, 2022
SCALE:	1:500
PROJECT NO.:	7917-0169-00
CLIENT:	COS-ONSITE
PROJECT NO.:	21045-A

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0169-00

Issued To:

("the Owner")

Address of Owner:

- 1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
- 2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-695-345
 Lot 1 Section 8 Township 8 Plan EPP 115463 New Westminster District
 6336 - 177B Street

(the "Land")

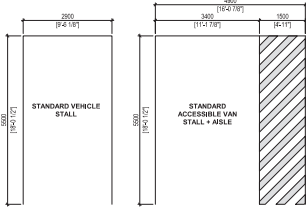
- 3. Surrey Comprehensive Development By-law, 2018, No. 19575, as amended is varied as follows:
 - (a) In Section F. Yards and Setbacks, the west side yard on flanking street setback is decreased from 7.5 metres to 6.0 metres to principal building face.
- 4. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
- 5. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

6. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 2023.
ISSUED THIS DAY OF , 2023.

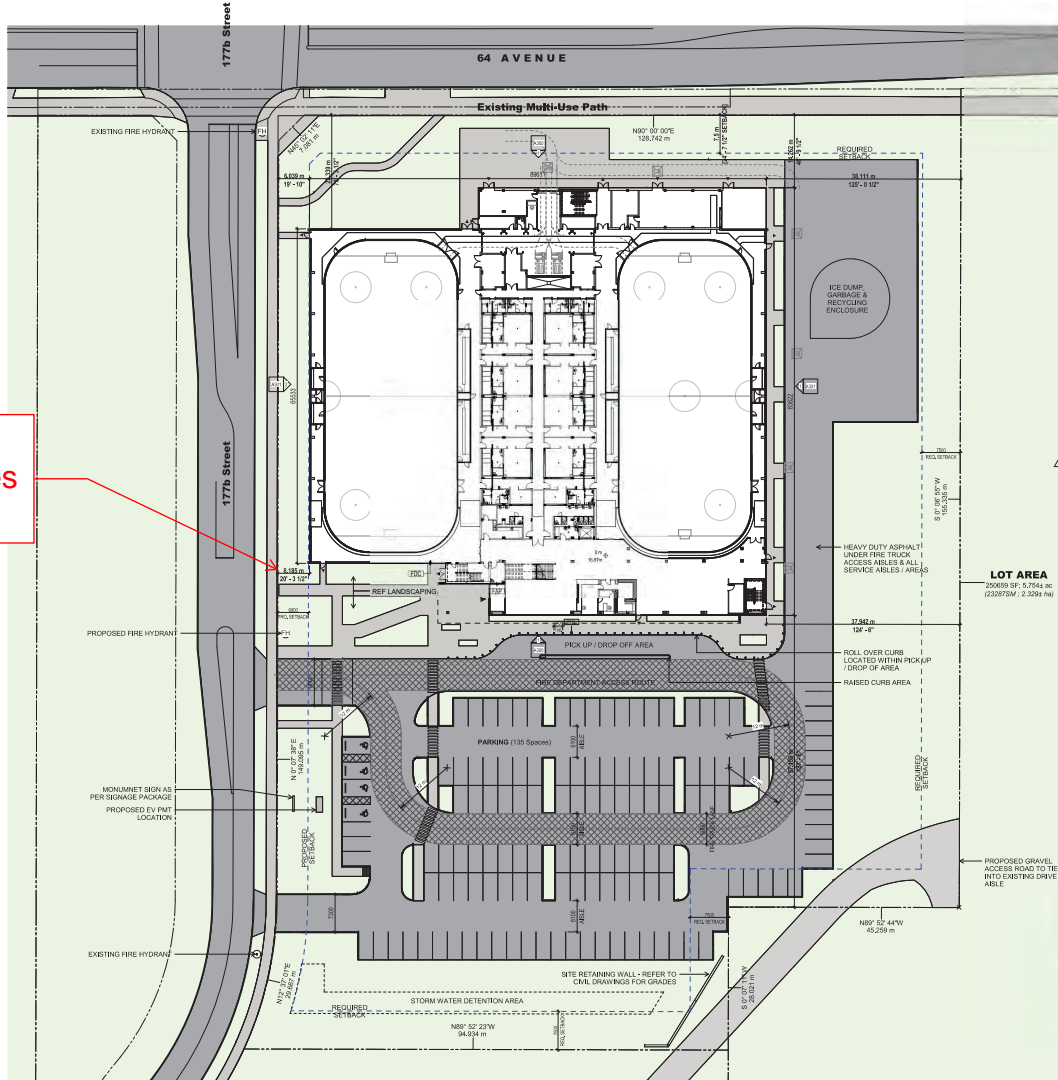
Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



2 Std. Parking Stall Sizes
1:50

DVP to reduce west setback from 7.5 metres to 6.0 metres



1 Site Plan
1:300

KEYNOTE LEGEND

TAG	DESCRIPTION
BCL	BOLLARDS
FAB	FIRE ALARM ASSOCIATION WAIVER
FDC	FIRE DEPARTMENT CONNECTION

ZONING SUMMARY:

PROJECT NAME: Cloverdale Sport and Ice Complex
PROJECT ADDRESS: 6334 - 177b Street, Surrey, BC
LEGAL DESCRIPTION: RD 20-0-0004 PLAN 029115403
 LOT 1 (22075SM) ZONING #2
 PLAN 029115403 MVO

SETBACKS:
 Front Yard: 7.5m Proposed: 6.0m
 Side Yard East: 7.5m Proposed: 6.0m
 Side Yard West: 7.5m (20-0-0004) Proposed: 6.0m
 Rear Yard: 7.5m Proposed: 6.0m
 Lot: Various (Refer to Street Setback Indication)

EASEMENTS: TBA
AUTHORITY: City of Surrey
CODE VERSION: Zoning & Dev. MDOCS & MDTIS 8/2012-2015
ZONE: CO
USES: Principal Community Ice Arena

Grass Floor Area: 10621 SF
Site Area: 20069 SF 104.73 Acres
Floor Area Ratio: Proposed: 0.53
Site Coverage: Proposed: 0.50
Height: Proposed: 21.1m
 Permitted: 12m

Area Summary - by Level

Level	Area (SF)	Area (Ac)
LEVEL 1	10621 SF	0.48 Acres
LEVEL 2	10621 SF	0.48 Acres
Area (Total)	21242 SF	0.96 Acres

Parking Provided: 135 Total
 4 Accessible Van Stalls
 22 (5.6%) Total
 8 Accessible (5.9%)
 10% is Accessible (7.4%)

LOT AREA
 20069 SF: 5,7544 sq (22075SM / 2,3206 ha)



- 1. TKA+D RDHA
- 2. P.Eng. 12345
- 3. P.Eng. 12345
- 4. P.Eng. 12345
- 5. P.Eng. 12345
- 6. P.Eng. 12345
- 7. P.Eng. 12345
- 8. P.Eng. 12345
- 9. P.Eng. 12345
- 10. P.Eng. 12345

City of Surrey
ADDITIONAL PLANNING COMMENTS
 Application No.: 7917-0169-00
 7917-0169-01

Planning Report Date: September 13, 2021

PROPOSAL:

- **Development Permit**

to permit the development of the Cloverdale Sport & Ice Complex.

LOCATION:

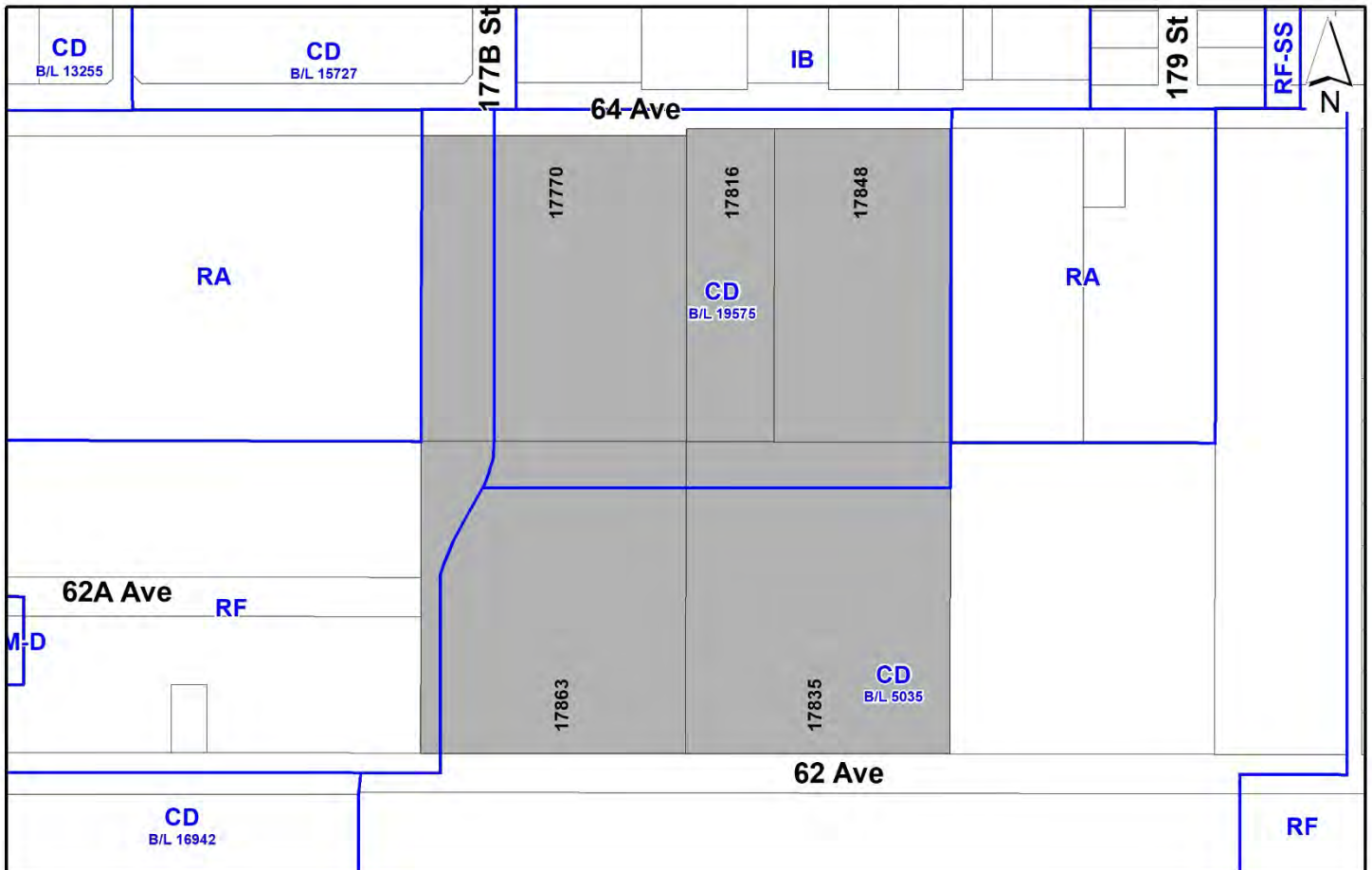
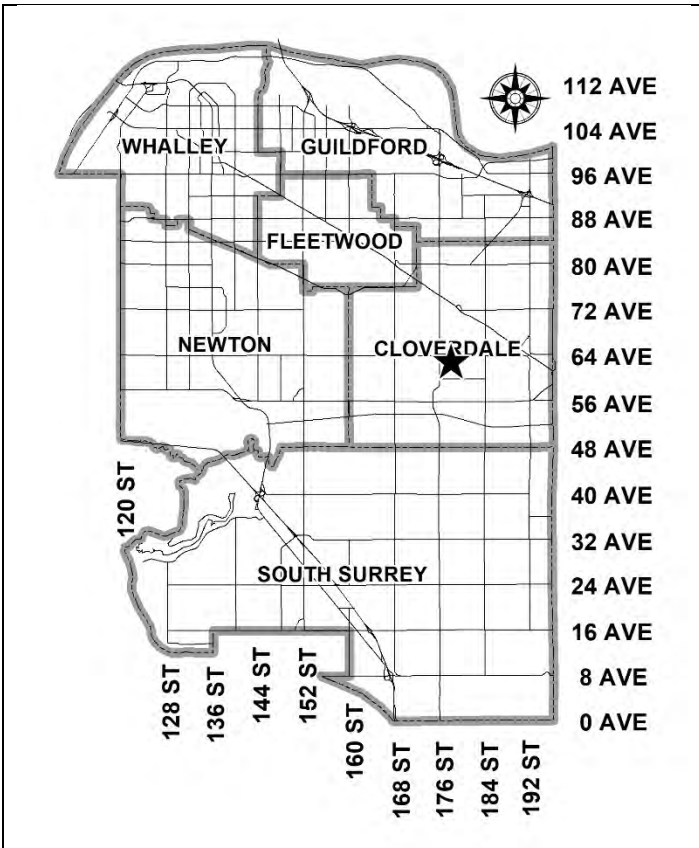
- 17770 - 64 Avenue
- 17816 - 64 Avenue
- 17848 - 64 Avenue
- Portion of 17763 - 62 Avenue
- Portion of 17835 - 62 Avenue

ZONING:

CD Bylaw No. 19575

OCP DESIGNATION:

Urban



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the Sign By-law to allow second-storey fascia signage through a comprehensive sign design package.

RATIONALE OF RECOMMENDATION

- Council granted final adoption of the Rezoning for the Cloverdale Sport & Ice Complex on October 1, 2018, and also approved Development Permit No. 7917-0169-00 (Form and Character).
- Development Permit (DP) No. 7917-0169-00 has since expired (October 1, 2020, expiry), as substantial construction of the project did not start within the two years after the Development Permit was issued.
- The current proposed drawings for DP No. 7917-0169-01, if approved by Council, will replace expired Development Permit No. 7917-0169-00, and are consistent with the previously approved drawings.
- The proposed signage has been comprehensively designed to be integrated with the design of the building. The proposed signs consist of high-quality materials and are appropriate in size and scale and are consistent with the signs that were previously approved.
- The proposed land use and building form are appropriate for this part of Cloverdale and will complement the existing recreational uses at the Cloverdale Fairgrounds.
- The proposed Cloverdale Sport & Ice Complex will provide a valuable public amenity to the residents of Cloverdale, and to Surrey as a whole.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Permit No. 7917-0169-01 including a comprehensive sign design package and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design, and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

2. Council approve the applicant's request to vary the Sign By-law as described in Appendix I.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	City-owned lots, portions where the Sports & Ice Complex proposed currently vacant.	Urban	CD Bylaw No. 19575
North (Across 64 Avenue):	Cloverdale Crossing Shopping Centre and Business Park.	Commercial and Mixed Employment	CD By-law No. 15727 and IB
East:	Cloverdale Horseshow Club and treed lot.	Urban	RA
South:	Cloverdale Fairgrounds Agriplex and Showbarn.	Urban	CD By-law No. 5035
West:	Bill Reid Millennium Amphitheatre.	Urban	RA

Context & Background

- The 4.1-hectare site is comprised of five (5) City-owned properties (17770, 17816 and 17848 - 64 Avenue, and portions of 17763 and 17835 - 62 Avenue). The site is located on the south side of 64 Avenue, directly east of the Bill Reid Millennium Amphitheatre. The subject site is designated Urban in the Official Community Plan (OCP).

- As part of the updated Cloverdale Town Centre Plan, which was endorsed by Council on November 18, 2019, the subject site including all of the Cloverdale Fairground lands are no longer part of the Town Centre Plan.
- The subject site was rezoned under Development Application No. 7917-0169-00, which was approved by Council on October 1, 2018, and Comprehensive Development (CD) Bylaw No. 19575 currently regulates the site. Development Permit No 7917-0169-00 (for Form and Character, including signage) was also approved by Council on October 1, 2018. The Rezoning and Development Permit were to permit the construction of the Cloverdale Sport & Ice Complex.
- As part of the Surrey Invest Program and in order to accommodate the need for additional community ice arenas in the City, Council has now authorized the completion of the design and the initiation of construction of the Cloverdale Sport and Ice Complex as part of the City's Five-Year (2021-2025) Financial Plan – Capital Program.
- Council recently approved the re-engagement of discussions between City staff and the architectural firms of Taylor Kurtz Architecture + Design Inc. and Rounthwaite, Dick and Hadley Architects Inc. (TKA+RDH) in order to advance the project to the construction phase (see Corporate Report No. R129, dated June 28, 2021). TKA+RDH was the successful candidate following the completion of a competitive procurement process (Request for Proposals) in 2016. Their drawings were approved by Council as part of Development Permit No. 7917-0169-00).
- However, Development Permit No. 7917-0169-00 has since expired. In accordance with Section D.2. of the Development Permit, the "development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued". Therefore, the current development application is to renew the drawings for the Cloverdale Sport & Ice Complex under a new Development Permit No. 7917-0169-01.

DEVELOPMENT PROPOSAL

Planning Considerations

- The current proposal for the Cloverdale Sport & Ice Complex includes a Development Permit in order to renew expired Development Permit No. 7917-0169-00, which was approved by Council in 2018. The facility is to be located on 'Block A' as per CD Bylaw No. 19575 (see Appendix II), which is about 4.1 hectares in size. The remnant lot (Block B) shown on the plan complies with the RF Zone, and forms part of the Bill Reid Millennium Amphitheatre site.
- The current drawings submitted by the architects (TKA+RDH) are consistent with the drawings that were previously approved under Development Permit No. 7917-0169-00.

- The current development application also includes a subdivision. The draft subdivision plan to facilitate the project has yet to be approved and registered at the Land Title Office. Therefore, a new subdivision plan will need to be drafted for approval by the Approving Officer. The proposed properties will match the previous draft subdivision plan (see Appendix III).
- The project statistics in the following table comply with the existing zone (CD Bylaw No. 19575) that regulates the facility:

Cloverdale Sport & Ice Complex Project Data	
Lot Area:	4.12 hectares (net)
Number of Lots:	2 (the sports facility site and a remnant lot)
Building Height:	11 metres (12 metres permitted in CD Bylaw No. 19575)
Floor Area Ratio (FAR):	0.22 net FAR (0.40 permitted)
Lot Coverage:	17% (40% permitted)
Floor Area:	8,858 sq.m.
Parking:	207 parking spaces

Referrals

- Engineering: The Engineering Department has no objection to the project.
- Parks, Recreation & Culture: No concerns.
- Surrey Fire Department: No concerns.

Transportation Considerations

Road Dedication and 177B Street Extension

- The following road dedication and requirements formed part of the original Rezoning application, and will be constructed in the near future with the completion of the Cloverdale Sport & Ice Complex:
 - Road dedication, ranging between 1.5 metres (5 ft.) and 5.0 metres (16.5 ft.), is required along the north property line to accommodate the widening of 64 Avenue;
 - A 20-metre (66-ft.) wide dedication is also required near the west property line to accommodate the extension of 177B Street, which will connect from 64 Avenue to 62 Avenue to the south. The extension of 177B Street will significantly improve the road connectivity for this area; and
 - A new signalized intersection will be installed at 64 Avenue and 177B Street. A signalized light already exists at the intersection of 62 Avenue and Highway No. 15 to the southwest of the subject site.

Parking

- A surface parking lot is proposed directly south of the proposed arena building, with driveway access to the 177B Street extension. The proposed parking lot consists of 207 parking spaces, as well as five (5) 'accessible' parking spaces near the main entrance to the facility. This complies with minimum requirement of 200 parking spaces, as per Part 5 of the Zoning Bylaw.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed Cloverdale Sport & Ice Complex remains unchanged, with respect to building siting, design, materials, and signage.
- The facility is situated adjacent to the north property line along 64 Avenue, with the parking lot located directly to the south. No public access to the building is permitted along 64 Avenue. All public access is via the main entrance along the south building elevation, facing the parking lot.
- A large lobby and reception area with a decorative linear wood ceiling will greet patrons on the main floor of the proposed building, which also includes the two (2) ice rinks, a skate shop, change rooms, offices, ice-making and mechanical rooms.
- The second-floor mezzanine accommodates spectator seating for each ice rink, as well as storage space and large multipurpose / meeting rooms.
- A linear wood ceiling is also proposed on the second floor above each ice rink and will screen the long span roof structure and mechanical systems and also provide a visual warmth in a large facility that is traditionally bare and utilitarian. The linear wood ceiling will extend out to the exterior of the building as a canopy and will be visible at the entrance level along the south façade. This exterior wood soffit exposure softens the south building façade and creates a dramatic entrance feature.
- Most of the north building elevation (facing 64 Avenue) consists of floor to ceiling glazing, which will allow indirect, natural sunlight into the building and will also open up some of the ice rinks to public view from 64 Avenue. Significant glazing is also proposed along the south building elevation facing the parking lot, providing direct sunlight into the main lobby.

Proposed Comprehensive Sign Design Package

- A comprehensive signage package has been included as part of the current Development Permit. The signs have been comprehensively designed to be architecturally coordinated with the building.
- Under Part 1 Introductory Provisions, Section 9 Variance of Sign By-law No. 13656, Council may grant variances to the Sign By-law through the approval of a Development Permit. This is considered when a Development Permit, such as the current proposal, has been submitted to Council that includes a comprehensive sign design package containing signs that require a variance of the Sign By-law provisions.

- Council had previously approved the same signage (and variances) for the Cloverdale Sport & Ice Complex under the original Development Permit No. 7917-0169-00, which has expired.
- Three (3) fascia signs are proposed for the new arena along the south, west and east building elevations. The proposed fascia sign along the south building elevation (Sign 1), which faces the internal parking lot, will consist of stainless steel letters suspended from the second-floor canopy. The proposed sign is approximately 0.6 metre high and 16 metres wide and will be back-lit with diffuse soffit lighting.
- The two (2) proposed fascia signs along the west and east building elevations (Signs 2 and 3, respectively) will provide building identification for those travelling along 64 Avenue. Both proposed fascia signs are identical to the sign proposed on the south building elevation in terms of design (stainless steel letters) and size (0.6 metre high and 16 metres wide). Proposed Signs 2 and 3 however, will be mounted directly on the building and will be illuminated with uplighting.
- Variances are required as part of the comprehensive signage package, to allow a second-storey fascia sign (Sign 1) to be mounted below the top floor of the building and to allow two (2) second-storey fascia signs to be located along a non-lot frontage (Signs 1 and 3) (see By-law Variances Table in Appendix I). Proposed Sign 2 complies with the Sign By-law, and no variance is required.
- A free-standing sign is also proposed on the subject site along the 177B Street extension and will comply with the Sign By-law. The free-standing sign is high-quality and includes clear anodized aluminum letters and a logo pin-mounted on a charcoal anodized aluminum sign plate. The proposed free-standing sign is mounted on a solid concrete base.
- The proposed signage variances are supported, as they have been designed in a comprehensive manner and coordinated as part of the overall design of the building and are consistent with the signage that was previously approved under Development Permit No. 7917-0169-00.

Landscaping

- The landscape plans are also consistent with the previously approved landscape plans under the original Development Permit.
- The landscape plan includes the planting of over 100 trees, as well as a significant number of shrubs and ground cover.
- Tree-lined pedestrian connections will provide access from 64 Avenue and 177B Street to the main entrance of the proposed facility. Well-delineated pedestrian paths within the parking lot are proposed as well.
- Bioswales are proposed within the parking lot to filter and retain surface runoff water.
- Lighting is to be installed within the parking lot for improved safety and visibility.

TREES

- As part of the original Rezoning application, an arborist report was submitted for review and was approved after staff review. The trees that were approved for removal have since been cleared. No additional tree removal is proposed as part of the current development application.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Sign Bylaw Variances Table
Appendix II.	CD Bylaw No. 19575 Survey Plan
Appendix III.	Previous Draft Subdivision Plan
Appendix IV.	Development Permit No. 7917-0169-01
Appendix V.	Initial Planning Report No. 7917-0169-00

approved by Ron Gill

Rémi Dubé
Acting General Manager
Planning and Development

DN/cm

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variance	Sign By-law Requirements	Rationale
1	<p><u>Location of Fascia Signs Above First Storey:</u> To allow a fascia sign (Sign 1) to be installed above the first storey, but below the top floor along the south building elevation.</p>	<p>All fascia signs above the first storey shall be located on the top floor of the building (Part 5, Section 27((2)(a.1)iii).</p>	<p>The proposed fascia sign along the south building elevation is to be suspended from the top floor canopy of the building, near the second-floor terrace. The oversized canopy provides a unique backdrop for the proposed sign, which is of a high-quality design.</p>
2	<p><u>Number of Fascia Signs Above First Storey:</u> To allow two (2) fascia signs (Signs 1 and 3) to be installed above the first storey along a non-lot frontage.</p>	<p>A maximum of one fascia sign per lot frontage may be located above a first storey to identify the name and/or address of the building to which it is attached, provided no more than one such sign shall be permitted on any one façade of the building above the first storey (Part 5, Section 27((2)(a.1)i).</p>	<p>The Sign By-law allows two (2) fascia signs for the proposed building, but only one (1) may be installed above the first storey. A second-storey fascia sign is proposed along the west building elevation along 177B Street, while the other two (2) are proposed along the south and east building elevations. The proposed signs are high-quality stainless steel letters with uplighting, and are of an appropriate size and scale in relation to the proposed building.</p>

SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 REZONING BYLAW NUMBER _____
 OF PORTIONS OF SECTION 8, TOWNSHIP 8,
 NEW WESTMINSTER DISTRICT
 BCGS 92G.017

STRATA PLAN LMS4672 S.R.W. PLAN BCP19272

LOT 1 PLAN BCP3644

STRATA PLAN EPS2815 S.R.W. PLAN EPP35957 S.R.W. PLAN EPP35956

E 118' OF 14 PLAN 1838

REM. 13 LOT A

ROAD ON REF. PLAN EPP35955

INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83 (CSRS) 4.0.0.BC.1.GVRD

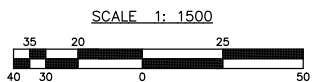
ALL DISTANCES ARE IN METRES
 GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
 GEODETIC CONTROL MONUMENTS 5835 AND 5836
 THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE
 DERIVED FROM THE MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR
 GEODETIC CONTROL MONUMENTS 5835 AND 5836.
 THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED.
 TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE
 COMBINED SCALE FACTOR OF 0.9996020 WHICH HAS BEEN DERIVED FROM
 CONTROL MONUMENTS 5835 AND 5836.

LEGEND

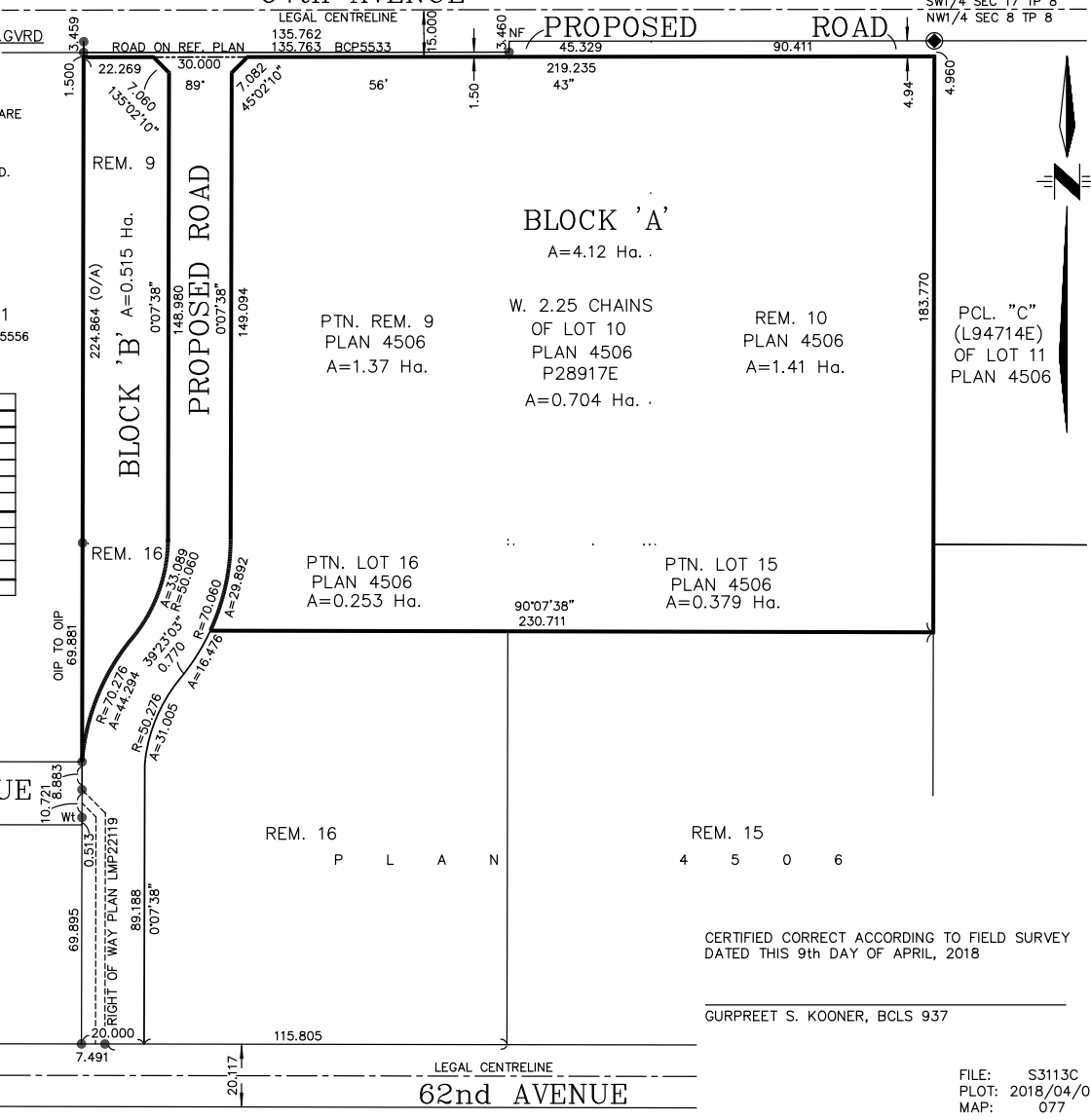
- DENOTES CONTROL MONUMENT FOUND
- DENOTES NON-STANDARD POST FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD LEAD PLUG FOUND
- NF DENOTES NOTHING FOUND
- (c) DENOTES CALCULATED

LOT 1
 PLAN EPP25556

BOOK OF REFERENCE		
BLOCK	DESCRIPTION	AREA
BLOCK 'A'	REM. LOT 9 SEC. 8 TP. 8 N.W.D. PLAN 4506	1.37 Ha.
	WEST 2.25 CHAINS LOT 10 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.704 Ha.
	REM. LOT 10 SEC. 8 TP. 8 N.W.D. PLAN 4506	1.41 Ha.
	LOT 16 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.253 Ha.
	LOT 15 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.379 Ha.
	TOTAL AREA BLOCK 'A' =	4.12 Ha.
BLOCK 'B'	REM. LOT 9 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.421 Ha.
	LOT 16 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.093 Ha.
	TOTAL AREA BLOCK 'B' =	0.515 Ha.



ALL DISTANCES ARE IN METRES
 THE INTENDED PLOT SIZE OF THIS PLAN IS 532 mm
 IN WIDTH AND 460 mm IN HEIGHT (C SIZE SHEET)
 WHEN PLOTTED AT A SCALE OF 1:1500.



CERTIFIED CORRECT ACCORDING TO FIELD SURVEY
 DATED THIS 9th DAY OF APRIL, 2018

GURPREET S. KOONER, BCLS 937



CITY OF SURREY, SURVEY SECTION
 13450 - 104 AVENUE
 SURREY, B.C. V3T 1V8
 TEL. (604) 591-4253
 FAX. (604) 591-8693

FILE: S3113C
 PLOT: 2018/04/09
 MAP: 077

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7917-0169-01

Issued To: City of Surrey

("the Owner")

Address of Owner: 13450 - 104 Avenue
Surrey, BC V3T 1V8

A. General Provisions

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-104-988
 Lot 9 Except: Part Road on Plan BCP5533; Section 8 Township 8
 New Westminster District Plan 4506
 17770 - 64 Avenue

Parcel Identifier: 011-105-071
 West 2.25 Chains Lot 10 Section 8 Township 8 New Westminster District Plan 4506
 17816 - 64 Avenue

Parcel Identifier: 011-105-119
 Lot 10 Except: The West 2.25 Chains; Section 8 Township 8
 New Westminster District Plan 4506
 17848 - 64 Avenue

Parcel Identifier: 007-557-035
 Lot 15 Section 8 Township 8 New Westminster District Plan 4506
 17835 - 62 Avenue

Parcel Identifier: 007-559-909
 Lot 16 Section 8 Township 8 New Westminster District Plan 4506
 17763 - 62 Avenue

(the "Land")

3. As the legal description of the Land will change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier: _____

_____ **LEGAL**

4. If the civic address(es) of the Land change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

_____ **CIVIC**

5. This development permit applies to only the buildings and structures on the Land shown on Schedule B, which is attached to and forms part of this development permit.
6. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

B. Form and Character

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, and comprehensive sign packages on the Land shall be in accordance with the drawings attached in Schedule B and referenced DP No. 7917-0169-01(1) through to and including 7917-0169-01(13) (the "Drawings").
2. Signage shall be installed in conformance with the Drawings referenced DP No. 7917-0169-01(7) through to and including 7917-0169-01(11).
3. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

C. Landscaping Installation and Maintenance

1. The landscaping shall be constructed, planted, installed and maintained in good order in accordance with the landscaping plans prepared by Van Der Zalm + Associates Inc., and attached in Schedule B and referenced attached as 7917-0169-01(14) through 7917-0169-01(24) (the "Landscaping").
2. For Form and Character development permits, or for that portion of a development permit pertaining to Form and Character, the Landscaping shall be installed and completed within six (6) months after the date of the final inspection of the buildings and structures.

3. For Form and Character development permits, Landscaping shall be maintained for a minimum of twelve (12) months after the date of substantial completion.

D. Security and Inspections

1. Security must be submitted to the City prior to the installation of any Landscaping.
2. For Form and Character development permits, security may be submitted after the issuance of a Development Permit.

E. Variances

The issuance of a development permit limits activity on the Land to that of strict compliance with all City bylaws, unless specific variances have been authorized by the development permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations or within reports which are inconsistent with City bylaw provisions and which have not been identified as variances below:

1. Surrey Sign By-law, 1999, No. 13656, as amended, is varied as follows shown on Schedule A, which is attached to and forms part of this development permit

F. Administration

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.
5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.

6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE _____ DAY OF _____, 2021.

ISSUED THIS _____ DAY OF _____, 2021 .

Mayor

City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Owner: (Signature)

Name: (Please Print)

Sign By-law Variances

#	Proposed Variance	Sign By-law Requirements
1	<p><u>Location of Fascia Signs Above First Storey:</u> To allow a fascia sign (Sign 1) to be installed above the first storey, but below the top floor along the south building elevation.</p>	<p>All fascia signs above the first storey shall be located on the top floor of the building (Part 5, Section 27((2)(a.1)iii).</p>
2	<p><u>Number of Fascia Signs Above First Storey:</u> To allow two (2) fascia signs (Signs 1 and 3) to be installed above the first storey along a non-lot frontage.</p>	<p>A maximum of one fascia sign per lot frontage may be located above a first storey to identify the name and/or address of the building to which it is attached, provided no more than one such sign shall be permitted on any one façade of the building above the first storey (Part 5, Section 27((2)(a.1)i).</p>



Cloverdale Sport and Ice Complex

The "Drawings"

DP No. 7917-0169-01(1)

Cloverdale Sport and Ice Complex

City of Surrey
6336 - 177B Street
Surrey, BC

Issued for Building Permit
November 26, 2018

ZONING SUMMARY:

PROJECT NAME: Cloverdale Sport and Ice Complex
PROJECT ADDRESS: 6336 - 177B Street
Surrey, BC
T8D
LEGAL DESCRIPTION:

SETBACKS: Proposed: Front Yard: 12m, 8.8m
Side Yard East: 12m, 52.4m
Side Yard West: 12m, 23.3m
Rear Yard: 12m, 12.7m
Permitted: TBA

EASEMENTS: TBA

AUTHORITY: City of Surrey
Zoning Bylaw #12000

ZONE: Current Zone: Community Ice Arena

USES: Principal: Community Ice Arena

Gross Floor Area: -
Site Area: 41151.3m (10.169 acres)
Site Coverage: Proposed: 0.17
Permitted: 0.40
Height: Proposed: 10.7m
Permitted: 12m
Parking: 207 stalls
5 HC stalls
Required: 200
Loading: Proposed: Bays

PROJECT TEAM:

DEVELOPMENT MANAGER City of Surrey
7452 - 132 Street, Surrey, BC
P. 778.884.4774
Scott Groves | Aman Acar

ARCHITECTS Taylor Kurtz
Architecture + Design Inc.
102-1183 Odium Drive, Vancouver, BC
P. 604.546.3499 F. 604.569.1594
Craig Taylor, Architect ABC | Patrick Murphy

STRUCTURAL ENGINEER Wicke Herfst Mover (WHM)
2nd Floor - 4810 Burlington Avenue, Burnaby, BC
P. 604.484.2859
Brian Mover | Florence Baudrta

MECHANICAL ENGINEER AME Consulting
#1100 - 808 West Hastings Street, Vancouver, BC
P. 604.684.5995
Ahmet Ozal | Eric Crosswell

ELECTRICAL ENGINEER Applied Engineering Solutions
1330 Granville Street, Vancouver, BC
P. 604.569.6500
Eke Rossmick | Heia Rogan

CIVIL ENGINEER Hub Engineering Inc.
212-12992 - 76 Avenue, Surrey, BC
P. 604.572.4128 #202
Rod Gonzalez | Myles Cape

BUILDING CODE & CERTIFIED PROFESSIONAL Jensen Hughes
#228-1195 West Broadway, Vancouver, BC
P. 604.260.4572
Jack Hill | Ed Chow

LANDSCAPE ARCHITECT van der Zalm + associates inc.
#1 20177 - 97 Avenue, Langley, BC
P. 604.882.0504
Mark van der Zalm | Dave Jerke

GEOTECHNICAL CONSULTING Davies Geotechnical Inc.
#2 - 1520 Clenden Ave., Delta, BC
P. 604.295.2300
Paul Davies | Ben Davies

LAND SURVEYOR Butler Sundvick
4-1908 94th Avenue, Surrey, BC
P. 604.515.9611
Gary Sundvick | Elizabeth Ploszaj

CLADDING ENGINEERING Sense Engineering
104-788 Copping Street, North Vancouver, BC
P. 778.569.2625
Breanan Volering | Nichole Bradlett

ACOUSTIC CONSULTING BKL Consultants Ltd.
308-1200 Lynn Valley Road, North Vancouver, BC
P. 604.988.2508
Teresa Spuler

REFRIDGERATION ENGINEERING Bradley Refrigeration Consultants Limited
1236 Fulton Avenue, West Vancouver, BC
P. 604.454.7476
Eric Bradley

QUANTITY SURVEYING James Bush & Associates Ltd.
3722 197 St, Langley, BC
P. 604.535.5000
Jim Bush

PRE-ENGINEERED BUILDING Metal Building Group
102-17957 55th Avenue, Surrey, BC
P. 604.574.6600 F. 604.574.6601
Trent Wankentin | Lucas Lam

CONSTRUCTION MANAGER Turner Construction Company
1601-700 W. Pender St., Vancouver, BC
P. 604.449.3414
Doug W. Gorman | Susan Pospolil



LOCATION PLAN:



GRAPHIC & SYMBOL LEGEND

Existing construction; to be retained		Detail Reference	
Existing construction; to be demolished		Wall / Detail Section Reference	
New stud wall; construction as indicated		Building Section Reference	
New insulated stud wall; construction as indicated		Interior Elevation Reference	
Demolition Tag		Matchline View Reference	
Room Tag		Reference	
Door / Window Tag		Reference	
Wall / Floor / Roof Type Tag		Reference	
Material / Finish Keynote Tag		Reference	
Millwork Tag		Reference	
Specialty Equipment Tag		Reference	
Centre Line		Reference	
Property Line		Reference	
Fire Hydrant		Reference	
Manhole Cover		Reference	
Catch Basin		Reference	

DRAWING INDEX:

ARCHITECTURAL	MECHANICAL
A000 Project Data	A000 Construction Details
A001 Site Context	A001 Construction Details
A010 Building Code Compliance	A002 Construction Details
A011 Building Code Compliance	A300 Construction Assemblies
A012 Building Code Compliance	A301 Construction Assemblies
A100 Site Plan	A302 Door Schedule
A111 100 Level Plan Overall	A303 Door Schedule
A112 200 Level Plan Overall	A350 Signage
A113 Roof Plan Overall	
A120 100 Plan West	
A121 100 Plan Centre	
A122 100 Plan East	
A123 200 Plan West	
A124 200 Plan Centre	
A125 200 Plan East	
A300 Elevations	
A310 Building Elevations - East & West	
A311 Building Elevations - North	
A312 Building Elevations - South	
A400 Building Sections	
A401 Building Sections	
A402 Longitudinal Building Section - Avenues	
A450 Wall Sections	
A451 Wall Sections	
A500 Slab A - Plan, Sections & Details	
A501 Slab B - Plan, Sections & Details	
A502 Slab C - Plan, Sections & Details	
A503 Slab D - Plan, Sections & Details	
A504 Slab Details	
A500 Washrooms - Plan, RCP, Interior Elevations	
A501 Change Rooms - Plan, RCP, Interior Elevations	
A502 Change Rooms - Plan, RCP, Interior Elevations	
A503 Change Rooms - Plan, RCP, Interior Elevations	
A504 Washrooms - Plan, RCP, Interior Elevations	
A505 Washrooms - Plan, RCP, Interior Elevations	
A506 Washrooms - Plan, RCP, Interior Elevations	

DP No. 7917-0169-01(2)

1	18.11.26	Issued for Building Permit
REV	DATE	DESCRIPTION
SCALE: As Indicated DATE: November 26, 2018 DRAWN: Author		
TRACED PROJECT: 16078 Cloverdale Avenue		
P.E.	BCIC	2018.12
P.A.S.	C:\Users\B001\Desktop\Cloverdale_Area_Plan.rvt	DATE: 2018.12

CITY OF SURREY
The future lives here

TAYLOR KURTZ ARCHITECTURE + DESIGN INC.
rdh rounthwaite dick & haldley architects inc.
182 - 1182 Gallow Drive, Vancouver, BC V5E 2P8
P. 604.449.3414

Cloverdale Sport and Ice Complex
6336 - 177B Street
Surrey, BC

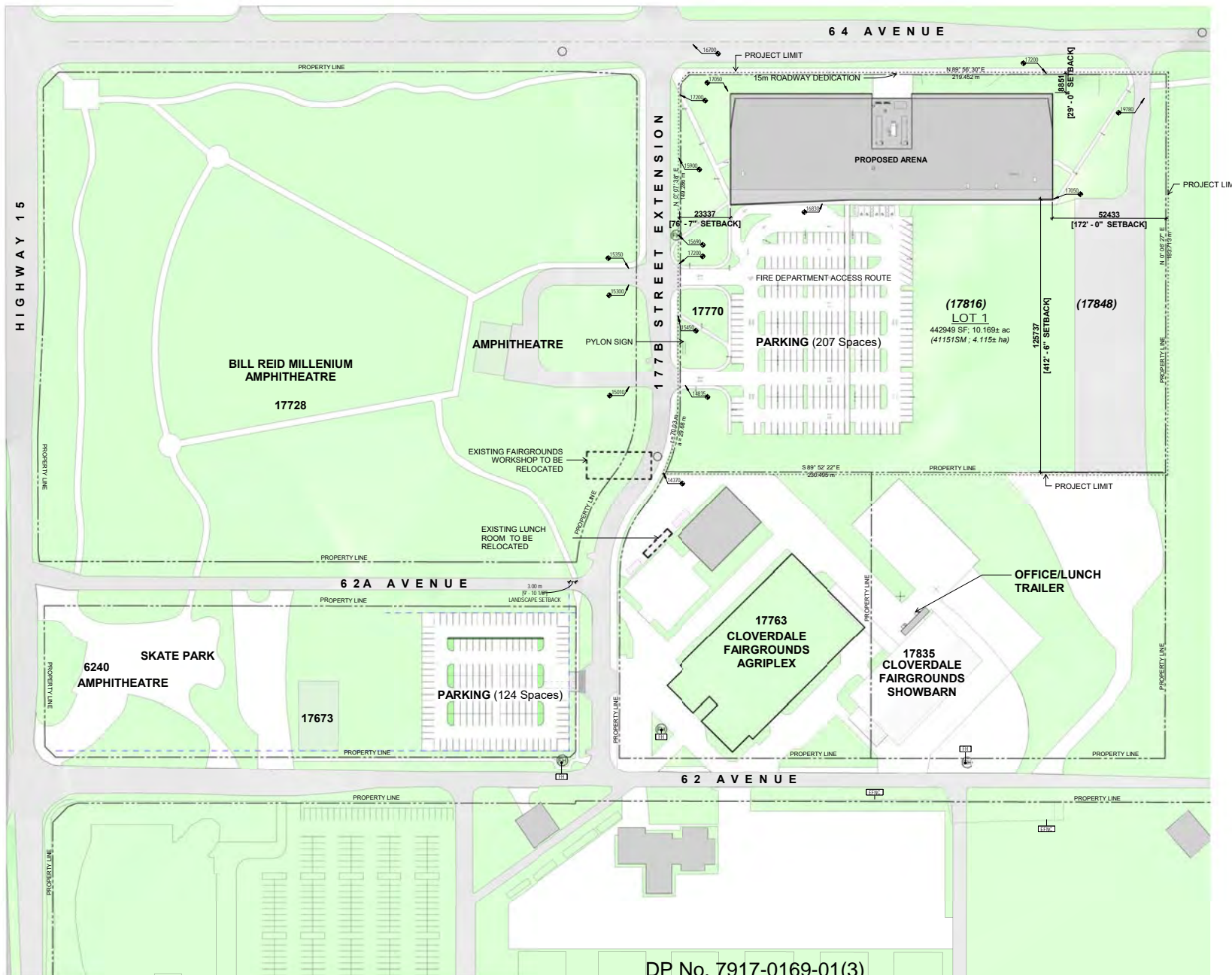
Project Data
A000



Key:

KEYNOTE LEGEND

TAG	DESCRIPTION
EFNC	EXISTING FENCE
FH	FIRE HYDRANT



REV	DATE	DESCRIPTION
5	18.11.24	Issued for Building Permit
4	18.09.05	Re-issued for Development Permit
3	16.06.20	Issued for F Ops Tender
2	18.06.20	Issued for F Ops Building Permit
1	18.04.02	Issued for Development Permit

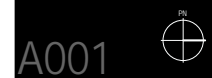
SCALE: As indicated | DATE: November 26, 2019 | DRAWN: Author
 T/KAD PROJECT: 16018 Cloverdale Arena
 FILE: 16018-01
 PATH: C:\Users\TK\Documents\Cloverdale Arena_Plan1.rvt | DATE: 23.09.19



TAYLOR KURTZ ARCHITECTURE + DESIGN INC.
 rdh rounthwaite dick & hadley architects inc.

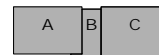
Cloverdale Sport and Ice Complex
 6336 - 177B Street
 Surrey, BC

Site Context



1 Context Site Plan
 1 : 800

DP No. 7917-0169-01(3)



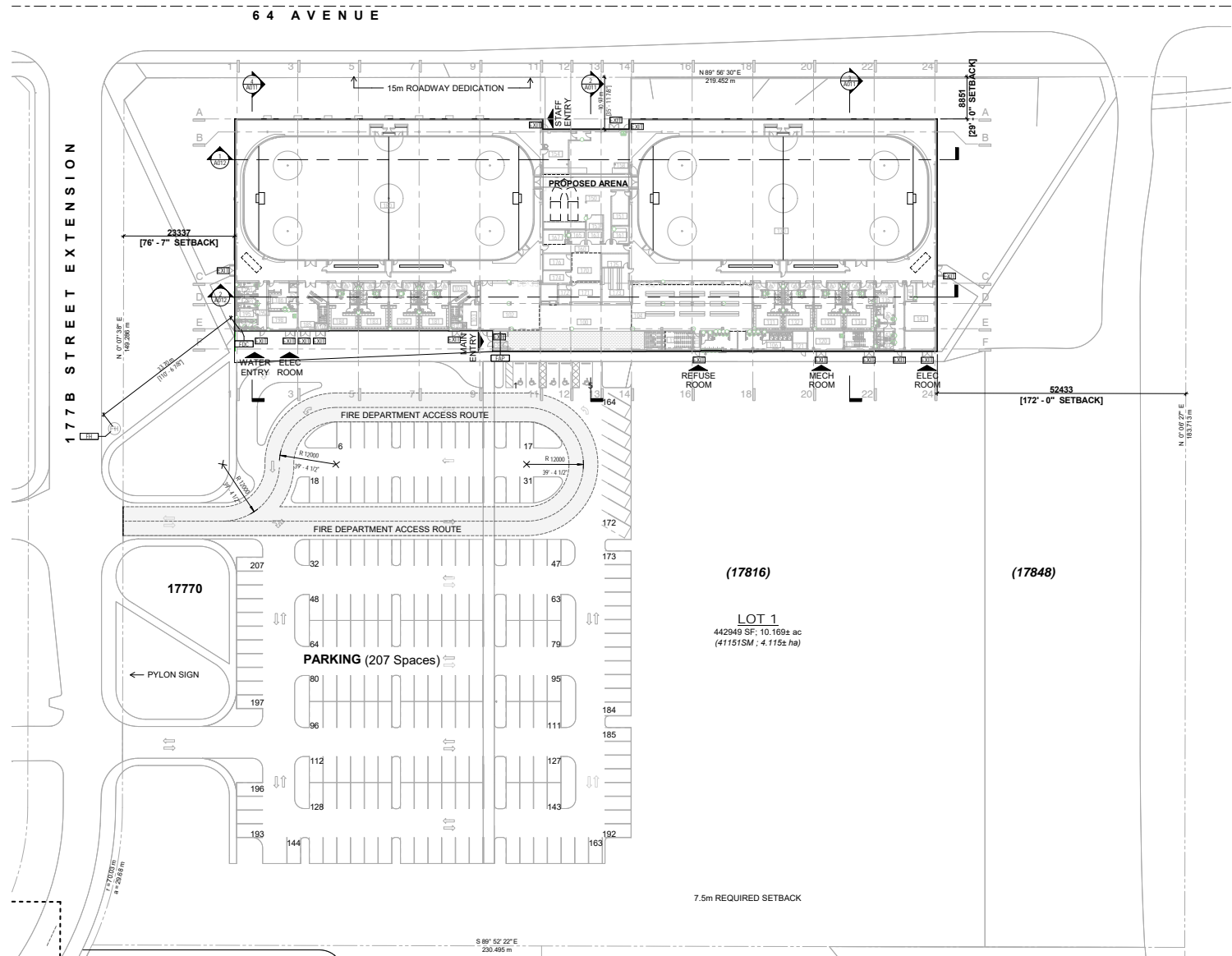
Key:

KEYNOTE LEGEND

TAG	DESCRIPTION
FAP	FIRE ALARM PANEL; SEE ELECTRICAL
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT

SYMBOL LEGEND

Unrated Separation	-----
FRS Separation - 45m	-----
FRS Separation - 60m	-----
FRS Separation - 90m	-----
FRS Separation - 120m	-----
FRS Assembly - 45m	-----
FRS Assembly - 60m	-----
FRS Assembly - 90m	-----
FRS Assembly - 120m	-----
Travel Distance Path	-----
ASSEMBLY TAG	-----
Fire Alarm Panel	-----
Fire Department Connection	-----
Fire Hydrant	-----
EXIT LOCATION	-----



1 CC - Site Plan
1:400

DP No. 7917-0169-01(4)

1	18.11.26	Issued for Building Permit
REV	DATE	DESCRIPTION
SCALE:	As Indicated	DATE: November 26, 2019 DRAWN: Author
TXAD PROJECT:	16078 Cloverdale Access	
FILE	C:\Users\rdh\Documents\Cloverdale Access_Plan1.rvt	DATE: 11/26/19
PAGE:	C:\Users\rdh\Documents\Cloverdale Access_Plan1.rvt	DATE: 11/26/19

CITY OF SURREY
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TAYLOR KURTZ ARCHITECTURE + DESIGN INC.

rdh rounthwaite dick & hadley architects inc.
182 - 1182 Galton Drive, Westbank BC, V5E 2P4

Cloverdale Sport and Ice Complex
6336 - 177B Street
Surrey, BC

Building Code Compliance

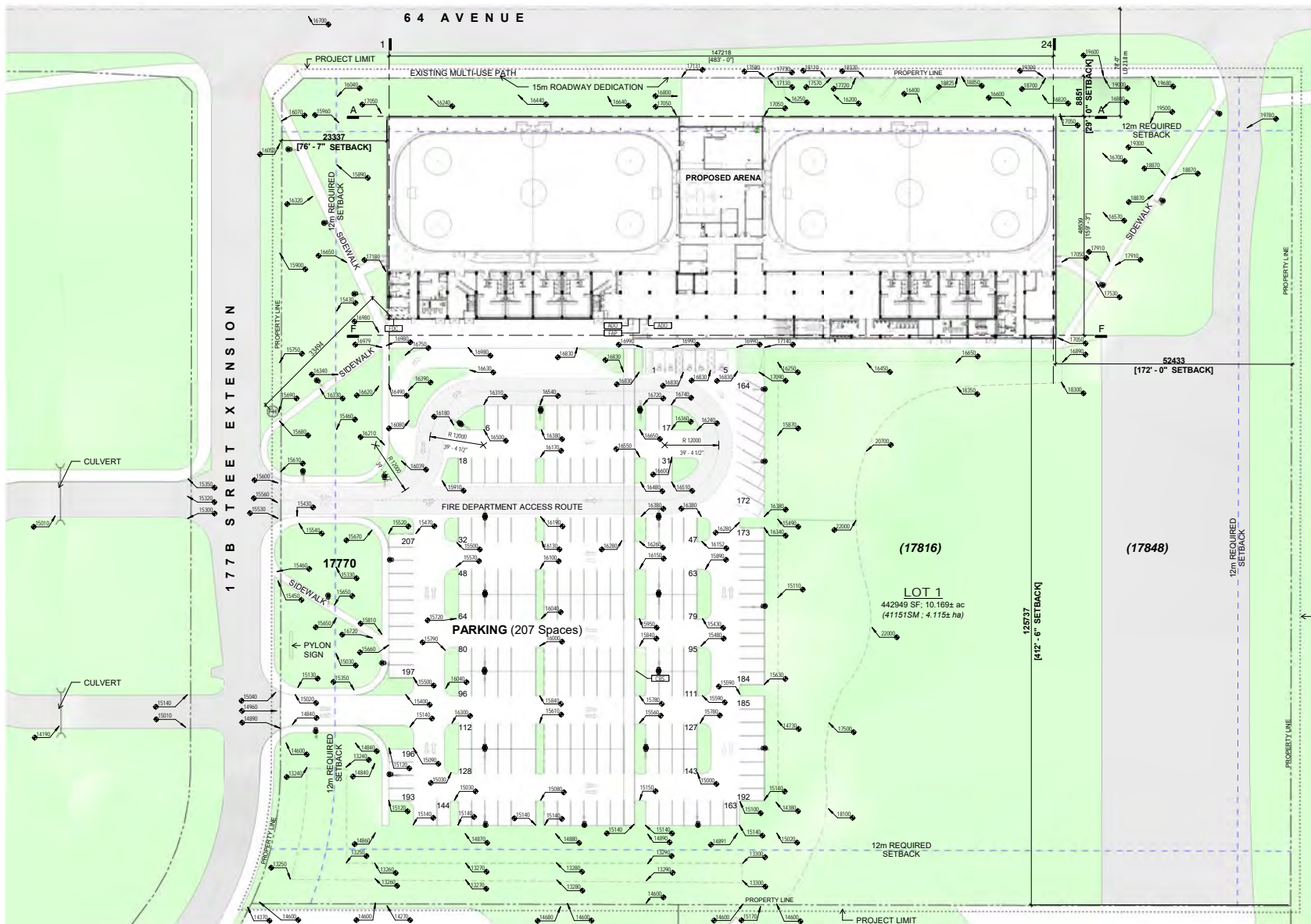
A010



Key:

KEYNOTE LEGEND

TAG	DESCRIPTION
ADO	CODE BLUE STATION
CBS	FIRE ALARM PANEL: SEE ELECTRICAL
FAP	FIRE DEPARTMENT CONNECTION



2	18.11.24	Issued for Building Permit
1	18.09.05	Re-issued for Development Permit
REV	DATE	DESCRIPTION
SCALE:	As indicated	DATE: November 26, 2019
TXAD PROJECT:	16078 Cloverdale Arena	DRAWN: Author
FILE:	18.09.05	2019.12.12
PAGE:	C:\Users\rdh\Documents\Cloverdale Arena_Plan.dwg	DATE: 02/07/19



TaylorKurtz Architecture + Design Inc.

rdh rounthwaite dick & haxley architects inc.

Cloverdale Sport and Ice Complex
6336 - 177B Street
Surrey, BC

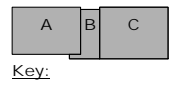
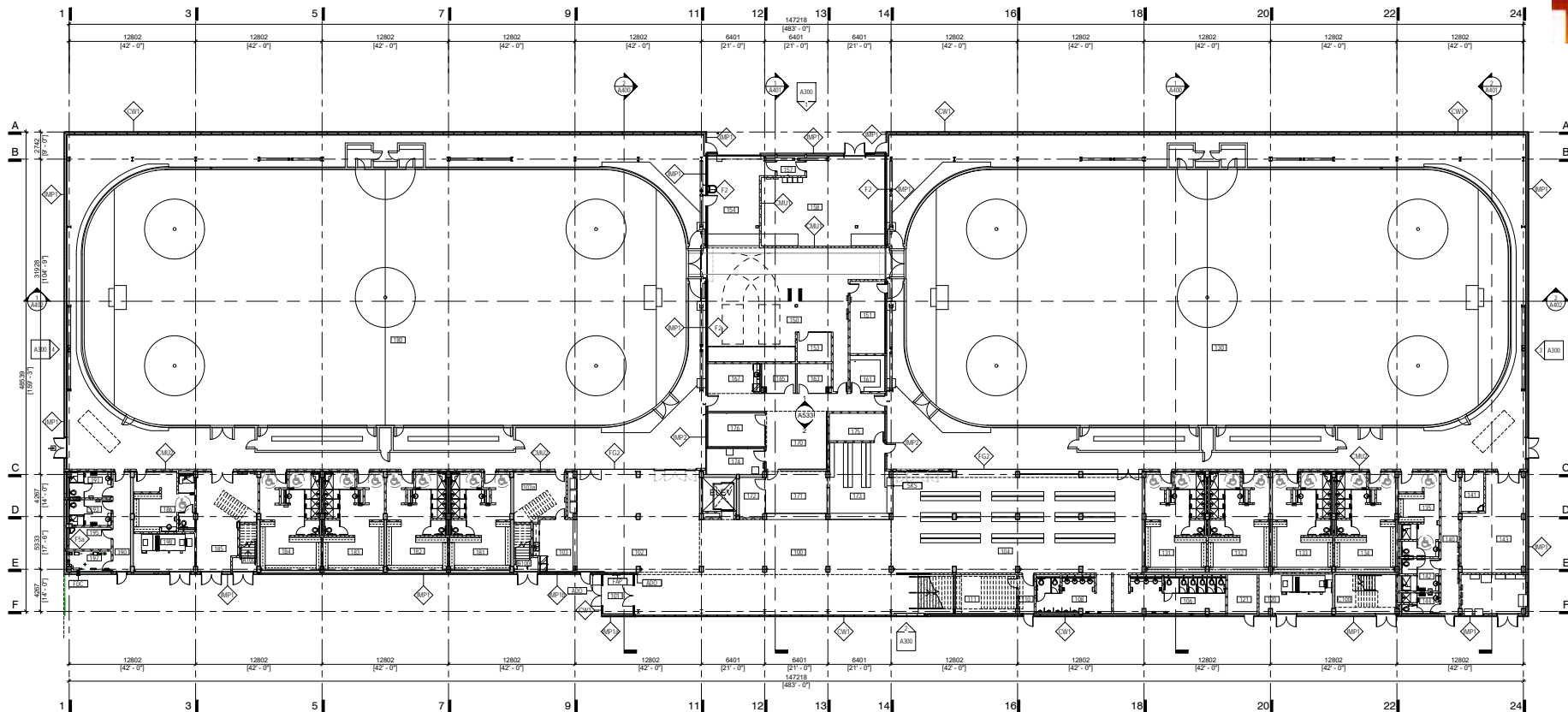
Site Plan

A100



① Site Plan
1 : 400

DP No. 7917-0169-01(5)



LEVEL 100 - ROOM LEGEND	
NO.	NAME
100	LOBBY
101	ENTRY VESTIBULE
102	CAFE SEATING
103	CAFE
103a	CAFE STORAGE
104	SKATERS LOBBY
106	WOMEN'S WASHROOM
108	MEN'S WASHROOM
110	CORRIDOR
111	JANITOR
120	MECHANICAL
121	IT ENTRY
130	EAST ARENA
131	TEAM CHANGEROOM
132	TEAM CHANGEROOM
133	TEAM CHANGEROOM
134	TEAM CHANGEROOM
135	HALF-SIZE CHANGEROOM
140	EAST CORRIDOR
141	JANITOR

LEVEL 100 - ROOM LEGEND	
NO.	NAME
142	OFFICIAL'S CHANGEROOM
143	STORAGE
144	OFFICIAL'S CHANGEROOM
149	ELECTRICAL
150	ICE RESURFACER STORAGE
151	WORKSHOP
153	FOREMAN'S OFFICE
154	LOADING
157	VESTIBULE
158	ICE MANUFACTURING
160	CORRIDOR
161	STAFF CHANGEROOM
163	OFFICE
165	OFFICE
167	STAFF BREAKROOM
168	OPEN OFFICE
171	RECEPTION
172	SAFE & SECURITY
173	SKATE SHOP
174	IT / COMMUNICATIONS

LEVEL 100 - ROOM LEGEND	
NO.	NAME
175	SKATE SHOP STORAGE
176	MEETING
180	WEST ARENA
181	TEAM CHANGEROOM
182	TEAM CHANGEROOM
183	TEAM CHANGEROOM
184	TEAM CHANGEROOM
185	RINK EQUIPMENT STORAGE
186	HALF-SIZE CHANGEROOM
190	WEST CORRIDOR
191	OFFICIAL'S CHANGEROOM
193	OFFICIAL'S CHANGEROOM
195	JANITOR
197	SPRINKLER
198	MECHANICAL
A100	EXIT STAIR A
B100	EXIT STAIR B
C100	EXIT STAIR C

KEYNOTE LEGEND

TAG	DESCRIPTION
ADO	ADD
FAP	FIRE ALARM PANEL; SEE ELECTRICAL
FDC	FIRE DEPARTMENT CONNECTION
SKS	SKATE SHARPENER

1	18.11.26	Issued for Building Permit
REV	DATE	DESCRIPTION
SCALE:	As Indicated	DATE: November 26, 2019
ITAD PROJECT:	16018 Cloverdale Arena	DRAWN: Author
FILE		FILED: 2019.12.12
PATH:	C:\Users\rdh\Documents\Cloverdale Arena\Level 100	DATE: 2019.12.12



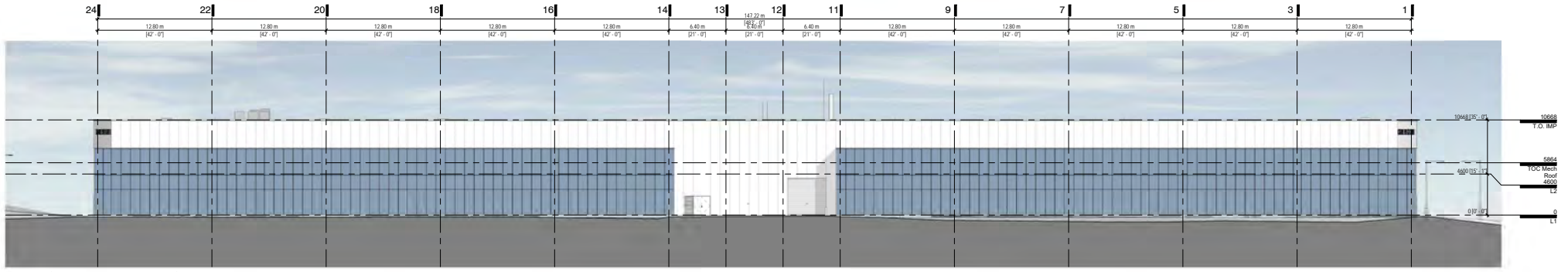
rdh rounthwaite dick & hadley architects inc.
152 - 1182 Gilpin Drive, Vancouver, BC, V5E 2P4

Cloverdale Sport and Ice Complex
6336 - 177B Street
Surrey, BC

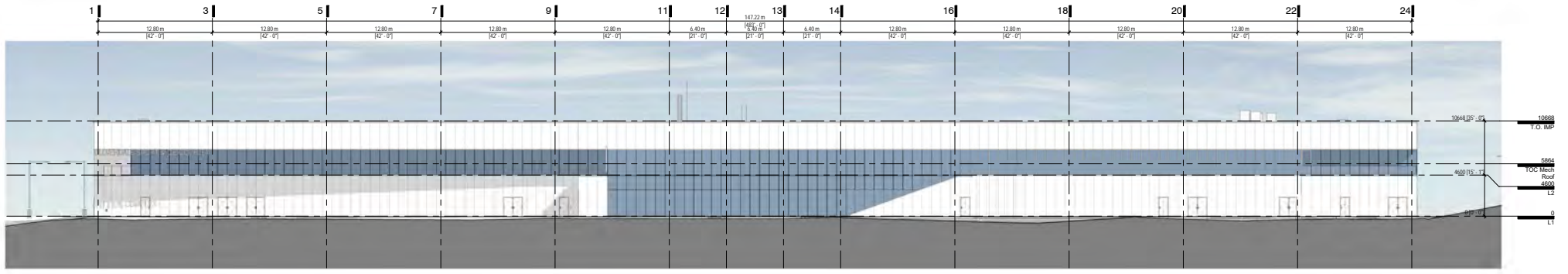
100 Level Plan Overall



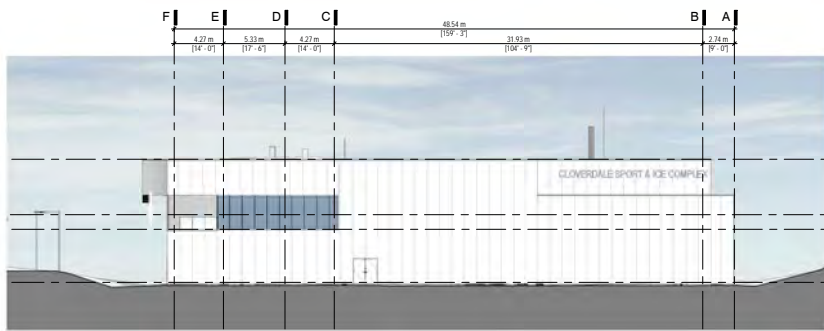
DP No. 7917-0169-01(6)



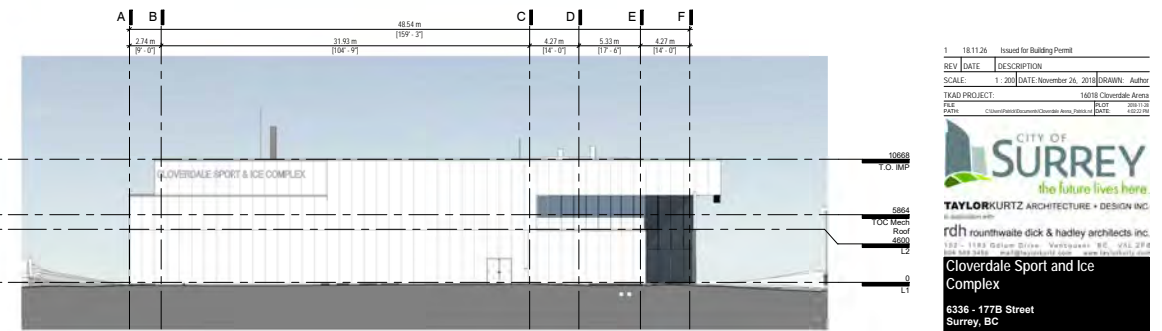
① NORTH ELEVATION
1 : 200



② SOUTH ELEVATION
1 : 200



③ EAST ELEVATION
1 : 200



④ WEST ELEVATION
1 : 200

DP No. 7917-0169-01(7)

1 18.11.26 Issued for Building Permit
 REV. DATE DESCRIPTION
 SCALE: 1 : 200 DATE: November 26, 2019 DRAWN: Author
 T/KAD PROJECT: 16078 Cloverdale Arena
 FILE: 18.02 2019.12
 PATH: C:\Users\TK\Documents\Cloverdale Arena_Plan.rvt DATE: 4.02.20

TAYLOR KURTZ ARCHITECTURE + DESIGN INC.
 rdh rounthwaite dick & hadley architects inc.
 182 - 1182 Gallop Drive, West Vancouver, BC, V8V 2P8
 Canada

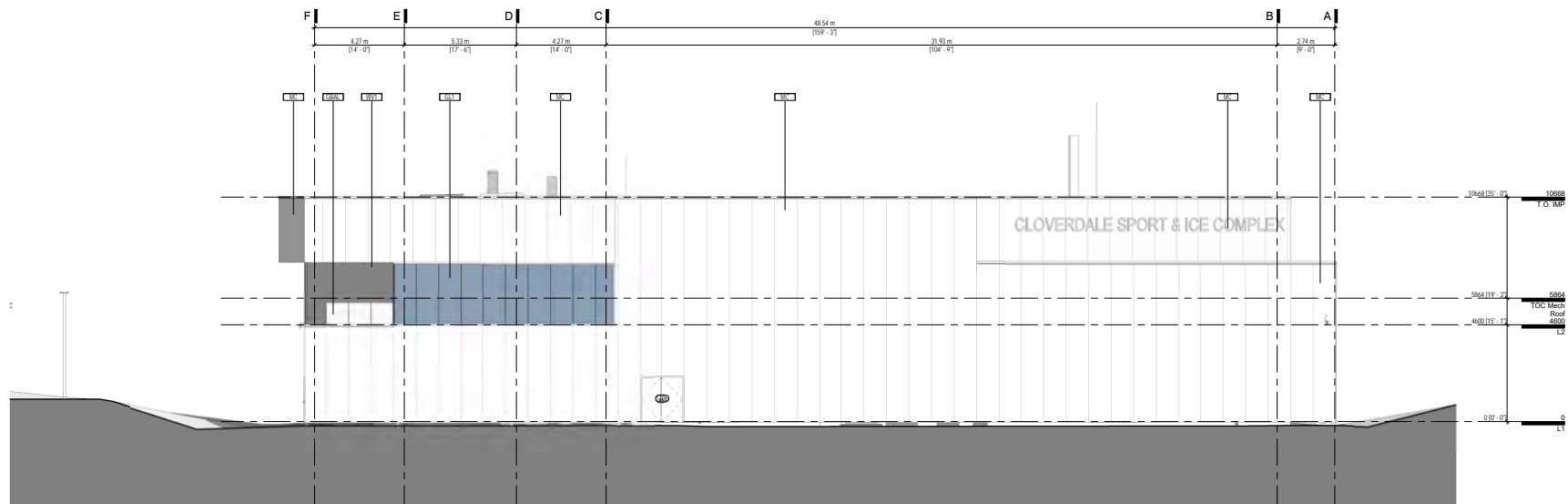
Cloverdale Sport and Ice Complex
 6336 - 177B Street
 Surrey, BC

Elevations

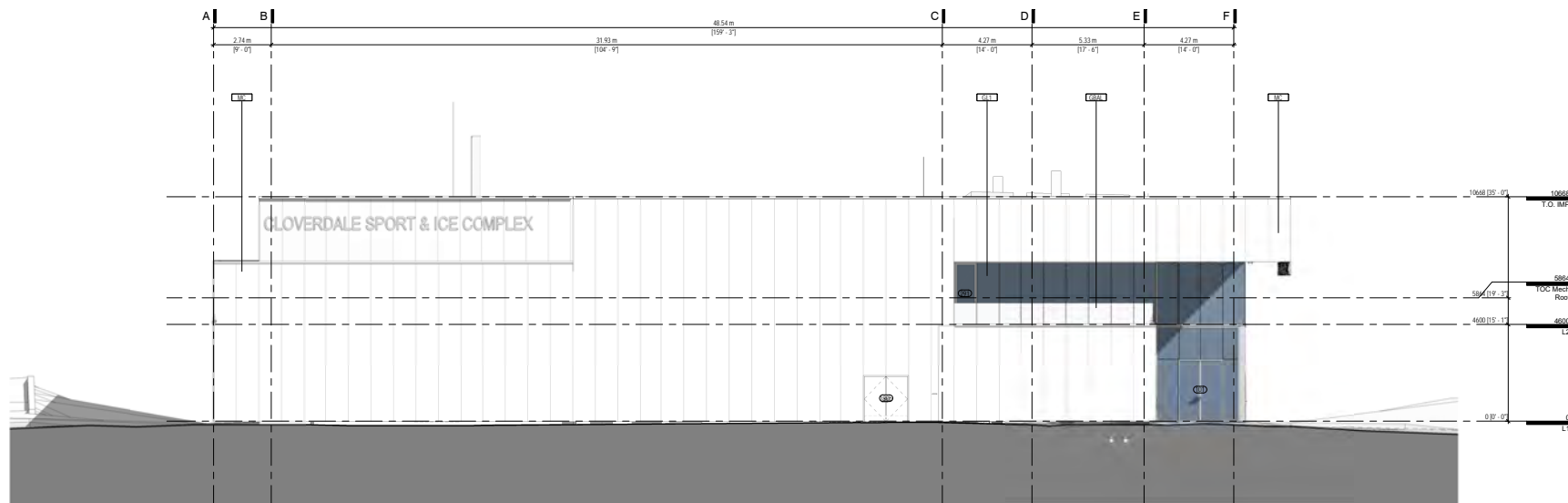
A300

KEYNOTE LEGEND

TAG	DESCRIPTION
GBAL	FRAMELESS GLASS BALUSTRADE
GL1	VISION GLAZING - SEE GLAZING TYPES & FINISHES SCHEDULE
MC	METAL CLADDING
WV1	WOOD VENEER - TYPE 1



① EAST ELEVATION
1 : 100



② WEST ELEVATION
1 : 100

1	18.11.26	Issued for Building Permit
REV	DATE	DESCRIPTION
SCALE:	1 : 100	DATE: November 26, 2019
DRAMAN:	Author	
TXAD PROJECT:	16078 Cloverdale Arena	
FILE	1802	2019.12
PATH:	C:\cloverdale\16078 Cloverdale Arena_Plan\1	DATE: 22/11/19



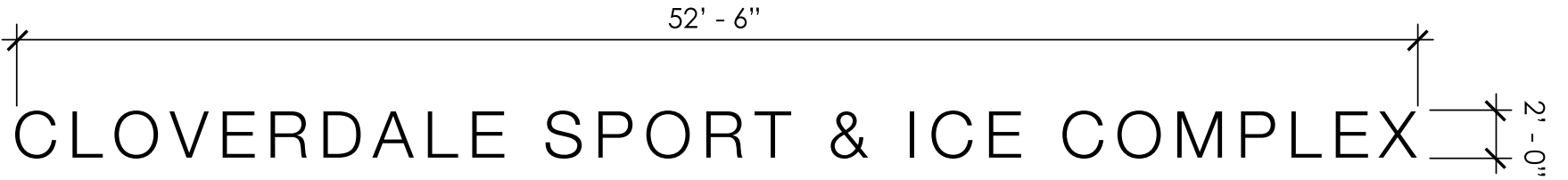
rdh rounthwaite dick & hadley architects inc.
132 - 1182 Galois Drive, West Vancouver, B.C. V8V 2P4
Phone: 604.686.4444 Fax: 604.686.4445

Cloverdale Sport and Ice Complex
6336 - 177B Street
Surrey, BC

Building Elevations - East & West

A310

SUSPENDED SIGNAGE

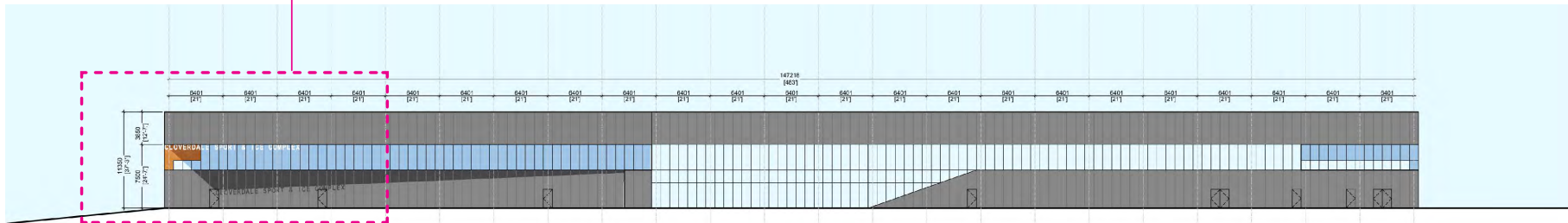
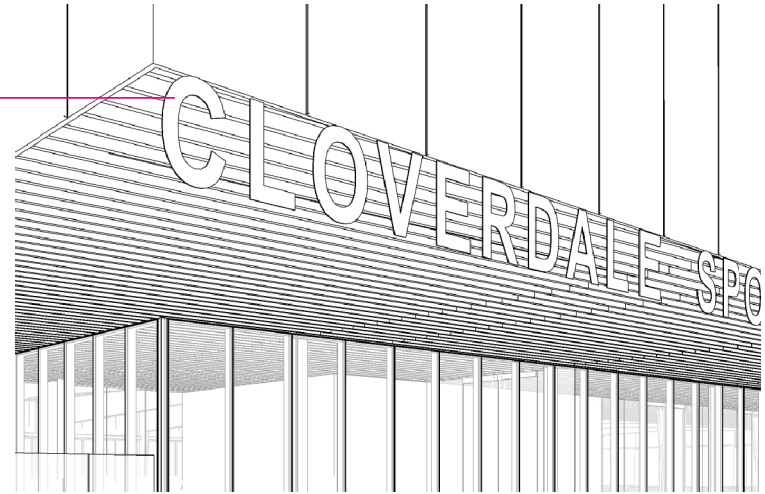


Suspended signage at south elevation, back-lit with diffuse soffit lighting

2' - 0" tall stainless steel letters suspended below canopy

Font: Universe

Sign #1
(south elevation)

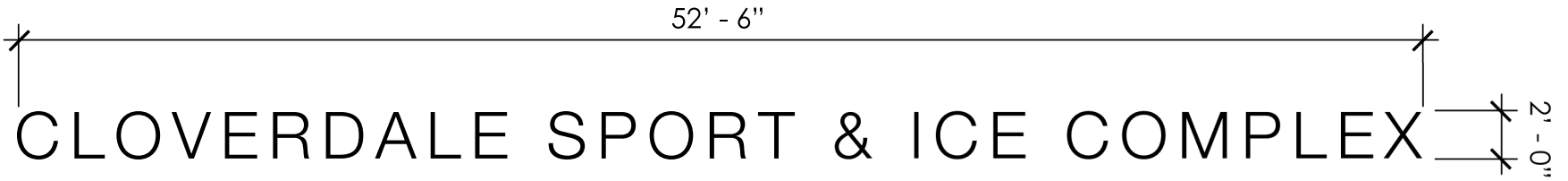


SOUTH ELEVATION

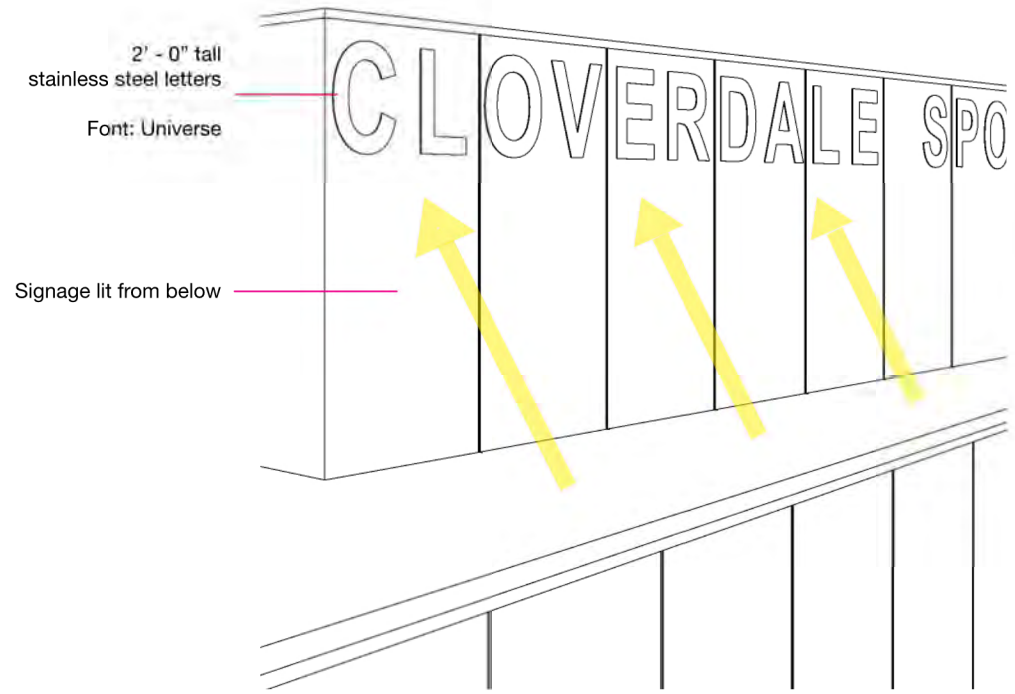
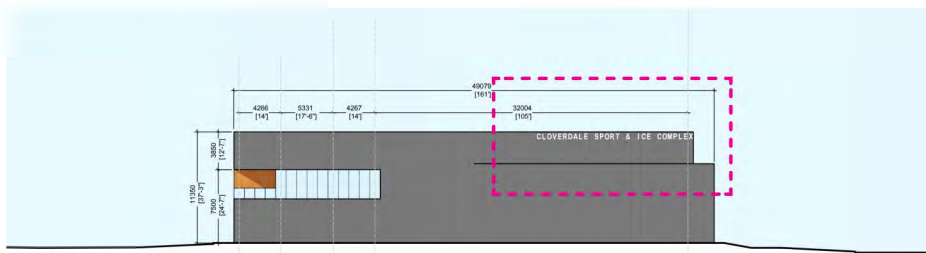
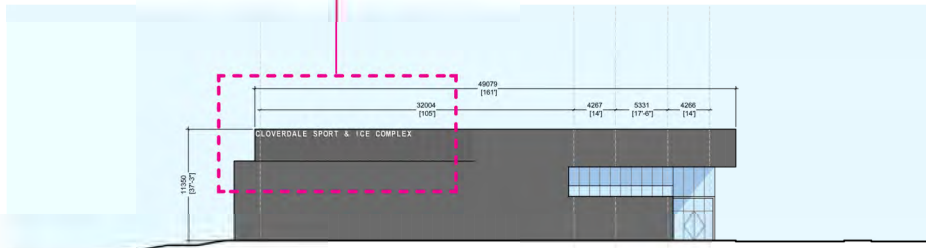


CLOVERDALE SPORT & ICE COMPLEX

BUILDING-MOUNTED SIGNAGE



Building-mounted signage
at east and west elevations,
lit from below

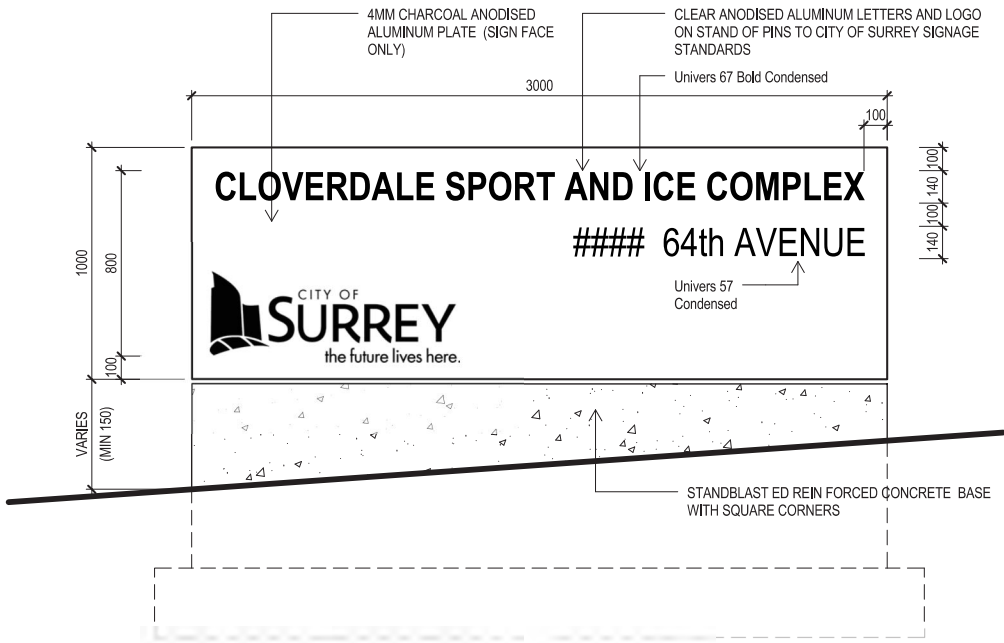


Signs #2 and #3
(west & east elevations)

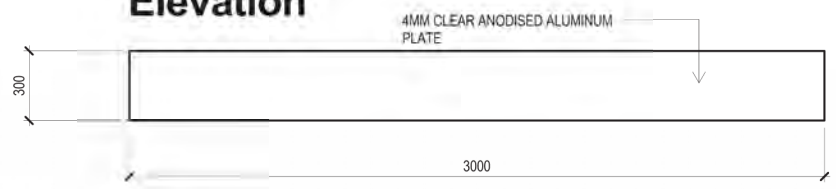


CLOVERDALE SPORT & ICE COMPLEX

ADDRESS MONUMENT SIGNAGE

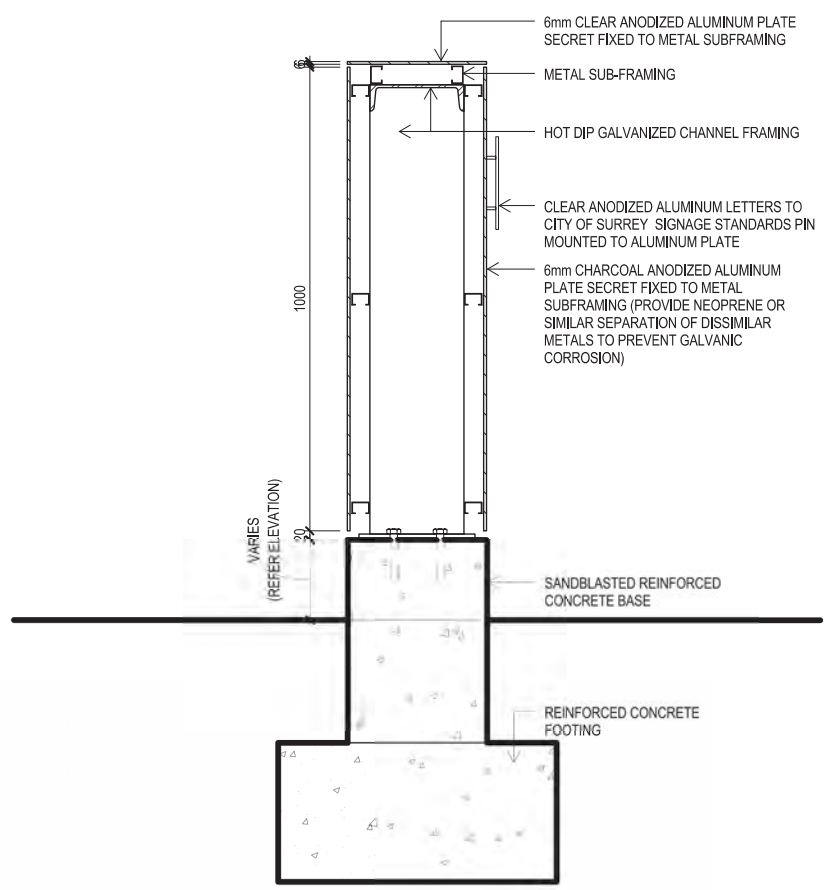


Elevation



Plan

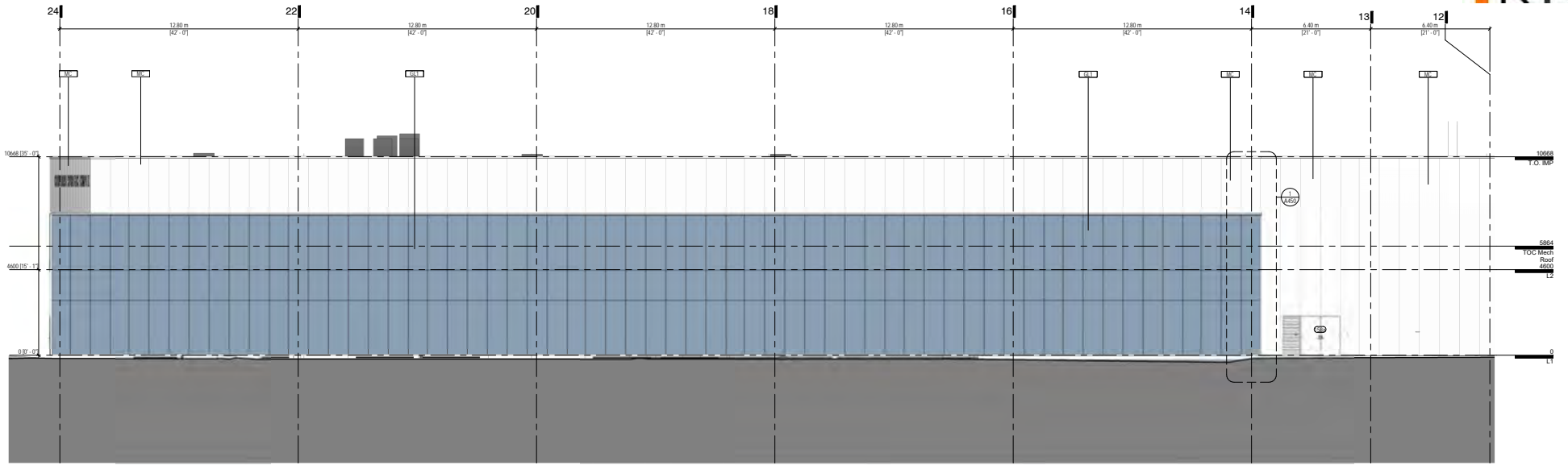
1 Signage Details - Main Sign
1 : 20



2 Typ Bld Sign - Detail Section
1 : 10



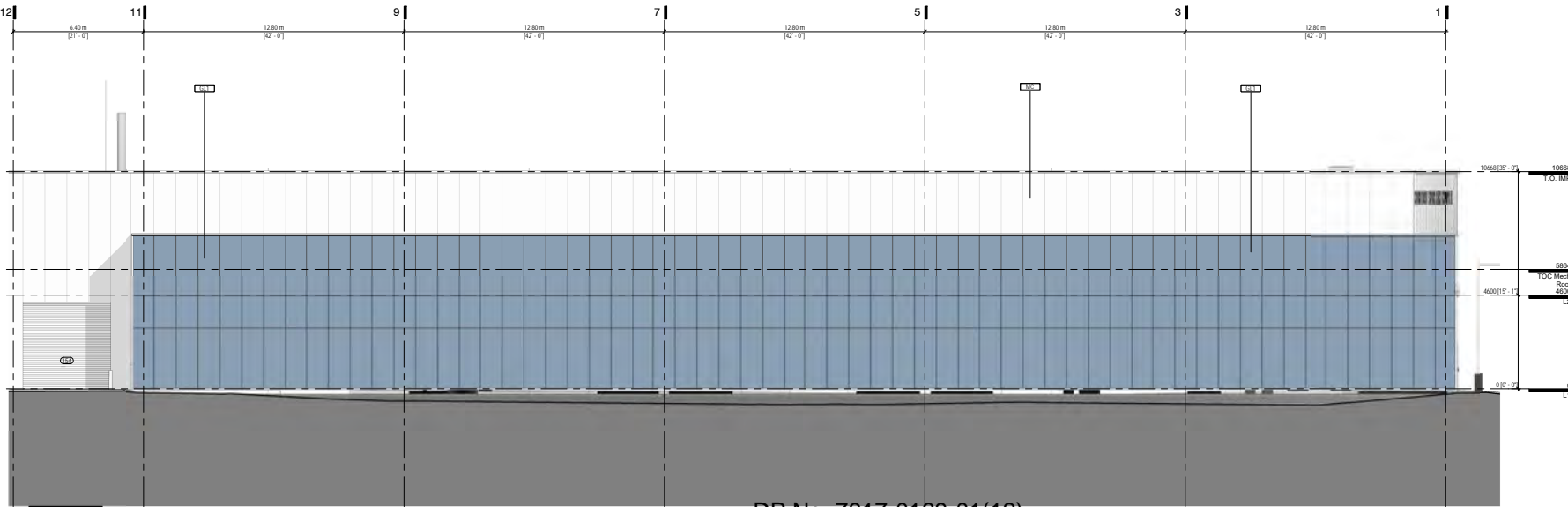
CLOVERDALE SPORT & ICE COMPLEX



① NORTH ELEVATION
1 : 100

KEYNOTE LEGEND

TAG	DESCRIPTION
GL1	VISION GLAZING: SEE GLAZING TYPES & FINISHES SCHEDULE
MC	METAL CLADDING



② NORTH ELEVATION
1 : 100

DP No. 7917-0169-01(12)

1	18.11.26	Issued for Building Permit
REV	DATE	DESCRIPTION
SCALE:	1 : 100	DATE: November 26, 2019
DRG	DRG	DRG
TRAD PROJECT:	16078 Cloverdale Access	
FILE	FILE	DATE
DATE	DATE	DATE

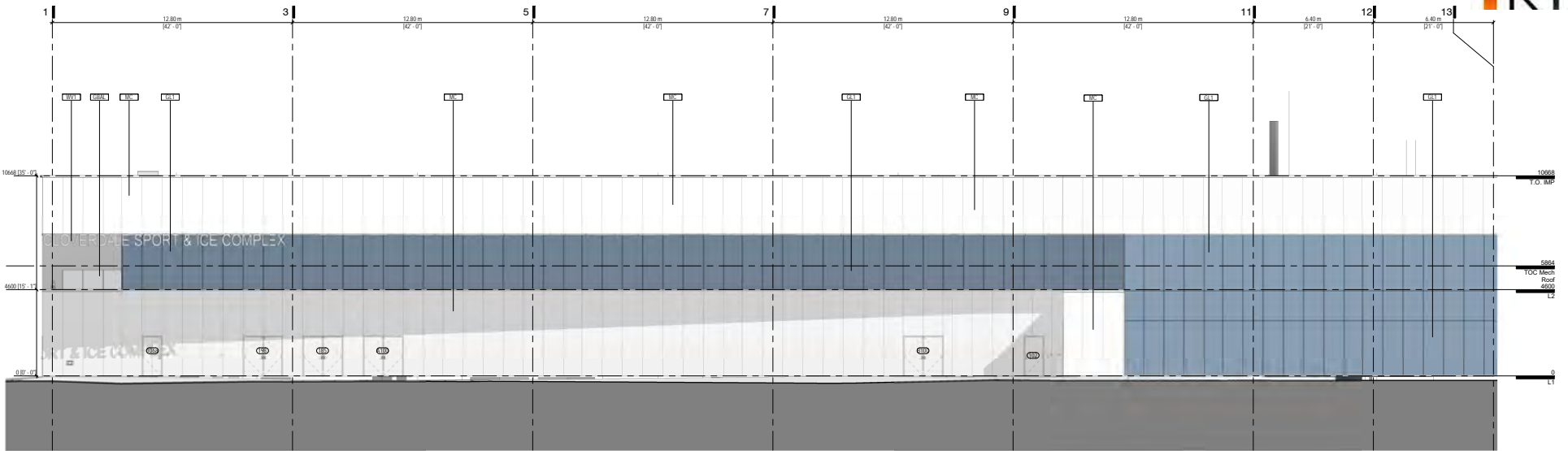


TAYLOR KURTZ ARCHITECTURE + DESIGN INC.
rdh rounthwaite dick & hadley architects inc.

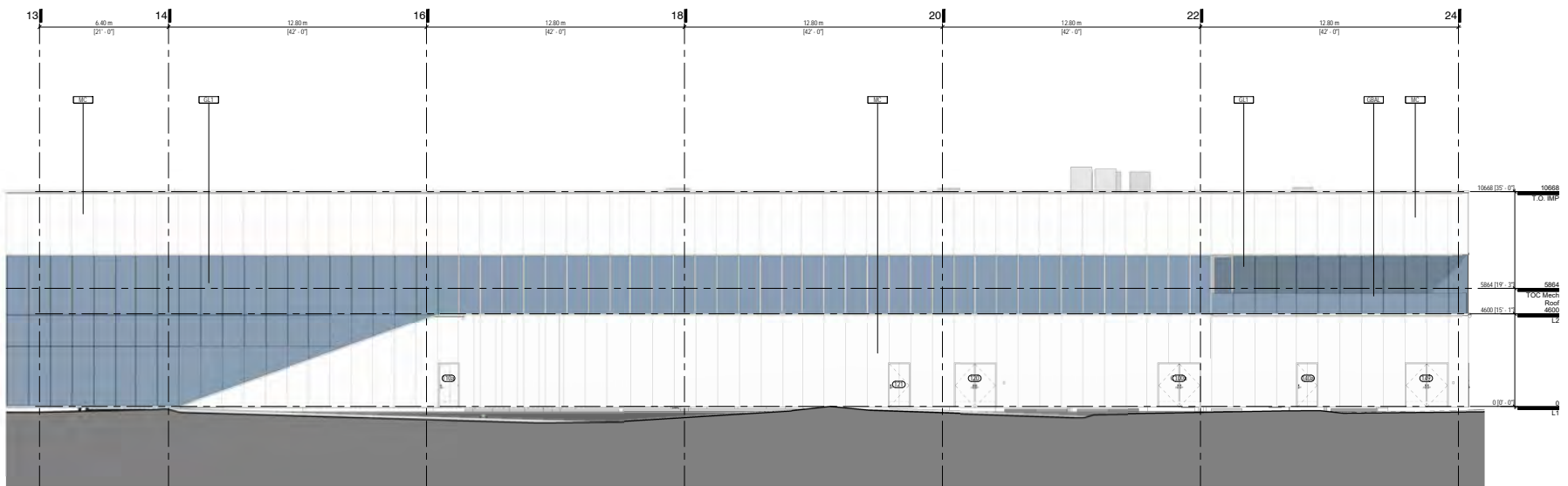
Cloverdale Sport and Ice Complex
6336 - 177B Street
Surrey, BC

Building Elevations - North

A311



① SOUTH ELEVATION
1 : 100



② SOUTH ELEVATION
1 : 100

KEYNOTE LEGEND

TAG	DESCRIPTION
GBAL	FRAMELESS GLASS BALUSTRADE
GL1	VISION GLAZING, SEE GLAZING TYPES & FINISHES SCHEDULE
MC	METAL CLADDING
WV1	WOOD VENER - TYPE 1

1	18.11.26	Issued for Building Permit
REV	DATE	DESCRIPTION
SCALE: 1 : 100 DATE: November 26, 2019 DRAWN: Author		
TXAD PROJECT: 16078 Cloverdale Arena		
FILE	18.02	2019.12
PATH	C:\Users\rdh\Desktop\Cloverdale Arena_Planet.rvt DATE: 23.04.19	



rdh rounthwaite dick & hadley architects inc.
182 - 1182 Gallop Drive, West Vancouver, B.C. V8E 2P8

Cloverdale Sport and Ice Complex
6336 - 177B Street
Surrey, BC

Building Elevation - South

Glazing Types

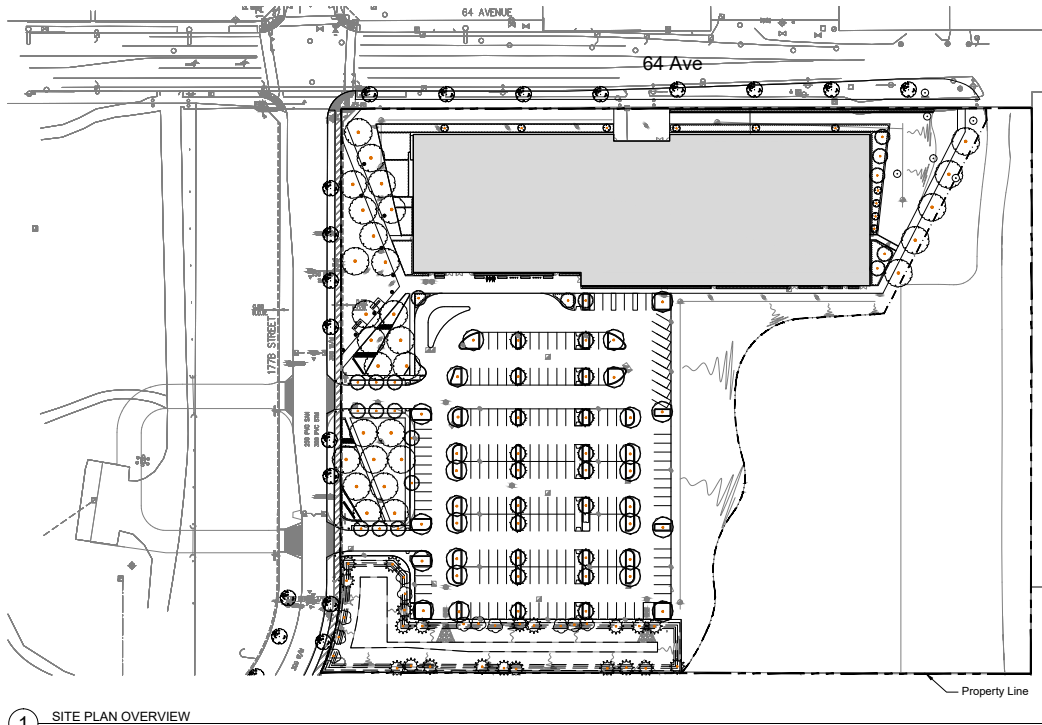
TAG	DESCRIPTION
GL1	CLEAR INSULATED GLAZING UNIT
GL2	SAME AS GL1 EXCEPT APPLY TRANSLUCENT SOLID ETCH FRIT TO 100% COVERAGE OF SURFACE

DP No. 7917-0169-01(13)

A312

CLOVERDALE ARENA

Issued for Building Permit

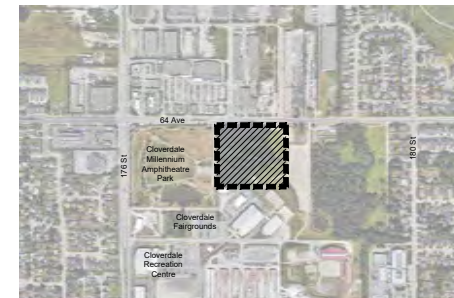


1 SITE PLAN OVERVIEW
Scale 1:750

Contact Information	Other Key Contacts:	
van der Zalm + associates Inc. Project Landscape Architecture Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 T. 604 882 0024 F. 604 882 0042	Architect Taylor Kurtz Architecture & Design 102-1183 Dulum Dr Vancouver, BC V5L 2P6	Civil HUB Engineering Suite 212 12992 76 Ave Surrey, BC V3W 2V6
Primary project contact: David Jette davidj@vzta.ca o. 604 546 0921		
Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vzta.ca o. 604 546 0920		

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	GENERAL NOTES
L-03	TREE PROTECTION AND REMOVAL PLAN
L-04	OVERALL SITE PLAN AND TREE PLAN
L-05A	SITE PLAN & PLANTING PLAN - SOUTH WEST
L-05B	SITE PLAN & PLANTING PLAN - NORTH WEST
L-05C	SITE PLAN & PLANTING PLAN - NORTH EAST
L-05D	SITE PLAN & PLANTING PLAN - SOUTH EAST
L-06A	SECTIONS
L-06B	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
L-07A	IRRIGATION PLAN - SOUTH WEST
L-07B	IRRIGATION PLAN - NORTH WEST
L-07C	IRRIGATION PLAN - NORTH EAST
LI-01	IRRIGATION DETAILS & NOTES



2 LOCATION MAP
Scale NTS

The "Landscaping"

DP No. 7917-0169-01(14)



No.	By	Description	Date
7	DJ	Issued for BP	Nov 29, 2018
6	DJ	Issued for 75% Review	Oct 26, 2018
5	DJ	Issued for Development Permit	Sept 18, 2018
4	DJ	Issued for 50% Review	Sept 12, 2018
3	DJ	Revision for Artist Report	April 06, 2018
2	DJ	Issued for DP	Sept 20, 2017
1	DJ	For Review	March 09, 2017

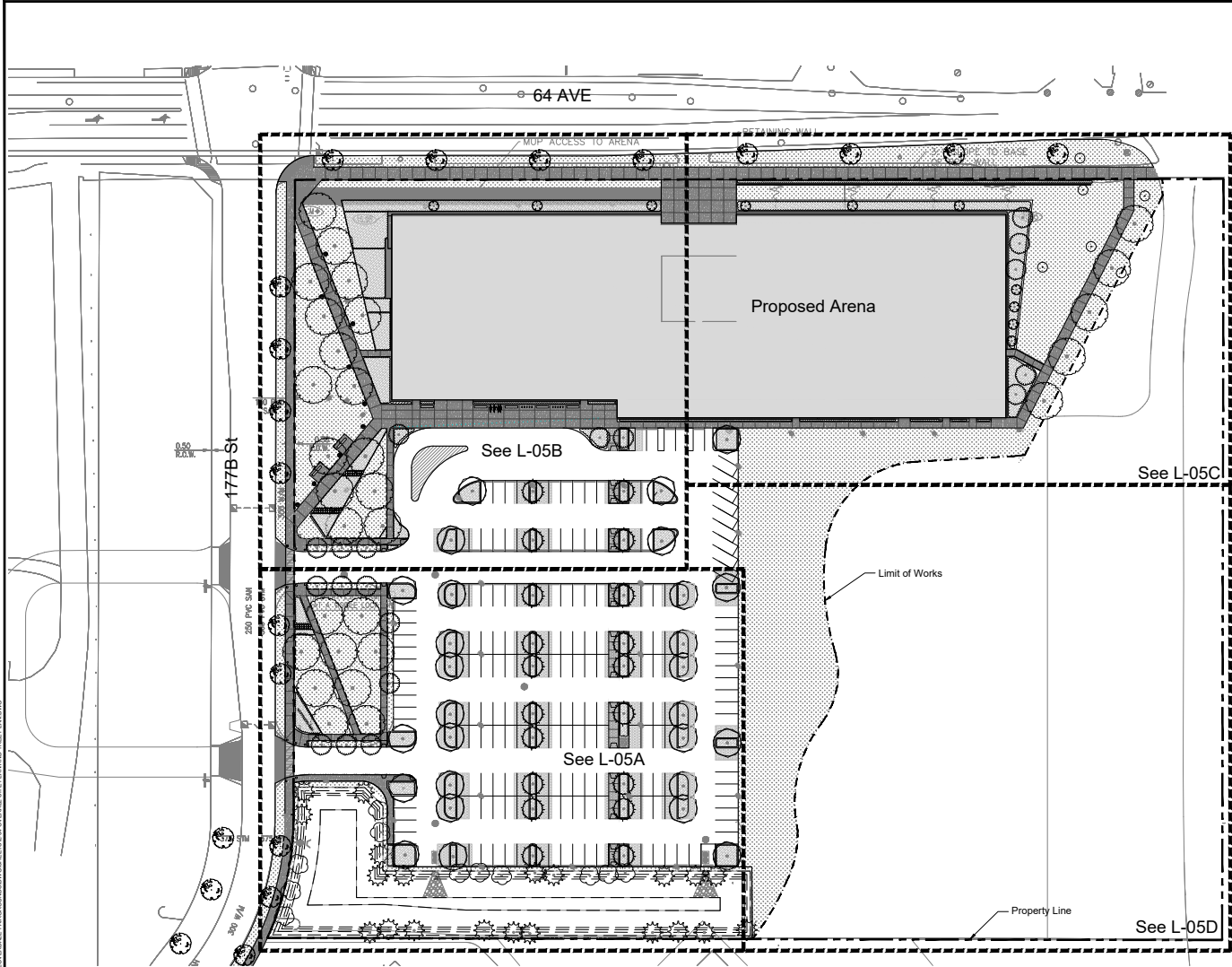
REVISIONS TABLE FOR SHEET	
No.	By: Description Date
REVISIONS TABLE FOR DRAWINGS © Copyright reserved. This drawing and design is the property of van der Zalm + associates inc. and may not be reproduced or used for other projects without permission.	
Project: Cloverdale Fairground & Arena	
Project Address: 6336 - 1778 Street, Surrey, BC	
Drawn: PC HP	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: As Shown	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS OR ADDITIONAL DRAWINGS MUST NOT BE REPRODUCED OR CONSTRUCTION UNLESS LABELED AS SUCH FOR TENDER/CONSTRUCTION.

Drawing Title:
COVER PAGE



PR2016-23

Drawing #:
L-01



LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	1.2 LD-02	SCORED CONCRETE Brown Finish
[Pattern]	5 LD-02	DRIP STRIP
[Pattern]	3 LD-02	CRUSHED GRANITE
[Pattern]	2 LD-02	SHRUB PLANTING
[Symbol]	1 LD-03	BENCH Model #: Harris Bench Size: 3076 x 504 x 420 mm Material: Wood Manufacturer: Melico Mount Surface
[Symbol]	4 LD-03	RETAINING WALL
[Symbol]	2 LD-03	BOLLARD Model #: Explosion Bollard Size: 966 x 90 mm Material: Galvanized and Powder Coated Steel Manufacturer: Melico
[Symbol]	3 LD-03	PATH LIGHTING Model #: GALS Path Light Size: 568mm Color: Stainless Steel (multi finish) Manufacturer: Philips Supplier: SLS Lighting
[Symbol]		SEED See Critical Landscape Notes for Specifications
[Symbol]		SOD See Critical Landscape Notes for Specifications
[Symbol]	6 LD-02	BIKE RACK Model #: SUPER-35 Finish: Redwood Supplier: Walkway Site Furniture Mount: Surface
[Symbol]	5 LD-03	STRUCTURAL SOIL
[Symbol]		DRAINAGE SWALE ARROWS
[Symbol]		PROPOSED SPOT ELEVATION 16.88
[Symbol]		ROOT BARRIER

No.	By:	Description	Date
7	DJ	Issued for BP	Nov 29, 2018
6	DJ	Issued for 75% Review	Oct 26, 2018
5	DJ	Issued for Development Permit	Sept 18, 2018
4	DJ	Issued for 50% Review	Sept 12, 2018
3	DJ	Revision for Arborist Report	April 06, 2018
2	DJ	Issued for DP	Sept 20, 2017
1	DJ	For Review	March 09, 2017

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No.	By:	Description	Date
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Project:
Cloverdale Fairground & Arena

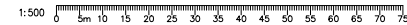
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6336 - 177B Street, Surrey, BC

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TREE SCHEDULE: WHOLE SITE

TREES	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	SIZE		
[Tree Symbol]	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	6cm cal.	1.25std		
[Tree Symbol]	Thuja plicata / Western Red Cedar	B & B		3m ht		
[Tree Symbol]	Zelkova serrata 'Green Vase' / Sawleaf Zelkova	B & B	8cm cal.	1.8 m std.		
[Tree Symbol]	Carpinus betulus 'Lucas' / Lucas European Hornbeam	B & B	6cm cal.			
[Tree Symbol]	Crataegus douglasii / River Hawthorn	B & B	6cm cal.	1.2m std.		
[Tree Symbol]	Fagus sylvatica 'Dawycok Gold' / European Beech	B & B	6cm cal.			
[Tree Symbol]	Fraxinus americana 'Autumn Applause' / White Ash	B & B	6cm cal.	1.8 m std.		

DP No. 7917-0169-01(15)



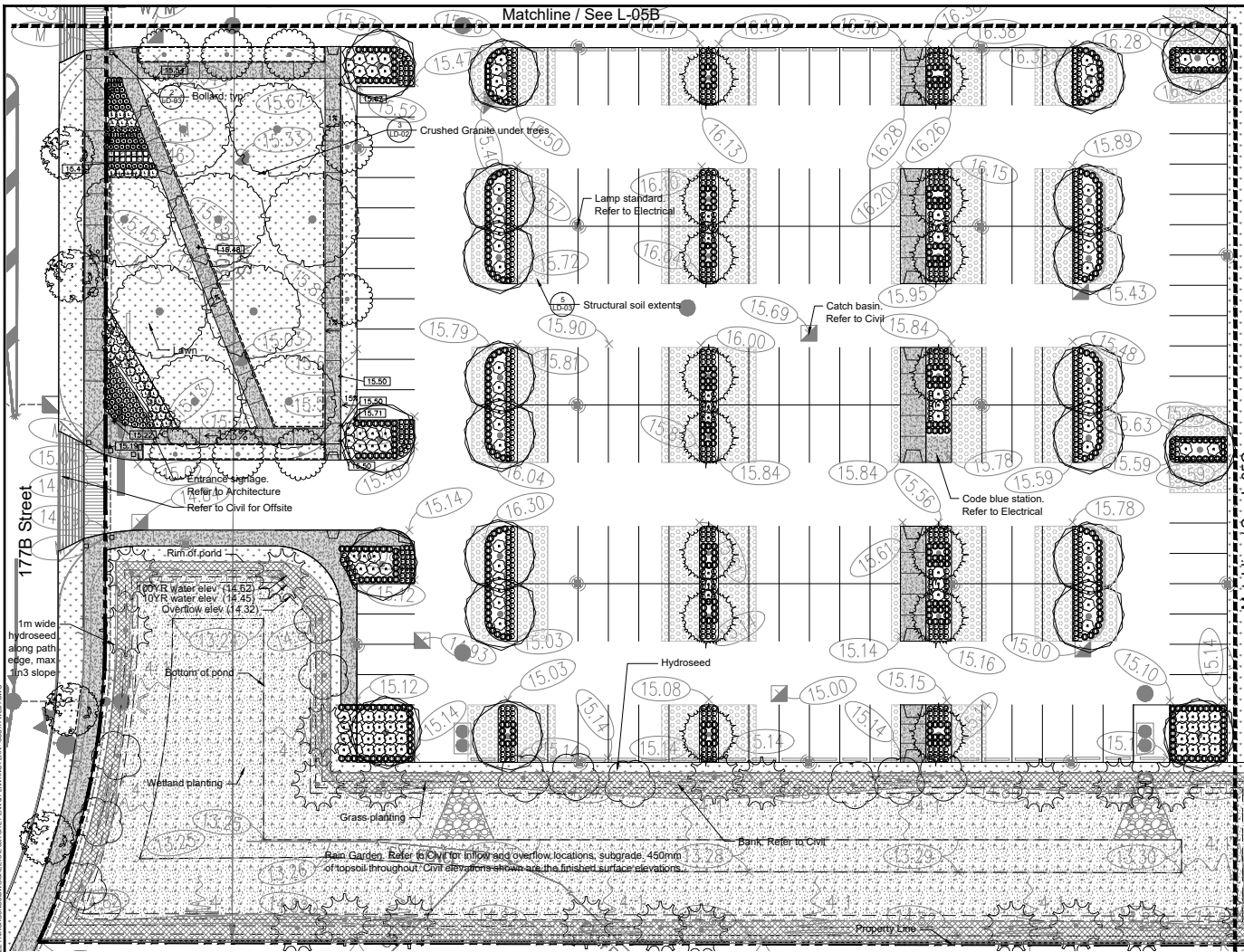
Drawing Title: OVERALL SITE PLAN AND TREE PLAN



VDZ Project #: PR2016-23

Drawing #: L-04

L:\Projects\2016\PR2016-23\Drawings\Overall Site Plan and Tree Plan.dwg



LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	1.2 LD-02	SCORED CONCRETE Broom Finish
[Pattern]	5 LD-02	DRIP STRIP
[Pattern]	3 LD-02	CRUSHED GRANITE
[Pattern]	2 LD-01	SHRUB PLANTING
[Pattern]	1 LD-03	BENCH Model # Harris Bench Size: 3050 x 504 x 400 mm Material: Wood Manufacturer: Metaco Mount Surface
[Pattern]	4 LD-03	RETAINING WALL
[Symbol]	2 LD-03	BOLLARD Model # Explosion Bollard Size: 900 x 400 mm Material: Galvanized and Powder Coated Steel Manufacturer: Metaco
[Symbol]	3 LD-03	PATH LIGHTING Model: Cali 3 Path Light Size: 550mm Colour: Stainless Steel (matte finish) Manufacturer: Philips Supplier: BLS Lighting
[Symbol]		SEE See Critical Landscape Notes for Specifications
[Symbol]		SOD See Critical Landscape Notes for Specifications
[Symbol]	6 LD-02	BIKE RACK Model # SUTBR-35 Finish: Redwood Supplier: Vitabone Site Furnishings Mount Surface
[Symbol]	5 LD-03	STRUCTURAL SOIL
[Symbol]		DRAINAGE SWALE ARROWS
[Symbol]		PROPOSED SPOT ELEVATION
[Symbol]	16.98	
[Symbol]		ROOT BARRIER

Key Map (NTS)



REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
7	DJ	Issued for BP	Nov 29, 2018
6	DJ	Issued for 75% Review	Oct 26, 2018
5	DJ	Issued for Development Permit	Sept 18, 2018
4	DJ	Issued for 50% Review	Sept 12, 2018
3	DJ	Revision for Arbores Report	April 06, 2018
2	DJ	Issued for DP	Sept 28, 2017
1	DJ	For Review	March 09, 2017

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
Cloverdale Fairground & Arena

Project Address:
6336 - 177B Street, Surrey, BC

PLANT SCHEDULE SOUTH

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
L	Lonicera pileata / Box-leaf Honeysuckle	#2	0.90m	47
D	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo	#2	0.60m	515
P	Prunus laurocerasus 'Otto Luyken' / Luylkens Laurel	#3	1.20m	6
R	Rosa rugosa 'Alba' / Rugosa Rose - white	#3	1.20m	124
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
E	Erica carnea 'Springwood White' / Winter Heather	#1	0.50m	882
S	Salvia nemorosa 'Caradonna' / Woodland Sage	#2	0.60m	39
GRASSES	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
N	Nasella tenuissima / Feather grass	#2	0.90m	65

RAINGARDEN PLANT SCHEDULE

RAIN GARDEN: GRASS PLANTING	532.7 m ²	CONT	SPACING	QTY
Carex amphibia / Creek Sedge	193	#1	0.7m	
Juncus patens 'Carmen's Grey' / Spreading Rush	247	#1	0.7m	
Koeleria glauca 'Coolio' / Large Blue Hair Grass	282	#1	0.7m	
Lupinus polyphyllus / Large-leaved Lupine	158	#1	0.7m	
Luzula sylvatica / Margrante / Woodrush	262	#1	0.7m	
Rosa nutkana / Nootka Rose	168	#1	0.7m	
RAIN GARDEN: WETLAND PLANTING	1 717 m ²	CONT	SPACING	QTY
Carex amphibia / Creek Sedge	911	#1	0.7m	
Juncus effusus 'Carmen's Japanese' / Common Rush	911	#1	0.7m	
Juncus patens 'Carmen's Grey' / Spreading Rush	698	#1	0.7m	
Panicum virgatum 'Cape Breeze' / Switch Grass	618	#1	0.7m	

DP No. 7917-0169-01(16)



Drawn: [Signature]

PC HP

Checked: DJ

Approved: DJ

Stamp: [Signature]

Original Sheet Size: 24"x36"

Scale: 1:200

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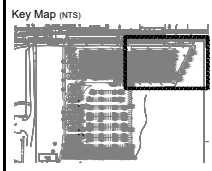
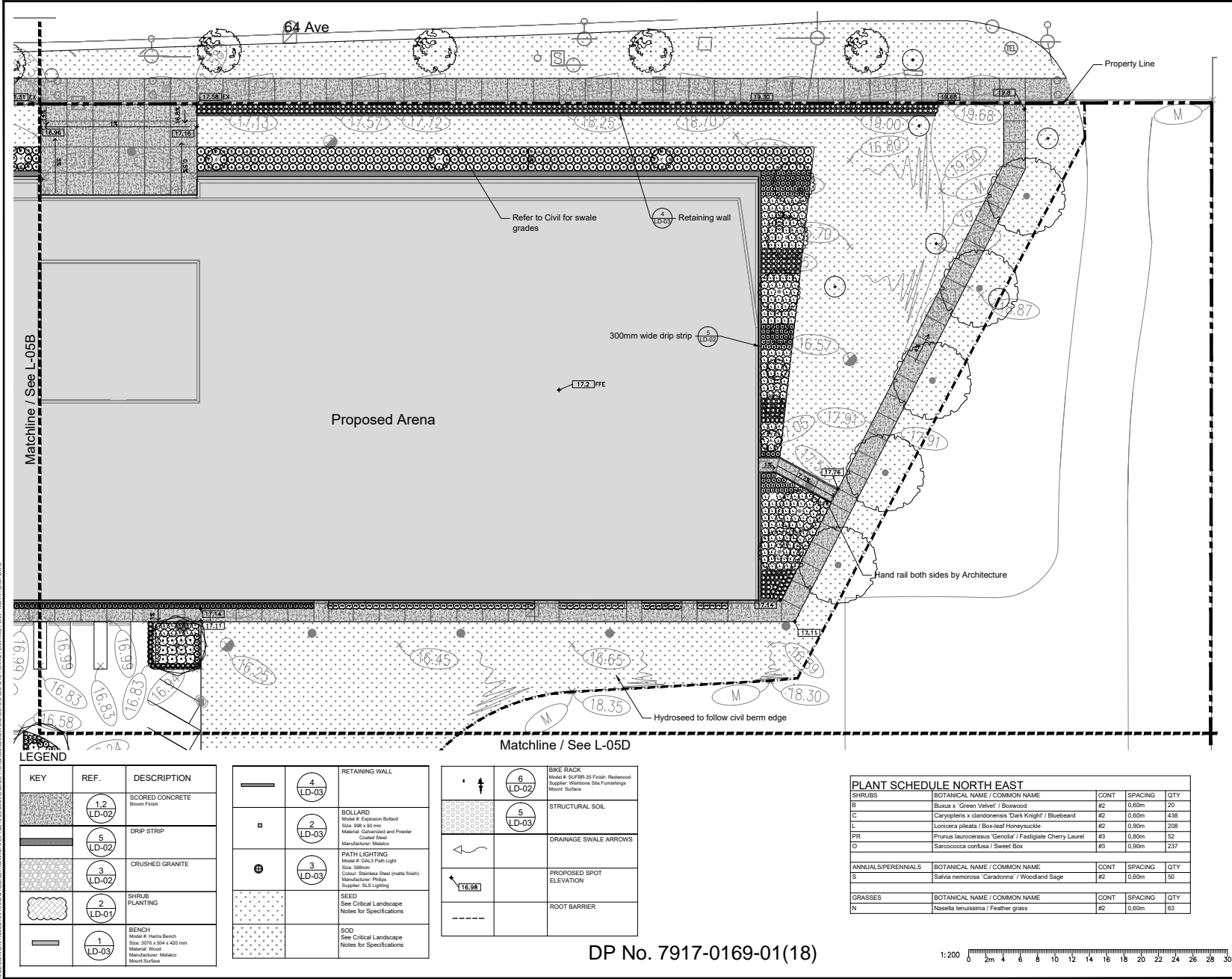


Drawing Title: SITE PLAN & PLANTING PLAN - SOUTH WEST



VZD Project #: PR2016-23

Drawing #: L-05A



No.	By	Description	Date
7	DJ	Issued for BP	Nov 29, 2018
6	DJ	Issued for 75% Review	Oct 26, 2018
5	DJ	Issued for Development Permit	Sept 18, 2018
4	DJ	Issued for 50% Review	Sept 12, 2018
3	DJ	Revision for Arbores Report	April 06, 2018
2	DJ	Issued for DP	Sept 20, 2017
1	DJ	For Review	March 09, 2017

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
 Cloverdale Fairground & Arena

Project Address:
 6336 - 177B Street, Surrey, BC

Drawn: PC
 HP

Checked: DJ

Approved: DJ

Stamp: Original Sheet Size: 24"x36"

Scale: 1:200

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LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	1.2 LD-02	SCORED CONCRETE Broom Finish
[Pattern]	5 LD-02	DRIP STRIP
[Pattern]	3 LD-02	CRUSHED GRANITE
[Pattern]	2 LD-01	SHRUB PLANTING
[Pattern]	1 LD-03	BENCH Model # Harris Bench Size: 3076 x 604 x 420 mm Material: Wood Manufacturer: Metalis Mount: Surface

KEY	REF.	DESCRIPTION
[Symbol]	4 LD-03	RETAINING WALL
[Symbol]	2 LD-03	BOLLARD Model # Extrusion Bollard Size: 108 x 108 mm Material: Galvalume and Powder Coated Steel Manufacturer: Metalis
[Symbol]	3 LD-03	PATH LIGHTING Model # DAL3 Path Light Size: 568mm Color: Stainless Steel (matte finish) Manufacturer: Philips Supplier: SLS Lighting
[Symbol]		SEED See Critical Landscape Notes for Specifications
[Symbol]		SOD See Critical Landscape Notes for Specifications

[Symbol]	6 LD-02	BIKE RACK Model # SUPER-35 Finish: Redwood Supplier: Watstone Site Furnishings Mount: Surface
[Symbol]	5 LD-03	STRUCTURAL SOIL
[Symbol]		DRAINAGE SWALE ARROWS
[Symbol]		PROPOSED SPOT ELEVATION
[Symbol]		ROOT BARRIER

PLANT SCHEDULE NORTH EAST

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
B	Buxus x 'Green Velvet' / Boxwood	#2	0.60m	20
C	Caryopteris x clandonensis 'Dark Knight' / Bluebeard	#2	0.60m	438
L	Lonicera pileata / Box-leaf Honeysuckle	#2	0.90m	238
PR	Prunus laurocerasus 'Cemalis' / Fatigiate Cherry Laurel	#3	0.60m	52
O	Sarcococca confusa / Sweet Box	#3	0.90m	237

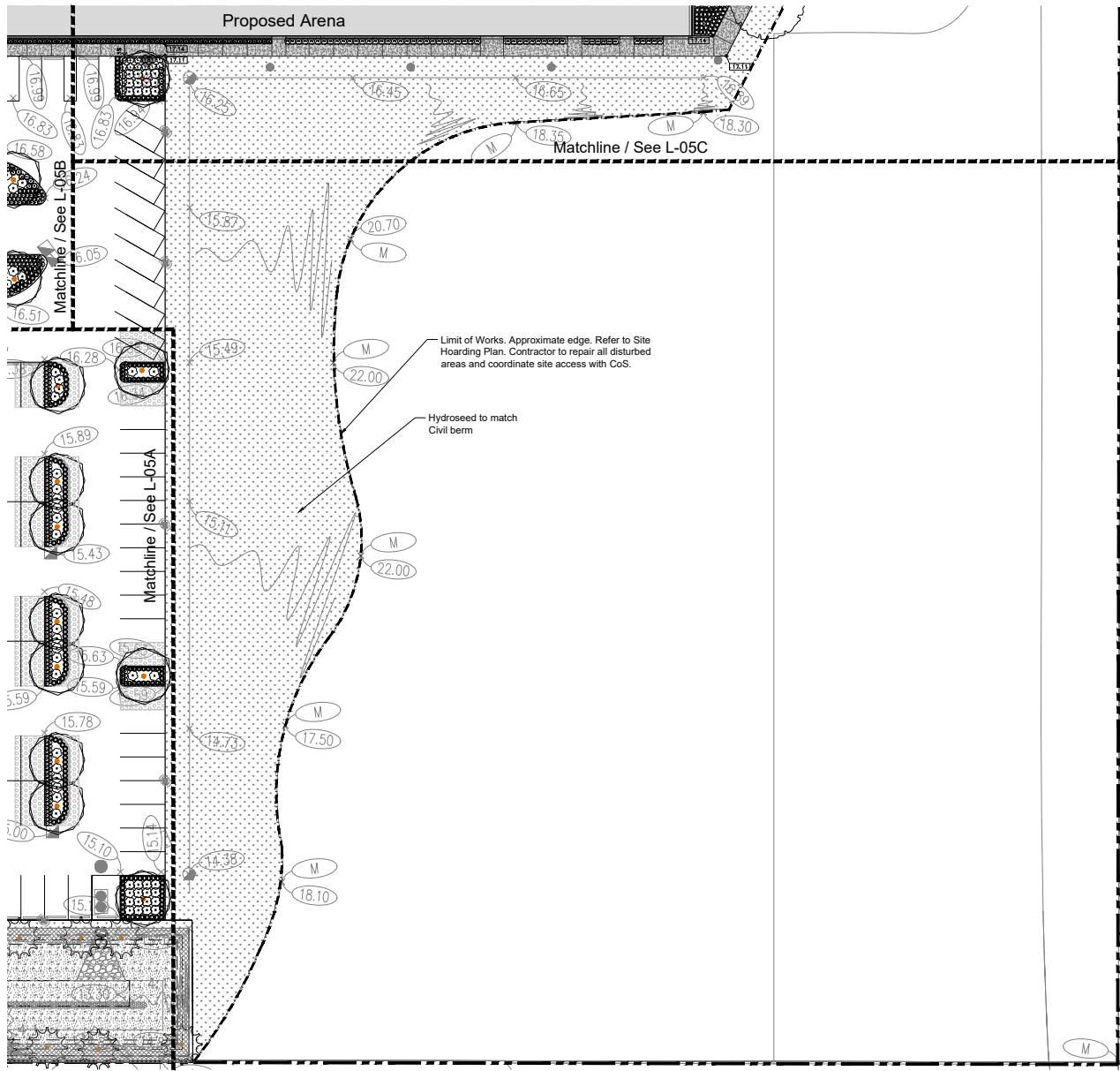
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
S	Salvia nemorosa 'Caradonna' / Woodland Sage	#2	0.60m	50

GRASSES	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
N	Nassella tenuissima / Feather grass	#2	0.60m	63

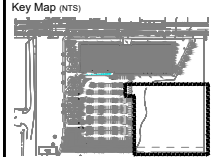
DP No. 7917-0169-01(18)



C:\Users\jvan der Zalm\Documents\Projects\2016\PR2016-23\Site Plan & Planting Plan - South East.dwg



KEY	REF.	DESCRIPTION
	1.2 LD-02	SCORED CONCRETE Broom Finish
	5 LD-02	DRIP STRIP
	3 LD-02	CRUSHED GRANITE
	2 LD-01	SHRUB PLANTING
	1 LD-03	BENCH Model #: Harris Bench Size: 3078 x 5584 x 420 mm Material: Wood Manufacturer: Metolco Mount Surface
	4 LD-03	RETAINING WALL
	2 LD-03	BOLLARD Model #: Explosion Bollard Size: 98 x 90 mm Material: Galvanized and Powder Coated Steel Manufacturer: Metolco
	3 LD-03	PATH LIGHTING Model #: G-3 Path Light Size: 58mm Colour: Stainless Steel (matte finish) Manufacturer: Philips Supplier: SLS Lighting
		SEED See Critical Landscape Notes for Specifications
		SOIL See Critical Landscape Notes for Specifications
	6 LD-02	BIKE RACK Model #: SUFR-35 Finish: Redwood Supplier: Walbone Site Furnishings Mount Surface
	5 LD-03	STRUCTURAL SOIL
		DRAINAGE SWALE ARROWS
	16.98	PROPOSED SPOT ELEVATION
		ROOT BARRIER



No.	By	Description	Date
7	DJ	Issued for BP	Nov 29, 2018
6	DJ	Issued for 75% Review	Oct 26, 2018
5	DJ	Issued for Development Permit	Sept 18, 2018
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2	DJ	Issued for DP	Sept 20, 2017
1	DJ	For Review	March 09, 2017

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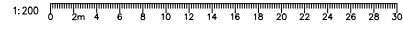
Project:
 Cloverdale Fairground & Arena

 Project Address:
 6336 - 177B Street, Surrey, BC

Drawn: PC HP	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"

Scale:
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DP No. 7917-0169-01(19)



van der Zalm + associates inc.
 Landscape Architecture
 Suite 1, 2017 87th Avenue
 Surrey, British Columbia
 V1W 4B9
 P 604 882 0264
 F 604 882 0942
 info@vaz.ca

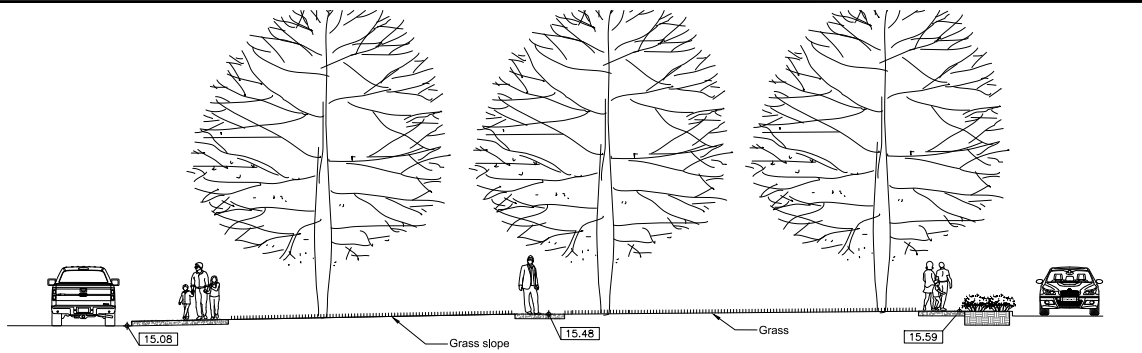


Drawing Title:
 SITE PLAN & PLANTING PLAN - SOUTH EAST

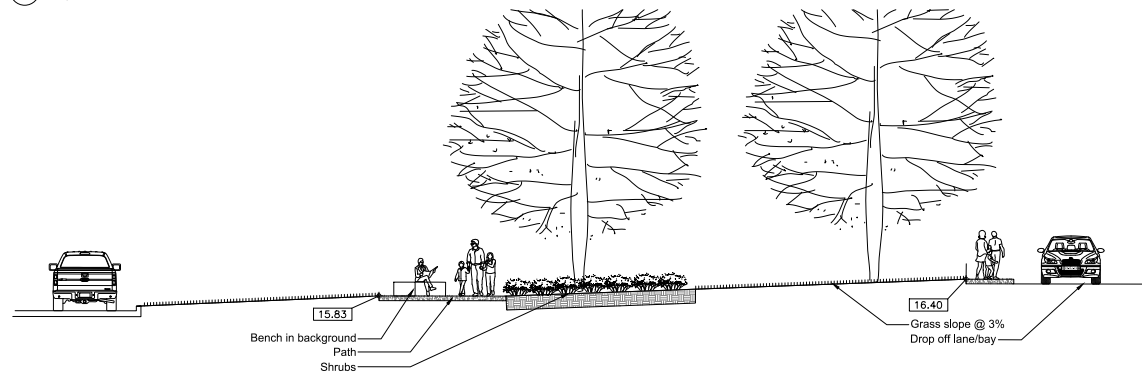


VZ Project #:
 PR2016-23

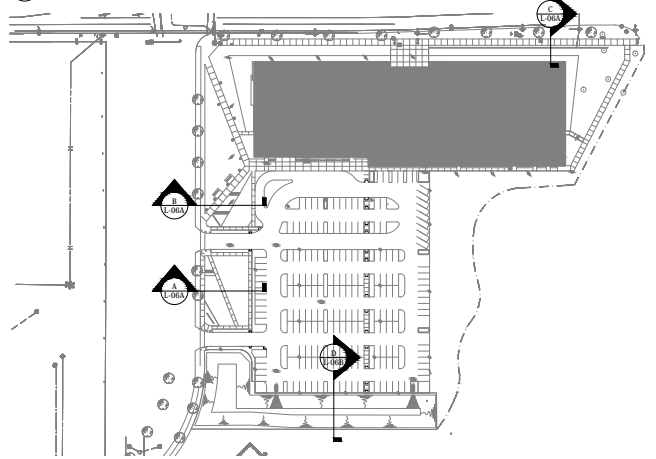
Drawing #:
 L-05D



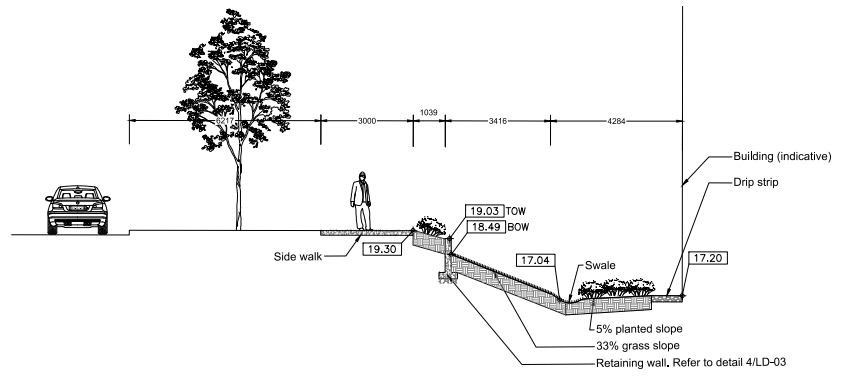
A SOUTHERN OUTDOOR PLAZA
1:75



B NORTHERN OUTDOOR PLAZA
1:75



Key Map (NTS)



C NORTH EAST SECTION
DP No. 7917-0169-01(20)

No.	By:	Description	Date
7	DJ	Issued for BP	Nov 29, 2018
6	DJ	Issued for 75% Review	Oct 26, 2018
5	DJ	Issued for Development Permit	Sept 18, 2018
4	DJ	Issued for 50% Review	Sept 12, 2018
3	DJ	Revision for Artist Report	April 06, 2018
2	DJ	Issued for DP	Sept 20, 2017
1	DJ	For Review	March 09, 2017

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No.	By:	Description	Date
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Project:
Cloverdale Fairground & Arena

 Project Address:
6336 - 177B Street, Surrey, BC

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Approved: DJ	Original Sheet Size: 24"x36"

Scale:
1:75
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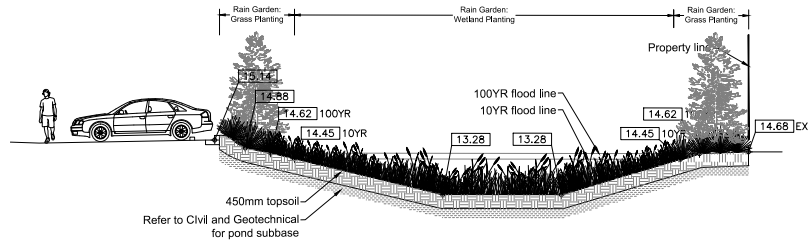
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SECTIONS



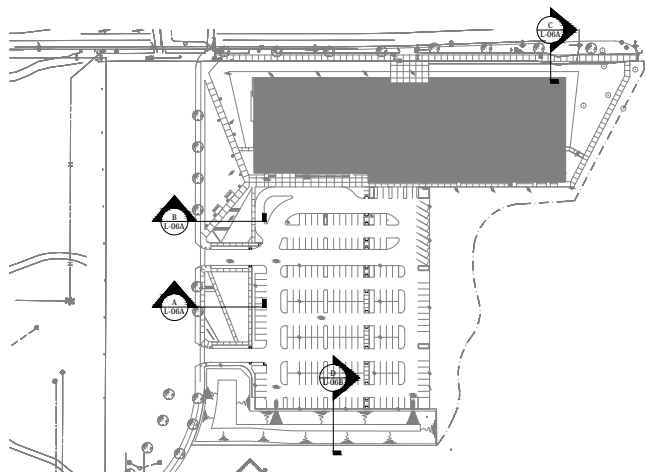
VDZ Project #:
PR2016-23

Drawing #:
L-06A

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D RAIN GARDEN POND
1:75



Key Map (NTS)

DP No. 7917-0169-01(21)

No.	By:	Description	Date
7	DJ	Issued for BP	Nov 29, 2018
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Project:
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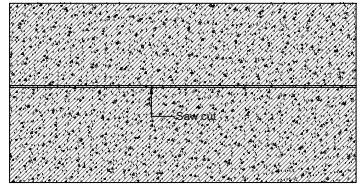
Drawn: HP	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: 1:75	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS SHALL BE TO FINISH UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE REFERENCED AT THE OWNER'S RISK OF THIS WORK. ALL REVISIONS OF ANY NATURE OR KIND SHALL BE REFERENCED TO THE ORIGINAL DRAWING(S) AND NOT TO THIS REVISION OR CONSTRUCTION DRAWING(S) UNLESS LABELED AS SUCH FOR TENDER/CONSTRUCTION.

Drawing Title:
SECTIONS



VDZ Project #:
PR2016-23

Drawing #:
L-06B

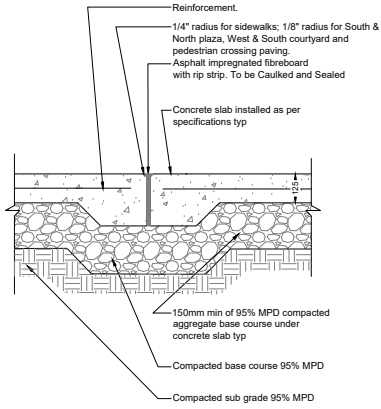


1 CONCRETE SURFACING
Scale 1:10

Concrete
Size: 125mm thick (Pedestrian), 200mm thick (Vehicular)
Finish: Sandblash finish
Saw cuts: Every 1500mm. All saw cuts to be 1/3 depth of the slab, straight following chalklines/straight edge.
Control joints every 6000mm.
Reinforcement: 6 gauge 4"x4" wire mesh centered in slab

Filter fabric
19mm minus, 150mm deep crushed granular base.
Compact in 100mm layers to 95% MPD for field testing. Depth and specification to Geotechnical Engineers approval

Subgrade consists of void form on slab



2 EXPANSION JOINT
Scale 1:10

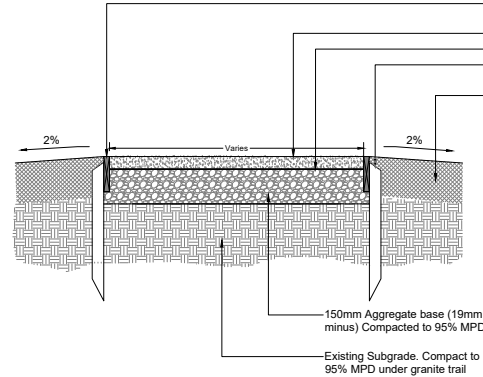
Reinforcement.
1/4" radius for sidewalks; 1/8" radius for South & North plaza, West & South courtyard and pedestrian crossing paving.
Asphalt impregnated fibreboard with rip strip. To be Caulked and Sealed

Concrete slab installed as per specifications typ

150mm min of 95% MPD compacted aggregate base course under concrete slab typ

Compacted base course 95% MPD

Compacted sub grade 95% MPD



3 CRUSHED GRANITE
Scale 1:10

150mm Aggregate base (19mm minus) Compacted to 95% MPD

Existing Subgrade. Compact to 95% MPD under granite trail

Wishbone Edge 1" x 6" with stake

100mm Crushed Granite

Compacted geotextile fabric

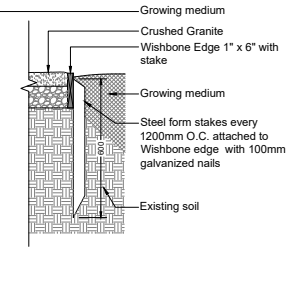
Steel form stakes

2%

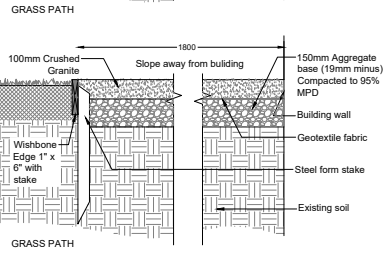
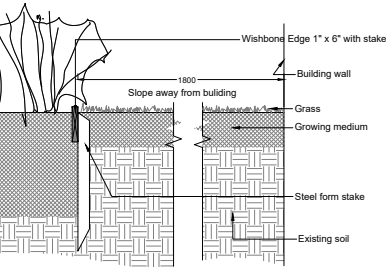
Varies

2%

NOTES:
1. Contractor to provide 1L sample of crushed granite material for approval by landscape architect prior to installation.
2. Ensure top of Trex board meets flush with crushed granite pathways.
3. Refer to Trex board anchor detail.
4. Minimum 2% cross slope.

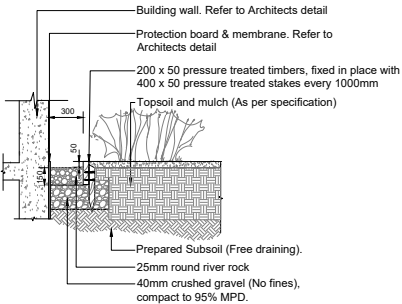


NOTES:
1. Growing medium to be 25mm below top of edger board.
2. Trex Edger
2.1. Model: Trex Escapes
2.2. Color: Pewter



4 EDGING
Scale 1:10

NOTES:
1. Growing medium to be 25mm below top of edger board.
2. Edger
2.1. Model: Wishbone Perma-Deck plastic lumber
2.2. Color: Slate Gray



5 DRIP STRIP
Scale 1:20

Building wall. Refer to Architects detail

Protection board & membrane. Refer to Architects detail

200 x 50 pressure treated timbers, fixed in place with 400 x 50 pressure treated stakes every 1000mm

Topsoil and mulch (As per specification)

300

40

Prepared Subsoil (Free draining).

25mm round river rock

40mm crushed gravel (No fines), compact to 95% MPD.



BIKE RACK
Model #: UFBR-35
Finish: Redwood
Mount: Surface
Quantity: Refer to Plan
Installation Angle: To lean towards the building
Manufacturer: Wishbone Site Furnishings
www.wishboneinc.com
1-866-628-0476

DP No. 7917-e-0169-01(23)



No.	By:	Description	Date
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Project:
Cloverdale Fairground & Arena

Project Address:
6336 - 177B Street, Surrey, BC

Drawn: PC	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"

Scale:
AS SHOWN

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Drawing Title:
DETAILS

VDZ Project #:
PR2016-23

Drawing #:
LD-02



BENCH
 Model #: Harris Bench
 Size: 3076 x 504 x 420 mm
 Material: Wood
 Backrest: Centred Backrest
 Armrest: No armrests
 Mount: Surface
 Manufacturer: Metalco
 www.idmetalco.com
 1-877-690-7755



ANTI SKATEBOARD GUARDS: Each bench to have 4 anti skateboard guards spaced equally at 70cm apart

ANTI SKATEBOARD GUARDS
 Model #: 101021
 Material: Aluminum
 Mount: Surface / as per manufacturer's instructions
 Manufacturer: BC Site Service
 www.bcsiteservice.com
 604-598-8414

1 BENCH ON PLAZA & PATH
 Scale NTS



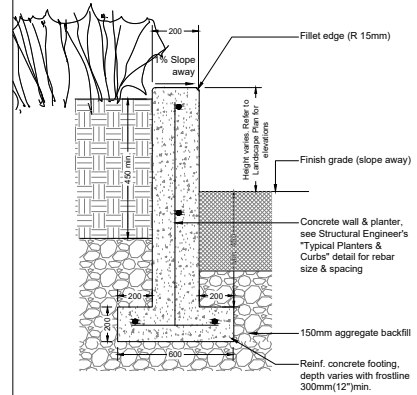
BOLLARD
 Model #: Explosion Bollard
 Size: 998 x 90 mm
 Material: Galvanized and Powder Coated Steel
 Mount: Surface
 Manufacturer: Metalco
 www.idmetalco.com
 1-877-690-7755

2 BOLLARD
 Scale NTS



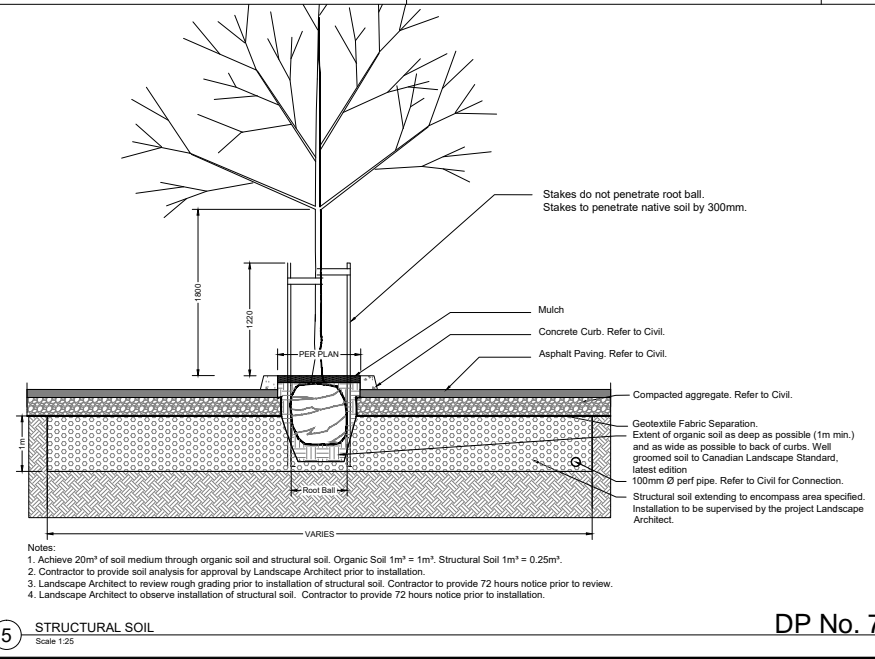
PATH LIGHT
 Model: GAL3 Path Light
 Size: 568mm
 Colour: Stainless steel (matte finish)
 Mount: Surface
 Manufacturer: Philips
 Supplier: SLS Lighting
 www.sls-lighting.com

3 LIGHTING
 Scale NTS



Note:
 1. Concrete wall detail see structural engineer drawings
 2. Refer to Geo-Technical report for concrete subbase requirements.
 3. Drainage to be coordinated with Civil Engineer.
 4. Growing medium to be 25mm below top of edger wall.

4 RETAINING WALL
 Scale 1:10



Notes:
 1. Achieve 20m³ of soil medium through organic soil and structural soil. Organic Soil 1m³ = 1m³. Structural Soil 1m³ = 0.25m³.
 2. Contractor to provide soil analysis for approval by Landscape Architect prior to installation.
 3. Landscape Architect to review rough grading prior to installation of structural soil. Contractor to provide 72 hours notice prior to review.
 4. Landscape Architect to observe installation of structural soil. Contractor to provide 72 hours notice prior to installation.

5 STRUCTURAL SOIL
 Scale 1:25

DP No. 7917-0169-01(24)

No.	By:	Description	Date
7	DJ	Issued for BP	Nov 29, 2018
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No.	By:	Description	Date
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Project:
 Cloverdale Fairground & Arena
 Project Address:
 6336 - 177B Street, Surrey, BC

Drawn: PC	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"

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Drawing Title:
 DETAILS

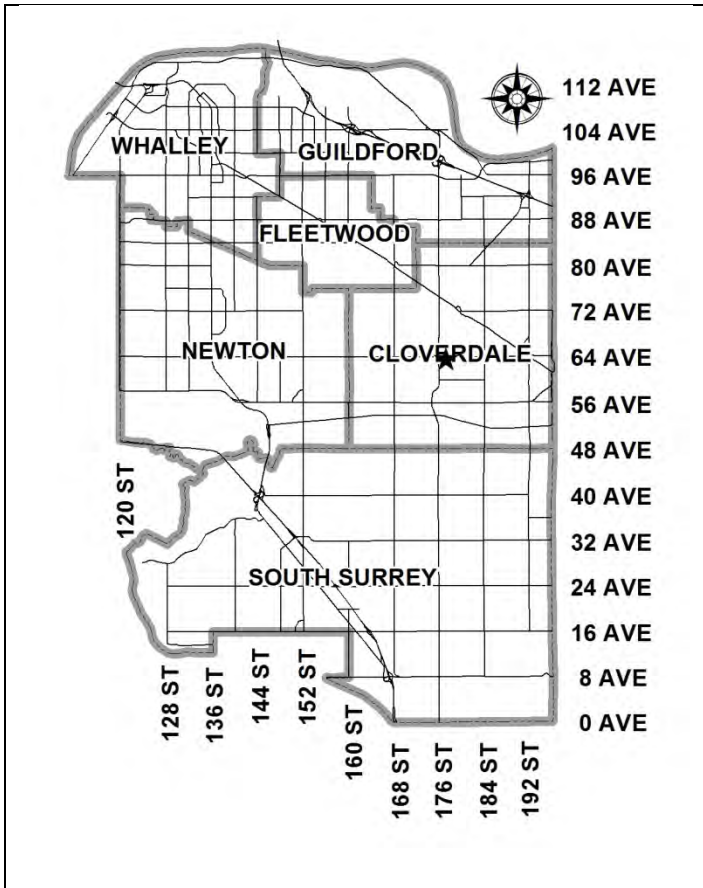
VDZ Project #:
 PR2016-23

Drawing #:
 LD-03

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0169-00

Planning Report Date: April 23, 2018



PROPOSAL:

- **Rezoning** from RA and CD to CD and RF
- **Development Permit**

to permit the development of the Cloverdale Sports & Ice Complex.

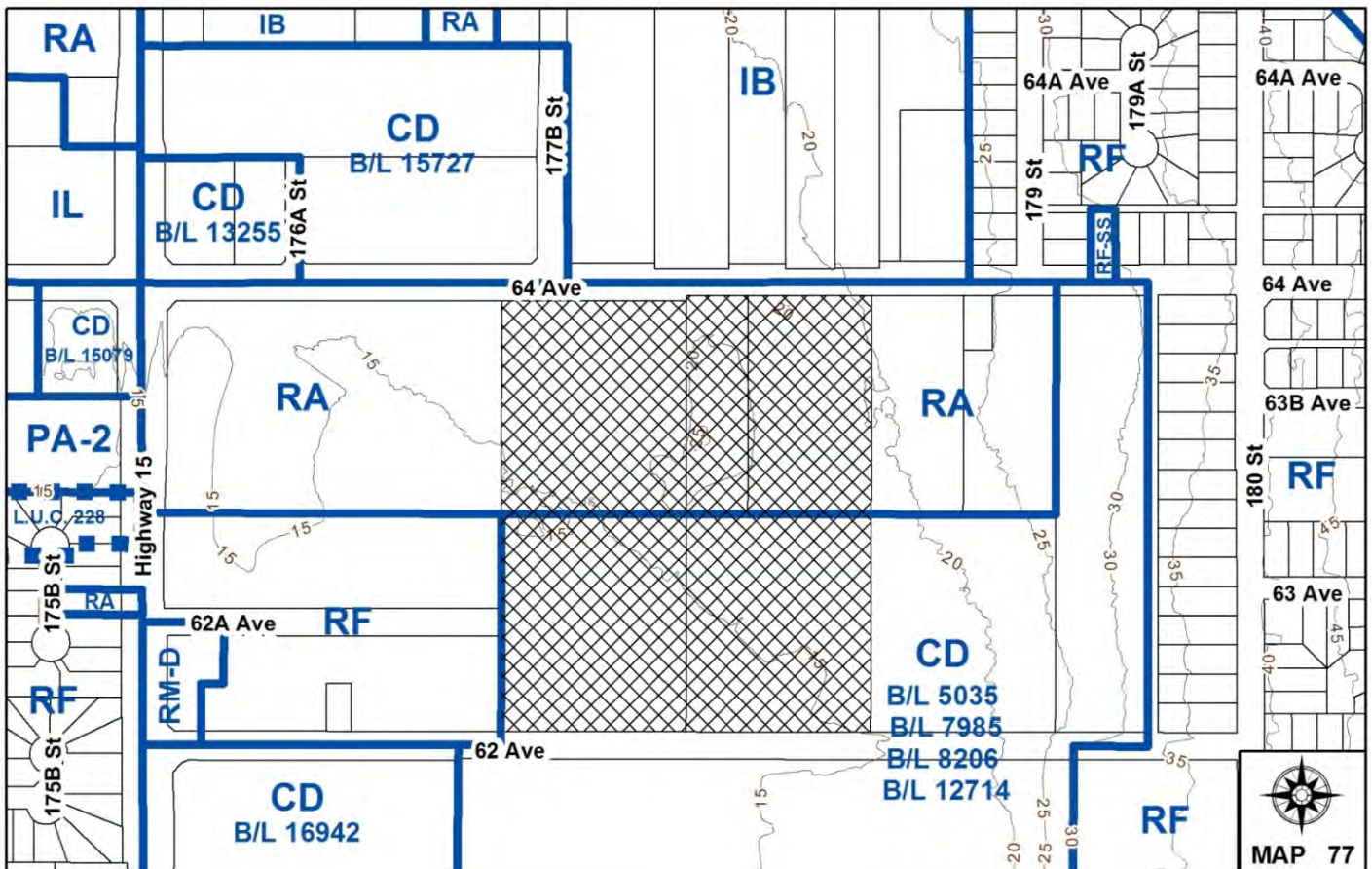
LOCATION: 17770, 17816 and 17848 - 64 Avenue
 17835 and 17763 - 62 Avenue

OWNER: City of Surrey

ZONING: RA and CD By-law No. 5035,
 amended by By-law Nos. 7985,
 8206, and 12714

OCP DESIGNATION: Urban

TCP DESIGNATION: Cloverdale Fairgrounds and
 Parks/Open Space



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the Sign By-law to allow second-storey fascia signage through a comprehensive sign design package.

RATIONALE OF RECOMMENDATION

- Complies with the Cloverdale Town Centre Plan.
- The proposed land use and building form are appropriate for this part of Cloverdale, and will complement the existing recreational uses at the Cloverdale Fairgrounds.
- The proposed Cloverdale Sports & Ice Complex will provide a valuable public amenity to residents of Cloverdale and more generally, for residents of Surrey.
- The proposed signage has been comprehensively designed to be integrated with the design of the building. The proposed signs consist of high quality materials and are appropriate in size and scale.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the portion of the subject site as shown as Block A on the Survey Plan attached in Appendix I from "One-Acre Residential Zone (RA)" and "Comprehensive Development Zone (CD)" (By-law No. 5035, amended by By-law Nos. 7985, 8206 and 12714) to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
2. A By-law be introduced to rezone the portion of the subject site as shown as Block B on the Survey Plan attached in Appendix I from "One-Acre Residential Zone (RA)" and "Comprehensive Development Zone (CD)" (By-law No. 5035, amended by By-law Nos. 7985, 8206 and 12714) to "Single Family Residential Zone (RF)", and a date be set for Public Hearing.
3. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
4. Council authorize staff to draft Development Permit No. 7917-0169-00 for Form and Character, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix III).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) input from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (g) relocation of the existing Cloverdale Fairgrounds workshop building to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.
Parks, Recreation & Culture:	No concerns.
Ministry of Transportation & Infrastructure (MOTI):	MOTI has granted preliminary approval for a one-year period subject to the submission of a Traffic Impact Study.
Surrey Fire Department:	No concerns.

SITE CHARACTERISTICS

Existing Land Use: City-owned lots. The portion of the subject site where the Cloverdale Sports & Ice Complex is proposed, is currently vacant.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 64 Avenue):	Cloverdale Crossing Shopping Centre and Business Park.	Commercial and Mixed Employment	CD By-law No. 15727 and IB
East:	Cloverdale Horseshow Club and treed lot.	Urban	RA
South:	Cloverdale Fairgrounds Agriplex and Showbarn.	Urban	CD By-law No. 5035, amended by By-law Nos. 7985, 8206 and 12714
West:	Bill Reid Millennium Amphitheatre.	Urban	RA

DEVELOPMENT CONSIDERATIONSBackground

- The 4.1-hectare (10 acre) site is comprised of five (5) City-owned properties (17770, 17816 and 17848 – 64 Avenue, and 17763 and 17835 – 62 Avenue), and is located on the south side of 64 Avenue directly east of the Bill Reid Millennium Amphitheatre. The subject site is designated Urban in the Official Community Plan (OCP) and designated Cloverdale Fairgrounds and Parks / Open Space in the Cloverdale Town Centre Plan (TCP).

- The three (3) north lots (17770, 17816 and 17848 – 64 Avenue) are zoned "One-Acre Residential Zone (RA)", while the two (2) south lots (17763 and 17835 – 62 Avenue) are zoned CD By-law No. 5035, as amended by By-law Nos. 7985, 8206 and 12714.
- The current Cloverdale Fairgrounds Concept Plan, which was adopted by Council in July 2007, identifies the subject site for use as a trade and exhibition centre and/or arena, with possible future expansion onto the abutting properties to the east and southeast for similar or related land uses to the existing Cloverdale Fairgrounds.
- In February 2016, a Request for Proposals was issued for the purpose of retaining professional services related to the design and construction of a new community ice arena on the subject site, which would be called the Cloverdale Sport & Ice Complex (CSIC). Subsequently, Taylor Kurtz Architecture + Design Inc. in association with Routhwaite, Dick and Hadley Architects Inc. were awarded the CSIC contract after a thorough evaluation process.
- The CSIC project is included in the 2017 Five-Year (2017 - 2021) Capital Program Budget (Corporate Report No. F005; 2016) and is expected to be completed and ready for use in Spring 2020.
- The existing Cloverdale Ice Arena, located at 6090 – 176 Street, to the southwest of the subject site will remain open for an indefinite period of time after the Cloverdale Sport & Ice Complex is completed. The City will continue to review future options for the existing arena.

Current Proposal

- The current proposal includes a rezoning, a Development Permit for Form and Character, and a subdivision in order to permit the development of a two-sheet, community ice arena (Cloverdale Sport & Ice Complex) on the north portion of the subject site. The proposed rezoning of the arena site is from "One-Acre Residential Zone (RA)" and "Comprehensive Development Zone (CD)" (By-law No. 5035, amended by By-law Nos. 7985, 8206 and 12714) to "Comprehensive Development Zone (CD)", as shown as Block A on the Survey Plan attached in Appendix I. The arena site (Block A) is approximately 4.12 hectares (10.2 acres) in size.
- A rezoning is also proposed for the split-zoned remnant lot that will be created as a result of the proposed 177B Street extension through the western portion of the subject site (see Road Dedication and 177B Street Extension section of this report). The proposed rezoning of this remnant lot is from "One-Acre Residential Zone (RA)" and "Comprehensive Development Zone (CD)" (By-law No. 5035, amended by By-law Nos. 7985, 8206 and 12714) to "Single Family Residential Zone (RF)", as shown as Block B on the Survey Plan attached in Appendix I. The remnant lot (Block B) is approximately 5,160 square metres (1.3 acres) in size and will comply with the minimum lot requirements of the RF Zone.
- This remnant parcel (Block B) may be consolidated with the abutting City-owned, Bill Reid Millennium Amphitheatre property to the west (17728 – 64 Avenue) in the future. The amphitheatre property is currently split-zoned RA and RF.
- Therefore, the proposed subdivision will create four (4) new lots – one for the Cloverdale Sport & Ice Complex (Block A), a remnant parcel along the west property line (Block B) and two (2) remainder lots (17763 and 17835 – 62 Avenue). These two (2) remainder lots, which are currently occupied by the Cloverdale Fairgrounds Agriplex, a show barn, and other related

buildings, will not be re-zoned at this time and will remain zoned "Comprehensive Development Zone (CD)" (By-law No. 5035, amended by By-law Nos. 7985, 8206 and 12714).

- The Zoning By-law allows buildings that are owned and operated by the City for municipal purposes, such as the proposed Cloverdale Sport & Ice Complex, to be located in any Zone. The proposed rezoning of the subject arena site to a CD Zone (based on the CPR Zone) is to allow the flexibility to lease tenant space to private businesses within the facility (i.e. a coffee shop, physiotherapist, sports equipment retailer, skate shop operator, etc.).
- The proposal requires the relocation of the existing Cloverdale Fairgrounds workshop at the southwest corner of the subject site, in order to accommodate the driveway to the arena site and the extension of 177B Street (see Road Dedication and 177B Street Extension section). The workshop is currently located on the Agriplex property (17763 – 62 Avenue) and will be relocated to the east onto the second remainder lot (17835 – 62 Avenue).
- All other existing buildings, including the Agriplex and the Bill Reid Millennium Amphitheatre (17728 – 64 Avenue), will remain as is and not be impacted by the construction of the proposed Cloverdale Sport & Ice Complex.

Road Dedication and 177B Street Extension

- Road dedication, ranging between 1.5 metres (5 ft.) and 5.0 metres (16.5 ft.), is required along the north property line to accommodate the widening of 64 Avenue.
- A 20-metre (66-ft.) wide dedication is also required near the west property line to accommodate the extension of 177B Street, which will connect from 64 Avenue to 62 Avenue to the south. The extension of 177B Street will significantly improve the road connectivity for this area.
- A new signalized intersection will be installed at 64 Avenue and 177B Street, as part of the subject development application. A signalized light already exists at the intersection of 62 Avenue and Highway No. 15 to the southwest of the subject site.

Parking and Transit

- A surface parking lot is proposed directly south of the proposed arena building, with driveway access to the 177B Street extension. The proposed parking lot consists of 221 parking spaces, as well as 10 pick-up / drop-off spaces near the main entrance to the facility. Based on the parking requirement for ice rinks in the Zoning By-law (2.5 parking spaces per 100 square metres (1,075 sq.ft.) of gross floor area), 200 parking spaces are required for the proposed arena on the subject site. Therefore, the 221 proposed parking spaces meet the parking requirement.
- Transit bus service runs along 64 Avenue, with an existing stop located in front of the proposed Cloverdale Sport & Ice Complex, providing an alternative transportation option for visitors to the facility.
- A Terms of Reference for a Traffic Impact Study (TIS), prepared by Amy Choh of WSP Canada Inc. and dated June 14, 2017, was found to be acceptable by City staff and the Ministry of

Transportation and Infrastructure (MOTI). MOTI has granted a preliminary approval for a one-year period, subject to the completion and submission of the TIS.

PROPOSED CD BY-LAW (Appendix VII)

- The proposal is to rezone the arena site to "Comprehensive Development Zone (CD)" to accommodate a two-sheet, civic ice arena (Cloverdale Sport & Ice Complex). The proposed CD By-law is based on the "Commercial Recreation Zone (CPR)" and will include changes to the permitted uses and setbacks.
- A comparison of the permitted uses in the CPR Zone and the proposed CD By-law is illustrated in the following table:

Permitted Uses (CPR Zone)		Proposed CD By-law
Recreational facilities, excluding outdoor go-kart operations, drag racing and rifle ranges	Permitted	Permitted
Child care centres	Permitted	Permitted
Drive-in theatres and retail stores limited to flea markets	Permitted	Not permitted
Cultural uses	Permitted	Permitted
Accessory uses including: <ul style="list-style-type: none"> • One dwelling unit, for the accommodation of an official, manager or caretaker of the principal use; • Eating establishments, excluding drive-through restaurants; and • Clubhouse 	Permitted	Accessory uses including: <ul style="list-style-type: none"> • One dwelling unit, for the accommodation of an official, manager or caretaker of the principal use; • Eating establishments, excluding drivethrough restaurants; • Neighbourhood pub; • General service uses, excluding funeral parlours and drive-through banks; • Personal service uses, excluding body rub parlours; • Office uses, excluding social escort services, methadone clinics and marijuana dispensaries; • Community services; and • Retail stores, excluding adult entertainment stores and secondhand stores and pawnshops.
Agricultural and horticultural uses, excluding kennels	Permitted	Not permitted

- The proposed CD By-law includes recreational facilities, cultural uses and child care centres, along with a number of possible related accessory uses for the proposed arena facility.
- The following table provides a comparison between the other requirements of the CPR Zone and the proposed CD By-law:

	CPR	Proposed CD By-law
FAR	0.40	0.40
Lot Coverage	40%	40%
Principal Building Setbacks	12.0 metres (40 ft.) to all lot lines	7.5 metres (25 ft.) to all lot lines
Building Height	12 metres (40 ft.)	12 metres (40 ft.)

- The proposed Cloverdale Sport & Ice Complex is approximately 8,858 square metres (95,345 sq.ft.) in size. This results in a total net floor area ratio (FAR) of approximately 0.22, which is within the 0.40 FAR permitted in the CPR Zone.
- The proposed lot coverage is 17% and the proposed building height is approximately 11.5 metres (38 ft.), which also comply with the CPR Zone.
- Therefore, the maximum permitted FAR, lot coverage and building height remain unchanged, and is also expected to accommodate a possible future arena expansion at the south-east corner of the subject site.
- The reduced setbacks along the north (64 Avenue) and west (177B Street) lot lines achieve a more urban streetscape. The significant glazing that is proposed along the north building elevation will create visual interest between the interior and exterior of the building.
- The reduced setbacks of 7.5 metres (25 ft.) along the remaining lot lines are to allow for possible future expansion of the proposed facility on the subject site. The reduced setbacks are not expected to negatively impact the abutting properties, which are all currently owned by the City.

PRE-NOTIFICATION

Pre-notification letters were sent out to the neighbourhood on August 16, 2017, and staff received two (2) telephone calls as well as one (1) letter. The area residents expressed the following comments (with staff comments in italics):

- One caller had passed by the site and noticed the removal of trees and was requesting information.

(Staff stated that a new community arena is proposed for the site, and the caller had no further questions.)

- Another caller was disappointed that a new indoor aquatic facility was not proposed on the subject site.

(No indoor pools are planned in the Cloverdale area at this time, but the City will continue to explore opportunities to provide additional services, including a new aquatic facility, for the Cloverdale area. The Surrey Sports & Leisure Complex in Fleetwood is the closest indoor pool to the Cloverdale fairgrounds, and is an approximate 10-minute drive away.)

- The Cloverdale Community Association (CCA) submitted a letter (Appendix VIII), which states that the proposal is generally supported, but outlines a number of comments and

suggestions related to the proposed arena facility. The comments were initially sent to staff in the Community and Recreation Services Division (Arena Operations), and responses were provided directly to the president of the CCA. The CCA have not expressed any additional comments or concerns.

Public Information Meeting

- A Public Information Meeting (PIM) was held on Tuesday, June 6, 2017 at the nearby Cloverdale Recreation Centre (6188 – 176 Street). Approximately 50 people attended the PIM, and a total of 29 comment surveys were completed. Staff representatives from Civic Facilities, Community & Recreation Services, and Area Planning were in attendance at the PIM.
- A total of 29 comment surveys were received as follows:
 - Twenty-six (26) respondents expressed support for the proposal;
 - Three (3) respondents expressed non-support for the proposal; and
 - Over 75% of all the respondents lived in the Cloverdale area.

Community Concerns with Proposal

- Only three (3) respondents did not support the Cloverdale Sport & Ice Complex as proposed. Their comments / concerns are summarized below.
- Indoor track and swimming pool: those respondents that are not in support of the proposal expressed dismay that an indoor running track or a swimming pool were not included with the proposal. They stated that there are few to no indoor tracks in the City, while others stated that Newton, Fleetwood, Guildford, South Surrey and City Centre all possess indoor aquatic facilities, but Cloverdale does not.

Staff comments:

- There is no indoor running track at the nearby Cloverdale Recreation Centre, but the facility does possess fitness and cardio equipment. Currently, there is only one (1) indoor running track in the City, located at the Guildford Recreation Centre.
- At this time, no indoor aquatic facilities are planned on the Cloverdale Fairgrounds or in the Cloverdale area. The Surrey Sports & Leisure Complex in Fleetwood is approximately 5.5 kilometres (3.5 miles) or less than a 10-minute drive away.
- The City will continue to explore opportunities for additional indoor running tracks and aquatic centres in Cloverdale, and in Surrey in general.

Community's Positive Comments towards Proposal

- The majority of respondents supported the proposed Cloverdale Sport & Ice Complex, and expressed the following positive comments:
 - The proposed building is bright and modern;
 - Well-designed with lots of windows and glazing;
 - This is a great addition to the community and fills a need;

- Greater opportunities for youth activities; and
- More ice means more hockey and events.

DESIGN PROPOSAL AND REVIEW

- The proposed Cloverdale Sport & Ice Complex is situated adjacent to the north property line along 64 Avenue, with the parking lot located directly to the south. No public access to the building is permitted along 64 Avenue. All public access is via the main entrance along the south building elevation, facing the parking lot.
- A large lobby and reception area with a decorative linear wood ceiling will greet patrons on the main floor of the proposed building, which also includes the two (2) ice rinks, a skate shop, change rooms, offices, ice-making and mechanical rooms.
- The second floor mezzanine accommodates bleacher seating for approximately 200 people for each ice rink, as well as storage space and large multipurpose / meeting rooms.
- The linear wood ceiling is also proposed on the second floor above each ice rink, and will screen the long span roof structure and mechanical systems and also provide a visual warmth in a large facility that is traditionally bare and utilitarian. The linear wood ceiling will extend out to the exterior of the building as a canopy, and will be visible at the entrance level along the south façade. This exterior wood soffit exposure softens the south building façade and creates a dramatic entrance feature.
- The building cladding consists of insulated grey and white metal panels and curtain wall glazing.
- Most of the north building elevation (facing 64 Avenue) consists of floor to ceiling glazing, which will allow indirect, natural sunlight into the building and will also open up some of the ice rinks to public view from 64 Avenue. Significant glazing is also proposed along the south building elevation facing the parking lot, providing direct sunlight into the main lobby.
- Public art is proposed as part of the arena project, but the exact location and designs are to be confirmed at a later date.
- As part of the current proposal, the southeast corner of the subject site will be left vacant for future options related to the Cloverdale Fairgrounds, including the possibility of a third ice rink.

Proposed Comprehensive Sign Design Package

- A comprehensive signage package has been included as part of the current Development Permit. The signs have been comprehensively designed to be architecturally coordinated with the building.
- Under Part 1 Introductory Provisions, Section 9 Variance of Sign By-law No. 13656, Council may grant variances to the Sign By-law through the approval of a Development Permit. This is considered when a Development Permit, such as the current proposal, has been submitted

to Council that includes a comprehensive sign design package containing signs that require a variance of the Sign By-law provisions.

- Three (3) fascia signs are proposed for the new arena along the south, west and east building elevations. The proposed fascia sign along the south building elevation (Sign 1), which faces the internal parking lot, will consist of stainless steel letters suspended from the second floor canopy. The proposed sign is approximately 0.6 metre (2 ft.) high and 16 metres (52.5 ft.) wide, and will be back-lit with diffuse soffit lighting.
- The two (2) proposed fascia signs along the west and east building elevations (Signs 2 and 3) will provide building identification for those travelling along 64 Avenue. Both proposed fascia signs are identical to the sign proposed on the south building elevation in terms of design (stainless steel letters) and size (0.6 metre / 2 ft. high and 16 metres / 52.5 ft. wide). Proposed Signs 2 and 3 however, will be mounted directly on the building and will be illuminated with uplighting.
- Variances are required as part of the comprehensive signage package, to allow a second-storey fascia sign (Sign 1) to be mounted below the top floor of the building and to allow two (2) second-storey fascia signs to be located along a non-lot frontage (Signs 1 and 3) (see By-law Variances Table in Appendix II). Proposed Sign 2 complies with the Sign By-law, and no variance is required.
- A free-standing sign is also proposed on the subject site along the 177B Street extension, and will comply with the Sign By-law. The proposed free-standing sign will be similar to the one that was installed at the City's Operations Centre located at 6651 – 148 Street. The free-standing sign is high-quality and includes clear anodized aluminum letters and a logo pin-mounted on a charcoal anodized aluminum sign plate. The proposed free-standing sign is mounted on a solid concrete base.
- The proposed signage variances are supported, as they have been designed in a comprehensive manner and coordinated as part of the overall design of the building.

ADVISORY DESIGN PANEL

ADP Date: July 27, 2017

The applicant has generally resolved all of the outstanding items from the ADP review to the satisfaction of the Planning and Development Department (see Appendix VI).

TREES

- Kelly Koome, ISA Certified Arborist of Van Der Zalm + Associates Inc. prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder / Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Red Maple	5	0	5
Norway Maple	1	1	0
Horse Chestnut	5	4	1
Oak	7	4	3
Ash	3	0	3
Birch	1	0	1
Hornbeam	1	1	0
Pear	1	1	0
Coniferous Trees			
Douglas Fir	3	0	3
Red Cedar	1	0	1
Hemlock	1	0	1
Austrian Pine	8	6	2
Juniper	1	0	1
Redwood	4	0	4
Total (excluding Alder and Cottonwood Trees)	42	17	25
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		188	
Total Retained and Replacement Trees		213	
Contribution to the Green City Fund		\$0	

- Trees were previously cleared on the subject site, as shown with a shade area on the tree plan (Appendix V). The vast majority of the trees in this shaded area were alder and cottonwood trees, and are not included in the tree summary since they have already been removed.
- The Arborist Assessment states that there were a total of 42 protected trees on the site at this time. There are no Alder and Cottonwood trees on the site. It was determined that twenty-five (25) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 34 replacement trees on the site. The applicant is proposing 188 replacement trees, which exceeds City requirements.

Landscaping

- The landscape plan shows a total of 146 trees to be planted throughout the subject site, as well as 42 trees to be planted on the abutting City-owned amphitheatre site (17728 – 64 Avenue) to the west. Therefore, a total of 188 trees are proposed as noted in the Tree Summary. They include maple, beech, spruce, western red cedar, hemlock, and firs.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including azaleas, sage, roses, huckleberry, and decorative grasses and shrubs.
- An outdoor workout and ‘classroom’ area is proposed near the main driveway to 177B Street to facilitate outdoor training and activities. Appropriate landscaping and seating are proposed in these areas as well.
- Tree-lined pedestrian connections will provide access from 64 Avenue and 177B Street to the main entrance of the proposed facility. Well-delineated pedestrian paths within the parking lot are proposed as well.
- Bioswales are proposed within the parking lot to filter and retain surface runoff water.
- Lighting is to be installed within the parking lot for improved safety and visibility. Details of the site lighting are to be confirmed.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant submitted a sustainable development checklist for the subject site on September 25, 2017. The following table summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located within the Cloverdale Fairgrounds, and south across 64 Avenue from a commercial / industrial area.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density is approximately 0.22 FAR.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The following Low Impact Development Standards are utilized: <ul style="list-style-type: none"> ○ Absorbent soils; ○ Cisterns; ○ Bioswales for stormwater management and detention; and ○ Natural landscaping.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • A bus stop is located along 64 Avenue, directly in front of the proposed arena building. • Improved multi-use paths and walkways are proposed throughout the subject site; • Electrical vehicle charging stations are proposed.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed building incorporates CPTED principles including: security cameras, well-lit entries/exits, passive surveillance along 64 Avenue, single public entry point, transparent entry / vestibule and appropriate pedestrian linkages and lighting.

Sustainability Criteria	Sustainable Development Features Summary
6. Green Certification (F1)	<ul style="list-style-type: none"> No green rating or certification is proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> Pre-notification letters were mailed to area residents and a development proposal sign was installed on subject site. A Public Information Meeting was also held.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary, Project Data Sheets and Survey Plan
Appendix II.	Proposed Sign By-law Variances Tables
Appendix III.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments
Appendix VII.	Proposed CD By-law
Appendix VIII.	Cloverdale Community Association Comments

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

DN/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on CPR)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		86,425 sq.m.
Road Widening area		844 sq.m.
Remnant lots		44,430 sq.m.
Net Total		41,151 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	40%	17%
Paved & Hard Surfaced Areas		32%
Total Site Coverage		51%
SETBACKS (in metres)		
Front (north)	12.0 m	7.5 m.
Rear (south)	12.0 m	7.5 m.
Side #1 (west)	12.0 m	7.5 m.
Side #2 (east)	12.0 m	7.5 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	12 m.	11.5 m.
Accessory	12 m.	N/A
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		N/A
FLOOR AREA: Residential		
		N/A
FLOOR AREA: Commercial		
Civic Arena		8,858 sq.m.
FLOOR AREA: Industrial		
		N/A
FLOOR AREA: Institutional		
		N/A
TOTAL BUILDING FLOOR AREA	16,460 sq.m.	8,858 sq.m.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
FAR (net)	0.40	0.22
AMENITY SPACE (area in square metres)		
Indoor		N/A
Outdoor		N/A
PARKING (number of stalls)		
Commercial (skating rink)	200	221 + 10 pick-up/drop-off
Industrial		N/A
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		N/A
Institutional		N/A
Total Number of Parking Spaces		221
Number of accessible stalls	4	6
Number of small cars		N/A
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 REZONING BYLAW NUMBER
 OF PORTIONS OF SECTION 8, TOWNSHIP 8,
 NEW WESTMINSTER DISTRICT
 BCGS 92G.017

INTEGRATED SURVEY AREA NO. 1, SURREY, NADB3 (CSRS) 4.0.0.BC.1.GVRD

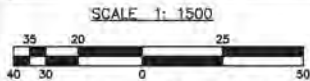
ALL DISTANCES ARE IN METRES
 GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
 GEODETIC CONTROL MONUMENTS 5835 AND 5836
 THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE
 DERIVED FROM THE MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR
 GEODETIC CONTROL MONUMENTS 5835 AND 5836.
 THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED.
 TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE
 COMBINED SCALE FACTOR OF 0.9996020 WHICH HAS BEEN DERIVED FROM
 CONTROL MONUMENTS 5835 AND 5836.

LEGEND

- ⊙ DENOTES CONTROL MONUMENT FOUND
- ⊙ DENOTES NON-STANDARD POST FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD LEAD PLUG FOUND
- NF DENOTES NOTHING FOUND
- (c) DENOTES CALCULATED

LOT 1
 PLAN EPP25556

BOOK OF REFERENCE		
BLOCK	DESCRIPTION	AREA
BLOCK 'A'	REM. LOT 9 SEC. 8 TP. 8 N.W.D. PLAN 4506	1.37 Ha.
	WEST 2.25 CHAINS LOT 10 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.704 Ha.
	REM. LOT 10 SEC. 8 TP. 8 N.W.D. PLAN 4506	1.41 Ha.
	LOT 16 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.253 Ha.
	LOT 15 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.379 Ha.
	TOTAL AREA BLOCK 'A' =	4.12 Ha.
BLOCK 'B'	REM. LOT 9 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.421 Ha.
	LOT 16 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.093 Ha.
	TOTAL AREA BLOCK 'B' =	0.515 Ha.

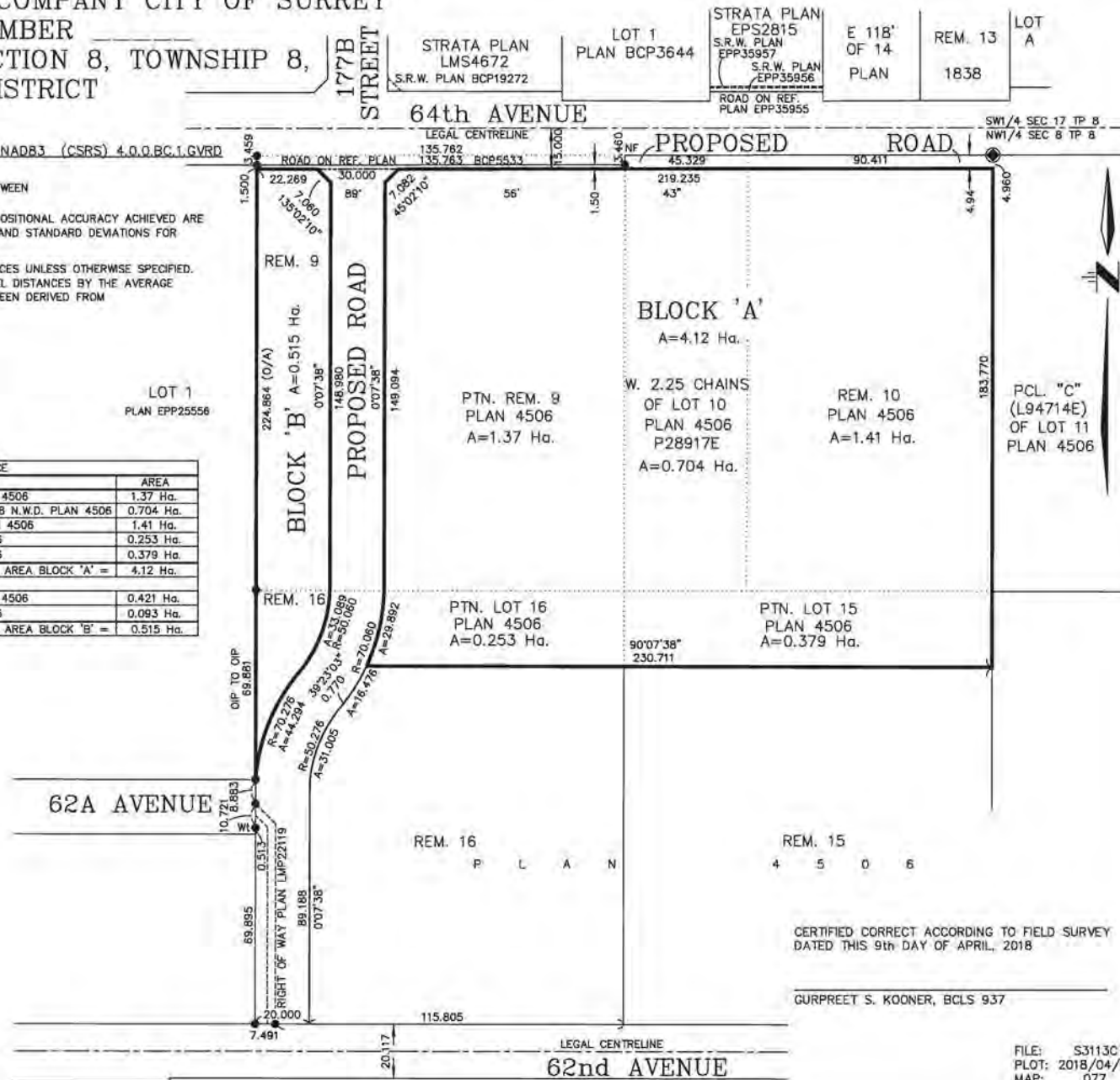


ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 532 mm
 IN WIDTH AND 460 mm IN HEIGHT (C SIZE SHEET)
 WHEN PLOTTED AT A SCALE OF 1:1500.



CITY OF SURREY, SURVEY SECTION
 13450 - 104 AVENUE
 SURREY, B.C. V3T 1V8
 TEL. (604) 591-4253
 FAX. (604) 591-8693



STRATA PLAN
 EPS2815
 S.R.W. PLAN
 EPP35957
 S.R.W. PLAN
 EPP35956
 ROAD ON REF.
 PLAN EPP35955

E 118'
 OF 14.
 PLAN
 REM. 13
 1838
 LOT
 A

STRATA PLAN
 LMS4672
 S.R.W. PLAN BCP19272

LOT 1
 PLAN BCP3644

SW1/4 SEC. 17 TP. 8
 NW1/4 SEC. 8 TP. 8

PROPOSED ROAD

177B STREET

64th AVENUE

PROPOSED ROAD

BLOCK 'A'

A=4.12 Ha.

PTN. REM. 9
 PLAN 4506
 A=1.37 Ha.

W. 2.25 CHAINS
 OF LOT 10
 PLAN 4506
 P28917E
 A=0.704 Ha.

REM. 10
 PLAN 4506
 A=1.41 Ha.

PCL. "C"
 (L94714E)
 OF LOT 11
 PLAN 4506

BLOCK 'B'

A=0.515 Ha.

REM. 16

PTN. LOT 16
 PLAN 4506
 A=0.253 Ha.

PTN. LOT 15
 PLAN 4506
 A=0.379 Ha.

62A AVENUE

REM. 16
 P L A N

REM. 15
 4 5 0 6

CERTIFIED CORRECT ACCORDING TO FIELD SURVEY
 DATED THIS 9th DAY OF APRIL, 2018

GURPREET S. KOONER, BCLS 937

LEGAL CENTRELINE
 62nd AVENUE

FILE: S3113C
 PLOT: 2018/04/09
 MAP: 077

PROPOSED SIGN BY-LAW VARIANCE

#	Proposed Variance	Sign By-law Requirements	Rationale
1	<p><u>Location of Fascia Signs Above First Storey:</u> To allow a fascia sign (Sign 1) to be installed above the first storey, but below the top floor along the south building elevation.</p>	<p>All fascia signs above the first storey shall be located on the top floor of the building (Part 5, Section 27((2)(a.1)iii).</p>	<p>The proposed fascia sign along the south building elevation is to be suspended from the top floor canopy of the building, near the second floor terrace. The oversized canopy provides a unique backdrop for the proposed sign, which is of a high quality design.</p>
2	<p><u>Number of Fascia Signs Above First Storey:</u> To allow two (2) fascia signs (Signs 1 and 3) to be installed above the first storey along a non-lot frontage.</p>	<p>A maximum of one fascia sign per lot frontage may be located above a first storey to identify the name and/or address of the building to which it is attached, provided no more than one such sign shall be permitted on any one façade of the building above the first storey (Part 5, Section 27((2)(a.1)i).</p>	<p>The Sign By-law allows two (2) fascia signs for the proposed building, but only one (1) may be installed above the first storey. A second-storey fascia sign is proposed along the west building elevation along 177B Street, while the other two (2) are proposed along the south and east building elevations. The proposed signs are high quality stainless steel letters with uplighting, and are of an appropriate size and scale in relation to the proposed building.</p>

SUBDIVISION PLAN OF LOT 9 EXCEPT PART ROAD ON PLAN BCP5533, WEST 2.25 CHAINS LOT 10, LOT 10 EXCEPT THE WEST 2/25 CHAINS, AND PORTIONS OF LOTS 15 AND 16; ALL OF PLAN 4506, SECTION 8, TOWNSHIP 8, NEW WESTMINSTER DISTRICT

BCGS 926.017

SCALE 1:1000



THE INTENDED PLOT SIZE OF THIS PLAN IS SHOWN IN RED IN THIS PLAN AND IS DERIVED FROM THE LATEST PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR SECTION 8, TOWNSHIP 8, NEW WESTMINSTER DISTRICT. ALL DISTANCES ARE IN METERS.

LEGEND

- Survey control monument found
Controlled non-standard post found
Controlled standard non post found
Controlled standard lead pipe found
Controlled monument found
Not controlled monument found

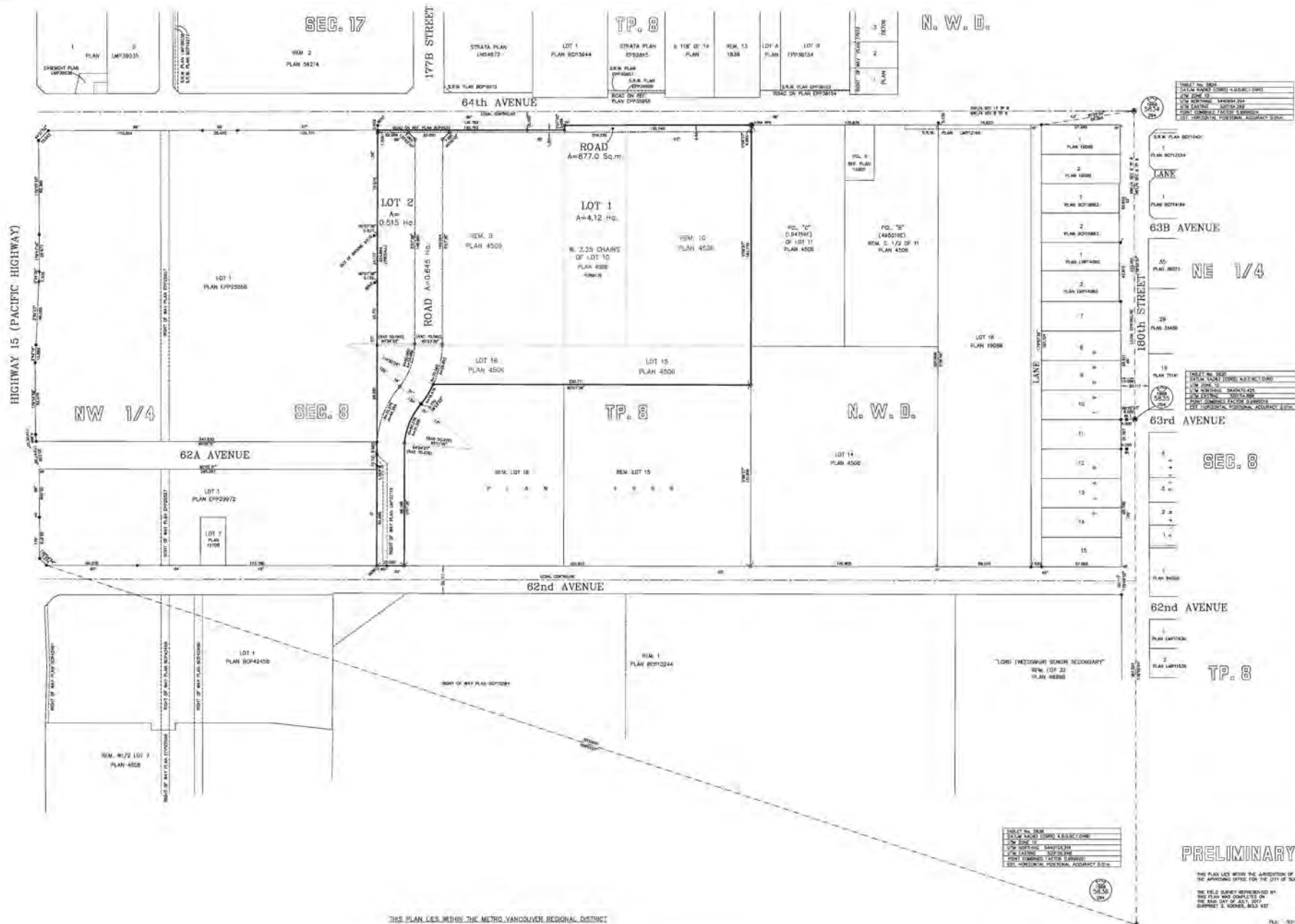


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Table with 2 columns: Description and Reference. Includes items like 'PLAN 4511', 'PLAN 4512', 'PLAN 4513', 'PLAN 4514', 'PLAN 4515'.

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Table with 2 columns: Description and Reference. Includes items like 'PLAN 4521', 'PLAN 4522', 'PLAN 4523', 'PLAN 4524', 'PLAN 4525'.

Table with 2 columns: Description and Reference. Includes items like 'PLAN 4526', 'PLAN 4527', 'PLAN 4528', 'PLAN 4529', 'PLAN 4530'.

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Table with 2 columns: Description and Reference. Includes items like 'PLAN 4541', 'PLAN 4542', 'PLAN 4543', 'PLAN 4544', 'PLAN 4545'.

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Table with 2 columns: Description and Reference. Includes items like 'PLAN 4566', 'PLAN 4567', 'PLAN 4568', 'PLAN 4569', 'PLAN 4570'.

Table with 2 columns: Description and Reference. Includes items like 'PLAN 4571', 'PLAN 4572', 'PLAN 4573', 'PLAN 4574', 'PLAN 4575'.

Table with 2 columns: Description and Reference. Includes items like 'PLAN 4576', 'PLAN 4577', 'PLAN 4578', 'PLAN 4579', 'PLAN 4580'.

PRELIMINARY
THE PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT CITY OF SURREY.



City of Surrey

CLOVERDALE SPORT AND ICE COMPLEX
DESIGN DEVELOPMENT REPORT
August 15, 2017

TAYLORKURTZ ARCHITECTURE + DESIGN INC.

in Association with

rdh rounthwaite dick & hadley architects inc.

102 - 1183 Odium Drive, Vancouver, BC, V5L 2P6
604.569.3499 mail@taylorkurtz.com www.taylorkurtz.com



ZONING SUMMARY:

PROJECT NAME: Cloverdale Sport and Ice Complex

PROJECT ADDRESS: 17770 64th Avenue, Surrey, BC

LEGAL DESCRIPTION: TBD

AUTHORITY: City of Surrey

Zoning Bylaw #12000

ZONE: Current Zone

PROPOSED ZONE: CD

USES: Principal: Community Ice Arena

EASEMENTS: TBA

SETBACKS: Required | Proposed

Front - 64th Avenue: 12m 8.8m
 East Yard: 12m 52.4m
 West Yard (177b Street): 12m 23.3m
 Rear Yard: 12m 125.7m

SITE AREA: 41151 m² 10.169 acres

FLOOR AREA RATIO: Proposed: 0.22
 Permitted: 0.40

LOT COVERAGE: Proposed: 0.17
 Permitted: 0.40

Bldg: 17%
 Paving: 32%
 L'scape: 51%

HEIGHT: Proposed: 11.3m
 Permitted: 12.0m

AREA SUMMARY (GBA by Level)

Name/Use	Area (SF)	Area (SM)
L1	75402	7005.1
L2	19944	1852.9
	95346	8858.0

PARKING:

Stall	Proposed
Regular (5.5m x 2.75m)	215
HC (5.5m x 4.0m)	6
Total	221

Use	Required
Recreation Centre	200
(8005sm @ 2.5/100sm)	
Total	200

1	18.04.02	DEVELOPMENT PERMIT
REV	DATE	DESCRIPTION
SCALE:	1:720	DATE: May 2017
PROJECT NUMBER:	19078	DRAWN: Author
TITLE:		CHECK:
DATE:		DATE:

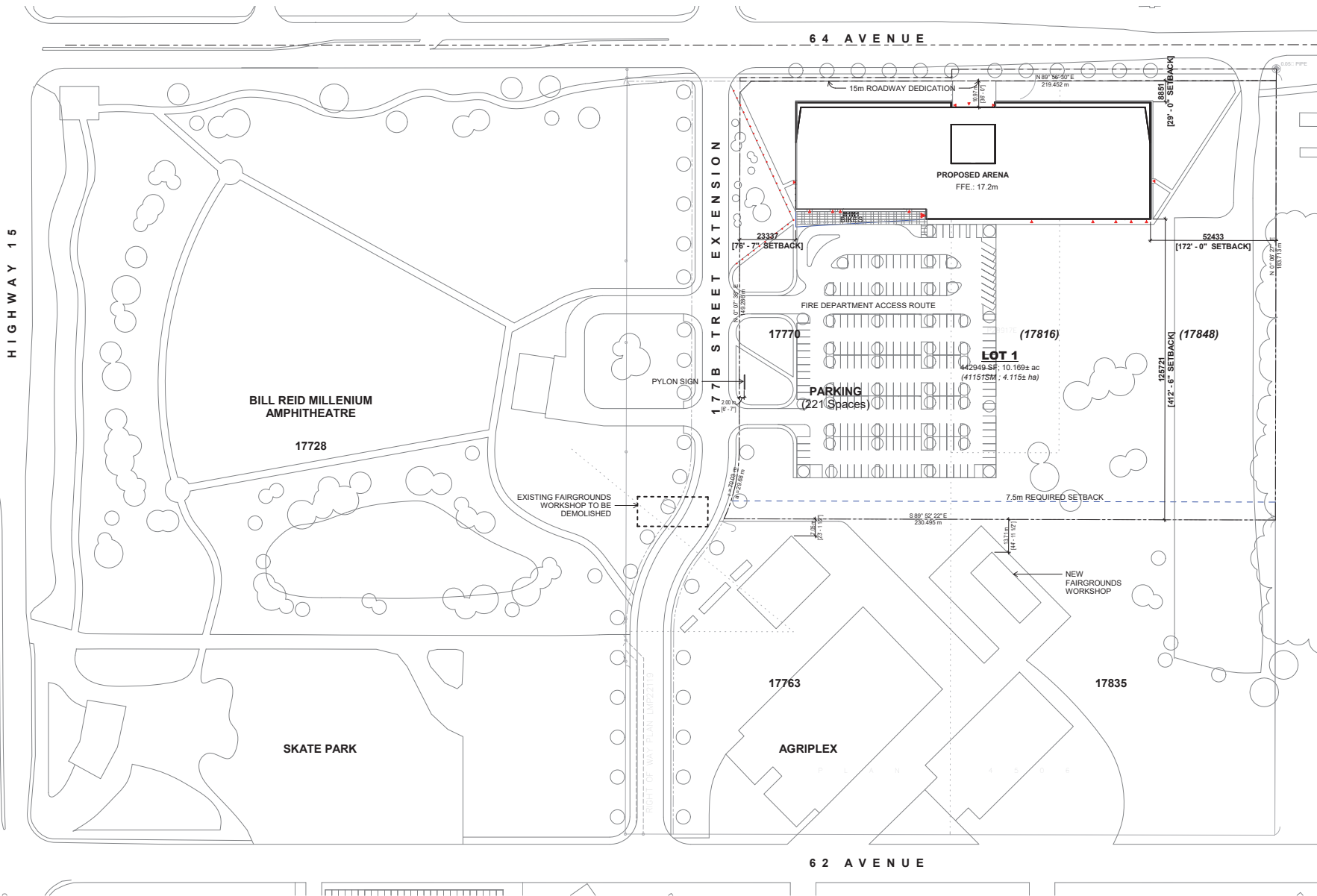


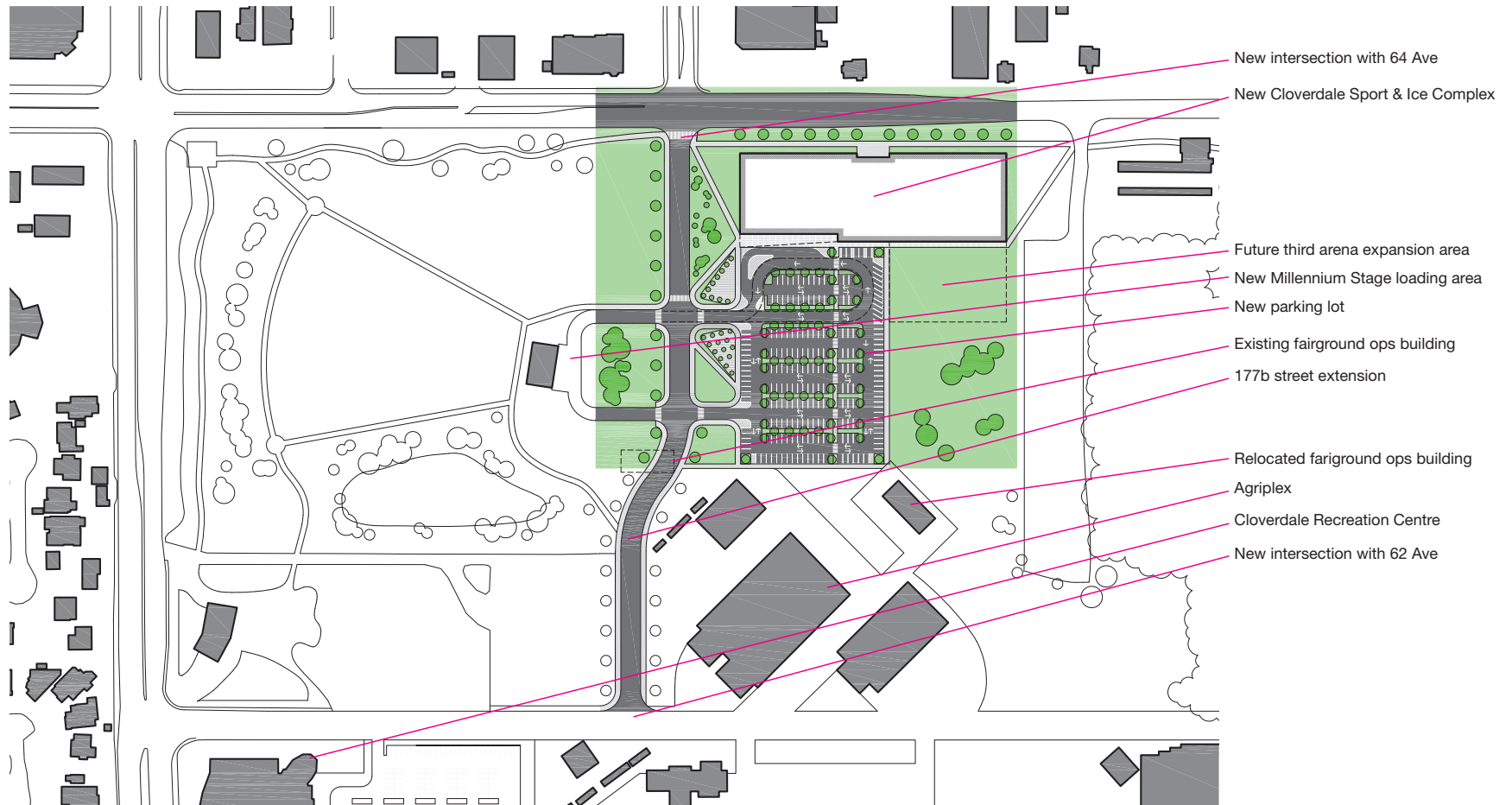
TAYLORKURTZ ARCHITECTURE + DESIGN INC.
 rdh rountwilde dick & hadley architects inc.

Cloverdale Ice and Sports Complex

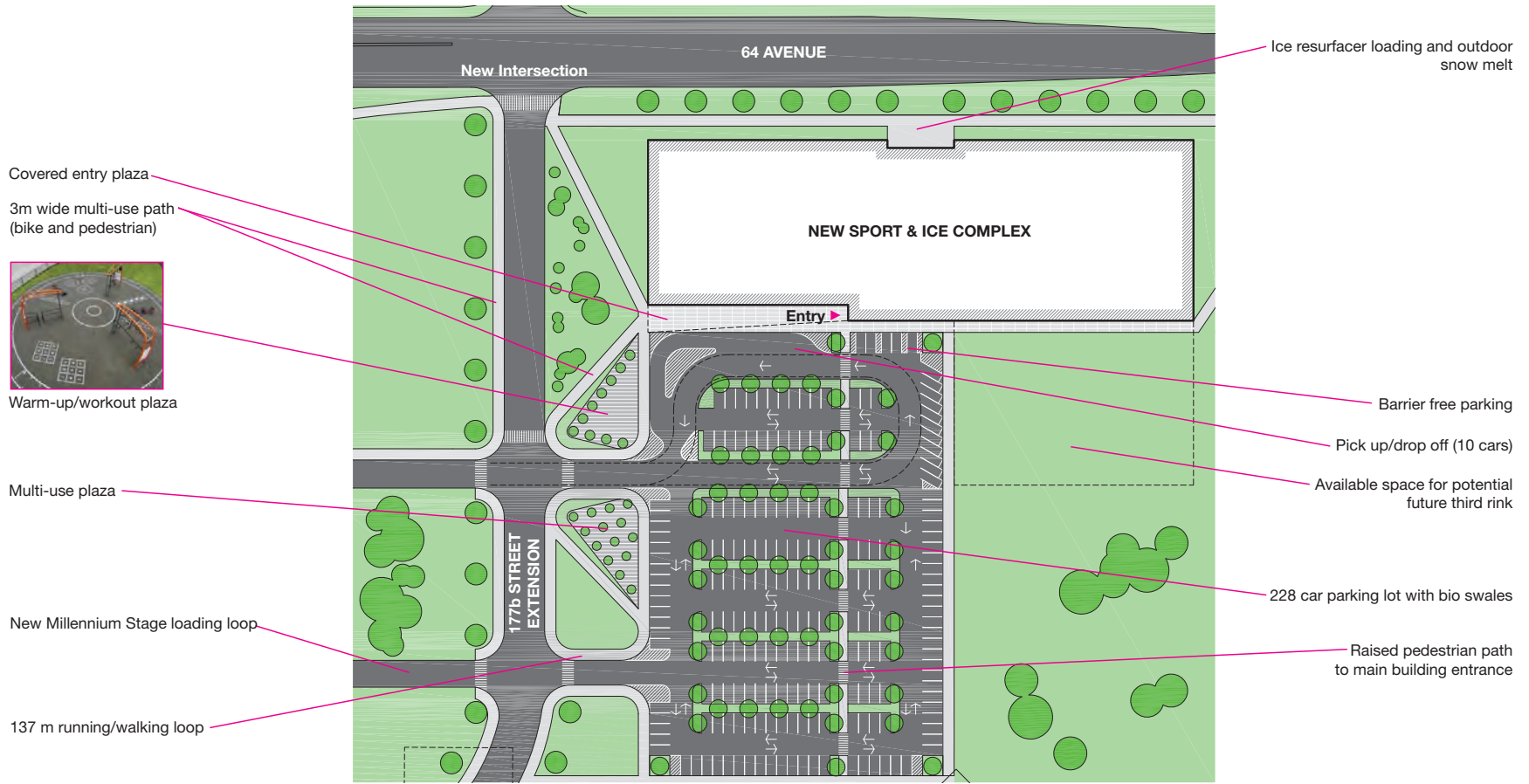
17770 64 Avenue
 Surrey BC
 Site Context

A100

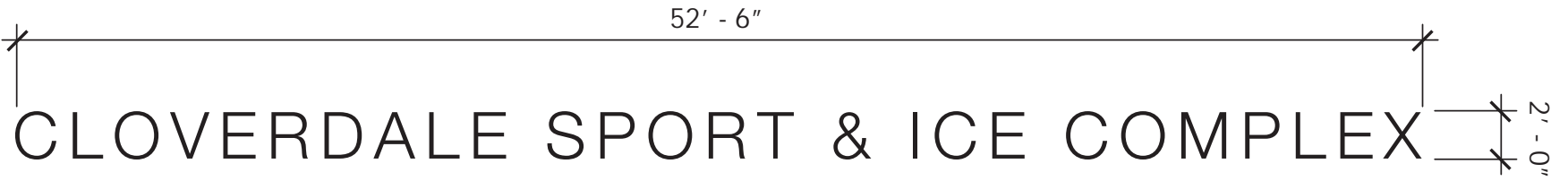




FINAL SITE CONTEXT



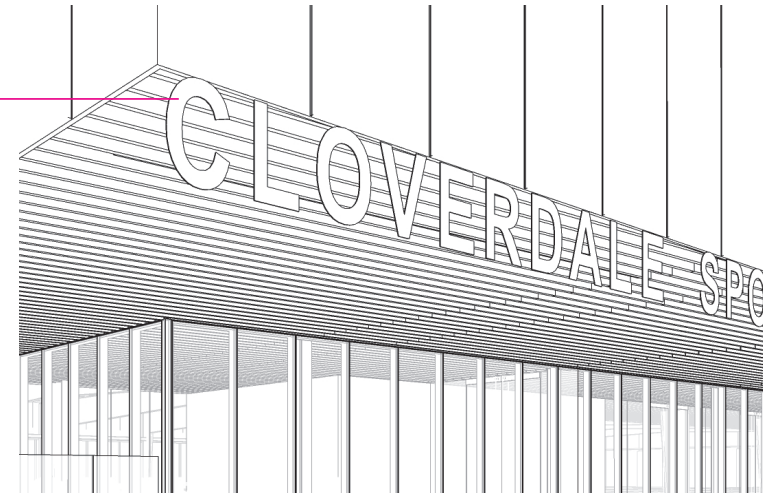
SUSPENDED SIGNAGE



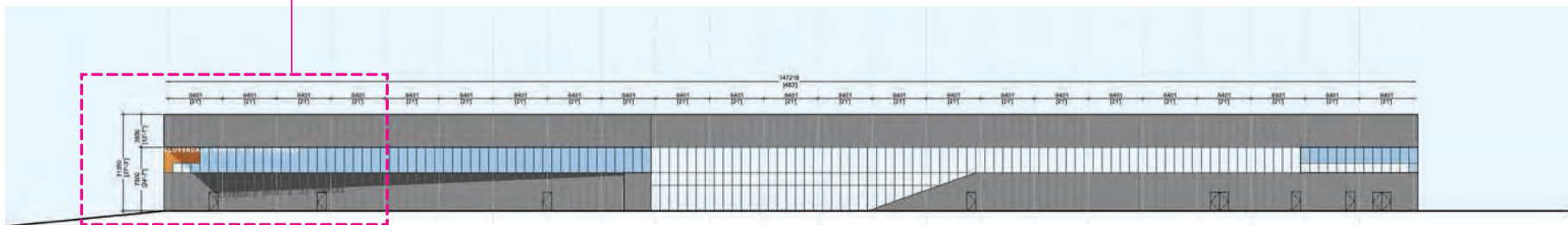
Suspended signage at south elevation, back-lit with diffuse soffit lighting

2' - 0" tall stainless steel letters suspended below canopy

Font: Universe



Sign #1



SOUTH ELEVATION

BUILDING-MOUNTED SIGNAGE

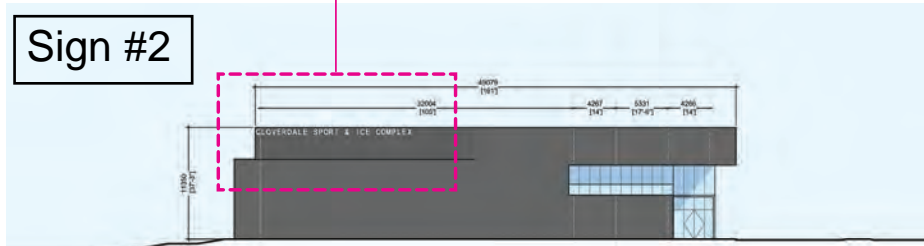
52' - 6"

CLOVERDALE SPORT & ICE COMPLEX

2' - 0"

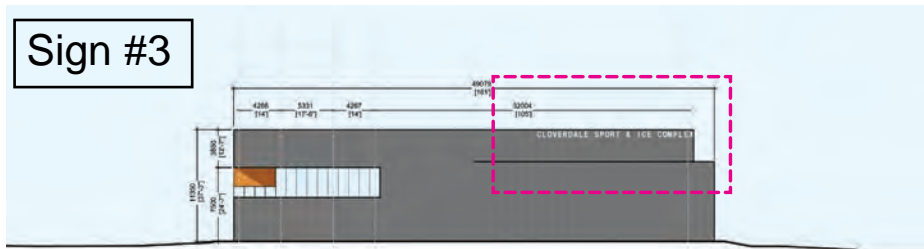
Building-mounted signage
at east and west elevations,
lit from below

Sign #2



WEST ELEVATION

Sign #3

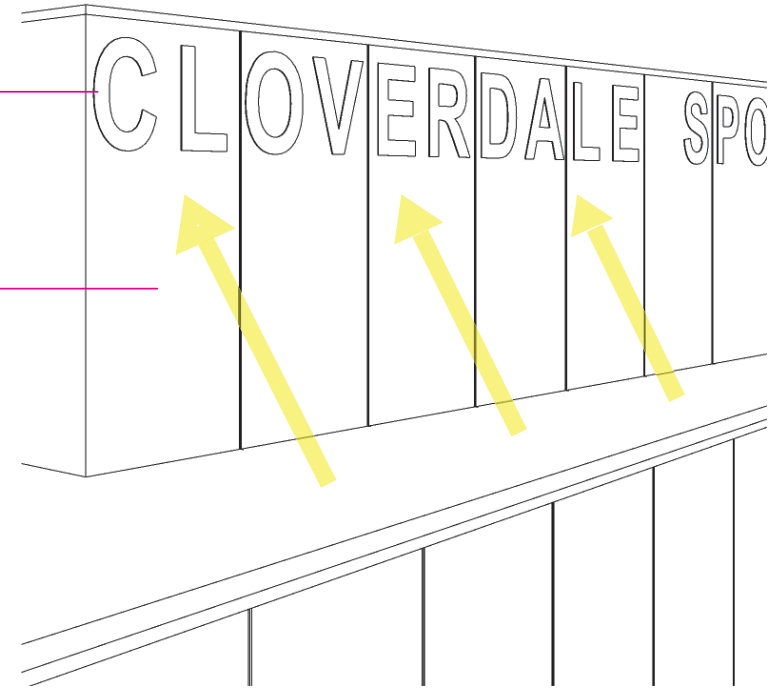


EAST ELEVATION

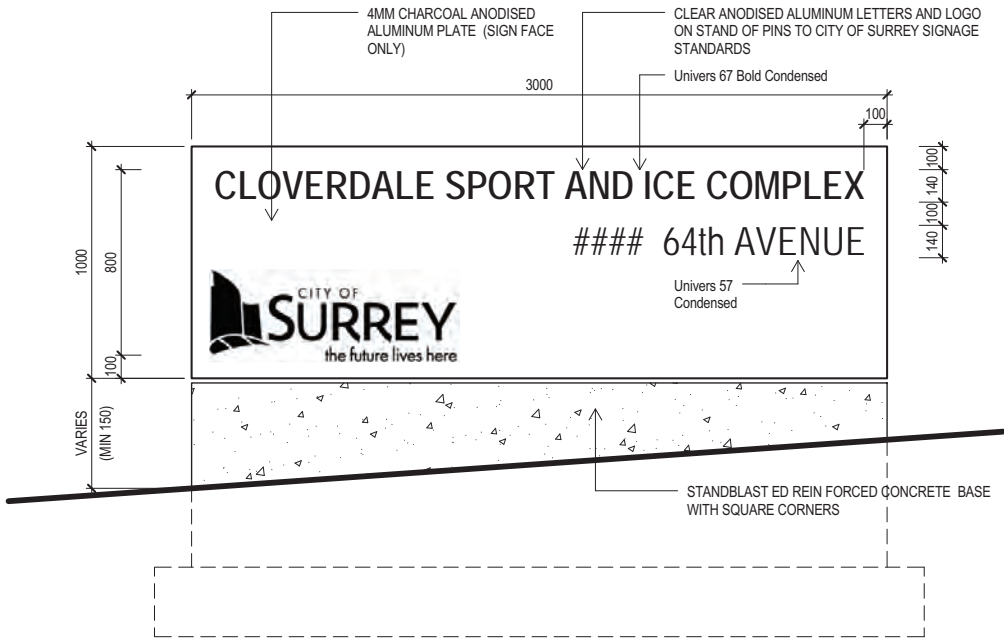
2' - 0" tall
stainless steel letters

Font: Universe

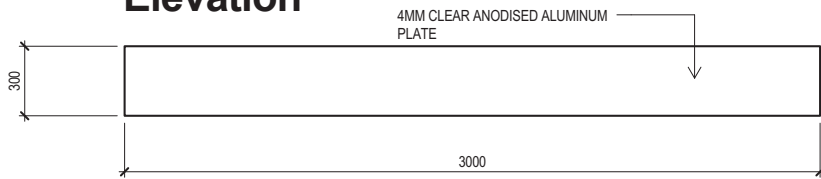
Signage lit from below



ADDRESS MONUMENT SIGNAGE

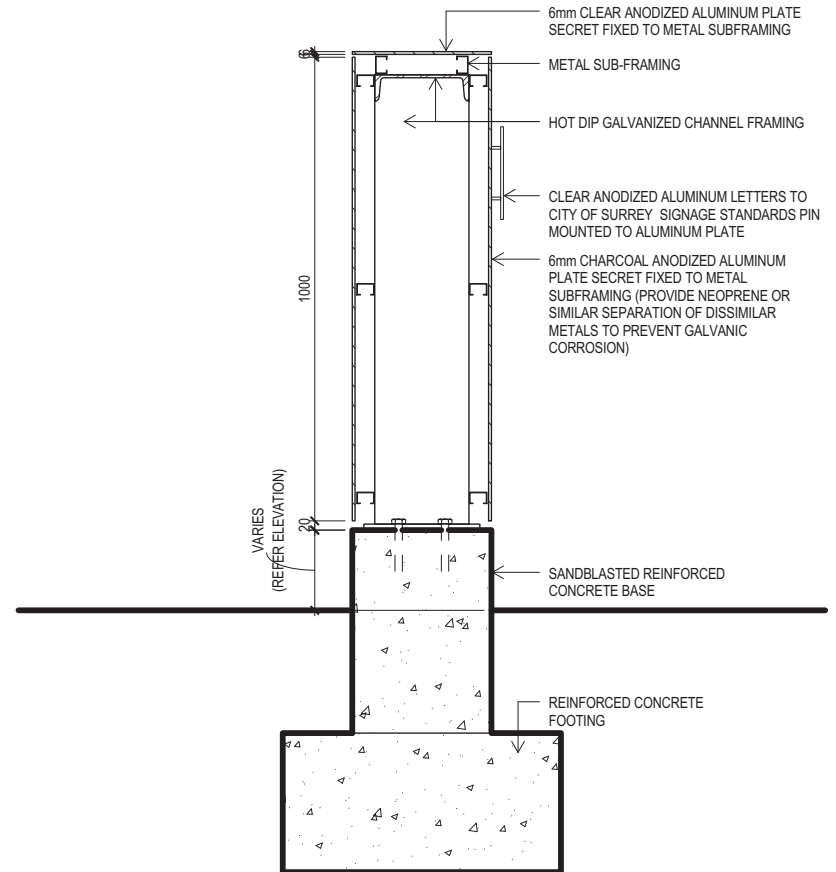


Elevation

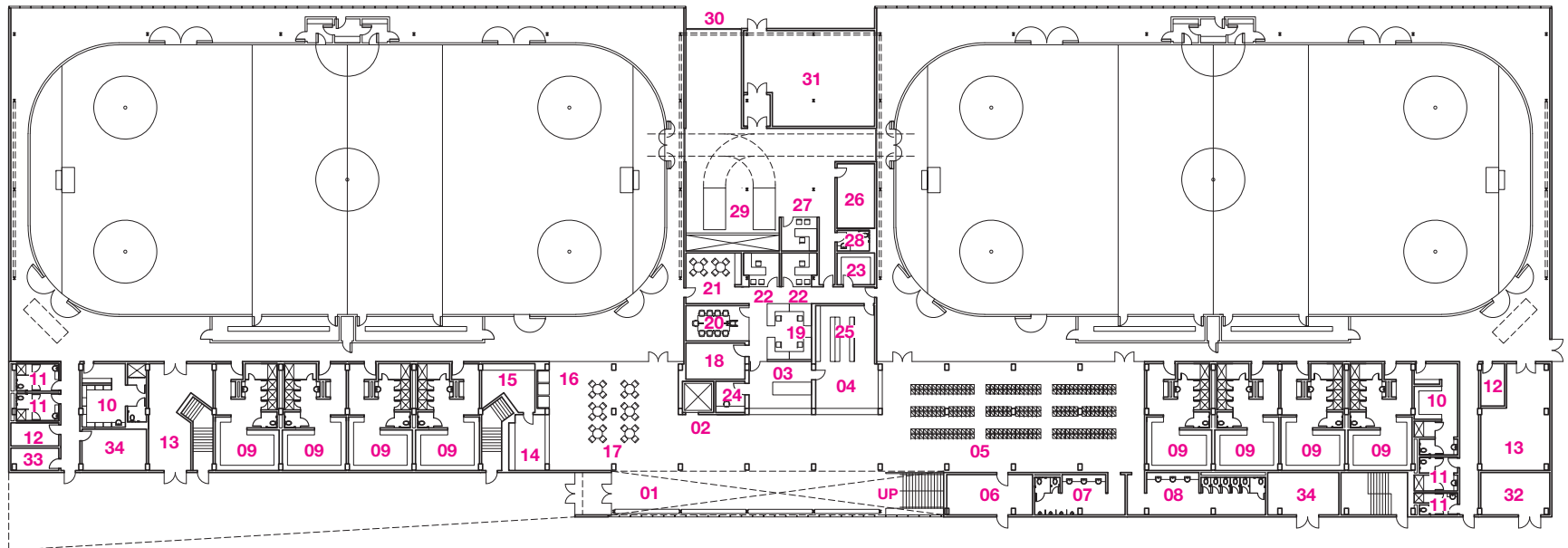


Plan

1 Signage Details - Main Sign
1 : 20

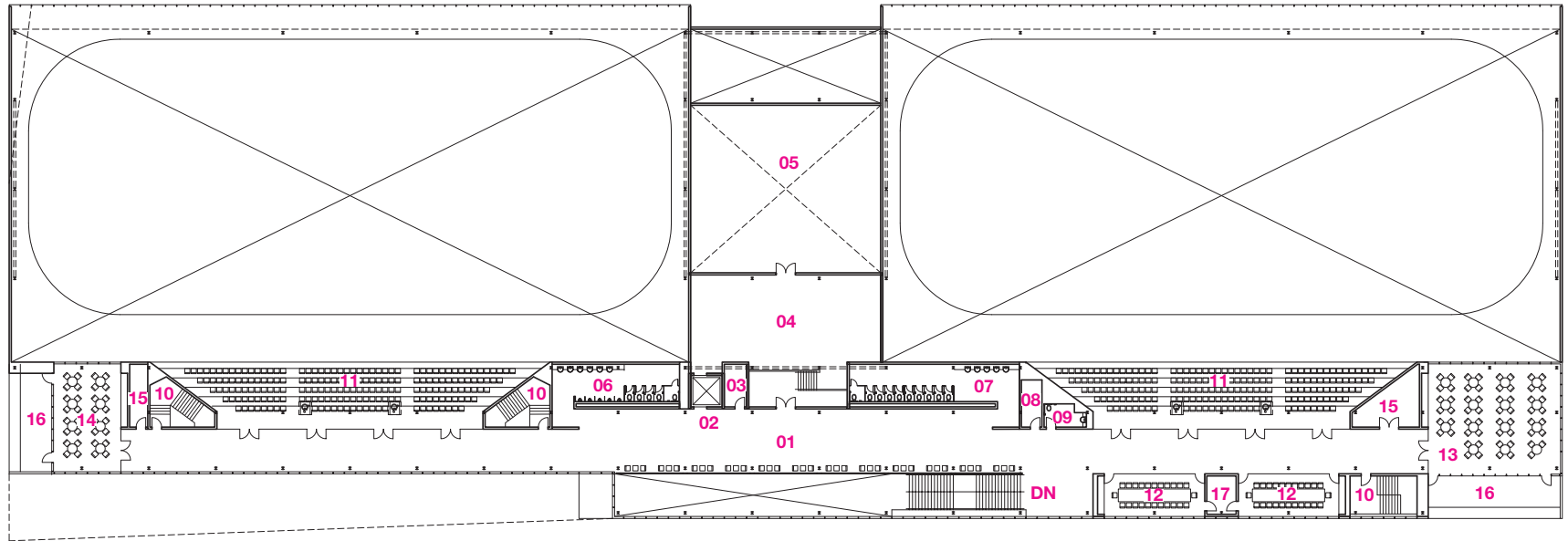


2 Typ Bld Sign - Detail Section
1 : 10



- | | | | |
|---------------------------------|------------------------------|--------------------------------|-------------------------------|
| 01 Entry lobby | 10 Half-size change room (8) | 19 Staff open office | 28 Staff washroom |
| 02 Elevator | 11 Official's change room | 20 Staff meeting room | 29 Ice resurfacers storage |
| 03 Reception | 12 Janitor's room | 21 Break room | 30 Ice resurfacers entry/exit |
| 04 Skate shop | 13 Rink equipment storage | 22 Office | 31 Ice manufacturing |
| 05 Skaters lobby (capacity 250) | 14 Servery | 23 Staff change room | 32 Electrical room |
| 06 Recycling & Janitorial | 15 Servery storage | 24 Safe room & Security Office | 33 Sprinkler room |
| 07 Men's washroom | 16 Vending alcove | 25 Skate shop storage | 34 Mechanical Room |
| 08 Women's washroom | 17 Cafe seating | 26 Workshop | |
| 09 Team change room (18) | 18 IT room | 27 Foreman's office | |

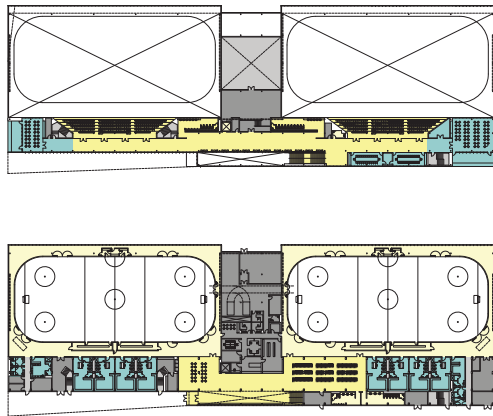
GROUND FLOOR PLAN



- | | |
|-----------------------------|--|
| 01 Mezzanine | 10 Exit stair |
| 02 Elevator lobby | 11 Bleachers (capacity 200 per rink) |
| 03 Elevator room | 12 Community meeting room (capacity 24 per room) |
| 04 Mechanical room | 13 Multipurpose room (capacity 59) |
| 05 Recessed mechanical roof | 14 Multipurpose room (capacity 32) |
| 06 Men's washroom | 15 Multipurpose room storage |
| 07 Women's washroom | 16 MP room terrace |
| 08 Janitor's room | 17 Storage |
| 09 Universal washroom | |

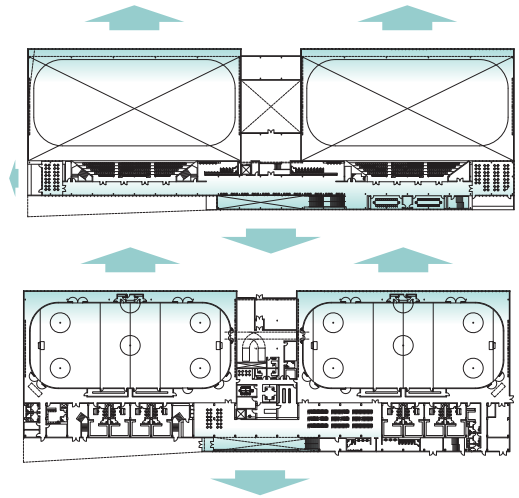
SECOND FLOOR PLAN

Program Distribution

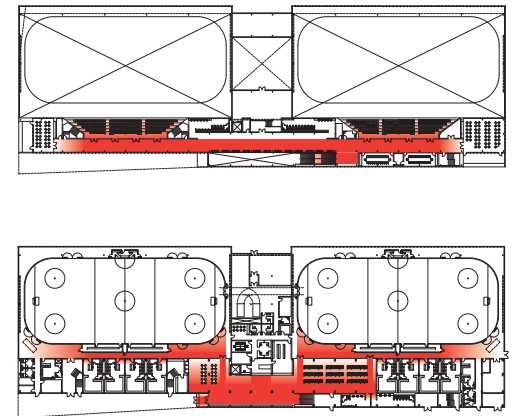


- Public / Circulation
- Public Amenities
- Admin / Service

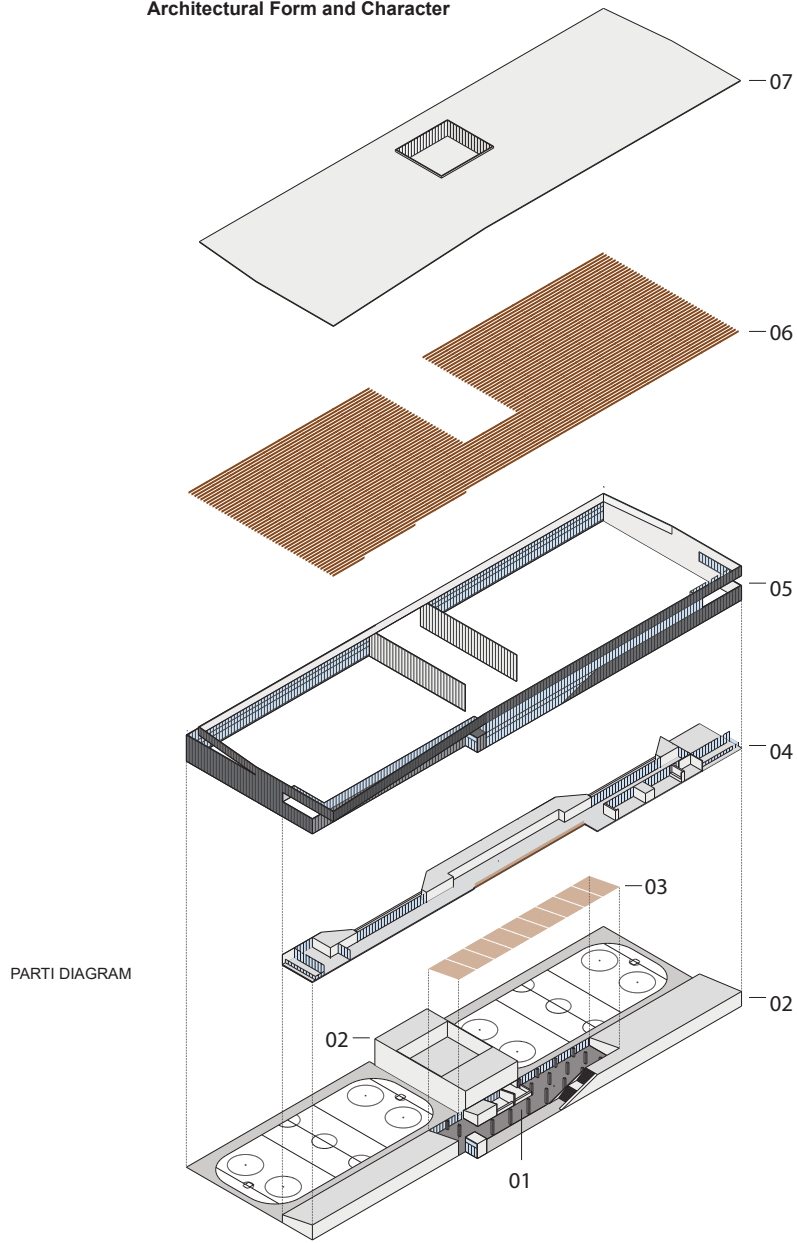
Views and Daylight



Circulation

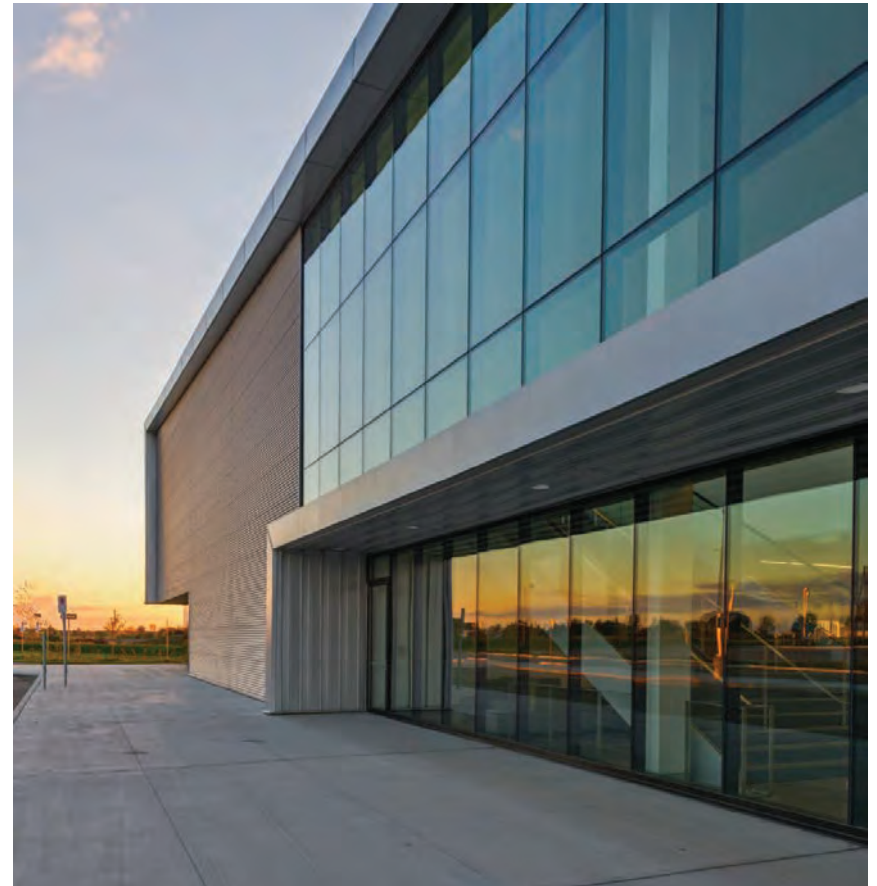


Architectural Form and Character



PARTI DIAGRAM

- 01 Lobby
- 02 Service program
- 03 Lobby ceiling
- 04 Mezzanine
- 05 Envelope
- 06 Wood screen ceiling
- 07 Roof structure



A primary goal of the project was to create a new benchmark for open, inviting, warm and community-focused arena design. To this end the planning and material palette needed to reinforce the themes of daylight, views both in and out, and warmth. The building is conceived in terms of a linear plan that takes advantage of the street-facing north exposure to open up the ice rinks to public view, providing daylight that is free of glare and hot spots which would endanger the quality of the ice surface.

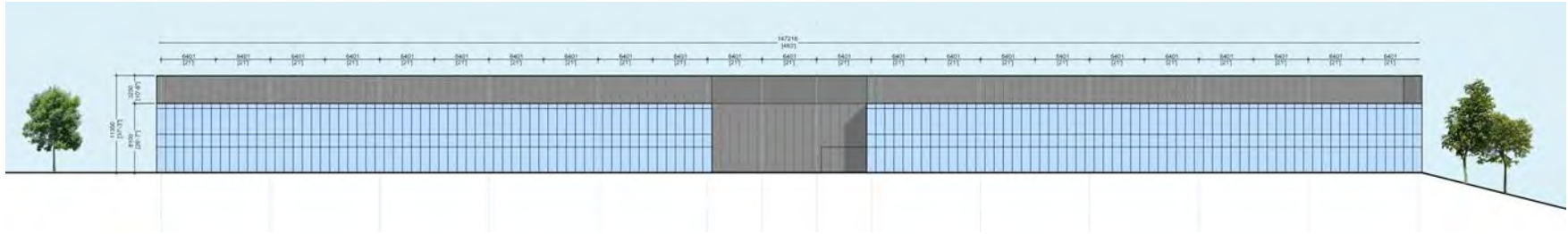
Solid blocks of service space and change rooms are placed between and to the south of the rinks, framing a central lobby. A linear, south-facing mezzanine gives access to spectator seating and community meeting spaces, while mediating direct south light penetration into the rinks.

A continuous wood baffle ceiling plane covers the entire upper level, screening the long span roof structure and mechanical systems, and introducing material warmth and architectural focus into the traditionally utilitarian community ice arena.

The cladding consists of insulated metal panels and curtain wall, all based on a 42"-wide grid which rigorously informs the entire building structural and spatial layout.

The project was presented to the Advisory Design Panel on July 27th 2017 and was well received, gaining unanimous support from the panel members.

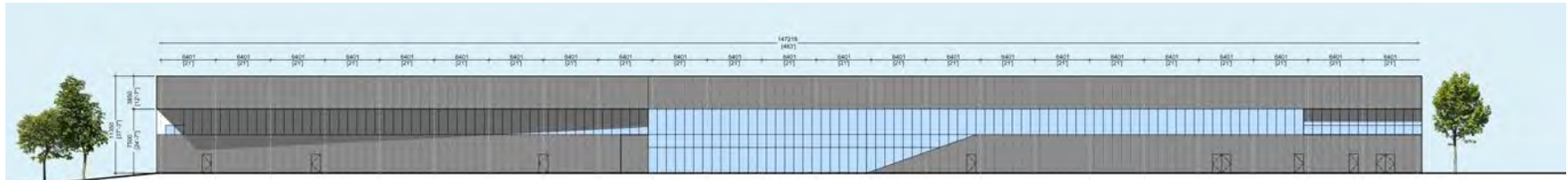
NORTH ELEVATION



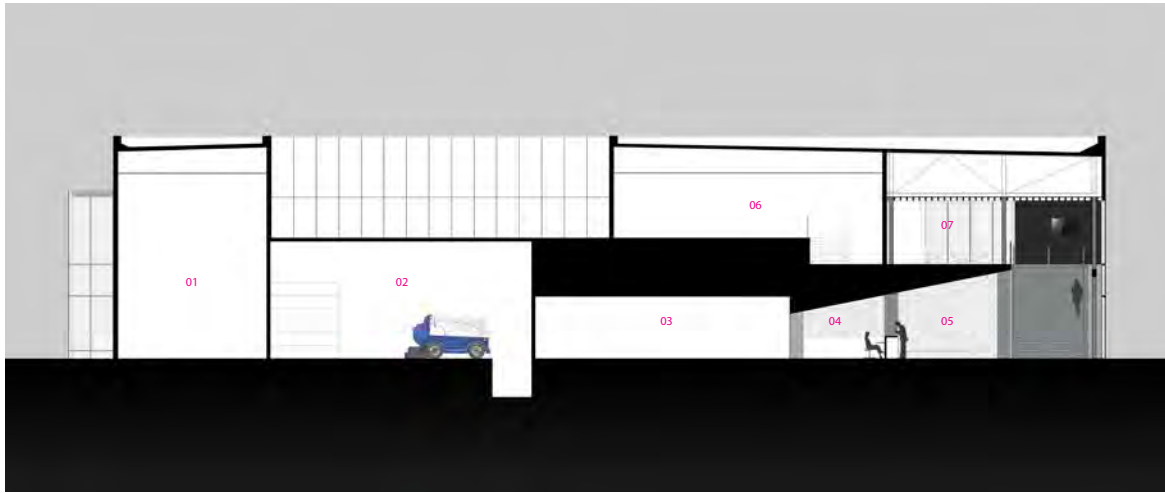
EAST AND WEST ELEVATIONS



SOUTH ELEVATION



CROSS SECTION
THROUGH ICE PLANT
AND LOBBY



- 01 Ice manufacturing
- 02 Ice resurfacers storage
- 03 Offices
- 04 Reception
- 05 Lobby
- 06 Mechanical room
- 07 Mezzanine

CROSS SECTION
THROUGH ARENA AND
CAFE



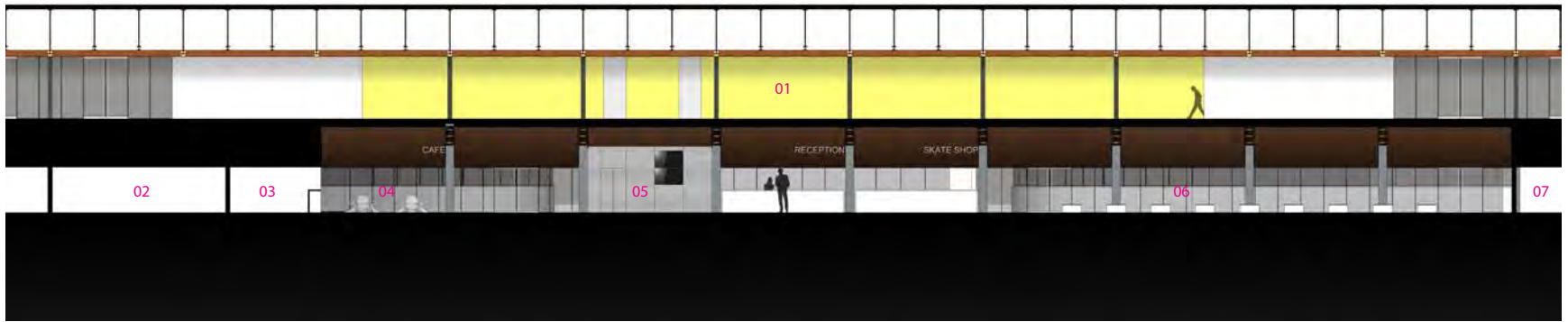
- 01 Covered entry plaza
- 02 Cafe
- 03 Mezzanine
- 04 Washrooms
- 05 Arena

- 01 Bleachers
- 02 Mechanical room
- 03 Skate shop storage



TRANSVERSE SECTION THROUGH ARENA LOOKING AT SPECTATOR SEATING

- 01 Mezzanine
- 02 Servery
- 03 Team change room
- 04 Cafe seating
- 05 Elevator
- 06 Skaters lobby
- 07 Team change room



TRANSVERSE SECTION THROUGH LOBBY LOOKING AT RECEPTION DESK



GLAZING FRAMING



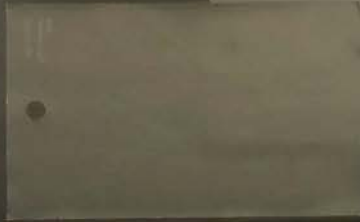
SOFFIT/CEILING

EXTERIOR - WEATHERED ZINC



METAL PANELS

INTERIOR - MERCURY WHITE



OPENING NIGHT



DARK SHADOWS



MERCURY WHITE

INTERIORS



GF GLACIER



SPORT FLOORING





VIEW FROM NORTHWEST:
64th AVENUE



VIEW FROM SOUTHWEST;
PEDESTRIAN APPROACH



INTERIOR LOBBY VIEW FROM
MAIN ENTRY



INTERIOR VIEW FROM ICE RINK



LANDSCAPE CONCEPT PLAN

LANDSCAPE CONCEPT

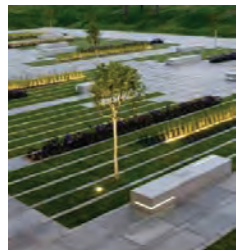
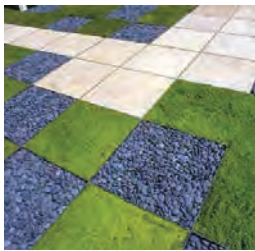
As the newest addition to the Cloverdale Fairgrounds, the Cloverdale Sport and Ice Complex will need to feel unique in terms of its use, while fitting in contextually with the surrounding landscape. Our schematic design focused on connecting the rectilinear forms of the architecture to the organic trails and park setting surrounding our site. This was completed through a slowly eroding rigidity to the linear forms as we move away from the arena. Our program also follows this "erosion" by having program elements that more closely incorporate to the park fabric on the outer edges of our concept. The areas closest to the arena have been specifically designed to meet the needs of an active user group.

By selecting site furnishings that will accentuate the rectilinear form of the architecture, our design will create a campus feel surrounding this new facility. VDZ has selected site furnishings with clean lines and simple palettes for this unique piece of urban architecture.

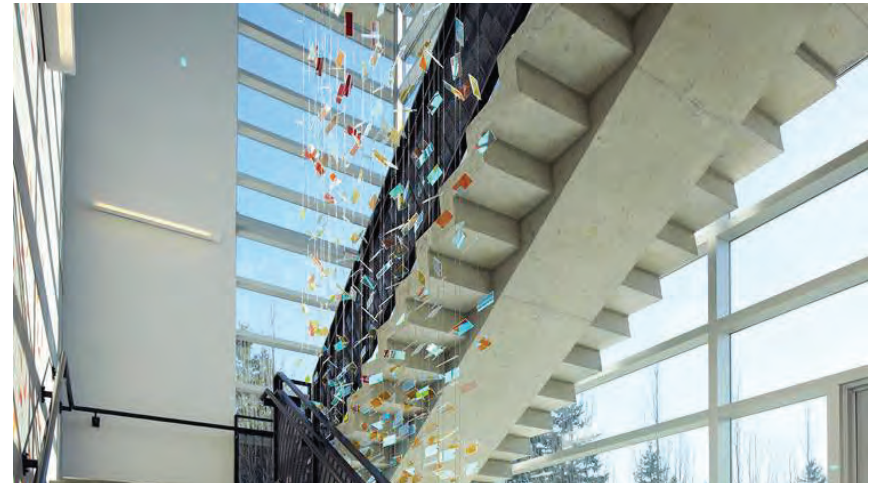
Working with the civil consultant ,VDZ has incorporated bio-swales within the parking lot areas. In addition parking islands have been expanded to incorporate urban tree canopy wherever possible. Shrub and perennial species will be selected that are drought hardy and require minimal irrigaton to reduce water consumption.

This concept focuses on providing both the programming and functional requirements of a high-use institutional building. In the plaza areas spaces have been programmed specifically for outdoor skills exercises, site circulaton, and to accent the arena's key entrances. The concept includes vegetaton at several levels to ensure the arena keeps a park aesthetic and provides proper screening away from key features. Further consideraton to how this site will operate once completed with the design focusing on CPTED concerns, operatons access to both the building and plaza, and event programming in the main spaces.

The full Landscape Plan is included in the Appendices.



LANDSCAPE PRECEDENTS



Public Art

In April 2017, the design team met with members of the Public Art Committee to discuss opportunities for incorporation of new public art works. Key items discussed in this session are as follows:

- COS has an initiative to pursue first nations artists
- Potential locations identified for on site installations. Elements integral to the building may also be pursued; ie glazing, or opaque attachments to walls or structural elements
- If carvings are pursued, preferably locate indoors
- Interior L2 wall opposite mechanical room considered for possible mural location; but also considered for COS/PRC branding opportunity. Location is opposite full height lobby glazing so will be highly visible inside and outside from the south approach.
- Also consider gateway opportunities; locating a piece at the driveway access, away from the building, marking

- the entrance to the site
- Consider impact of trees/planting on visibility of art piece
- South facing glazing at lobby will need blinds, this may make it less desirable for a frit glass art installation
- References to 'hockey' should not be emphasized in the art consideration, as the facility is inclusive of other sport activities (not exclusive to hockey)

CLOVERDALE ARENA

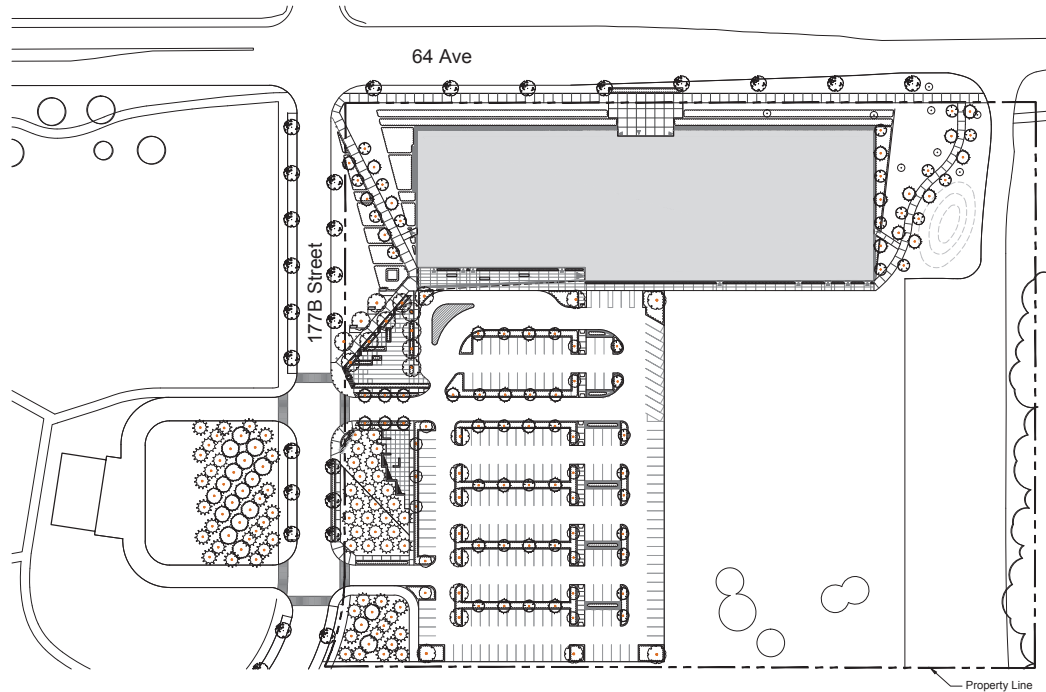


PUBLIC AREA CONCEPT

PR2016-23 CLOVERDALE ARENA

CLOVERDALE ARENA

Issued for Development Permit

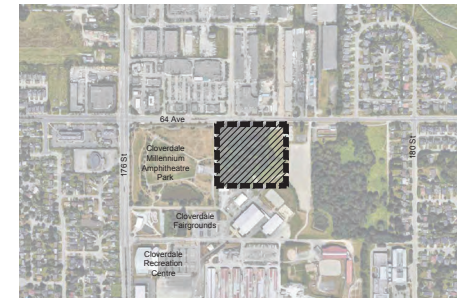


1 SITE PLAN OVERVIEW
Scale 1:750

Contact Information	Other Key Contacts:	
van der Zalm + associates Inc. Project Landscape Architecture Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 T. 604 882 0024 F. 604 882 0042	Architect Taylor Kurtz Architecture & Design 102-1183 Odlum Dr Vancouver, BC V5L 2P6	Civil HUB Engineering Suite 212, 12992 76 Ave Surrey, BC V3W 2V8
Primary project contact: David Jenke davidj@vdz.ca o. 604 546 0921		
Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0920		

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	GENERAL NOTES
L-03	TREE PROTECTION AND REMOVAL PLAN
L-04	OVERALL SITE PLAN
L-05A	PLANTING PLAN SOUTH WEST
L-05B	PLANTING PLAN NORTH WEST
L-05C	PLANTING PLAN NORTH EAST
L-05D	PLANTING PLAN SOUTH EAST
L-06	AMPHITHEATRE LANDSCAPE
L-07	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS



2 LOCATION MAP
Scale NTS

van der Zalm + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 Suite 1, 20177 97th Avenue
 Langley, British Columbia
 V1M 4B9
 T 604 882 0024
 F 604 882 0042
 info@vdz.ca



No.	By	Description	Date
2	DJ	Issued for DP	Sept 20, 2017
1	DJ	For Review	March 09, 2017

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
Cloverdale Fairground & Arena

Location:
6090 - 176 Street, Surrey, BC

Drawn:
PC
HP

Checked:
DJ

Approved:
DJ

Original Sheet Size:
24"x36"

Scale:
As Shown

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

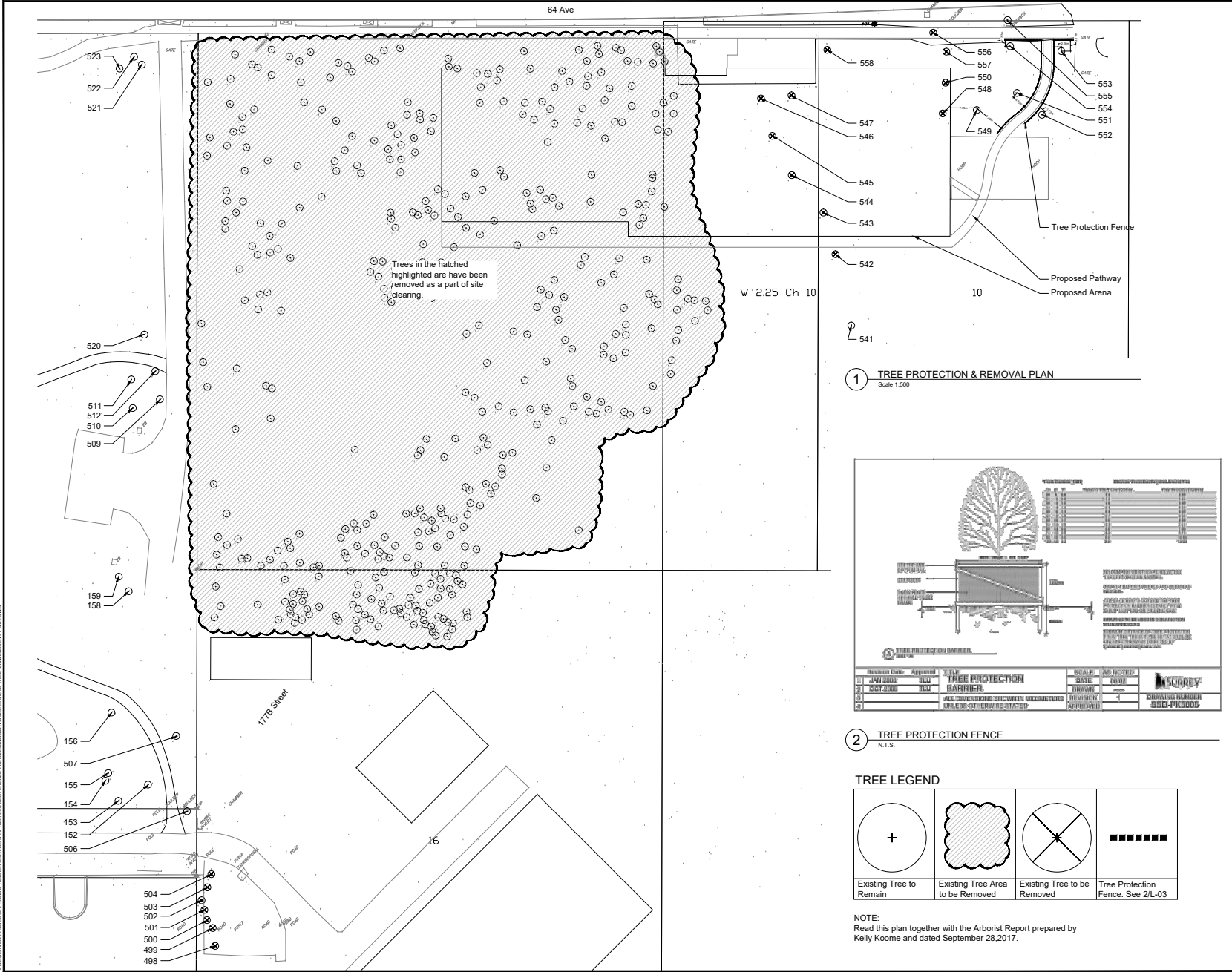
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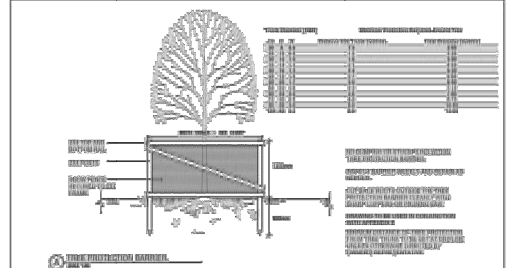
VDZ Project #:
PR2016-23

Drawing #:
L-01

VDZ & ASSOCIATES INC. 177B STREET, SURREY, BC V3W 2V8



1 TREE PROTECTION & REMOVAL PLAN
Scale 1:500



Revision Date	Approved	TITLE	SCALE	JOB NOTED
1 JAN 2016	TELL	TREE PROTECTION	DATE	DATE
2 OCT 2016	TELL	BARREN	DRAWN	DATE
3		ALL DIMENSIONS SHOWN IN METERS UNLESS OTHERWISE STATED	APPROVED	DATE

2 TREE PROTECTION FENCE
N.T.S.

TREE LEGEND

Existing Tree to Remain	Existing Tree Area to be Removed	Existing Tree to be Removed	Tree Protection Fence, See 2/L-03

NOTE:
Read this plan together with the Arborist Report prepared by Kelly Koome and dated September 28, 2017.



No.	By	Description	Date
3	DJ	Revision for Arborist Report	April 06, 2018
2	DJ	Issued for DP	Sept 28, 2017
1	DJ	For Review	March 09, 2017

No.	By	Description	Date

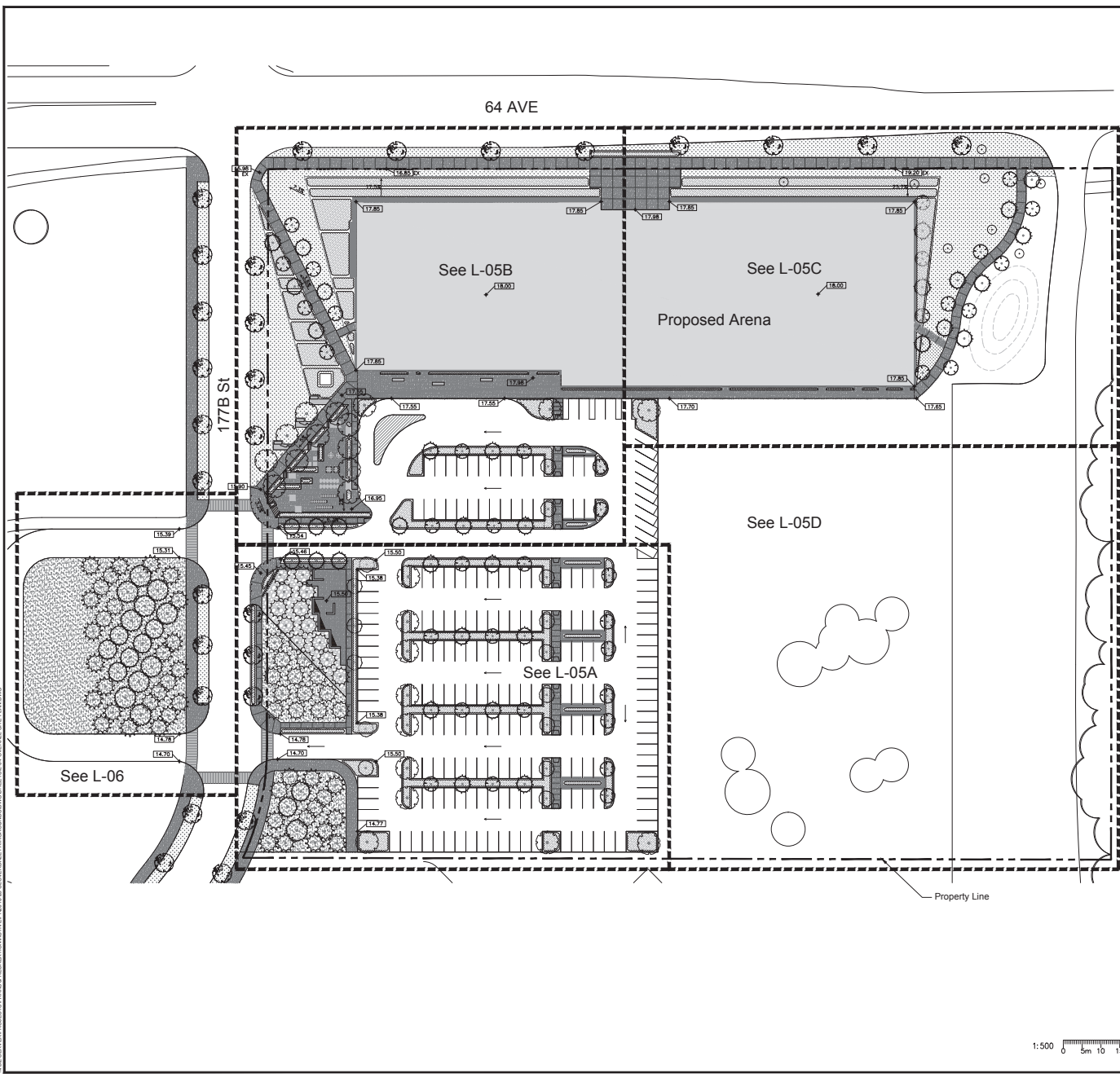
Project:
Cloverdale Fairground & Arena

Location:
6090 - 176 Street, Surrey, BC

Drawn: PC	Stamp:
Checked: DJ	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:1000	CONTRACTOR SHALL OBEY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND TOLERANCES ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE REVIEWED AT THE COMPLETION OF THE WORK. ALL REVISIONS OR OMISSIONS DRAWINGS SHALL NOT BE PERMITTED UNLESS THEY ARE MADE BY THE CONSULTANT AND LABELLED AS SUCH FOR THE CONTRACTOR'S USE.



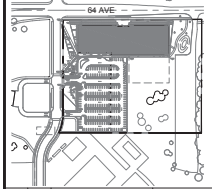
ALL DIMENSIONS SHOWN IN METERS UNLESS OTHERWISE STATED. SEE THE MANUFACTURER'S PLAN FOR MORE DETAILS.



LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	1.2 (LD-02)	SCORED CONCRETE Broom Finish
[Pattern]	1.2 (LD-02)	SCORED CONCRETE Sandblasted Finish
[Pattern]	1.2 (LD-02)	INTEGRAL COLOURED CONCRETE
[Pattern]		WOOD MULCH
[Symbol]		ROCK RUNNEL
[Symbol]	5 (LD-02)	DRIP STRIP
[Pattern]	3 (LD-02)	CRUSHED GRANITE
[Symbol]	1 (LD-01)	PROPOSED TREE
[Symbol]	2 (LD-01)	SHRUB PLANTING
[Symbol]	6 (LD-01)	BIO-SWALE PLANTING
[Symbol]	7 (LD-02)	SEATING DECK
[Symbol]	2 (LD-03)	BENCH Model #: Big Harris Bench Size: 3075x5075 x 754 x 420 mm Material: Wood Manufacturer: Metabco Mount Surface
[Symbol]	1 (LD-03)	BENCH Model #: L-Size Bench 4'x Size: 2000 x 600 x 448 mm Material: HPC Manufacturer: Metabco Mount Surface
[Symbol]	3 (LD-03)	BOLLARD Model #: Explosion Bollard Size: 988 x 90 mm Material: Carbonized and Powder Coated Steel Manufacturer: Metabco
[Symbol]	4 (LD-03)	LANDSCAPE LIGHTING Model #: GAL3 Path Light Size: 558mm Colour: Stainless Steel (matte finish) Manufacturer: Philips Supplier: SLS Lighting

Key Map (NTS)



No.	By	Description	Date
2	DJ	Issued for DP	Sept 28, 2017
1	DJ	For Review	March 09, 2017

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PC
HP

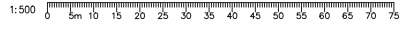
Checked:
DJ

Approved:
DJ

Original Sheet Size:
24"x36"

Scale:
1:500

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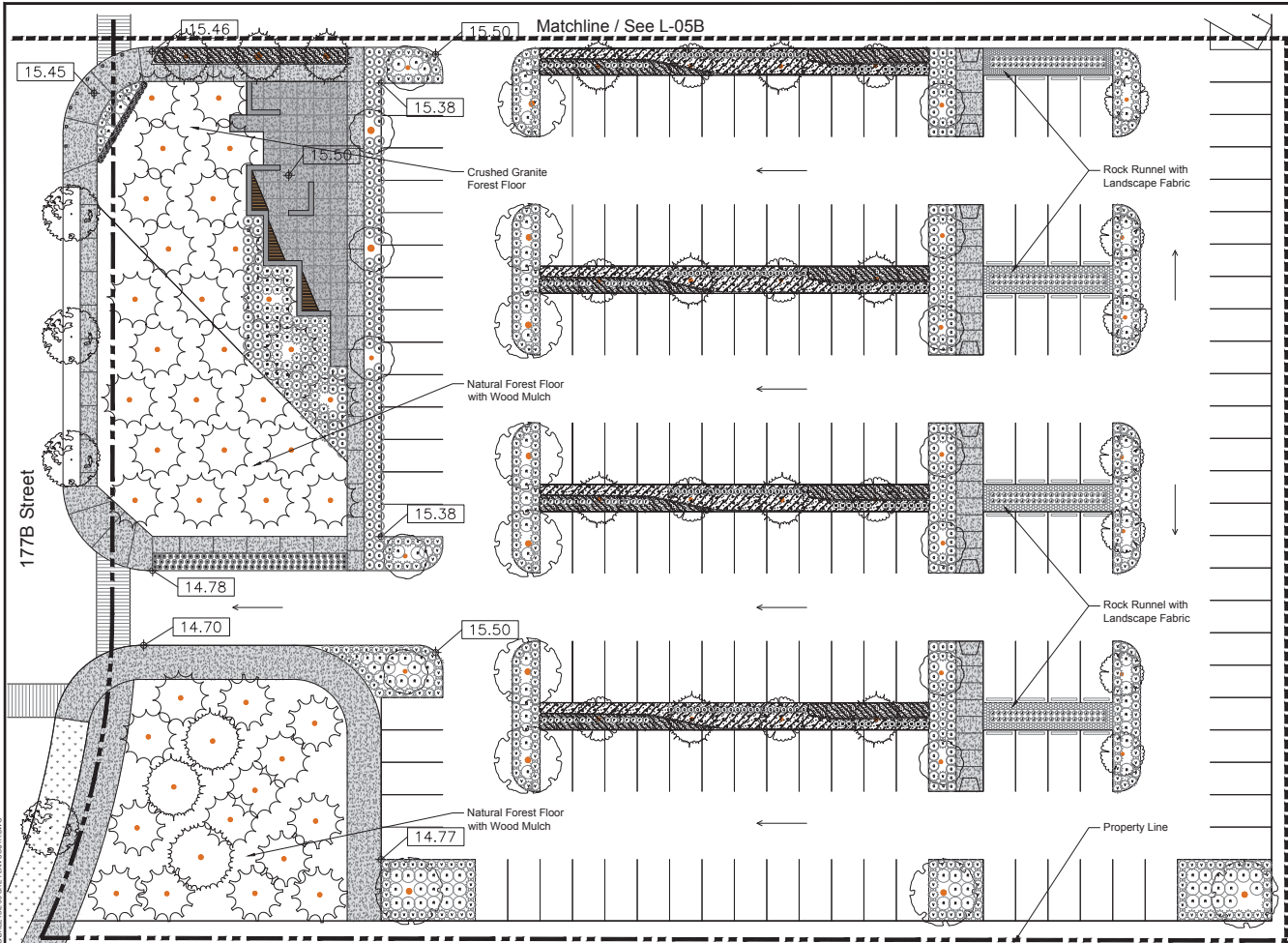
Drawing Title:
OVERALL SITE PLAN



VDZ Project #:
PR2016-23

Drawing #:
L-04

VAN DER ZALM + ASSOCIATES INC. 177B STREET, SUITE 1, SURREY, BC V1W 4B9



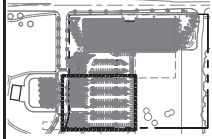
LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	1.2 LD-02	SCORED CONCRETE Smooth Finish
[Pattern]	1.2 LD-02	SCORED CONCRETE Sandblasted Finish
[Pattern]	1.2 LD-02	INTEGRAL COLOURED CONCRETE
[Pattern]		WOOD MULCH
[Symbol]		ROCK RUNNEL
[Symbol]	5 LD-02	DRIP STRIP
[Pattern]	3 LD-02	CRUSHED GRANITE
[Symbol]	1 LD-01	PROPOSED TREE
[Symbol]	2 LD-01	SHRUB PLANTING
[Symbol]	6 LD-01	BIO-SWALE PLANTING
[Symbol]	7 LD-02	SEATING DECK
[Symbol]	2 LD-03	BENCH Model # Big Harris Bench Size: 3076x2076 x 794 x 420 mm Material: Wood Manufacturer: Metaco Mount Surface
[Symbol]	1 LD-03	BENCH Model # 1-Box Bench 4V Size: 2990 x 600 x 440 mm Material: CPC Manufacturer: Metaco Mount Surface
[Symbol]	3 LD-03	BOLLARD Model # Capstone Bollard Size: 598 x 90 mm Material: Galvalume and Powder Coated Steel Manufacturer: Metaco
[Symbol]	4 LD-03	LANDSCAPE LIGHTING Model # GAL3 Path Light Size: 50mm Colour: Stainless Steel (matte finish) Manufacturer: HPSG Supplier: SLS Lighting

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Key Map (NTS)



No.	By	Description	Date
2	DJ	Issued for DP	Sept 20, 2017
1	DJ	For Review	March 09, 2017

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET

Project:
Cloverdale Fairground & Arena

Location:
6090 - 176 Street, Surrey, BC

Drawn: PC HP	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"

Scale:
1:200

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PLANT SCHEDULE SOUTH

TREES	BOTANICAL NAME / COMMON NAME	CONT	GAL	SIZE	QTY
[Symbol]	Abies grandis / Grand Fir	-	-	3m std	1
[Symbol]	Acer rubrum 'Morganii' / Red Maple	B & B	6cm cal	3m std	15
[Symbol]	Carpinus betulus / European Hornbeam	B & B	6cm cal	1.8 m std.	13
[Symbol]	Fagus sylvatica 'Dawyck Gold' / European Beech	B & B	-	3m std	11
[Symbol]	Gleditsia triacanthos 'Hanka' / Honey Locust	B & B	6cm cal	3m std	10
[Symbol]	Picea omorika / Serbian Spruce	B & B	-	3m std	23
[Symbol]	Thuja plicata / Western Red Cedar	B & B	-	3m std	9
[Symbol]	Tsuga heterophylla / Western Hemlock	B & B	-	3m std	2

PLANT SCHEDULE SOUTH

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
G	Azalea x 'Grand's Fuchsia' / Grand's Fuchsia Azalea	#3	0.50m	253
W	Gaultheria shallon / Salal	#1	0.90m	35
R	Rosa nutkana / Nootka Rose	#3	1.20m	114
V	Vaccinium ovatum / Evergreen Huckleberry	#2	0.90m	457
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
G	Salvia nemorosa 'Blue Queen' / Woodland Sage	#2	0.60m	84
F	Salvia x sylvestris 'East Friesland' / Sage	#2	0.60m	60
M	Salvia x sylvestris 'May Night' / Sage	#2	0.60m	52
GRASSES	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
J	Juncus patens / California Gray Rush	#1	0.40m	160
H	Molinia caerulea 'Heidebraut' / Purple Moor Grass	#1	0.40m	28
N	Stelaria autumnalis / Autumn Moor Grass	#1	0.40m	62
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
MC	Molinia caerulea 'Heidebraut' / Purple Moor Grass	#1	400mm	1 028
SA	Stelaria autumnalis / Autumn Moor Grass	#1	400mm	856

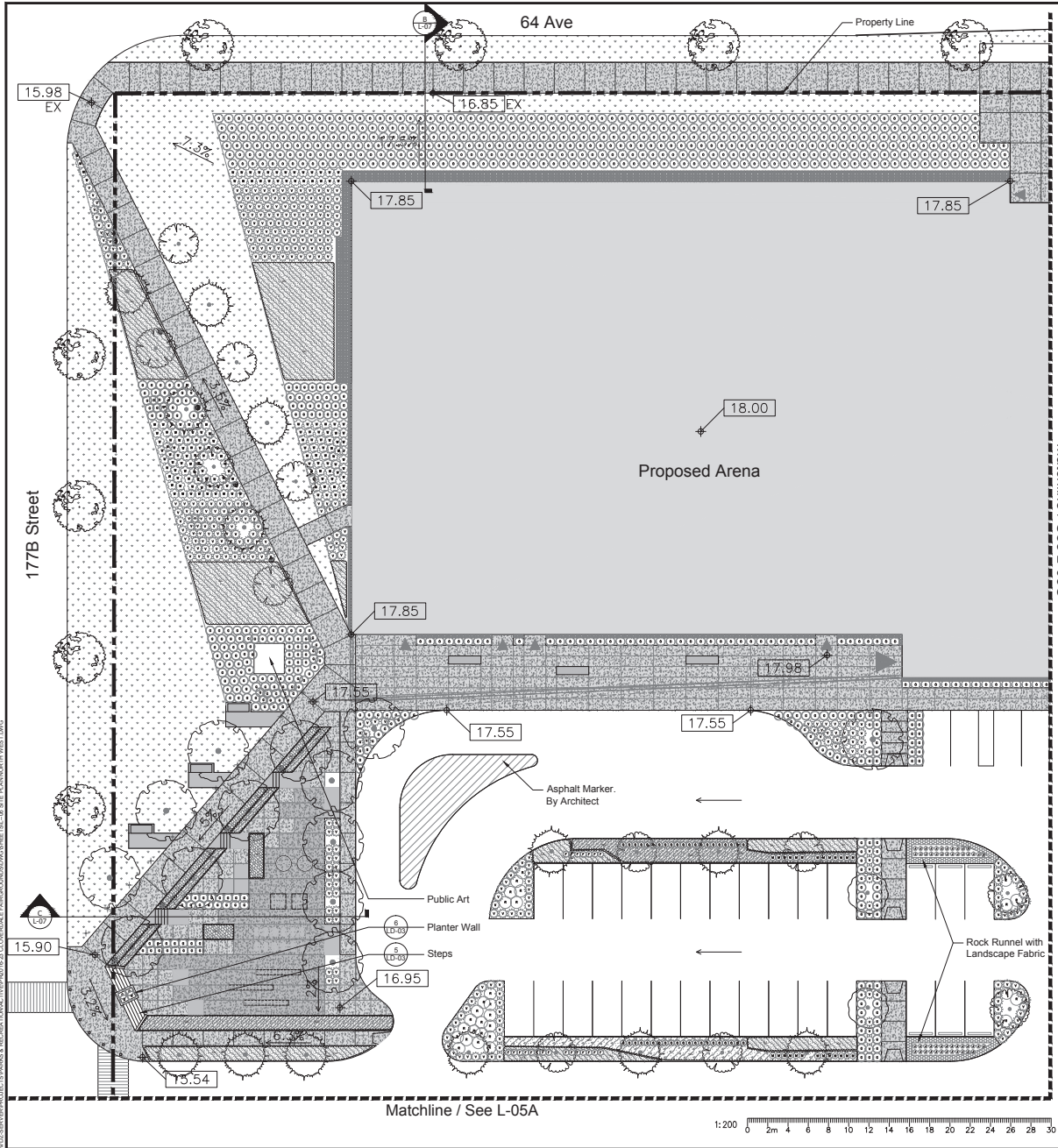


Drawing Title: PLANTING PLAN SOUTH WEST



Drawing #: PR2016-23

Drawing #: L-05A



LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	1.2 LD-02	SCORED CONCRETE (Blown Finish)
[Pattern]	1.2 LD-02	SCORED CONCRETE (Smooth Finish)
[Pattern]	1.2 LD-02	INTEGRAL COLOURED CONCRETE
[Pattern]		WOOD MULCH
[Pattern]		ROCK RUNNEL
[Pattern]	5 LD-02	DRIP STRIP
[Pattern]	3 LD-02	CRUSHED GRANITE
[Symbol]	1 LD-01	PROPOSED TREE
[Symbol]	2 LD-01	SHRUB PLANTING
[Symbol]	6 LD-01	BIO-SWALE PLANTING
[Symbol]	7 LD-02	SEATING DECK
[Symbol]	2 LD-03	BENCH Model #: Big Harris Bench Size: 3050x225 x 75 x 42 mm Material: Wood Manufacturer: Metaco Mount Surface
[Symbol]	1 LD-03	BENCH Model #: Lisa Bench-4V Size: 2300 x 600 x 440 mm Material: HPC Manufacturer: Metaco Mount Surface
[Symbol]	3 LD-03	BOLLARD Model #: Explosion Bollard Size: 950 x 60 mm Material: Galvanized and Powder Coated Steel Manufacturer: Metaco
[Symbol]	4 LD-03	LANDSCAPE LIGHTING Model #: Gals 3 Pin Light Size: 560mm Colour: Stainless Steel (matte finish) Manufacturer: Philips Supplier: BLS Lighting

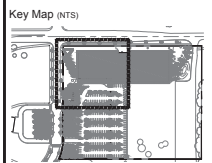
PLANT SCHEDULE NORTH WEST

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer rubrum 'Morgani' / Red Maple	B & B	6cm cal	3m std	12
	Carpinus betulus / European Hornbeam	B & B	6cm cal	1.8 m std.	2
	Fagus sylvatica 'Dawyck Gold' / European Beech	B & B		3m std	13
	Gleditsia triacanthos 'Hakka' / Honey Locust	B & B	6cm cal	3m std	14

PLANT SCHEDULE NORTH WEST

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
G	Azalea x 'Girard's Fuchsia' / 'Girard's Fuchsia Azalea	#1	0.90m	293
W	Gaultheria shallon / Salal	#3	0.90m	153
R	Rosa nutkana / Nookka Rose	#3	1.20m	54
O	Sarcococca hookeriana humilis / Sweet Box	#2	0.90m	536
V	Vaccinium ovatum / Evergreen Huckleberry	#2	0.90m	390
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
Q	Salvia nemorosa 'Blue Queen' / Woodland Sage	#2	0.60m	42
F	Salvia x sylvestris 'East Friesland' / Sage	#2	0.60m	22
M	Salvia x sylvestris 'May Night' / Sage	#2	0.60m	26
GRASSES	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
J	Junco patens / California Gray Rush	#1	0.40m	51
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
MC	Molinia caerulea 'Heidebraut' / Purple Moor Grass	#1	400mm	891
SA	Setaria autumnalis / Autumn Moor Grass	#1	400mm	1 688

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REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
2	DJ	Issued for DP	Sept 28, 2017
1	DJ	For Review	March 09, 2017

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
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Project:
Cloverdale Fairground & Arena

Location:
6090 - 176 Street, Surrey, BC

Drawn: [Signature]
Stamp: PC HP

Checked: DJ

Approved: DJ

Original Sheet Size: 24"x36"

Scale: 1:200

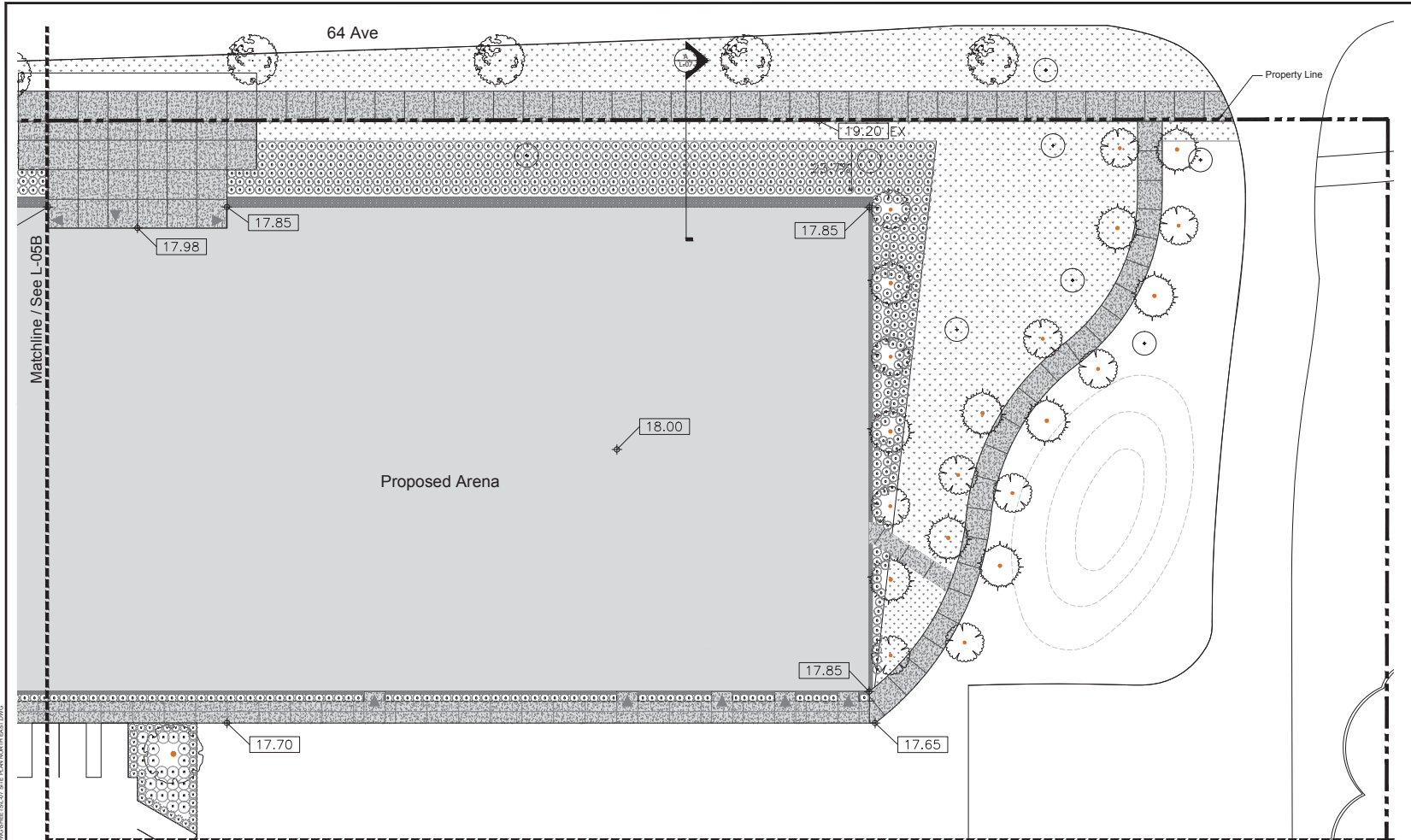
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Drawing Title: PLANTING PLAN NORTH WEST



VDZ Project #: PR2016-23

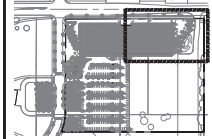
Drawing #: L-05B



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Key Map (NTS)



No.	By	Description	Date
2	DJ	Issued for DP	Sept 28, 2017
1	DJ	For Review	March 09, 2017

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Cloverdale Fairground & Arena

Location:
6090 - 176 Street, Surrey, BC

Drawn:
PC
HP

Checked:
DJ

Approved:
DJ

Scale:
1:200

Original Sheet Size:
24"x36"

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Drawing Title: PLANTING PLAN NORTH EAST



VDZ Project #: PR2016-23

Drawing #: L-05C

LEGEND

KEY	REF.	DESCRIPTION
	1.2 LD-02	SCORED CONCRETE Broom Finish
	1.2 LD-02	SCORED CONCRETE Sandblasted Finish
	1.2 LD-02	INTEGRAL COLOURED CONCRETE
		WOOD MULCH
		ROCK RUNNEL

	5 LD-02	DRIP STRIP
	3 LD-02	CRUSHED GRANITE
	1 LD-01	PROPOSED TREE
	2 LD-01	SHRUB PLANTING
	6 LD-01	BIO-SWALE PLANTING

Matchline / See L-05D

	7 LD-02	SEATING DECK
	2 LD-03	BENCH Model #: Big Harris Bench Size: 570x270 x 754 x 420 mm Material: Wood Manufacturer: Metaco Mount Surface
	1 LD-03	BENCH Model #: Ultra Bench 4v Size: 250 x 800 x 440 mm Material: HPC Manufacturer: Metaco Mount Surface
	3 LD-03	ROLLARD Model #: Explosion Bottard Size: 660 x 90 mm Material: Galvanized and Powder Coated Steel Manufacturer: Metaco
	4 LD-03	LANDSCAPE LIGHTING Model #: Gale 5 Flood Light Size: 568mm Colour: Stainless Steel (matte finish) Manufacturer: Philips Supplier: SLS Lighting

PLANT SCHEDULE NORTH EAST

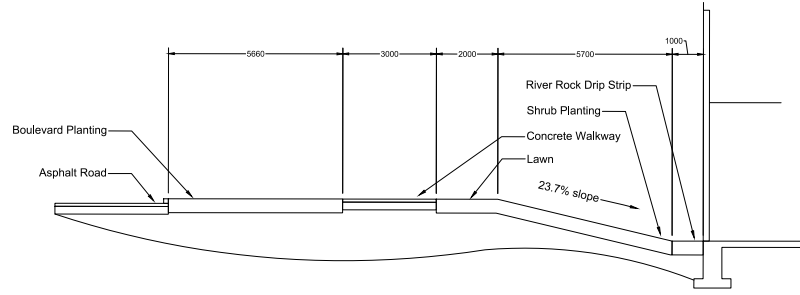
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer rubrum 'Morgani' / Red Maple	B & B	6cm cal	3m std	11
	Fagus sylvatica 'Dawyck Gold' / European Beech	B & B		3m std	10

PLANT SCHEDULE NORTH EAST

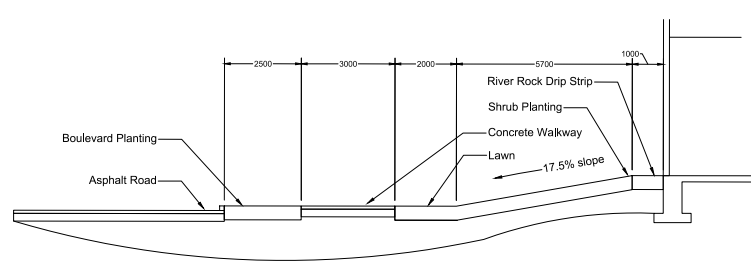
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Sarcococca hookeriana humilis / Sweet Box	#2	0.30m	630



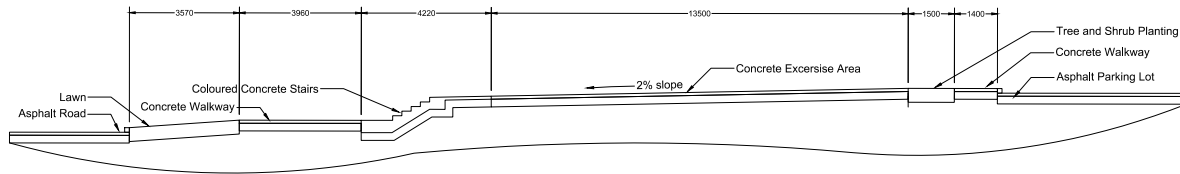
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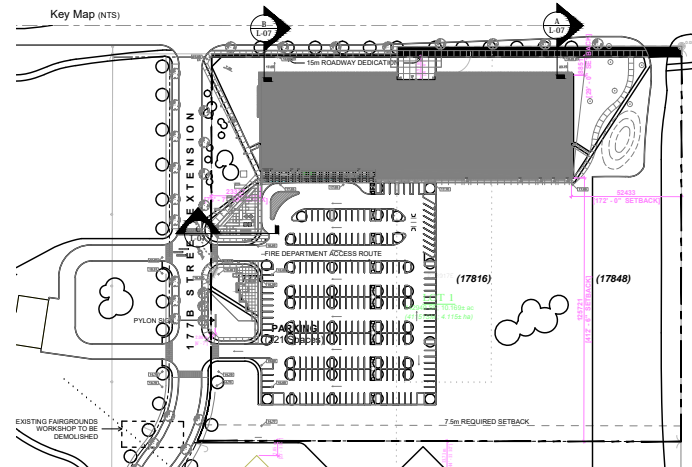
A NORTH EAST SECTION
 Scale 1:75



B NORTH WEST SECTION
 Scale 1:75



C EXCERCISE AREA SECTION
 1:75



No.	By:	Description	Date
3	DJ	Revision for Artist Report	April 06, 2018
2	DJ	Issued for DP	Sept 28, 2017
1	DJ	For Review	March 09, 2017

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
 Cloverdale Fairground & Arena

Location:
 6090 - 176 Street, Surrey, BC

Drawn: HP	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"

Scale:
 1:75

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Drawing Title: SECTIONS



VDZ Project #: PR2016-23

Drawing #: L-07

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 18, 2018** PROJECT FILE: **7817-0169-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 17770 64 Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.5-metres along 64 Avenue fronting 17770 64 Avenue for the 30.0-metre Arterial Road Standard.
- Dedicate 4.942-metres along 64 Avenue fronting 17816 and 17848 64 Avenue for the 30.0-metre Arterial Road Standard.
- Dedicate 20.0-metres for 177B Street to the Local Road Standard.
- Dedicate 5.0-metre x 5.0-metre corner cuts at 177B Street and 64 Avenue intersection.
- Dedicate 3.0-metre x 3.0-metre corner cuts at 177B Street and 62 Avenue intersection.
- Provide 0.5-metre statutory right-of-ways as required.

Works and Services

- Construct/modify the signalized intersection at the new 64 Avenue and 177B Street intersection to accommodate the proposed south leg of the intersection.
- Construct 62 Avenue to a reduced Through Local Road Standard west of 177B Street.
- Construct 177B Street to a 20.0-metre Through Local Road Standard fronting the site.
- Construct 177B Street south of site frontage to a modified Through Local Road Standard.
- Construct storm, water, and sanitary mains to service the development.
- Provide lots with storm, water, and sanitary service connections.
- Construct concrete driveway letdowns to service the development.
- Provide on-site stormwater management features to meet the requirements for the Cloverdale Integrated Stormwater Management Plan.

A Servicing Agreement is not required for the proposed Rezone and Subdivision. All off-site servicing requirements needed to support the proposed development will be delivered as a capital works project.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permit beyond those noted above.



Rémi Dubé, P.Eng.
Development Services Manager
A3H

NOTE: Detailed Land Development Engineering Review available on file



van der Zalm + associates inc.

Tree Preservation Summary

Surrey Project

No: 17-0169
17763,17835-62 Ave and 17770,17816/48-64 Ave, Surrey, B.C.

Address:**Registered**

Arborist: Kelly Koome

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	42
Protected Trees to be Removed	17
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	25
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement - Ratio $\frac{0}{17} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $17 \times \text{two (2)} = 34$	34
Replacement Trees Proposed	188
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	n/a
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement - Ratio $\frac{0}{0} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $0 \times \text{two (2)} = 0$	0
Replacement Trees Proposed	44
Replacement Trees in Deficit	0
Protected Off-Site Trees to be Retained	0

Summary, report and plan prepared and submitted by:

Project Arborist

April 05, 2018

Date



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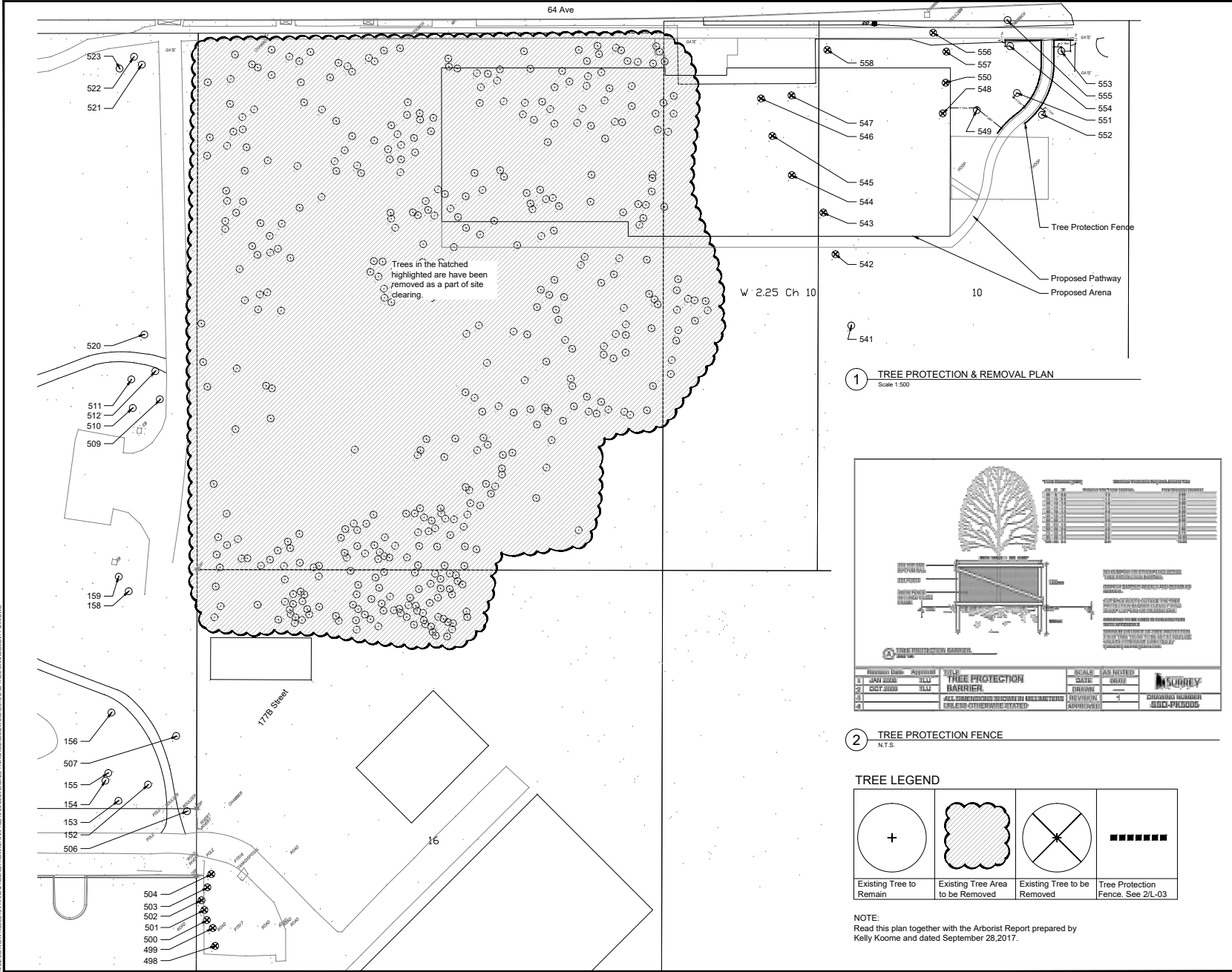
Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder	0	0	0
Cottonwood	0	0	0
Deciduous Trees (excluding alder and Cottonwood Trees)			
Red Maple	5	0	5
Norway Maple	1	1	0
Horse Chestnut	5	4	1
Oak	7	4	3
Ash	3	0	3
Birch	1	0	1
Hornbeam	1	1	0
Pear	1	1	0
Coniferous Trees			
Douglas Fir	3	0	3
Red Cedar	1	0	1
Hemlock	1	0	1
Austrian Pine	8	6	2
Juniper	1	0	1
Redwood	4	0	4
Total (excluding Alder and Cottonwood Trees)	42	17	25
Additional Trees in the proposed Open Space / Riparian Area	n/a	n/a	n/a
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		188	
Total Retained and Replacement Trees		213	

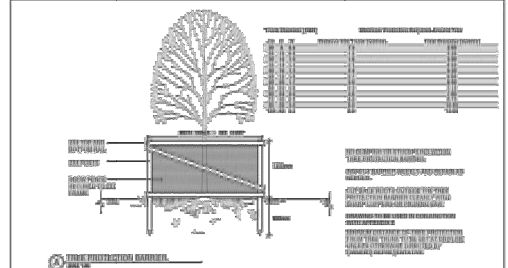
*Both on and offsite trees are included in this table

Summary, report and plan prepared and submitted by:

April 05, 2018



1 TREE PROTECTION & REMOVAL PLAN
Scale 1:500



Revision Date	Approved	TITLE	SCALE	JOB NOTED
1 JAN 2016	TELL	TREE PROTECTION BARRIER	DATE	DATE
2 OCT 2016	TELL	HARRIS	DRAWN	DATE
3		ALL DIMENSIONS SHOWN IN METERS UNLESS OTHERWISE STATED	APPROVED	DATE

2 TREE PROTECTION FENCE
N.T.S.

TREE LEGEND

Existing Tree to Remain	Existing Tree Area to be Removed	Existing Tree to be Removed	Tree Protection Fence, See 2/L-03

NOTE:
Read this plan together with the Arbotrist Report prepared by Kelly Koome and dated September 28, 2017.



No.	By	Description	Date
3	DJ	Revision for Arbotrist Report	April 06, 2018
2	DJ	Issued for DP	Sept 28, 2017
1	DJ	For Review	March 09, 2017

Project:
Cloverdale Fairground & Arena

Location:
6090 - 176 Street, Surrey, BC

Drawn: PC	Stamp:
Checked: DJ	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:1000	CONTRACTOR SHALL OBEY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND TOLERANCES ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE REVIEWED AT THE COMPLETION OF THE WORK. ALL REVISIONS OR OMISSIONS DRAWINGS SHALL NOT BE PERMITTED UNLESS APPROVED BY THE CONSULTANT. CONTRACTOR SHALL LABEL BARRIERS FOR TENDER/CONSTRUCTION.



Present:

Chair – S. Forrest
L. Mickelson
M. Lesack
D. Nelson
D. Ramslie
A. Scott
R. Solivar
D. Tyacke

Guests:

C. Taylor, Taylor Kurtz Architecture + Design
J. Miller, RDH Architects Inc.
R. Bernstein, Chris Dikeakos Architects Inc.
M. van der Zalm, van der Zalm & Associates
R. Jenkins, WestStone Properties Ltd.
V. Jeon, WestStone Properties Ltd.
D. Jerke, van der Zalm & Associates

Staff Present:

T. Ainscough, City Architect, Planning & Development
M. Rondeau, Acting City Architect, Planning & Development
N. Chow, Urban Designer, Planning & Development
L. Luaifoa, Legislative Services

A. RECEIPT OF MINUTES

It was Moved by L. Mickelson
Seconded by R. Solivar
That the minutes of the Advisory Design
Panel meeting of June 15, 2017 be received.
Carried

B. NEW SUBMISSIONS

1. 5:03 PM

File No.:	7917-0169-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Rezoning to CD and Development Permit for the construction of an 8,915 square metre community ice and sports complex.
Address:	17763, 17835 – 62 Avenue, 17770, 17816, 17848 – 64 Avenue, Cloverdale
Developer:	City of Surrey, Facilities
Architect:	Craig Taylor, Taylor Kurtz Architecture + Design/RDH Architects Inc.
Landscape Architect:	David Jerke, van der Zalm + Associates Inc.
Planner:	Donald Nip
Urban Design Planner:	Mary Beth Rondeau

Staff noted there are no specific issues and would respond to any questions.

The **Project Architect** presented an overview of the site and building plans, streetscapes and elevations. It was noted that the main reason for selection of the site to give maximum visual and daylight exposure of the building to 64 Avenue

and provide glazing for the north façade. A melt-pit will be provided so that rink snow will not be stored on 64th Ave.

The **Landscape Architect** presented an overview of the Landscape plans noting a multi-use path, buffering on the east side of the site and a connection for pedestrians to the front side of the arena and out to the multi-use path.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

Rezoning to CD and Development Permit for the construction of an 8,915 square metre community ice and sports complex.

File No. 7917-0169-00

It was

Moved by L. Mickelson

Seconded by R. Solivar

That the Advisory Design Panel (ADP)

supports the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

STATEMENT OF REVIEW COMMENTS

The panel was supportive of the overall concept and the introduction of natural daylight in particular.

Site

- The siting and masterplan were considered well resolved.

Building Form and Character

- While the overall proposal shows a strong level of sophistication, it could benefit from the addition of some whimsy (i.e. Canadiana hockey theme) to feel less like a museum. Informal outdoor hockey areas could also help with this.

(The mandate provided by the RFP is for a multi-sport ice complex with an emphasis on community inclusiveness. In addition, the design team were directed by staff to avoid specific references to hockey themes in both the formal site and building design as well as the public art installation(s), further reinforcing the commitment to the multi-functional intention and community inclusiveness of the project. Architecturally, the team believes that the formal design of the building emphasizes transparency and inclusiveness and responds well to this mandate. Further, the team feels that informal moments of whimsy will develop organically with the participation of the various diverse user groups that will use the facilities.)

- Suggest adding colour at the front entrance area for wayfinding.

(The design team will look at all opportunities for interior expression to benefit clear wayfinding, but notes that formalized wayfinding graphic design is subject to City of Surrey signage standards.)

Landscaping

- Recommend overhead structure for shading of the outdoor learning space and work out spaces.

(The design team will consider appropriate shading opportunities for outdoor formal spaces.)

- Consider using future development land for outdoor ball hockey area and informal sports use of the green spaces.

(The design team defers to staff for response to this comment and is not currently considering future uses of land outside of the immediate project area.)

Possible uses for the adjacent lands for the interim will be considered at a later date.)

- The parking area would benefit from additional greening.

(The design team will review all possibilities for softscaping the parking facilities.)

Sustainability

- Recommend LEED Gold certification.

(The design team is moving forward with the sustainability requirements identified in the RFP.)

- Commend EV charging stations.

(EV spaces will be provided; specific count and locations are to be determined with input from staff.)

- Recommend improvement of the bicycle facilities and storage for staff and/or spectators.

(Bike facilities will be provided in compliance with bylaw requirements and the design team will review opportunities for adding to these requirements.)

- Stormwater features such as permeable paving in the parking.

(The design team is reviewing all possibilities for passive stormwater management including on-site swales and retention ponds subject to space and budgetary constraints.)

- Suggest reducing parking to accommodate more planning especially close to the Bill Reid theatre.

(Parking is provided according to bylaw requirements. A Transportation Impact Study is being prepared and will provide guidance on the potential to reduce the requirement for parking spaces.)

Accessibility

- Recommend power doors at entrances.

(Auto door operators will be provided at the main entry as required by the BC Building Code. Additional operators will be provided at public washrooms and other interior doorways as deemed beneficial, with input from staff.)

- Assess the disabled access to the seating area on a regular basis.

(COS staff will assess the need for accessible seating as a general operational procedure. The spectator seating area is designed with sufficient space at the top seating level to permit relatively easy conversion of fixed seating to accessible areas as the need evolves.)

- Recommend a Family Washroom.

(The upper floor universal washroom will be detailed to provide family use facilities.)

CPTED

- No comments provided specific to CPTED.

(Noted.)

C. NEXT MEETING

The next Advisory Design Panel is scheduled for **Thursday, August 24, 2017.**

D. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 7:30 p.m.

Jane Sullivan, City Clerk

Steve Forrest, Chairman
Advisory Design Panel

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA) AND COMPREHENSIVE DEVELOPMENT ZONE (CD) (BY-LAW NOS. 5035, 7995, 8206, 12714) (SURREY ZONING BY-LAW, 1964, NO. 2265 AMENDMENT BY-LAW, 1977, NO. 5035, AMENDMENT BY-LAW, 1984, NO. 7985, AMENDMENT BY-LAW, 1985, NO. 8206, AND AMENDMENT BY-LAW, 1997, NO. 12714

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 011-104-988
 Lot 9 Except: Part Road on Plan BCP5533; Section 8 Township 8 New Westminster District Plan 4506

Portion of 17770 – 64 Avenue

Parcel Identifier: 011-105-071
 West 2.25 Chains Lot 10 Section 8 Township 8 New Westminster District Plan 4506

17816 – 64 Avenue

Parcel Identifier: 011-105-119
 Lot 10 Except: The West 2.25 Chains; Section 8 Township 8 New Westminster District Plan 4506

17848 – 64 Avenue

Portion of Parcel Identifier: 007-557-035
Lot 15 Section 8 Township 8 New Westminster District Plan 4506

Portion of 17835 – 62 Avenue

Portion of Parcel Identifier: 007-559-909
Lot 16 Section 8 Township 8 New Westminster District Plan 4506

Portion of 17763 – 62 Avenue

as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Gurpreet Kooner, B.C.L.S. on the 9th day of April, 2018, containing 4.12 hectares, called Block A.

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a *recreational facility* and ancillary commercial uses.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Recreational facilities*, excluding outdoor go-kart operations, drag racing and rifle ranges.
2. *Accessory uses* including the following:
 - (a) One *dwelling unit*, for the accommodation of an official, manager or caretaker of the *principal use*;
 - (b) *Eating establishments*, excluding *drive-through restaurants*;
 - (c) *Retail stores*, excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*;
 - (d) *Personal service uses* excluding *body rub parlours*;
 - (e) *General service uses*, excluding funeral parlours and *drive-through banks*;

- (f) *Community services;*
- (g) *Office uses, excluding social escort services, methadone clinics and marijuana dispensaries;*
- (h) *Neighbourhood pubs;*
- (i) *Child care centres; and*
- (j) *Cultural uses.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the maximum *floor area ratio* shall be increased to 0.40.

E. Lot Coverage

The *lot coverage* shall not exceed 40%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Buildings</i>		7.5 m.	7.5 m.	7.5 m.	7.5 m.
<i>Accessory Buildings and Structures</i>		[25 ft.]	[25 ft.]	[25 ft.]	[25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding the definition of setback in Part 1 Definitions of Surrey Zoning By-law, 1993, No.12000, as amended, roof overhangs may encroach into the required *setbacks*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. The *height* of any *building* shall not exceed 12 metres [40 ft.].

H. Off-Street Parking

Parking spaces shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

Child care centres shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the CPR Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.

- 8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2017, No. 19107, as may be amended or replaced from time to time, and the development cost charges shall be based on the CPR Zone.
- 9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
- 10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
- 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 2018.

PASSED SECOND READING on the _____ th day of _____, 2018.

PUBLIC HEARING HELD thereon on the _____ th day of _____, 2018.

PASSED THIRD READING on the _____ th day of _____, 2018.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 2018.

_____ MAYOR

_____ CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 REZONING BYLAW NUMBER
 OF PORTIONS OF SECTION 8, TOWNSHIP 8,
 NEW WESTMINSTER DISTRICT
 BCGS 92G.017

INTEGRATED SURVEY AREA NO. 1, SURREY, NADB3 (CSRS) 4.0.0.BC.1.GVRD

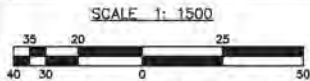
ALL DISTANCES ARE IN METRES
 GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
 GEODETIC CONTROL MONUMENTS 5835 AND 5836
 THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE
 DERIVED FROM THE MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR
 GEODETIC CONTROL MONUMENTS 5835 AND 5836.
 THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED.
 TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE
 COMBINED SCALE FACTOR OF 0.9996020 WHICH HAS BEEN DERIVED FROM
 CONTROL MONUMENTS 5835 AND 5836.

LEGEND

- ⊙ DENOTES CONTROL MONUMENT FOUND
- ⊙ DENOTES NON-STANDARD POST FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD LEAD PLUG FOUND
- NF DENOTES NOTHING FOUND
- (c) DENOTES CALCULATED

LOT 1
 PLAN EPP25556

BOOK OF REFERENCE		
BLOCK	DESCRIPTION	AREA
BLOCK 'A'	REM. LOT 9 SEC. 8 TP. 8 N.W.D. PLAN 4506	1.37 Ha.
	WEST 2.25 CHAINS LOT 10 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.704 Ha.
	REM. LOT 10 SEC. 8 TP. 8 N.W.D. PLAN 4506	1.41 Ha.
	LOT 16 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.253 Ha.
	LOT 15 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.379 Ha.
	TOTAL AREA BLOCK 'A' =	4.12 Ha.
BLOCK 'B'	REM. LOT 9 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.421 Ha.
	LOT 16 SEC. 8 TP. 8 N.W.D. PLAN 4506	0.093 Ha.
	TOTAL AREA BLOCK 'B' =	0.515 Ha.

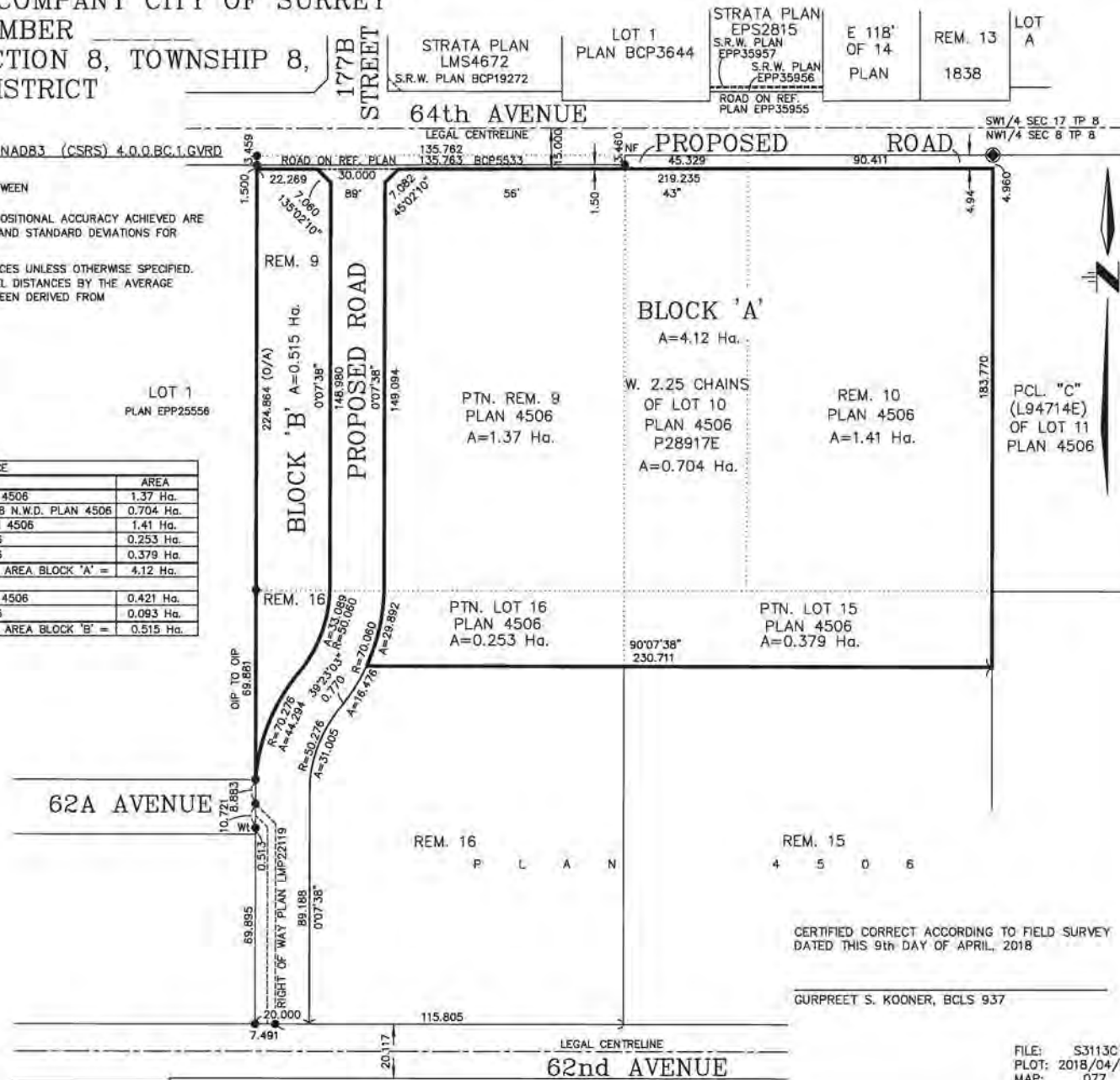


ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 532 mm
 IN WIDTH AND 460 mm IN HEIGHT (C SIZE SHEET)
 WHEN PLOTTED AT A SCALE OF 1:1500.



CITY OF SURREY, SURVEY SECTION
 13450 - 104 AVENUE
 SURREY, B.C. V3T 1V8
 TEL. (604) 591-4253
 FAX. (604) 591-8693



CERTIFIED CORRECT ACCORDING TO FIELD SURVEY
 DATED THIS 9th DAY OF APRIL, 2018

GURPREET S. KOONER, BCLS 937

FILE: S3113C
 PLOT: 2018/04/09
 MAP: 077



Cloverdale Community Association

Website: www.cloverdalecommunity.org

October 11, 2017

Donald Nip
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 7917-0169-00 - 17770 17816 17848-64 Ave and 17835 17763-62 Ave

Dear Mr. Nip:

The Cloverdale Community Association (CCA) has received the preliminary notice for the proposed development noted above.

The community is glad that a state of the art ice arena complex will be finally built as promised. We have listed our issues/concerns/suggestions below for your review and action:

1. There aren't any large vehicle parking stalls for pickup trucks. A lot of parents transport their children's hockey equipment.
2. A proper bus loop should be in place so buses can drop off the players and exit and also, the buses should be able to park their buses. This typically is required when tournaments are held.
3. There should be clear, identified crosswalks and they should not be accessible between vehicles where blind spots would be created.
4. Please provide ample parking lot lights and security cameras.
5. Having a right in and right out will cause major traffic jams. Being that the entrance is located near the main intersection of 176 street and 64 Ave, traffic will back up during busy hours.
6. Having a right turn out onto 64 avenue which is currently a single lane one-way road, will cause major traffic jams when drivers try to merge in addition to driving up a hill. Please widen 64 Avenue as we requested back in 2012 all the way to 196 avenue to resolve this issue.
7. Access to the arena should also be granted from the entrance which is located on 62 avenue between the Cloverdale rec center and the skateboarding park to reduce congestion at the new entry and exit point.
8. The seats in the arena should be comfortable and not hard. One cannot enjoy watching a game or your child skate when the seats are hard. The Delta Sungod skating arena or the south surrey skating arena have fold up seats and are curved which are ideal.
9. The heating system needs to be able to heat the seating area adequately.
10. The location to enter the ice rink should not require customers walk through children who are sitting on the benches putting on or removing their skates. This is currently a big problem at the Surrey Sports and Leisure Complex arena.
11. Bathrooms should have automatic flush urinals and the bathroom sinks should have automatic faucets and soap dispensers.



Cloverdale Community Association

Website: www.cloverdalecommunity.org

12. A water fountain to fill water bottles for hockey players should be located inside the change rooms so players don't have to struggle to use the sink faucet.
13. Seating should be located on both sides of the rinks rather than on just one side. Ideally, these should be located at center ice.
14. There should be power plugs and usb power so customers can charge their phones/tablets/laptops at the tables.
15. One major concern we have is the fact that one rink will be located on the 64 avenue side which has all that proposed large glass. Children trying to skate will be easily distracted. The large glass windows should be located in the lobby area only. If this is not possible, then making the windows shorter in height and the bottom being solid would be beneficial. We don't need natural light at the bottom of the rink especially where sunlight can warm up the building causing ice to soften up.
16. All the doors should automatically open and close. Many players have damaged manual opening doors while rolling their hockey bags in and out of change rooms and while entering/exiting the other arenas.

Please keep us updated with any changes which may occur after this letter has been received by you.

We trust the above information is satisfactory and as always, we expect our comments to be added in the planning report and project file for council to review.

Thank you.

Sincerely,

Mike Bola
President
Cloverdale Community Association
604-318-0381

Cc: Board of Directors